



Staff Report for Item 6

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: July 28, 2015

Applicant: Castro Construction

Application Number: H15-01-0600

Address: #801 Emma Street

Description of Work:

New storage shed.

Site Facts:

#801 Emma is listed as a contributing resource and was constructed sometime before 1912. Located at the corner of Emma Street and Petronia Street, the two-story, frame vernacular house is situated on a large lot. Historically, there were small one-story buildings on that same lot, but they were all demolished by 1962.

Guidelines Cited in Review:

Outbuildings: Carports, Gazebos, Garages, Sheds, Shelters, & Accessory Structures (pages 40-41), specifically guidelines 1, 3, 4, 5, 7, 9, and 11.

Staff Analysis

This Certificate of Appropriateness proposes constructing a shed next to the contributing house. The house is located in the heart of Bahama Village, but much of the area was redeveloped between 1926 and 1948. Currently, the property is surrounded by two-story commercial structures and apartment buildings. The proposed shed will be situated in the southeastern corner of the property. It will be 17 feet, 8 inches tall, and appear as a one-and-a-half story building. The wood shed will be very utilitarian in design with fiber cement siding and few windows.

Consistency with the Guidelines

1. The guidelines state that outbuildings should be compatible with the principal structure on the lot in terms of materials, detailing, color, style design, height, scale, and massing. While 17 feet seems tall, it will be much smaller than the surrounding structures.
2. The design of new outbuildings must be complementary to the existing streetscape if visible from the public right-of-way. The streetscape in this case is mostly large two-story buildings that do not contribute to the historic district.
3. If the siting of an outbuilding is considered inappropriate or intrusive to the historic district, it may be denied. The applicant has set the proposed shed as far from the street as possible.

Staff feels that due to the context of the neighborhood, the streetscape, and the siting of the proposed shed, the project is consistent with the guidelines regarding outbuildings. The shed will be tall, but it will also be much smaller than neighboring structures.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

www.cityofkeywest.org

HARC PERMIT NUMBER <i>1501-600</i>		BUILDING PERMIT NUMBER <i>15-1559</i>		INITIAL & DATE
FLOODPLAIN PERMIT			REVISION #	
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %	

ADDRESS OF PROPOSED PROJECT:

801 Emma St.

OF UNITS

RE # OR ALTERNATE KEY:

NAME ON DEED:

Cajun Key West Realty LLC

PHONE NUMBER

OWNER'S MAILING ADDRESS:

444 N. Main St. Hubbard OH

EMAIL

CONTRACTOR COMPANY NAME:

Castro Construction

PHONE NUMBER

522-5581

CONTRACTOR'S CONTACT PERSON:

John Castro

EMAIL

JCASTRO3@AOL.com

ARCHITECT / ENGINEER'S NAME:

Reynolds Engineering

PHONE NUMBER

ARCHITECT / ENGINEER'S ADDRESS:

EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: ___ YES ___ NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

45,000.00

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ___ ONE OR TWO FAMILY MULTI-FAMILY ___ COMMERCIAL NEW REMODEL
 ___ CHANGE OF USE / OCCUPANCY ___ ADDITION ___ SIGNAGE ___ WITHIN FLOOD ZONE
 ___ DEMOLITION ___ SITE WORK INTERIOR EXTERIOR ___ AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

500 sq. ft. laundry room / shed. / will email

Build new 2 story

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:		I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME:	OWNER SIGNATURE:	QUALIFIER PRINT NAME: <i>John Castro</i>	QUALIFIER SIGNATURE: <i>John Castro</i>
Notary Signature as to owner:	Notary Signature as to qualifier:	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>27</u> DAY OF <u>April</u> , 20 <u>15</u> .	
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20____.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20____.		
Personally known or produced _____ as identification.	Personally known or produced _____ as identification.	Personally known or produced _____ as identification.	

1501-600

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
		<i>concrete siding</i>
		<i>metal v-crimp roofing</i>
		<i>Aluminum windows + doors</i>

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

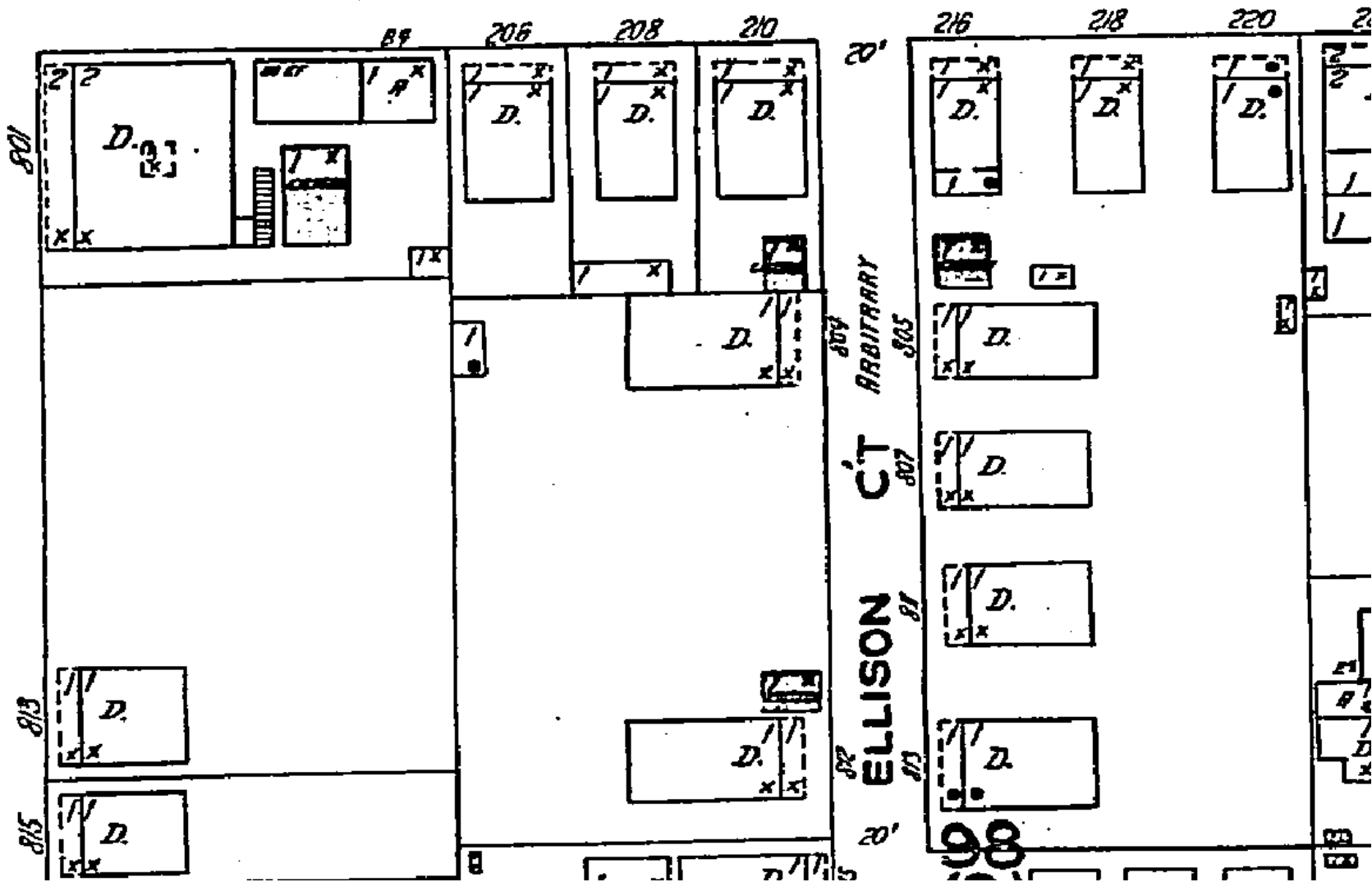
SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____



SANBORN MAPS

6" W. PIPE
PETRONIA





Google Earth Aerial

PROJECT PHOTOS



Property Appraiser's Photograph, c. 1965. Monroe County Public Library.



Back of contributing structure.



Location of proposed shed.



Neighboring structure.



Streetscape.



Building across the street on Petronia.



The only small structures in the area. Also across the street on Petronia.

SURVEY

LEGAL DESCRIPTION:

A certain Lot or parcel of land lying and being in the City of Key West and known and designated on L. Windsor Smith's diagram of Part of Tract Three (3) recorded in Deed Book "E" Page Seventy-two (72) of the Public Records of Monroe County, Florida, as Part of Lot One (1), described as follows: Beginning as the Northeast corner of Emma and Petronia Streets and running thence in a Northeasterly direction along the Southeast side of Petronia Street One Hundred (100) feet; thence at right angles in a Southeasterly direction, parallel with Emma Street Fifty-eight (58) feet; thence at right angles in a Southwesterly direction, parallel with Petronia Street One Hundred (100) feet to Emma Street; thence at right angles in a Northwesterly direction, along the Northeasterly side of Emma Street Fifty-eight (58) feet to the place of beginning.

LEGAL DESCRIPTION, EASEMENT:

A portion of land lying and being in the City of Key West, Monroe County, Florida and known and designated on L. Windsor Smith's diagram of Part of Tract Three (3) recorded in Deed Book "E" Page Seventy-two (72) of the Public Records of Monroe County, Florida, as Part of Lot One (1), and being more particularly described as follows: BEGIN at the intersection of the Northeasterly Right-of-Way Line of Emma Street and the Southeasterly Right-of-Way Line of Petronia Street; thence in a Southeasterly direction along the said Northeasterly Right-of-Way Line of Emma Street for a distance of 48.50 feet to the end of the overhead eaves; thence at an angle of 89°51'18" to the left and in a Southwesterly direction for a distance of 2.61 feet to the corner of said eaves; thence at a right angle and in a Northwesterly direction along the said eave line for a distance of 48.50 feet to the corner of said eaves; thence at a right angle and in a Northeasterly direction and along the eave line for a distance of 2.48 feet to the said Northeasterly Right-of-Way Line of said Emma Street and the Point of Beginning. Containing 129.4 square feet, more or less.

SURVEYOR'S NOTES:

North arrow based on assumed median
 ✎ denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: Basic Elevation: 14.324

Monumentation:

⊕ = set 1/2" Iron Pipe, P.L.S. No. 2749
 ▲ = Found P.K. Nail, P.L.S. No. 1587

Abbreviations:

Sty. = Story	o/h = Overhead	N.T.S. = Not to Scale
R/W = Right-of-Way	u/g = Underground	Elev. = Elevation
fd. = Found	F.F.L. = Finish Floor Elevation	B.M. = Bench Mark
p. = Plat	conc. = concrete	C.B.S. = Concrete Block Stucco
m. = Measured	I.P. = Iron Pipe	cov'd. = Covered
d. = Deed	I.B. = Iron Bar	
P.O.C. = Point of Commence	wd. = Wood	
P.O.B. = Point of Beginning	w.m. = Water Meter	
P.B. = Plat Book	Bal. = Balcony	
pg. = page	Pl. = Planter	
	A/C = Air Conditioner	

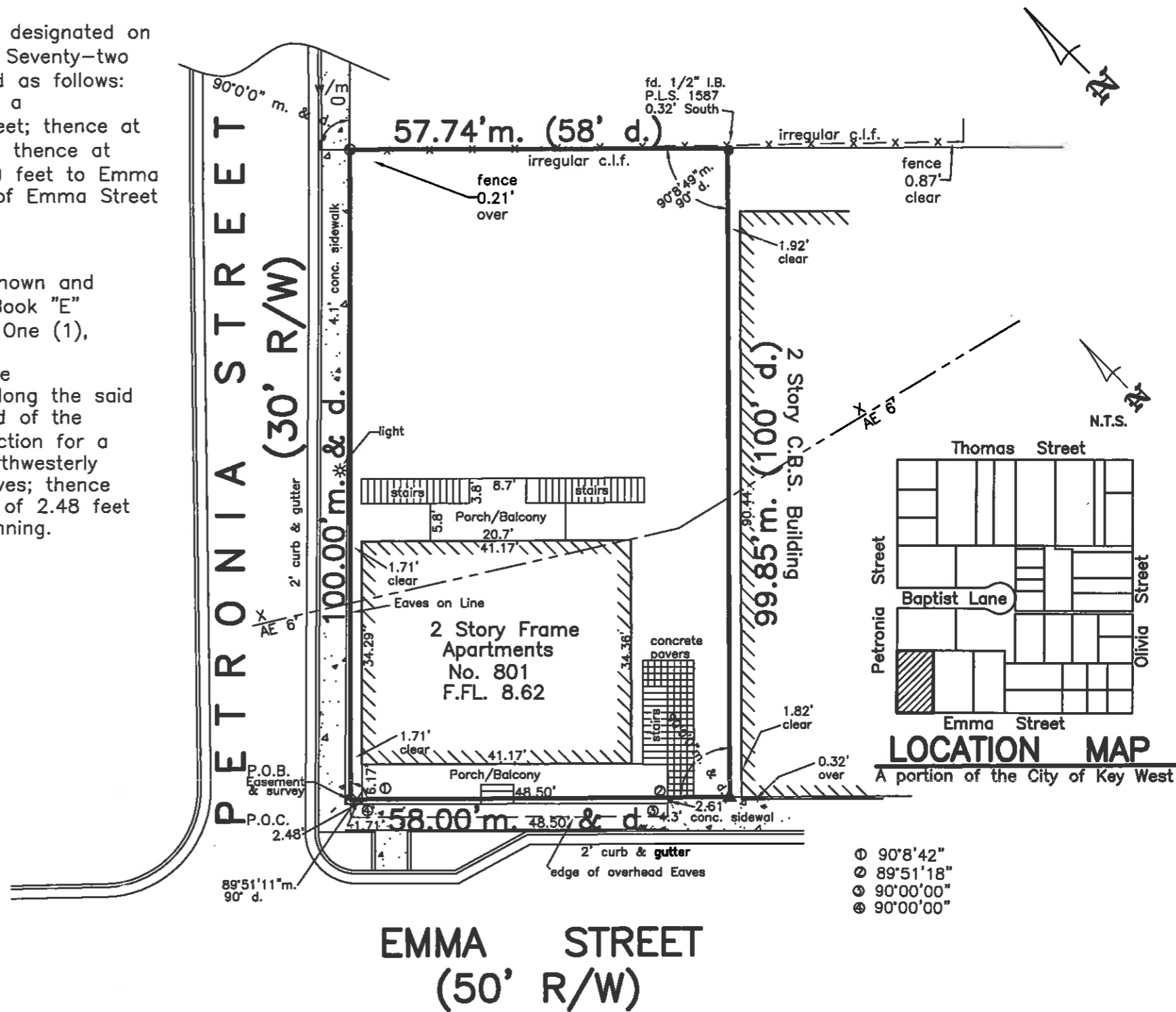
Field Work performed on: 2/15/14

CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRAND
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36810
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



Cajun Realty, LLC DBA in Florida as Cajun Realty K.W. 801 Emma Street, Key West, Fl. 33040			
BOUNDARY SURVEY		Dwn No.: 14-140	
Scale: 1"=20'	Ref. 189-7	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 8/24/06		Flood Zone: X-AE	Flood Elev. - 6'
REVISIONS AND/OR ADDITIONS			
2/17/14: Updated, owner, L.D. Easement, ramp			
3/17/14: Revise easement for eaves			
f:/datafred/dwg/keywest/block62/801Emma			

ISLAND SURVEYING INC.

ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
Suite 201
Key West, Fl. 33040

(305) 293-0466
Fax. (305) 293-0237
fhildeb1@bellsouth.net
L.B. No. 7700

PROPOSED DESIGN

GENERAL NOTES AND SPECIFICATIONS

- 1.0 GENERAL ENGINEERING AND CONSTRUCTION
Design and construction shall be in compliance with the latest edition of the 2010 Florida Building Code, Residential, and the specific requirements of the City of Key West, Florida.
- 1.1 General: Construction methods, procedures and sequences are the responsibility of the Contractor. The Contractor shall take the necessary measures to maintain and protect the structural integrity and serviceability of the construction at all times.
- 1.2 Engineering Certification: The extent of the Engineering Certification of these drawings is limited to the construction of a laundry and storage building as indicated.
- 1.3 Construction Loads: Structural members as shown in the working drawings have been designed to carry the code required service loads only. The structural design of this project has not considered loads imposed during construction. Construction loads may exceed the service design loads. The Contractor shall be responsible for engaging the necessary construction engineering and design, determining and employing the methods necessary to support all loads during construction.
- 1.4 Construction Coordination: The Contractor shall coordinate all work required by the architectural, structural, and electrical working drawings and shall verify all dimensions, elevations and the location and sizes of all finishes and other project requirements not shown on the structural working drawings.
- 1.5 Conflicts: Whenever conflicts, discrepancies, or ambiguities exist in the structural drawings, schedules or notes, they shall be brought to the attention of the Engineer for correction and/or clarification.
- 1.6 Engineer's Limitation of Responsibility: The Engineer shall not be responsible for the quality of composition of materials, shop drawings fabrication, construction inspection, supervision, of review, special inspection, or the quality or correctness of construction. The Engineer shall not be responsible for site and construction safety and/or the safety of the workers. Site and construction safety is the responsibility of the Contractor.
- 1.7 Engineer's Statement of Compliance: To the best of the Engineer's information, knowledge, and belief the structural plans and specifications presented herein comply with the applicable minimum building codes, standards and practices.
- 1.8 Location: These plans are for the construction of a laundry and storage building at the location so designated hereon.
- 1.9 Changes: There shall be no deviation from these plans without prior approval from the engineer of record. Any changes made prior to approval by the owner and/or engineer of record are disallowed as extras and the contractor may have to restore to conform to plans without additional compensation.
- 1.10 Discrepancies: The contractor shall check and verify all dimensions and conditions of the job site and report any discrepancies or conditions that are unsatisfactory or unsafe before proceeding with the work.
- 1.11 Safety: The Contractor shall provide for the safety, prevention of injury or loss at the job to all persons employed on the work, persons visiting the work and the general public. He shall also be responsible for the prevention of damage, due to the work, to materials or equipment and other property at the site of adjacent thereto.
- 1.12 Omissions: Omissions from the drawings or notes or the misdescription of details of work which are manifestly to carry out the intent of the drawings and notes, or which are customarily performed, shall not relieve the contractor from performing such omitted or misdescribed details of work, but they shall be performed as if fully and correctly set forth and described in the drawings and notes.
- 1.13 Dimensions: The contractor shall not scale drawings. Any information that he cannot obtain from dimensions, detail or schedule, he shall notify the engineer of record.
- 1.14 Electrical: All electrical work shall conform to the latest National Electrical Code and local codes.
- 1.15 Coordination: The Contractor shall check and coordinate work of various trades to prevent any conflicts.
- 1.16 Concrete: Concrete work shall conform to all requirements of "ACI 301", latest edition, "Specifications for Structural Concrete for Buildings".
- 1.17 Reinforcing: Reinforcing steel shall be Grade 60.
- 1.18 Paving: The Contractor will provide an on-site dumpster in a location coordinated with the owner for the disposal of removed materials and construction debris. The dumpster shall be emptied at appropriate intervals to prevent overflow and unsightly conditions.
- 1.19 Sanitary Facilities: Portable restroom facilities to be provided at the site by the contractor.
- 1.20 Drainage Calculation: All storm water shall be retained on the property.
- 1.21 Completion: After completion of construction remove all debris and construction equipment.

**DESIGN INFORMATION
2010 FLORIDA BUILDING CODE**

USE GROUP	R - 3 RESIDENTIAL
CONSTRUCTION TYPE	III
ZONING	HNC-3
FLOOR LOADS	1" 40/10 2" 40/10
ROOF LOADS	20/10
CATEGORY	C
INT. PRESSURE COEFFICIENT	- 0.18
SEISMIC GROUP	0
FLOOD ZONE	X
ULTIMATE WIND SPEED	180 MPH
NOMINAL WIND SPEED	139 MPH

THE CONSTRUCTION DEPICTED ON THESE DRAWINGS WAS DESIGNED TO COMPLY WITH ALL APPLICABLE COUNTY AND STATE CODES AND ORDINANCES, INCLUDING THE 2010 FLORIDA BUILDING CODE, RESIDENTIAL AND THE LATEST EDITIONS OF THE FIRE CODE AND LIFE SAFETY CODE. DESIGNED PER ASCE 7-10 NOMINAL WIND SPEED 139 MPH)

- ICC 800 (MASONRY & WOOD)
- ANSI/AF&PA WFCM STANDARD
- ASCE 7
- FLORIDA BUILDING CODE PROVISIONS FOR CONCRETE CONSTRUCTION.

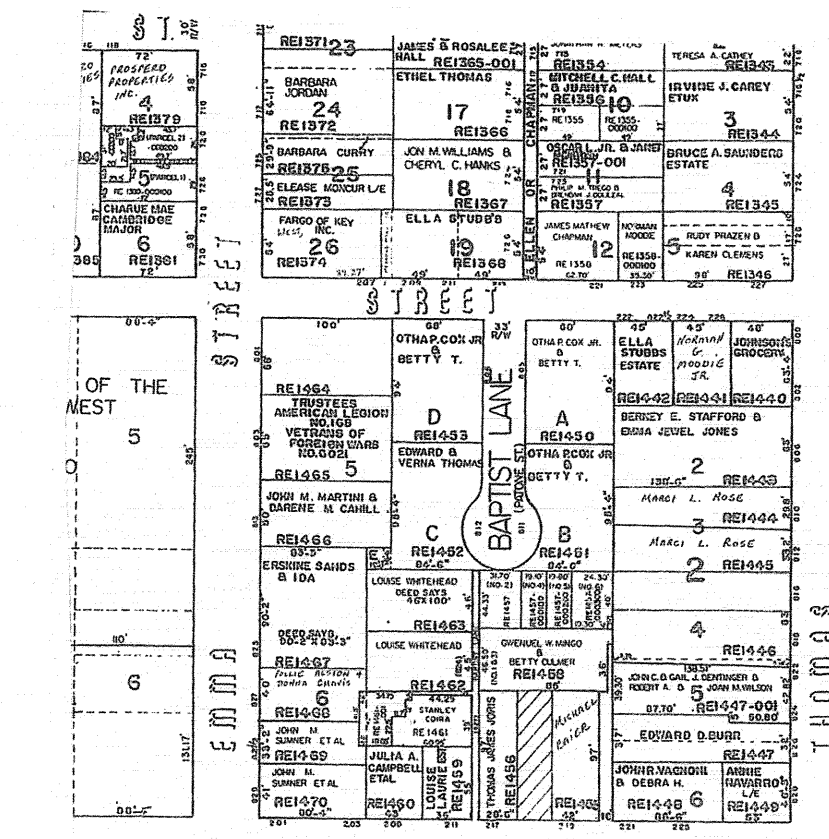
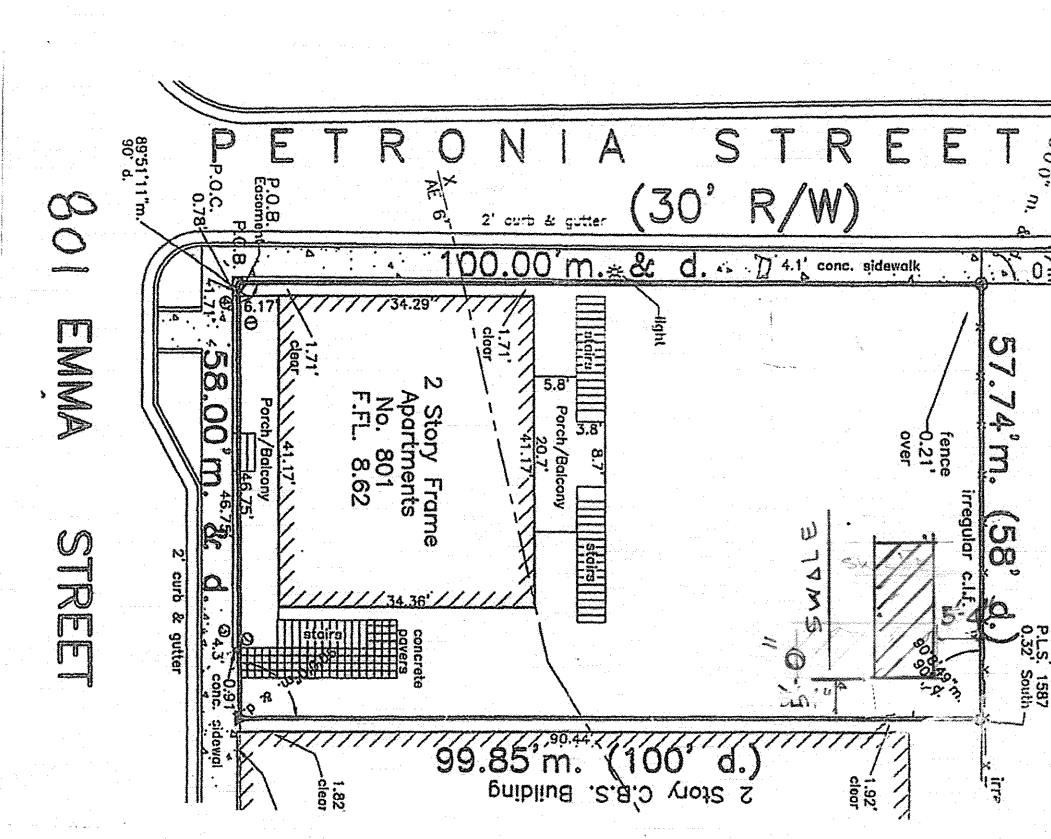
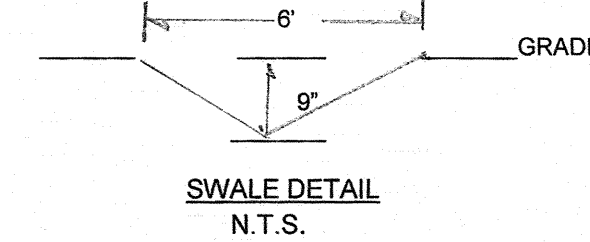
EXTERIOR OPENING STORMPROOFING

PROVIDE EXTERIOR OPENINGS TO MEET 150 MPH WINDLOAD AS PER ASCE-7-10. STORM SHUTTERS SHALL MEET OR EXCEED 2010 FLORIDA BUILDING CODE, RESIDENTIAL, AND/OR THE CITY OF KEY WEST HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC)

NOTE: THIS SITE PLAN WAS PREPARED BASED ON A SURVEY PREPARED BY: ISLAND SURVEYING INC DATED: 8-24-2006

**STORMWATER RETENTION
WATER QUALITY TREATMENT VOLUME**

Required Information:	
Total Lot Area:	5,800 sq. ft.
Total Impervious Area:	1,930 sq. ft.
Proposed Additional:	275 sq. ft.
Total:	2,205 sq. ft.
Total Impervious/Total Lot Area =	38 %
Swale Volume:	For a lot with less than 40 % impervious coverage: 275 sf @ 0.083 = 23 CF
Swale Length:	Swale: 10.25 ft @ 2.25 of per lf = 23 CF



SITE PLAN

LOCATION PLAN

SITE DATA

ZONING HNC - 3
BUILDING COVERAGE ALLOWED = 40%
LOT SIZE 5,800 S.F. X 40% = 2,320 S.F.
EXISTING BUILDING COVERAGE = 1,966 S.F.
EXISTING BUILDING COVERAGE = 34%
TOTAL PROPOSED BUILDING COVERAGE = 38%

ACCESSORY BUILDING COVERAGE ALLOWED 30% OF REAR YARD
REAR YARD 870 S.F. X 30% = 261 S.F.
PROPOSED ACCESSORY BUILDING COVERAGE = 259 S.F.
PROPOSED ACCESSORY BUILDING COVERAGE = 30%

REVISION 1:

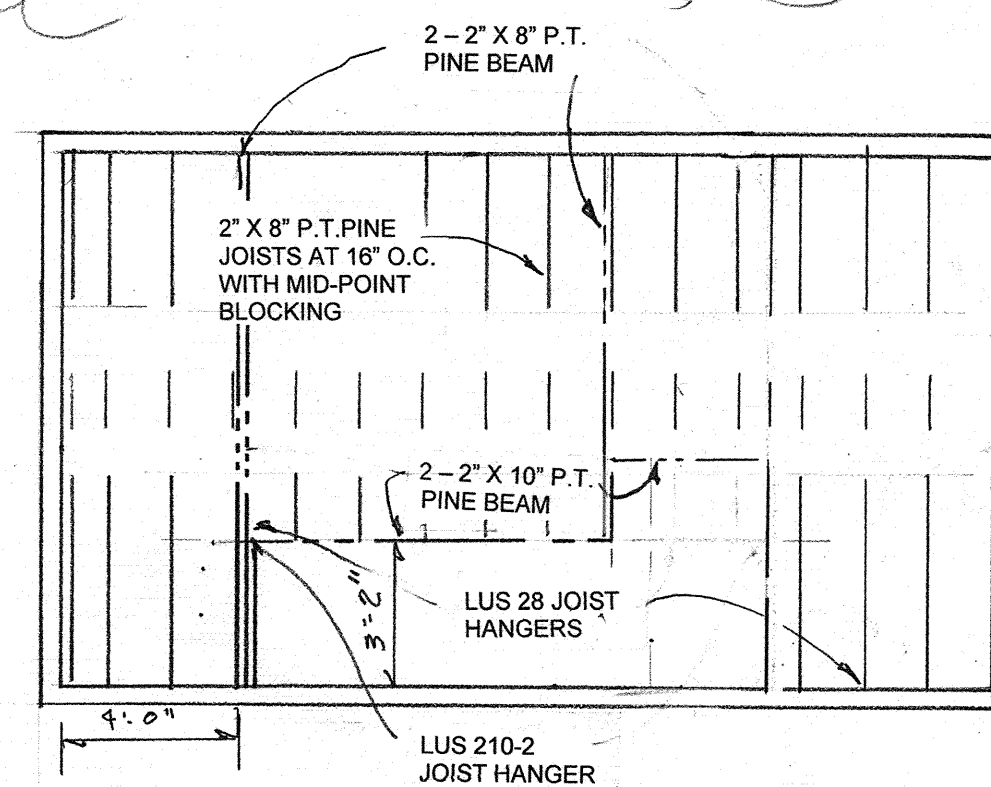
- CHANGED FLOOR PLAN
- 5'-0" CEILING AT WALL IN SECOND FLOOR
- DELETE FIRST FLOOR WINDOW
- ~~CHANGE SINGLE DOOR TO PAIR OF FRENCH DOORS~~
- DELETED SECOND FLOOR WINDOWS
- ADDED STAIR LANDING

REVISION 2:

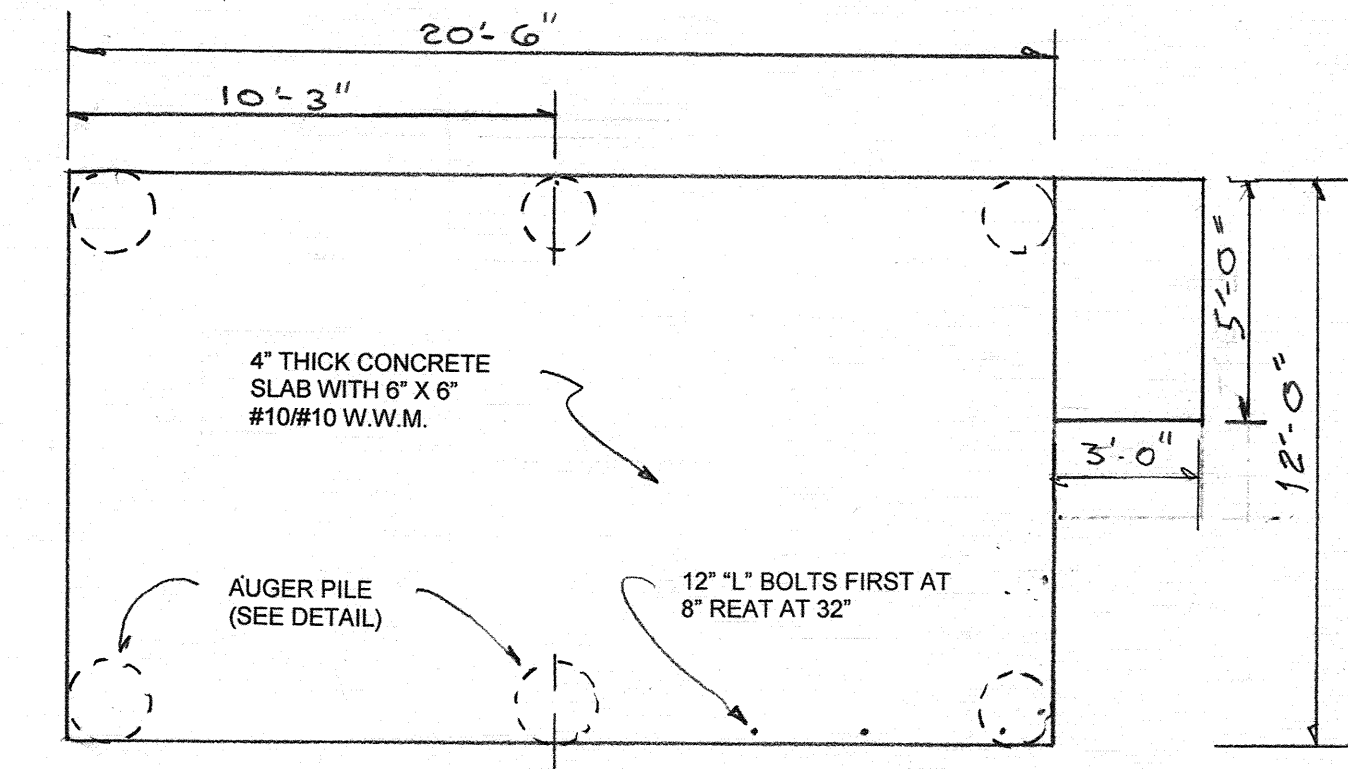
- SINGLE DOOR AND WINDOW AT FRONT ELEVATION
- PETRONIA STREET ELEVATION

ELECTRICAL LOAD CALCULATIONS

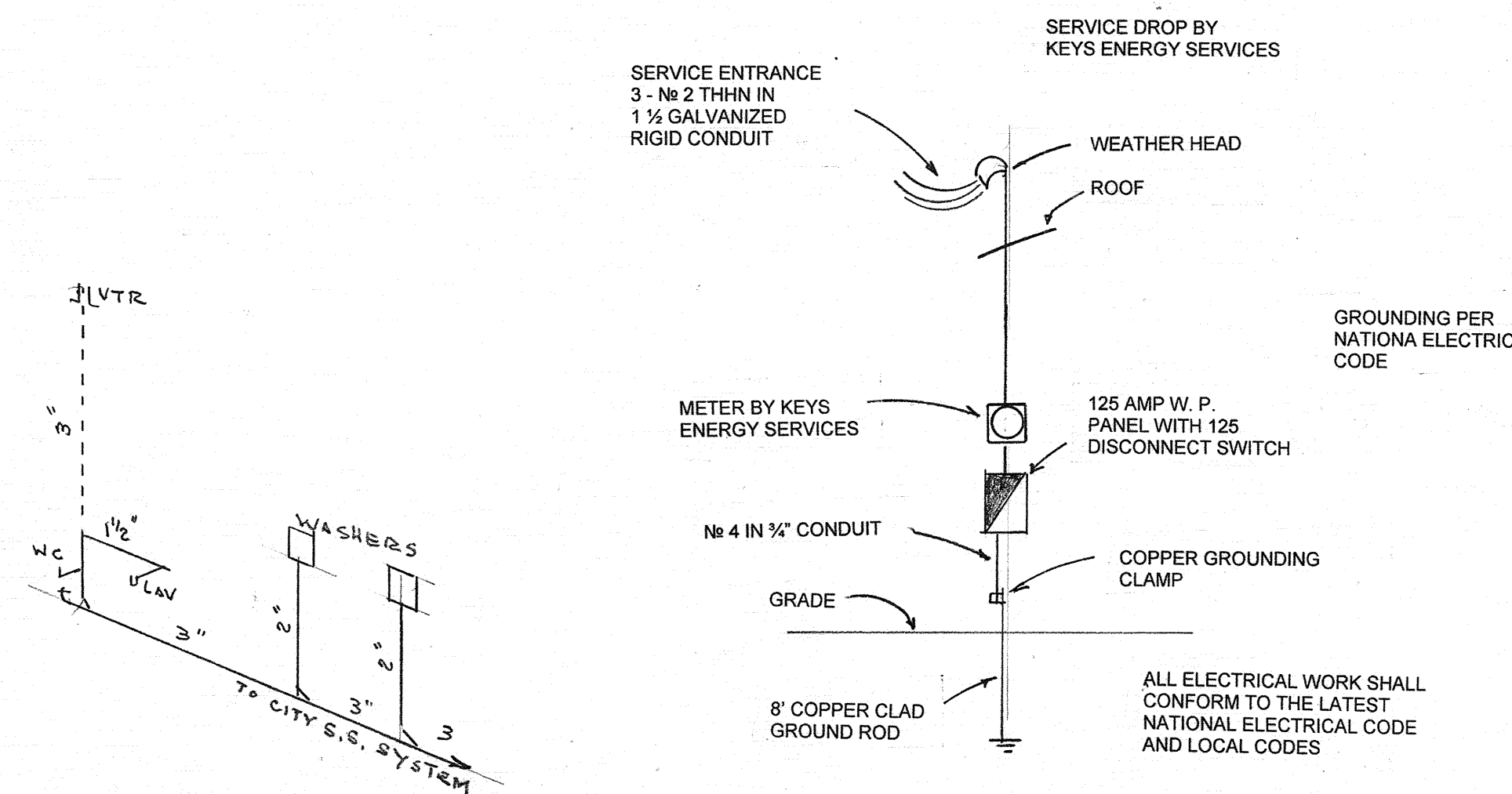
GENERAL LOAD	518 SF X 3 W/SF = 1,554 W
LAUNDRY WASHER	3 # 12 = 3,000 W
CLOTHES DRYER	3 # 10 = 10,000 W
WATER HEATER	3 # 10 = 4,500 W
SUBTOTAL = 19,054 W	
FIRST 10 KW @ 100 %	= 10,000 W
REMAINDER @ 40 %	= 3,621 W
NET COMPUTED LOAD = 22,675 W	
22,675 W ÷ 240 V = 94 AMPS	
USE 125 AMP PANEL	



SEC. FL. FRAMING PLAN
SCALE: 1/4" = 1'-0"

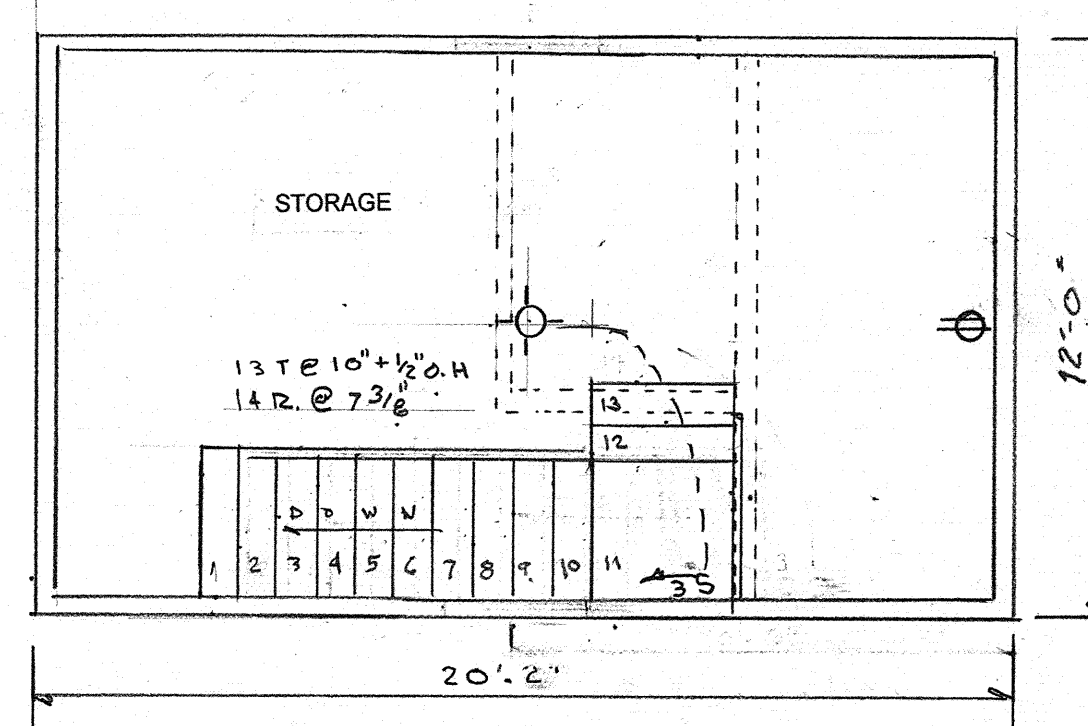


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

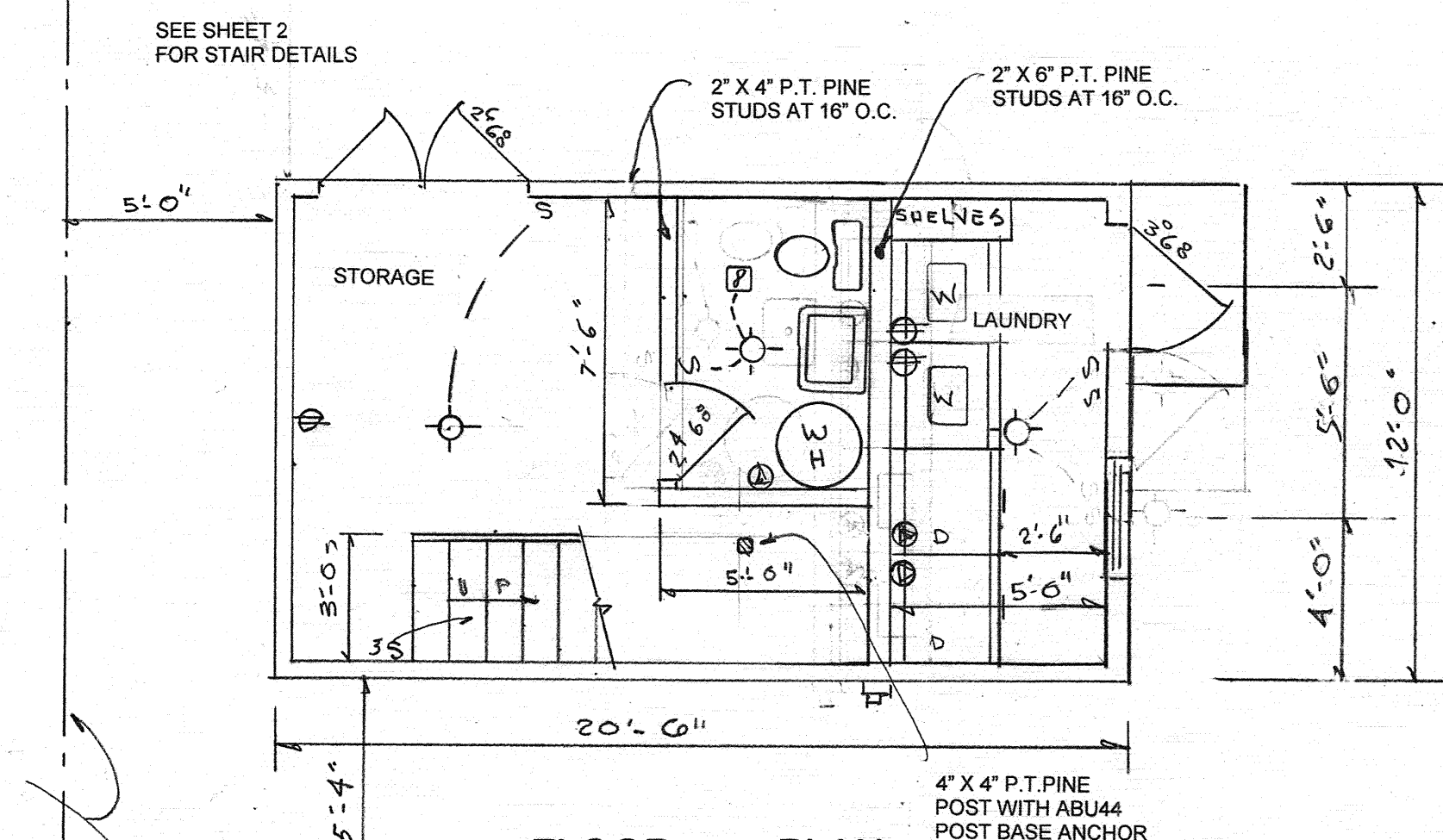


ELECTRICAL RISER
N.T.S.

PLUMBING ISOMETRIC



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	BY
REV 1	JE
5/31/15	
REV 2	JE
6/25/15	

REYNOLDS ENGINEERING SERVICES
Date: _____
James C. Reynolds, P. E. #46985
22330 Laffite Drive
Cuda Key, Florida, 33042
Phone: 305-994-5887
jim@reynoldsengeering.com

LEGAL: Key West Pl. Lots 1-5 Square 2, as shown on Page 17 of the Public Records of Monroe County, Florida
FLOOD INSURANCE RATE MAP ZONE X
Community Number 12087C Panel 1516 K
Dated February, 10 2005

LAUNDRY & STORAGE BUILDING
801 EMMA STREET
KEY WEST, FLORIDA

DRAWN	JE
CHECKED	
DATE	3/30/15
SCALE	AS SHOWN
JOB NO.	
SHEET	1
OF	3
SHEETS	

REVISIONS	BY

REYNOLDS ENGINEERING SERVICES
 Date: _____
 James C. Reynolds, P. E. #46885
 22330 Laffite Drive,
 Cudjoe Key, Florida 33042
 Phone 305 394-9587
 jim@reynoldsengeerservices.com

LEGAL: Key West Pt. Lot 1-5 Square 2, as shown on Ordinance 1E Page 7/2 of the Public Records of Monroe County, Florida
 FLOOD INSURANCE RATE MAP ZONE: X
 Community Number 12057C Panel 1516 K
 Dated February, 16 2005

LAUNDRY & STORAGE BUILDING
 801 EMMA STREET
 KEY WEST, FLORIDA

DRAWN: JE
 CHECKED: _____
 DATE: 3/30/15
 SCALE: AS SHOWN
 JOB NO.: _____
 SHEET: 2
 OF 3 SHEETS

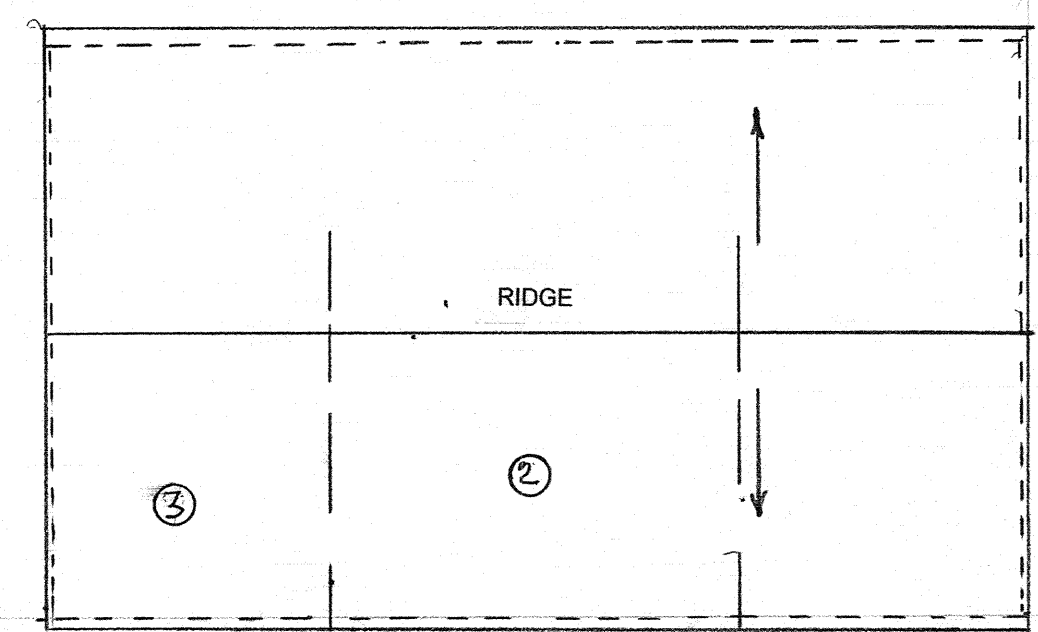
BUILDING INFORMATION	
Design Wind Speed	Nominal
Ultimate Wind Velocity (mph)	180
Nominal Wind Velocity (mph)	139.4
Exposure	C
Internal Pressure	Reduced
Height above ground (ft)	8.0
Standard Wall Height (ft)	8.0
Mean Roof Height (ft)	19.0
Building Width (ft)	12.0
Building Length (ft)	24.0
Roof Slope (ft/12)	6.0
Roof Angle (degrees)	26.57
(c) Edge Wind (ft)	3.00
End Zone (ft)	6.00
Parapet Along Roof Perimeter (ft)	6.00

Windloadcalc.com
 ASCE 7-10
 Version 7.1
 2004 - 2012 ©
 Building Permit Edition
 Wind Load Program

JOB INFORMATION	
Client	Cygnus Key West Realty, LLC
Address	881 Emma Street, Key West
Company	Reynolds Engineering Services, Inc.
Job Number	
Prepared	Jim Reynolds, PE

TOPOGRAPHIC FACTOR	
Hill Shape	Flat - No Hill
h ₁ (ft)	0.0
h ₂ (ft)	0.0
h _e (ft)	0.0
h _r (ft)	0.0
h _s (ft)	0.0

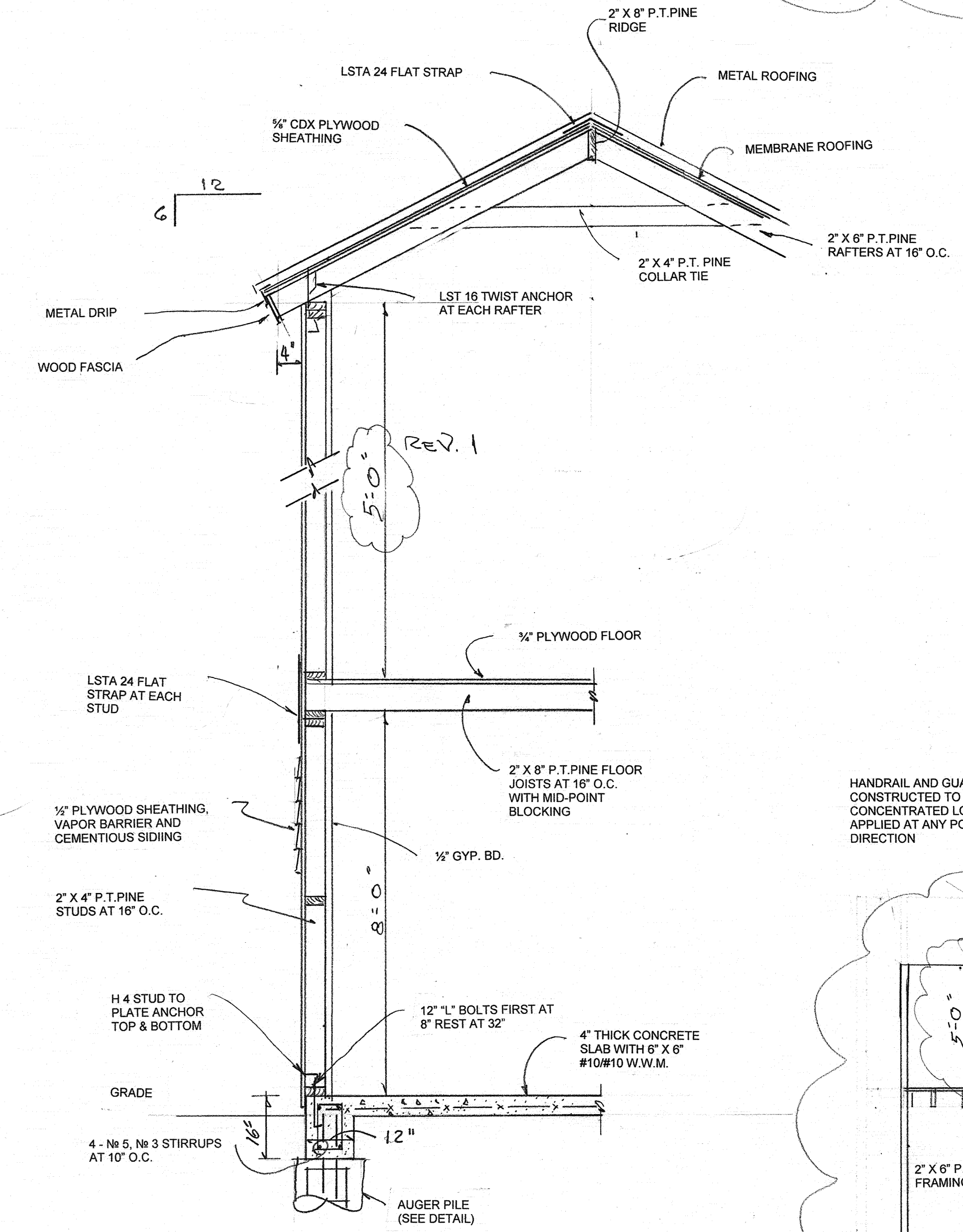
WIND LOAD DESIGN INFORMATION												
NOVA	APPLYING WIND LOAD FOR:	ZONE	OPENING ELEVATION (feet)	WIDTH (feet)	LENGTH (feet)	EFFECTIVE WIND AREA (sqft)	Nominal Wind Load Pressures		NOA Approval Number	Max Pressure Per NOA	Manufacturer	Model Number
							MAXIMUM POSITIVE PRESSURE (psf)	MAXIMUM NEGATIVE PRESSURE (psf)				
ROOF INFORMATION	Gable	2-Gable	N/A	6.0	15.0	90	18.5	-52.9				
	Gable	3-Gable	N/A	3.0	3.0	9	23.7	-104.9				
WALL INFORMATION	1st Floor Laundry Door	5	4	5.0	6.7	34	41.0	-52.6				
	1st Floor Double Doors	5	4	5.0	6.7	34	41.0	-52.6				
WIND INFORMATION	1st Floor Window	5	5	3.1	4.2	13	43.8	-58.1				
	1st Floor Double Doors	5	4	5.0	6.7	34	41.0	-52.6				



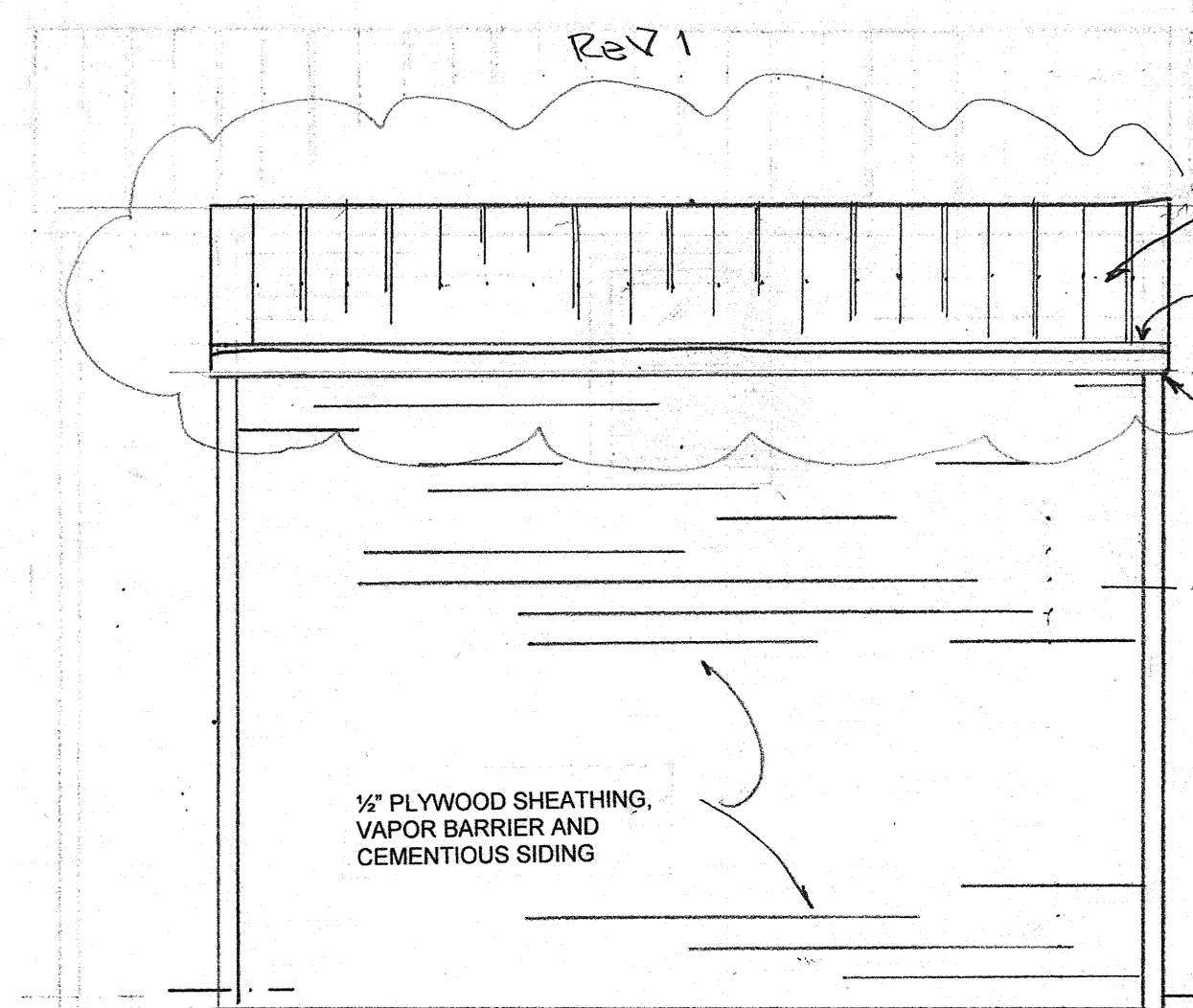
ROOF PLAN
 SCALE: 1/4" = 1' 0"

NAILING OF ROOF OR SIDING SHEATHING

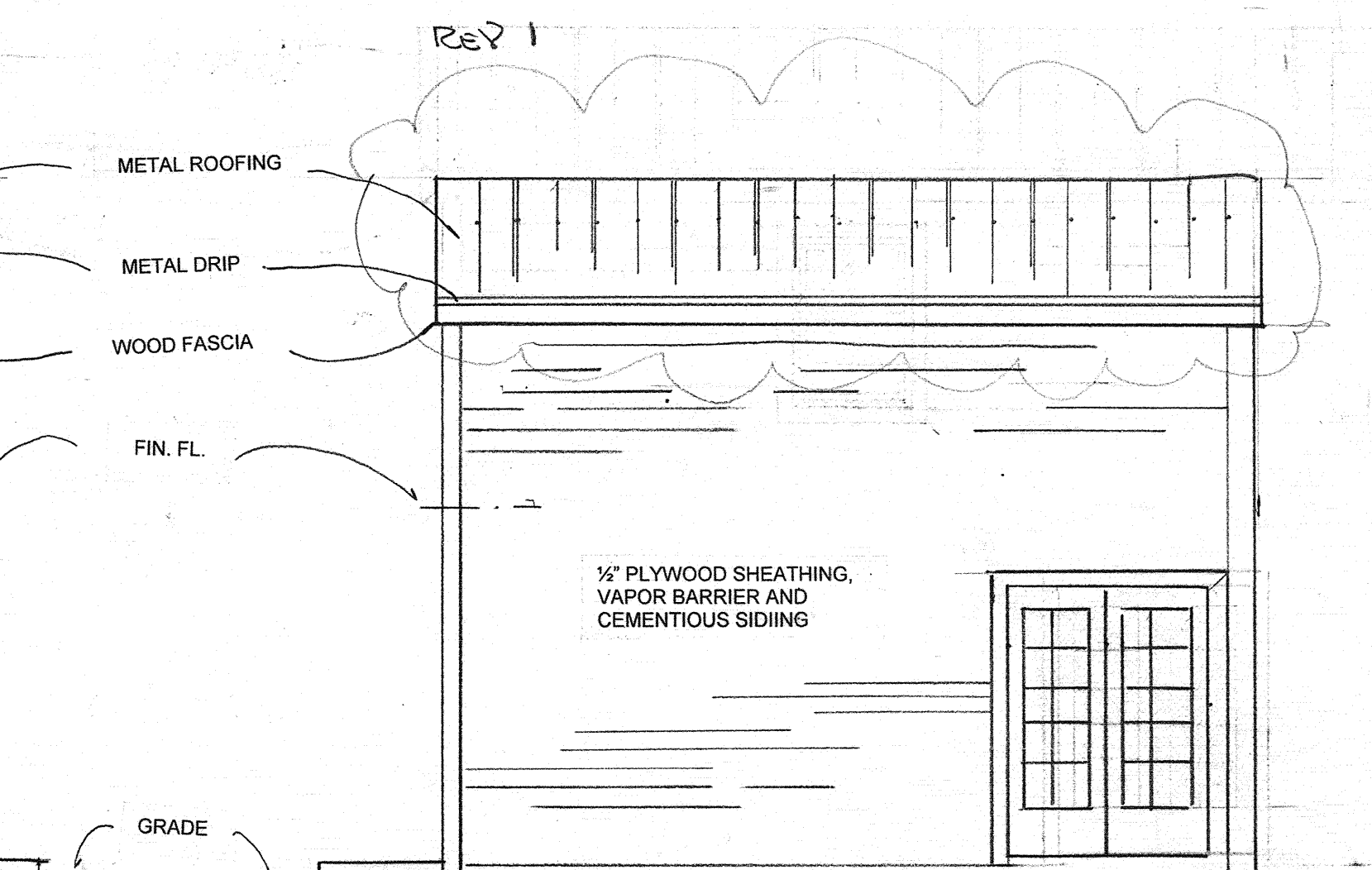
1. Sheathing shall be the thickness as indicated on the drawings but not less than 3/4" for siding sheathing and 1/2" for roof sheathing.
2. Long dimension of plywood shall be installed perpendicular to framing and end joints shall be staggered.
3. Roof sheathing shall be fastened to roof framing with 8d ring-shank nails at 4" O.C. at edges and 6" at intermediate framing except at gable end walls or gable trusses where spacing shall be 4" O.C.
4. Wall sheathing shall be fastened to wall framing with 8d nails at 6" O.C. edges, 8" O.C. interior and double row 4" O.C. along top and bottom plate.



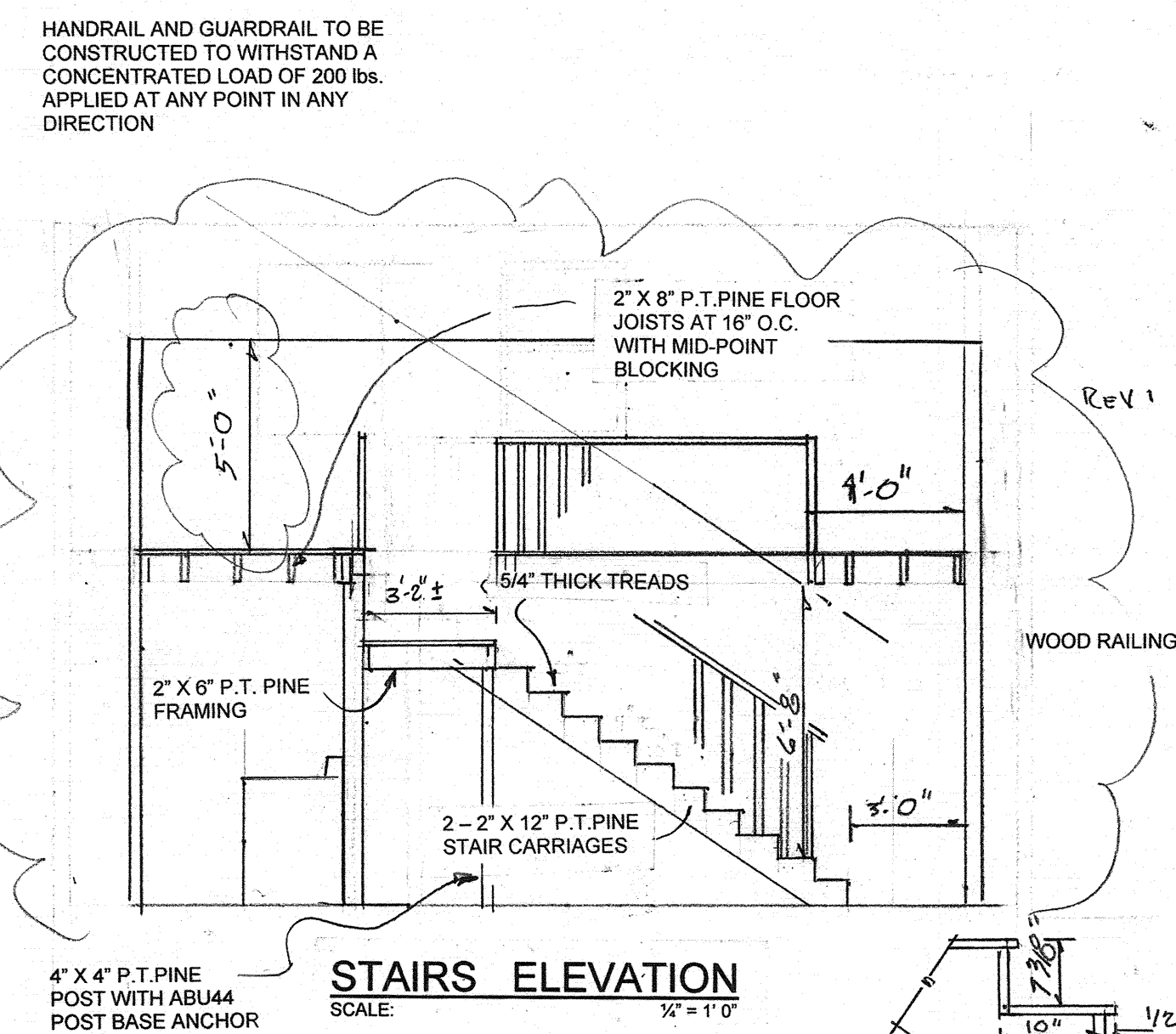
TYPICAL SECTION
 SCALE: 1/2" = 1' 0"



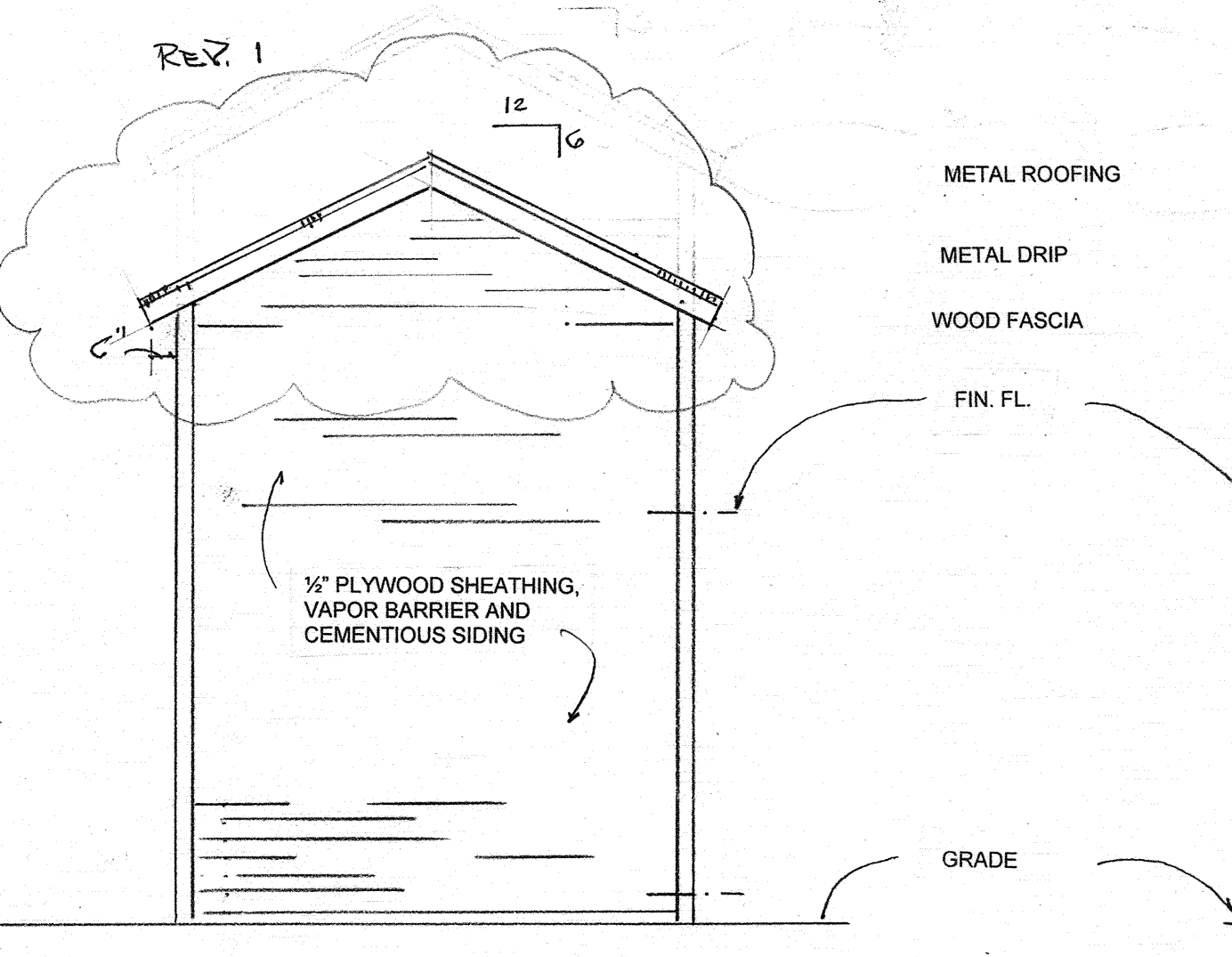
EAST ELEVATION
 SCALE: 1/4" = 1' 0"



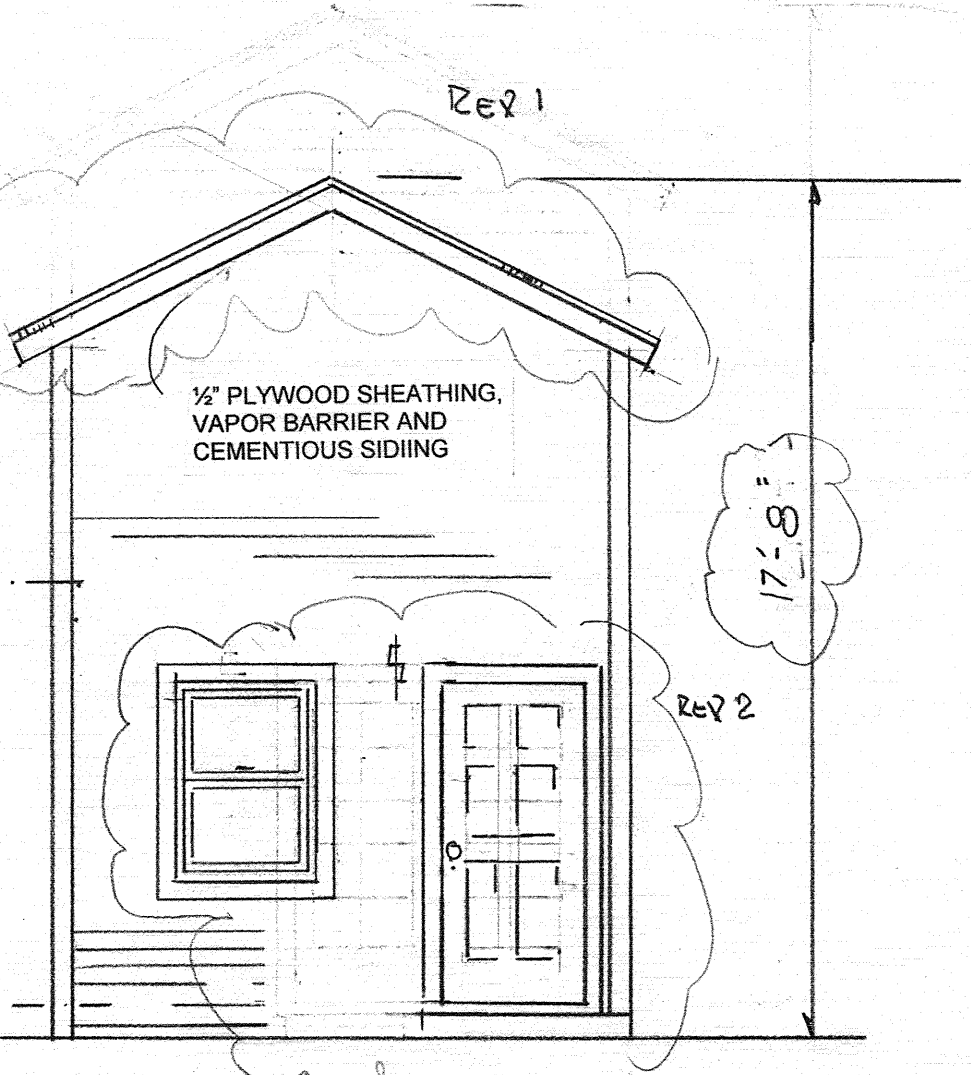
WEST ELEVATION
 SCALE: 1/4" = 1' 0"



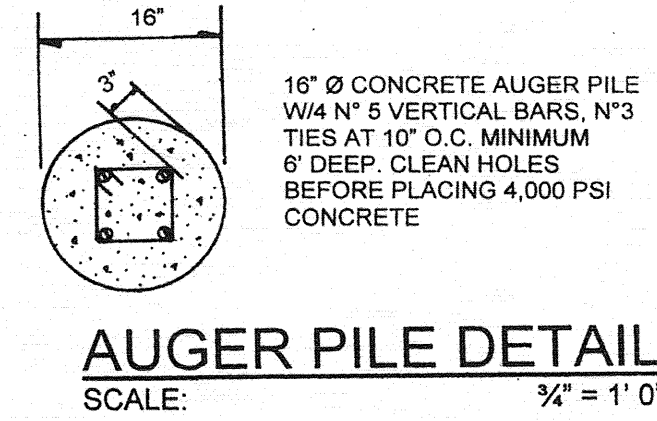
STAIRS ELEVATION
 SCALE: 1/4" = 1' 0"



SOUTH ELEVATION
 SCALE: 1/4" = 1' 0"



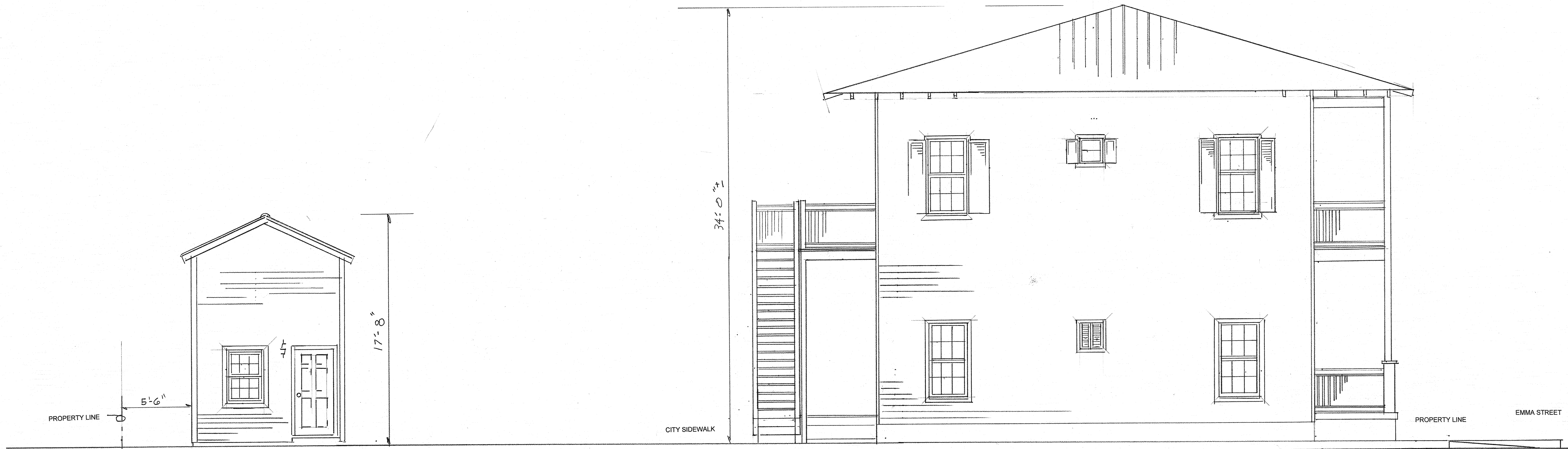
NORTH ELEVATION
 SCALE: 1/4" = 1' 0"



AUGER PILE DETAIL
 SCALE: 1/2" = 1' 0"

CTA\WJL\LINE (800) 362-1300

C:\VALUENET\6800 262-1300



PETRONIA STREET ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY

REYNOLDS ENGINEERING SERVICES

22330 Lafayette Drive,
Cudjoe Key, Florida 33042
Phone 305-394-5897
jim@reynoldsengeering.com

Date: _____
James C. Reynolds, P. E. #46685

LEGAL: Key West Pl. Lots 1 & Squares 2, as recorded in Deed Book "E", Page 72 of the Public Records of Monroe County, Florida

FLOOD INSURANCE RATE MAP ZONE X
Community Number 2007C Panel 1515 K
Dated February, 18, 2006

LAUNDRY & STORAGE BUILDING
801 EMMA STREET
KEY WEST, FLORIDA

DRAWN JF
CHECKED
DATE 6/21/15
SCALE As shown
JOB NO.
SHEET 3
OF 3 SHEETS

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., July 28, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

TWO-STORY WOOD SHED.

FOR- #801 EMMA STREET

Applicant – Castro Construction

Application #H15-01-0600

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared John Castro, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 801 Emma Street on the 21 day of July, 2015.

This legal notice(s) contained an area of at least 8.5"x11". The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on July 28, 2015.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is _____.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant: John Castro

Date: 7-21-15

Address: 2301 Seidenberg Ave.

City: Key West, FL

State, Zip: 33040

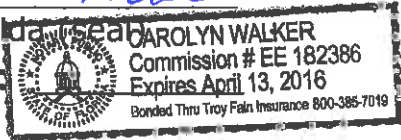
The forgoing instrument was acknowledged before me on this 21 day of July, 2015.

By (Print name of Affiant) JOHN CASTRO who is personally known to me or has produced n-g as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: CAROLYN WALKER CW
Print Name: CAROLYN WALKER

Notary Public - State of Florida
My Commission Expires



PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1015024 Parcel ID: 00014640-000000

Ownership Details

Mailing Address:

CAJUN KEY WEST REALTY LLC
444 N MAIN ST
HUBBARD, OH 44425-1421

Property Details

PC Code: 08 - MULTI FAMILY LESS THAN 10UNITS

Millage Group: 11KW

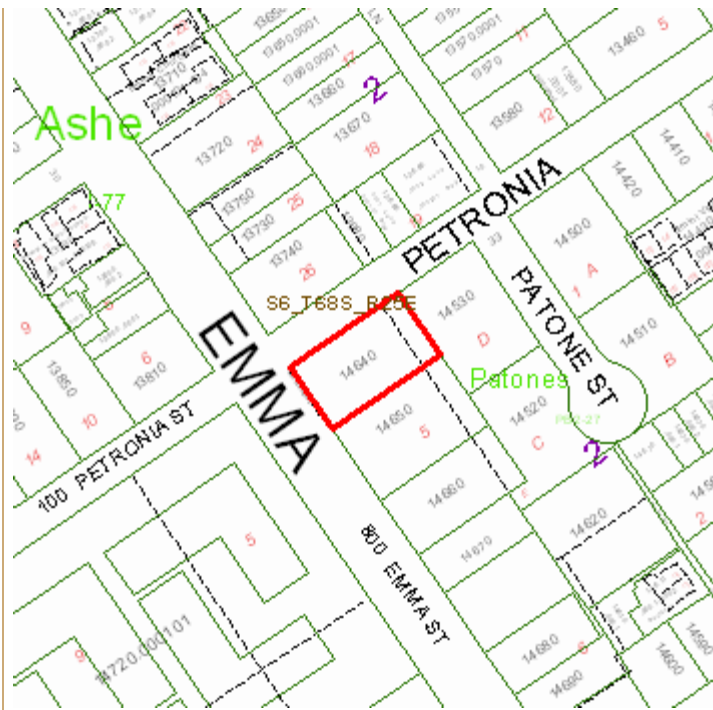
Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 801 EMMA ST KEY WEST

Legal Description: KW PT LOTS1-5 SQR2 TR3 OR282-102/03 OR285-46/47 OR373-873/74 OR1246-266/71 OR1260-910D/C OR2053-2298/300PET OR2053-2301/06WILL OR2650-1267/50C/T OR2651-1336/50 OR2668-1303/05

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	58	100	5,800.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 2788
 Year Built: 1990

Building 1 Details

Building Type R4
Effective Age 20
Year Built 1990
Functional Obs 0

Condition G
Perimeter 300
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 27
Grnd Floor Area 2,788

Inclusions: R4 includes 4 3-fixture baths and 4 kitchens.

Roof Type GABLE/HIP
Heat 1 NONE
Heat Src 1 NONE

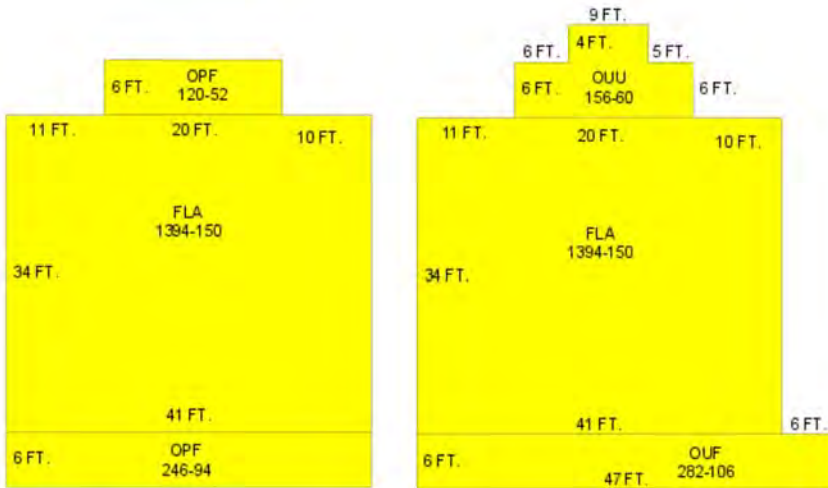
Roof Cover METAL
Heat 2 NONE
Heat Src 2 NONE

Foundation CONC BLOCK
Bedrooms 8

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	OPF		1	1990	N N	0.00	0.00	246
2	FLA	12:ABOVE AVERAGE WOOD	1	1990	N N	0.00	0.00	1,394
3	OPF		1	1990	N N	0.00	0.00	120
4	OJU		1	1990	N N	0.00	0.00	156
5	FLA	12:ABOVE AVERAGE WOOD	1	1990	N N	0.00	0.00	1,394
6	OUF		1	1990	N N	0.00	0.00	282

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
2	FN2:FENCES	40 SF	0	0	1999	2000	2	30

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
14-0286	05/22/2014	07/30/2014	6,475		REPAIRS TO SIDING & TRIM AS NEEDED APPROX 460SF
1 07-4122	09/12/2007	02/19/2008	2,000	Residential	REPAIR 3 SECTIONS OF RAILINGS,DECKING & 3 JOISTS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	268,866	74	299,263	568,203	568,203	0	568,203
2013	272,763	80	211,786	484,629	484,629	0	484,629
2012	272,763	84	211,786	484,633	484,633	0	484,633
2011	276,660	88	211,492	488,240	488,240	0	488,240
2010	280,556	94	174,954	455,604	455,604	0	455,604
2009	312,585	98	326,887	639,570	639,570	0	639,570
2008	291,954	102	527,800	819,856	819,856	0	819,856
2007	384,310	253	580,000	964,563	964,563	0	964,563
2006	512,895	257	419,050	932,202	932,202	0	932,202
2005	486,872	261	406,000	893,133	893,133	0	893,133
2004	423,645	267	290,000	713,912	713,912	0	713,912
2003	310,673	271	139,200	450,144	450,144	0	450,144
2002	323,893	275	101,500	425,668	425,668	0	425,668
2001	295,019	145	101,500	396,664	396,664	0	396,664
2000	295,019	207	69,600	364,826	364,826	0	364,826
1999	230,293	167	69,600	300,061	300,061	0	300,061
1998	189,012	132	69,600	258,744	258,744	0	258,744
1997	170,111	119	58,000	228,230	228,230	0	228,230
1996	147,609	108	58,000	205,717	205,717	0	205,717
1995	147,609	0	58,000	205,609	205,609	0	205,609
1994	132,008	0	58,000	190,008	190,008	0	190,008
1993	132,008	0	58,000	190,008	190,008	0	190,008
1992	161,050	0	58,000	219,050	219,050	0	219,050
1991	161,050	0	60,900	221,950	221,950	0	221,950
1990	8,994	0	46,400	55,394	55,394	0	55,394
1989	8,176	0	44,950	53,126	53,126	0	53,126

1988	7,596	0	33,350	40,946	40,946	0	40,946
1987	7,500	0	18,850	26,350	26,350	0	26,350
1986	38,891	0	17,400	56,291	56,291	0	56,291
1985	37,603	0	17,922	55,525	55,525	0	55,525
1984	34,759	0	17,922	52,681	52,681	0	52,681
1983	34,759	0	17,922	52,681	52,681	0	52,681
1982	35,581	0	13,978	49,559	49,559	0	49,559

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.

Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
1/22/2014	2668 / 1303	500,000	<u>WD</u>	<u>12</u>
9/25/2013	2651 / 1336	100	<u>CT</u>	<u>11</u>
9/17/2013	2650 / 1267	100	<u>CT</u>	<u>12</u>

This page has been visited 125,024 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176