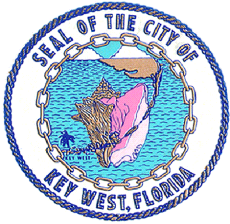


# **Application**



# Application for Development Plan & Conditional Use

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

## Development Plan & Conditional Use Application Fee schedule

(Fees listed include the \$210.00 advertising/noticing fee and the \$105.00 fire review fee)

Development Plan	
Minor:	
Within Historic District	\$ 3,150.00
Outside Historic District	\$ 2,520.00
Conditional Use	\$ 1,155.00
Extension	\$ 840.00
Major:	\$ 4,200.00
Conditional Use	\$ 1,155.00
Extension	\$ 840.00
Minor Deviation	\$ 840.00
Major Deviation	\$ 1,470.00
Conditional Use (not part of a development plan)	\$ 2,940.00
Extension (not part of a development plan)	\$ 840.00

### Applications will not be accepted unless complete

Development Plan

Major \_\_\_\_\_

Minor \_\_\_\_\_

Conditional Use

XX \_\_\_\_\_

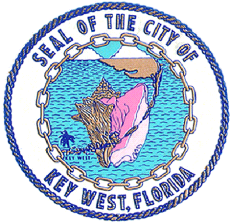
Historic District

Yes XX \_\_\_\_\_

No \_\_\_\_\_

Please print or type:

- 1) Site Address: 500 Whitehead Street
- 2) Name of Applicant: Monroe County Board of County Commissioners
- 3) Applicant is:  
Property Owner: \_\_\_\_\_  
Authorized Representative: XX  
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: Monroe County Public Works & Engineering - Rob Tudor  
1100 Simonton, St Suite 2-216, Key West FL 33040
- 5) Applicant's Phone #: 305-850-8124 Email: Tudor-Rob@monroecounty-FL.gov
- 6) **Email Address:** Tudor-Rob@monroecounty-fl.gov
- 7) Name of Owner, if different than above: Monroe County Board of County Commissioners
- 8) Address of Owner: 500 Whitehead Street
- 9) Owner Phone #: 305-850-8124 Email: tudor-rob@monroecounty-FL.gov



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Property ID 1010341

10) Zoning District of Parcel: HPS RE# Parcel ID 00010060-000000

11) Is Subject Property located within the Historic District? Yes XX No \_\_\_\_\_

If Yes: Date of approval Staff Approval via email, 4/14/21, Kathleen McDonald

HARC approval # Staff approval.

OR: Date of meeting \_\_\_\_\_

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Change use of existing 5000 s.f. historic 1910 Jail building into new Jail Museum.

13) Has subject Property received any variance(s)? Yes \_\_\_\_\_ No XX

If Yes: Date of approval \_\_\_\_\_ Resolution # \_\_\_\_\_

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes \_\_\_\_\_ No XX

If Yes, describe and attach relevant documents.

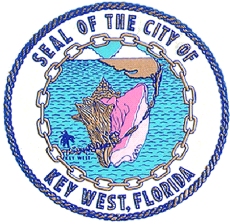
A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

**Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.**



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## Required Plans and Related Materials for both a Conditional Use and Minor/Major Development Plan

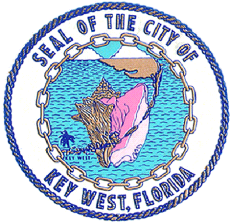
### I. Existing Conditions.

- A) Recent Survey of the site by a licensed Surveyor (Survey must be within 10 years from submittal date of this application) showing all dimensions including distances from property lines, and including:
- 1) Size of site;
  - 2) Buildings, structures, and parking;
  - 3) FEMA Flood Zone;
  - 4) Topography;
  - 5) Easements; and
  - 6) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
- B) Existing size, type and location of trees, hedges, and other features.
- C) Existing stormwater retention areas and drainage flows.
- D) A sketch showing adjacent land uses, buildings, and driveways.

### II. Proposed Development: Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.

- A) Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.
- 1) Buildings
  - 2) Setbacks
  - 3) Parking:
    - a. Number, location and size of automobile and bicycle spaces
    - b. Handicapped spaces
    - c. Curbs or wheel stops around landscaping
    - d. Type of pavement
  - 4) Driveway dimensions and material
  - 5) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
  - 6) Location of garbage and recycling
  - 7) Signs
  - 8) Lighting
  - 8) Project Statistics:
    - a. Zoning
    - b. Size of site
    - c. Number of units (or units and Licenses)
    - d. If non-residential, floor area & proposed floor area ratio
    - e. Consumption area of restaurants & bars
    - f. Open space area and open space ratio
    - g. Impermeable surface area and impermeable surface ratio
    - h. Number of automobile and bicycle spaces required and proposed
- B) Building Elevations
- 1) Drawings of all building from every direction. If the project is in the Historic District please submit HARC approved site plans.
  - 2) Height of building.
  - 3) Finished floor elevations and bottom of first horizontal structure
  - 4) Height of existing and proposed grades
- C) Drainage Plan: Existing & Proposed retention areas and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms.
- D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations.





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- III. **Solutions Statement.** Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking.

## Development Plan Submission Materials

### Sec. 108-226. Scope.

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements, information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties;
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

### Sec. 108-227. Title block.

The development plan shall contain the following pertaining to the title block:

- (1) Name of development.
- (2) Name of owner/developer.
- (3) Scale.
- (4) North arrow.
- (5) Preparation and revision date.
- (6) Location/street address of development.

### Sec. 108-228. Identification of key persons.

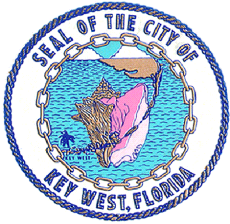
The development plan shall contain the following pertaining to identification of key persons:

- (1) Owner.
- (2) Owner's authorized agent.
- (3) Engineer and architect.
- (4) Surveyor.
- (5) Landscape architect and/or environmental consultant.
- (6) Others involved in the application.
- (7) A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.

### Sec. 108-229. Project description.

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description:

- (1) Zoning (include any special districts).
- (2) Project site size (acreage and/or square footage).
- (3) Legal description.
- (4) Building size.
- (5) Floor area ratio permitted and proposed.
- (6) Lot coverage permitted and proposed.
- (7) Impervious surface.
- (8) Pervious surface.
- (9) Landscape areas.



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- (10) Parking spaces permitted and proposed.
- (11) Delineation of location of existing and proposed structures.
- (12) Existing and proposed development type denoted by land use including density/intensity.
- (13) Setbacks.

## **Sec. 108-230. Other project information.**

A general outline of the proposed development shall include the following criteria where applicable:

- (1) Proposed stages or phases of development or operation and facility utilization.
- (2) Target dates for each phase.
- (3) Expected date of completion.
- (4) Proposed development plan for the site.
- (5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospital beds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses).
- (6) For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site.
- (7) Buildings and sitting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations.
- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas.

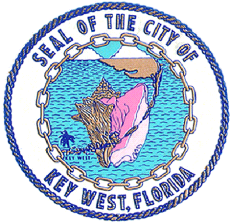
## **Sec. 108-231. Residential developments.**

- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:
  - (1) A breakdown of the proposed residential units by number of bedrooms;
  - (2) Tenure (i.e., owner-occupied or rental); and
  - (3) Structure type, such as single-family, duplex, multiple-family, mobile home.
- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

## **Sec. 108-232. Intergovernmental coordination.**

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:
  - a. South Florida Regional Planning Council (SFRPC).
  - b. City electric system (CES).
  - c. State department of environmental protection (DEP).
  - d. Army Corps of Engineers (ACOE).
  - e. South Florida Water Management District (SFWMD).
  - f. State department of transportation (DOT).
  - g. State department of community affairs (DCA).
  - h. Florida Keys Aqueduct Authority (FKAA).
  - i. State fish and wildlife conservation commission (F&GC).
  - j. The county.
- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land.
- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.



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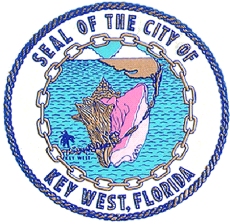
## CONDITIONAL USE CRITERIA

### Sec. 122-61. Purpose and intent.

The purpose of this article is to ensure that a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity. This article sets forth provisions and criteria for consideration of conditional uses on specific sites. Conditional uses shall be permitted only upon a finding that the proposed use satisfies this article.

### Sec. 122-62. Specific criteria for approval.

- (a) Findings. A conditional use shall be permitted upon a finding by the planning board that the proposed use, application and, if applicable, development plan comply with the criteria specified in this section, including specific conditions established by the planning board and or the city commission during review of the respective application in order to ensure compliance with the comprehensive plan and land development regulations. If the proposed conditional use is a major development pursuant to sections 108-165 and 108-166, the city commission shall render the final determination pursuant to section 122-63. A conditional use shall be denied if the city determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public's interest. An application for a conditional use shall describe how the specific land use characteristics proposed meet the criteria described in subsection (c) of this section and shall include a description of any measures proposed to mitigate against possible adverse impacts of the proposed conditional use on properties in the immediate vicinity.
- (b) Characteristics of use described. The following characteristics of a proposed conditional use shall be clearly described as part of the conditional use application:
- (1) Scale and intensity of the proposed conditional use as measured by the following:
    - a. Floor area ratio;
    - b. Traffic generation;
    - c. Square feet of enclosed building for each specific use;
    - d. Proposed employment;
    - e. Proposed number and type of service vehicles; and
    - f. Off-street parking needs.
  - (2) On- or off-site improvement needs generated by the proposed conditional use and not identified on the list in subsection (b)(1) of this section including the following:
    - a. Utilities;
    - b. Public facilities, especially any improvements required to ensure compliance with concurrency management as provided in chapter 94;
    - c. Roadway or signalization improvements, or other similar improvements;
    - d. Accessory structures or facilities; and
    - e. Other unique facilities/structures proposed as part of site improvements.
  - (3) On-site amenities proposed to enhance site and planned improvements. Amenities including mitigative techniques such as:
    - a. Open space;
    - b. Setbacks from adjacent properties;
    - c. Screening and buffers;
    - d. Landscaped berms proposed to mitigate against adverse impacts to adjacent sites; and
    - e. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts.

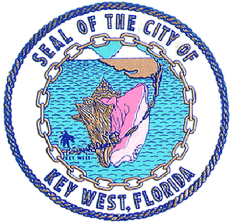


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- (c) Criteria for conditional use review and approval. Applications for a conditional use shall clearly demonstrate the following:
- (1) Land use compatibility. The applicant shall demonstrate that the conditional use, including its proposed scale and intensity, traffic-generating characteristics, and off-site impacts are compatible and harmonious with adjacent land use and will not adversely impact land use activities in the immediate vicinity.
  - (2) Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use. The size and shape of the site, the proposed access and internal circulation, and the urban design enhancements must be adequate to accommodate the proposed scale and intensity of the conditional use requested. The site shall be of sufficient size to accommodate urban design amenities such as screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure (i.e., refer to chapter 94 to ensure concurrency management requirements are met) and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.
  - (3) Proper use of mitigative techniques. The applicant shall demonstrate that the conditional use and site plan have been designed to incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.
  - (4) Hazardous waste. The proposed use shall not generate hazardous waste or require use of hazardous materials in its operation without use of city-approved mitigative techniques designed to prevent any adverse impact to the general health, safety and welfare. The plan shall provide for appropriate identification of hazardous waste and hazardous material and shall regulate its use, storage and transfer consistent with best management principles and practices. No use which generates hazardous waste or uses hazardous materials shall be located in the city unless the specific location is consistent with the comprehensive plan and land development regulations and does not adversely impact wellfields, aquifer recharge areas, or other conservation resources.
  - (5) Compliance with applicable laws and ordinances. A conditional use application shall demonstrate compliance with all applicable federal, state, county, and city laws and ordinances. Where permits are required from governmental agencies other than the city, these permits shall be obtained as a condition of approval. The city may affix other conditions to any approval of a conditional use in order to protect the public health, safety, and welfare.
  - (6) Additional criteria applicable to specific land uses. Applicants for conditional use approval shall demonstrate that the proposed conditional use satisfies the following specific criteria designed to ensure against potential adverse impacts which may be associated with the proposed land use:
    - a. Land uses within a conservation area. Land uses in conservation areas shall be reviewed with emphasis on compliance with section 108-1 and articles III, IV, V, VII and VIII of chapter 110 pertaining to environmental protection, especially compliance with criteria, including land use compatibility and mitigative measures related to wetland preservation, coastal resource impact analysis and shoreline protection, protection of marine life and fisheries, protection of flora and fauna, and floodplain protection. The size, scale and design of structures located within a conservation area shall be restricted in order to prevent and/or minimize adverse impacts on natural resources. Similarly, public uses should only be approved within a wetland or coastal high hazard area V zone when alternative upland locations are not feasible on an upland site outside the V zone.



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- b. Residential development. Residential development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting setbacks, lot coverage, height, mass of building, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles III, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, internal circulation, and off-street parking; as well as possible required mitigative measures such as landscaping and site design amenities.
- c. Commercial or mixed-use development. Commercial or mixed use development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting floor area ratio, setbacks, lot coverage, height, mass of buildings, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles I, II, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, pedestrian access and circulation; internal vehicular circulation together with access and egress to the site, and off-street parking; as well as possible required mitigative measures such as landscaping, buffering, and other site design amenities. Where commercial or mixed use development is proposed as a conditional use adjacent to U.S. 1, the development shall be required to provide mitigative measures to avoid potential adverse impacts to traffic flow along the U.S. 1 corridor, including but not limited to restrictions on access from and egress to U.S. 1, providing for signalization, acceleration and deceleration lanes, and/or other appropriate mitigative measures.
- d. Development within or adjacent to historic district. All development proposed as a conditional use within or adjacent to the historic district shall be reviewed based on applicable criteria stated in this section for residential, commercial, or mixed use development and shall also comply with appearance and design guidelines for historic structures and contributing structures and/or shall be required to provide special mitigative site and structural appearance and design attributes or amenities that reinforce the appearance, historic attributes, and amenities of structures within the historic district.
- e. Public facilities or institutional development. Public facilities or other institutional development proposed as a conditional use shall be reviewed based on land use compatibility and design criteria established for commercial and mixed-use development. In addition, the city shall analyze the proposed site location and design attributes relative to other available sites and the comparative merits of the proposed site, considering professionally accepted principles and standards for the design and location of similar community facilities and public infrastructure. The city shall also consider compliance with relevant comprehensive plan assessments of community facility and infrastructure needs and location impacts relative to service area deficiencies or improvement needs.
- f. Commercial structures, uses and related activities within tidal waters. The criteria for commercial structures, uses and related activities within tidal waters are as provided in section 122-1186.
- g. Adult entertainment establishments. The criteria for adult entertainment establishments are as provided in division 12 of article V of this chapter.

Monroe County Historic Jail Museum  
Code Check  
12 December 2019

Existing Building Area:	1 <sup>st</sup> Floor	2,495 s.f.
	2 <sup>nd</sup> Floor	2,495 s.f.
Total		4,990 s.f.

Existing Building Height: 28'.

FBC E Denotes 2017 Florida Building Code, Existing Building.

FBC B Denotes Florida Building Code, Building.

Code Section

FBC E 505 The proposed work area exceeds 50% - This is a level 3 alteration. All FBC-E Chapter 9 requirements shall apply.

FBC E 506 The existing occupancy is B-Business (office and record storage). The New occupancy will be Assembly A-3 (museum). Due to this change in occupancy, the building must comply with FBC-Existing, Chapter 10.

FBC E 1203.1 The Building is a contributing structure within the National Register Historic District. Per 1203.1, the historic preservation goal of this code shall be to minimize damage to and loss of historic structures, their unique characteristics and their contents as follows:

1. Maintain and preserve original space configurations of historic buildings.
2. Minimize alteration, destruction or loss of historic fabric or design.

FBC E 1203.2 Historic Preservation Objectives:

1. Preservation of the original qualities or character of a building, structure, site or environment shall be encouraged.
2. Removal or alteration of any historic material or distinctive architectural features shall be minimized.
3. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity.
4. A compatible use for a property that requires minimal alteration of the building, structure or site and its environment shall be encouraged.
5. New additions or alterations shall be designed and constructed in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired to the greatest degree possible.
6. Repairs, alterations, restorations, changes of occupancy, additions and relocations shall be guided by the recommended approaches in rehabilitation set forth in the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Appendix B).



FBC E 1205.1 Strict compliance: Historic structures or portions of such structures that do not strictly comply with this code shall be considered to be in compliance if it can be shown to the satisfaction of the building code official that equivalent protection has been provided or that no hazard will be created or continued through noncompliance.

FBC E 1004.1 The Fire Protection requirements of FBC-Existing, Section 1012 apply. (Due to Change of occupancy).

FBC E 1005.1 Because of change of Occupancy, Means of egress shall comply with FBC-E Section 1012.

FBC E 1006.1 Because of change in occupancy, the building must comply with FBC, Accessibility. The building must be completely accessible.

**A VERTICAL LIFT OR ELEVATOR IS REQUIRED TO ACCESS THE SECOND FLOOR.**

FBC E 1012.4 Means of egress is changing from B-Business to a higher hazard category=3 (Assembly).

FBC E 1012.4.1 Due to the Occupancy change, the building must comply with Chapter 10 of FBC-Building.

Exception 2 & 3: Existing stairways complying with Chapter 9 may remain.

Exception 7: Window with minimum opening height of 22"H x 20"W shall be accepted as emergency escape/rescue opening.

FBC B 303.4 The building will be used as a museum. New occupancy shall be Assembly, A-3.

FBC E 1012.4.3 Egress capacity shall meet the occupant load requirements for A-3 as specified in FBC-Building.

FBC E 903.1 Existing stairways that are part of means of egress shall be enclosed in accordance with FBC-E 803.2.1.

FBC E 803.2.1 All existing vertical openings shall be enclosed with 1 hour fire rated opening protectives.

Exception 1: Where not required by FBC, Building. Not applicable. It's required by FBC-B 1023.2.

Exception 4: In Group A occupancies, a minimum 30 minute enclosure shall protect all vertical openings not exceeding 3 stories.

**HISTORIC STAIRWELL REQUIRES A 30 MINUTE FIRE RATING.**

FBC E 1012.5.1 Heights and areas of existing building must comply with FBC-Building, Chapter 5.

FBC B 506.2.3 Allowable area of building:

$$A_a = [A_i + (NS \times I_p)] \times S_a$$

SM= 2 story, sprinklered

$$A_a = [18,000 + (6,000 + 0)] \times 1$$

Allowable area of building = 24,000 s.f. OK. (Existing building area is 5,000 s.f.)

FBC 504.3 Allowable building height in feet above grade plane:  
Occupancy A3, Type 5-B, non-sprinklered. Building height must be 40' or less. (existing building height=28' high. OK.)

FBC-B 504.4 Allowable number of stories above grade: Type 5-B construction, sprinklered, A-3,  
=2 stories allowable. OK

FBC E 1012.6 Table 1012.6: Exposure of exterior walls hazard categories:  
Occupancy B to A = no change in hazard category. Per FBC E 1012.6.2, Existing exterior walls, including openings, shall be accepted. No additional opening protectives are required.

FBC 1004.1.2 Occupancy Loads:  
Table 1004.1.2 Assembly – Exhibit gallery and museum: 30 net  
1<sup>st</sup> Floor: 44 occupants  
2<sup>nd</sup> Floor: 49 occupants  
Total: 93 occupants

FBC B Table 1006.2.1 In spaces with one exit or exit access doorway:  
Occupancy A, 49 persons maximum allowed per room/space  
Maximum common path of egress travel:  
Without sprinklers: 75'  
With sprinklers: 75'

FBC B 1006.3.2 Single exits:  
A single exit shall be permitted from any story when one of the following conditions exists:  
(1) The occupant load, number of dwelling units and common path of egress travel distance do not exceed the values in Table 1006.3.2(2).

Table 1006.3.2(2) Stories with one exit or access to one exit:  
First story above grade plane, Assembly occupancy, Maximum Occupant load 49, Max common egress travel distance: 75'.

**ONE EXIT IS PERMITTED FROM THE SECOND FLOOR, AS LONG AS THE OCCUPANT LOAD IS 49 PERSON OR FEWER. THE EXIT WILL BE 30 MIN FIRE RATED PER FBC E 803.2.1.**

**IF MORE THAN 49 PERSONS ARE DESIRED ON THE SECOND FLOOR, AN ADDITIONAL EXIT STAIR WILL BE REQUIRED. SEE LIFE SAFETY PLAN.**



FBC 1017 Exit Access travel distance:

Table 1017.2 Maximum exit access travel distance, Occupancy Assembly:  
Unsprinklered: 200' max.  
Sprinklered: 250' max. OK.

FBC Plumbing,  
Table 403.1 Plumbing fixtures:

# of Occupants: 46 male  
47 female  
93 total

A-2 Occupancy Plumbing Fixture requirements:

Male WC:	1 per 125. 1 male WC required
Female WC:	1 per 65. 1 female WC required
Lavatories:	1 per 200. 1 male, 1 female required
Drinking fountain:	1 per 500. 1 DF required
Service sink:	1 required.

### **Sprinkler Systems:**

FBC B 903.2.1.3 An automatic sprinkler system shall be provided for fire areas containing Group A-3 Occupancies where provide sprinklers where one of the following exists:

1. The Fire area exceeds 12,000 s.f. – No
2. Fire area has occupant load of 300 or more – No
3. The fire area is located on a floor other than a level of exit discharge serving such occupancies – Yes

**PER FBC B 903.2.1.3, THE BUILDING REQUIRES AN AUTOMATIC SPRINKLER SYSTEM.**

FBC E 804.2.2 In buildings with (Group A) work areas that have exits or corridors shared by more than 1 tenant or that have exits or corridors serving an occupant load greater than 30 shall be provided with an automatic sprinkler system

**PER FBC EXISTING 804.2.2, THE BUILDING REQUIRES AN AUTOMATIC SPRINKLER SYSTEM.**

FBC E 805 Means of egress:

FBC E 805.3.1 Means of egress must comply with FBC-BUILDING egress requirements.

FBC E 805.3.1.1 Single exit buildings:

Only one exit is required from buildings and spaces of the following occupancies:

1. In Group A,B,E,F,M,U and S occupancies, a single exit is permitted at the level of exit discharge when the occupant load of the story does not exceed 50 and the exit access travel distance does not exceed 75 feet. \*Occupant load of 1<sup>st</sup> floor = 44, Exit access travel distance = 60' OK

**ONE EXIT IS REQUIRED FROM THE FIRST FLOOR. WE ARE PROVIDING THREE.**

FBC Table 601	Fire Rating:	
	Structural frame:	0 hours
	Bearing walls interior:	0 hours
	Bearing walls exterior:	0 hours
	Non-bearing walls interior:	0 hours
	Non-bearing walls exterior:	0 hours
	Floor construction:	0 hours
	Roof construction:	0 hours

# County of Monroe

## The Florida Keys



### BOARD OF COUNTY COMMISSIONERS

Mayor Heather Carruthers, District 3  
Mayor Pro Tem Michelle Coldiron, District 2  
Craig Cates, District 1  
David Rice, District 4  
Sylvia J. Murphy, District 5

Monroe County  
Board of County Commissioners  
Office of the County Administrator  
The Historic Gato Cigar Factory  
1100 Simonton Street, Suite 205  
Key West, FL 33040  
(305) 292-4441 – Phone  
(305) 292-4544 - Fax

### MEMORANDUM

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**TO:** Monroe County Building Officials  
Building Official of the City of Key West  
Building Official of the City of Marathon  
Building Official of the City of Key Colony Beach  
Building Official of the City of Layton  
Building Official of Islamorada, Village of Islands

**FROM:** Sheryl Graham, Acting County Administrator for  
Roman Gastesi, County Administrator

**DATE:** August 7, 2020

**SUBJECT:** Permit Signing Authority

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The following County Employees are authorized to sign building permit applications for County projects within the jurisdiction of the municipalities within Monroe County, as well as in Monroe County:

Commissioner Heather Carruthers, District 3  
Commissioner Michelle Coldiron, District 2  
Commissioner David Rice, District 4  
Commissioner Sylvia Murphy, District 5  
Commissioner Craig Cates, District 1  
Roman Gastesi, County Administrator  
Christine Hurley, Assistant County Administrator  
Kevin G. Wilson, Assistant County Administrator  
Suzi Rubio, Executive Administrator  
Alan MacEachern, IT Department Head  
Cynthia McPherson, Code Compliance Department Head  
Judy Clarke, P.E., Engineering Department Head  
Willie DeSantis, Facilities Maintenance Department Head  
Cary Knight, Project Management Department Head  
Dan Bensley, Director, Corrections Facilities  
Cheryl Sullivan, Solid Waste Department Head  
Richard Strickland, Airport Director  
Clark Briggs, Engineering Services Department  
Debra London, Engineering Services Department  
Tyler Jackson, Engineering Services Department

Matthew Howard, Project Management Department  
Michael DeAngelis, Project Management Department  
Jordan Salinger, Project Management Department  
Cary Vick, Project Management Department  
Rob Tudor, Project Management Department  
Tom Henry, Project Management Department  
Raj Ramsingh, Project Management Department  
Steven Sanders, Project Management Department  
Marty Slavik, Roads & Bridges – Lower Keys  
John Glista, Roads & Bridges - Upper Keys  
John Null, Public Works - Middle Keys  
Robert Glassmer, Public Works - Upper Keys  
Tyler Bethel, Airport Facilities Manager  
Beth Leto, Airport Business Manager  
Mike Rice, CFO Monroe County Sheriff's Office  
Sheriff Rick Ramsay, MCSO for Radio and structural engineering projects pertaining to operation, maintenance and loading of towers and emergency communication equipment.  
Laura White, Director Emergency Communications, MCSO for Radio and structural engineering projects pertaining to operation, maintenance and loading of towers and emergency communication equipment.

# **Verification Form**

**City of Key West  
Planning Department**



**Verification Form**  
*(Where Applicant is an entity)*

I, Rob Tudor, in my capacity as Project Manager  
*(print name) (print position; president, managing member)*

of Monroe County Board of County Commissioners  
*(print name of entity)*

Being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

400 Whitehead Street, Key West, Florida 33040  
*Street address of subject property*

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

**Rob Tudor**  
Digitally signed by Rob Tudor  
Date: 2021.06.21 11:51:47  
+0400

*Signature of Applicant*

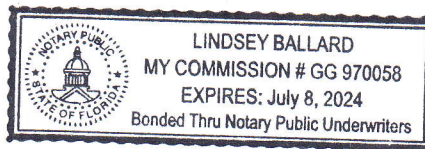
Subscribed and sworn to (or affirmed) before me on this June 25th, 2021 by  
*date*

Rob Tudor  
*Name of Applicant*

She is personally known to me or has presented \_\_\_\_\_ as identification.

LBallard  
*Notary's Signature and Seal*

Lindsey Ballard  
*Name of Acknowledger typed, printed or stamped*



GG 970058  
*Commission Number, if any*

# **Authorization Form**

**City of Key West  
Planning Department**



**Authorization Form**  
*(Where Owner is a Business Entity)*

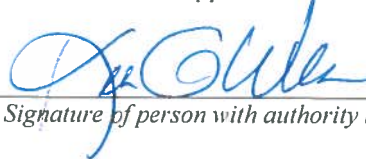
Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Kevin Wilson \_\_\_\_\_ as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Assistant County Administrator of Monroe County Board of County Commissioners  
*Name of office (President, Managing Member) Name of owner from deed*

authorize Rob Tudor \_\_\_\_\_  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

  
\_\_\_\_\_  
*Signature of person with authority to execute documents on behalf of entity owner*

Subscribed and sworn to (or affirmed) before me on this 22 June 2021  
*Date*

by Kevin G. Wilson \_\_\_\_\_  
*Name of person with authority to execute documents on behalf of entity owner*

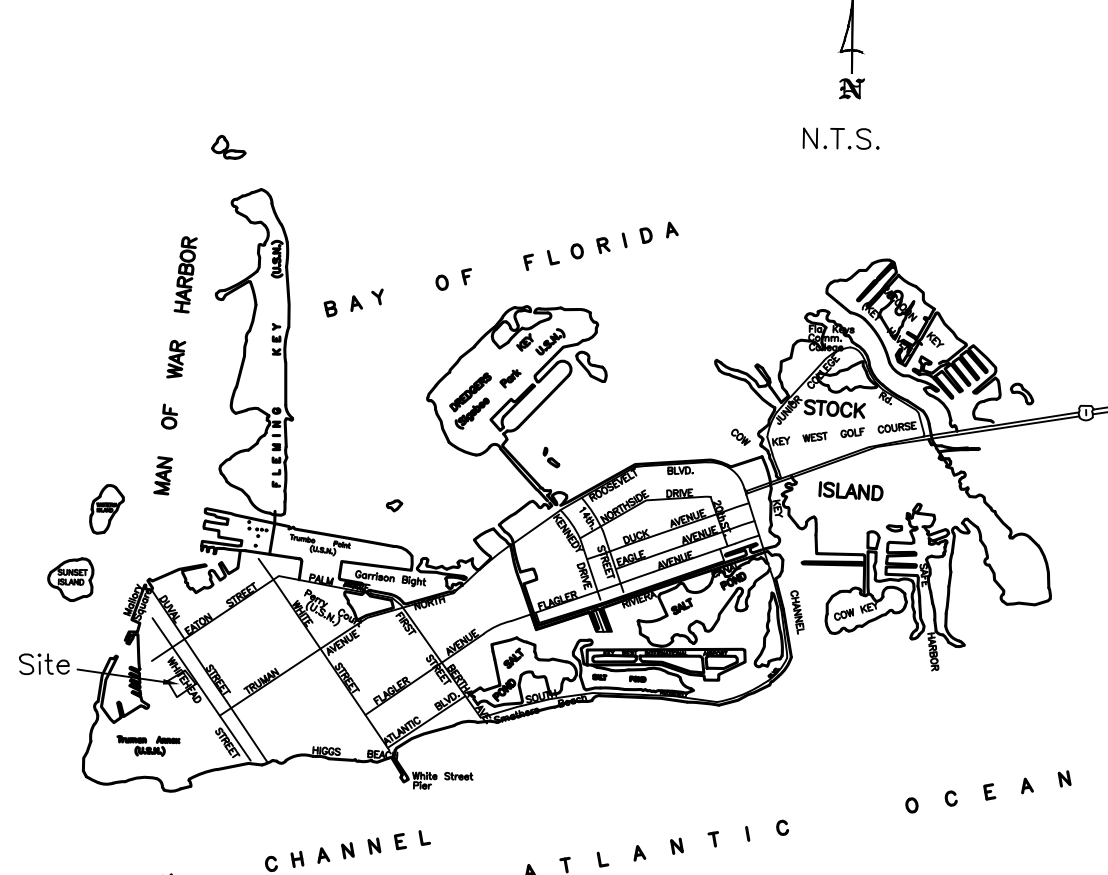
He/She is personally known to me or has presented \_\_\_\_\_ as identification.

  
\_\_\_\_\_  
*Notary's Signature and Seal*

*Name of Notary Public, typed, printed or stamped*  
**BRENDY RIGBY**  
**MY COMMISSION # GG 245771**  
**EXPIRES: September 5, 2022**  
**Bonded Thru Notary Public Underwriters**  
*Commission Number, if any*



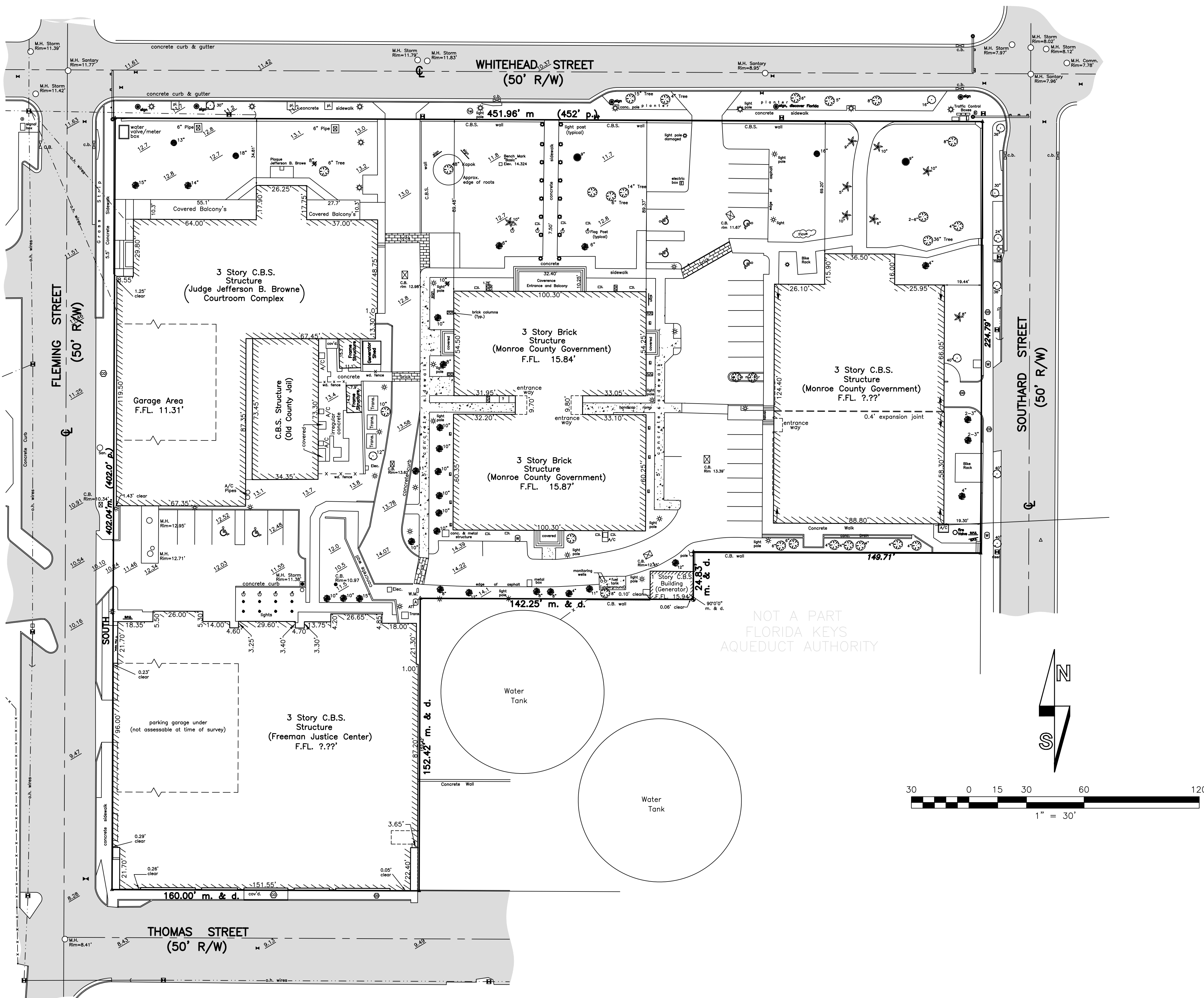
# **Boundary Survey**



**LOCATION MAP**

City of Key West & Stock Island

LEGAL DESCRIPTION\*  
A portion of Jackson Square, according to William A. Whiteheads map, delineated February, 1829, Key West, Monroe County, Florida.



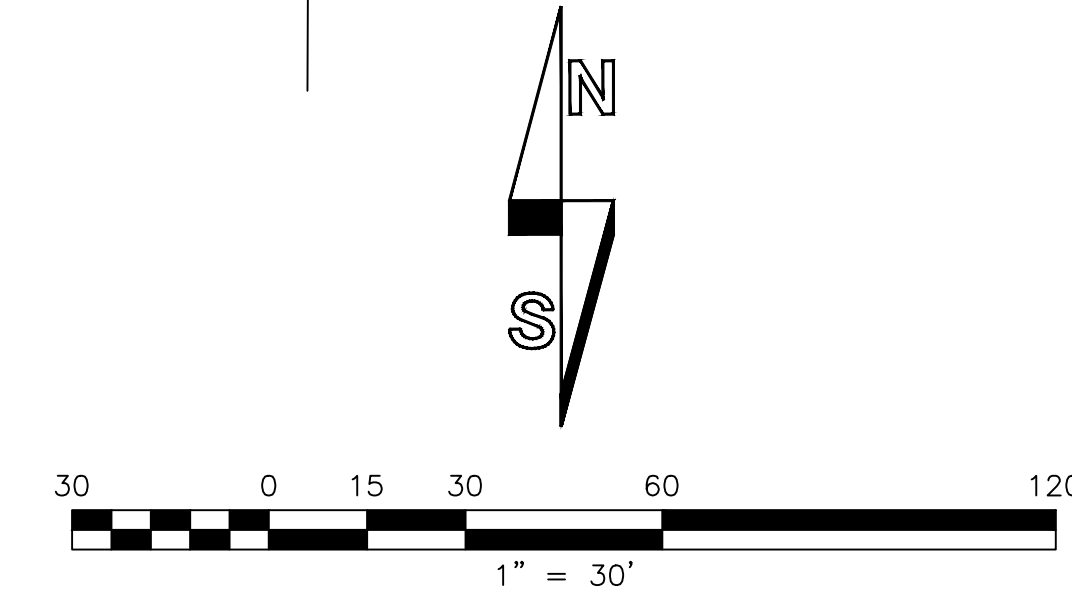
- MONUMENTATION:**
- ▲ = FPK
  - △ = SPK, P.L.S. No. 2749
  - = FIB/FIP
  - ⊙ = SIB, 1/2"

All angles are 90° unless noted

**CERTIFICATION:**  
I HEREBY CERTIFY that the attached Boundary/Topographical is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT  
Professional Land Surveyor & Mapper No. 2749  
Professional Engineer No. 36810  
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



**ISLAND SURVEYING INC.**  
ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive  
Suite 201  
Key West, Fl. 33040

(305) 293-0466  
Fax. (305) 293-0237  
fhildeb1@bellsouth.net  
L.B. No. 7700

**BOUNDARY SURVEY**

Scale 1" = 30'	Reference	Drawing Number
Date: 5/22/17	225-09	18-175
Drawn By D.R.F.		Flood Panel No. 1379K
Checked By F.H.H.		Flood Zone X

**JACKSON SQUARE  
MONROE COUNTY COURT HOUSE**

PROJECT NUMBER: -018-175  
500 WHITEHEAD STREET  
KEY WEST, FL 33040

**LEGEND**

A/C	Air Conditioner	IRR	Irregular	UP	Utility Pole
BAL	Balcony	LB	Licensed Business	WM	Water Meter
BM	Bench Mark			WV	Water Valve
CB	Catch Basin	M	Measured		
C.B.S.	Concrete Block Stucco	N.T.S.	Not To Scale		
CL	Center Line	O.R.	Official Records		
CO	Clean Out	OH	Over Head		
CONC	Concrete	P	Plat		
COV'D	Covered	PB	Plat Book		
CUP	Concrete Utility Pole	P.O.B.	Point Of Beginning		
D	Dead	P.O.C.	Point Of Commence		
ELEV	Elevation	RPZ	Reduced Pressure Zone		
F.F.L.	Finished Floor Elevation	R/W	Right Of Way		
FD	Found	SIB	Set Iron Bar		
FIB	Found Iron Bar	SIP	Set Iron Pipe		
FPK	Found Nail & Disc	SPK	Set Nail And Disc		
INV	Invert	STY	Story		

**SYMBOLS**

☒	Concrete Utility Pole	⊙	Sanitary Sewer Clean Out	⊙	Water Meter
⊙	Fire Hydrant	⊙	Street Light	⊙	Wood Utility Pole
●	Grade Light	⊙	Metal Utility Pole		
⊙	Electric Box				

**REVISIONS  
DESCRIPTION**

DATE	DESCRIPTION	BY:

fred\drawings\keywest\jacksonsquare

**Ukg' Rnc p**



# MONROE COUNTY HISTORIC JAIL

## PHASE 2 - MUSEUM BUILDOUT

### SCHEMATIC DESIGN/DESIGN DEVELOPMENT

#### 500 WHITEHEAD STREET KEY WEST, FLORIDA

#### MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

<p><b>AERIAL PHOTO</b></p>	<p><b>SITE MAP - KEY WEST</b></p> <p style="text-align: center;"><b>SITE LOCATION</b> 500 WHITEHEAD ST. KEY WEST, FLORIDA</p>	<p><b>PROJECT DIRECTORY</b></p> <p>PROJECT: MONROE COUNTY HISTORIC JAIL PHASE 2 - MUSEUM BUILDOUT MAILING ADDRESS: MONROE COUNTY COURTHOUSE 500 WHITEHEAD STREET KEY WEST, FL 33040</p> <p>LEGAL DESCRIPTION: KM PT JACKSON SQ MONROE CO COURT HOUSE 659-220/22 OR287-557/59</p> <p>ARCHITECT'S PROJECT No.: 1835J</p> <p>OWNER: MONROE COUNTY BOARD OF COUNTY COMMISSIONERS Address: 1100 SIMPSON ST. KEY WEST, FL 33040 Tel: 305-292-4468 Fax: 305-295-4321 Representative: ROB TUDOR</p> <p>ARCHITECT: BENDER &amp; ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 296-1347 Fax: (305) 296-2727 E-mail: dsalay@benderarchitects.com Project Manager: David Salay (Principal-in-Charge) Project Architect: David Salay</p> <p>ENGINEERING CONSULTANTS: STRUCTURAL: ATLANTIC ENGINEERING, INC. (AES) Address: 2027 University Boulevard, North, Jacksonville, FL 32211 Tel: (904) 743-4633 Fax: (904) 744-6985 Representative: Jude Kostage, P.E.,</p> <p>MEP: HNGS ENGINEERS Address: 10250 SW 56th Street Suite B-201, Miami, FL 33165 Tel: 305-270-9935 Fax: 305-270-2286 E-mail: hngs@hngsengineers.com Representative: Enrique J. Suarez, Jr., P.E.</p> <p>MONROE COUNTY COURTHOUSE LOGISTICS NOTES: 1. The historic 1892 Monroe County jail building is a State and Locally recognized historic structure. As such, contractor shall coordinate with the Building Owner regarding placement and temporary storage of supplies and construction materials.</p> <p>PROJECT NOTE: THE HISTORIC MONROE COUNTY JAIL IS SITUATED IN JACKSON SQUARE. DIRECTLY ADJACENT TO THE AREA OF WORK IS A FUNCTIONAL OFFICE BUILDING AND COURTHOUSE. THE AREA IS OPEN 7 DAYS A WEEK. THE OFFICES AND COURTHOUSE IN THE ADJACENT BUILDINGS SHALL REMAIN OPEN WHILE CONSTRUCTION WORK IS TAKING PLACE. CONTRACTOR SHALL PERFORM WORK WITH THIS IN MIND, USING ALL APPLICABLE SAFETY AND OSHA STANDARDS AS REQUIRED TO MAINTAIN A SAFE ENVIRONMENT BOTH IN THE WORK AREA AND ON THE ENTIRE PROPERTY. CONTRACTOR SHALL COORDINATE WITH THE BUILDING STAFF AS REQUIRED FOR DELIVERIES, PARKING AREAS, GROUND STAGING AREAS, ETC.</p>	<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include: FLORIDA BUILDING CODE - Building 6th Edition - 2017 FLORIDA BUILDING CODE - Existing 6th Edition - 2017 FLORIDA BUILDING CODE - Residential 6th Edition - 2017 FLORIDA BUILDING CODE - Plumbing 6th Edition - 2017 FLORIDA BUILDING CODE - Fuel Gas 6th Edition - 2017 FLORIDA BUILDING CODE - Mechanical 6th Edition - 2017 NATIONAL ELECTRICAL CODE 2014 EDITION NFPA 101 LIFE SAFETY CODE w/ Florida Modifications 2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION NFPA 1 2006 EDITION This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (3 second gusts).</li> <li>Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</li> <li>Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</li> <li>Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</li> <li>Dimensions shall take precedence over scale.</li> <li>All new utilities shall be underground.</li> <li>Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</li> <li>After completion of construction remove all debris and construction equipment. Restore site to original condition.</li> <li>Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</li> <li>Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</li> <li>Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</li> </ol> <p>61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.03, Amended 11-21-94, 4-18-00</p>																																																																																																																																																
<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>BLKG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BLR</td><td>BUILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CER</td><td>CERAMIC</td><td>PL</td><td>PROPERTY LINE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>PNL</td><td>PANEL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>PT</td><td>CCA PRESSURE TREATED POINT</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>PT</td><td>POINT</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr> <tr><td>DIAG</td><td>DIAGONAL</td><td>R</td><td>RADIUS (OR) RISER</td></tr> <tr><td>DS</td><td>DOWNSPOUT</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DTL</td><td>DETAIL</td><td>REBAR</td><td>STEEL REINF. BAR</td></tr> <tr><td>DNR</td><td>DRAINER</td><td>REFR.</td><td>REFRIGERATOR</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>ELEC</td><td>ELECTRIC</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>T</td><td>TYPICAL</td></tr> <tr><td>EXH</td><td>EXHAUST</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>FV</td><td>FIELD VERIFY</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>GALV</td><td>GALVANIZED</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>GI</td><td>GALVANIZED IRON</td><td>WD</td><td>WOOD</td></tr> <tr><td>HORZ</td><td>HORIZONTAL</td><td>WNF</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HDW</td><td>HARDWARE</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING &amp; AIR CONDITIONING</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr> <tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr> <tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr> <tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr> </table>	AB	ANCHOR BOLT	MIN	MINIMUM	ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE	A/C	AIR CONDITIONING	OA	OVERALL	BLKG	BLOCKING	OC	ON CENTER	BLR	BUILT UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CER	CERAMIC	PL	PROPERTY LINE	CL	CENTER LINE	PLAM	PLASTIC LAMINATE	CLG	CEILING	PLF	POUNDS PER LINEAL FOOT	CMU	CONCRETE MASONRY UNIT	PNL	PANEL	COL	COLUMN	PT	CCA PRESSURE TREATED POINT	CONC	CONCRETE	PT	POINT	DBL	DOUBLE	PVC	POLYVINYLCHLORIDE	DIAG	DIAGONAL	R	RADIUS (OR) RISER	DS	DOWNSPOUT	R/A	RETURN AIR	DTL	DETAIL	REBAR	STEEL REINF. BAR	DNR	DRAINER	REFR.	REFRIGERATOR	EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)	EL	ELEVATION	SS	STAINLESS STEEL	ELEC	ELECTRIC	SPEC	SPECIFICATION	EQ	EQUAL	T	TYPICAL	EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE	FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE	GALV	GALVANIZED	VERT	VERTICAL	GI	GALVANIZED IRON	WD	WOOD	HORZ	HORIZONTAL	WNF	WELDED WIRE FABRIC	HDW	HARDWARE	WH	WATER HEATER	HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT	FOC	FACE OF CONCRETE			FOS	FACE OF STUD			FIN	FINISH			FE	FIRE EXTINGUISHER			FND	FOUNDATION			FTG	FOOTING			ID	INSIDE DIAMETER			MAX	MAXIMUM			<p><b>SYMBOLS LEGEND</b></p> <p><b>NORTH ARROWS</b></p> <p>FLOOR PLANS, ETC. (THROUGHOUT DWGS.)      SITE PLANS (ONCE ONLY)</p> <p><b>BUILDING SECTION</b> LETTER FOR SECT. DESIGNATION (A)      SHEET WHERE SECTION IS SHOWN (6)</p> <p><b>WALL SECTION</b> LETTER FOR SECT. DESIGNATION (B)      SHEET WHERE SECTION IS SHOWN (6)</p> <p><b>CUT DETAIL INDICATOR</b> NUMBER FOR DETAIL DESIGNATION (1)      SHEET WHERE DETAIL IS SHOWN (2)</p> <p><b>BLOWN-UP DETAIL INDICATOR</b> NUMBER FOR DETAIL DESIGNATION (1)      SHEET WHERE DETAIL IS SHOWN (2) (PERTAINS TO DETAIL PLAN INDICATOR ON SMALLER SCALE PLAN)</p> <p><b>SECTION &amp; DETAIL DRWG. TITLES</b> DWG. # ON SHEET      CROSS SECTION DWG. TITLE      REFERENCE SHEET      DRAWING SCALE (1/4"=1'-0")</p> <p><b>WALL ELEVATION INDICATOR</b> POCHE ONLY WHERE ELEVATIONS ARE INDICATED</p> <p><b>ROOM NUMBER INDICATOR</b> FIRST # INDICATES FLOOR (206)      (SHOWN BESIDE OR UNDER ROOM NAME)</p> <p><b>DOOR OPENING INDICATOR</b> NUMBERS (23)      LETTERS (A)      (EACH OPENING SCHEDULED SEPARATELY)</p> <p><b>WINDOW INDICATOR</b> LETTERS (E)      (EACH WINDOW TYPE &amp; SIZE SCHEDULED)</p> <p><b>PARTITION/WALL TYPE INDICATOR</b> (COMMERCIAL &amp; INSTITUTIONAL PROJECTS)</p>	<p><b>MATERIAL DESIGNATIONS</b></p> <ul style="list-style-type: none"> <li>CONCRETE MASONRY UNITS IN PLAN</li> <li>CONC., STUCCO, PLASTER IN ELEV./POURED CONC. IN PLAN</li> <li>METAL IN ELEVATION</li> <li>METAL IN SECTION</li> <li>FINISH WOOD IN ELEV. &amp; IN SECTION</li> <li>DIMENSION LUMBER IN SECTION (CONTINUOUS)</li> <li>WOOD BLOCKING IN SECTION (DISCONTINUOUS)</li> <li>GYPSSUM WALL BOARD IN SECTION (LARGE SCALE)</li> <li>EARTH, NATURAL SUBSTRATE</li> <li>GRAVEL, AGGREGATE BASE COURSE, FILL</li> <li>FIBERGLASS BATT INSULATION</li> <li>RIGID INSULATION</li> </ul> <p><b>PARTITIONS &amp; WALLS</b></p> <ul style="list-style-type: none"> <li>CONCRETE MASONRY UNITS</li> <li>POURED CONCRETE</li> <li>WOOD FRAME</li> <li>METAL STUDS</li> <li>EXISTING CONSTRUCTION TO REMAIN</li> <li>EXISTING CONSTRUCTION TO BE DEMOLISHED</li> </ul>	<p><b>SHEET INDEX</b></p> <p><b>ARCHITECTURAL</b></p> <p>A0.0 SITE LOCATION MAP, SHEET INDEX, SURVEY, LOT / ZONING INFORMATION, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND</p> <p>A0.1 PROPOSED SITE PLAN</p> <p>D1.1 1ST FLOOR DEMOLITION PLAN</p> <p>D1.2 2ND FLOOR DEMOLITION PLAN</p> <p>A1.1 1ST FLOOR PLAN</p> <p>A1.2 2ND FLOOR PLAN</p> <p>A2.1 DEMOLITION EXTERIOR ELEVATIONS</p> <p>A2.2 DEMOLITION EXTERIOR ELEVATIONS</p> <p>A3.1 BUILDING SECTIONS</p> <p>AB.1 PHOTOGRAPHIC DETAILS</p> <p>AB.2 PHOTO DETAILS</p> <p><b>NOTE:</b> ASBESTOS, LEAD BASED PAINT AND MOLD ABATEMENT IN THIS BUILDING WAS COMPLETED IN A PREVIOUS PHASE.</p> <p><b>DESCRIPTION OF WORK:</b> RENOVATE EXISTING HISTORIC BUILDING INTO NEW JAIL MUSEUM, INCLUDING ALL ASSOCIATED SITENWORK, EXTERIOR IMPROVEMENTS, ADA IMPROVEMENTS, AND NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SPRINKLER SYSTEMS.</p>
AB	ANCHOR BOLT	MIN	MINIMUM																																																																																																																																																
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE																																																																																																																																																
A/C	AIR CONDITIONING	OA	OVERALL																																																																																																																																																
BLKG	BLOCKING	OC	ON CENTER																																																																																																																																																
BLR	BUILT UP ROOF	OD	OUTSIDE DIAMETER																																																																																																																																																
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT																																																																																																																																																
CER	CERAMIC	PL	PROPERTY LINE																																																																																																																																																
CL	CENTER LINE	PLAM	PLASTIC LAMINATE																																																																																																																																																
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT																																																																																																																																																
CMU	CONCRETE MASONRY UNIT	PNL	PANEL																																																																																																																																																
COL	COLUMN	PT	CCA PRESSURE TREATED POINT																																																																																																																																																
CONC	CONCRETE	PT	POINT																																																																																																																																																
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE																																																																																																																																																
DIAG	DIAGONAL	R	RADIUS (OR) RISER																																																																																																																																																
DS	DOWNSPOUT	R/A	RETURN AIR																																																																																																																																																
DTL	DETAIL	REBAR	STEEL REINF. BAR																																																																																																																																																
DNR	DRAINER	REFR.	REFRIGERATOR																																																																																																																																																
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)																																																																																																																																																
EL	ELEVATION	SS	STAINLESS STEEL																																																																																																																																																
ELEC	ELECTRIC	SPEC	SPECIFICATION																																																																																																																																																
EQ	EQUAL	T	TYPICAL																																																																																																																																																
EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE																																																																																																																																																
FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE																																																																																																																																																
GALV	GALVANIZED	VERT	VERTICAL																																																																																																																																																
GI	GALVANIZED IRON	WD	WOOD																																																																																																																																																
HORZ	HORIZONTAL	WNF	WELDED WIRE FABRIC																																																																																																																																																
HDW	HARDWARE	WH	WATER HEATER																																																																																																																																																
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT																																																																																																																																																
FOC	FACE OF CONCRETE																																																																																																																																																		
FOS	FACE OF STUD																																																																																																																																																		
FIN	FINISH																																																																																																																																																		
FE	FIRE EXTINGUISHER																																																																																																																																																		
FND	FOUNDATION																																																																																																																																																		
FTG	FOOTING																																																																																																																																																		
ID	INSIDE DIAMETER																																																																																																																																																		
MAX	MAXIMUM																																																																																																																																																		

**MONROE COUNTY HISTORIC JAIL**  
 PHASE TWO - MUSEUM BUILDOUT  
 500 WHITEHEAD STREET  
 KEY WEST, FLORIDA  
 MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

410 Angela Street  
 Key West, Florida 33040  
 Telephone (305) 296-1347  
 Facsimile (305) 296-2727  
 Florida License AAC002022

Bender & Associates  
 ARCHITECTS  
 p.a.

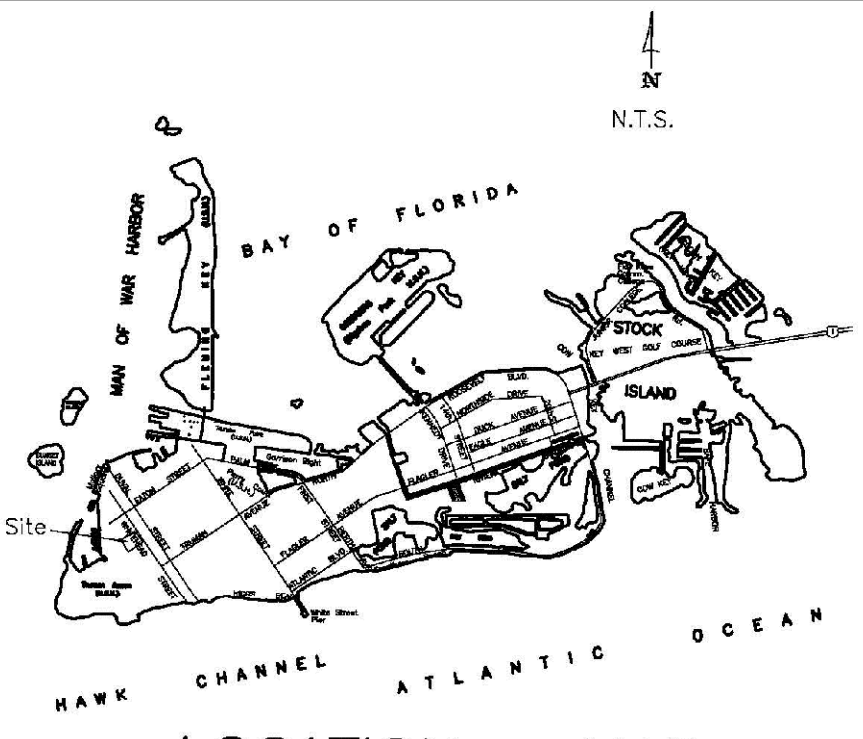
Project No.: 1835J  
 SITE MAP  
 PROJECT DIRECTORY  
 GENERAL NOTES  
 ABBREVIATIONS  
 SHEET INDEX  
 SYMBOL LEGEND  
 Date: 3/1/20

A0.0

1 OF 22

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**





**LOCATION MAP**  
City of Key West &  
Stock Island

**LEGAL DESCRIPTION\***  
A portion of Jackson Square, according to William A. Whitehead's map, delineated February, 1829, Key West, Monroe County, Florida.

**MONUMENTATION:**  
▲ = FPK  
△ = SPK, P.L.S. No. 2749  
● = FIB/FIP  
⊙ = SIB, 1/2"

**NOTIFICATION:**  
I HEREBY CERTIFY that the attached Boundary/Topographical map is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards accepted by the Florida Board of Land Surveyors, Chapter 32-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDRICK H. HILDEBRANDT  
Professional Land Surveyor & Mapper No. 2749  
Professional Engineer No. 36810  
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

**ISLAND SURVEYING INC.**  
ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive  
Suite 201  
Key West, FL 33040

(305) 293-0466  
Fax: (305) 293-0237  
fhildeb1@isallsouth.net  
L.B. No. 7700

**BOUNDARY SURVEY**

Scale: 1" = 30'	Reference: 225-09	Drawing Number: 18-175
Date: 5/22/17		Flood Panel No. 1379K
Drawn By: D.R.F.		Flood Zone X
Checked By: F.H.H.		

**JACKSON SQUARE  
MONROE COUNTY COURT HOUSE**

PROJECT NUMBER: - 018-175  
500 WHITEHEAD STREET  
KEY WEST, FL 33040

**LEGEND**

A/C	Air Conditioner	IRB	Irregular Business Number	UP	Utility Pole
BAL	Balcony	LB	Licensed Business Number	WM	Water Meter
BM	Bench Mark	M	Measured	WV	Water Valve
CB	Catch Basin	N.T.S.	Not To Scale		
C.B.S.	Concrete Block Structure	O.S.	Original Records		
CL	Center Line	OH	Over Head		
CO	Clean Out	P	Pit		
CONC	Concrete	PS	Pit Book		
COVD	Covered	P.O.B.	Point of Beginning		
CUP	Concrete Utility Pole	P.O.C.	Point of Commencement		
ELEV	Elevation	RPZ	Reduced Pressure Zone		
F.F.L.	Finished Floor Elevation	R/W	Right Of Way		
FD	Found	SIB	Set Iron Bar		
FB	Found Iron Bar	SIP	Set Iron Pipe		
FPK	Found Nail & Disc	SPK	Set Nail And Disc		
IV	Invert	STY	Store		

**SYMBOLS**

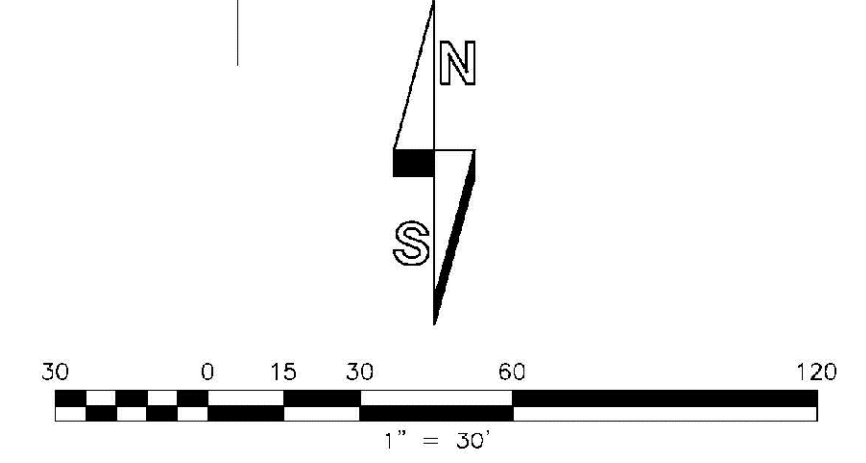
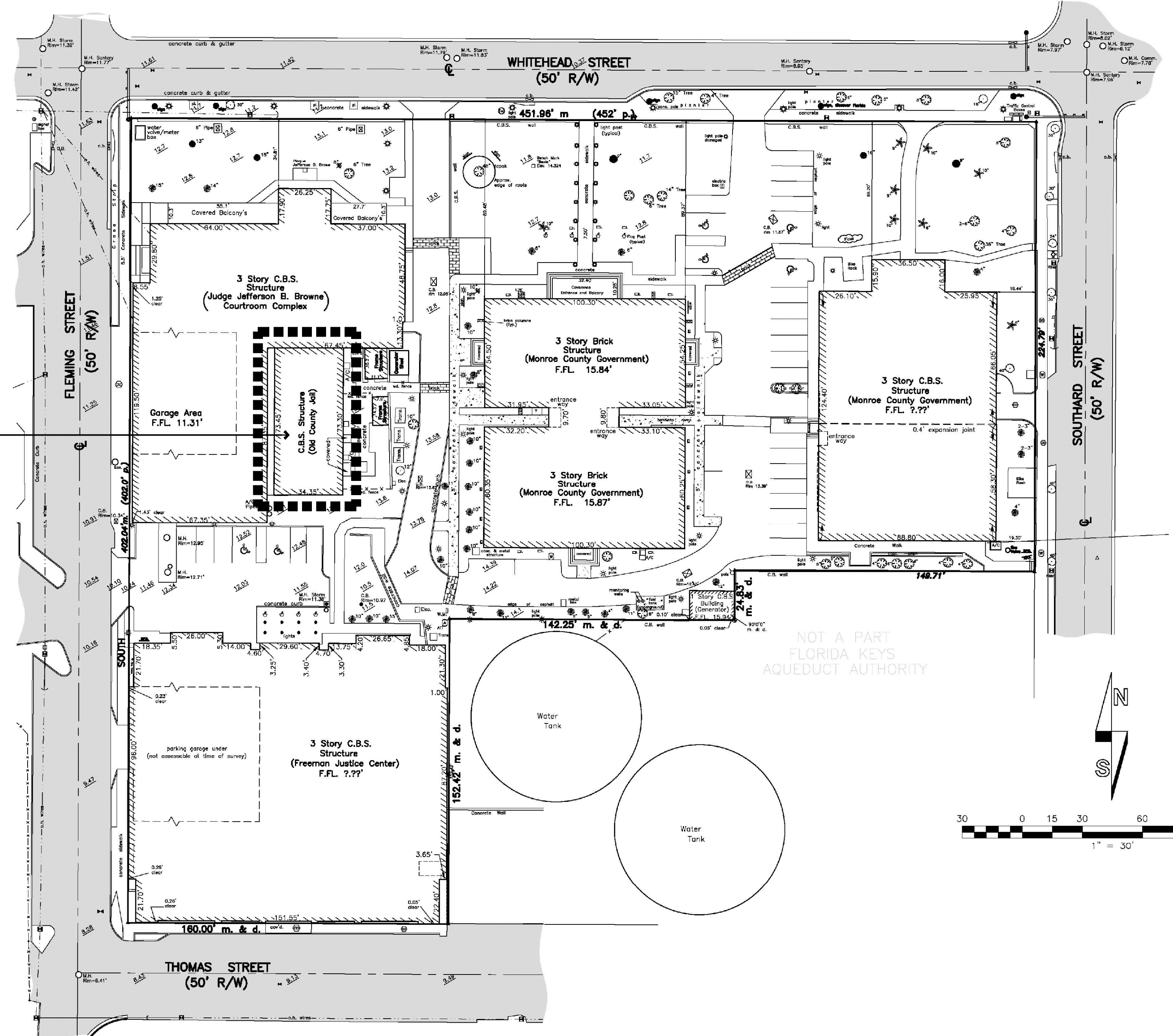
■	Concrete Utility Pole	⊙	Sanitary Sewer Clean Out	⊙	Water Meter
⊙	Fire Hydrant	⊙	Street Light	⊙	Wood Utility Pole
●	Grade Light	⊙	Water Utility Pole		
⊙	Electric Box				

**REVISIONS**

DATE	DESCRIPTION	BY

fred:\drawings\keywest\jacksonsqare

AREA OF WORK  
HISTORIC  
JAIL  
BUILDING



REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
PHASE TWO - MUSEUM BUILDOUT  
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Bender & Associates  
**ARCHITECTS**  
p.a.

Project No: 1835J  
SURVEY  
Date: 3/1/20

**PRELIMINARY  
NOT FOR CONSTRUCTION**

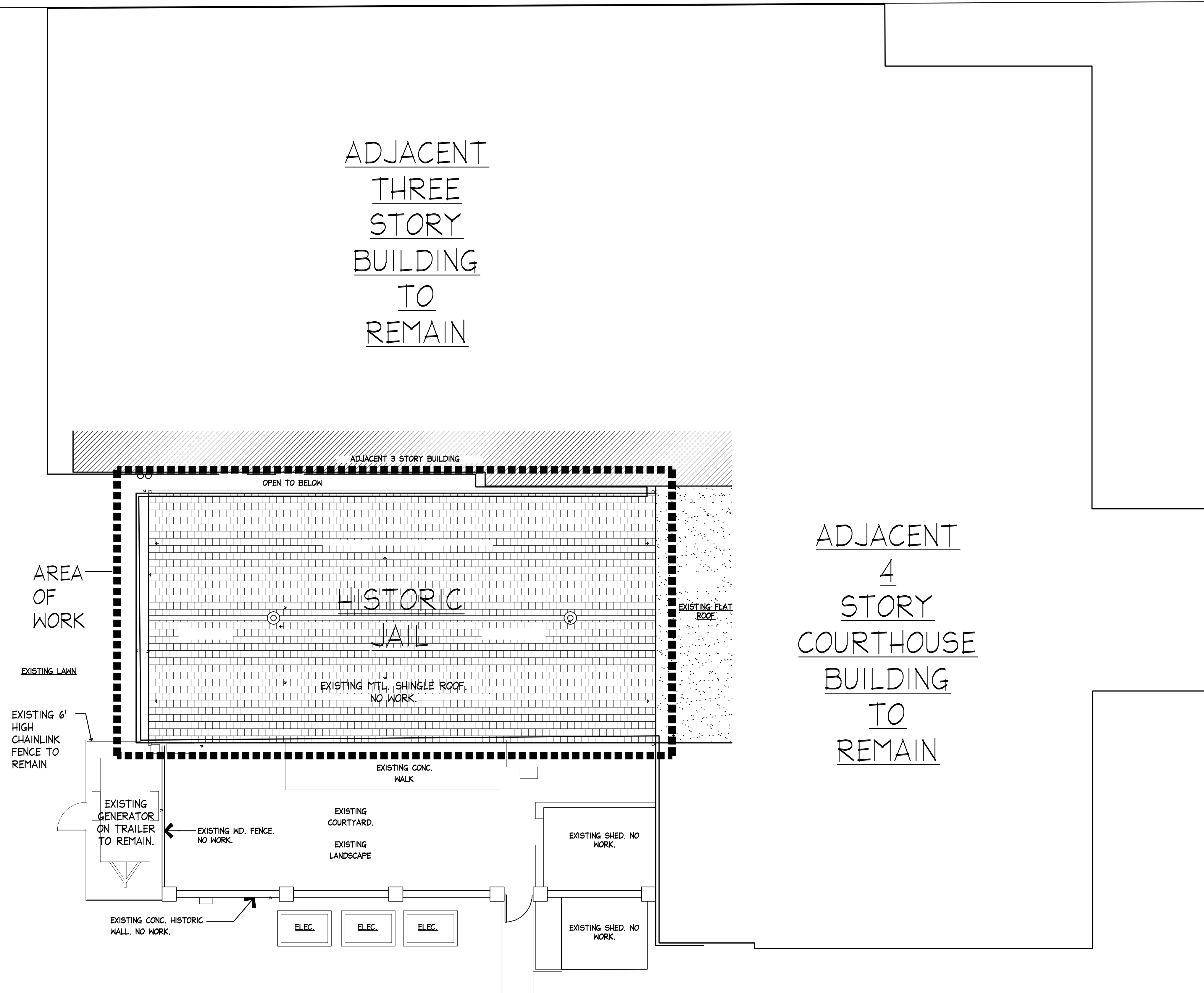
PRESERVATION NOTES

PRESERVATION NOTES:

1. MATCH ORIGINAL HISTORIC MATERIAL, TEXTURES AND FINISHES.
  2. REMOVE ALL AREAS IDENTIFIED BY THE ARCHITECT AS INAPPROPRIATE OR NOT MATCHING THE ADJACENT HISTORIC FABRIC.
  3. TAKE ALL APPROPRIATE MEASURES NECESSARY TO CORRECT INTERIOR WORK AS IDENTIFIED BY THE ARCHITECT. PROTECT HISTORIC FABRIC DURING ALL OPERATIONS. NO HISTORIC MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR APPROVAL OF ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO HAVE INDIVIDUAL WORKMEN REMOVED FROM INDIVIDUAL ACTIVITIES OR THE PROJECT ENTIRELY, IF IN THE ARCHITECT'S JUDGEMENT, THE QUALITY OF WORK BEING PERFORMED IS INAPPROPRIATE, INFERIOR, OR DETRIMENTAL TO HISTORIC MATERIALS.
  5. REFER TO PHOTOGRAPHIC DETAILS IN THE SPECIFICATIONS FOR ADDITIONAL HISTORIC PRESERVATION INFORMATION AND PROJECT REQUIREMENTS.
  6. ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION, AS ADMINISTERED BY THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORIC RESOURCES.
  7. RESOURCES.
- DUE TO THE SENSITIVE HISTORIC NATURE OF THIS PROJECT, GENERAL CONTRACTORS AND CERTAIN TRADES MUST MEET PREQUALIFICATION REQUIREMENTS. REFER TO SUPPLEMENTARY GENERAL CONDITIONS, SECTION 00200.
8. HISTORIC FINISHES AND FURRING MAY BE INTACT UNDER CONTEMPORARY FINISHES. CONSULT ARCHITECT BEFORE REMOVAL OF QUESTIONABLE HISTORIC OR NON-HISTORIC MATERIAL. WHERE THE TERM 'RESTORE' IS USED THROUGHOUT THESE DOCUMENTS, THE INTENT IS TO RETURN AN ITEM, FINISH, OR MATERIAL TO ITS HISTORIC CONFIGURATION AND/OR CONDITION. THE LEAST INTRUSIVE METHOD REQUIRED SHOULD BE USED FIRST: CLEAN, PATCH, OR REPLACE USING AN IN-KIND MATERIAL, I.E. BRONZE FOR BRONZE, CONCRETE FOR CONCRETE, CORAL STONE FOR CORAL STONE, ETC. COORDINATE ALL REQUIREMENTS FOR 'RESTORATION' WITH ARCHITECT.

THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION:

- (a) The following Standards for Rehabilitation are the criteria used to determine if a rehabilitation project qualifies as a certified rehabilitation. The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located.
- (b) The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. (The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.)
- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
  - (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
  - (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
  - (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
  - (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
  - (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
  - (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
  - (8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
  - (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
  - (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- (c) The quality of materials and craftsmanship used in a rehabilitation project must be commensurate with the quality of materials and craftsmanship of the historic building in question. Certain treatments, if improperly applied, or certain materials by their physical properties, may cause or accelerate physical deterioration of historic buildings. Inappropriate physical treatments include, but are not limited to: improper repointing techniques; improper exterior masonry cleaning methods; or improper introduction of insulation where damage to historic fabric would result. In almost all situations, use of these materials and treatments will result in denial of certification. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will result in denial of certification. For further information on appropriate and inappropriate rehabilitation treatments, owners are to consult the Guidelines for Rehabilitating Historic Buildings published by the NPS. "Preservation Briefs" and additional technical information to help property owners formulate plans for the rehabilitation, preservation, and continued use of historic properties consistent with the intent of the Secretary's Standards for Rehabilitation are available from the SHPOs and NPS regional offices. Owners are responsible for procuring this material as part of property planning for a certified rehabilitation.



1 SITE PLAN  
A1.0 SCALE: 1/8"=1'-0"

REVISIONS:

MONROE COUNTY HISTORIC JAIL  
PHASE TWO - MUSEUM BUILDOUT  
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Bender & Associates  
ARCHITECTS  
p.c.

Project No: 1035J

PROPOSED SITEPLAN

Date: 3/1/20

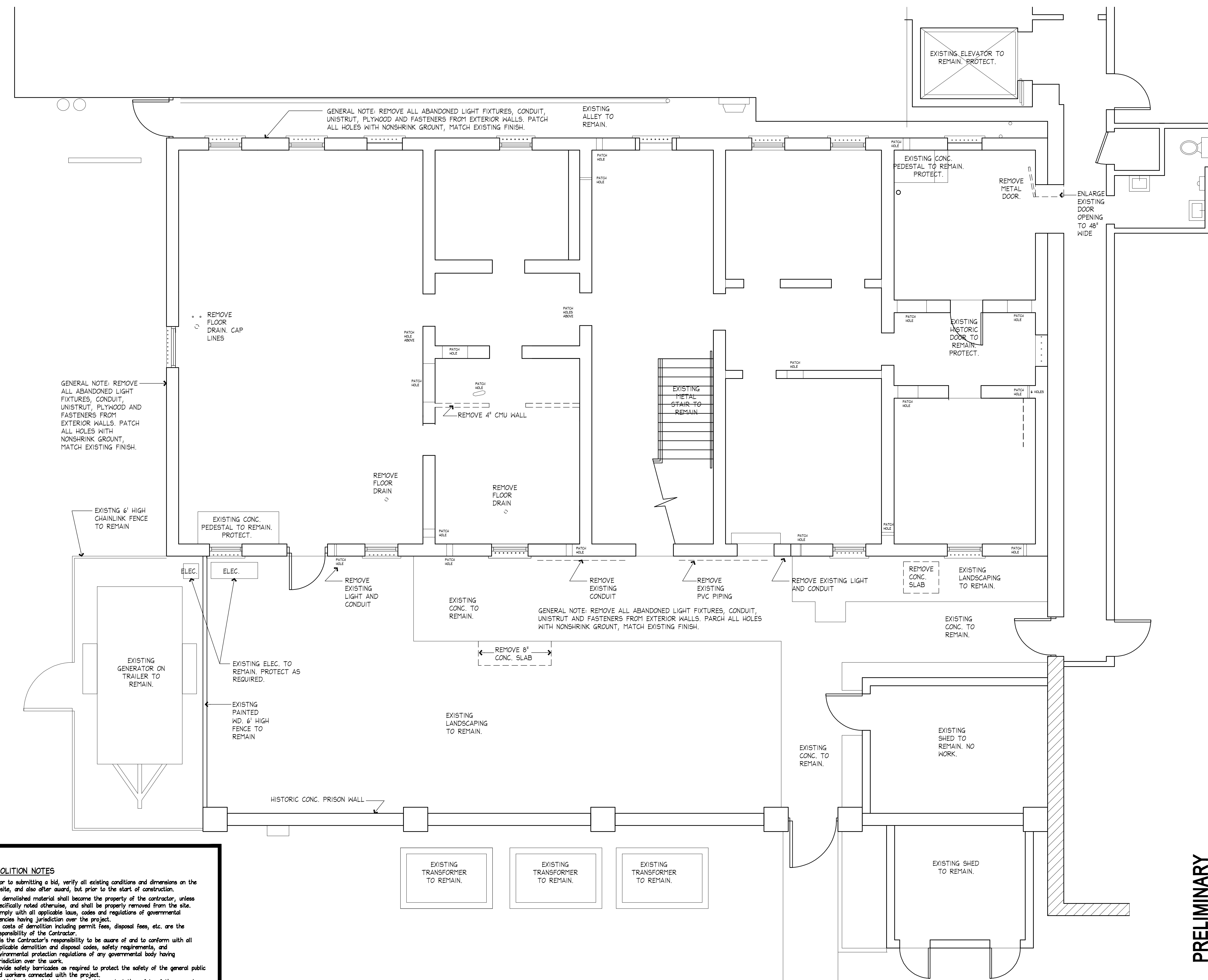
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3 OF 22

PRELIMINARY  
NOT FOR CONSTRUCTION







GENERAL NOTE: REMOVE ALL ABANDONED LIGHT FIXTURES, CONDUIT, UNISTRUT, PLYWOOD AND FASTENERS FROM EXTERIOR WALLS. PATCH ALL HOLES WITH NONSHRINK GROUT, MATCH EXISTING FINISH.

GENERAL NOTE: REMOVE ALL ABANDONED LIGHT FIXTURES, CONDUIT, UNISTRUT, PLYWOOD AND FASTENERS FROM EXTERIOR WALLS. PATCH ALL HOLES WITH NONSHRINK GROUT, MATCH EXISTING FINISH.

EXISTING ALLEY TO REMAIN.

EXISTING ELEVATOR TO REMAIN. PROTECT.

EXISTING CONC. PEDESTAL TO REMAIN. PROTECT.

REMOVE METAL DOOR.

ENLARGE EXISTING DOOR OPENING TO 48\"/>

EXISTING HISTORIC DOOR TO REMAIN. PROTECT.

EXISTING METAL STAIR TO REMAIN.

REMOVE 4\"/>

REMOVE FLOOR DRAIN

REMOVE FLOOR DRAIN

EXISTING CONC. PEDESTAL TO REMAIN. PROTECT.

REMOVE EXISTING LIGHT AND CONDUIT

GENERAL NOTE: REMOVE ALL ABANDONED LIGHT FIXTURES, CONDUIT, UNISTRUT AND FASTENERS FROM EXTERIOR WALLS. PATCH ALL HOLES WITH NONSHRINK GROUT, MATCH EXISTING FINISH.

REMOVE EXISTING PVC PIPING

REMOVE EXISTING LIGHT AND CONDUIT

REMOVE CONC. SLAB

EXISTING LANDSCAPING TO REMAIN.

EXISTING CONC. TO REMAIN.

REMOVE 8\"/>

EXISTING LANDSCAPING TO REMAIN.

EXISTING GENERATOR ON TRAILER TO REMAIN.

EXISTING ELEC. TO REMAIN. PROTECT AS REQUIRED.

EXISTING PAINTED HD. 6\"/>

EXISTING CONC. TO REMAIN.

EXISTING SHED TO REMAIN. NO WORK.

HISTORIC CONC. PRISON WALL

EXISTING TRANSFORMER TO REMAIN.

EXISTING TRANSFORMER TO REMAIN.

EXISTING TRANSFORMER TO REMAIN.

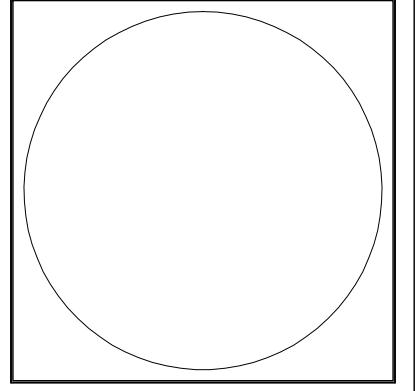
EXISTING SHED TO REMAIN.

- DEMOLITION NOTES**
1. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
  2. All demolished material shall become the property of the contractor, unless specifically noted otherwise, and shall be properly removed from the site. Comply with all applicable laws, codes and regulations of governmental agencies having jurisdiction over the project.
  3. All costs of demolition including permit fees, disposal fees, etc. are the responsibility of the Contractor.
  4. It is the Contractor's responsibility to be aware of and to conform with all applicable demolition and disposal codes, safety requirements, and environmental protection regulations of any governmental body having jurisdiction over the work.
  5. Provide safety barricades as required to protect the safety of the general public and workers connected with the project.
  6. Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.
  7. Demolished material classified as clean fill may be distributed on site when specifically approved by the Architect in advance.

**1 FIRST FLOOR DEMOLITION PLAN**  
 D1.1 SCALE: 1/4"=1'-0"

REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
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 500 WHITEHEAD STREET  
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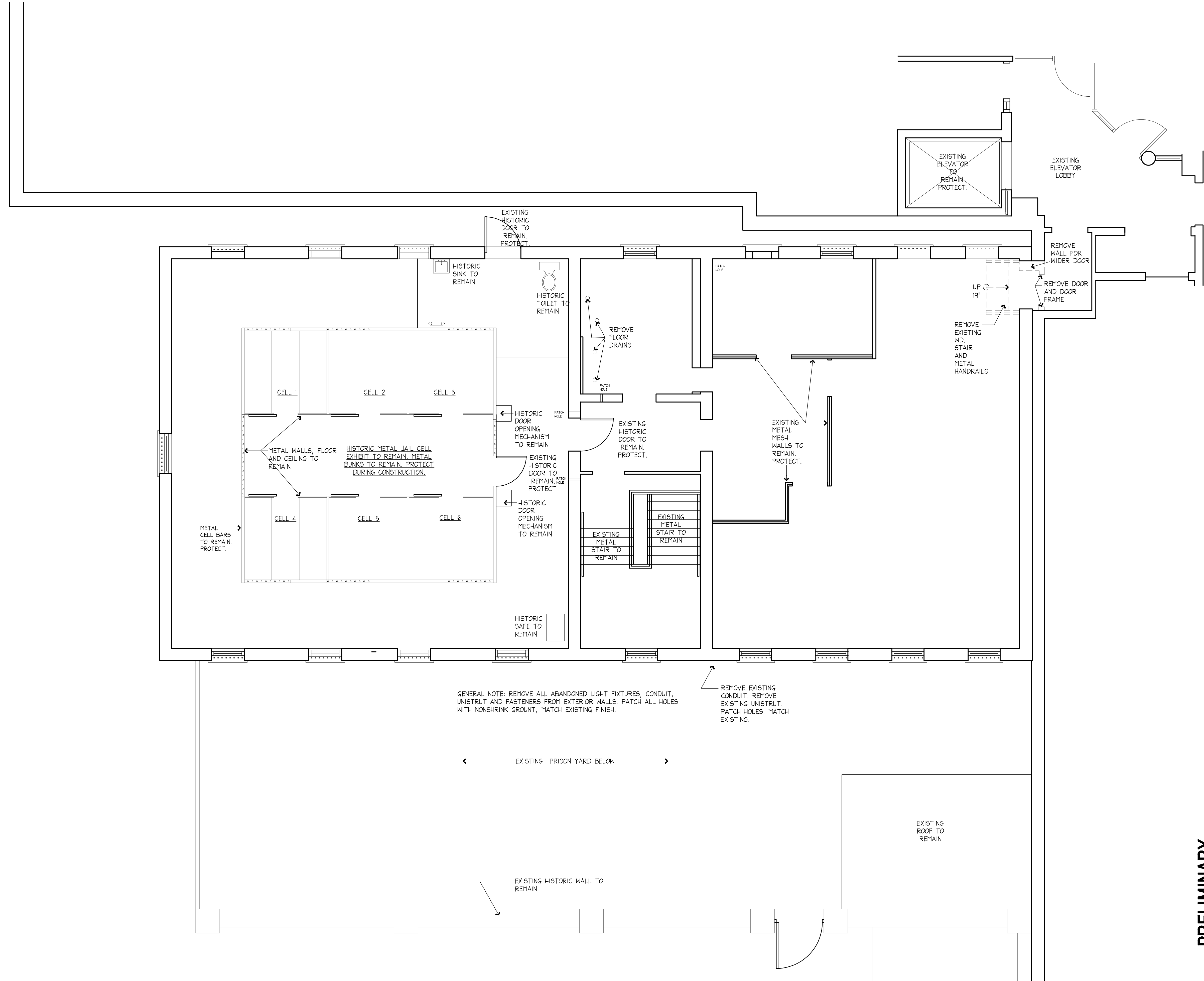
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*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No: 1835J  
**FIRST FLOOR DEMOLITION PLAN**  
 Date: 3/1/20

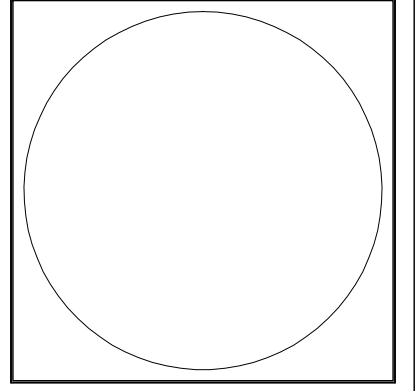
**PRELIMINARY  
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**D1.1**  
 4 OF 22



REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
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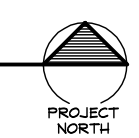
*Bender & Associates*  
**ARCHITECTS**  
*p.a.*

Project No: 1835J  
 SECOND FLOOR  
 DEMOLITION PLAN  
 Date: 3/1/20

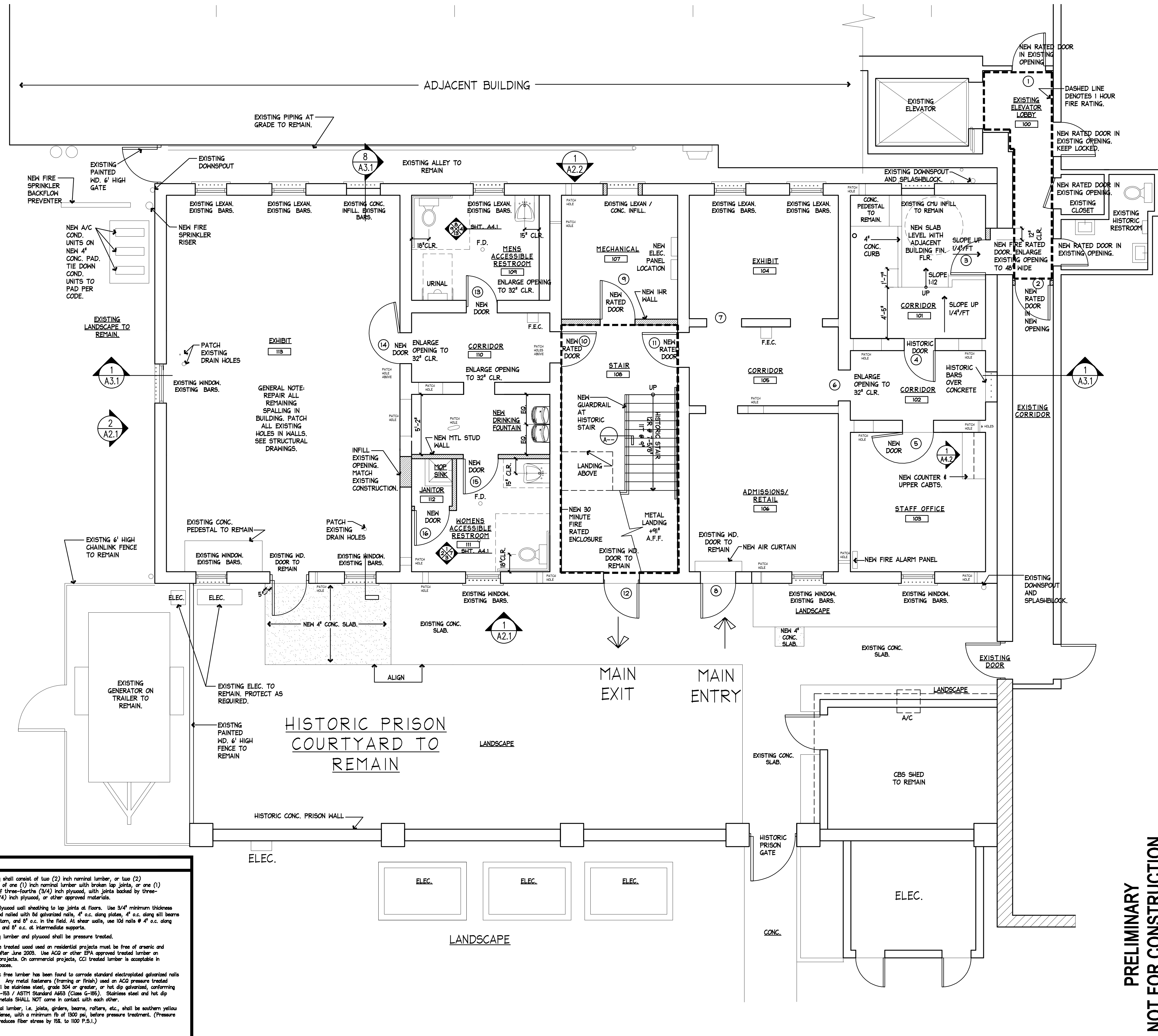
**D1.2**  
 5 OF 22

**PRELIMINARY  
 NOT FOR CONSTRUCTION**

**1 SECOND FLOOR DEMOLITION PLAN**  
 D1.2 SCALE: 1/4"=1'-0"







**FOUNDATION & CONCRETE NOTES**

- The Contractor shall have the option of substituting solid concrete piers and/or foundations for concrete filled masonry piers or foundation walls.
- Minimum concrete strength shall be 4000 p.s.i. unless otherwise specified in these documents.
- Comply with "General Structural Notes" included elsewhere in these documents.
- Concrete protection for reinforcement:
  - The reinforcement of footings and other principal structural members in which the concrete is deposited against the ground shall have not less than 3 in. of concrete between it and the ground-contact surface. If concrete surfaces after removal of the forms are to be exposed to the weather or be in contact with the ground, the reinforcement shall be protected with not less than 2" of concrete for bars larger than # 5 and 1 1/2" for # 5 bars or smaller.
  - The concrete protective covering for any reinforcement at surfaces not exposed directly to the ground or weather shall be not less than 3/4" for slabs and walls and not less than 1 1/2" for beams and girders. In concrete joint floors in which the clear distance between joists is not more than 30 in., the protection of reinforcement shall be at least 3/4".
  - Column spirals or ties shall be protected everywhere by a covering of concrete cast monolithically with the core, for which the thickness shall be not less than 1 1/2", nor less than 1 1/2 times the maximum size of the coarse aggregate.
  - Concrete protection for reinforcement shall in all cases be at least equal to the diameter of bars, except for concrete slabs and joists in (b.).
  - In extremely corrosive atmospheres or other severe exposures, the amount of protection shall be suitably increased. In the Florida Keys, increase concrete coverage by 50% of specified tolerances and in no case less than 2 inches.

**GENERAL FRAMING NOTES**

- Comply with "General Structural Notes" included elsewhere in these documents.
- Where wood joists/beams etc. frame into other members, and ledgers are not provided, install Simpson "LJ" series joist hangers. When installing into ACO pressure treated lumber, Contractor has the option of providing EITHER stainless steel joist hangers and stainless steel fasteners, OR Simpson ZMAX (ZMAX) galvanized joist hangers with hot-dip galvanized fasteners. Contractor shall not mix stainless steel with hot dip galvanized.
- Provide hot dip (ZMAX) galvanized hurricane clips at all rafters at bearing locations. Provide 2 x 4 minimum collar ties between rafters at ridges in attic spaces, tight to ridge. Nail to each rafter with (3) 16d nails.
- Provide solid blocking at midspan of all joists and rafters for spans of 8' and over. Use 3 rows of blocking where spans exceed 16 feet.
- Firestopping shall be provided in all walls and partitions to cut off all concealed draft openings both horizontal and vertical and to form a fire barrier between floors and between the upper floor and the roof space.
- Firestopping shall be installed in wood frame construction in the following locations:
  - In concealed space of stud walls and partitions including furred spaces at ceiling and floor levels.
  - All interior connections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, cove ceilings, etc.
  - In concealed spaces between stair stringers at the top and bottom of the run.
  - In concealed spaces created by an assembly of floor joists, firestopping shall be provided for the full depth of the joists at the ends and over the supports.
- Firestopping shall consist of two (2) inch nominal lumber, or two (2) thicknesses of one (1) inch nominal lumber with broken lap joints, or one (1) thickness of three-fourths (3/4) inch plywood, with joints backed by three-fourths (3/4) inch plywood, or other approved materials.
- Install all plywood wall sheathing to lap joints at floors. Use 3/4" minimum thickness P.T. plywood nailed with 8d galvanized nails, 4" o.c. along plates, 4" o.c. along sill beams top and bottom, and 8" o.c. in the field. At shear walls, use 16d nails @ 4" o.c. along panel edges and 8" o.c. at intermediate supports.
- All framing lumber and plywood shall be pressure treated.
- All pressure treated wood used on residential projects must be free of arsenic and chromium after June 2003. Use ACO or other EPA approved treated lumber on residential projects. On commercial projects, CCI treated lumber is acceptable in concealed spaces.
- ACO arsenic free lumber has been found to corrode standard electropolished galvanized nails and screws. Any metal fasteners (framing or finish) used on ACO pressure treated lumber shall be stainless steel, grade 304 or greater, or hot dip galvanized, conforming to ASTM A-153 / ASTM Standard A153 (Class G-185). Stainless steel and hot dip galvanized metals SHALL NOT come in contact with each other.
- All structural lumber, i.e. joists, girders, beams, rafters, etc., shall be southern yellow pine no. 1 dense, with a minimum Fb of 1300 psi, before pressure treatment. (Pressure treatment reduces fiber stress by 15% to 1100 P.S.I.)

**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
PHASE TWO - MUSEUM BUILDOUT  
500 WHITEHEAD STREET  
KEY WEST FLORIDA  
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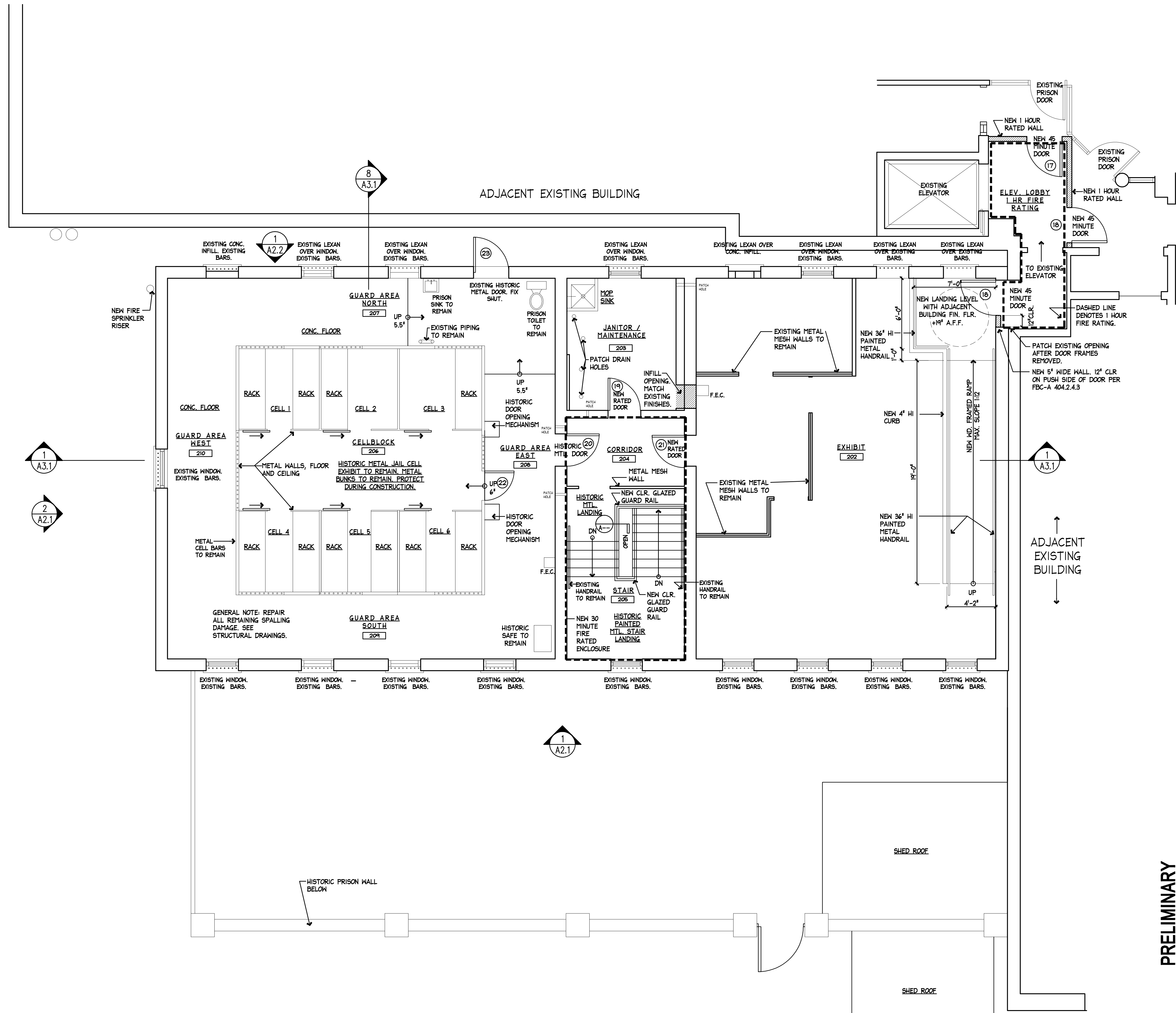
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**ARCHITECTS** p.a.

Project No: 1835J  
PROPOSED FIRST FLOOR PLAN  
Date: 3/1/20

**A1.1**  
7 OF 22

**PRELIMINARY NOT FOR CONSTRUCTION**

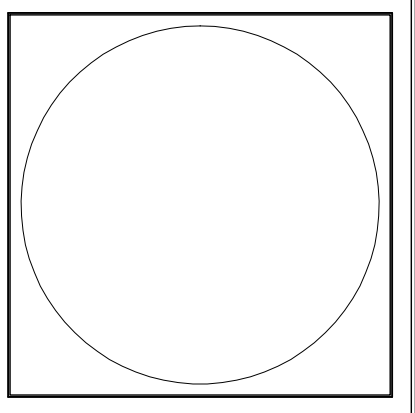




1 A1.2 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

REVISIONS:

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 PHASE TWO - MUSEUM BUILDOUT  
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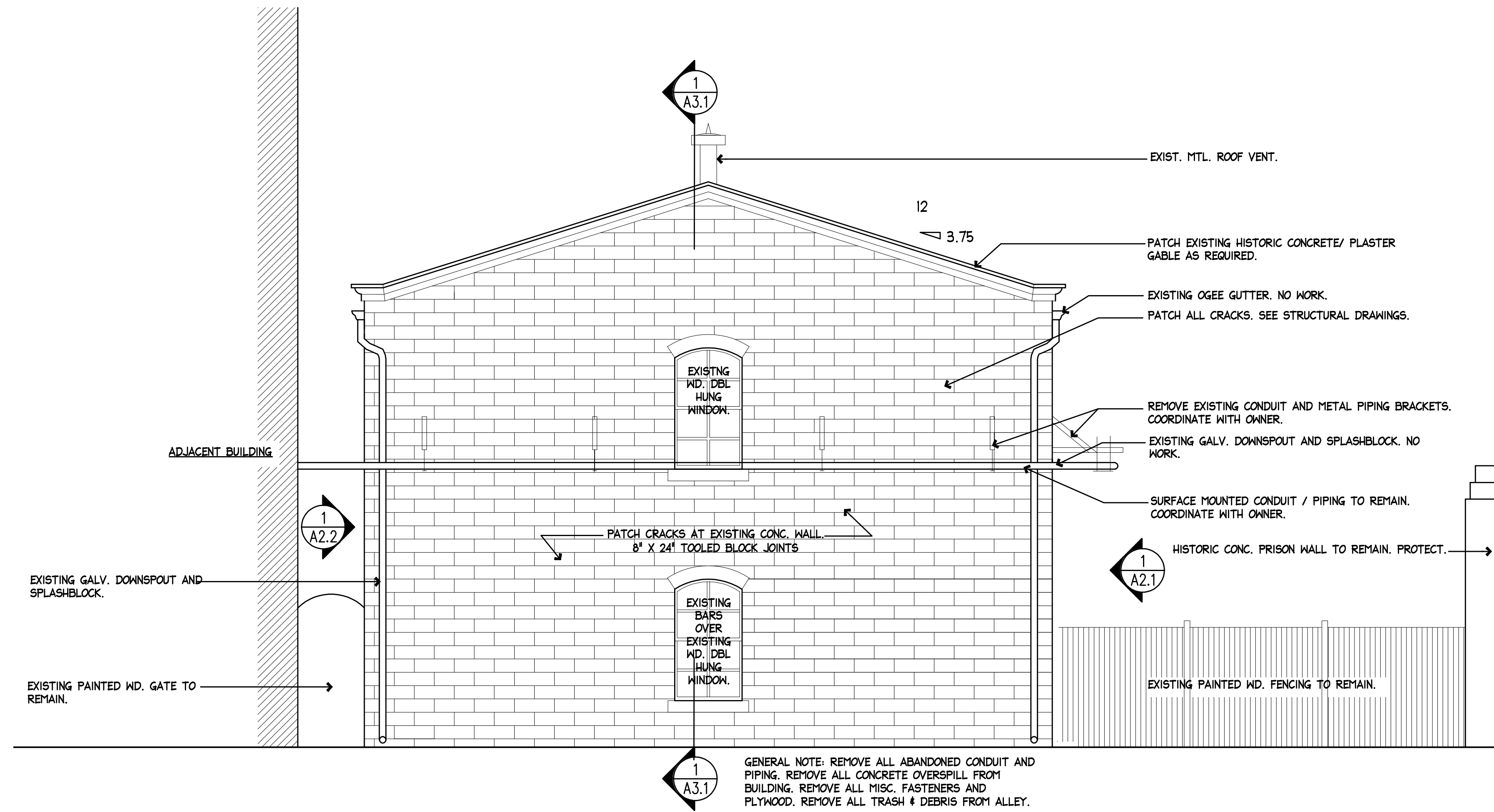
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Project No: 1835J  
 PROPOSED SECOND FLOOR PLAN  
 Date: 3/1/20

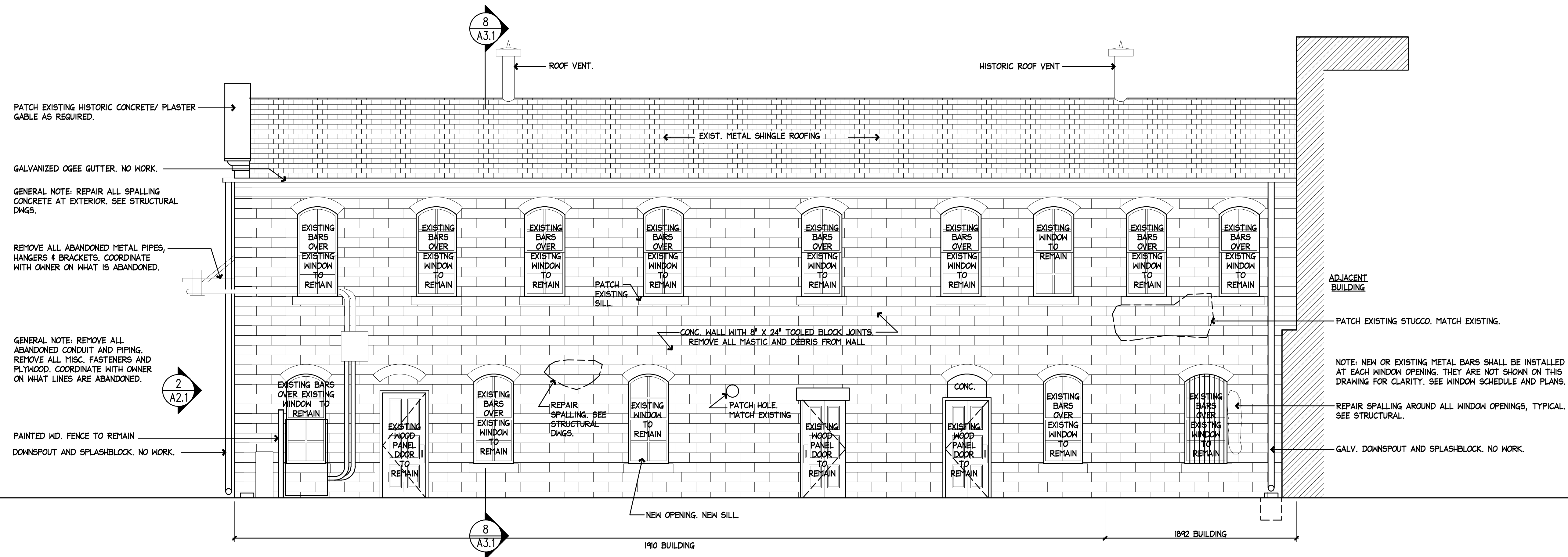
**A1.2**  
 8 OF 22

**PRELIMINARY  
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2 WEST EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



1 SOUTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

REVISIONS:

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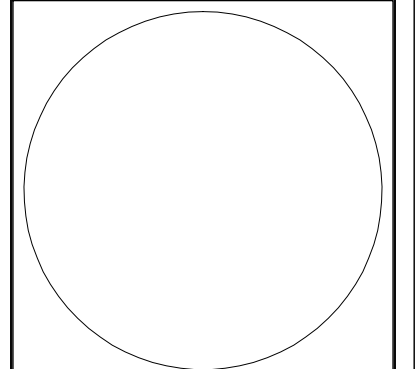
Project No: 1835J  
PROPOSED EXTERIOR ELEVATIONS  
Date: 3/1/20

PRELIMINARY  
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A2.1

REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
PHASE TWO - MUSEUM BUILDOUT  
500 WHITEHEAD STREET  
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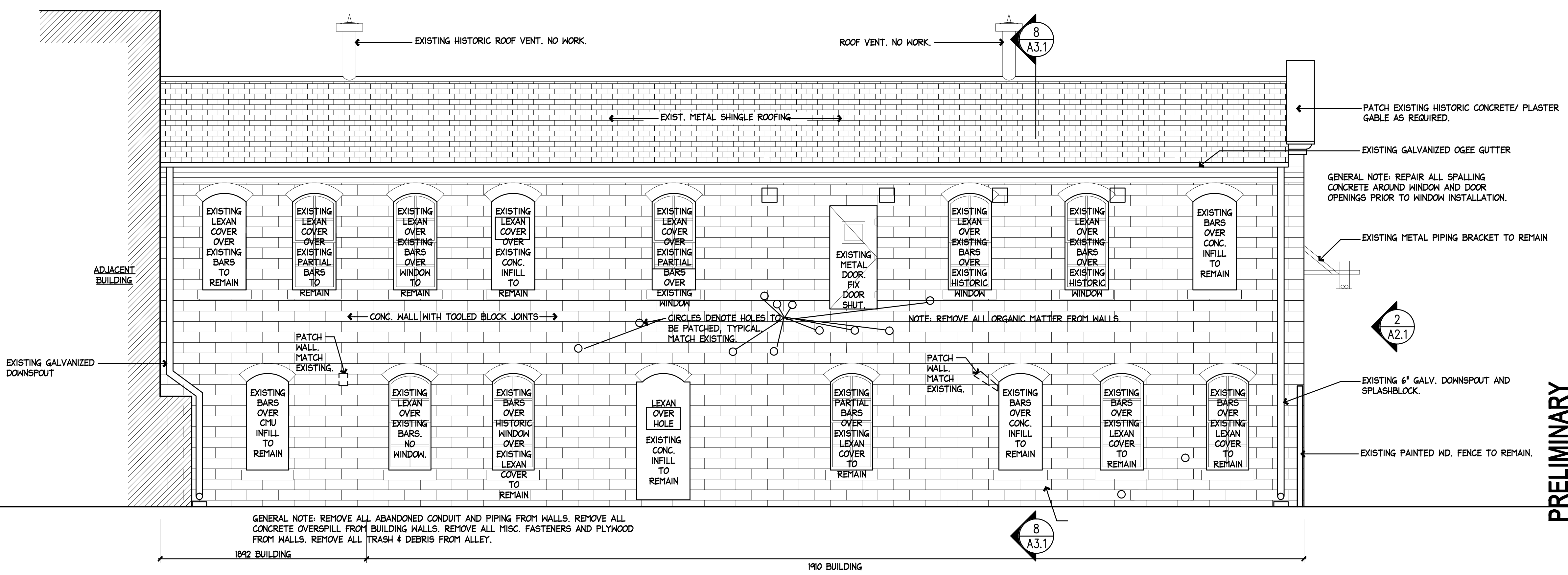


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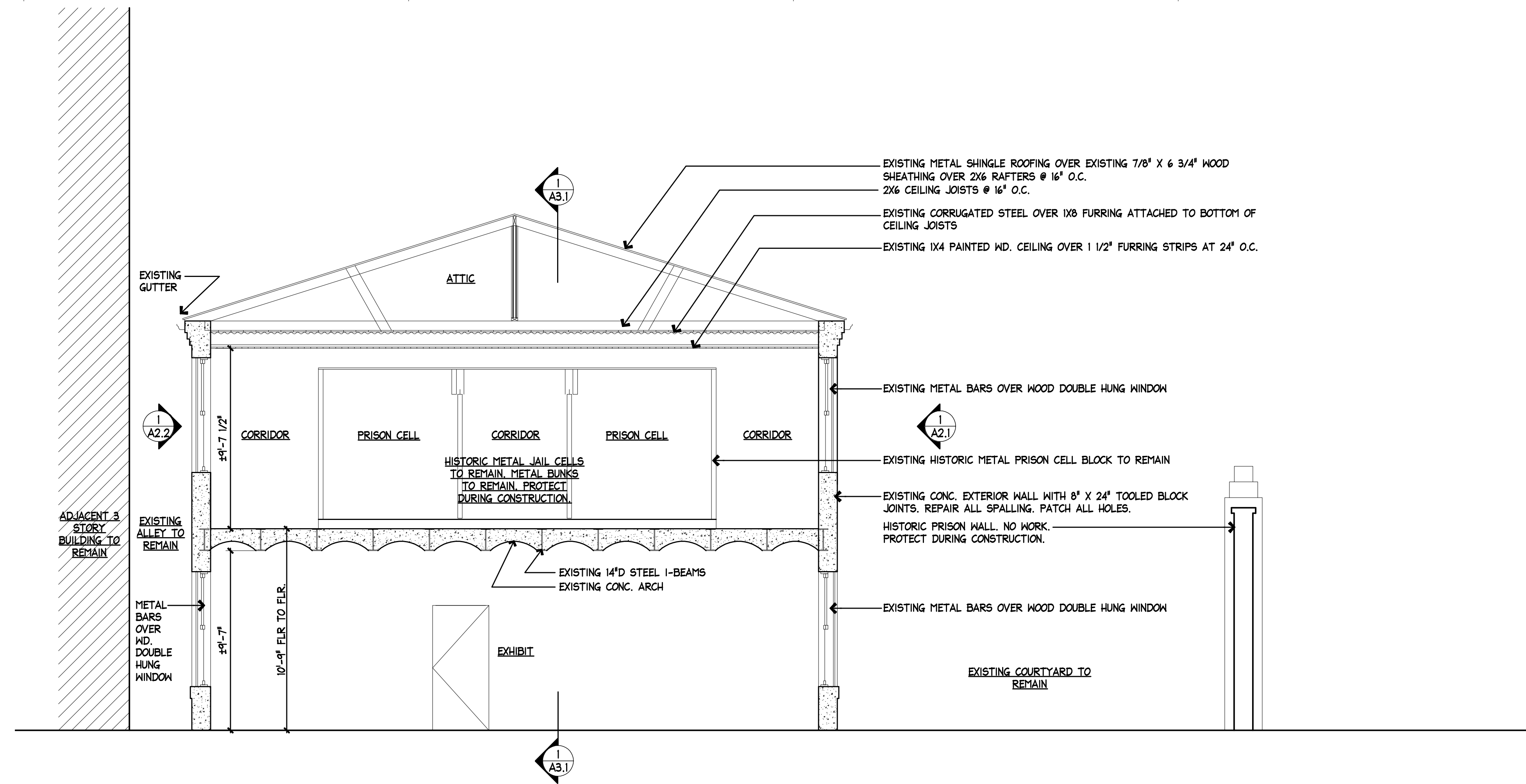
Project No: 1835J  
PROPOSED EXTERIOR ELEVATIONS  
Date: 3/1/20

**A2.2**  
12 OF 22



**PRELIMINARY  
NOT FOR CONSTRUCTION**

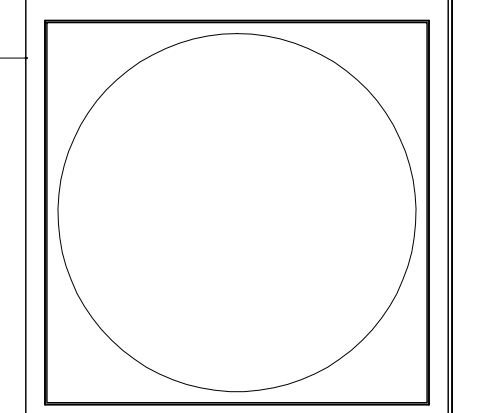
**1 NORTH EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"



8 BUILDING SECTION LOOKING EAST  
SCALE: 1/4"=1'-0"

REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
 PHASE TWO - MUSEUM BUILDOUT  
 500 WHITEHEAD STREET  
 KEY WEST, FLORIDA  
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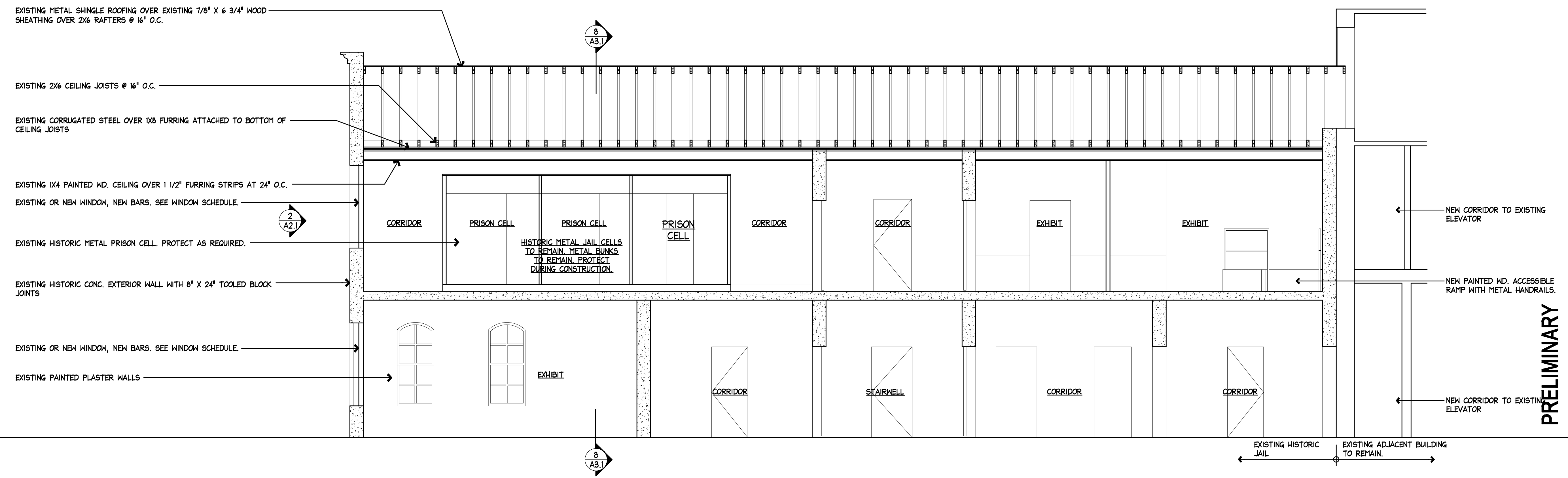


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Project No: 1835J  
 PROPOSED BUILDING SECTIONS  
 Date: 3/1/20

**A3.1**  
 13 OF 22



1 BUILDING SECTION LOOKING NORTH  
SCALE: 1/4"=1'-0"

**PRELIMINARY  
NOT FOR CONSTRUCTION**

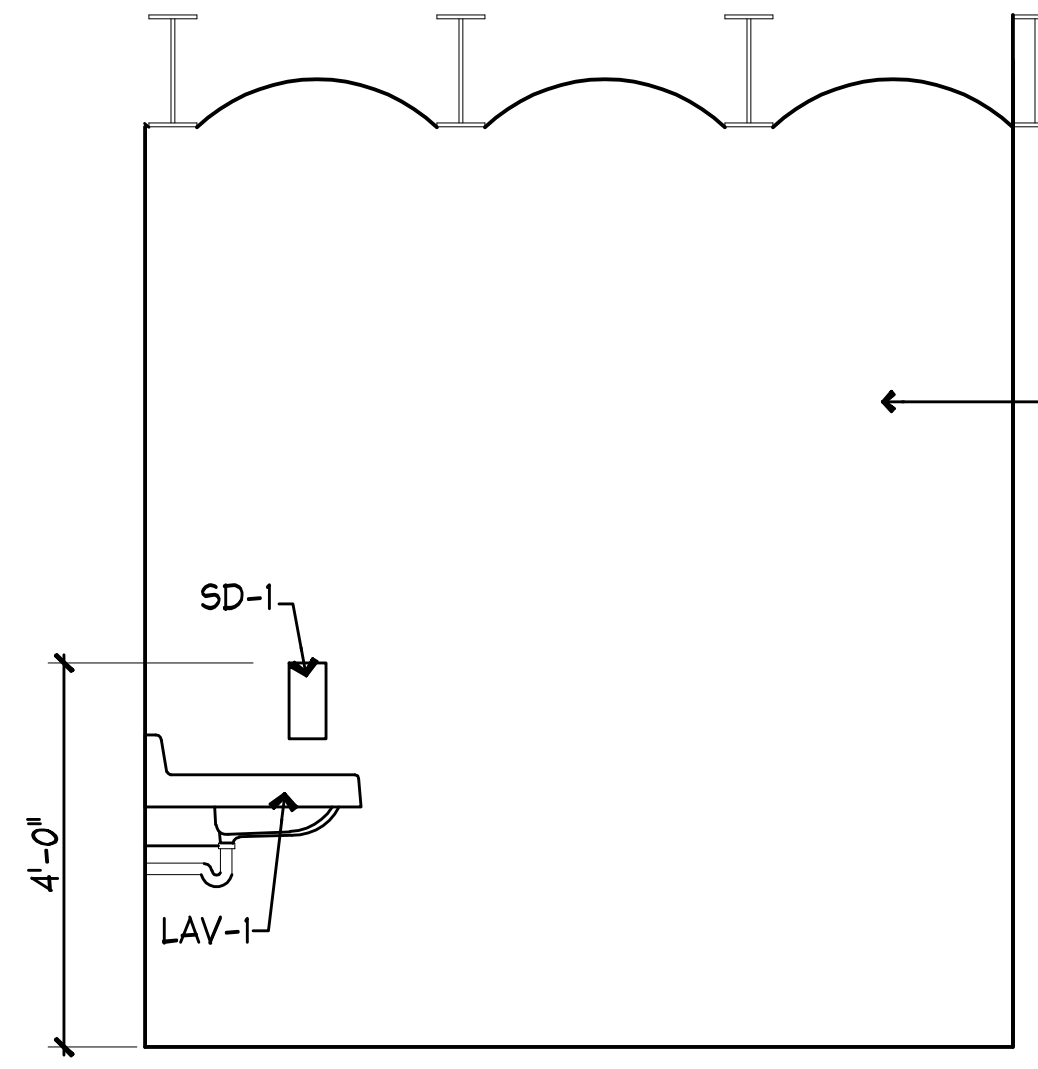


BATHROOM ACCESSORY SCHEDULE			
MARK/FIXTURE	MFR./CATALOG NO.	MOUNT	REMARKS
M-1 MIRROR	BOBRICK B-293 SERIES CHANNEL-FRAMED MIRROR, PRODUCT #B-293 2436	SEE INTERIOR ELEVATIONS	CENTER OVER LAVATORY PROVIDE BACKING AS REQUIRED FOR INSTALLATION
DR-1 HAND DRYER	BOBRICK B-7128 115V TRILINE SERIES ADA SURFACE-MOUNTED HAND DRYER	SEE INTERIOR ELEVATIONS	PROVIDE BACKING AS REQUIRED FOR INSTALLATION
TP-1 TP HOLDER	BOBRICK B-274 DOUBLE ROLL TOILET TISSUE DISPENSER, SURFACE MOUNT.	SEE INTERIOR ELEVATIONS	PROVIDE BACKING AS REQUIRED FOR INSTALLATION
SD-1 SOAP DISPENSER	BOBRICK 818415 CONTURA SERIES SURFACE MOUNTED SOAP DISPENSER	SEE INTERIOR ELEVATIONS	PROVIDE BACKING AS REQUIRED FOR INSTALLATION
GB-1 GRAB BAR	ADA COMPLIANT STAINLESS STEEL GRAB BARS / BOBRICK #B-68197 (B-6806 SERIES)	SEE INTERIOR ELEVATIONS	PROVIDE 3/4" PLYWOOD BACKING AT ALL GRAB BAR LOCATIONS
WG-1 UTILITY SINK WALL GUARD	MUSTEE 67.2424 WALL GUARD BOTH SIDES OF JANITOR SINK. SEE INT. ELEVATIONS.	SEE INTERIOR ELEVATIONS	
MH-1 UTILITY SINK MOP HANGER	MUSTEE 65.600 MOP HANGER ABOVE JANITOR SINK. SEE INT. ELEVATIONS.	SEE INTERIOR ELEVATIONS	PROVIDE BACKING AS REQUIRED FOR INSTALLATION

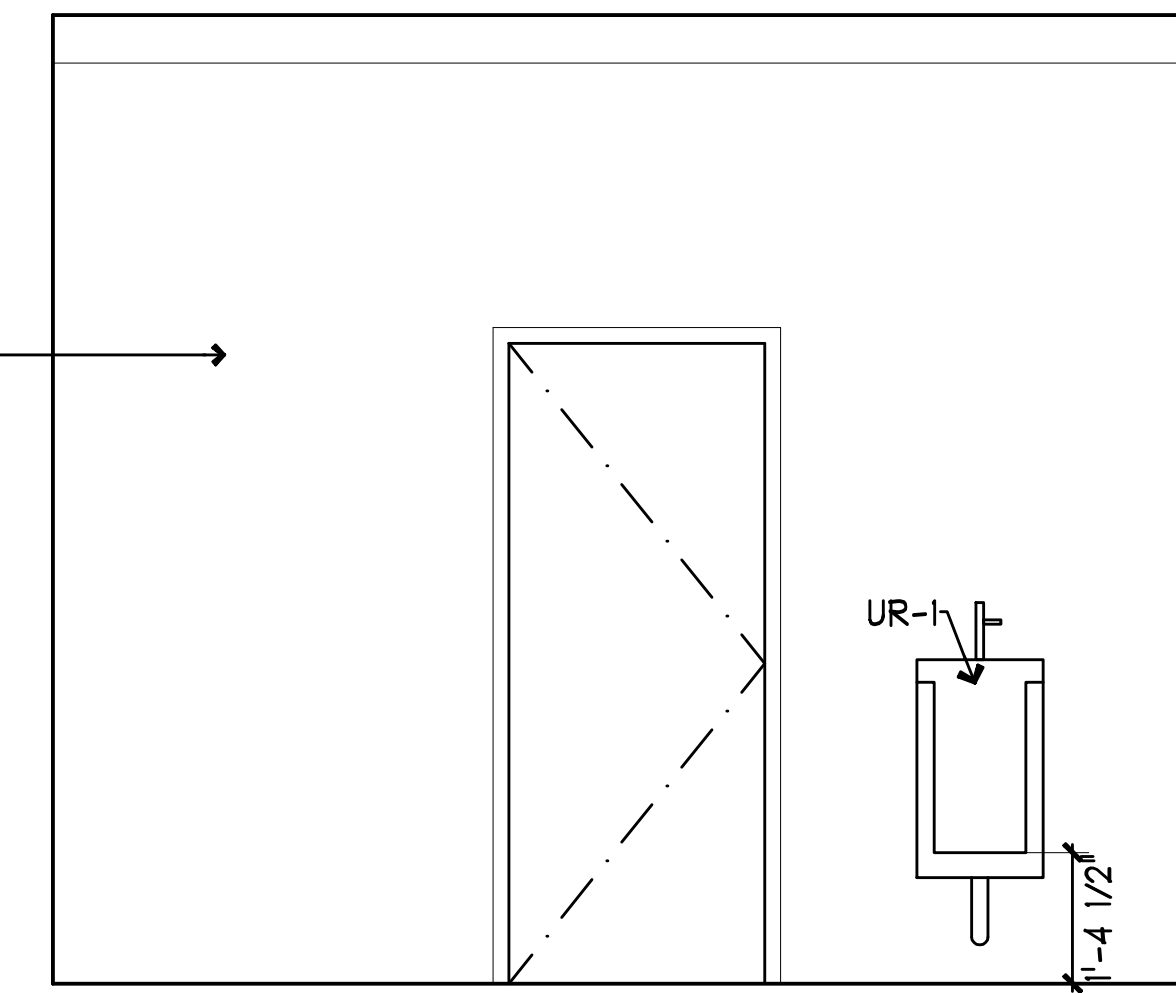
NOTES:  
 - PROVIDE PLYWOOD BACKING FOR ALL WALL MOUNTED LAVATORIES, TOILET PARTITIONS AND TOILET ACCESSORIES.  
 - INSTALL LAVATORIES & TOILETS ACCORDING TO MANUFACTURERS SPECIFICATIONS TO MEET ADA REQUIREMENTS.

PLUMBING SCHEDULE			
MARK/FIXTURE	MFR./CATALOG NO.	LOCATION	REMARKS
WC-1 TOILET (ADA)	AMERICAN STANDARD AFWALL MILLENNIUM FLOWISE ELONGATED FLUSHOMETER TOILET 3351.101. OPEN FRONT SEAT 5905.100. AMERICAN STANDARD FLUSHOMETER SENSOR OPERATED 1.28 GPF	SEE PLAN	PROVIDE AND INSTALL WALL CARRIERS ALL TOILETS.
LAV-1 WALL MOUNT LAVATORY	AMERICAN STANDARD MURRO UNIVERSAL DESIGN WALL HUNG LAVATORY 0955.001 EC WITH 0059.020EC SHROUD	SEE INTERIOR ELEVATIONS	PROVIDE AND INSTALL WALL CARRIERS ALL LAVATORIES
F-1 FAUCET	AMERICAN STANDARD NEXTGEN SELECTRONIC INTEGRATED PROXIMITY FAUCET 775B.203, .35GPM, PWIRX BATTERY SYSTEM. POLISHED CHROME.	SEE INTERIOR ELEVATIONS	
SK-1 JANITOR SERVICE SINK	MUSTEE MODEL 63M SERVICE SINK	SEE PLAN	MUSTEE MODEL 63.403 BUMPER GUARD MUSTEE MODEL 67.2424 WALL GUARD
F-2 SERVICE SINK FAUCET	AMERICAN STANDARD MODEL 8344.112 SERVICE SINK FAUCET WITH TOP BRACE. 8" CENTERS	SEE INTERIOR ELEVATIONS	
UR-1 URINAL	AMERICAN STANDARD WASHBROOK FLOWISE TOP SPUD UNIVERSAL URINAL 6590.001 WITH MODEL 6063.013.002 SENSOR OPERATED FLUSHVALVE	SEE INTERIOR ELEVATIONS	

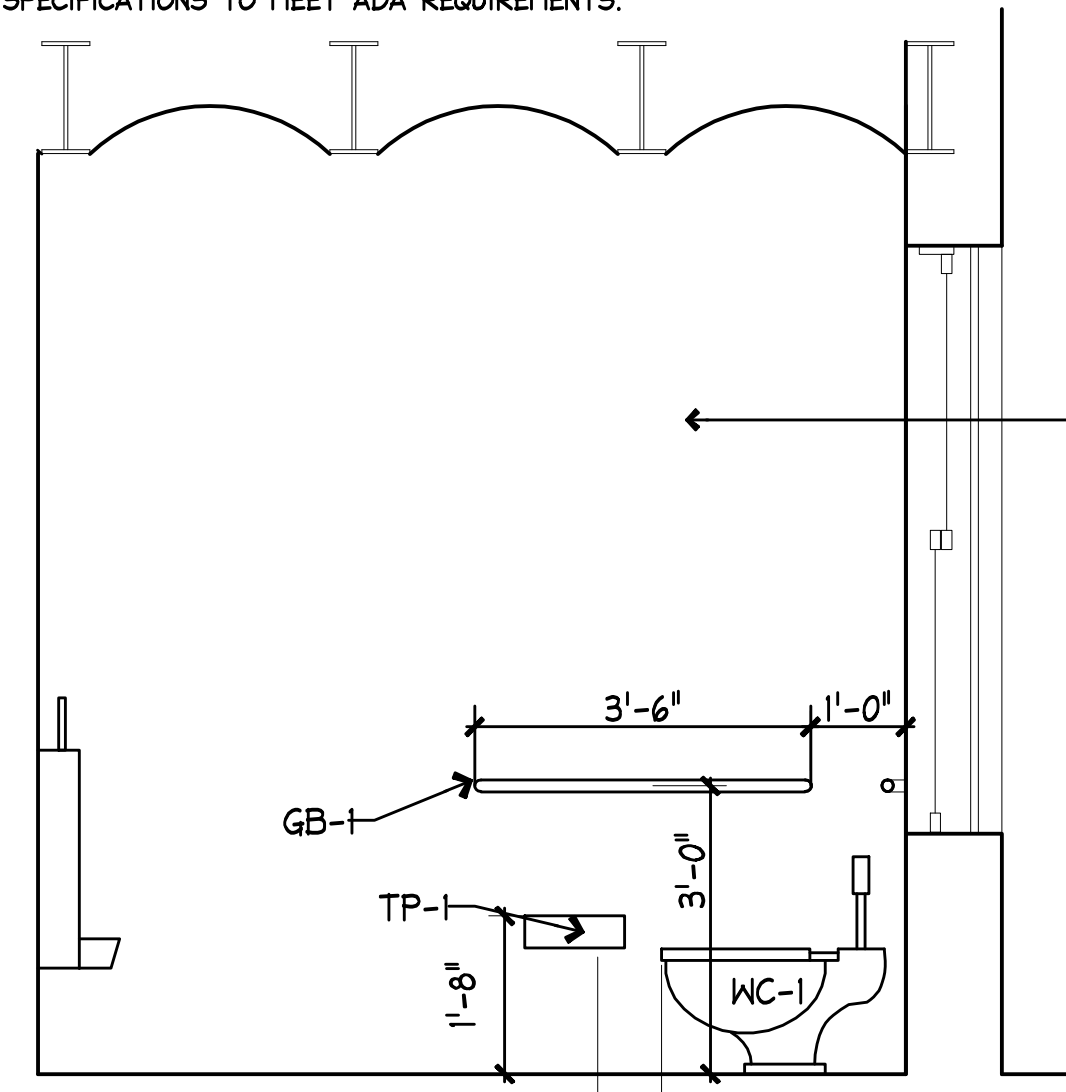
NOTES:  
 - PROVIDE AND INSTALL BACKING AND CARRIER FOR ALL WALL MOUNTED LAVATORIES, TOILET PARTITIONS AND TOILET ACCESSORIES.  
 - INSTALL LAVATORIES & TOILETS ACCORDING TO MANUFACTURERS SPECIFICATIONS TO MEET ADA REQUIREMENTS.  
 - WRAP ALL HOT WATER PIPING PER ADA.



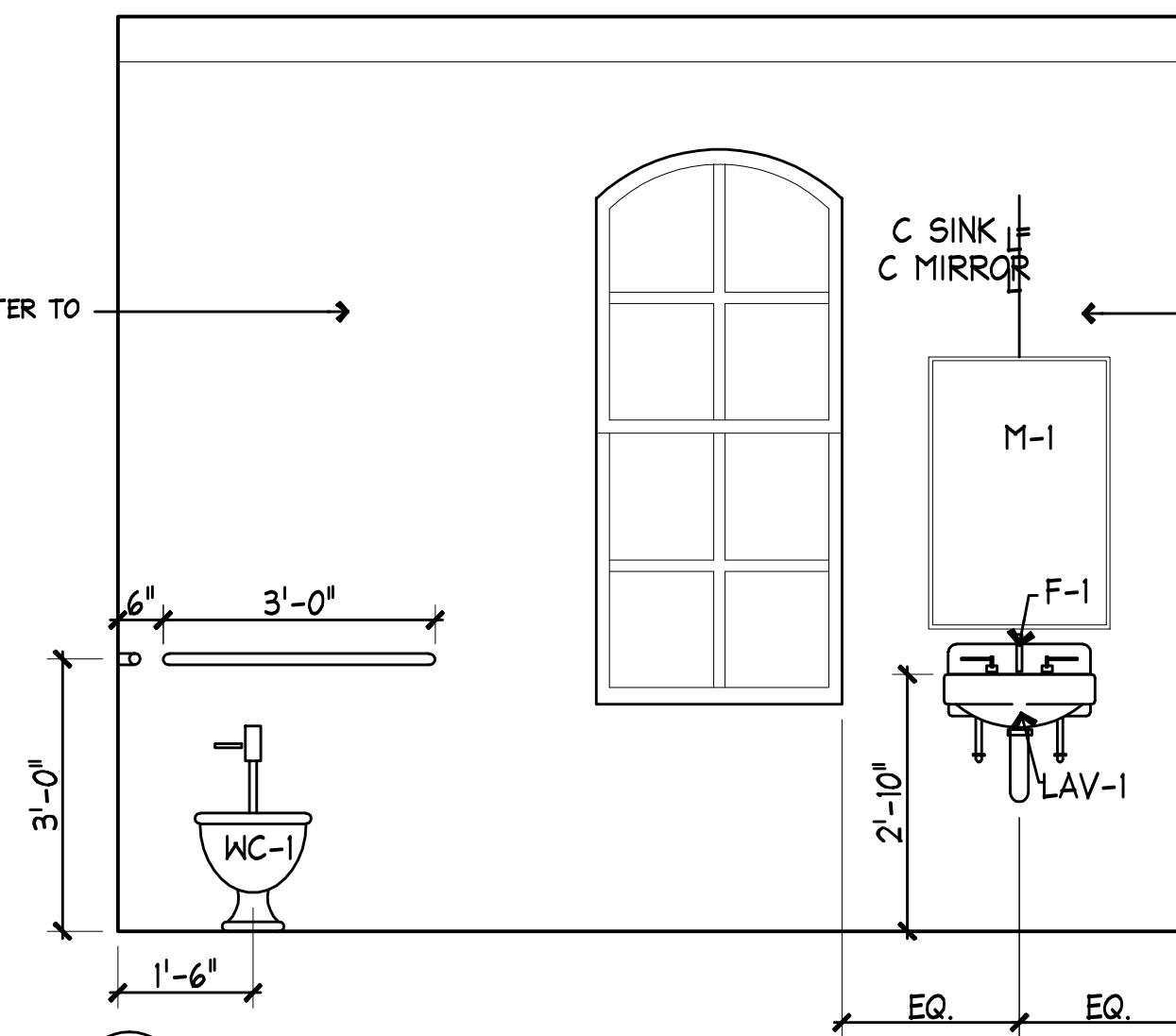
14 MENS ROOM 109 EAST  
 A4.1 SCALE: 1/2"=1'-0"



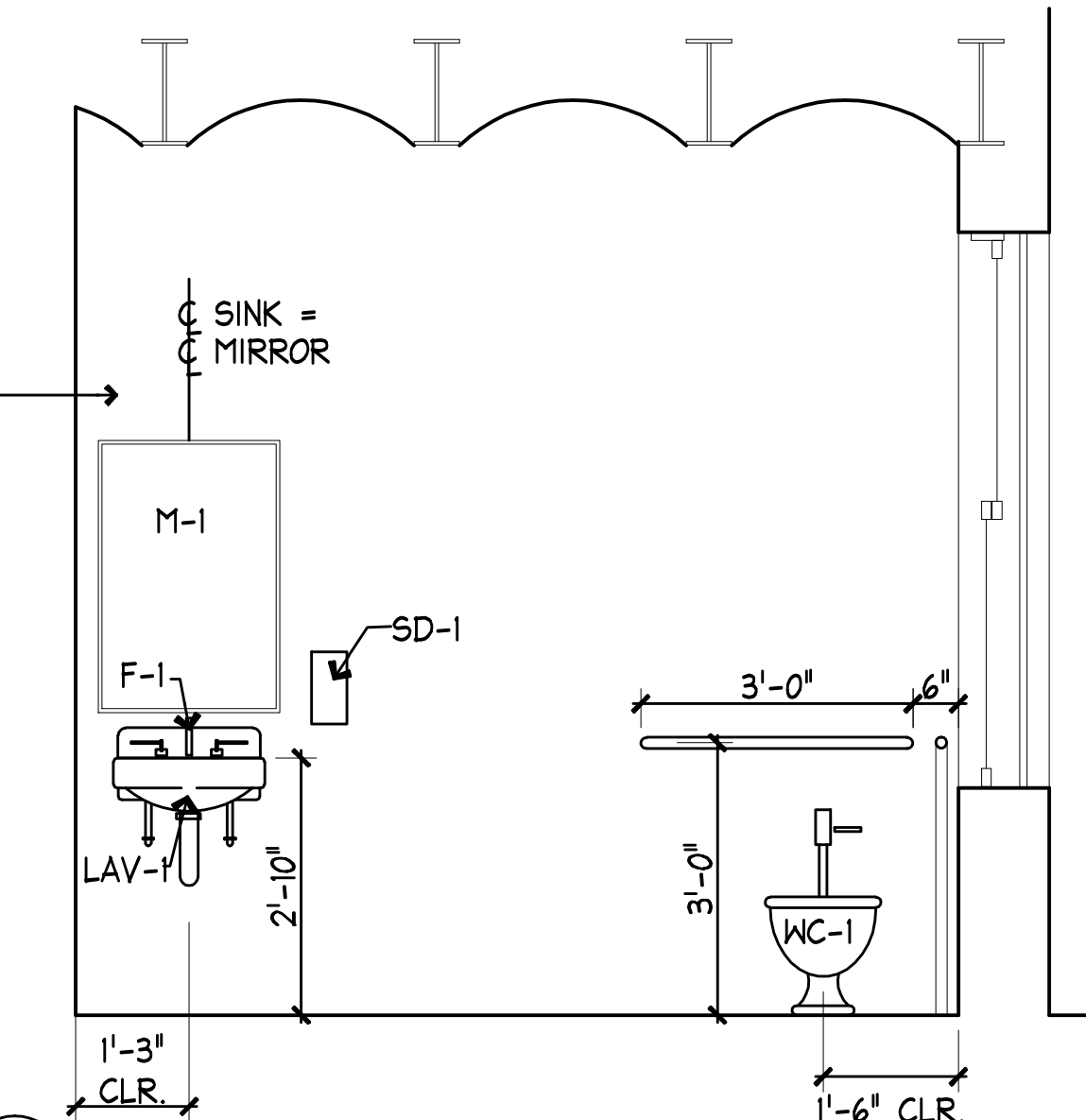
13 MENS ROOM 109 SOUTH  
 A4.1 SCALE: 1/2"=1'-0"



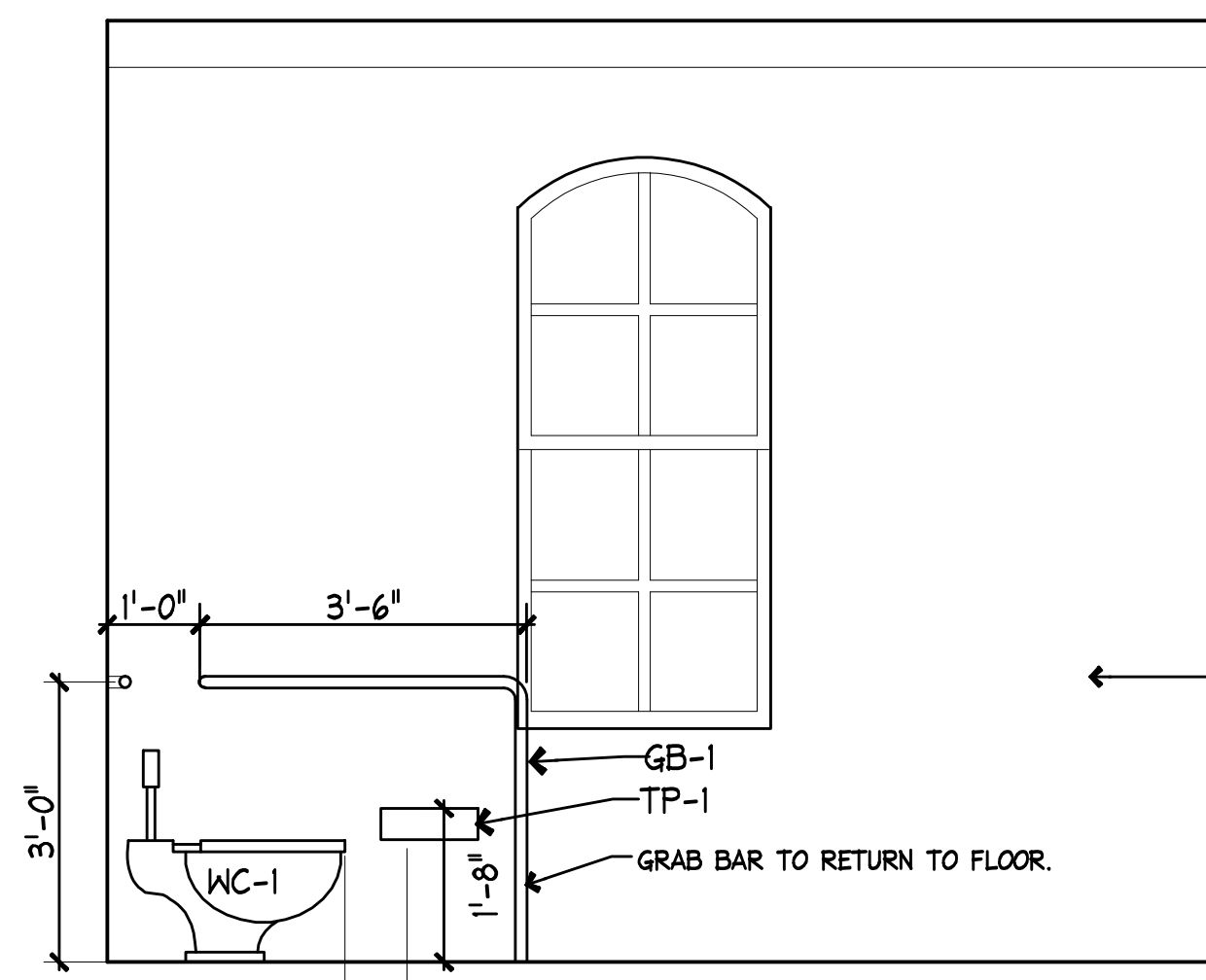
9 MENS ROOM 109 WEST  
 A4.1 SCALE: 1/2"=1'-0"



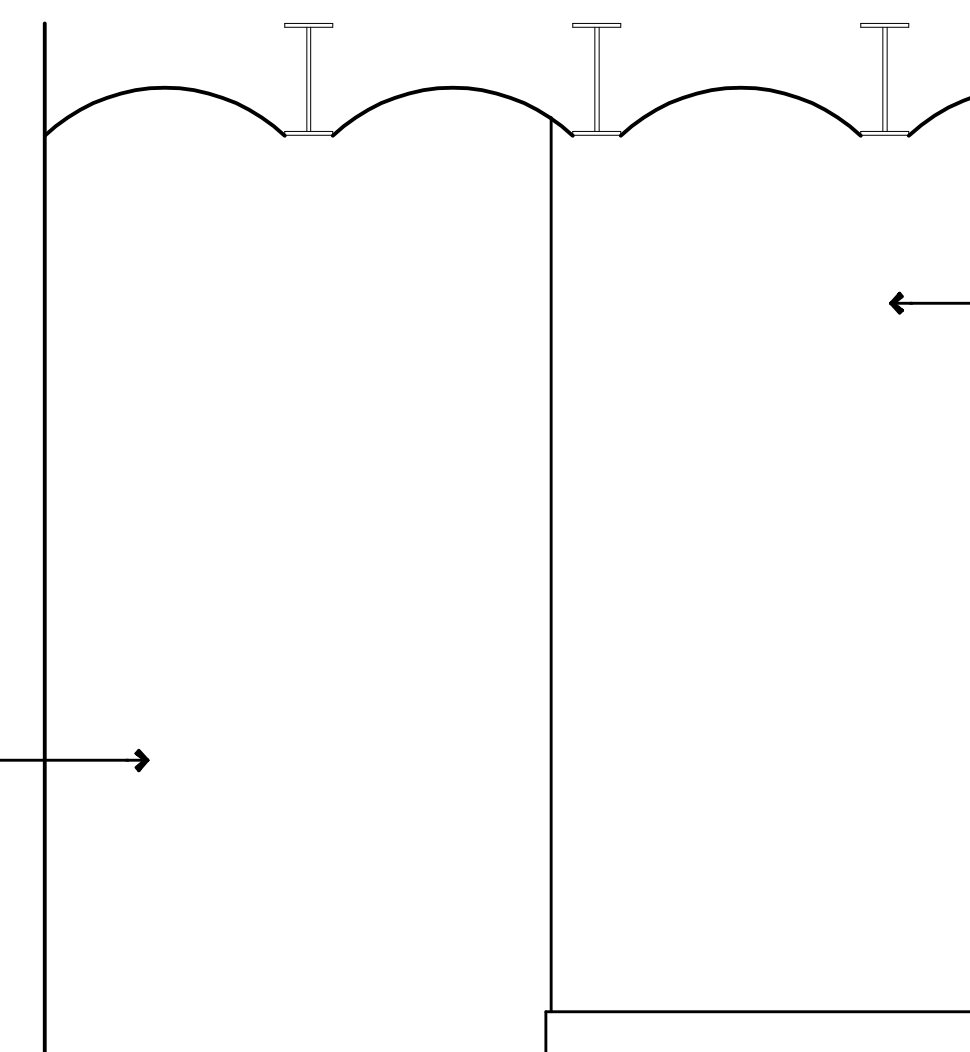
8 MENS ROOM 109 NORTH  
 A4.1 SCALE: 1/2"=1'-0"



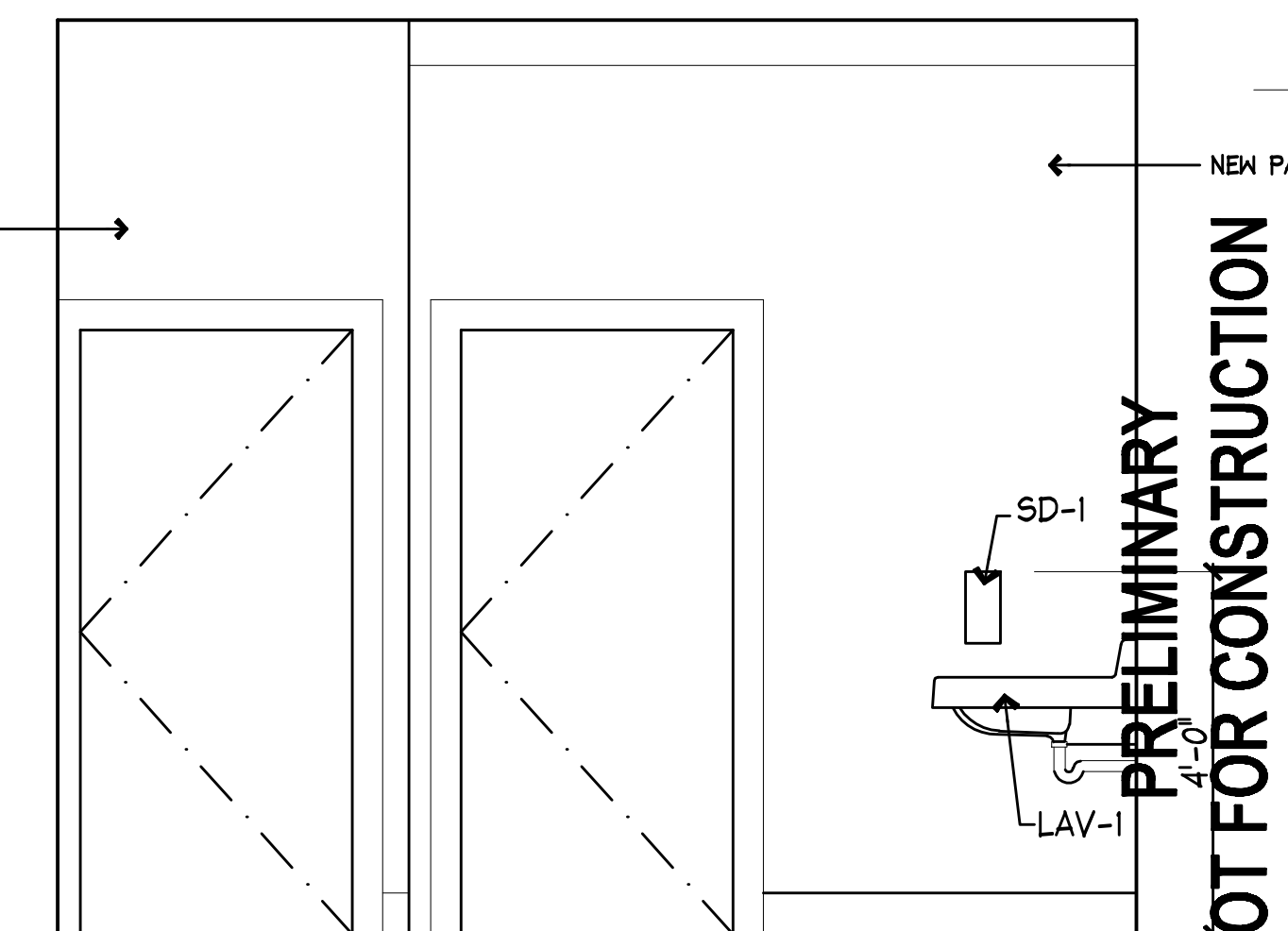
7 WOMENS ROOM 111 EAST  
 A4.1 SCALE: 1/2"=1'-0"



3 WOMENS ROOM 111 SOUTH  
 A4.1 SCALE: 1/2"=1'-0"



2 WOMENS ROOM 111 WEST  
 A4.1 SCALE: 1/2"=1'-0"



1 WOMENS ROOM 111 NORTH  
 A4.1 SCALE: 1/2"=1'-0"

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REVISIONS:

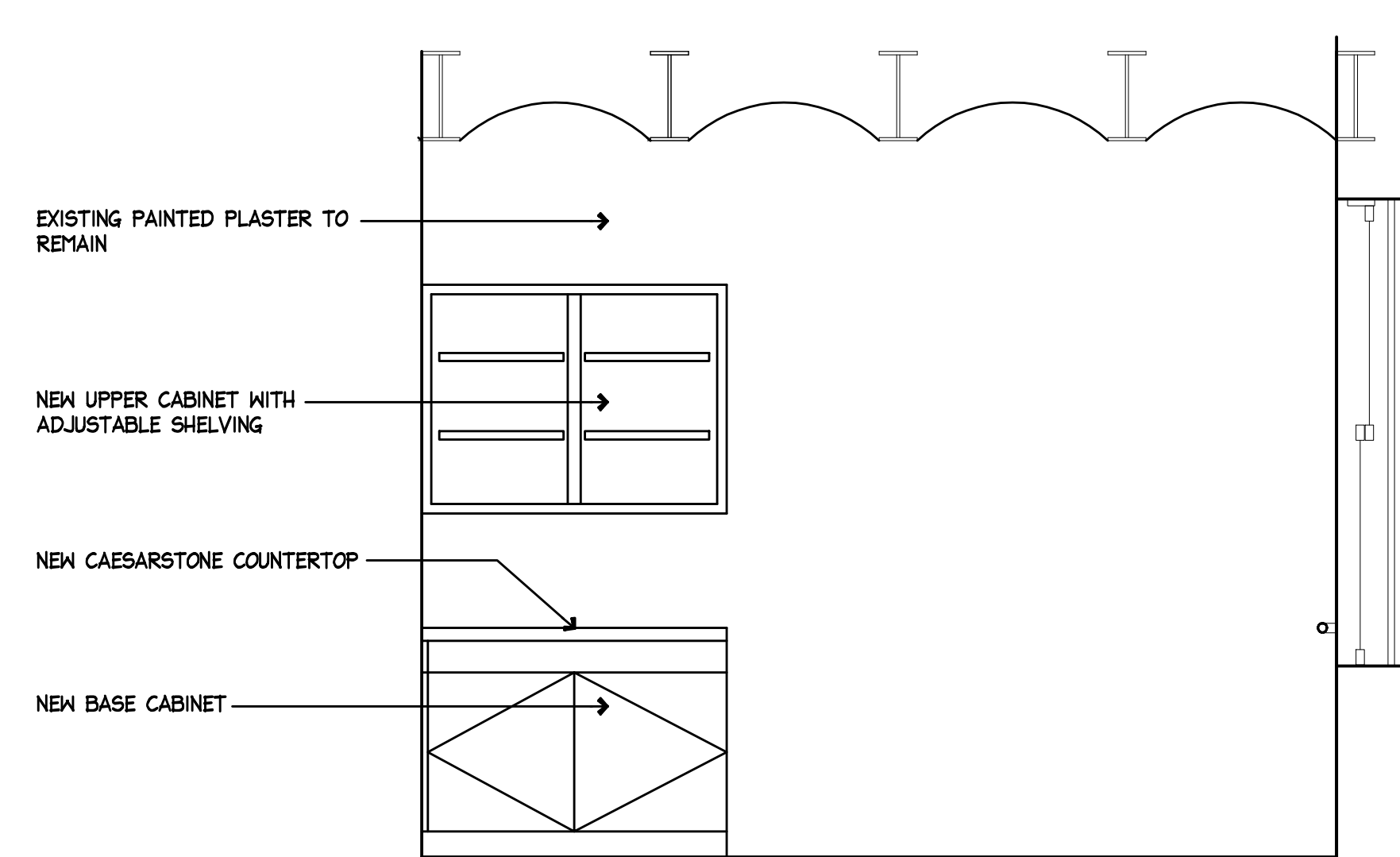
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 PHASE TWO - MUSEUM BUILDOUT  
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Project No: 1835J  
 INTERIOR ELEVATIONS  
 Date: 3/1/20

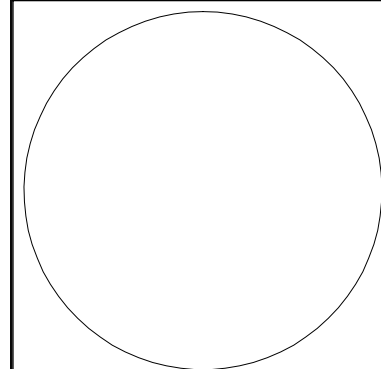
**A4.1**



1 OFFICE 103 EAST  
 A4.2 SCALE: 1/4"=1'-0"

REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
 PHASE TWO - MUSEUM BUILDOUT  
 500 WHITEHEAD STREET  
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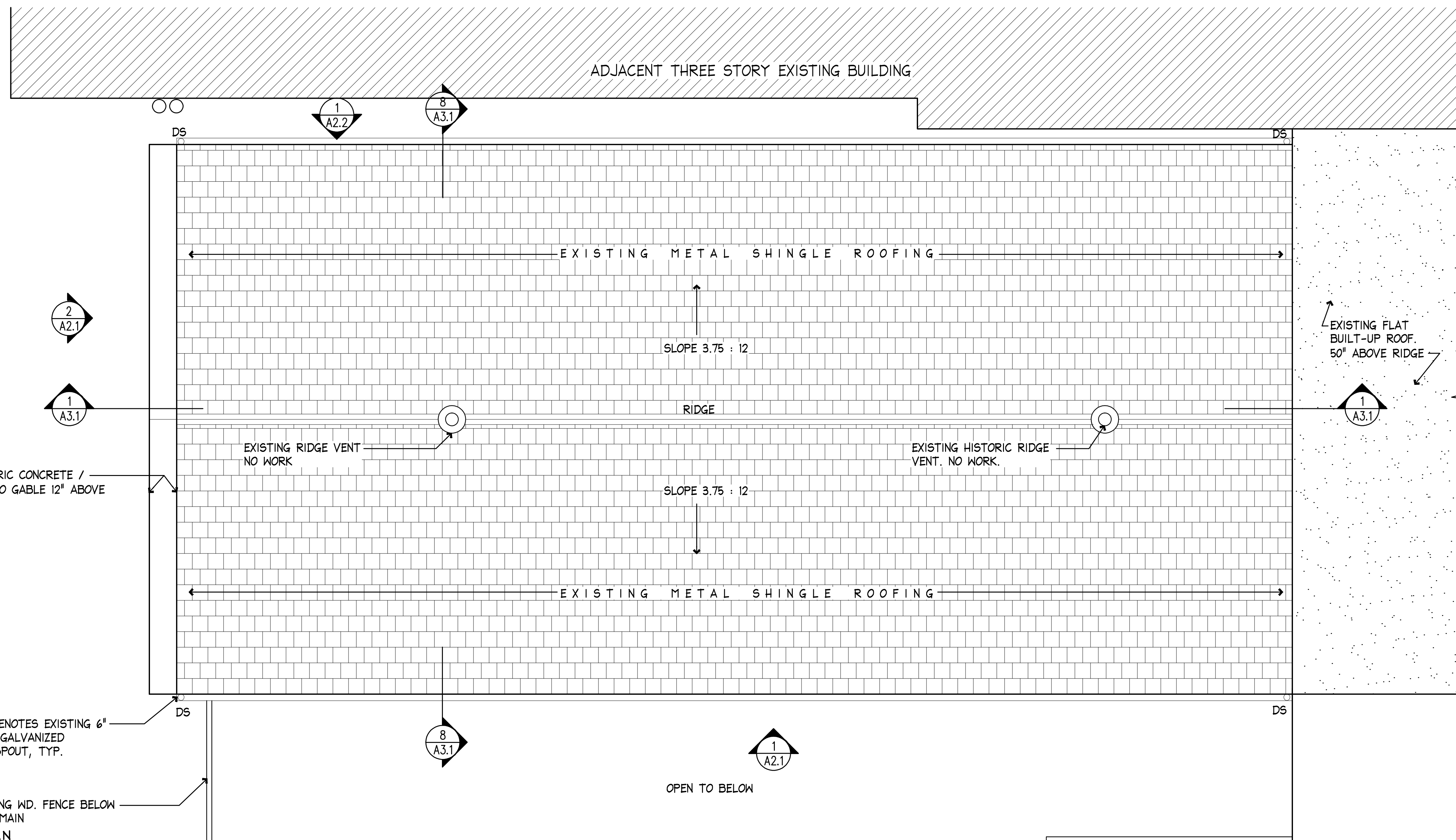
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Project No: 1835J  
 INTERIOR ELEVATIONS  
 Date: 3/1/20

**A4.2**  
 11 OF 22

**PRELIMINARY  
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1 PROPOSED ROOF PLAN  
A5.1 SCALE: 1/4"=1'-0"

'DS' DENOTES EXISTING 6" DIAM. GALVANIZED DOWNSPOUT, TYP.

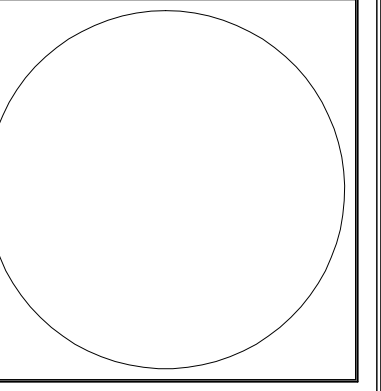
EXISTING WD. FENCE BELOW TO REMAIN

OPEN TO BELOW

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 PHASE TWO - MUSEUM BUILDOUT  
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Project No: 1835J  
 PROPOSED ROOF PLANS  
 Date: 3/1/20

**A5.1**  
 12 OF 22





**OCCUPANT LOAD** NOTE: OCCUPANCY CLASSIFICATION OF BUILDING IS CHANGING FROM B TO ASSEMBLY A-3. (MUSEUM)

FLOOR LEVEL	AREA NAME	CLASSIFICATION TYPE	AREA	OCCUPANT FACTOR	OCCUPANT LOAD
FIRST FLOOR	MUSEUM	A-3 ASSEMBLY	1214 S.F. NET	30 NET	42
FIRST FLOOR	OFFICE-ACCESSORY	B-BUSINESS	194 S.F.	100 GROSS	2
SECOND FLOOR	MUSEUM	A-3 ASSEMBLY	1204 S.F. NET	30 NET	41
SECOND FLOOR	STORAGE/JANITOR	STORAGE	117 S.F.	300 GROSS	1
NOTE: SECOND FLOOR LIMITED TO LIMITED TO 49 PERSONS					
GRAND TOTAL			2408 S.F. NET + CIRCULATION		86 TOTAL OCCUPANTS

**CAPACITY OF MEANS OF EGRESS**  
OCCUPANCY CLASSIFICATION: ASSEMBLY A-3, SPRINKLERED

FLOOR	OCC. LOAD	EGRESS COMPONENT	REQUIRED	PROVIDED
1ST FLOOR (ASSEMBLY A-3)	44	MIN. NUMBER OF EXITS	1 PER FBC-E 805.3.1.1	3
		CORRIDOR	44" MIN.	71" WIDE
		DOORS	(1) 32" CLR. DOOR PER FBC-E 805.3.1.1	(2) 36" DOORS, (1) 48" DOOR. DOORS SEPERATED BY 1/2 DIAGONAL.
		2 CAPACITY FACTOR 44 X 0.2 = 8.8' CLEAR		
2ND FLOOR (ASSEMBLY A-3)	49	MIN. NUMBER OF EXITS	1 PER FBC-B 1006.3.2(2)	1
		CORRIDOR	36" MIN.	60"
		DOORS	(1) 32" CLR. DOOR	(1) 32" CLR. DOOR, (1) 48" CLR. DOOR
		2 CAPACITY FACTOR 49 X 0.2 = 9.8' CLEAR		
STAIRS	(1) FLIGHT @ 44" CLR.	(1) 48" CLR. HISTORIC STAIR. NOTE: HISTORIC STAIRS CAN REMAIN PER FBC-E CHAPTER 12. HISTORIC STAIRWELL TO RECEIVE 30 MIN. FIRE RATING PER FBC-E 803.2.1, EXCEPTION 4.		
3 CAPACITY FACTOR 49 X 0.3 = 14.7' CLEAR				

**SPRINKLER REQUIREMENTS**  
AUTOMATIC SPRINKLER SYSTEM IS REQUIRED PER FBC-EXISTING 804.2.2.

**CONSTRUCTION TYPE**  
Construction Type: (FBC TABLE 601)  
Type 5-B construction, sprinklered.  
Primary structural frame: 0 hours.  
Exterior / Interior Bearing walls: 0 hours.  
Exterior Non-bearing walls: 0 hours.  
Interior Non-bearing walls: 0 hours.  
Floor construction / Secondary members: 0 hours.  
Roof construction / secondary members: 0 hours.

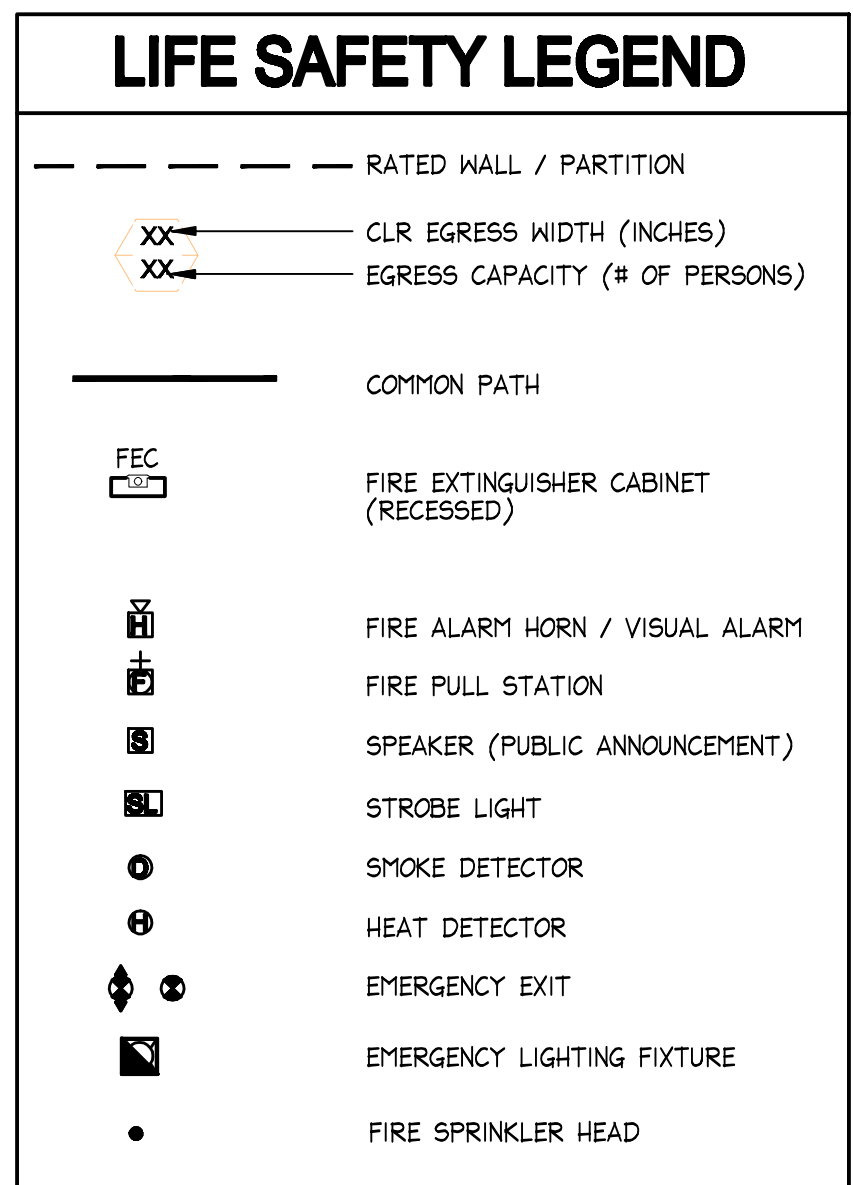
**ALLOWABLE BUILDING HEIGHTS & AREAS**  
Allowable Building Heights & Areas:  
(Automatic sprinkler system increase per Section 504.4)  
Group # Stories Allowed Area: Bldg. Height:  
A-3 2 24,000sf OK 40'  
The Existing Building meets all the above requirements.

**PLUMBING FIXTURES REQUIRED**  
FBC PLUMBING TABLE 403.1

ASSEMBLY A-3- MUSEUM	# OF OCCUPANTS	REQUIRED	PROVIDED
WATER CLOSETS	43 MALE 43 FEMALE 86 TOTAL	1 PER 125 MALE 1 PER 65 FEMALE 1 FEMALE ALL ACCESSIBLE.	1 MALE 1 FEMALE ALL ACCESSIBLE.
LAVATORIES	43 MALE 43 FEMALE 86 TOTAL	1 PER 200+ MALE 1 FEMALE ALL ACCESSIBLE.	1 MALE 1 FEMALE ALL ACCESSIBLE.
SERVICE SINK	86	1	2 PROVIDED.
DRINKING FOUNTAINS	86	1 PER 500 = 1	1 B/LON PROVIDED, ACCESSIBLE.

**PROJECT STATISTICS - MONROE COUNTY HISTORIC JAIL**  
LOT DESCRIPTION: SEE SURVEY. LOT SIZE: 133,488 S.F.

FEMA FLOOD ZONE: ZONE X  
FINISH FLOOR ELEVATION: HISTORIC JAIL FIRST FLOOR: APPROX. 13.4' (NGVD 1929)  
ZONING DESIGNATION: HPS (HISTORIC PUBLIC SERVICE)  
LOT AREA: 133,488 S.F.  
BUILDING CONDITIONED AREA: FIRST FLOOR: 2495 S.F.  
SECOND FLOOR: 2495 S.F.  
TOTAL CONDITIONED AREA: 4990 S.F.



**EGRESS CRITERIA**

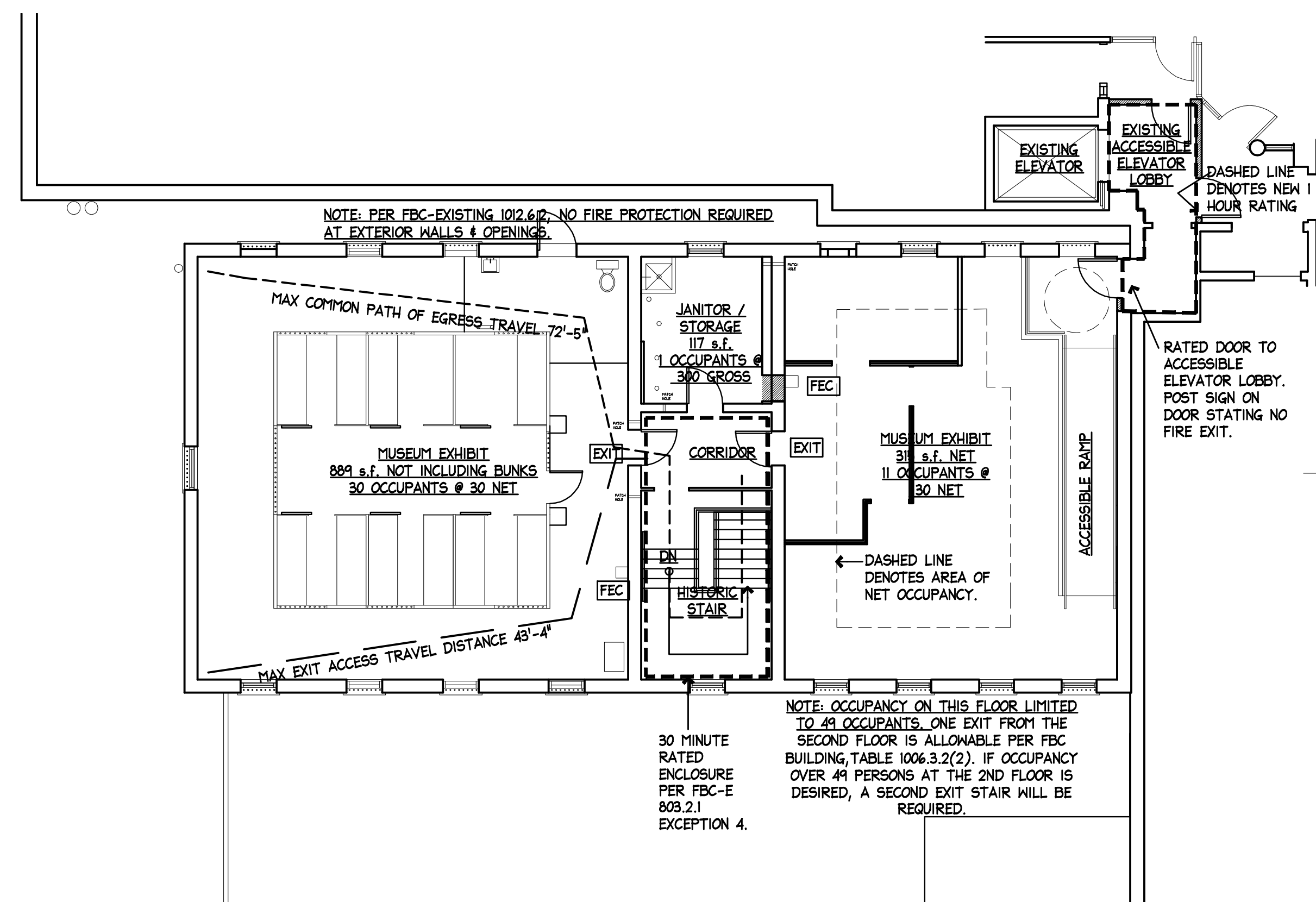
	FBC-B CODE REFERENCE	ALLOWED	AS DESIGNED
OCCUPANCY CLASSIFICATION A-3: ASSEMBLY, MUSEUM			
MAX EXIT ACCESS TRAVEL DIST.(SPRINKLERED)	1029.7	250'	43'-4"
COMMON PATH OF TRAVEL	1029.8	75'	72'-5"
MAX DEAD END CORRIDOR	1020.4	20'	17'-1"

**PORTABLE FIRE EXTINGUISHER REQUIREMENTS**  
2013 NFPA 10

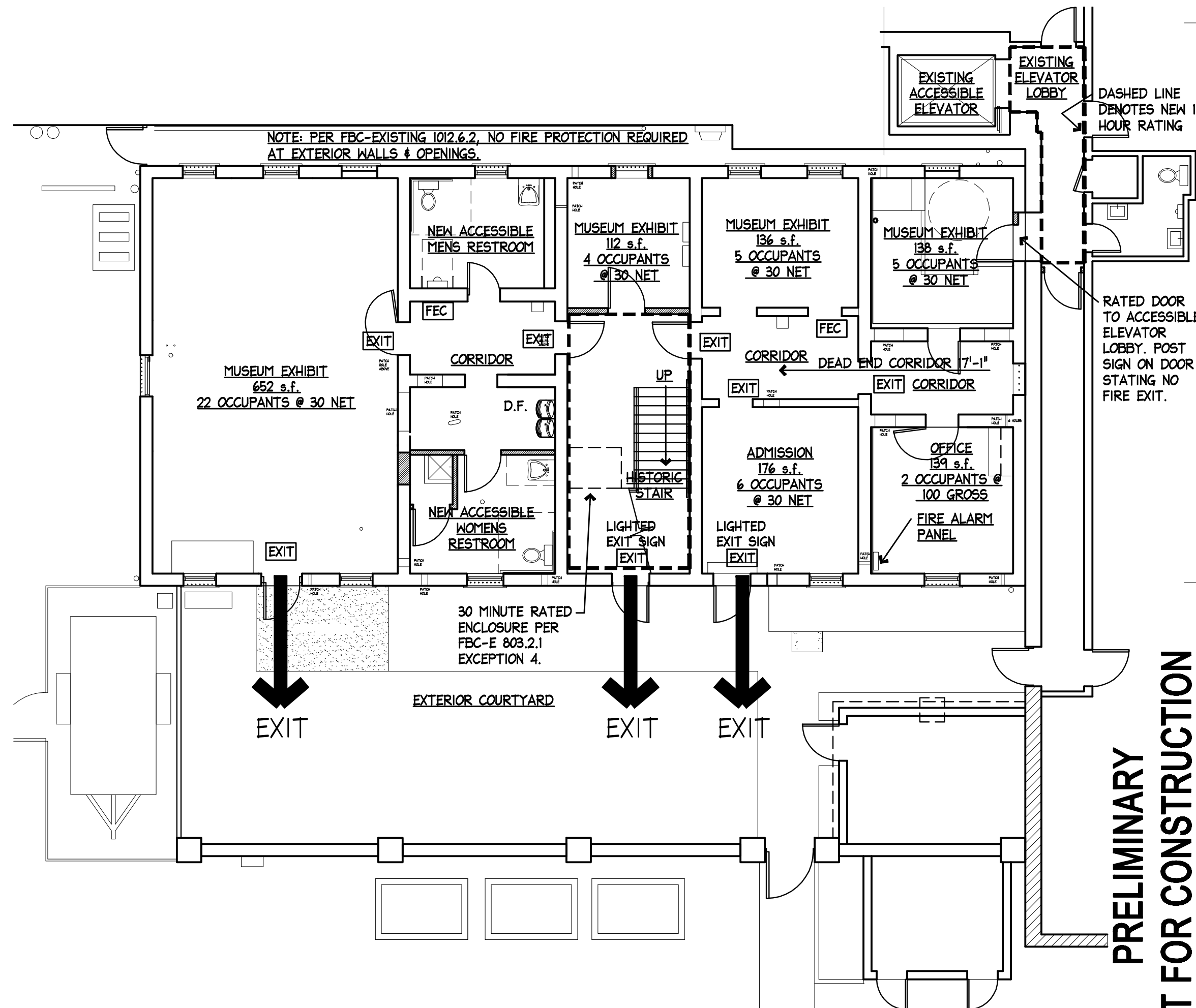
CLASSIFICATION OF HAZARDS	AREA	REQUIRED	PROVIDED	UL RATING
ORDINARY HAZARD, CLASS A (1 PER 1500 S.F.)				3-A 40 B C
FIRST FLOOR	2,500 S.F.	2	2	3-A 40 B C
SECOND FLOOR	2,500 S.F.	2	2	3-A 40 B C
MAX. TRAVEL DISTANCE TO EXTINGUISHER		75'	35'	

MINUT FIRE EXTINGUISHERS IN CABINET. TOP OF FIRE EXTINGUISHER TO BE MOUNTED NO MORE THAN 5'-0" ABOVE FINISH FLOOR.

2 LSI.1 SCALE: 1/8"=1'-0"  
**2ND FLOOR PROPOSED LIFE SAFETY PLAN**



1 LSI.1 SCALE: 1/8"=1'-0"  
**1st FLOOR PROPOSED LIFE SAFETY PLAN**



**PRELIMINARY NOT FOR CONSTRUCTION**

REVISIONS:

**MONROE COUNTY HISTORIC JAIL**  
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**ARCHITECTS**  
p.c.

Project No: 1835J  
PROPOSED LIFE SAFETY PLAN  
Date: 3/1/20

**LS1.1**  
12 OF 22

Monroe County Historic Jail Museum  
Code Check  
12 December 2019

Existing Building Area:	1 <sup>st</sup> Floor	2,495 s.f.
	2 <sup>nd</sup> Floor	2,495 s.f.
Total		4,990 s.f.

Existing Building Height: 28'.

FBC E Denotes 2017 Florida Building Code, Existing Building.  
FBC B Denotes Florida Building Code, Building.

Code Section

- FBC E 505      The proposed work area exceeds 50% - This is a level 3 alteration. All FBC-E Chapter 9 requirements shall apply.
- FBC E 506      The existing occupancy is B-Business (office and record storage). The New occupancy will be Assembly A-3 (museum). Due to this change in occupancy, the building must comply with FBC-Existing, Chapter 10.
- FBC E 1203.1    The Building is a contributing structure within the National Register Historic District. Per 1203.1, the historic preservation goal of this code shall be to minimize damage to and loss of historic structures, their unique characteristics and their contents as follows:
1. Maintain and preserve original space configurations of historic buildings.
  2. Minimize alteration, destruction or loss of historic fabric or design.
- FBC E 1203.2    Historic Preservation Objectives:
1. Preservation of the original qualities or character of a building, structure, site or environment shall be encouraged.
  2. Removal or alteration of any historic material or distinctive architectural features shall be minimized.
  3. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity.
  4. A compatible use for a property that requires minimal alteration of the building, structure or site and its environment shall be encouraged.
  5. New additions or alterations shall be designed and constructed in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired to the greatest degree possible.
  6. Repairs, alterations, restorations, changes of occupancy, additions and relocations shall be guided by the recommended approaches in rehabilitation set forth in the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Appendix B).

FBC E 1205.1 Strict compliance: Historic structures or portions of such structures that do not strictly comply with this code shall be considered to be in compliance if it can be shown to the satisfaction of the building code official that equivalent protection has been provided or that no hazard will be created or continued through noncompliance.

FBC E 1004.1 The Fire Protection requirements of FBC-Existing, Section 1012 apply. (Due to Change of occupancy).

FBC E 1005.1 Because of change of Occupancy, Means of egress shall comply with FBC-E Section 1012.

FBC E 1006.1 Because of change in occupancy, the building must comply with FBC, Accessibility. The building must be completely accessible.

**A VERTICAL LIFT OR ELEVATOR IS REQUIRED TO ACCESS THE SECOND FLOOR.**

FBC E 1012.4 Means of egress is changing from B-Business to a higher hazard category=3 (Assembly).

FBC E 1012.4.1 Due to the Occupancy change, the building must comply with Chapter 10 of FBC-Building.

Exception 2 & 3: Existing stairways complying with Chapter 9 may remain.

Exception 7: Window with minimum opening height of 22"H x 20"W shall be accepted as emergency escape/rescue opening.

FBC B 303.4 The building will be used as a museum. New occupancy shall be Assembly, A-3.

FBC E 1012.4.3 Egress capacity shall meet the occupant load requirements for A-3 as specified in FBC-Building.

FBC E 903.1 Existing stairways that are part of means of egress shall be enclosed in accordance with FBC-E 803.2.1.

FBC E 803.2.1 All existing vertical openings shall be enclosed with 1 hour fire rated opening protectives.

Exception 1: Where not required by FBC, Building. Not applicable. It's required by FBC-B 1023.2.

Exception 4: In Group A occupancies, a minimum 30 minute enclosure shall protect all vertical openings not exceeding 3 stories.

**HISTORIC STAIRWELL REQUIRES A 30 MINUTE FIRE RATING.**

FBC E 1012.5.1 Heights and areas of existing building must comply with FBC-Building, Chapter 5.

FBC B 506.2.3 Allowable area of building:

$$A_a = [A_i + (NS \times I_p)] \times S_a$$

SM= 2 story, sprinklered

$$A_a = [18,000 + (6,000 + 0)] \times 1$$

Allowable area of building = 24,000 s.f. OK. (Existing building area is 5,000 s.f.)

FBC 504.3 Allowable building height in feet above grade plane:  
Occupancy A3, Type 5-B, non-sprinklered. Building height must be 40' or less. (existing building height=28' high. OK.)

FBC-B 504.4 Allowable number of stories above grade: Type 5-B construction, sprinklered, A-3,  
=2 stories allowable. OK

FBC E 1012.6 Table 1012.6: Exposure of exterior walls hazard categories:  
Occupancy B to A = no change in hazard category. Per FBC E 1012.6.2, Existing exterior walls, including openings, shall be accepted. No additional opening protectives are required.

FBC 1004.1.2 Occupancy Loads:  
Table 1004.1.2 Assembly – Exhibit gallery and museum: 30 net  
1<sup>st</sup> Floor: 44 occupants  
2<sup>nd</sup> Floor: 49 occupants  
Total: 93 occupants

FBC B Table 1006.2.1 In spaces with one exit or exit access doorway:  
Occupancy A, 49 persons maximum allowed per room/space  
Maximum common path of egress travel:  
Without sprinklers: 75'  
With sprinklers: 75'

FBC B 1006.3.2 Single exits:  
A single exit shall be permitted from any story when one of the following conditions exists:  
(1) The occupant load, number of dwelling units and common path of egress travel distance do not exceed the values in Table 1006.3.2(2).

Table 1006.3.2(2) Stories with one exit or access to one exit:  
First story above grade plane, Assembly occupancy, Maximum Occupant load 49, Max common egress travel distance: 75'.

**ONE EXIT IS PERMITTED FROM THE SECOND FLOOR, AS LONG AS THE OCCUPANT LOAD IS 49 PERSON OR FEWER. THE EXIT WILL BE 30 MIN FIRE RATED PER FBC E 803.2.1.**

**IF MORE THAN 49 PERSONS ARE DESIRED ON THE SECOND FLOOR, AN ADDITIONAL EXIT STAIR WILL BE REQUIRED. SEE LIFE SAFETY PLAN.**

FBC 1017 Exit Access travel distance:

Table 1017.2 Maximum exit access travel distance, Occupancy Assembly:  
Unsprinklered: 200' max.  
Sprinklered: 250' max. OK.

FBC Plumbing,  
Table 403.1 Plumbing fixtures:

# of Occupants: 46 male  
47 female  
93 total

A-2 Occupancy Plumbing Fixture requirements:

Male WC:	1 per 125. 1 male WC required
Female WC:	1 per 65. 1 female WC required
Lavatories:	1 per 200. 1 male, 1 female required
Drinking fountain:	1 per 500. 1 DF required
Service sink:	1 required.

### **Sprinkler Systems:**

FBC B 903.2.1.3 An automatic sprinkler system shall be provided for fire areas containing Group A-3 Occupancies where provide sprinklers where one of the following exists:

1. The Fire area exceeds 12,000 s.f. – No
2. Fire area has occupant load of 300 or more – No
3. The fire area is located on a floor other than a level of exit discharge serving such occupancies – Yes

**PER FBC B 903.2.1.3, THE BUILDING REQUIRES AN AUTOMATIC SPRINKLER SYSTEM.**

FBC E 804.2.2 In buildings with (Group A) work areas that have exits or corridors shared by more than 1 tenant or that have exits or corridors serving an occupant load greater than 30 shall be provided with an automatic sprinkler system

**PER FBC EXISTING 804.2.2, THE BUILDING REQUIRES AN AUTOMATIC SPRINKLER SYSTEM.**

FBC E 805 Means of egress:

FBC E 805.3.1 Means of egress must comply with FBC-BUILDING egress requirements.

FBC E 805.3.1.1 Single exit buildings:

Only one exit is required from buildings and spaces of the following occupancies:

1. In Group A,B,E,F,M,U and S occupancies, a single exit is permitted at the level of exit discharge when the occupant load of the story does not exceed 50 and the exit access travel distance does not exceed 75 feet. \*Occupant load of 1<sup>st</sup> floor = 44, Exit access travel distance = 60' OK

**ONE EXIT IS REQUIRED FROM THE FIRST FLOOR. WE ARE PROVIDING THREE.**

FBC Table 601	Fire Rating:	
	Structural frame:	0 hours
	Bearing walls interior:	0 hours
	Bearing walls exterior:	0 hours
	Non-bearing walls interior:	0 hours
	Non-bearing walls exterior:	0 hours
	Floor construction:	0 hours
	Roof construction:	0 hours

**Deed**



111101 THIS INDENTURE,

Made this 15<sup>th</sup> day of July, A.D. 1963, between THE BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY, FLORIDA, a body corporate organized and existing under the laws of the State of Florida, whose post office address is c/o Administration Building, 310 Fleming Street, Key West, Monroe County, Florida, party of the first part, and COUNTY OF MONROE, STATE OF FLORIDA, a political subdivision of the State of Florida, whose post office address is Monroe County Courthouse, Key West, Monroe County, Florida, party of the second part;

WITNESSETH: That the said party of the first part, for and in consideration of the sum of One and No/100 Dollars (\$1.00) to it in hand paid, receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remise, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, convey and confirm unto the said party of the second part and its successors and assigns forever, all that certain parcel of land lying and being on the Island of Key West, in the County of Monroe and State of Florida, more particularly described as follows:

COMMENCING at the intersection of the Southerly right-of-way line of Fleming Street and the Westerly right-of-way line of Whitehead Street; thence in a Southwesterly direction two hundred point seven (200.7) feet along said right-of-way line of Fleming Street; thence at right angles in a Southeasterly direction one hundred thirty-two point one (132.1) feet to the point of beginning, thence at a right angle in a Southwesterly direction sixteen (16) feet; thence at a right angle in a Northwesterly direction nineteen (19) feet, eight (8) inches; thence at a right angle in a Northeasterly direction sixteen (16) feet; thence at a right angle in a Southeasterly direction nineteen (19) feet, eight (8) inches back to the point of beginning.

(The above described parcel of land being a part of that certain real property heretofore conveyed by the County of Monroe, State of Florida, a political subdivision of the State of Florida, as grantor, to The Board of Public Instruction of Monroe County, Florida, a body corporate organized and existing under the laws of the State of Florida, as grantee, by deed dated April 17, 1953, for a nominal consideration; and this deed from The Board of Public Instruction of Monroe County, Florida to County of Monroe, State of Florida, for the above parcel, was authorized at a regular meeting of The Board of Public Instruction of Monroe County, Florida on May 14, A.D. 1963, upon written request from The Board of County Commissioners of Monroe County, Florida.)

REC 287 PAGE 558

Together with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

And the said party of the first part doth covenant with the said party of the second part that it is lawfully seized of the said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same, and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed in its name by its Chairman, and its corporate seal to be affixed, attested by its Superintendent and Ex Officio Secretary, the day and year above written.

(Corporate Seal)

THE BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY, FLORIDA

By \_\_\_\_\_  
Glyn R. Archer Chairman

Attest: Horace O'Bryant  
Horace O'Bryant, Superintendent and Ex Officio Secretary

Signed, sealed and delivered in our presence:

\_\_\_\_\_  
\_\_\_\_\_



EA 257 No. 500

STATE OF FLORIDA  
COUNTY OF MONROE

I HEREBY CERTIFY that on this 18th day of July, A.D. 1963, before me personally appeared **GLYNN R. ARCHER** and **HORACE O'BRYANT**, Chairman and Superintendent and Ex Officio Secretary respectively of **THE BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY, FLORIDA**, a body corporate organized and existing under the laws of the State of Florida, to me known to be the persons described in and who executed the foregoing conveyance to County of Monroe, State of Florida, and severally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned, and that they affixed thereto the official seal of said body corporate, and the said instrument is the act and deed of said body corporate.

WITNESS my signature and official seal at Key West, in the County of Monroe and State of Florida, the day and year last aforesaid.

(SEAL)

*[Signature]*  
Notary Public - State of Florida - At Large

My commission expires:

NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES APR. 1, 1967  
BOARDS BY NATIONAL BOARD AGENCY

111114

RECORDED IN OFFICIAL RECORD BOOK  
OF MONROE COUNTY, FLORIDA  
EARL R. ADAMS  
CLERK OF CIRCUIT COURT  
RECORD VERIFIED

26273

DEED

NOW ALL MEN BY THESE PRESENTS:

WHEREAS, the following described parcel of land, within the limits of the County of Monroe, State of Florida, has been acquired by condemnation and is now being held by the United States of America for Barracks and Mess Hall in connection with the Naval Operating Base, Key West, Florida, as contemplated and provided in the Constitution of the United States:

Beginning at the Northeast Corner of Square 64, which is the intersection of the Southeasterly property line of Southard Street and the Westerly property line of Thomas Street and running Southwesterly along the Northwesterly boundary line of Square 64 a distance of 452 feet more or less, to the Northeasterly property line of U. S. Naval Station property, thence running Northwesterly along said line of Navy property 454 feet, more or less, to a point 48 feet Southeasterly from a point which intersects with the Southeasterly line of Fleming Street extended, thence 90° to the right 50 feet, crossing Emma Street to a point lying on the Northeasterly line of Emma Street, thence Northwesterly 48 feet along the Northeasterly line of Emma Street to a point being the Easterly intersection of Emma and Fleming Street, which point is also the Westerly property corner of Block 52; thence Northeasterly 402 feet, more or less, along the Southeasterly line of Fleming Street and the Northwesterly property line of Block 52; thence Southeasterly 502 feet, more or less, Southeasterly along the Southwesterly line of Thomas Street which is also the Northeasterly property line of Block 52, to the point of beginning, containing 5.28 acres of land, more or less.

AND WHEREAS, application in writing has been made by the United States of America to me, MILLARD F. CALDWELL, as Governor of the State of Florida, to cede to the said United States of America jurisdiction over said land;

NOW, THEREFORE, I, MILLARD F. CALDWELL, as Governor of the State of Florida, in the name and by the authority of said State and pursuant to the statutes of said State in such cases made and provided, do hereby cede to the United States of America, exclusive jurisdiction over said land so acquired.



6-50 117

PROVIDED, HOWEVER, that said cession of jurisdiction is made upon the express condition that the said State of Florida retains and shall have concurrent jurisdiction with the United States in and over said land and every portion thereof so far that all process, civil or criminal, issued under authority of the State of Florida, or any of the courts or judicial officers thereof, may be executed by the proper officers thereof upon any person or persons amenable to the same, within the limits and extent of said land in like manner and like effect as if said statutes of the State of Florida had never been passed and this instrument had never been executed; saving, however, to the United States security to their property within said limits and extent, and exemption of the same from any taxation under laws of the State while the same shall continue to be owned and occupied by the United States for the purposes above expressed and not otherwise, and provided further, that this cession is made and shall in all things be subject to the terms and effect of the statutes of the State of Florida in such cases made and provided the same as if such statutes were herein fully set forth.



IN TESTIMONY WHEREOF, I, WILLIAM F. CALDWELL, as Governor of the State of Florida, have hereunto set my hand and caused this instrument to be countersigned by the Secretary of State and sealed with the Great Seal of the State of Florida, at the Capitol, at Tallahassee, this \_\_\_\_\_ day of \_\_\_\_\_, A. D. 1945.

ATTEST:

*W. A. Gray*  
Secretary of State of  
the State of Florida.

\_\_\_\_\_  
As Governor of the State of Florida.

STATE OF FLORIDA }  
OFFICE OF SECRETARY OF STATE } SS

I, R. A. Gray Secretary of State  
of the State of Florida, do hereby certify that the fore-  
going Deed of Cession has been duly recorded in this office  
in Deed Book B., pages 123-124.

Given under my hand and the Great Seal of the State  
of Florida, at Tallahassee, the Capitol, this the 16<sup>th</sup> day  
of April, A. D. 1945.

R. A. Gray  
Secretary of State.

26273  
STATE OF FLORIDA }  
County of Monroe }  
FILED FOR RECORD  
THIS JAN - 3 1952 - 11:33 am  
AND RECORDED IN Deed BOOK G-59  
PAGES 220/222, 1st P. WORD VERIFIED  
EARL R ADAMS  
CLERK CIRCUIT COURT  
By: Kathleen [Signature]  
Deputy Clerk

# **Property Record Card**

**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00010060-000000  
 Account# 1010341  
 Property ID 1010341  
 Millage Group 10KW  
 Location Address 500 WHITEHEAD St, KEY WEST  
 Legal Description KW PT JACKSON SQ MONROE CO COURT HOUSE G59-220/22 OR287-557/59  
 (Note: Not to be used on legal documents.)  
 Neighborhood 32020  
 Property Class COUNTY (8600)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable Housing No



**Owner**

MONROE COUNTY  
 1100 Simonton St  
 Ste 205  
 Key West FL 33040

**Valuation**

	2020	2019	2018	2017
+ Market Improvement Value	\$14,525,311	\$14,525,311	\$14,525,311	\$14,525,311
+ Market Misc Value	\$68,535	\$68,535	\$68,535	\$68,535
+ Market Land Value	\$5,047,424	\$5,047,424	\$5,047,424	\$5,047,424
= Just Market Value	\$19,641,270	\$19,641,270	\$19,641,270	\$19,641,270
= Total Assessed Value	\$19,641,270	\$19,641,270	\$19,641,270	\$19,641,270
- School Exempt Value	(\$19,641,270)	(\$19,641,270)	(\$19,641,270)	(\$19,641,270)
= School Taxable Value	\$0	\$0	\$0	\$0

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL EXEMPT (100E)	79,925.00	Square Foot	0	0

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
RW2	1944	1945	1	872 SF	1
UTILITY BLDG	1969	1970	1	108 SF	5
CONC PATIO	1987	1988	1	2941 SF	2
UTILITY BLDG	2000	2001	1	308 SF	3
ASPHALT PAVING	2001	2002	1	14135 SF	2
CONC PATIO	2001	2002	1	3380 SF	2
BRICK PATIO	2001	2002	1	540 SF	2
CONC PATIO	2002	2003	1	125 SF	2

**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2021-0395	5/12/2021		\$254,000	Commercial	RENOVATING HISTORIC JAIL IN 4 PHASES. THIS IS THE THIRD PHASE, WINDOWS/DOORS
BLD2020-2422	8/20/2020		\$31,000	Commercial	REROOF BUILDING, REPLACE GUTTERS. GRACE UNDERLAYMENT, NEW FLASHING, REMOVE AND REPLACE METAL SHINGLES, REPLACE GUTTERS.
20-0558	2/18/2020	6/9/2020	\$0	Commercial	GUTTERS
20-0124	1/28/2020		\$4,151	Commercial	MECHANICAL HVAC
17-3668	1/4/2018		\$30,000	Commercial	RE-ROOFING OF CONNECTION BETWEEN HISTORIC COUNTY COURTHOUSE AND OFFICE ANNEX. TOTAL ROOF AREA IS APPROX 280 SQ FT.

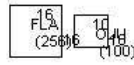
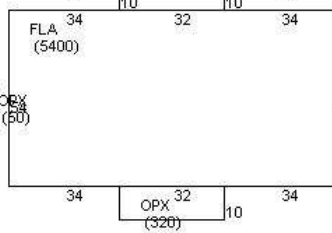
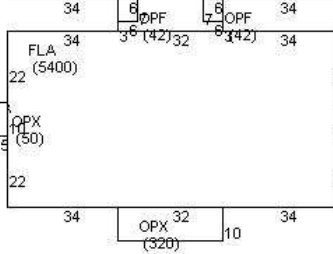
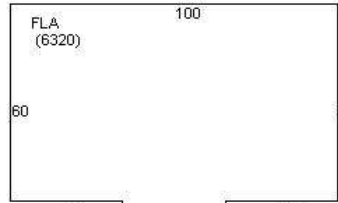
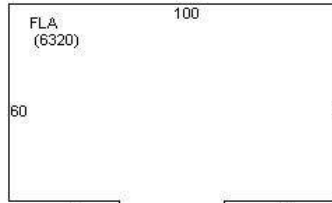
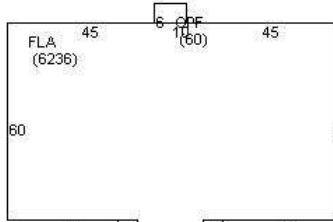


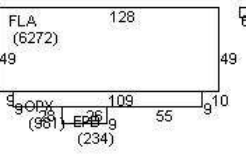
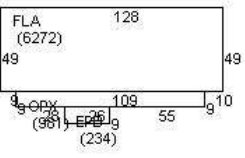
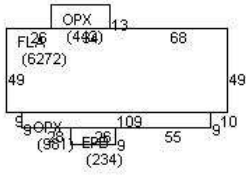
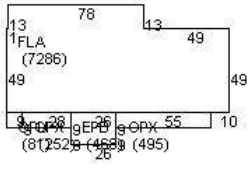
14-0490	4/30/2014	3/6/2015	\$5,000	Commercial	ADA ACCESSIBILITY UPGRADES, REWORKING EXISTING PARKING AND CURBING TO PROVIDE COMPLIANT ACCESS ROUTE AND RAMP SYSTEM TO FRONT ENTRANCE OF BUILDING. ADA ACCESSIBILITY CODE COMPLIANCY WILL REQUIRE NEW SIGNAGE, COMPLIANT PARKING AND APPROACH TO ENTRANCE OF BUILDING.
13-2671	6/19/2013	4/23/2017	\$332,405	Commercial	140 Q TL REPLACE 74 SQS OF EXISTING STANDING SEAM METAL ROOF WITH GAL. FINISH.
12-1076	6/17/2013	6/28/2017	\$200,000	Commercial	REROOF BUILDING WITH METAL ROOF, GUTTERS AND DOWNSPOUTS.
12-3877	10/29/2012		\$9,150	Commercial	REPLACE 260SF OF T & G 2X6 WOOD DECKING ON SECOND FLOOR BALCONY. PAINT
04-3770	12/20/2004	12/31/2004	\$5,000	Commercial	
03-3635	11/13/2003	10/30/2003	\$258,400	Commercial	COOLING TOWER & ELECTRICAL
03-3337	11/10/2003	12/31/2003	\$113,500	Commercial	REWIRE NEW ELECTRICAL ROO
03-0467	2/20/2003	1/1/2004	\$1,500	Commercial	REPLACE SIDEWALK
02-2325	1/3/2003	12/31/2003	\$8,000	Commercial	CONCRETE SIDEWALK
02-3249	1/2/2003	12/31/2003	\$5,000	Commercial	INSTALL WALLS
02/2325	8/26/2002	12/17/2002	\$2,000	Commercial	REPLACE RAMP
02/2028	8/8/2002	12/31/2003	\$4,500	Commercial	GLASS DOORS
0200499	4/23/2002	9/13/2002	\$110,000	Commercial	REPAIRS TO CLOCK TOWER
0103176	12/11/2001	9/13/2002	\$159,000	Commercial	HURRICANE SHUTTERS
0103176	9/20/2001	9/13/2002	\$3,014	Commercial	INSTALL HARDWARE FOE SHUT
0100987	3/1/2001	3/7/2001	\$91,013	Commercial	PAINT & WATERPROOF STRUCT
0003922	12/13/2000	3/7/2001	\$99,900	Commercial	UNDERGROUND STOR TANK
0001749	6/28/2000	3/7/2001	\$740,000	Commercial	PLUMBING
9802758	5/18/2000	3/7/2001	\$100,000	Commercial	CHANGE EQUIP SHELTER LOCA
0001144	5/8/2000	3/7/2001	\$600	Commercial	INSTALL EXHAUST FAN
0000887	4/7/2000	3/7/2001	\$3,000	Commercial	REPAIR ELECTRICAL LINES
0000018	3/15/2000	3/7/2001	\$25,000	Commercial	INSTALL FIRE DOORS
9904050	12/16/1999	3/7/2001	\$116,000	Commercial	133 SQS METAL SHINGLES
9903534	10/20/1999	3/7/2001	\$70,000	Commercial	INSTALL FIRE SPRINKLERS
9902408	8/24/1999	3/7/2001	\$29,850	Commercial	NEW ELECTRICAL
9900106	1/13/1999	3/7/2001	\$8,450	Commercial	REMOVE UNDERGROUND STORAG
9703503	12/17/1998	3/7/2001	\$4,900,000	Commercial	RENOVATION/DEMO/NEW ADDIT
9803854	12/8/1998	1/1/1999	\$1,000	Commercial	TEMP CONST TRAILER
9803790	12/1/1998	1/1/1999	\$100,376	Commercial	ROOFING
9802806	9/11/1998	1/1/1999	\$500	Commercial	INSTALL 94 LN FT GUTTER
9800697	7/27/1998	1/1/1999	\$315,712	Commercial	INSTALL AC UNIT
9800697	6/26/1998	1/1/1999	\$315,712	Commercial	OUTLETS/SWITCHES
9800697	6/25/1998	1/1/1999	\$315,712	Commercial	INSTALL 12 FIXTURES
9801896	6/25/1998	1/1/1999	\$564,000	Commercial	REPLACE EXISTING FIXTURES
9800697	6/18/1998	1/1/1999	\$315,712	Commercial	REMODEL PARKING AREA
9702685	8/11/1997	1/1/1999	\$40,000	Commercial	FIRE ALARM SYSTEM
9702858	8/1/1997	12/1/1997	\$2,200	Commercial	INTERIOR RENOVATIONS
9700870	4/4/1997	1/1/1999	\$650	Commercial	INSTALL NEW DOOR
9700762	3/27/1997	1/1/1999	\$750	Commercial	REPLACE REVOLVING DOOR
B953473	10/1/1995	12/1/1995	\$800	Commercial	REPAIR STEPS/DECK ON ROOF
B953679	10/1/1995	12/1/1995	\$8,000	Commercial	RENOVATION CLERKS OFFICE
E953680	10/1/1995	12/1/1995	\$500	Commercial	ELECTRICAL/TELEPHONE
B952945	9/1/1995	12/1/1995	\$7,000	Commercial	PERMIT RENEWAL F/2 TRALER
B952349	7/1/1995	12/1/1995	\$2,500	Commercial	RENOVATE BATHROOMS TO ADA
B952365	7/1/1995	12/1/1995	\$9,000	Commercial	CEILING TILES
P952380	7/1/1995	12/1/1995	\$2,500	Commercial	6 PLUMBING FIXTURES
A951846	6/1/1995	12/1/1995	\$9,100	Commercial	15 SQRS RFG
M951595	5/1/1995	12/1/1995	\$13,000	Commercial	2-15TON A/C W/23 DROPS
M951675	5/1/1995	12/1/1995	\$3,250	Commercial	1-3 TON A/C W/4 DROPS
M951676	5/1/1995	12/1/1995	\$2,850	Commercial	REPLACE 3.5 TON A/C UNIT
M951757	5/1/1995	12/1/1995	\$9,300	Commercial	REPLACE 5 TON A/C
E951237	4/1/1995	12/1/1995	\$850	Commercial	ALARM SYSTEM
B944103	12/1/1994	12/1/1995	\$100,000	Commercial	RENOVATION OF COURTROOM
E944091	12/1/1994	12/1/1995	\$12,000	Commercial	ELECTRICAL
B943912	11/1/1994	12/1/1995	\$1,000	Commercial	MOVE INTERIOR WALLS
B942727	8/1/1994	12/1/1994	\$4,000	Commercial	RENEWAL FOR TRAILERS
B941522	5/1/1994	12/1/1994	\$4,000	Commercial	MAINTENANCE
B941144	4/1/1994	12/1/1994	\$3,500	Commercial	REPAIRS
B941288	4/1/1994	12/1/1994	\$3,500	Commercial	REPAIRS & MAINTENANCE
M940682	2/1/1994	12/1/1994	\$3,300	Commercial	3.5 TON AC

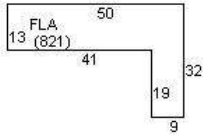
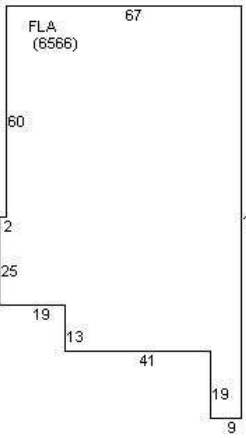
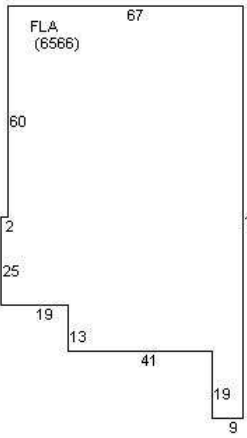
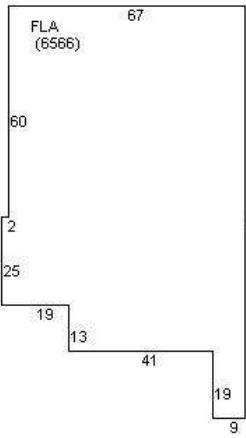
## View Tax Info

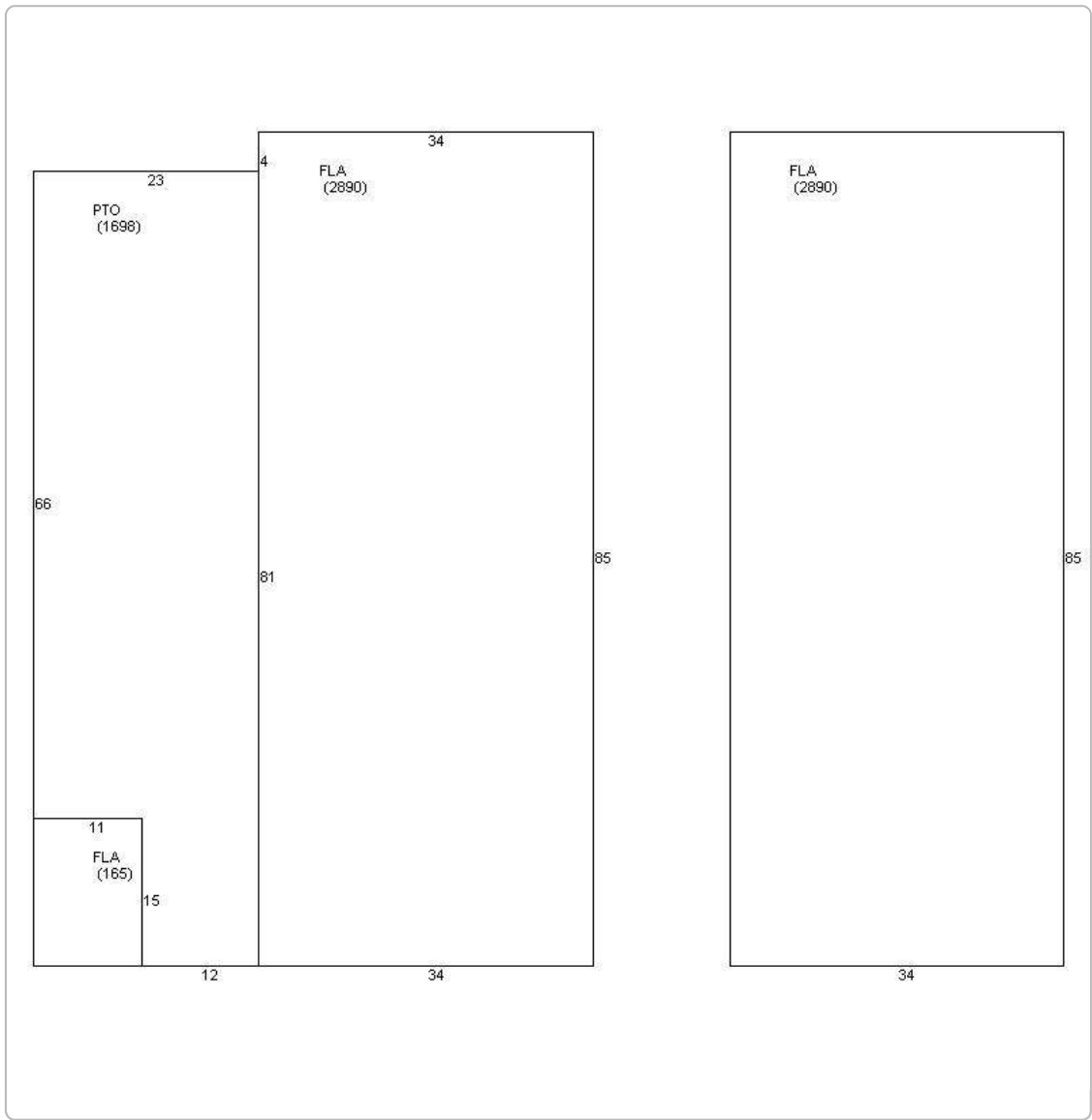
[View Taxes for this Parcel](#)

Sketches (click to enlarge)









Photos



## Map



**No data available for the following modules:** Buildings, Commercial Buildings, Mobile Home Buildings, Exemptions, Sales, TRIM Notice.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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