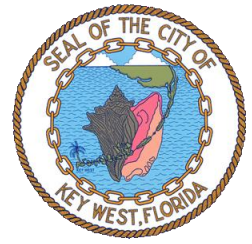


**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

Through: Thaddeus Cohen, Planning Director

From: Melissa Paul-Leto, Planner Analyst

Meeting Date: December 17, 2015

Agenda Item: **After-the-Fact Variance – 3206 Duck Avenue (RE # 00052901-000400; AK # 1008443)** – A request for variances to building coverage, maximum impervious surface ratio, rear and side setback requirements in order to grant an after the fact bathroom addition. This property is located within the Medium Density Residential (MDR) Zoning District pursuant to Sections 90-395, 122-270(4) a.1, 122-270(4) b., 122-270(6)a.2, and 122-270(6)a.3, of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

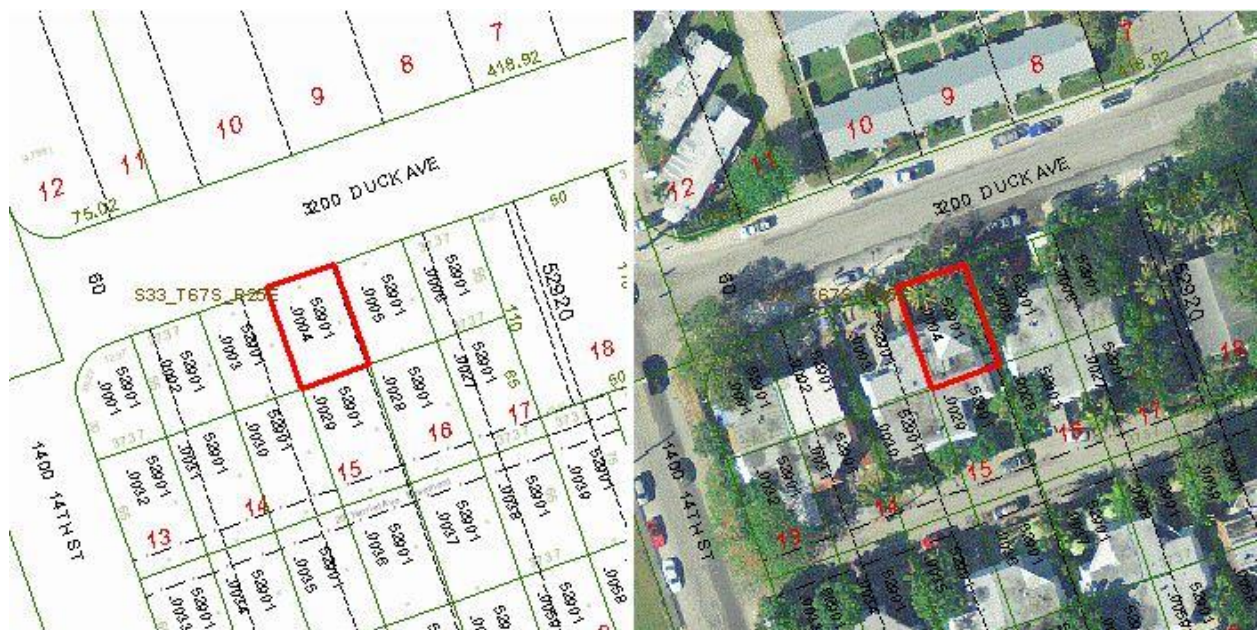
Request: Variance to building coverage, maximum impervious surface ratio and side and rear setback requirements.

Applicant: Cristy Spottswood, Spottswood, Spottswood & Spottswood

Owner: Michael Dwight Faulkner

Location: 3206 Duck Avenue (RE # 00052901-000400; AK # 1008443)

Zoning: Medium Density Residential (MDR)



Background and Request:

The applicant constructed a bathroom addition without permits on the side portion of the single family townhouse. The property is part of a series of quadraplexes named Smurf Village. A notice of Code Violation was issued to the prior applicant, Robert Faulkner on July 8, 2014. Mr. Faulkner applied for an after the fact variance with the Planning Department soon after. The variance was presented to the DRC on December 19th, 2014. A site inspection was conducted by the Building and Fire Department in January of 2015. Soon after, Mr. Faulkner became very ill and passed away sometime in late June. His brother, Michael D. Faulkner has now taken over the property.

Relevant MDR Zoning District Dimensional Requirements: Code Section 122-205				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Minimum lot size	1/2 acre	1,859 SF	1,859 SF	Complies
Maximum density	16 dwelling unit per acre	1 unit	1 unit	Complies
Minimum front setback	30 feet	26.2 feet	26.2 feet	Existing nonconformity
Minimum side setback (East)	7 feet	7 feet 7 inches	5 feet 2 inches	Variance Requested
Minimum side setback (West)	7 feet	0 feet	0 feet	Existing nonconformity
Minimum Rear setback	20 feet	0 feet	0 feet	Existing nonconformity
Maximum building coverage	40%	50.5% (940 SF)	53.4% (993 SF)	Variance Requested
Maximum impervious surface	50%	50.5% (940 SF)	53.4% (993 SF)	Variance Requested
Minimum open space	35%	44%	44%	Complies

Process:

DRC Meeting:

December 19, 2014

Planning Board Meeting:

December 17, 2015

Local Appeal Period:

30 days

DEO Review Period:

Up to 45 days

Analysis – Evaluation for Compliance With The Land Development Regulations:

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

1. ***Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.***

The existing property is part of a series of quadrangles. The land structure is very limited to expansions due to tight setback yard spaces. However, the circumstances of this lot are applicable to other lots in the MDR zoning district.

NOT IN COMPLIANCE.

2. ***Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.***

The existing conditions are created by the applicant. The request to have an addition made to the property that violates building coverage, maximum impervious surface ratio and setback requirements is generated from specific actions initiated by the applicant. The applicant initiated construction without building permits and required a variance approval.

NOT IN COMPLIANCE.

3. ***Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.***

Sections 122-270(4)a.1, 122-270(4)b., 122-270(6)a.2 and 122-270(6)a.3, of the Land Development Regulations state the required maximum building coverage, impervious surface ration and setback requirements. Therefore, granting the proposed maximum building coverage, maximum impervious surface ratio and setback requirements would confer special privileges upon the applicant.

NOT IN COMPLIANCE.

4. ***Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.***

The layout of the property and the townhomes that are part of the Smurf Village quadrplexes have limited space regarding side and rear setbacks due to the tight fenced in nature of the properties. This does create a challenge if a property owner is in need of an addition. However, the denial of the requested variance would not deprive the applicant of rights commonly enjoyed by other properties in the MDR Zoning District. Therefore, hardship conditions do not exist.

NOT IN COMPLIANCE.

5. ***Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.***

The variance requested is the minimum required that will make possible the reasonable use of the land, building, or structure.

IN COMPLIANCE.

6. ***Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.***

The bathroom addition does encroach into the required setbacks and expands the building coverage and impervious surface ratio of that property. However, there is still accessibility to the side area and the addition to the bathroom does not injure the public welfare.

IN COMPLIANCE.

7. ***Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.***

Existing non-conforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

IN COMPLIANCE.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

It does not appear that the requested variance will trigger any public facility capacity issues.

The Planning Board shall make factual findings regarding the following:

That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.

The standards established by Section 90-395 of the City Code have not been fully met by the applicant for the variance requested.

That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

The Planning Department has not received any public comment both for and against the requested variance.

RECOMMENDATION:

Based on the criteria established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the request for variances be **denied**.



Application For Variance

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 www.keywestcity.com

RECEIVED

NOV 12 2014

**CITY OF KEY WEST
PLANNING DEPT.**

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 3206 DACK AVENUE

Zoning District: _____ Real Estate (RE) #: _____

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: ROBERT FAULKNER

Mailing Address: 3206 DACK AVENUE

City: KW State: _____ Zip: _____

Home/Mobile Phone: 305-925-0849 Office: _____ Fax: _____

Email: rfaulkner@gmail.com

PROPERTY OWNER: (if different than above)

Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Home/Mobile Phone: _____ Office: _____ Fax: _____

Email: _____

Description of Proposed Construction, Development, and Use: Bathroom 63.8 SF wood structure

List and describe the specific variance(s) being requested:

5:0 ft rear set back

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

X

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property?
 If yes, provide date of landscape approval, and attach a copy of such approval.

Yes No

Is this variance request for habitable space pursuant to Section 122-1078?

Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback	7'-0	5'-0		2'-0
Street Side Setback				
Rear Setback	20'-0	0'-0		20'-0
F.A.R				
Building Coverage	31%			None
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

These are four Plexes that all have very small parcel dimensions over time most parcels have been fenced

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Same as #1

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Several of the surrounding units have done similar additions to their units to prepare for growing families.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

There is no master bath down stairs, with step son and mother moving in - additional bath room is needed so other portions would not have to be altered

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Asking for minimal variances for setback variances

City of Key West • Application for Variance

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Several units have similar additions for storage - washer-dryer and utility space and bedrooms

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

If required to remove this addition it will require complete re-use and design of the existing structure in order to accommodate family additions.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

Verification

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

I, **Michael D. Faulkner**, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3206 Duck Avenue Key West, FL 33040

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Michael D. Faulkner

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this **09/24/2015** by

date

Michael D. Faulkner

Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Judith D. Johnson

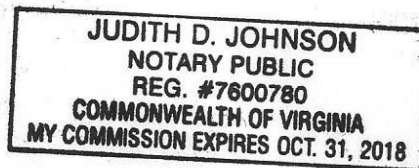
Notary's Signature and Seal

Judy Johnson

Name of Acknowledger typed, printed or stamped

7600780

Commission Number, if any



Authorization

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Michael Dwight Faulkner as
Please Print Name of person with authority to execute documents on behalf of entity

Personal representative of Robert Redfearn Faulkner
Name of office (President, Managing Member) *Name of owner from deed*

authorize Spottswood, Spottswood & Spottswood
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Michael D. Faulkner
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this September 24, 2015
Date

by Michael Dwight Faulkner
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

Judith D. Johnson
Notary's Signature and Seal

Judy Johnson
Name of Acknowledger typed, printed or stamped

JUDITH D. JOHNSON
NOTARY PUBLIC
REG. #7600780
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES OCT. 31, 2018

7600780
Commission Number, if any

Deed

KL-011111 10: FT 11011
FIDELITY NATIONAL TITLE
DIRECT TITLE OPERATIONS
5518 Lake Howell Road
Winter Park, FL 32792

Doc# 1731493 02/20/2008 2:39PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

Prepared By and Return To:
Nancy Donaldson
Fidelity National Title Insurance Company
5518 Lake Howell Rd
Winter Park, FL 32792

02/20/2008 2:39PM
DEED DOC STAMP CL: TRINA \$1,260.00

FT 10/FT 11011
Property Appraisers ID #:00052901-0000400

Doc# 1731493
Bk# 2400 Pg# 2457

For Documentary Stamp Tax purposes
the consideration is \$ 180,000.00

SPECIAL WARRANTY DEED

This Special Warranty Deed is executed this 01 day of December, 2008, by Wells Fargo Bank, N.A as Trustee under Pooling and Servicing Agreement dated as of August 1, 2005 Asset-Backed Pass-Through Certificates Series 2005-WHQ4, whose post office address is 701 Corporate Center Drive, Raleigh, NC 27607, hereinafter called the grantor, to Robert Faulkner, a single person, whose post office address is: 3206 Duck Ave Key West, FL 33040, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the grantor, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in County of Monroe, State of Florida, to-wit:

Unit 4, Key West Estates, more particularly described as follows.

A parcel of land in Block 8, according to Key West Foundation Co's Plat No. 2 as recorded in Plat Book 1, Page 189, Public Records of Monroe County, Florida, said parcel being described as follows: Commence at the Southwest corner of Lot 13 of said Block 8 and run thence East and parallel with the South boundary of the said Block 8 for a distance of 149.47 feet; thence North and parallel with the East boundary of the said Block 8 for a distance of 65 feet to the Point of Beginning; thence continue North and parallel with the East boundary of the said Block 8 for a distance of 55 feet to the North boundary of the said Block 8; thence West along the North boundary of the said Block 8 for a distance of 37.37 feet; thence South and parallel with the East boundary of the said Block 8 for a distance of 55 feet; thence East and parallel with the South boundary of the said Block 8 for a distance of 37.37 feet back to the Point of Beginning.

Grantor covenants that it is seized and possessed of the said land and has a right to convey it, and warrants the title against the lawful claims of all persons claiming by, through, and under it, but not further otherwise.

The following reservations from and exceptions to this conveyance and the warranty of title made herein shall apply.

- (1) All easements, rights-of-way and prescriptive rights whether of record or not, pertaining to any portion(s) of the herein described property (hereinafter, the "Property");
- (2) All valid oil, gas and mineral rights, interests or leases, royalty reservations, mineral interest and transfers of interest of any character, in the oil, gas or minerals of record in any county in which any portion of the Property is located;
- (3) All restrictive covenants, terms, conditions, contracts, provisions, zoning ordinances and other items of record in any county in which any portion of the Property is located, pertaining to any portion(s) of the Property, but only to the extent that same are still in effect;
- (4) All presently recorded instruments (other than liens and conveyances by, through or under the Grantor) that affect the Property and any portion(s) thereof;
- (5) Ad valorem taxes, fees and assessments, if any, for the current year and all prior and subsequent years, the payment of which Grantee assumes (at the time of transfer of title), and all subsequent assessments for this and all prior years due to change(s) in land usage (including, but not limited to, the presence or absence of improvements, if any, on the Property), ownership, or both, the payment of which Grantee assumes; and
- (6) Any conditions that would be revealed by a physical inspection and survey of the Property.

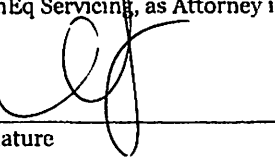
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

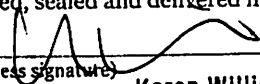
Wells Fargo Bank, N.A as
Trustee under Pooling and
Servicing Agreement dated as of
August 1, 2005 Asset-Backed
Pass-Through Certificates Series
2005-WHQ4
By: Barclays Capital Real Estate,
Inc., a Delaware Corporation, dba
HomEq Servicing, as Attorney in
Fact

Signature

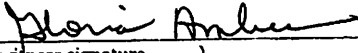


Noriko Colston
Assistant Secretary

Signed, sealed and delivered in presence of:


(witness signature) Karen Williams
(witness printed name)

Doc# 1731493
Bk# 2400 Pg# 2459


(witness signature) Gloria Ambeau
(witness printed name)

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me, a Notary Public, this _____ day of _____, 20____, by _____ as _____ of Barclays Capital Real Estate Inc., a Delaware Corporation d/b/a Homeq Servicing as Attorney in Fact for Wells Fargo Bank, N.A as Trustee under Pooling and Servicing Agreement dated as of August 1, 2005 Asset-Backed Pass-Through Certificates Series 2005-WHQ4 who was personally known to me, or who produced the following identification:

Signature of Notary

Printed Name of Notary

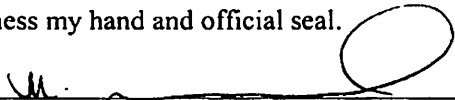
My Commission Expires:
My Commission Number:

State of California }
County of Sacramento } ss.

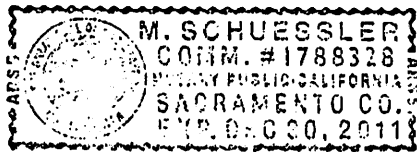
On DEC 09 2008, before me, M. Schuessler, Notary Public, personally appeared Noriko Colston, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal.



Notary Signature M. Schuessler

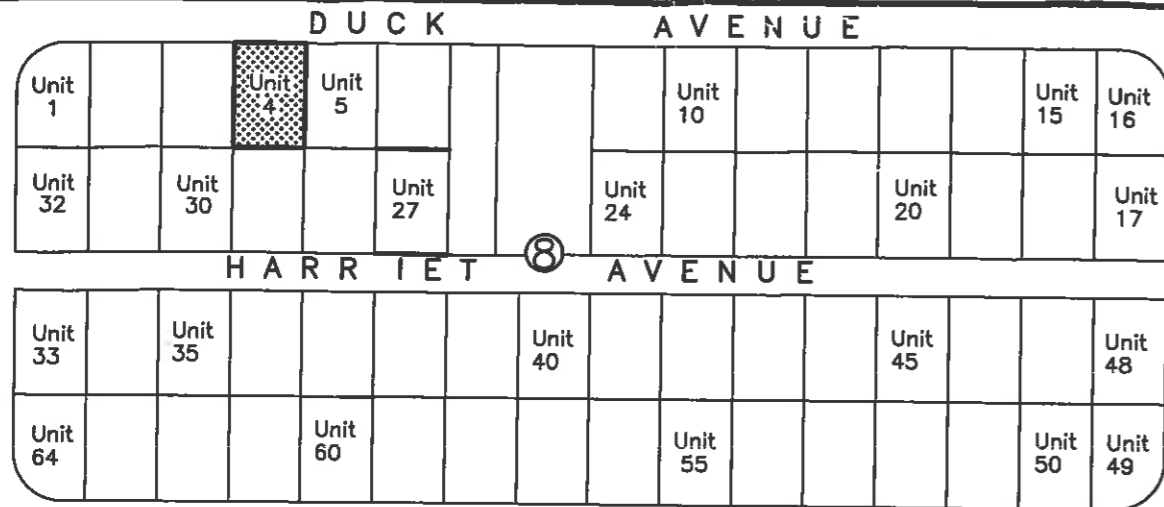


MONROE COUNTY
OFFICIAL RECORDS

Survey



14th. STREET



EAGLE AVENUE

LOCATION MAP

Block 8, Key West Foundations Co.
 Plat No. 1 & Plat No. 2
 (P.B. 1, Pg. 155, & Pg. 189)

SURVEYOR'S NOTES:

North arrow based on assumed median
 Reference Bearing: R/W Duck Avenue
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: Bayou Elevation: 3.41

MONUMENTATION:

- ⊙ = Set 1/2" Iron Pipe, P.L.S. No. 2749
- △ = Set P.K. Nail, P.L.S. No. 2749
- ▲ = Found P.K. Nail
- ⊕ = Found 1/2" I.P./I.B.

Field Work performed on: 6/12/14

LEGAL DESCRIPTION; Unit 6, KEY WEST ESTATES:

A parcel of land in Block 8 according to Key West Foundation Co.'s. Plat No. 2 as recorded in Plat Book 1, Page 189, of the Public Records of Monroe County, Florida, said Parcel being described as follows:
 COMMENCE at the Southwest corner of Lot 13 of the said Block 8 and run thence East and parallel with the South boundary of the said Block 8 for a distance of 149.47 feet; thence North and parallel with the East boundary of the said Block 8 for a distance of 65 feet to the Point of Beginning; thence continue North and parallel with the East boundary of the said Block 8 for a distance of 55 feet to the North boundary of the said Block 8; thence West along the North boundary of the said Block 8 for a distance of 37.37 feet; thence South and parallel with the East boundary of the said Block 8 for a distance of 55 feet; thence East and parallel with the with the South boundary of the said Block 8 for a distance of 37.37 feet back to the Point of Beginning.

LEGEND

A/C	Air Conditioner	LB	Licensed Business
BAL	Balcony	Number	Number
BM	Bench Mark	M	Measured
CB	Catch Basin	N.T.S.	Not To Scale
CL	Center Line	O.R.	Official Records
CO	Clean Out	OH	Over Head
CONC	Concrete	P	Plat
C.B.S.	Concrete Block Stucco	PB	Plat Book
CUP	Concrete Utility Pole	P.O.B.	Point Of Beginning
COV'D	Covered	P.O.C.	Point Of Commence
D	Deed	R/W	Right Of Way
ELEV	Elevation	SIB	Set Iron Bar
F.FL.	Finished Floor Elevation	SIP	Set Iron Pipe
FD	Found	SPK	Set Nail And Disc
FIB	Found Iron Bar	STY	Story
FIP	Found Iron Pipe	UP	Utility Pole
INV	Invert	WM	Water Meter
IRR	Irregular	WV	Water Valve

CERTIFICATION:

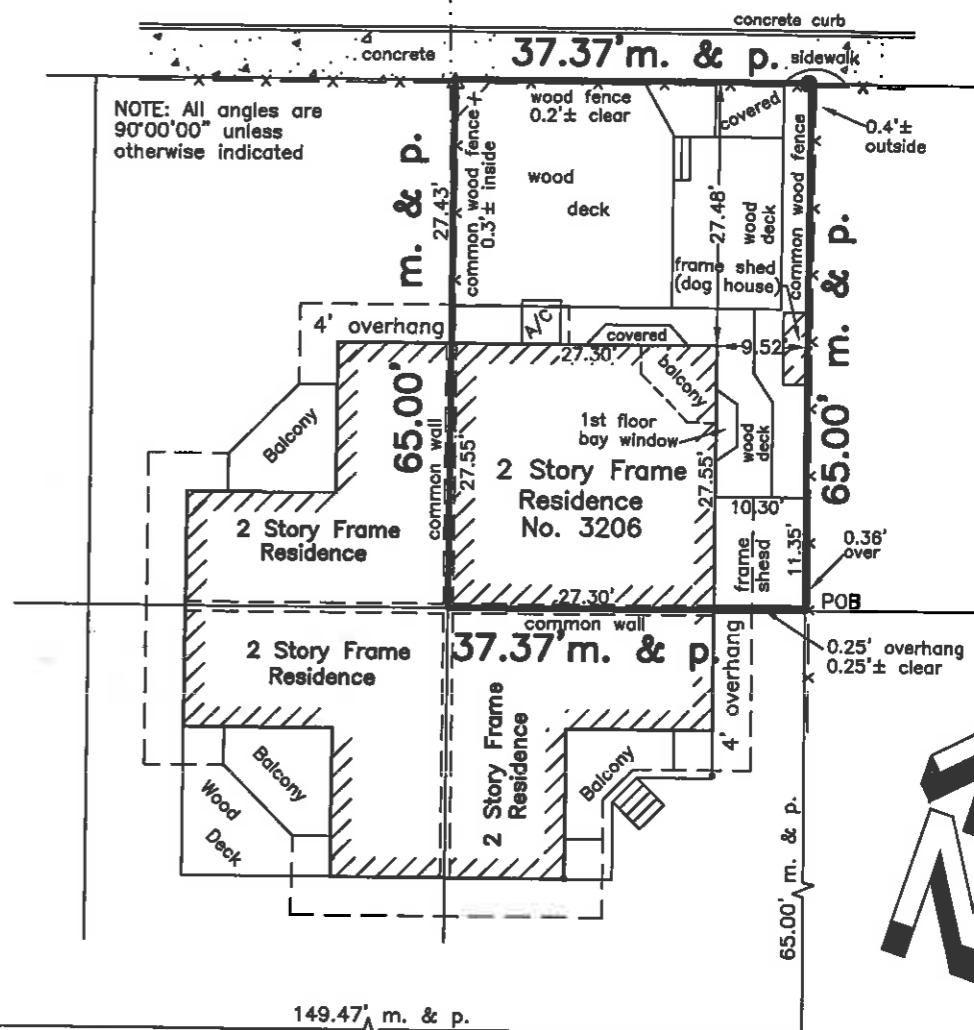
I HEREBY CERTIFY that the attached Boundary Survey is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17 Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36810
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

edge of asphalt

DUCK AVENUE
 (60' R/W)



14th STREET

POC

149.47' m. & p.

Harriet Ave.

Robert Faulkner
 3206 Duck Avenue, Key West, Fl. 33040

BOUNDARY SURVEY

Dwg. No.
 14-278

Scale 1" = 20'

Ref. file

215-26

Flood Panel No. 1509 K

Flood Zone AE

Dwn. By F.H.H.

Flood Elev. 7'

Date: 6/13/14

REVISIONS AND/OR ADDITIONS



ISLAND SURVEYING INC.

ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
 Suite 201
 Key West, Fl. 33040

(305) 293-0466
 Fax. (305) 293-0237
 fhildeb1@bellsouth.net
 L.B. No. 7700

fred\drawings\keywest\block252\3206duck

Site Plans

Site Photos



2015/05/20 09:11



2015/05/20 09:11



2015/05/20 09:10



2015/05/20 09:10



2015/05/20 09:09



2015/05/20 09:07



2015/05/20 09:05

3203

BEWARE
of **DOG**

2015/05/20 09:04





Additional Information

HOMEOWNER DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by laws, ordinances, building codes, and zoning regulations.

I have read and understand this disclosure.


Signature, property owner

2/6/11
Date

3306 Duck Ave
Address

Plan Review Worksheet

Permit # 3206 Duck

Building Review

Comments _____

- 1) Need elec apl.
- 2) Is owner actually doing work? Yes
need applicant for H.O. for Bldg. ~~of the~~
~~plan~~ don't exist.

Reviewer _____ Date 2/1/00

C

Electrical Review

Comments _____

Reviewer _____ Date _____

Plumbing Review

Comments _____

Reviewer _____ Date _____

Mechanical Review

Comments _____

Reviewer _____ Date _____



City of Key West Building Department
Building Permit Application

RECEIVED
JAN 08 2001
By JM 3:45

Permit #: 01.156 Permit Fee: _____

Address of Construction: 3206 Duck Ave Date: 1-7-01

of Res. units before: 1 after: 1 # of Comm. Units before: 1 after: 1

Name of Business: _____

Owner: WARREN + ARONIKER LEAMARO Phone #: 296-0046

Address: 3206 DUCK AVE

Contractor: Own Lic. #: _____ Phone #: _____

Architect / Engineer: _____ Lic. # _____ Phone # _____

New permit * _____ Revision to permit # _____

- CHECK IF A DUMPSTER WILL BE USED WITHIN PROPERTY LINES
CHECK IF A DUMPSTER WILL BE USED IN RIGHT OF WAY
IF CHECKED RIGHT OF WAY: NAME OF TRASH HAULER ENGINEERING PERMIT #
(3 sets of plans required)

Description of Work: Florida + Sun Room Addition
up + down
New rails + balusters; New entry doors
New Bay window New dormer

of bedrooms before construction 2 # of bedrooms after constr. 2 ROGO

Square footage of existing building 1100

Square footage of renovation Estimated cost of work: \$

Square footage of addition 250 Estimated cost of work: \$

Total cost of work: \$ 3000.00

Sec. 35.13(6) of the Key West Code of Ordinances If the work described in any building permit has not begun within 90 days from the date of issuance thereof, said permit shall expire; it shall be canceled by the Chief Building Official and written notice shall be given to the persons affected.
If the work described in the building permit has not been substantially completed within 2 years of the date of issuance thereof, said permit shall expire and be canceled by the Building Official and written notice shall be given to the persons affected, together with notice that further work described in the canceled permit shall not proceed unless and until a new building permit has been obtained.

FAILURE TO COMPLY WITH THE MECHANICS' LEIN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS.

Signature of Owner or Authorized Agent Date 01/08/01 Signature of Plan Reviewer or Building Official Date 1/12/01

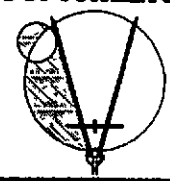
17108
13337

NEW ADDITION-FIRST & SECOND FLOOR PLAN

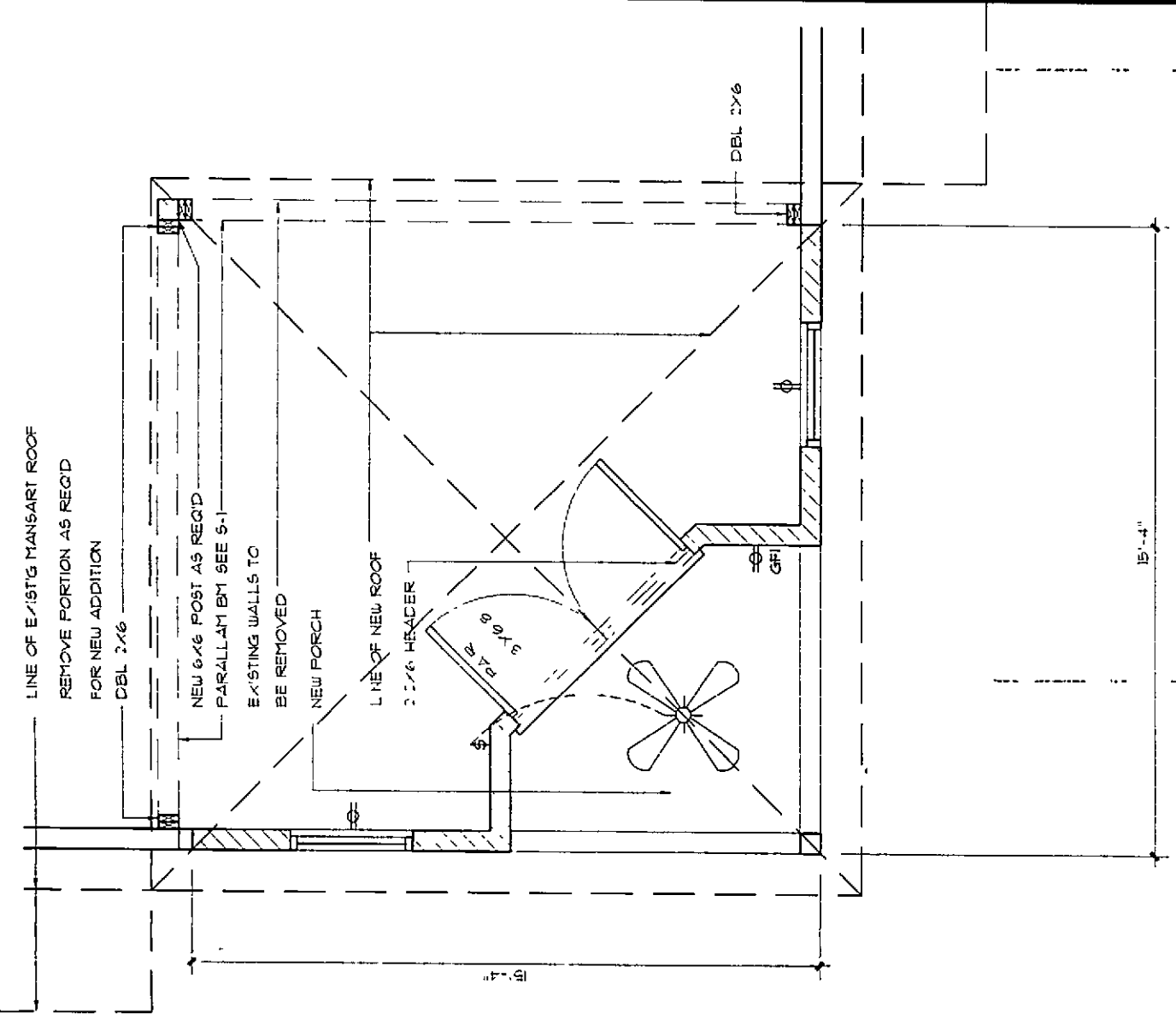
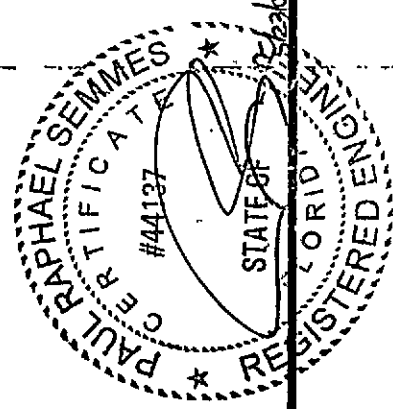
THE LEAMARD RESIDENCE

3206 DUCK AVE. KEY WEST, FL

GRIFFIN MOORE
DESIGN & CONSULTING
2154 NORTHSIDE DR
KEY WEST, FL 33040
Phone (305) 234-7550
Fax (305) 234-4283



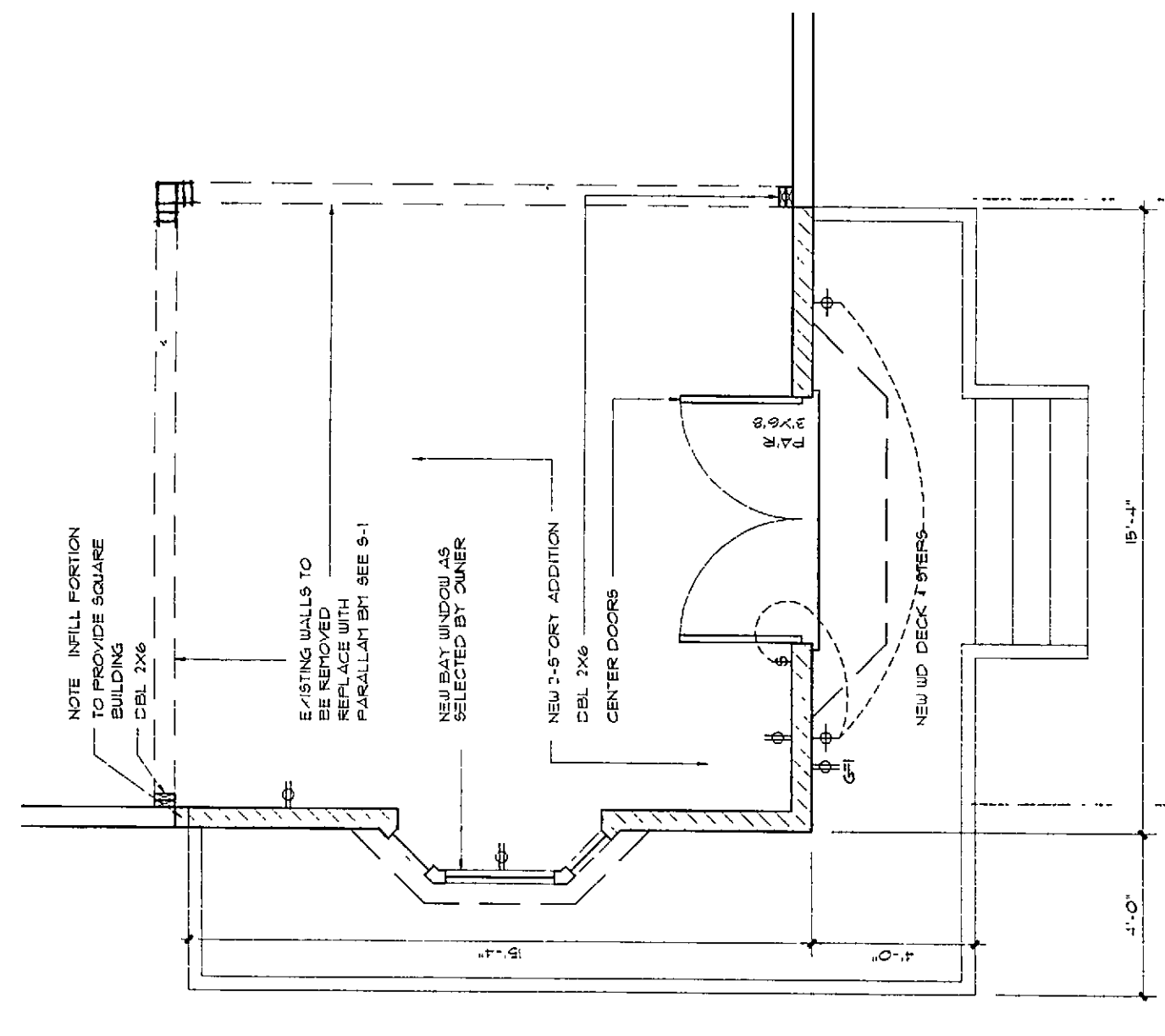
DRAWN BY SK	DATE 2/25/00	REVISION DATE
A-1		
SEAL PAUL SEMMES		



ADDITION-SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

ELECTRICAL NOTES

- 1) PROVIDE ELECT SYSTEM COMPLETE IN PLACE TESTED AND APPROVED AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR COMPLETE AND PROPER INSTALLATION
- 2) INSTALL ALL LIGHTING FIXTURES & FANS WHERE SHOWN ON DRAWINGS AND AS REQUESTED BY OWNER
- 3) ALL CEILING BOVES TO BE MOUNTED ON MIN 2x4 BLOCKS CAPABLE OF SUPPORTING CEILING FAN
- 4) ALL ELECT WORK SHALL HAVE A ONE YEAR WARRANTY ON ALL LABOR AND MATL S
- 5) NEW ELECTRICAL TO EXISTING PANEL-UPGRADE AS REQ'D



ADDITION-FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

ELECTRICAL LEGEND

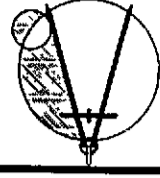
⊕	SWITCH	⊕	WALL MNT. FIXTURE
⊕	110V OUTLET	⊕	CEILING FAN W/LIGHT
⊕	110V DUFLEX W/GFI		

THESE DRAWINGS ARE THE SOLE PROPERTY OF GRIFFIN MOORE DESIGN & CONSULTING INC. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN CONSENT.

THE LEAMARD RESIDENCE
3206 DUCK AVE. KEY WEST, FL

NEW EXTERIOR ELEVATIONS

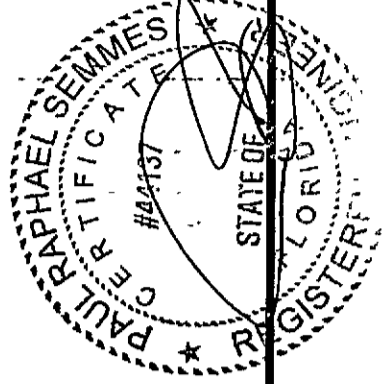
GRIFFIN MOORE
DESIGN & CONSULTING
3154 NORTHSIDE DR
KEY WEST, FL 33040
Phone 305 294-7200
Fax 305 294-0283



DRAWN BY
SK
DATE
2-25-00
REVISION DATE

A-2

SEAL
PAUL SEMMES



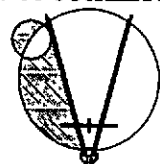
NEW FRONT ELEVATION
SCALE 1/4"=1'-0"

NOTE - LEFT SIDE ELEVATION SIMILAR

THESE DRAWINGS ARE THE SOLE PROPERTY OF GRIFFIN MOORE DESIGN & CONSULTING INC. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN CONSENT.

NEW ADDITION - FIRST & SECOND FLOOR FRAMING PLANS
THE LEAMARD RESIDENCE
3206 DUCK AVE. KEY WEST, FL

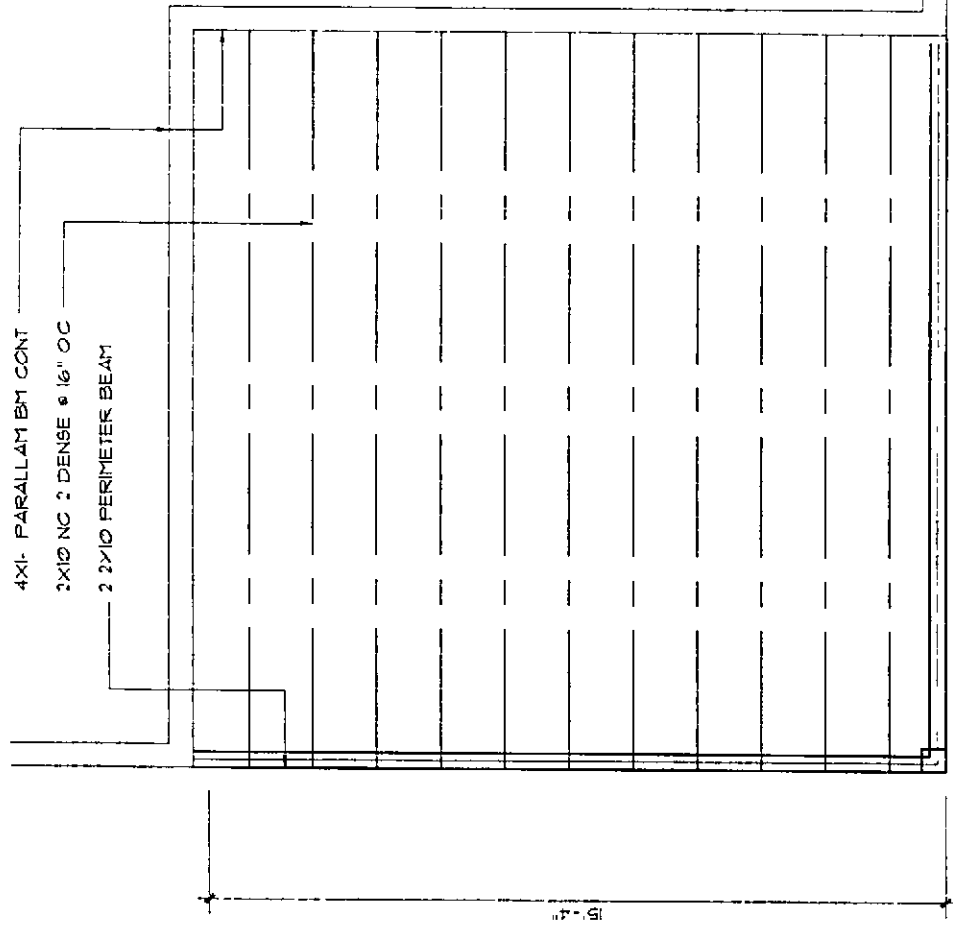
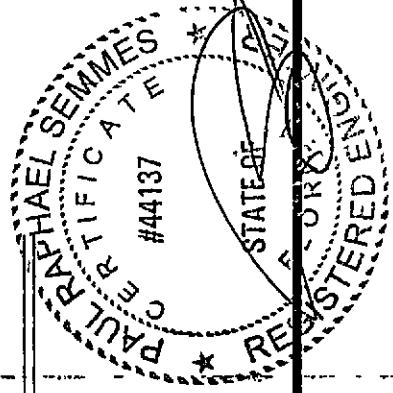
GRIFFIN MOORE DESIGN & CONSULTING
 3154 NORTHSIDE DR
 KEY WEST, FL 33940
 Phone (305) 294-7550
 Fax (305) 294-6293



DRAWN BY: **DK**
 DATE: **2/25/00**
 REVISION DATE:

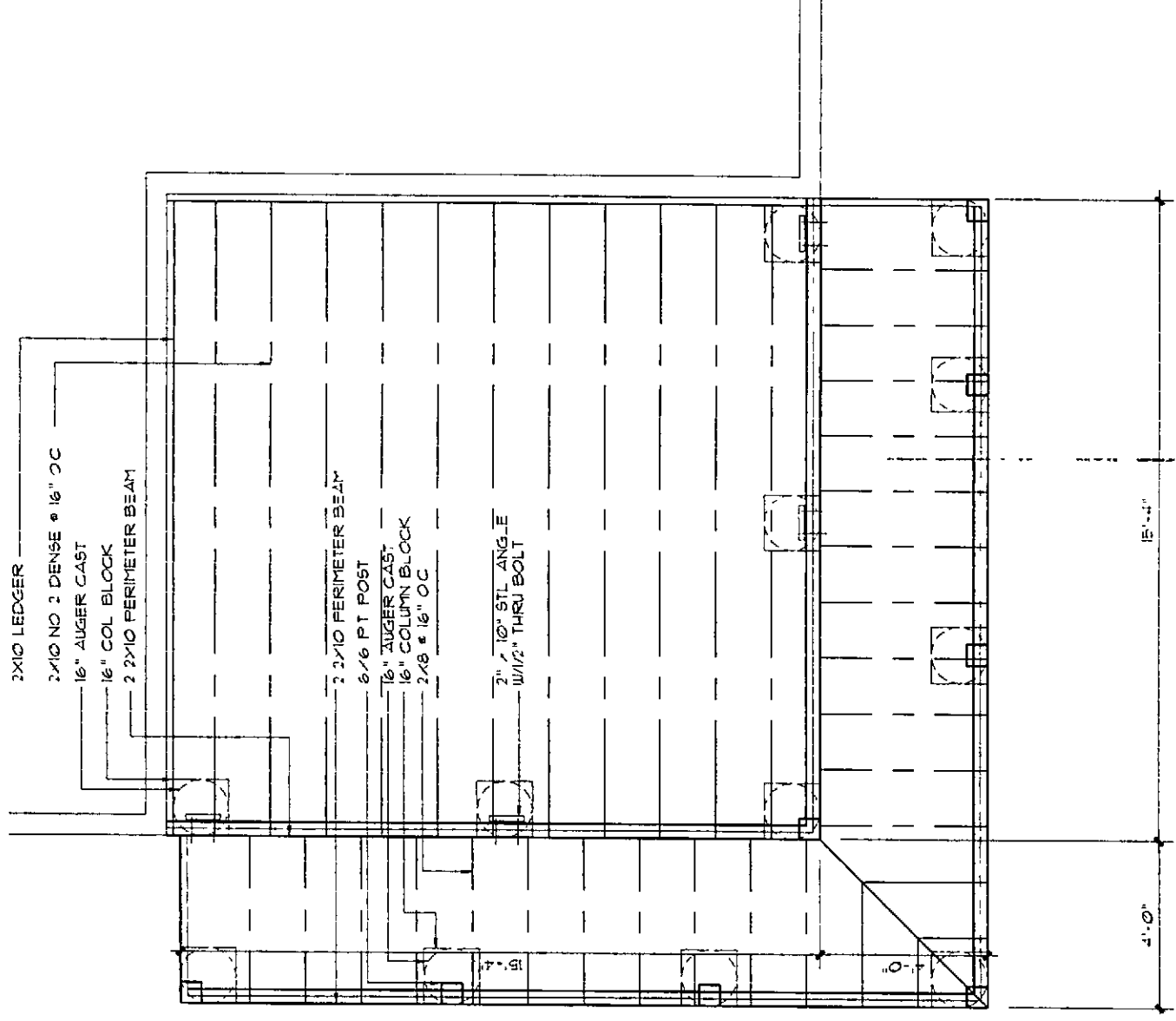
S-1
 SEAL: **PAUL SEMMES**

5/23/00



ADDITION-SECOND FLOOR FRAMING PLAN

SCALE 3/4"=1'-0"



ADDITION-FIRST FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"
 NOTE GC TO VERIFY DIMENSIONS 2 ROWS BLOCK G AS REQ'D

THESE DRAWINGS ARE THE SOLE PROPERTY OF GRIFFIN MOORE DESIGN & CONSULTING INC. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN CONSENT.

NEW ADDITION-ROOF FRAMING PLAN & DETAILS

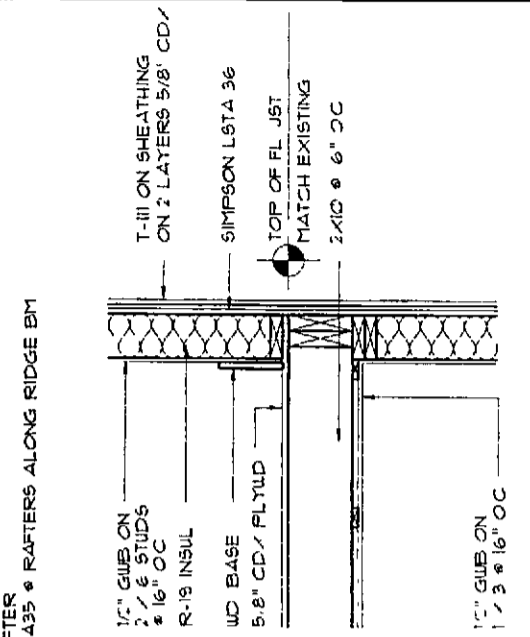
THE LEAMARD RESIDENCE 3206 DUCK AVE. KEY WEST, FL

**GRIFFIN MOORE
DESIGN & CONSULTING**
2154 NORTHEAST DR
KEY WEST, FL 33040
Phone (305) 294-7550
Fax (305) 294-6285

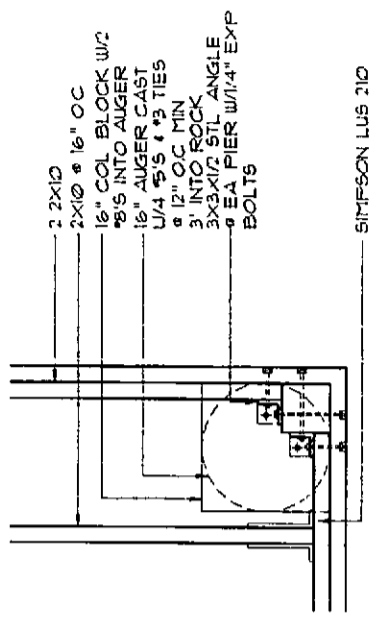
Drawn by: SK
Date: 2.25.00
Revision Date: _____

S-2

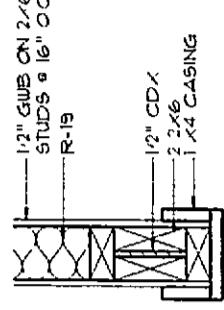
PHILIP EL SEMMES
REGISTERED ENGINEER
FLORIDA



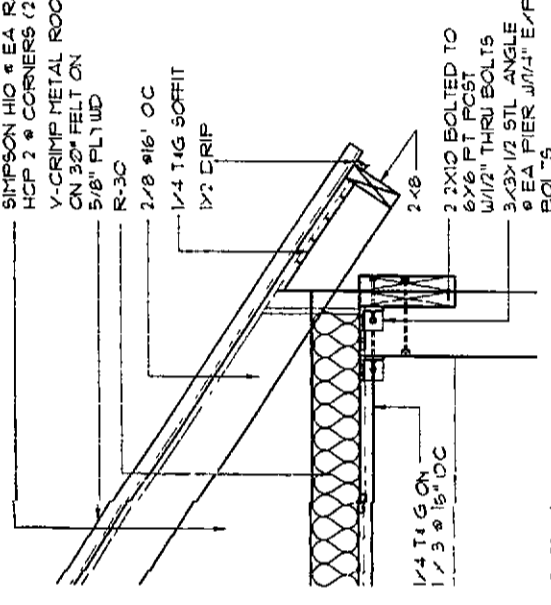
DETAIL • FLOOR TRUSS - TYPICAL
SCALE 1/2"=1'-0"



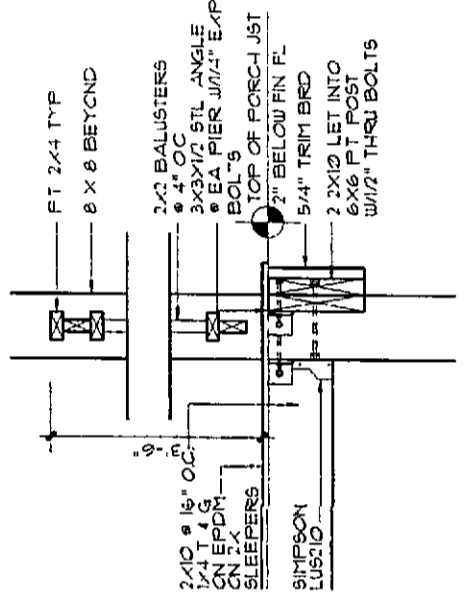
POST DETAIL • DECK
SCALE 1/2"=1'-0"



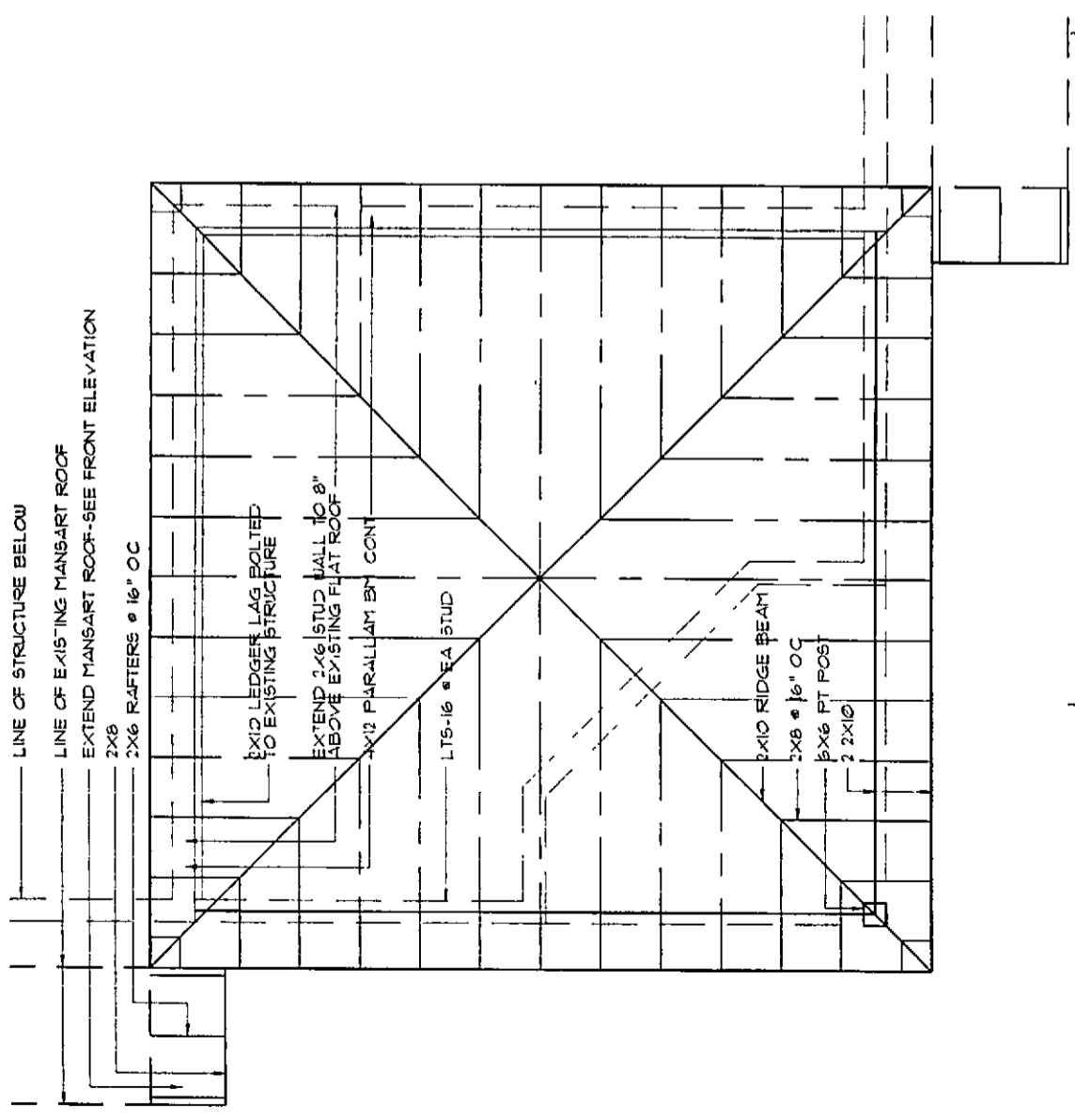
HEADER DETAIL • DOOR
SCALE 1/2"=1'-0"



DETAIL • PORCH ROOF
SCALE 1/2"=1'-0"



DETAIL • SECOND FL. PORCH
SCALE 1/2"=1'-0"



ADDITION-ROOF FRAMING PLAN
SCALE 1/4"=1'-0"

STRUCTURAL NOTES

- 1- FOUNDATIONS
 - A) ALL FOOTINGS TO BE PLACED ON FIRM UNDISTURBED NATURAL BEDROCK UNO
 - B) CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED ON DRAWINGS
 - C) AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK ARE SHOWN IN SECTION. NO SUCH PILE SHALL BE LESS THAN 16" DIA. AND EMBEDDED LESS THAN 3'-0" DEPTH INTO ROCK, UNLESS APPROVED BY ENGINEER IN WRITING
- 2- CONCRETE
 - A) ALL CAST IN PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, FRESH WATER STONE AGGREGATE & SHALL DEVELOP 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS
 - B) ALL CONCRETE WORK & REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH ACI CODE 318-88
 - C) MIXING, PLACING AND CURING OF ALL CONCRETE TO BE BY THE RECOMMENDATIONS IN ACI 308R-88 HOT WEATHER CONCRETING
 - D) ALL AD MIXTURES TO THE CONCRETE MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL
- 3- REINFORCEMENT
 - A) ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A615-83 GRADE 60, EXCEPT TIES, STIRRUPS, AND FLAT ANCHORS, WHICH SHALL BE DEFORMED BARS ASTM 615-83 GRADE 40
 - B) REINFORCEMENT PROTECTION
 1. CONCRETE POURED AGAINST EARTH, 3" MIN
 2. CONCRETE POURED IN FORMS (BUT EXPOSED TO WEATHER) SHALL HAVE A COVERAGE OF 2" OF CONCRETE
 - C) ALL BAR LENGTHS ARE DRAWN TO SCALE UNLESS NOTED NO SPLICES OR REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER LAP SPLICES WHERE PERMITTED SHALL BE A MINIMUM OF 32 BAR DIAMETER
 - D) ANY WELDED REINFORCING BARS SHALL CONFORM TO ASTM A101 OR A615 GRADE 60, AND ANS/AWS D14.19
 - E) ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A 36. ANCHOR BOLTS SHALL BE A 307 STEEL MISCELLANEOUS EMBEDDED ITEMS SHALL BE A 36 STEEL
 - F) STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH LATEST PROVISIONS OF AISC STEEL CONSTRUCTION MANUAL. USE A325 BOLTS AND E4077-87AW WELD ROD FOR CONNECTIONS UNLESS OTHERWISE NOTED
- 5 WOOD
 - A) ALL LUMBER SHALL BE DRY SOUTHERN FINE 19 MC, NO 2 OR BETTER (FB-915 PSI MIN / MEMBER SIZES NOTED ON DRAWINGS ARE NOMINAL)
 - B) ALL WOOD TO BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM DECAY AND INSECTS DRY AFTER TREATMENT
 - C) GENERAL
 - A) ENGINEER'S APPROVAL MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS
 - B) CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH ANY WORK



Call for inspections:
293-6462
24-hour inspection line

THE CITY OF KEY WEST
BUILDING DEPARTMENT
PO BOX 1409
KEY WEST, FL 33041-1409
(305) 292-8151

Application Number 01-00000156 Date 2/07/01
Property Address 3206 DUCK AVE
RE #/PARCEL #/TAX ID etc 0005-2901-000400-
Application description RENOVATION, ADDITION, CONVERSION: RESIDE
Property Zoning
Application valuation 9000

Owner _____ Contractor _____

LEAMARD, WARREN & ABERNICKER OWNER
3206 DUCK AVE
KEY WEST FL 33040
(296) 46

Structure Information _____
Occupancy Type RESIDENTIAL
Flood Zone FLOOD ZONE X
Other struct info NUMBER OF UNITS 1.00
NUMBER OF BEDROOMS 2.00
SQUARE FOOTAGE-ACTUAL 1100.00

Permit ~~ELECTRIC PERMIT~~
Additional desc ~~A.M. ELECTRIC WIRING~~
Sub Contractor
Permit Fee 30.00
Issue Date 2/07/01 Valuation 0
Expiration Date 1/30/03

Qty	Unit Charge	Per	BASE FEE	Extension
				30.00

Special Notes and Comments
ADDING FLA. ROOM AND SUNROOM
MOVING ELEC RECEPTACLES AND FANS & LIGHT
A & M ELECTRIC

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	30.00	.00	.00	30.00
Grand Total	30.00	.00	.00	30.00

THE PROPOSED CONSTRUCTION IS PERMITTED ON CONDITION OF COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND IN CONFORMANCE WITH ALL PLANS, SPECIFICATIONS AND ESTIMATES SUBMITTED WITH THE SUBJECT APPLICATION. PERMIT VOID UNLESS CONSTRUCTION SUBSTANTIALLY COMMENCED WITHIN 90 DAYS OF ISSUE

4/19/01
DATE ISSUED

2001 156 \$30.00 PT
Date: 4/19/01 50 Receipt: 0064510
CHECK
0000000000000000 757

BY _____

*



City of Key West Building Department
Electrical Permit Application

RECEIVED
JAN 29 2001

Permit # 01 0156 Permit Fee: _____
Address of Construction: 3206 Duck Ave. Date: 01/29/01
of Res. Units before: 1 after: _____ # of Comm. Units before: _____ after: _____
Name of Business: _____

Owner: Warren Leonard Phone #: 296-0046
Address: 3206 Duck Ave.
Contractor: AM Electric Lic. # 3054 Phone #: 392-0971
Architect / Engineer: Griffin Moore Lic. # _____ Phone #: 294-6283
Arch. / Home owner permit

- 1. Type of work (check one) New construction Repair Renovation
- 2. Description of work Adding Fla. room + sunroom
Moving Elec. recep. & fans - light

Services Attach riser diagram

100 amp and under _____ Over 100 amp to 200 amp _____ Over 200 amp to 400 amp _____
Over 400 amp to 600 amp _____ Over 600 amp to 800 amp _____ Over 800 amps _____

Motors
1 hp to 5 hp _____ From 6 hp to 25 hp _____ Over 25 hp _____

Generators
From 1 kw to 10 kw _____ From 10 kw to 20 kw _____ From 20 kw to 50 kw _____ Over 50 kw _____

Commercial Wiring, Fire Alarms, and Security Alarms Value \$ _____

only Certified Unlimited Electrical Contractor or Fire Alarm Contractors may install fire alarm systems

Residential Wiring Square footage of Job 280.5

Temporary Installation (type) _____

Estimated Cost of Work \$ 1,000

All work will be performed in accordance with the above statements, the City of Key West Codes and zoning regulations. Failure to comply with the Mechanics' Lien Law can result in the property owners paying twice for building improvements.

Armand Messina
Signature of Owner or Authorized Agent
ARMAND MESSINA

0406/3339 01/29/01
Date

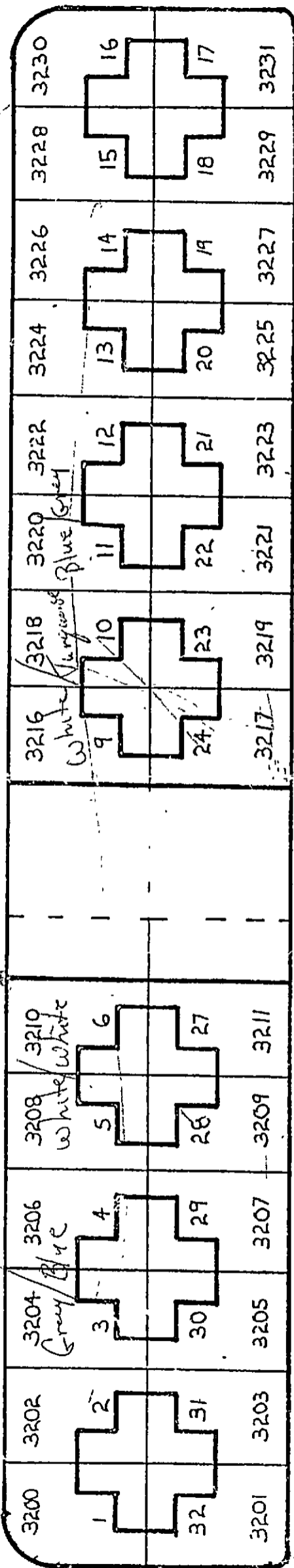
Signature of Plan Reviewer or Building Official Date

743-0399

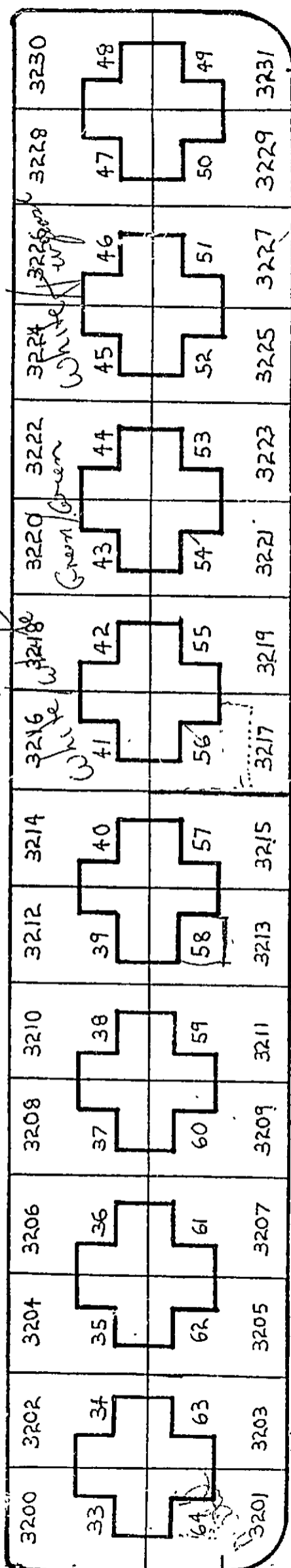
15th ST.

RECEIVED
By Jan 26, 01

DUCK AVE.



HARRIET AVE.

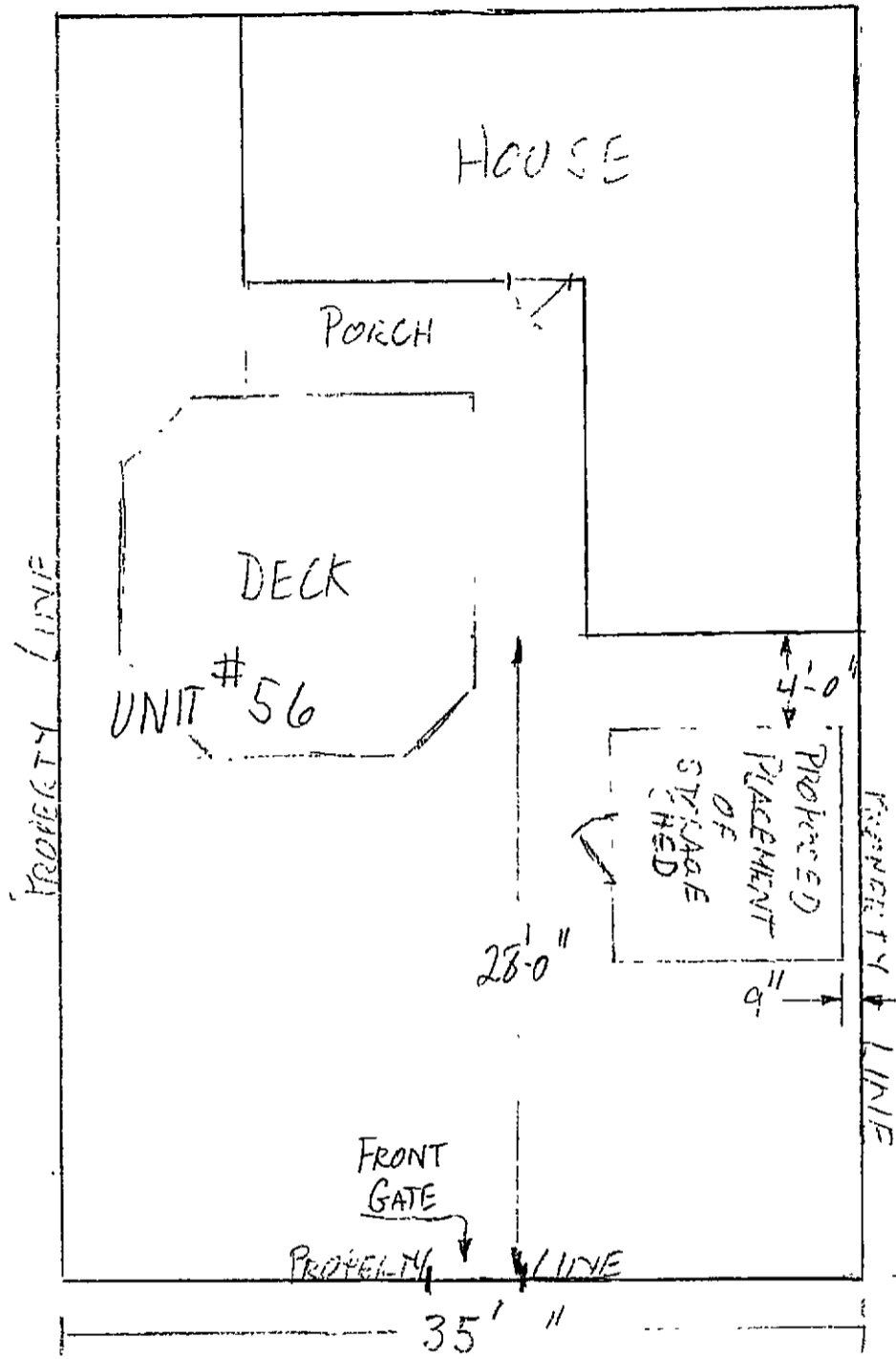


EAGLE AVE.

14th ST.

SCALE $\frac{1}{8}'' = 1 \text{ Ft.}$
APPROX.

RECEIVED
Jan 26, 01
By _____



CITY EAST MENT

EAGLE AVE.

Coco Palms, Jamaican Me Hungry

300 Front Street
P.O. Box 4634
Key West, Florida, 33040
Country

Phone (305) 296-0046

April 26, 2001

City of Key West Building Department,
525 Angela Street
Key West, FL 33040

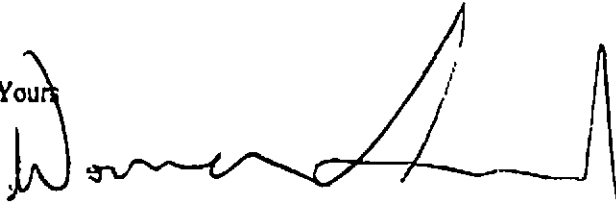
Bill
↓

Dear Sir

Kindly rescind the permit issued to Chozin Roofing for my house at 3206 Duck Ave. , Key West.

I have chosen Dan Ace Roofing to do the job.

Yours



Warren Leamard (property owner)

AUTOMATIC COVER SHEET

DATE : APR-30-01 09:44 AM

TO :

FAX #: 2928278

FROM : COCOPALMS.JAMAICAN.ME.HU

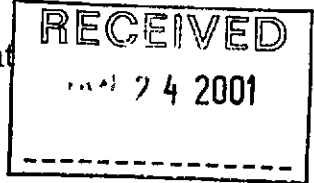
FAX #: 3052960046

2 PAGES WERE SENT

(INCLUDING THIS COVER SHEET)



City of Key West Building Department
Roof Permit Application



Permit #: 01-1820 Permit Fee: _____
 Address of Construction: 3206 DUCK AVE Date: 1/24/01
 # of Res. Units: _____ # of Comm. Units: _____ Name of Business: _____
 Owner: WARREN LEAMARD Phone #: 296 0046
 Address: 3206 DUCK
 Contractor: CHODZIN Lic. # 0050569 Phone #: 294 8888
 Architect / Engineer: _____ Lic. # _____ Phone #: _____

Type of work

New construction Repair _____

Type of roofing	Squares
Built-Up	
Asphalt Shingles	
V Crimp	4
Metal Shingles*	
Tile	
Other	

Sheathing Repairs Required _____

Estimated Cost of work \$ 1500 -

17108 / 13337
dl

* only Metal shingles may replace same in HARC

All work will be performed in accordance with the above statements, the City of Key West Codes and zoning regulations. Failure to comply with the Mechanics' Lien Law can result in the property owners paying twice for building improvements.

M. Chodzin
Signature of Owner or Contractor/Agent

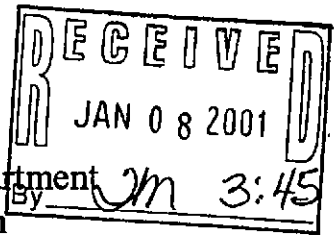
1/24/01
Date

C. Harding
Signature of Plan Reviewer or Building Official

1/25/01
Date



City of Key West Building Department
Roof Permit Application



Permit #: 01-156 Permit Fee: _____
 Address of Construction: 3206 Duck Ave Date: 01/08/01
 # of Res. Units: 1 # of Comm. Units: _____ Name of Business: _____
 Owner: WARREN LEARNARD Phone #: _____
 Address: 3206 DUCK AVE
 Contractor: Warren Lic. # _____ Phone #: _____
 Architect / Engineer: _____ Lic. # _____ Phone #: _____

**LICENSED CONTRACTOR
REQUIRED**

Type of work
 New construction _____ Repair _____

Type of roofing	Squares
Built-Up	
Asphalt Shingles	
V Crimp	<u>17x17 soft</u>
Metal Shingles*	
Tile	
Other	

Sheathing Repairs Required _____

Estimated Cost of work \$ 1,501.50

- * Note:
1. All roofing to be installed in accordance with mfg. specifications.
 2. HARC approval required to substitute metal shingles.

All work will be performed in accordance with the above statements, the City of Key West Codes and zoning regulations.
 Failure to comply with the Mechanics' Lien Law can result in the property owners paying twice for building improvements.

Warren Learnard
 Signature of Owner or Authorized Agent

01/08/01
 Date

Chandey
 Signature of Plan Reviewer or Building Official

1/12/01
 Date



RECEIVED
 JUN 12 2001
 BY
 KW BUILDING DEPT.

City of Key West Building Department
 Roof Permit Application

Permit #: 01-2276 Permit Fee: _____
 Address of Construction: 3206 Duck Date: _____
 # of Res. Units: _____ # of Comm. Units: _____ Name of Business: _____
 Owner: Warren Hamar Phone #: _____
 Address: 3206 Duck Ave
 Contractor: Ron-Dee Lic. # _____ Phone #: 994-2386
 Architect / Engineer: _____ Lic. # _____ Phone #: _____

Type of work

New construction _____ Repair _____

Type of roofing	Squares
Built-Up	7
Asphalt Shingles	
V Crimp	3
Metal Shingles*	
Tile	
Other	

Sheathing Repairs Required _____

Estimated Cost of work \$ 3,000

- * Note:
1. All roofing to be installed in accordance with mfg. specifications.
 2. HARC approval required to substitute metal shingles.

.....
 All work will be performed in accordance with the above statements, the City of Key West Codes and zoning regulations. Failure to comply with the Mechanics' Lien Law can result in the property owners paying twice for building improvements.

Daniel Acosta
 Signature of Owner or Authorized Agent

June 11-01
 Date

[Signature]
 Signature of Plan Reviewer or Building Official

Second App.
6/13/01
 Date



Call for inspections:
293-6462
24-hour inspection line

**THE CITY OF KEY WEST
BUILDING DEPARTMENT**

PO BOX 1409
KEY WEST, FL 33041-1409
(305) 292-8151

Application Number 01-0000156 Date 6/01/01
Property Address 3206 DUCK AVE
RE #/PARCEL #/TAX ID etc 0005-2901-000400-
Application description RENOVATION, ADDITION, CONVERSION: RESIDE
Property Zoning
Application valuation 9000

Owner _____ Contractor _____
LEAMARD, WARREN & ABERNICKER OWNER
3206 DUCK AVE
KEY WEST FL 33040
(296) 46

Structure Information _____
Occupancy Type RESIDENTIAL
Flood Zone FLOOD ZONE X
Other struct info NUMBER OF UNITS 1.00
NUMBER OF BEDROOMS 2.00
SQUARE FOOTAGE-ACTUAL 1100.00

Permit ELECTRIC PERMIT
Additional desc
Permit Fee 30.00
Issue Date 6/01/01 Valuation 0
Expiration Date 5/24/03

Qty	Unit Charge	Per	BASE FEE	Extension
				30.00

Special Notes and Comments
INSTALL 2 FANS WITH LIGHT, 2 OUTSIDE
LIGHTS, 16 INSIDE PLUGS, 2 OUTSIDE PLUGS

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	30.00	.00	.00	30.00
Grand Total	30.00	.00	.00	30.00

THE PROPOSED CONSTRUCTION IS PERMITTED ON CONDITION OF COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND IN CONFORMANCE WITH ALL PLANS, SPECIFICATIONS AND ESTIMATES SUBMITTED WITH THE SUBJECT APPLICATION. PERMIT VOID UNLESS CONSTRUCTION SUBSTANTIALLY COMMENCED WITHIN 90 DAYS OF ISSUE

6-1-01
DATE ISSUED

2001 156 \$30.00 PT
Date: 6/01/01 50 Receipt: 0077921
CHECK 1161
0000000000000000

BY

HOMEOWNER DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by laws, ordinances, building codes, and zoning regulations.

I have read and understand this disclosure.


Signature, property owner

6-1-01
Date

Permit 01-156

3206 DUCK AVE

AM Electric has not started
work at the above address.

work has been done by person
or persons unknown. AM

Electric would like to have
our name removed from the
permit. + cancel permit

John S. Jones
AM Electric

1372
840.00

This instrument prepared by:
EROL M. VURAL, P.A.
P.O. Drawer 420829
Summerland Key, FL 33042-0829

959814

OFF REC 1416 PAGO 276

Property Appraisers Par. 1 Identification Number(s):
Alt. Key# 8653450
Grantor(s) S.S. #(s) 585-13-4899(WL)

WARRANTY DEED

THIS INDENTURE, made this 31st day of July, 1996, by Donald Zurhorst, a single man and Cynthia Zurhorst, a single woman; hereinafter called grantor, to: Warren Lenard and Abernicker Lenard, husband and wife; whose post office address is: 3206 Duck Ave., Key West, Florida 33040, hereinafter called the grantee;

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00, and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in MONROE County, State of FLORIDA, viz:

SEE SCHEDULE A ATTACHED HERETO AND MADE A PART HEREOF

THIS IS NOT THE HOMESTEAD PROPERTY OF THE GRANTORS.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining. **TO HAVE and to HOLD**, the same in fee simple forever. **AND** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1995.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

H.V. Tolan
Witness Signature

H.V. Tolan
Printed Signature

Eleana Vural
Witness Signature

Eleana Vural
Printed Signature

Donald Zurhorst
Signature

Donald Zurhorst
1213 White St.
Key West, FL 33040

840.00
8.2.96
Laura Madriso

REC'D FOR RECORD
AUG-2 P4:06
MONROE COUNTY, FLORIDA

959814

OFF REC 1416 PAGE 0278

Witness Signature

Mark A. DePompa

Printed Signature

Signature

Cynthia Zurhorst
Cynthia Zurhorst
28610 Clarksburg Rd.
Damascus, MD 20872

Witness Signature

Donald Veals

Printed Signature

State of Florida:

County of Monroe

I hereby Certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments,

personally appeared Donald Zurhorst, known to me to be the person(s) described in and who executed the foregoing instrument, who acknowledged before me that he executed the same that I relied upon the following form of identification of the above-named person(s): US Passport # 014972569 and that an oath was/was not taken.

WITNESS my hand and official seal in the County and State last aforesaid this 31st day of July, 1996.



SHARON V. STAUDI
MY COMMISSION # CC949685 EXPIRES
February 23, 1998
BONDED THRU TROY PAIN INSURANCE INC

(notary seal)

Sharon V. Staudt
Notary Signature

Sharon V. Staudt
Printed Notary Signature

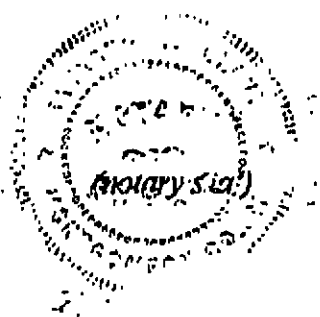
State of Maryland

County of Montgomery

I hereby Certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments,

personally appeared Cynthia Zurhorst, known to me to be the person(s) described in and who executed the foregoing instrument, who acknowledged before me that she executed the same that I relied upon the following form of identification of the above-named person(s): Cynthia Zurhorst and that an oath was taken.

WITNESS my hand and official seal in the County and State last aforesaid this 25th day of July, 1996.



Notary Public for the State of Maryland
In and for the County of Prince Georges
Record Book # 1
DANNY E. KOLHAGE
Clerk Circuit Court

Kathryn L. Lloyd
Notary Signature

Kathryn L. Lloyd
Printed Notary Signature
KATHRYN L. LLOYD
NOTARY PUBLIC STATE OF MARYLAND
My Commission Expires April 1, 1999

959814

OFF REC 1416 PAGE 0277

Schedule A**Legal Description:**

Unit 4, Key West Estates, more particularly described as follows:

A parcel of land in Block 8 according to Key West Foundation Co.'s Plat No. 2 as recorded in Plat Book 1 at Page 189 of the Public Records of Monroe County, Florida; said parcel being described as follows:

COMMENCE at the Southwest corner of Lot 13 of the said Block 8 and run thence East and parallel with the South boundary of the said Block 8 for a distance of 149.47 feet; thence North and parallel with the East boundary of the said Block 8 for a distance of 65 feet to the Point of Beginning; thence continue North and parallel with the East boundary of the said Block 8 for a distance of 55 feet to the North boundary of the said Block 8; thence West along the North boundary of the said Block 8 for a distance of 37.37 feet; thence South and parallel with the East boundary of the said Block 8 for a distance of 55 feet; thence East and parallel with the South boundary of the said Block 8 for a distance of 37/37 feet back to the Point of Beginning.

AUTOMATIC COVER SHEET

DATE : FEB-01-01 02:57 PM

TO :

FAX # : 2928278

FROM : COCOPALMS.JAMAICAN.ME.HU

FAX # : 3052960046

4 PAGES WERE SENT

(INCLUDING THIS COVER SHEET)



Call for inspections:
293-6462
24-hour inspection line

**THE CITY OF KEY WEST
BUILDING DEPARTMENT**

PO BOX 1409
KEY WEST, FL 33041-1409
(305) 292-8151

Application Number 00-00001947 Date 7/13/00
Property Address 3206 DUCK AVE
RE #/PARCEL #/TAX ID etc 0005-2901-000400-
Application description PLUMBING ONLY
Property Zoning
Application valuation 1600

Owner

ZURHORST DONALD & CYNTHIA
4020 LAFAYETTE VILLAGE DR
ANNADALE VA 22003

Contractor

GARY'S PLUMBING, INC.
6409 2ND TERRACE #1
KEY WEST FL 33040
(305) 296-6013

Permit PLUMBING PERMIT
Additional desc
Permit Fee 30.00
Issue Date 7/13/00 Valuation 0
Expiration Date 7/05/02

Qty	Unit	Charge	Per	Extension
1.00	30.0000	EA	SEWER CONNECTION	30.00

Special Notes and Comments
SEWER LINE CONNECTION

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	30.00	.00	.00	30.00
Grand Total	30.00	.00	.00	30.00

X *Mano...*

THE PROPOSED CONSTRUCTION IS PERMITTED ON CONDITION OF COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND IN CONFORMANCE WITH ALL PLANS, SPECIFICATIONS AND ESTIMATES SUBMITTED WITH THE SUBJECT APPLICATION. PERMIT VOID UNLESS CONSTRUCTION SUBSTANTIALLY COMMENCED WITHIN 90 DAYS OF ISSUE

7-17-00
DATE ISSUED

2000 1947 530.00 PT
Date: 7/17/00 50 Receipt: 0096713
CHECK
0000000000000000
10002

ly
BY

Permit #: 00 1947

Permit Fee: _____

Address of Construction: 3206 Duck Ave.

Date: 7/10/00

of Res. Units before: 1 After: 1

of Comm. Units before: _____ After: _____

Name of Business: _____

Owner: WARREN Leamard

Phone #: _____

Address: 3206 Duck Ave.

Contractor: GARY'S PLUMBING, INC. Lic. #: 01230

Phone #: 296-6013

Architect / Engineer: _____ Lic. #: _____

Phone #: _____

Type	Rough	Set
Bath Tub		
Bidet		
Dishwasher		
Disposal		
Drinking Fountain		
Fire Sprinkler System		
Floor Drain		
Grease trap (size)		
Interceptor		
Lavatory		
Laundry tray		
Laundry washer		
Lawn Sprinkler		
Natural gas/ electric water heater		
Pump and abandoned septic tank		
Sewer Cap		
Sewer Line Connection		
* Pressure test required per code	✓	
Shower		
Sink, Pot / 3-comp		
Sink, Residence		
Sink, Slop		
Roof inlet		
Urinal		
Water closet		
Other		
Total		

Estimated cost of work \$ 116000

Pipe size 4"

Pipe type PVC

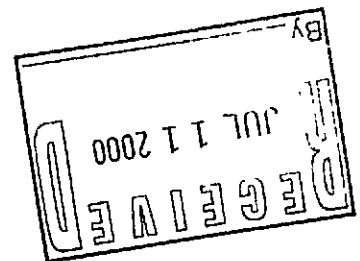
* Attach riser diagram if new construction

Tiffany Wright
Signature of Owner or Contractor / Agent

7/10/00
Date

Patricia Hardin
Signature of Building Official or Plan Reviewer

7/11/00
Date



17108
13337

Property Appraiser Information

Alternate Key: 8653450 Parcel ID: 00052901-000400 Next Record

Ownership Details

Mailing Address:

FAULKNER ROBERT ESTATE
C/O FAULKNER MICHAEL P/R
16609 BADGER CT
DUMFRIES, VA 22026-6800

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

Affordable Housing: No

Section-Township-Range: 33-67-25

Property Location: 3206 DUCK AVE KEY WEST

Subdivision: Key West Foundation Co's Plat No 2

Legal Description:

PT BLOCK 8 KW FOUNDATION COS PLAT NO 2 PB1-189 A/K/A UNIT 4 KEY WEST ESTATES OR945-1023/1024 OR1416-276/78 OR2305-211C/T OR2400-2449 OR2400-2457/60 OR2764-546LET/ADM

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	38	55	2,055.00 SF

Building Summary

Number of Buildings: 1

Number of Commercial Buildings: 0

Total Living Area: 1462

Year Built: 1984

Building 1 Details

Building Type R1
 Effective Age 20
 Year Built 1984
 Functional Obs 0

Condition A
 Perimeter 220
 Special Arch DCW
 Economic Obs 0

Quality Grade 450
 Depreciation % 27
 Grnd Floor Area 1,462

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type MANSARD
 Heat 1 FCD/AIR DUCTED
 Heat Src 1 ELECTRIC

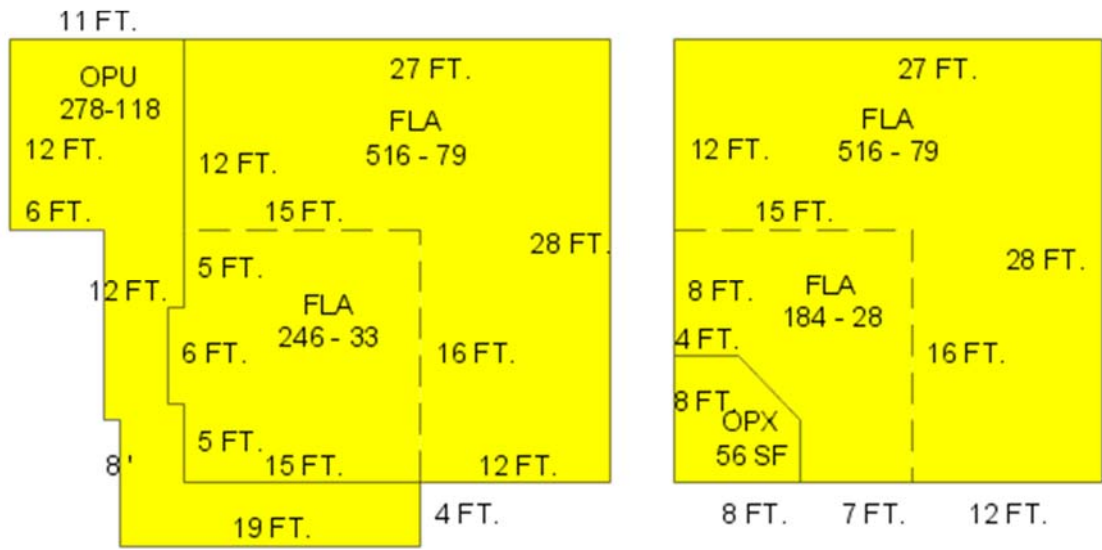
Roof Cover TAR & GRAVEL
 Heat 2 NONE
 Heat Src 2 NONE

Foundation CONCR FTR
 Bedrooms 2

Extra Features:

2 Fix Bath 1
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	1:WD FRAME	1	2007		Y			246

2	FLA	1:WD FRAME	1	2007		Y			184
3	FLA	1:WD FRAME	1	1984	N	Y	0.00	0.00	516
4	OPU		1	2001	N	N	0.00	0.00	278
5	FLA	1:WD FRAME	1	1984	N	Y	0.00	0.00	516
6	OPX		1	2001	N	N	0.00	0.00	56

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	513 SF	0	0	1983	1984	2	30
2	AC2:WALL AIR COND	1 UT	0	0	1983	1984	2	20
3	AP2:ASPHALT PAVING	216 SF	18	12	1983	1984	1	25

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	0100156	02/01/2001	11/26/2001	9,000		ADDITION
	0100482	02/07/2001	11/26/2001	1,500		4 SQS V-CRIMP
	0102276	06/13/2001	11/26/2001	3,000		10 SQS ROOFING

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	122,330	1,162	125,368	248,860	225,766	25,000	200,766
2014	109,882	1,056	113,036	223,974	223,974	25,000	198,974
2013	112,774	1,056	59,601	173,431	173,431	0	173,431
2012	125,406	1,056	59,595	186,057	186,057	0	186,057
2011	129,058	1,056	41,104	171,218	171,218	0	171,218
2010	145,271	1,056	16,440	162,767	162,767	0	162,767
2009	163,439	1,056	53,430	217,925	217,925	0	217,925
2008	151,812	1,056	106,860	259,728	259,728	0	259,728
2007	192,109	1,056	215,775	408,940	408,940	0	408,940
2006	349,395	1,056	133,575	484,026	484,026	0	484,026
2005	306,657	1,056	119,190	426,903	236,795	25,000	211,795
2004	184,612	1,056	98,640	284,308	229,898	25,000	204,898
2003	181,401	1,056	43,155	225,612	225,612	25,000	200,612
2002	131,842	1,056	43,155	176,053	176,053	0	176,053
2001	81,378	1,110	43,155	125,643	125,643	0	125,643
2000	98,721	1,312	22,605	122,638	122,638	0	122,638
1999	85,400	1,053	22,605	109,057	109,057	0	109,057
1998	81,924	1,054	22,605	105,584	105,584	0	105,584
1997	69,511	942	18,495	88,949	88,949	0	88,949
1996	57,099	806	18,495	76,400	76,400	0	76,400
1995	55,609	844	18,495	74,949	74,949	0	74,949
1994	49,651	813	18,495	68,959	68,959	0	68,959
1993	49,661	866	18,495	69,022	69,022	0	69,022
1992	49,661	919	18,495	69,075	69,075	0	69,075
1991	49,661	979	18,495	69,135	69,135	0	69,135
1990	49,661	1,031	18,495	69,187	69,187	0	69,187

1989	49,661	1,084	18,495	69,240	69,240	0	69,240
1988	39,211	831	16,954	56,996	56,996	0	56,996
1987	38,763	870	10,789	50,422	50,422	25,000	25,422
1986	46,758	239	7,473	54,470	54,470	25,000	29,470
1985	44,868	249	7,502	52,619	52,619	0	52,619
1984	0	0	7,502	7,502	7,502	0	7,502

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
1/30/2009	2400 / 2449	0	QC	11
12/9/2008	2400 / 2457	180,000	WD	B
6/28/2007	2305 / 211	100	CT	F
7/1/1996	1416 / 0276	120,000	WD	Q
6/1/1985	945 / 1023	65,000	WD	Q