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## **Historic Architectural Review Commission Staff Report for Item 16**

To: Chairman Haven Burkee and Historic Architectural Review  
Commission Members

From: Daniela Salume, MFA  
Historic Preservation Manager

Meeting Date: February 24, 2026

Applicant: Bender & Associates Architects

Application Number: C2026-0009

Address: 700 Fleming Street

### **Description of Work:**

Change from concrete tile to 5 v-crimp metal roofing, flat roof replacement, and new ogee gutters.

### **Site Facts:**

The building under review is the Monroe County Library, a historic but non-contributing concrete block structure within the Historic District constructed in 1959. The property is located on a corner lot at the intersection of Fleming Street and Elizabeth Street. Additions were built on both sides of the building between 1972 and 1975. Currently, the structure sits on the ground and is located within an X flood zone.



*May Hill Russell and Monroe County Mayor Gerald Saunders look on as Karl Thompson cuts the ribbon to open the new Monroe County Library at 700 Fleming Street on November 14, 1959.  
Monroe County Library.*



*The Monroe County Library at 700 Fleming Street C 1970. Monroe County Library.*



*Photo taken by the Property Appraiser's office 1974; 700 Fleming. Monroe County Library.*



*Photo of the Monroe County Library at 700 Fleming Street published in the Miami Herald April 2, 1992. Monroe County Library.*



*Photo taken by Property Appraiser's on 02/06/2014.*



*Current photo of property under review.*



*1968 aerial photo.*



*1972 aerial photo.*



*1975 aerial photo showing additions.*



*1985 aerial photo.*



*1994 aerial photo.*

### **Guidelines Cited on Review:**

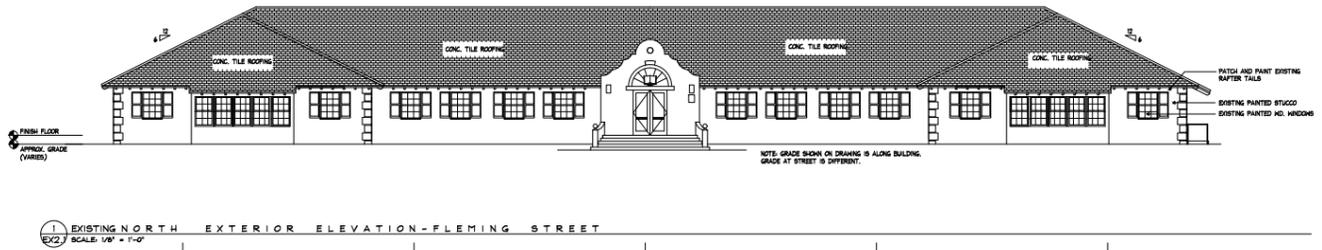
- Guidelines for Roofing (page 26-26a), specifically first paragraph, guidelines 2 and 4 (first sentence).
- Guidelines for Gutters (page 27), specifically guidelines 1, 2, and 5.

### **Staff Analysis:**

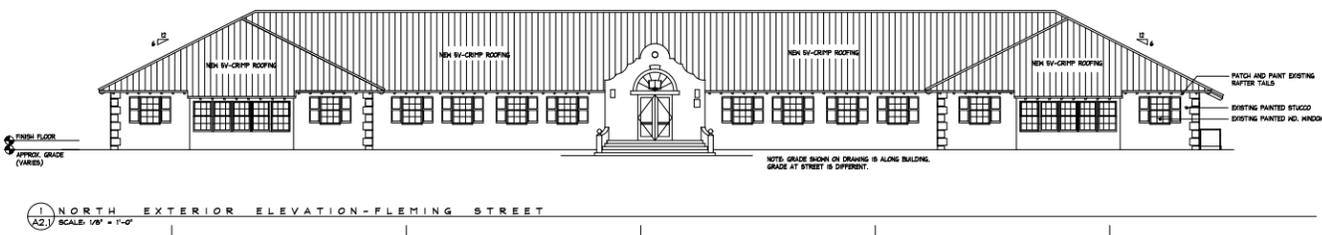
A Certificate of Appropriateness is currently under review for a proposed change in roofing material from concrete tile to 5V-crimp metal roofing at the Monroe County Library. The building was originally constructed in 1959 with a concrete tile roof, which has remained in place since. Additions were constructed between 1972 and 1975 which also used concrete tile roofing to match the original structure.

The current proposal also includes replacing the flat roof at the rear of the structure with fiber Tite white roofing and installing new ogee gutters throughout.

Staff believes that metal shingles would be a more appropriate replacement material, as they more closely resemble the original concrete tile in appearance and profile.



*Existing Front (North) Elevation.*



*Proposed Front (North) Elevation.*

### **Consistency with Cited Guidelines:**

The proposed replacement of the existing concrete tile roof with 5V-crimp metal roofing at the Monroe County Library is not consistent with the **Roofing Guidelines**. The guidelines state that roof replacements should be completed on an in-kind basis, matching the previously used materials, unless HARC determines that an alternative material is more suitable. The building was constructed in 1959 with concrete tile roofing, and additions between 1972 and 1975 continued the use of concrete tile to match the original structure. Replacing the existing tile with 5V-crimp metal alters the historic roofing material and does not return the roof to a documented historic condition. Additionally, **Guideline 4** specifies that the form and configuration of a roof must not be altered in pitch, design, *materials*, or shape unless returning it to a verifiable historic form, which is not the case here. Staff believes that metal shingles would be a more appropriate replacement if necessary, as they more closely resemble the original concrete tile in profile and appearance.

The proposal also includes installation of new ogee gutters; the Gutters Guidelines require that gutters be installed so as not to detract from the design and architecture of the structure and that installation minimize damage to historic fabric or character defining features. Provided the ogee gutters are appropriately scaled, compatible with the building's style, and installed to minimize visual impact, they are consistent with the guidelines.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$536.03 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



**City of Key West**

1300 White Street  
Key West, Florida 33040

HARC COA # <i>C2026-0009</i>	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	700 Fleming St	
NAME ON DEED:	Monroe County BOCC	PHONE NUMBER
OWNER'S MAILING ADDRESS:	1100 Simonton St. Suite 2-216 Key West FL 33040	EMAIL <i>Rubio-Suzanne@MonroeCounty-FL.Gov</i>
APPLICANT NAME:	David Salay/Bender Architects	PHONE NUMBER 3052961347
APPLICANT'S ADDRESS:	410 Angela St Key West FL 33040	EMAIL <i>dsalay@benderarchitects.com</i>
APPLICANT'S SIGNATURE:	<i>[Signature]</i>	DATE 1/12/26

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS\_\_\_ RELOCATION OF A STRUCTURE\_\_\_ ELEVATION OF A STRUCTURE\_\_\_  
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES xx NO\_\_\_ INVOLVES A HISTORIC STRUCTURE: YES\_\_\_ NO\_\_\_  
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES\_\_\_ NO xx

<b>DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.</b>	
GENERAL:	<i>Reroof of 15,400 s.f. Library building with v-crimp roofing. Reroof of small area of flat roof at rear of building with white Fibertite. Replace ogee gutters in kind. Building constructed 1958, with additions in 1970s. Existing roof is badly deteriorated concrete tile.</i>
MAIN BUILDING:	
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	

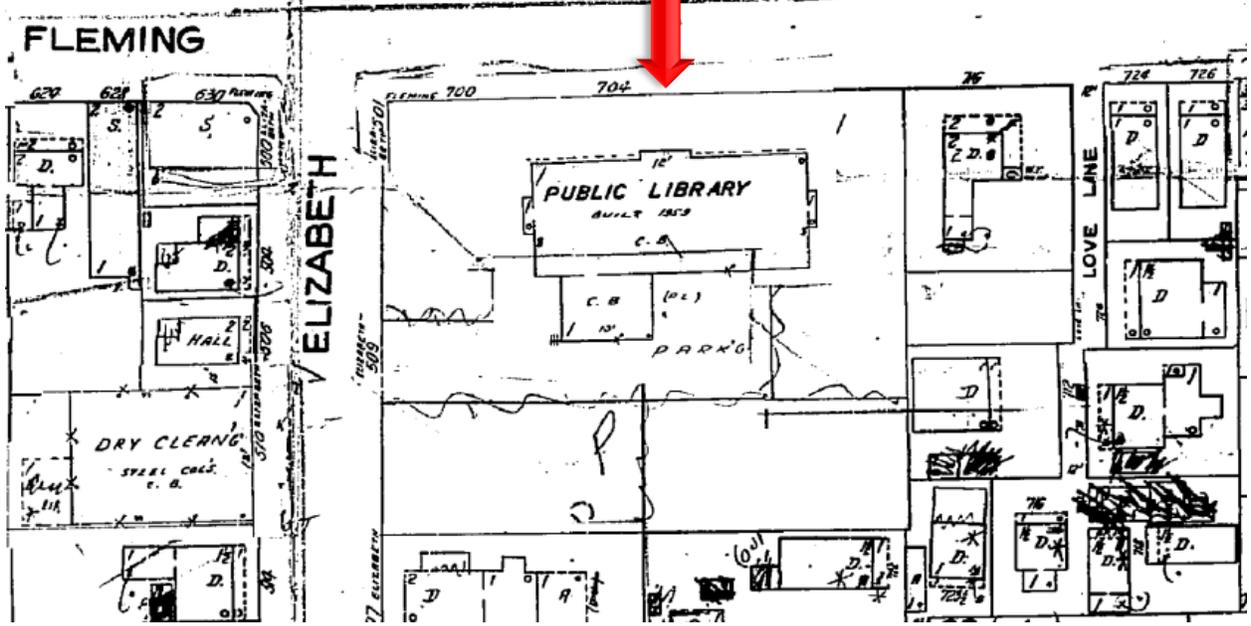
**APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY\_HARC@CITYOFKEYWEST-FL.GOV**

<b>ACCESSORY STRUCTURE(S):</b> None.	
<b>PAVERS:</b> None.	<b>FENCES:</b> None.
<b>DECKS:</b> None.	<b>PAINTING:</b> Repair and Paint existing rafter tails. match existing.
<b>SITE (INCLUDING GRADING, FILL, TREES, ETC):</b> None.	<b>POOLS (INCLUDING EQUIPMENT):</b> None.
<b>ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):</b> None.	<b>OTHER:</b>

<b>OFFICIAL USE ONLY:</b>	<b>HARC COMMISSION REVIEW</b>	<b>EXPIRES ON:</b>
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

**THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.**

# SANBORN MAPS



1962 Sanborn Map.

# PROJECT PHOTOS

## Key West Public Library

### Reroofing

Photos of proposed work and photos of property from road.



Photo of Key West Library from the corner of Elizabeth and Fleming. The work consists of replacing the existing leaking concrete tile roofing. The County would like to reroof with metal shingle (staff approval per Daniela), but are asking for v-crimp roofing as a backup if the price is too high. More photos on Architectural sheets.



Photo of Key West Library main entrance on Fleming St. The style of the building is Bermuda Style-inspired. It is not a very common style in Key West, but it has been here since 1959. The concrete roof tiles are probably original, and very deteriorated.



General photo of rear yard parking lot, accessed from Elizabeth St.



Street view of west side of building from Elizabeth Street.



Photo of east side of building. This side of the building features a courtyard where events are held.



Photo of south side of building, from the parking lot. The center section of the building is a concrete vault with a flat roof. We are replacing the existing Fibertite roofing on this flat area.



Detail photo of damaged roof overhang. Wood damage to be replaced in kind.

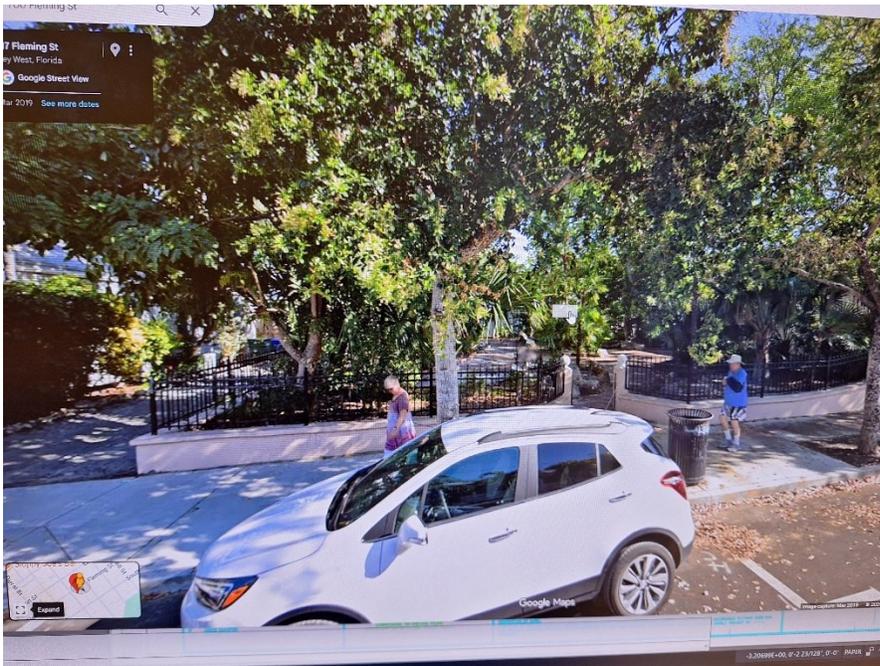


Photo of adjacent property – Fleming Street. This property is a courtyard also owned by the Library. At left is Love Lane.

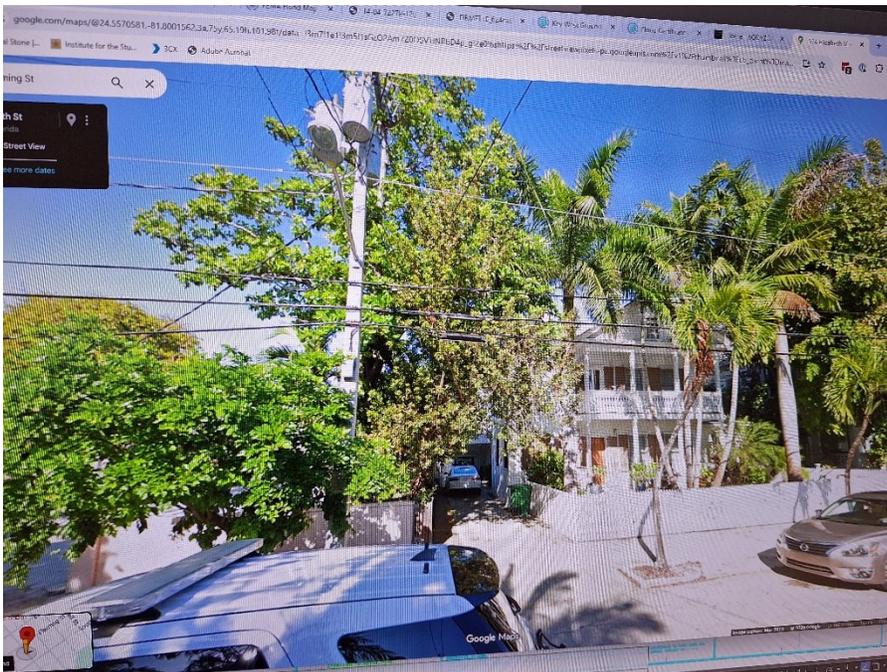


Photo of adjacent property – 514 Elizabeth St.  
At left is the entrance to the Library parking lot.

**See Architectural Drawings for additional Detail  
Photos of the proposed work.**

# PROPOSED DESIGN

# MONROE COUNTY PUBLIC LIBRARY - KEY WEST BRANCH

## ROOF REPLACEMENT

700 FLEMING STREET KEY WEST, FLORIDA

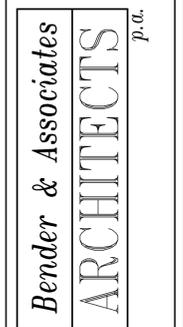
MONROE COUNTY BOARD OF COUNTY COMMISSIONERS



<p><b>AERIAL PHOTO</b></p>	<p><b>SITE MAP - KEY WEST</b></p> <p><b>SITE LOCATION</b> 700 FLEMING ST. KEY WEST</p>	<p><b>PROJECT DIRECTORY</b></p> <p>PROJECT: KEY WEST PUBLIC LIBRARY ROOF REPLACEMENT 700 FLEMING ST. KEY WEST, FL 33040</p> <p>ARCHITECT'S PROJECT No.: 2521</p> <p>OWNER: MONROE COUNTY BOARD OF COUNTY COMMISSIONERS Address: 1100 SIMONTON ST. KEY WEST, FL 33040</p> <p>Tel: 904-619-2333 Representative: WENDY CARTER</p> <p>ARCHITECT: BENDER &amp; ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 296-1347 Fax: (305) 296-2727 E-mail: dsalay@benderarchitects.com Project Manager: David Salay (Principal-in-Charge) Project Architect: David Salay</p> <p>ENGINEERING CONSULTANTS: STRUCTURAL: KEISTER WEBB STRUCTURAL ENGINEERS Address: 6501 Arlington Expressway, Building B, Suite 201, Jacksonville, FL 32211 Tel: 904-619-2333 Representative: MARK KEISTER</p> <p><b>COORDINATION NOTE:</b></p> <p>THIS BUILDING IS A FUNCTIONING LIBRARY. IT SHALL REMAIN OPEN DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE AS REQUIRED WITH COUNTY AND LIBRARY STAFF TO ENSURE THAT THE LIBRARY REMAINS FUNCTIONAL DURING CONSTRUCTION. SAFETY IS THE HIGHEST CONCERN. THE LIBRARY STAFF AND VISITORS SHALL BE PROTECTED DURING CONSTRUCTION.</p> <p><b>LIST OF ALTERNATES:</b></p> <p>BASE BID: METAL SHINGLE ROOFING ALTERNATE: ASPHALT SHINGLE ROOFING</p>	<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:                  FLORIDA BUILDING CODE - Building 8th Edition - 2023                  FLORIDA BUILDING CODE - Existing 8th Edition - 2023                  FLORIDA BUILDING CODE - Residential 8th Edition - 2023                  FLORIDA BUILDING CODE - Plumbing 8th Edition - 2023                  FLORIDA BUILDING CODE - Fuel Gas 8th Edition - 2023                  FLORIDA BUILDING CODE - Mechanical 8th Edition - 2023                  NATIONAL ELECTRICAL CODE CURRENT EDITION                  NFPA 7th edition issued 2020, and current editions of NFPA 1 and 101.                  This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (3 second gusts).</li> <li>Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</li> <li>Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</li> <li>Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</li> <li>Dimensions shall take precedence over scale.</li> <li>All new utilities shall be underground.</li> <li>Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</li> <li>After completion of construction remove all debris and construction equipment. Restore site to original condition.</li> <li>Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</li> <li>Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</li> <li>Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</li> </ol> <p>61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.</p>																																																																																																																																															
<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>BLKG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BUR</td><td>BUILT-UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CER</td><td>CERAMIC</td><td>PL</td><td>PROPETYRY LINE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>PNL</td><td>PANEL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>PT</td><td>CCA PRESSURE TREATED</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>PT</td><td>POINT</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr> <tr><td>DIAG</td><td>DIAGONAL</td><td>R</td><td>RADIUS (OR) RISER</td></tr> <tr><td>DS</td><td>DOWNSPOUT</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DTL</td><td>DETAIL</td><td>REBAR</td><td>STEEL REINF. BAR</td></tr> <tr><td>DNR</td><td>DRAWER</td><td>REFR.</td><td>REFRIGERATOR</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>ELEC</td><td>ELECTRIC</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>T</td><td>TYPICAL</td></tr> <tr><td>EXH</td><td>EXHAUST</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>FV</td><td>FIELD VERIFY</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>GALV</td><td>GALVANIZED</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>GI</td><td>GALVANIZED IRON</td><td>WD</td><td>WOOD</td></tr> <tr><td>HORZ</td><td>HORIZONTAL</td><td>WVF</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HDW</td><td>HARDWARE</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING &amp; AIR CONDITIONING</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr> <tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr> <tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr> <tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr> </table>	AB	ANCHOR BOLT	MIN	MINIMUM	ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE	A/C	AIR CONDITIONING	OA	OVERALL	BLKG	BLOCKING	OC	ON CENTER	BUR	BUILT-UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CER	CERAMIC	PL	PROPETYRY LINE	CL	CENTER LINE	PLAM	PLASTIC LAMINATE	CLG	CEILING	PLF	POUNDS PER LINEAL FOOT	CMU	CONCRETE MASONRY UNIT	PNL	PANEL	COL	COLUMN	PT	CCA PRESSURE TREATED	CONC	CONCRETE	PT	POINT	DBL	DOUBLE	PVC	POLYVINYLCHLORIDE	DIAG	DIAGONAL	R	RADIUS (OR) RISER	DS	DOWNSPOUT	R/A	RETURN AIR	DTL	DETAIL	REBAR	STEEL REINF. 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A8 INDICATES # OF ELEVATION</p> <p><b>WALL ELEVATION INDICATOR</b> (SHOWN WITHIN ROOM ON PLAN)</p> <p>FIRST # INDICATES FLOOR 206</p> <p><b>ROOM NUMBER INDICATOR</b> (SHOWN BESIDE OR UNDER ROOM NAME)</p> <p>NUMBERS 23 LETTERS A</p> <p><b>DOOR OPENING INDICATOR</b> (EACH OPENING SCHEDULED SEPARATELY)</p> <p><b>WINDOW INDICATOR</b> (EACH WINDOW TYPE &amp; SIZE SCHEDULED)</p> <p>LETTERS E</p> <p><b>PARTITION/WALL TYPE INDICATOR</b> (COMMERCIAL &amp; INSTITUTIONAL PROJECTS)</p> <p><b>DESCRIPTION OF WORK:</b> REROOFING OF EXISTING 15,400 S.F. LIBRARY BUILDING. NEW V-CRIMP ROOFING. INSTALL IN STRICT ACCORDANCE TO MIAMI DADE NOA. SMALL AREA OF FIBERTITE ROOFING AT FLAT ROOF AT REAR OF BUILDING. THIS PROJECT HAS BEEN REVIEWED AND APPROVED BY THE KEY WEST HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC). PROJECT NO. -----, APPROVED -----</p>	<p><b>SHEET INDEX</b></p> <p><b>ARCHITECTURAL</b></p> <p>A0.0 COVER SHEET, SITE LOCATION MAP, SHEET INDEX, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND</p> <p>A0.1 SITEPLAN, AERIAL PHOTO, SCOPE OF WORK</p> <p>D1.1 DEMOLITION PLAN D1.2 DEMOLITION PLAN D1.3 DEMOLITION PLAN</p> <p>A1.1 1ST FLOOR PLAN, 2ND FLOOR PLAN A1.2 3RD FLOOR PLAN A1.4 FINISH SCHEDULES, DOOR SCHEDULES A2.1 PROPOSED EXTERIOR ELEVATIONS A2.2 PROPOSED EXTERIOR ELEVATIONS A2.3 PROPOSED EXTERIOR ELEVATIONS A2.4 PROPOSED TOWER ELEVATIONS A2.5 PROPOSED TOWER ELEVATIONS</p> <p>A8.1 ROOF PLAN A8.1 PHOTO DETAILS A8.2 ROOF SYSTEM NOTES A8.3 DETAILS A8.4 DETAILS A8.5 DETAILS A8.6 DETAILS A8.8 DETAILS A8.9 DETAILS</p> <p><b>STRUCTURAL</b></p> <p>S-- STRUCTURAL COMPONENTS AND CLADDING</p>
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EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE																																																																																																																																															
FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE																																																																																																																																															
GALV	GALVANIZED	VERT	VERTICAL																																																																																																																																															
GI	GALVANIZED IRON	WD	WOOD																																																																																																																																															
HORZ	HORIZONTAL	WVF	WELDED WIRE FABRIC																																																																																																																																															
HDW	HARDWARE	WH	WATER HEATER																																																																																																																																															
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT																																																																																																																																															
FOC	FACE OF CONCRETE																																																																																																																																																	
FOS	FACE OF STUD																																																																																																																																																	
FIN	FINISH																																																																																																																																																	
FE	FIRE EXTINGUISHER																																																																																																																																																	
FND	FOUNDATION																																																																																																																																																	
FTG	FOOTING																																																																																																																																																	
ID	INSIDE DIAMETER																																																																																																																																																	
MAX	MAXIMUM																																																																																																																																																	

MONROE COUNTY PUBLIC LIBRARY  
 KEY WEST BRANCH  
 ROOF REPLACEMENT  
 700 FLEMING STREET, KEY WEST FLORIDA  
 MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC020222



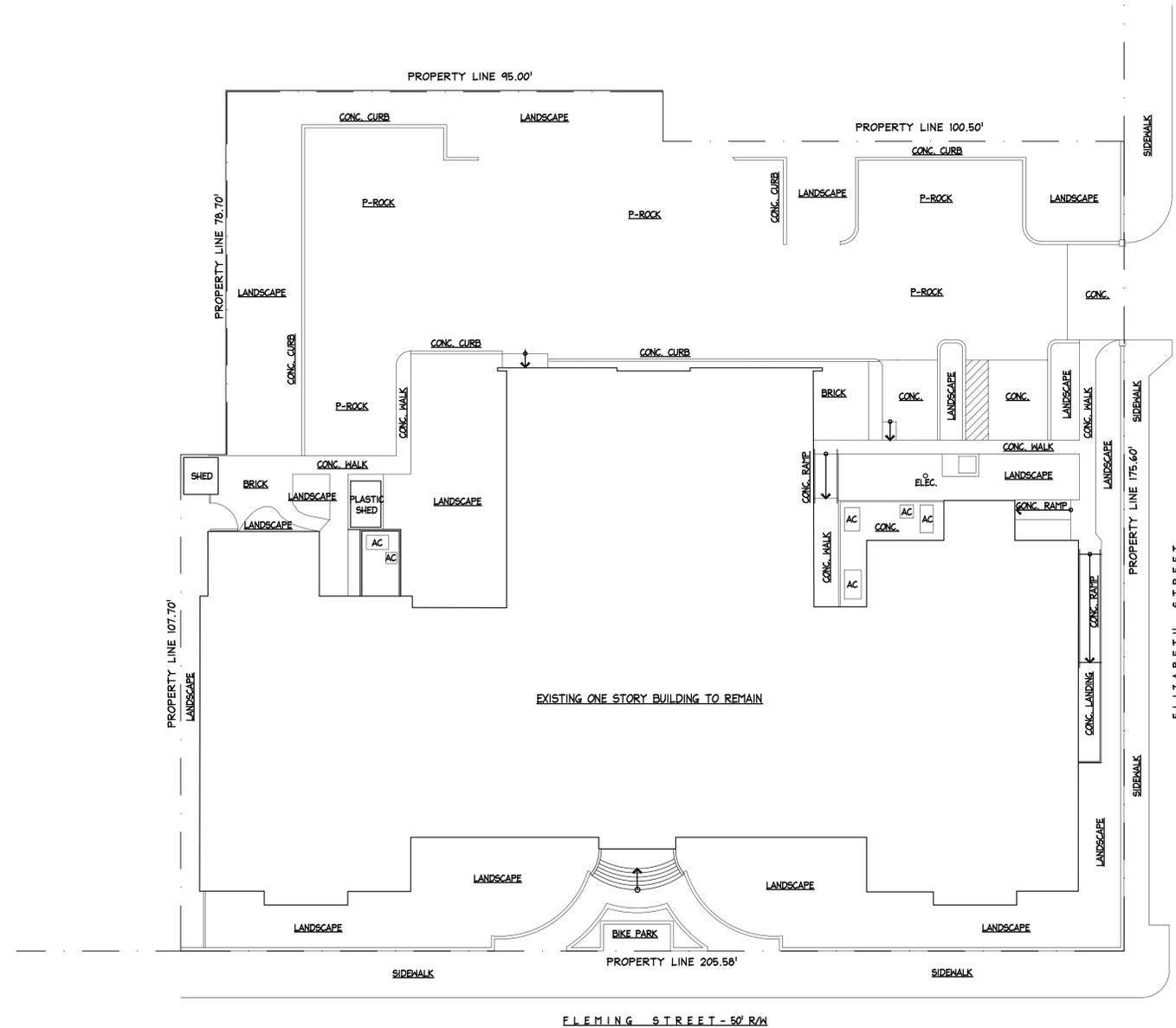
Project No: 2521  
 SITE MAP  
 PROJECT DIRECTORY  
 GENERAL NOTES  
 ABBREVIATIONS  
 SHEET INDEX  
 SYMBOL LEGEND  
 Date: 1/15/26

A0.0

1 OF --

DETAILED DESCRIPTION OF PROJECT SCOPE OF WORK:

1. REPLACE EXISTING ROOF SYSTEM WITH NEW ROOFING SYSTEM DESIGNED TO MEET WIND LOAD REQUIREMENTS.
2. HARDEN ALL ROOF EXHAUST AND INTAKE VENTS TO MEET SPECIFIED WIND LOADS.
3. THERE WILL BE NO GROUND DISTURBANCE IN ANY CONSTRUCTION LOCATIONS OF THE PROJECT.



REVISIONS:

MONROE COUNTY PUBLIC LIBRARY  
 KEY WEST BRANCH  
 ROOF REPLACEMENT  
 700 FLEMING STREET, KEY WEST FLORIDA  
 MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

410 Angela Street  
 Key West, Florida 33040  
 Telephone (305) 296-1347  
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 Florida License AAC002022

*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No: 2521

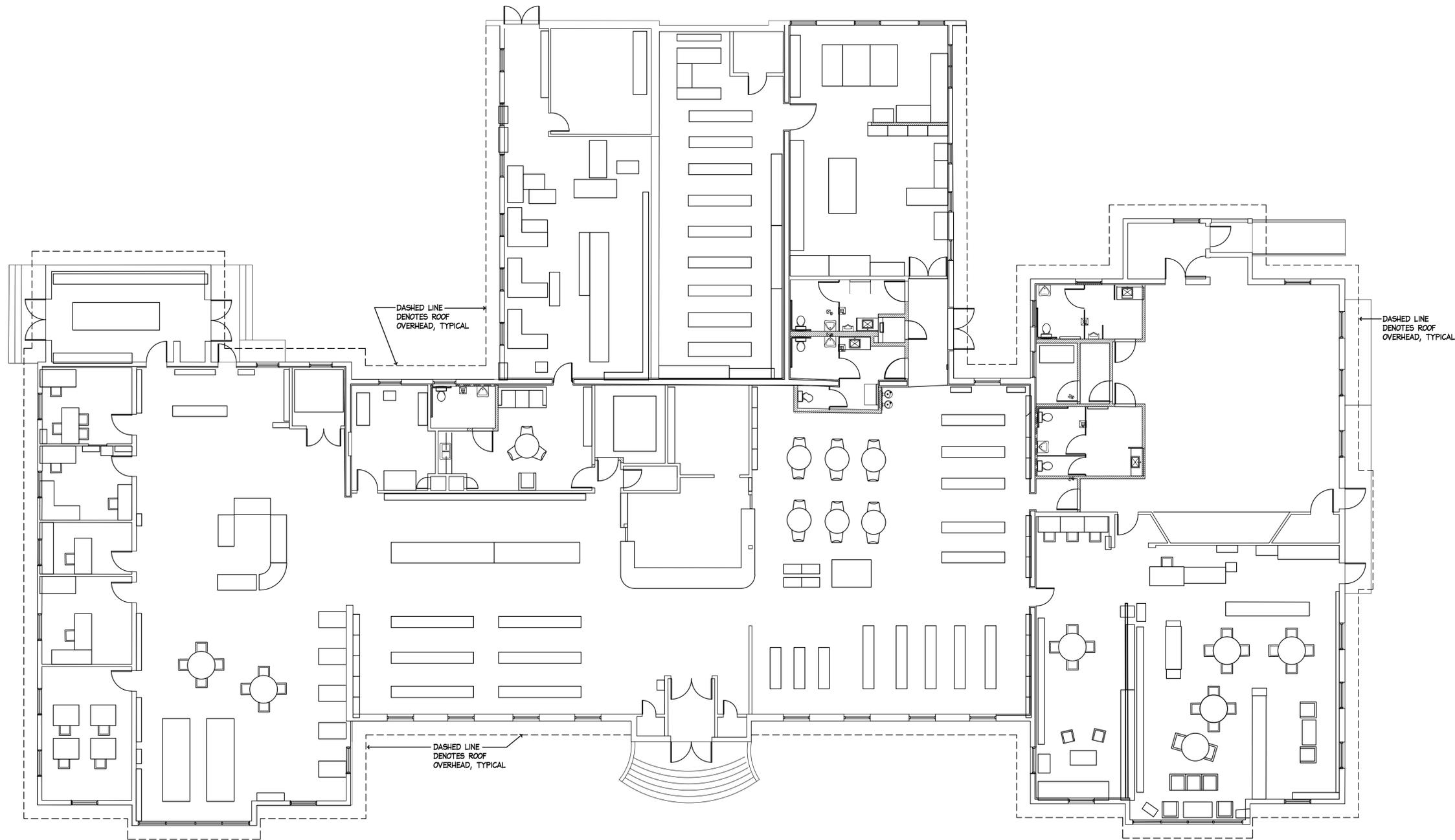
SITE PLAN

Date: 1/15/26

**A0.1**

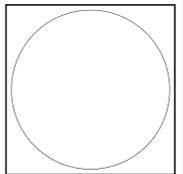
2 OF --





REVISIONS:

MONROE COUNTY PUBLIC LIBRARY  
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 ROOF REPLACEMENT  
 700 FLEMING STREET, KEY WEST FLORIDA  
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 p. a.

Project No: 2521  
 FIRST FLOOR PLAN  
 Date: 1/15/26

A1.1  
 6 OF --

P R E S E R V A T I O N   N O T E S

THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION:

(a) The following Standards for Rehabilitation are the criteria used to determine if a rehabilitation project qualifies as a certified rehabilitation. The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located.

- (b) The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. (The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.)
(1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
(c) The quality of materials and craftsmanship used in a rehabilitation project must be commensurate with the quality of materials and craftsmanship of the historic building in question. Certain treatments, if improperly applied, or certain materials by their physical properties, may cause or accelerate physical deterioration of historic buildings. Inappropriate physical treatments include, but are not limited to: improper repointing techniques; improper exterior masonry cleaning methods; or improper introduction of insulation where damage to historic fabric would result. In almost all situations, use of these materials and treatments will result in denial of certification. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will result in denial of certification. For further information on appropriate and inappropriate rehabilitation treatments, owners are to consult the Guidelines for Rehabilitating Historic Buildings published by the NPS, "Preservation Briefs" and additional technical information to help property owners formulate plans for the rehabilitation, preservation, and continued use of historic properties consistent with the intent of the Secretary's Standards for Rehabilitation are available from the SHPOs and NPS regional offices. Owners are responsible for procuring this material as part of property planning for a certified rehabilitation.

PRESERVATION NOTES:

- 1. MATCH ORIGINAL HISTORIC MATERIAL, TEXTURES AND FINISHES. THE ARCHITECT WILL BE THE SOLE JUDGE AS TO WHAT CONSTITUTES AN APPROPRIATE MATCH.
2. REMOVE ALL AREAS IDENTIFIED BY THE ARCHITECT AS INAPPROPRIATE OR NOT MATCHING THE ADJACENT HISTORIC FABRIC.
3. TAKE ALL APPROPRIATE MEASURES NECESSARY TO CORRECT INFERIOR WORK AS IDENTIFIED BY THE ARCHITECT.
4. PROTECT HISTORIC FABRIC DURING ALL OPERATIONS. NO HISTORIC MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR APPROVAL OF ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO HAVE INDIVIDUAL WORKMEN REMOVED FROM INDIVIDUAL ACTIVITIES OR THE PROJECT ENTIRELY, IF IN THE ARCHITECT'S JUDGEMENT, THE QUALITY OF WORK BEING PERFORMED IS INAPPROPRIATE, INFERIOR, OR DETRIMENTAL TO HISTORIC MATERIALS.
5. REFER TO PHOTOGRAPHIC DETAILS IN THE SPECIFICATIONS FOR ADDITIONAL HISTORIC PRESERVATION INFORMATION AND PROJECT REQUIREMENTS.
6. ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION, AS ADMINISTERED BY THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORIC RESOURCES.
7. DUE TO THE SENSITIVE HISTORIC NATURE OF THIS PROJECT, GENERAL CONTRACTORS AND CERTAIN TRADES MUST MEET PREQUALIFICATION REQUIREMENTS. REFER TO SUPPLEMENTARY GENERAL CONDITIONS, SECTION 00200. HISTORIC FINISHES AND FURRING MAY BE INTACT UNDER CONTEMPORARY FINISHES. CONSULT ARCHITECT BEFORE REMOVAL OF QUESTIONABLE HISTORIC OR NON-HISTORIC MATERIAL.
8. WHERE THE TERM 'RESTORE' IS USED THROUGHOUT THESE DOCUMENTS, THE INTENT IS TO RETURN AN ITEM, FINISH, OR MATERIAL TO ITS HISTORIC CONFIGURATION AND/OR CONDITION. THE LEAST INTRUSIVE METHOD REQUIRED SHOULD BE USED FIRST: CLEAN, PATCH, OR REPLACE USING AN IN-KIND MATERIAL, I.E. BRONZE FOR BRONZE, CONCRETE FOR CONCRETE, CORAL STONE FOR CORAL STONE, ETC. COORDINATE ALL REQUIREMENTS FOR 'RESTORATION' WITH ARCHITECT.

REVISIONS:

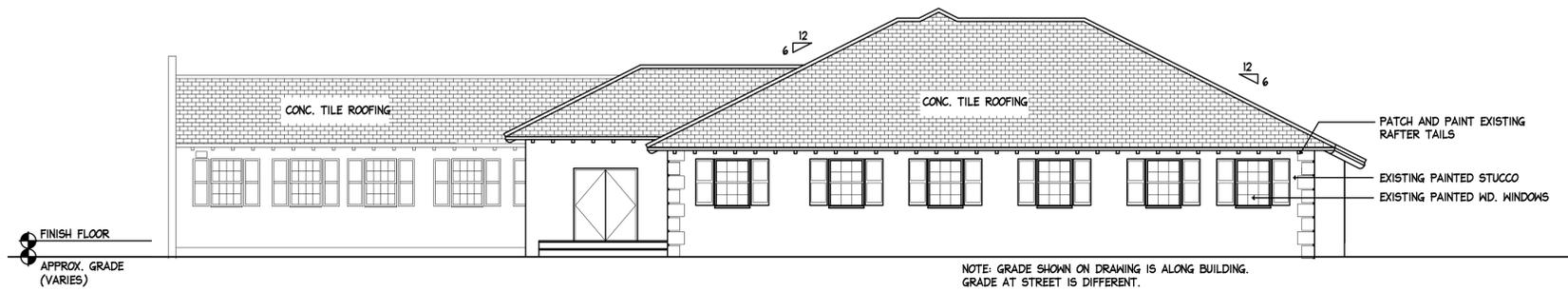
MONROE COUNTY PUBLIC LIBRARY
KEY WEST BRANCH
ROOF REPLACEMENT
700 FLEMING STREET, KEY WEST FLORIDA
MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC02022

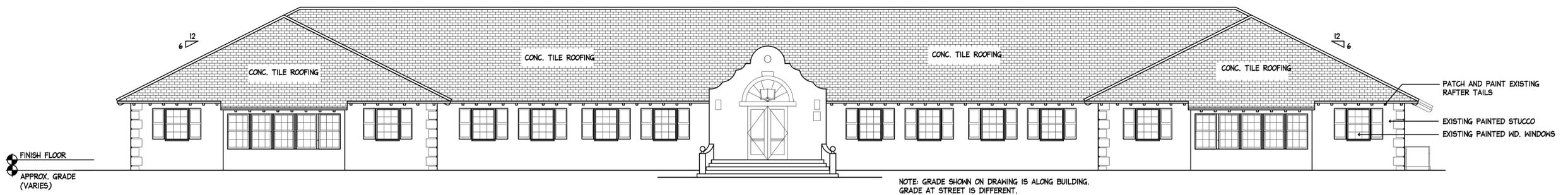
Bender & Associates
ARCHITECTS
p.a.

Project No: 2521
NOTES
Date: 1/15/26

A1.2



2 EXISTING EAST EXTERIOR ELEVATION  
EX2 SCALE: 1/8" = 1'-0"



1 EXISTING NORTH EXTERIOR ELEVATION - FLEMING STREET  
EX2 SCALE: 1/8" = 1'-0"

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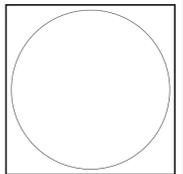
Bender & Associates  
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p.a.

Project No: 2521  
EXTERIOR ELEVATIONS  
Date: 1/15/26

EX2.1  
9 OF --

REVISIONS:

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KEY WEST BRANCH  
ROOF REPLACEMENT  
700 FLEMING STREET, KEY WEST FLORIDA  
MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

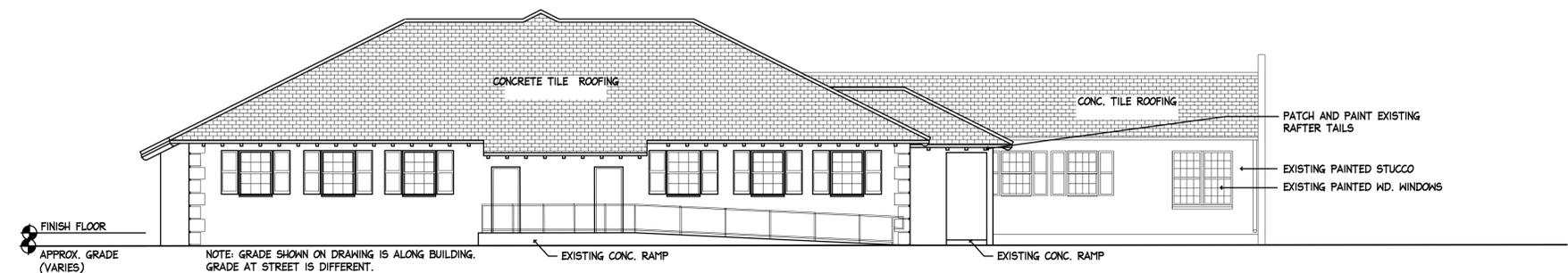


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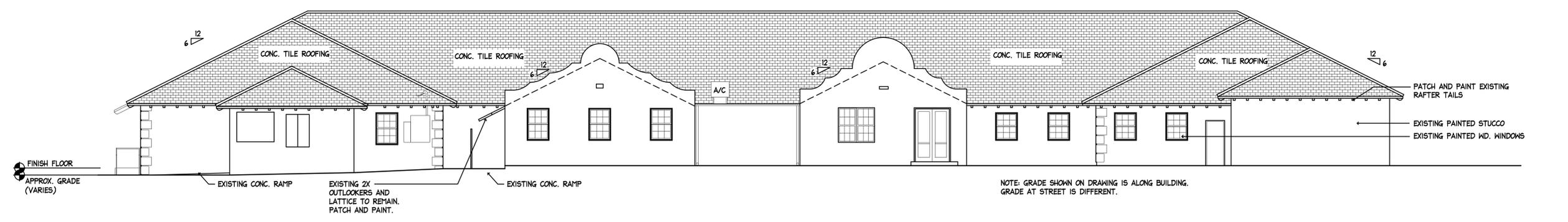
*Bender & Associates*  
**ARCHITECTS**  
p.a.

Project No: 2521  
EXTERIOR ELEVATIONS  
Date: 1/15/26

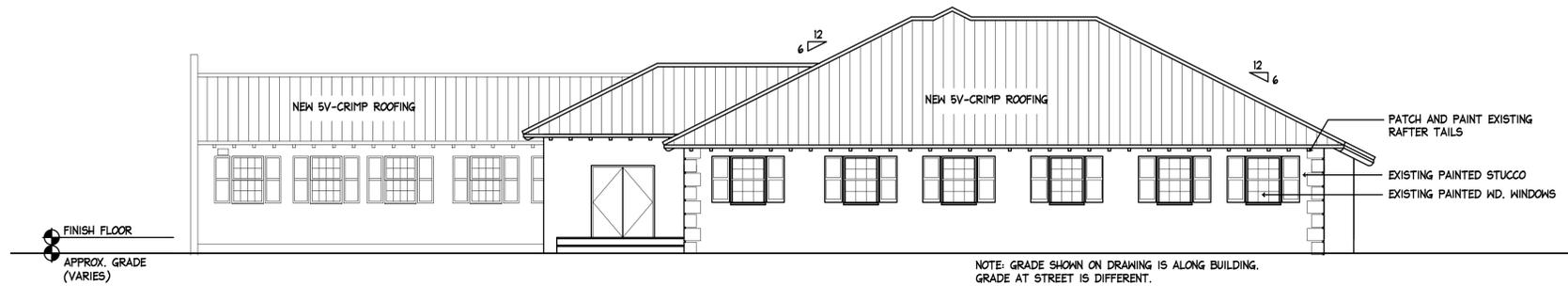
**EX2.2**  
9 OF --



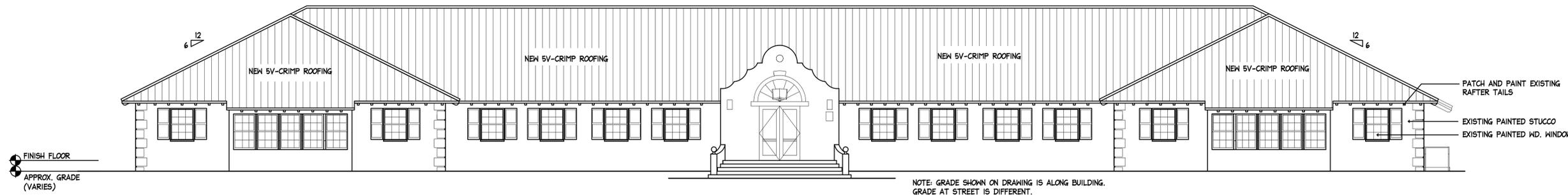
2 EXISTING WEST EXTERIOR ELEVATION - ELIZABETH STREET  
EX2.2 SCALE: 1/8" = 1'-0"



1 EXISTING SOUTH EXTERIOR ELEVATION  
EX2.2 SCALE: 1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



1 NORTH EXTERIOR ELEVATION - FLEMING STREET  
A2.1 SCALE: 1/8" = 1'-0"

REVISIONS:

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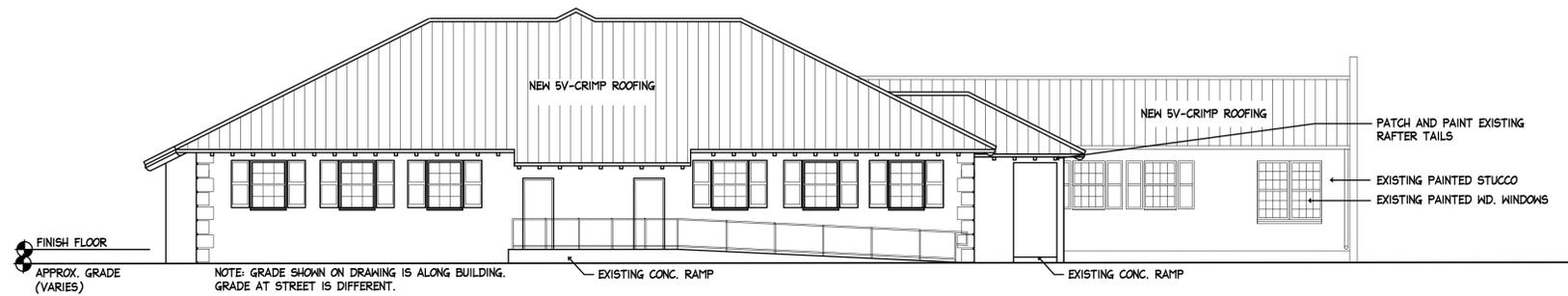
Project No: 2521

EXTERIOR ELEVATIONS

Date: 1/15/26

A2.1

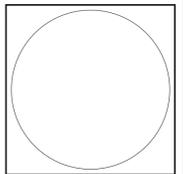
9 OF --



2 WEST EXTERIOR ELEVATION - ELIZABETH STREET  
A2.2 SCALE: 1/8" = 1'-0"

REVISIONS:

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KEY WEST BRANCH  
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700 FLEMING STREET, KEY WEST FLORIDA  
MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

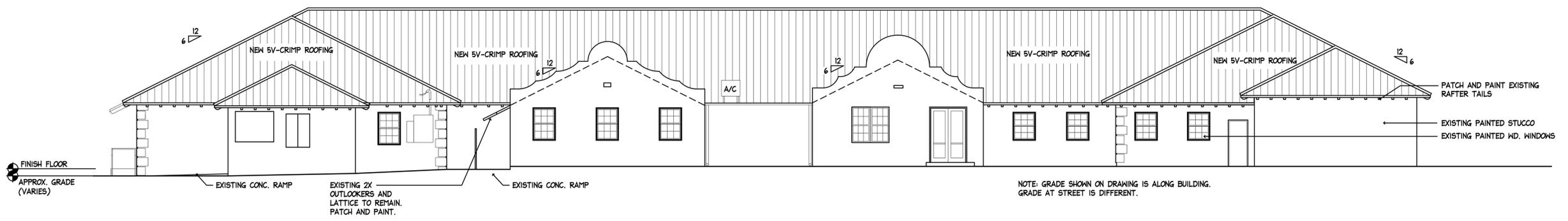


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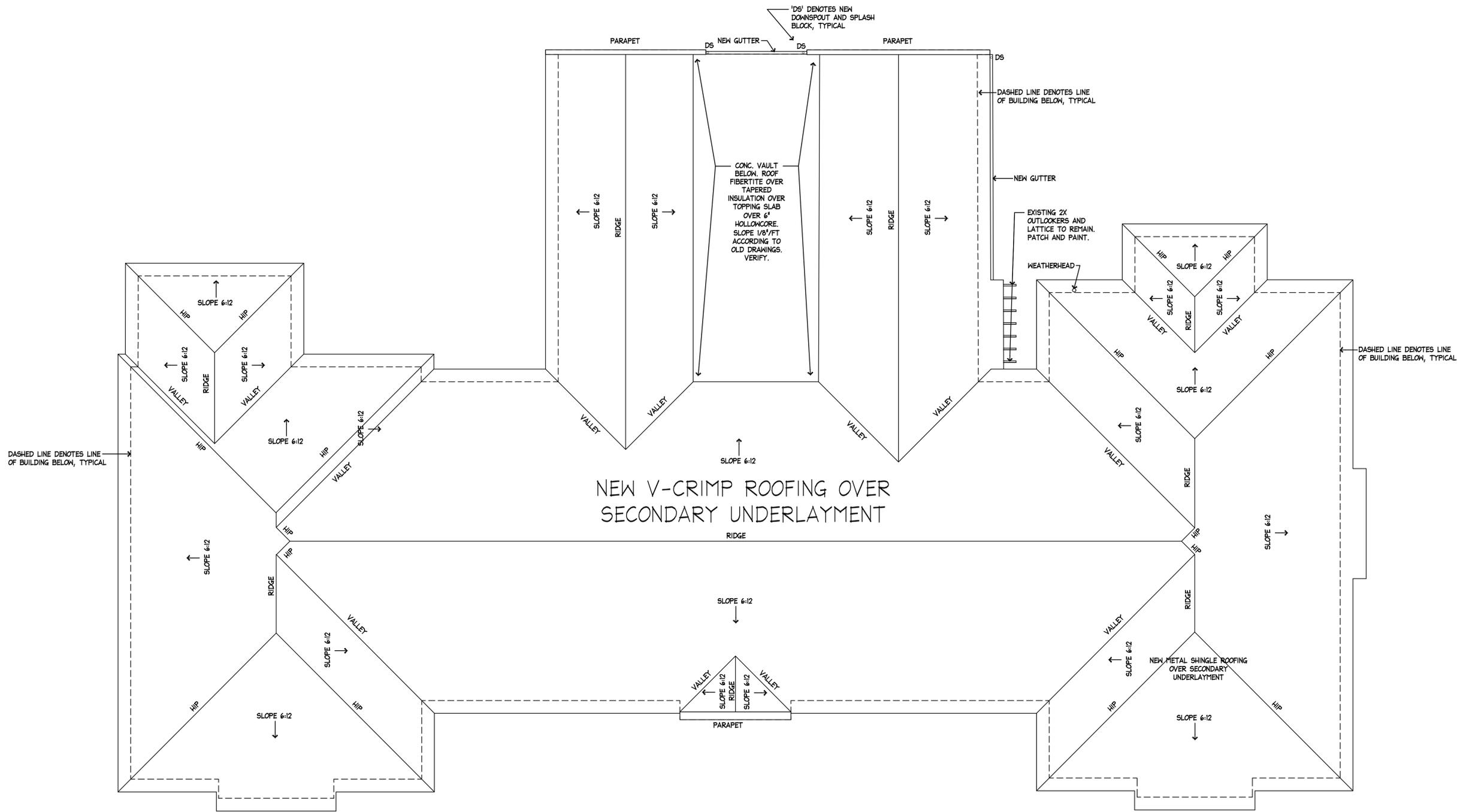
Bender & Associates  
ARCHITECTS  
p.a.

Project No: 2521  
EXTERIOR ELEVATIONS  
Date: 1/15/26

A2.2  
9 OF --



1 SOUTH EXTERIOR ELEVATION  
A2.2 SCALE: 1/8" = 1'-0"



1 PROPOSED ROOFING PLAN  
 A5.1 SCALE: 1/8" = 1'-0"



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*Bender & Associates*  
 ARCHITECTS  
 p.c.

Project No: 2521  
 PROPOSED ROOF PLAN  
 Date: 1/15/26

A5.1  
 14 OF --

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., February 24, 2026, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

## CHANGE FROM CONCRETE TILE TO 5 V-CRIMP METAL ROOFING, FLAT ROOF REPLACEMENT, AND NEW OGEE GUTTERS.

#700 FLEMING STREET

Applicant – Bender & Associates Architects    Application #C2026-0009

If you wish to see the application or have any questions, you may visit the Growth Management Division during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared David Salay, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:  
700 Fleming Street on the 13 day of February, 2026.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on Feb 24, 2026.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is C2026-0009.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:**

[Signature]  
**Date:** 2/14/26  
**Address:** 410 ANGELA  
**City:** KEY WEST, FL  
**State, Zip:** FL 33040

The forgoing instrument was acknowledged before me on this 14th day of February, 2026.

By (Print name of Affiant) David Salay who is personally known to me or has produced identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: [Signature]  
Print Name: Caitlin Dempsey  
Notary Public - State of Florida (seal)  
My Commission Expires: \_\_\_\_\_



Caitlin Dempsey  
Comm.: HH 456193  
Expires: Oct. 19, 2027  
Notary Public - State of Florida



MONROE COUNTY MAY HILL RUSSELL LIBRARY

1959

Public Meeting Notice

Donated by...

ONE HUMAN FAMILY  
THE GREEN HOUSE  
KEY # 420



**FOR YOUR PROTECTION**  
All Monroe County Sheriff's Offices are authorized by the owner of these premises to advise and permit to leave the premises.  
Failure to leave the premises after being notified may result in an arrest for trespassing after warning.  
Florida State Statute § 816.02  
SHERIFF OFFICE - 3100 WOODLARK AVENUE  
CLEAR SPRING, FL 34715



**FOR YOUR PROTECTION**  
Key West Police Department Officers are authorized by the owner of these premises to advise any person to leave the premises.  
Failure to leave the premises after being notified may result in an arrest for trespassing after warning.  
Florida State Statute § 816.02  
SHERIFF OFFICE - 3100 WOODLARK AVENUE  
CLEAR SPRING, FL 34715



**Public Meeting Notice**  
The City of Key West is holding a public meeting on the following date and time:  
Date: [illegible]  
Time: [illegible]  
Location: [illegible]  
The purpose of the meeting is to discuss [illegible].  
If you have any questions, please contact [illegible].

# PROPERTY APPRAISER INFORMATION

# Monroe County, FL

## \*\* PROPERTY RECORD CARD \*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

Parcel ID 00008790-000000  
 Account# 1009059  
 Property ID 1009059  
 Millage Group 10KW  
 Location Address 700 FLEMING St, KEY WEST  
 Legal Description KW PT LOTS 2 AND 3 SQR 48 OR155-501/03  
 (Note: Not to be used on legal documents.)  
 Neighborhood 32090  
 Property Class MUNICIPAL (8900)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable Housing No



### Owner

[MONROE COUNTY](#)  
 1100 Simonton St  
 Ste 205  
 Key West FL 33040

### Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$1,943,328	\$1,943,328	\$1,943,328	\$1,943,328
+ Market Misc Value	\$43,510	\$43,510	\$43,510	\$43,510
+ Market Land Value	\$1,523,710	\$1,523,710	\$1,523,710	\$1,523,710
= Just Market Value	\$3,510,548	\$3,510,548	\$3,510,548	\$3,510,548
= Total Assessed Value	\$3,510,548	\$3,510,548	\$3,510,548	\$3,510,548
- School Exempt Value	(\$3,510,548)	(\$3,510,548)	(\$3,510,548)	(\$3,510,548)
= School Taxable Value	\$0	\$0	\$0	\$0

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,523,710	\$1,943,328	\$43,510	\$3,510,548	\$3,510,548	\$3,510,548	\$0	\$0
2023	\$1,523,710	\$1,943,328	\$43,510	\$3,510,548	\$3,510,548	\$3,510,548	\$0	\$0
2022	\$1,523,710	\$1,943,328	\$43,510	\$3,510,548	\$3,510,548	\$3,510,548	\$0	\$0
2021	\$1,523,710	\$1,943,328	\$43,510	\$3,510,548	\$3,510,548	\$3,510,548	\$0	\$0
2020	\$1,523,710	\$1,943,328	\$43,510	\$3,510,548	\$3,510,548	\$3,510,548	\$0	\$0
2019	\$1,523,710	\$1,943,328	\$43,510	\$3,510,548	\$3,510,548	\$3,510,548	\$0	\$0
2018	\$1,523,710	\$1,943,328	\$43,510	\$3,510,548	\$3,510,548	\$3,510,548	\$0	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL EXEMPT (100E)	36,454.31	Square Foot	206	176

**Buildings**

<b>Building ID</b>	39423	<b>Exterior Walls</b>	C.B.S.
<b>Style</b>		<b>Year Built</b>	1968
<b>Building Type</b>	COUNTY BLDGS B / 86B	<b>EffectiveYearBuilt</b>	1994
<b>Building Name</b>		<b>Foundation</b>	
<b>Gross Sq Ft</b>	15870	<b>Roof Type</b>	
<b>Finished Sq Ft</b>	15502	<b>Roof Coverage</b>	
<b>Stories</b>	1 Floor	<b>Flooring Type</b>	
<b>Condition</b>	AVERAGE	<b>Heating Type</b>	
<b>Perimeter</b>	732	<b>Bedrooms</b>	0
<b>Functional Obs</b>	0	<b>Full Bathrooms</b>	0
<b>Economic Obs</b>	0	<b>Half Bathrooms</b>	0
<b>Depreciation %</b>	40	<b>Grade</b>	400
<b>Interior Walls</b>		<b>Number of Fire Pl</b>	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	15,502	15,502	0
OPU	OP PR UNFIN LL	228	0	0
OPF	OP PRCH FIN LL	92	0	0
ULP	UNFIN LOAD PLT	48	0	0
<b>TOTAL</b>		<b>15,870</b>	<b>15,502</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
FENCES	1967	1968	0 x 0	1	1284 SF	3
RW2	1967	1968	0 x 0	1	478 SF	3
LC UTIL BLDG	1971	1972	10 x 10	1	100 SF	1
LC UTIL BLDG	1971	1972	9 x 10	1	90 SF	1
LC UTIL BLDG	1971	1972	9 x 10	1	90 SF	1
UTILITY BLDG	1975	1976	7 x 8	1	56 SF	4
CONC PATIO	1991	1992	0 x 0	1	1771 SF	2
WATER FEATURE	1993	1994	0 x 0	1	1 UT	1
BRICK PATIO	1993	1994	0 x 0	1	3500 SF	2
WROUGHT IRON	1993	1994	0 x 0	1	519 SF	3

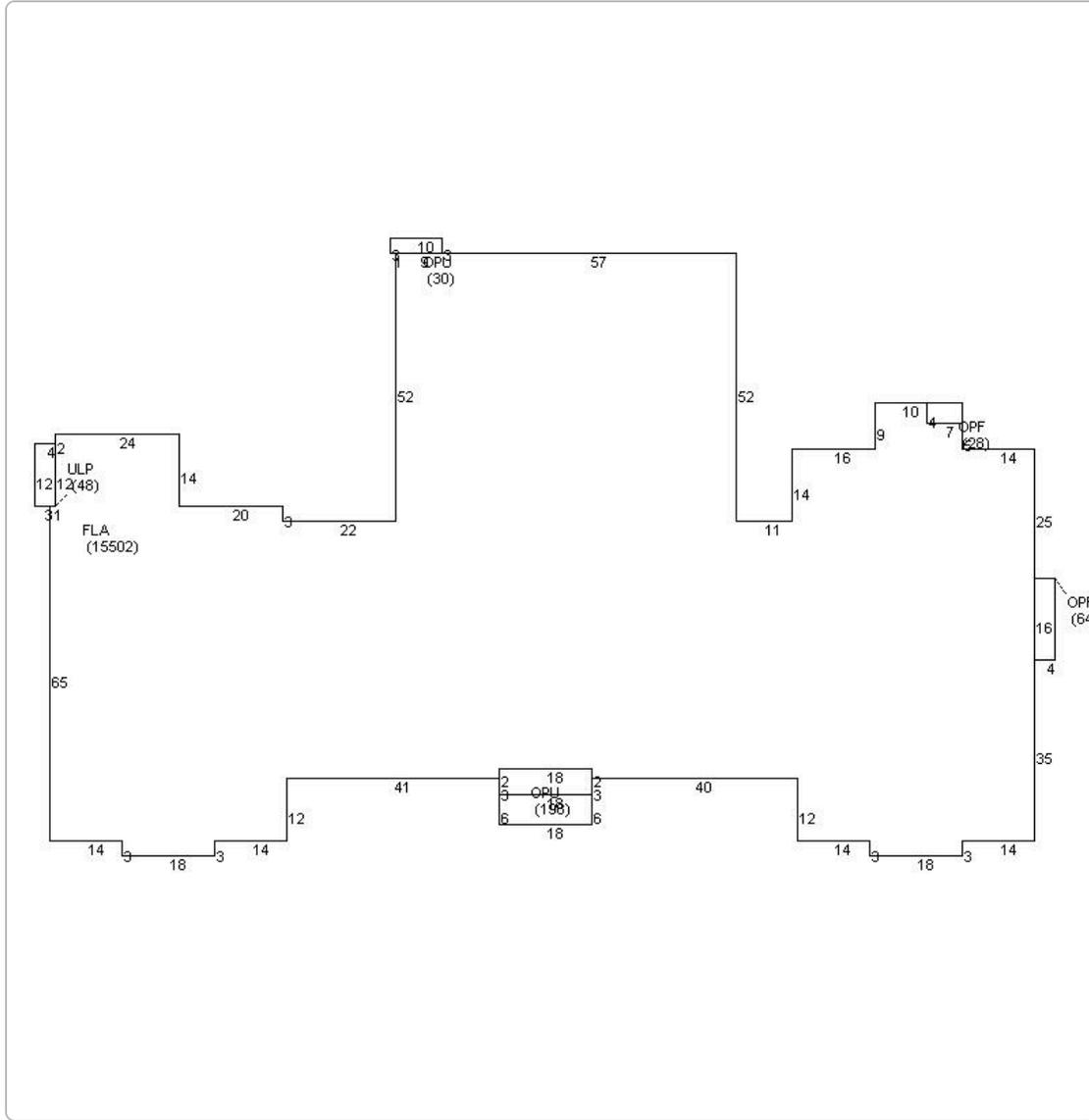
**Permits**

Number	Date Issued	Status	Amount	Permit Type	Notes
BLD2024-2355	09/23/2024	Completed	\$16,000	Commercial	Replacing existing equipment on Building. Remove old 3 phase fused disconnect. Install new 400 amp main distribution panel. Install 3 200 amp breakers to feed each of the original interior panels. Install 500 mcm copper cable in 3" rigid metal riser with weather head. Remove two existing disconnects and install a 16x16 inch junction box. Polaris tap existing wires to extend the wires to the new MDP. Install a new 30 space exterior panel to feed two AC condensers and one 100 amp existing disconnect. Install Surge protector in panel. 60 amp or less breakers will be GFCI protected.
BLD2023-0408	03/28/2023	Completed	\$200,000	Commercial	CAMERAS AND ACCESS CONTROL KEY WEST LIBRARY
15-0271	02/05/2015	Completed	\$9,897		REPLACE 10 TON WATER UNIT
14-0492	04/30/2014	Completed	\$5,000	Commercial	ADA ACCESSIBILITY UPGRADES, REWORKING EXISTING PARKING AND CURBING TO PROVIDE COMPLIANT ACCESS ROUTE AND RAMP SYSTEM TO FRONT ENTRANCE OF BUILDING. ADA ACCESSIBILITY CODE COMPLIANCY WILL REQUIRE NEW SIGNAGE, COMPLIANT PARKING AND ENTRANCE TO BUILDING.
13-0912	03/11/2013	Completed	\$15,400	Commercial	TO REPLACE CAST IRON UNDERGROUND W/4" PVS PIPE OUT TO CITY LATERAL.
07-4855	10/29/2007	Completed	\$386,000	Commercial	INSTALL 180 SQS OF ENTEGRA "FLAT" CONCRETE ROOF TILE
05-0763	03/11/2005	Completed	\$650	Commercial	REPLACE EXISTING METAL SHED 10'x13'
05-0338	02/02/2005	Completed	\$30,670	Commercial	REPLACE LIGHT FIXTURES
9901928	06/08/1999	Completed	\$4,066	Commercial	NEW ROOF
9702814	08/01/1997	Completed	\$1,400	Commercial	REPAIR FENCE
9700428	02/01/1997	Completed	\$825	Commercial	ELECTRICAL
9604714	12/01/1996	Completed	\$6,200	Commercial	FENCE
B94450	02/01/1994	Completed	\$10,500	Commercial	LANDSCAPE GARDEN AREA

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**Sketches (click to enlarge)**



Photos



Map



No data available for the following modules: Sales, TRIM Notice.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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