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## **Historic Architectural Review Commission Staff Report for Item 19**

To: Chairman Haven Burkee and Historic Architectural Review  
Commission Members

From: Daniela Salume, MFA  
Historic Preservation Manager

Meeting Date: May 26, 2026

Applicant: Bender & Associates Architects

Application Number: C2026-0032

Address: 626 Samaritan Lane

### **Description of Work:**

New one story and a half single-family residence on flag lot. New pool and pool deck.

### **Site Facts:**

The structure is a contributing resource to the historic district. The site consists of a one-story frame structure with a front porch, which first appears in the 1899 Sanborn Map as a smaller footprint identified with a "G" notation most likely indicating the unit number which is consistent with later Sanborn Maps. The property appraisers lists the structure as being built in 1938, however based on documentation staff believes it was built earlier. Currently the property is located within an X flood zone.



*Photo taken by the Property Appraiser's office c1965. Monroe County Library.*



*Photo of property under review.*



*Photo of property under review.*



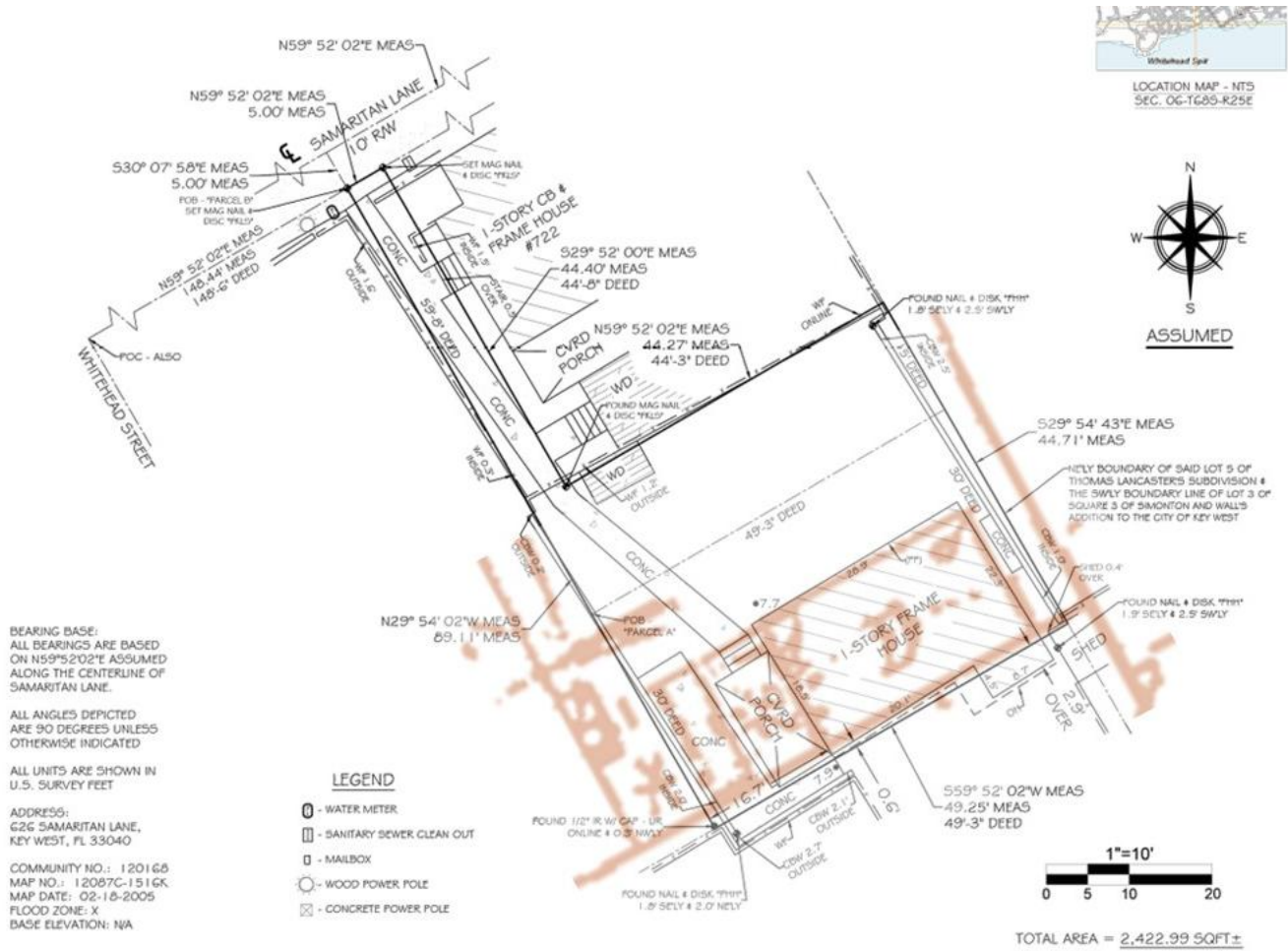
*1972 aerial photo.*



*1975 aerial photo.*



*1981 aerial photo.*



Current survey and 1962 Sanborn Map.

### **Guidelines Cited on Review:**

- Guidelines for Building Exteriors (page 24), specifically guideline 2.
- Guidelines for Roofing (page 26), specifically guidelines 2 and 3.
- Guidelines for Entrances, Porches, Doors, and Exterior Staircases (page 32), specifically guidelines 8 and 9.
- Guidelines for New Construction (pages 38a-38q), specifically guidelines 1, 2, 3, 6, 7 (first and last sentence), 8, 9, 11, 12, 13 (first sentence), 14, 15, 17, 18, 22, 23, 24, and 25.
- Guidelines for Decks, Patios, Hot Tubs, Spas, Pools, and Related Equipment (page 39a), specifically guidelines 1, 3 and 4.

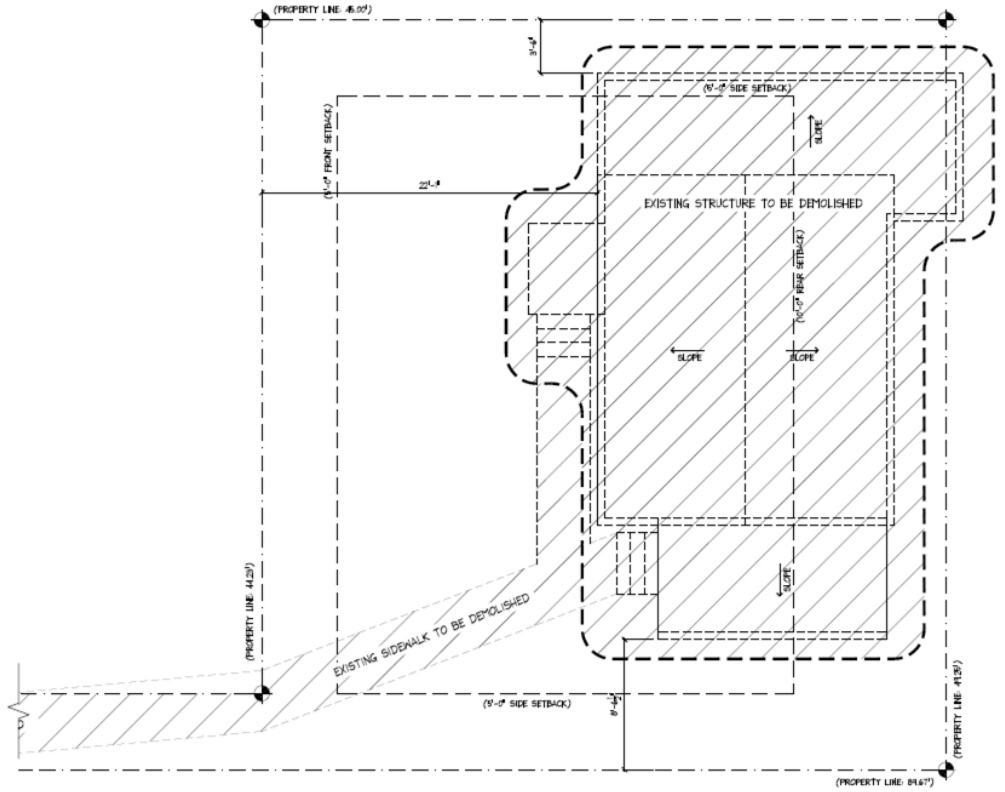
### **Ordinance Cited on Review:**

- Section 102-217 (4), demolition for contributing and historic structures of the Land Development Regulations.
- Section 102-218 - Criteria for Demolition.

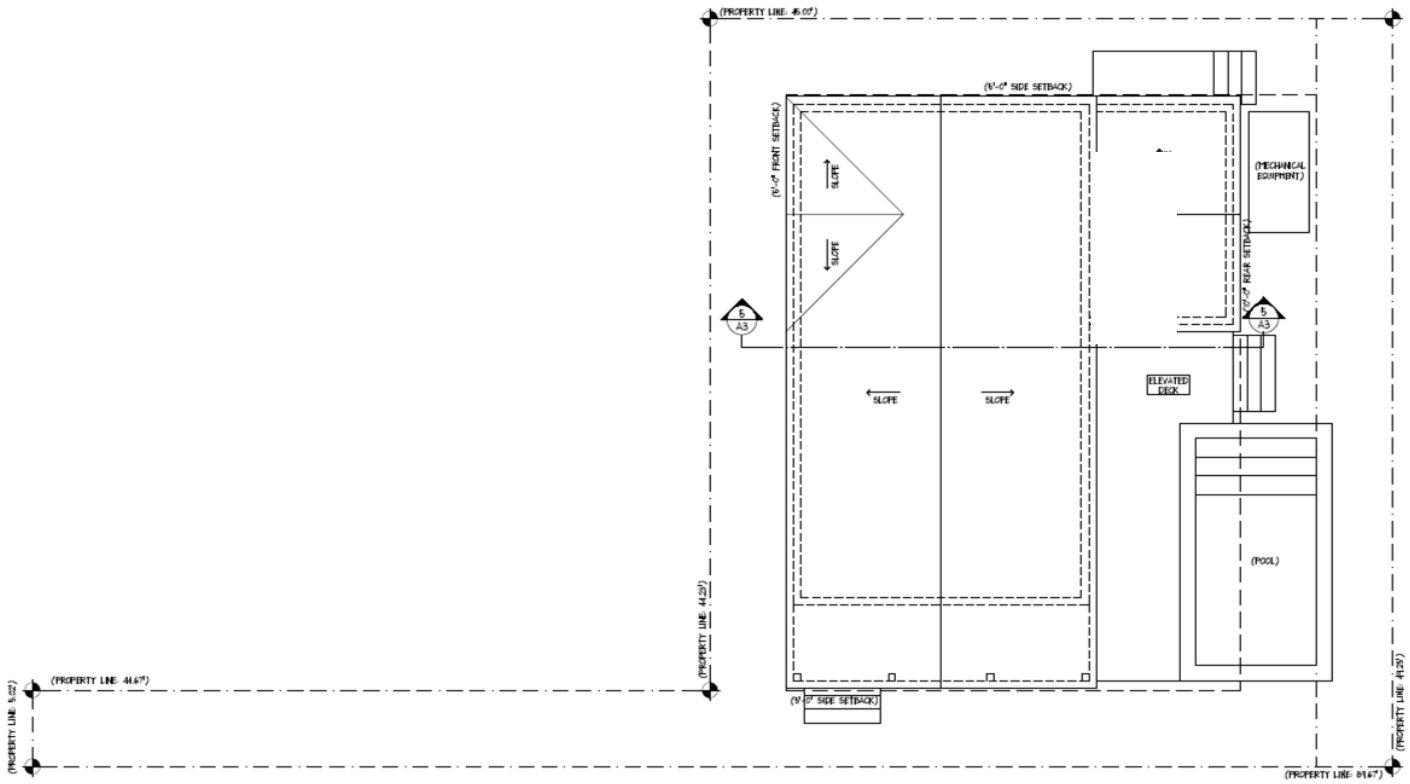
### **Staff Analysis:**

A Certificate of Appropriateness is currently under review for a new one story and a half single-family residence. The proposed structure will feature lap siding, a 5V-crimp metal roof, a four-paneled front door, and 6 over 6 aluminum windows. The west elevation includes a covered porch. The proposed site plan also includes a pool and pool deck.

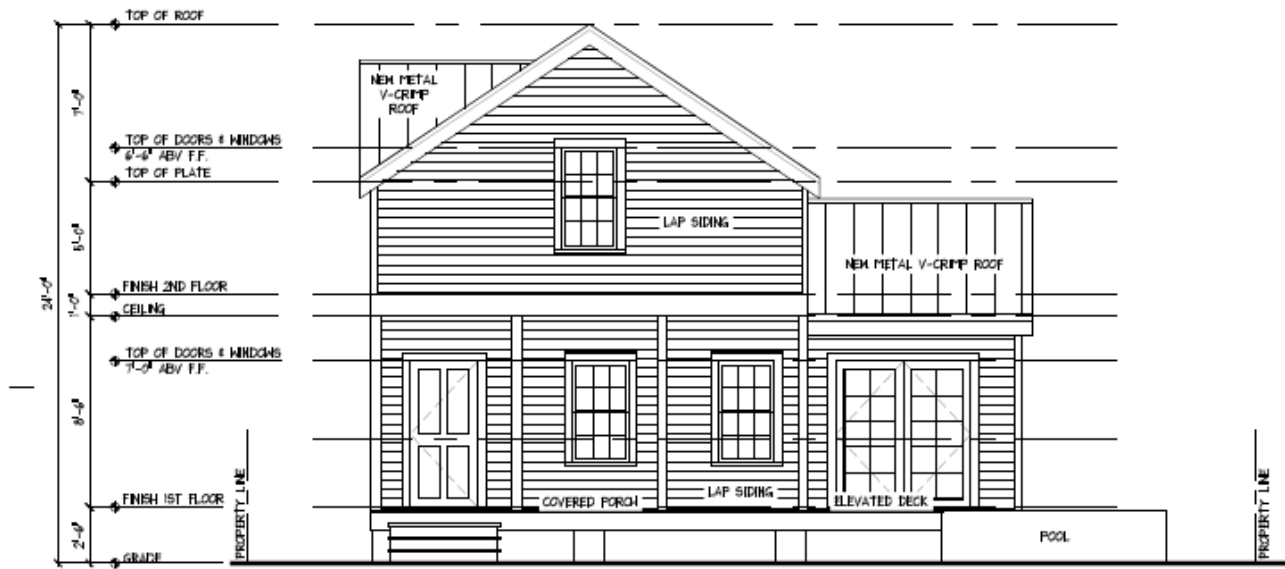
Demolition for this project includes the existing one-story contributing structure and existing site features including pavers. Based on documentation, the existing covered porch was added between 1948 and 1962, therefore not original to the structure.



*Existing Site Plan/Demo Plan.*

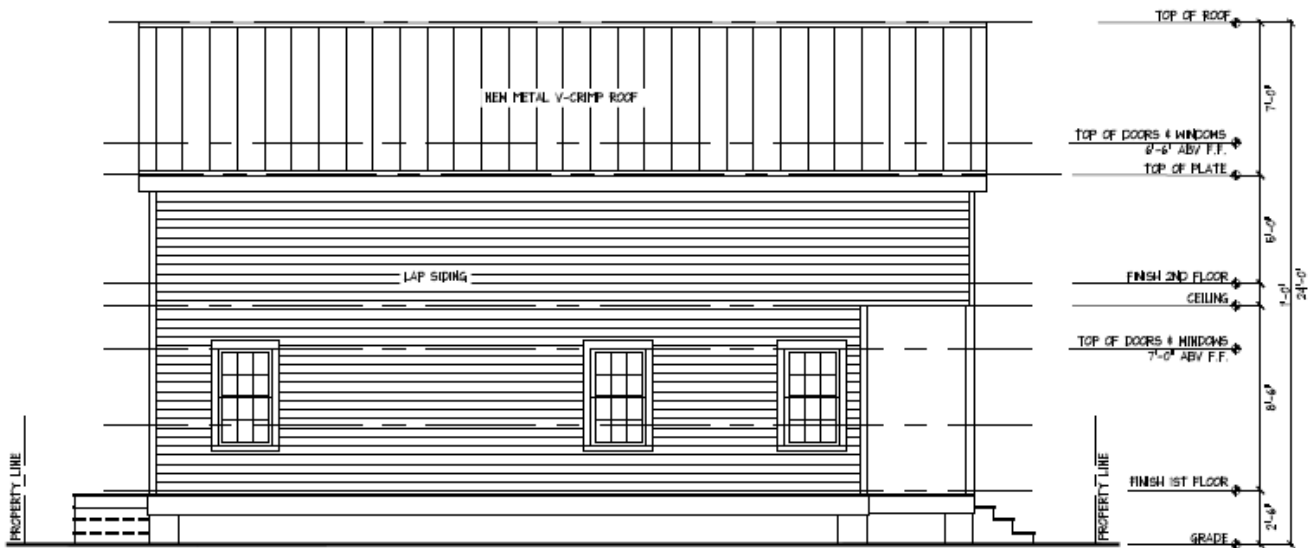


*Proposed Site Plan.*



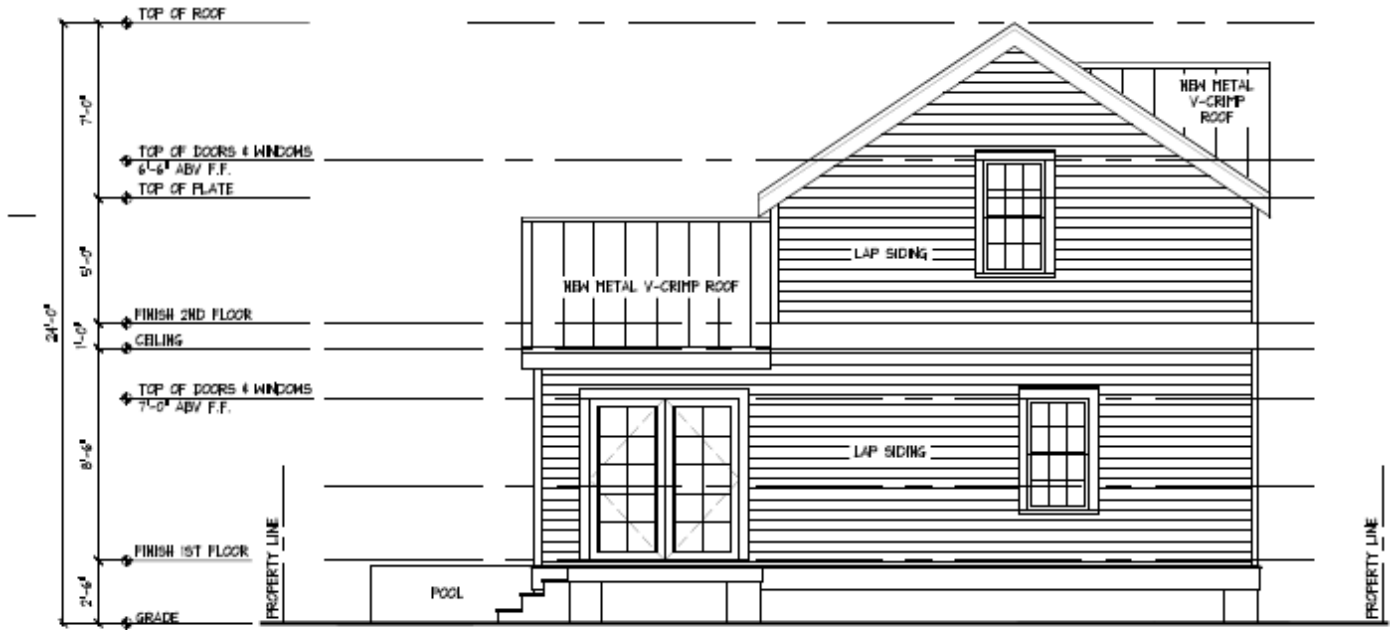
4 PROPOSED WEST ELEVATION  
 A5 SCALE: 1/4"=1'-0"

*Proposed West Elevation.*



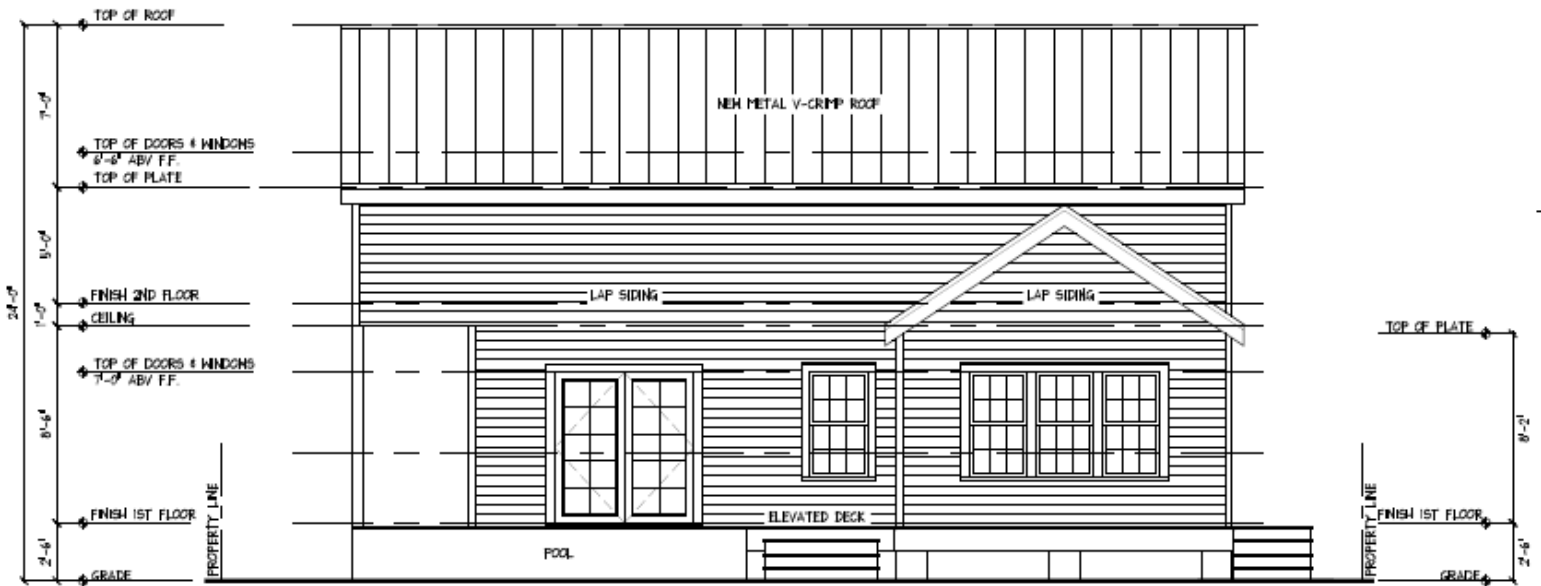
3 PROPOSED NORTH ELEVATION  
 A5 SCALE: 1/4"=1'-0"

*Proposed North Elevation.*



2 PROPOSED EAST ELEVATION  
 A5 SCALE: 1/4"=1'-0"

*Proposed East Elevation.*



1 PROPOSED SOUTH ELEVATION  
 A5 SCALE: 1/4"=1'-0"

*proposed South Elevation.*

## **Consistency with Cited Guidelines:**

The proposed new single-family residence is consistent with the HARC Guidelines for New Construction. The scale and massing is compatible with the surrounding context, and the proposed materials are appropriate. The 6 over 6 window configuration maintains proper proportions, and the overall design is consistent with the character of adjacent structures.

Within the historic district, pools and pool decks are not generally acceptable in the front of a lot. However, this property is a flag lot and is not visible from any ROW.

## **Criteria for Demolition:**

It is staff's opinion that the request for this demolition shall be based on the demolition criteria of Chapter 102 Section 218 (a) of the LDR's. The criteria for demolition of historic structures state the following:

*(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:*

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration, or it does not meet any of the criteria of section 102-125(1) through (9).*

Elements proposed for demolition are considered contributing, however, the structure has significant deterioration.

The following is the criteria of section 102-125:

- 1 Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.*

Staff opines that the historic structure has no distinctive characteristics of a type, period or method of construction.

- 2 Is not specifically associated with events that have made a significant contribution to local, state, or national history.*

It is staff understanding that no significant events have ever happened on the site relevant to local, state, or national history.

- 3 *Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation, and is not associated with the life of a person significant in the past.*

It is staff's understanding that the elements under review have no significant character and are not associated with the life of a significant person in the past.

- 4 *Is not the site of a historic event with a significant effect upon society.*

It is staff's understanding that the site is not associated with any significant event.

- 5 *Does not exemplify the cultural, political, economic, social, or historic heritage of the city.*

It is staff's understanding that the elements under review do not exemplify the cultural, political, economic, social or historic heritage of the city.

- 6 *Does not portray the environment in an era of history characterized by a distinctive architectural style.*

Staff believes that the existing building does not portray an era of history characterized by a distinctive architectural style.

- 7 *If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed, or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.*

This is not the case.

- 8 *Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and*

The elements under review do not have a unique location or physical characteristics which represent an established and familiar visual feature of its neighborhood or of the city.

- 9 *Has not yielded, and is not likely to yield, information important in history.*

Staff believes that the elements under review do not yield important information in history.

It is staff's opinion that the request for demolition may be considered, as the structures under review meet the criteria for demolition. The building shows significant deterioration and lacks any architectural significance. If approved, the demolition will require two readings, as required for contributing structures within the historic district. Staff will review submitted construction plans for demolition and design to ensure consistency with submitted drawings.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



**City of Key West**

1300 White Street  
Key West, Florida 33040

HARC COA # <i>C2026-0032</i>	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	626 Samaritan Ln.	
NAME ON DEED:	Joe Schroeder	PHONE NUMBER
OWNER'S MAILING ADDRESS:		EMAIL
APPLICANT NAME:	Bender & Associates Architects.	PHONE NUMBER 305-296-1347
APPLICANT'S ADDRESS:	410 Angela St.	EMAIL hburkee@benderarchitects.com
APPLICANT'S SIGNATURE:	<i>[Signature]</i>	DATE 04.23.2026

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS \_\_\_ RELOCATION OF A STRUCTURE \_\_\_ ELEVATION OF A STRUCTURE \_\_\_  
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES \_\_\_ X \_\_\_ NO \_\_\_ INVOLVES A HISTORIC STRUCTURE: YES \_\_\_ X \_\_\_ NO \_\_\_  
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES \_\_\_ NO \_\_\_ X

<b>DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.</b>
<b>GENERAL:</b> New single family residence.
<b>MAIN BUILDING:</b>
<b>DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):</b>
Demolition of Historic existing structure.

**APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS [CITY\\_HARC@CITYOFKEYWEST-FL.GOV](mailto:CITY_HARC@CITYOFKEYWEST-FL.GOV)**

<b>ACCESSORY STRUCTURE(S):</b> N/A	
<b>PAVERS:</b> None	<b>FENCES:</b> N/A
<b>DECKS:</b> New elevated deck as shown on plans.	<b>PAINTING:</b> All new paint to be white
<b>SITE (INCLUDING GRADING, FILL, TREES, ETC):</b> See plans.	<b>POOLS (INCLUDING EQUIPMENT):</b> N/A
<b>ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):</b>	<b>OTHER:</b> N/A
See plans.	

<b>OFFICIAL USE ONLY:</b>	<b>HARC COMMISSION REVIEW</b>	<b>EXPIRES ON:</b>
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

**THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.**

## HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



### City of Key West

1300 White Street  
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

<b>ADDRESS OF PROPOSED PROJECT:</b>	626 Samaritan Ln
<b>PROPERTY OWNER'S NAME:</b>	Joe Schroeder
<b>APPLICANT NAME:</b>	Bender & Associates Architects

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.***

PROPERTY OWNER'S SIGNATURE	Joseph J. Schroeder      4-23-26 DATE AND PRINT NAME
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DETAILED PROJECT DESCRIPTION OF DEMOLITION
Demolition of existing historic structure (single family residential structure).

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
<b>Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):</b>
(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.
The structure is in a state of extreme deterioration.
(2) Or explain how the building or structure meets the criteria below:
(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.
The structure is significantly modified from it's original configuration.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

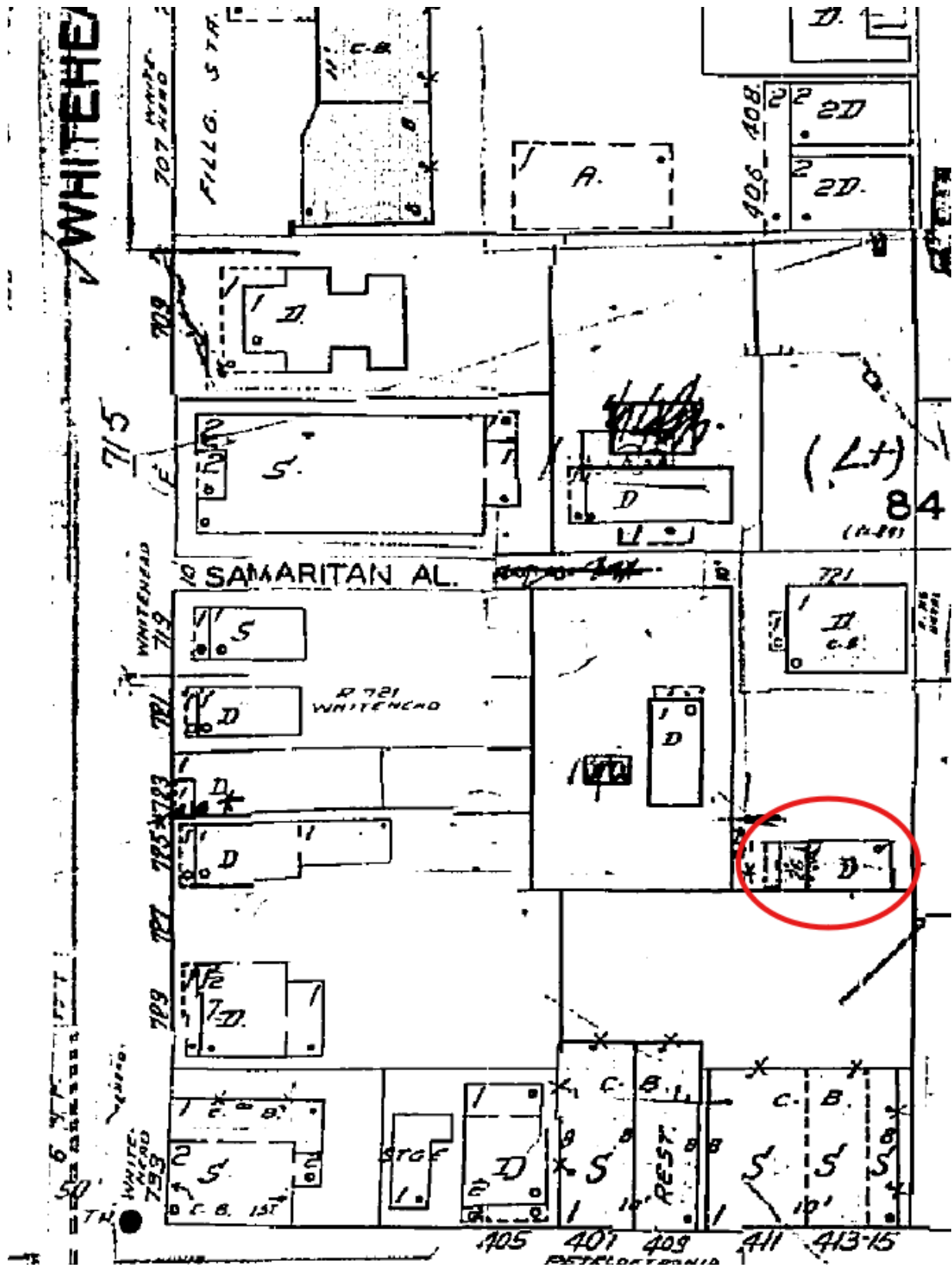
(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
The structure is not specifically associated with events that have made a significant contribution to local, state, or national history.
(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
The structure has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
(d) Is not the site of a historic event with significant effect upon society.
The structure is not the site of a historic event with significant effect upon society.
(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
The structure does not exemplify the cultural, political, economic, social, or historic heritage of the city.
(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
The structure does not portray the environment in an era of history characterized by a distinctive architectural style.
(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
The structure is not a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city and does not exemplify the best remaining architectural type in a neighborhood.
The structure does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

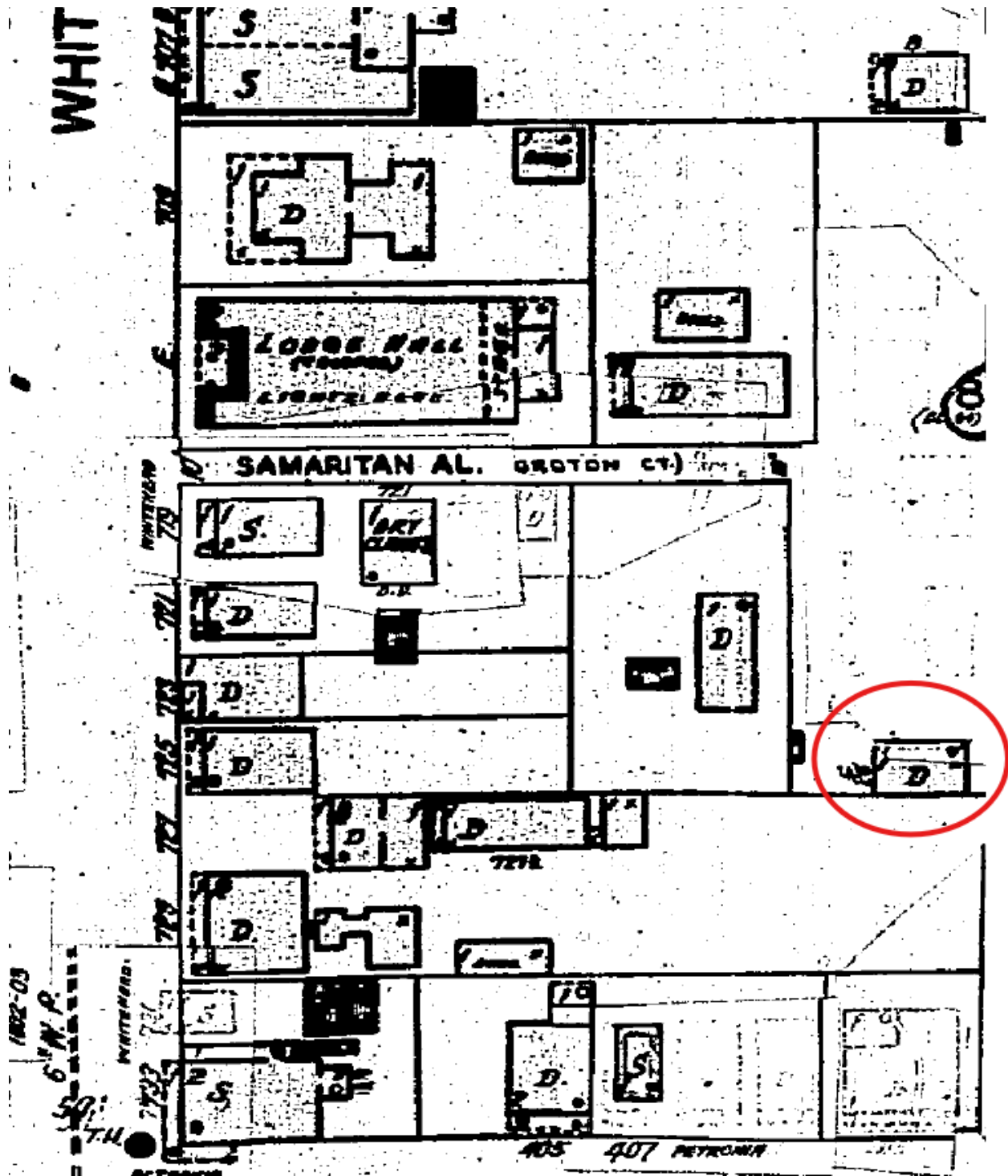
(i) Has not yielded, and is not likely to yield, information important in history,
The structure has not yielded, and is not likely to yield, information important in history,

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
<b>The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):</b>
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
N/A
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
N/A
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
N/A
(4) Removing buildings or structures that would otherwise qualify as contributing.
N/A

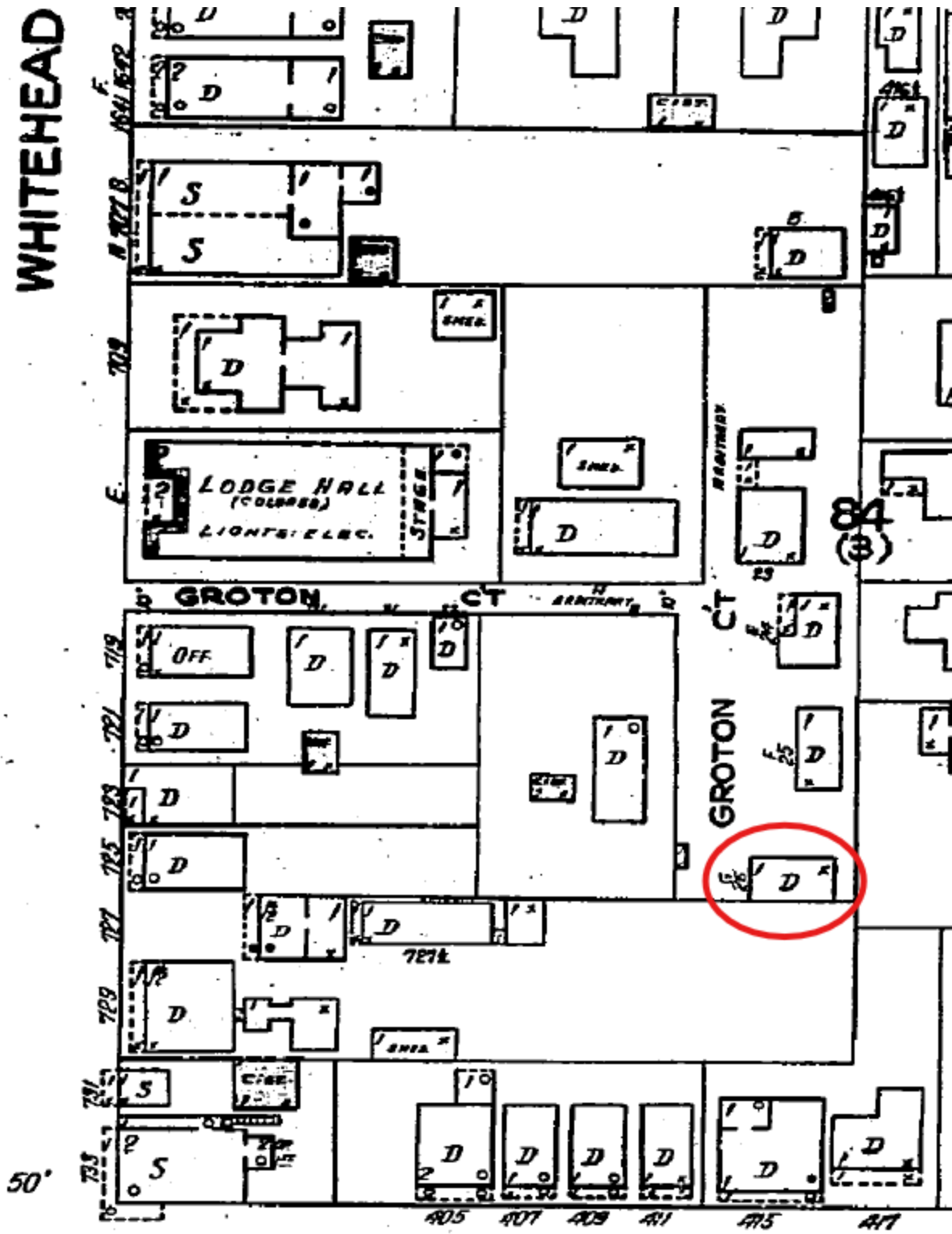
# SANBORN MAPS



1962 Sanborn Map

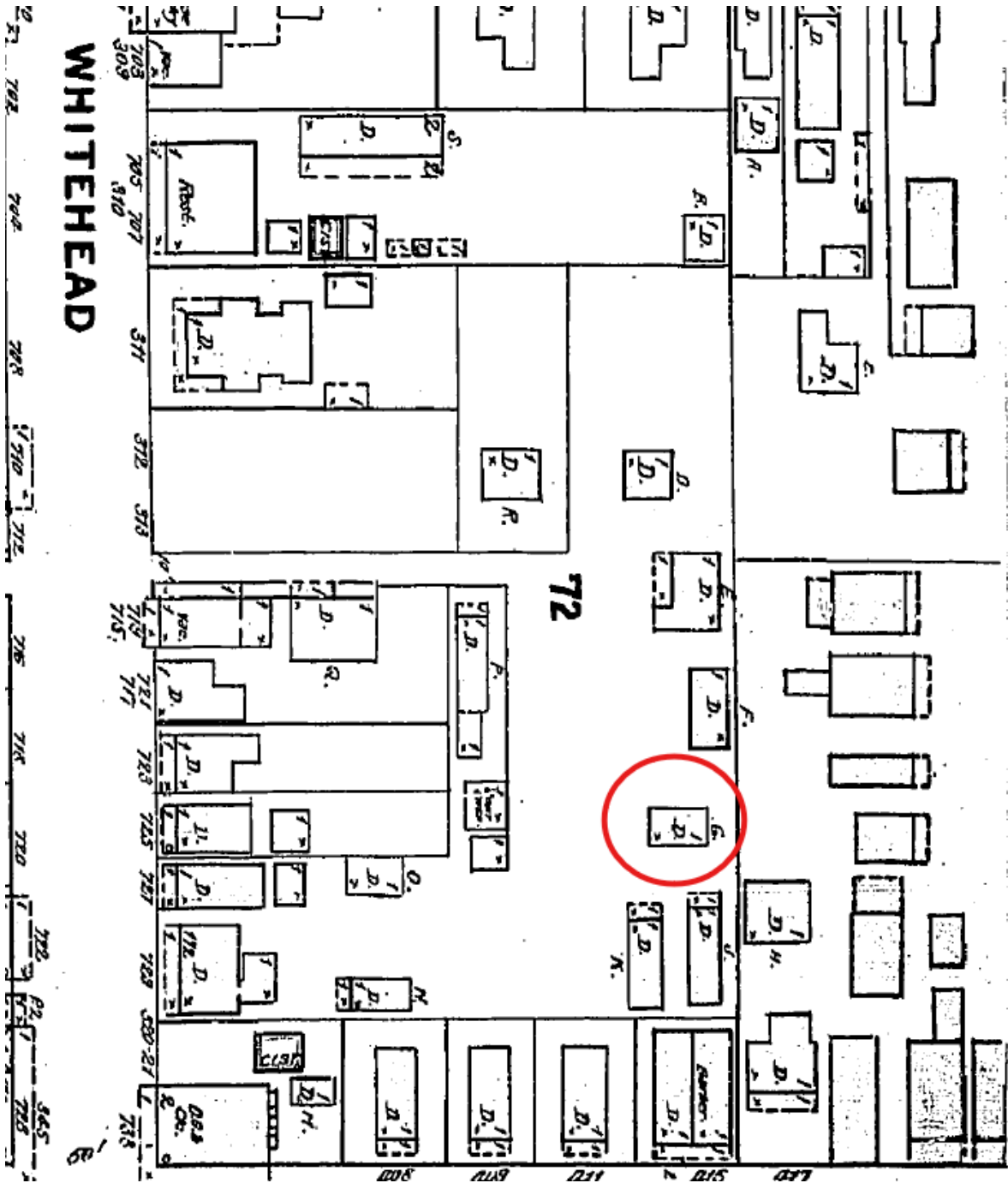


# WHITEHEAD



1926 Sanborn Map





1899 Sanborn Map (smaller footprint)

# PROJECT PHOTOS



1 VIEW FROM SOUTH SIDE OF THE PROPERTY  
A6 SCALE: N.T.S.



1 VIEW FROM EAST SIDE OF THE PROPERTY  
A6 SCALE: N.T.S.



1 VIEW FROM NORTH-WEST SIDE OF THE PROPERTY  
A6 SCALE: 1/4"=1'-0"



626 SAMARITAN LANE  
KEY WEST, FLORIDA

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS  
p.c.

Project No: 2531

Date: 04/22/2026

A6



6 722 SAMARITAN LN  
ADJACENT ONE STORY BUILDING  
VIEW FROM SAMARITAN LN  
PI SCALE: N.T.S



5 716 DUVAL ST  
ONE AND A HALF STORY BUILDING  
VIEW FROM PARKING LOT OFF OF SAMARITAN LN  
PI SCALE: N.T.S



4 718 DUVAL ST  
ONE AND A HALF STORY BUILDING  
VIEW FROM ENTRANCE  
PI SCALE: N.T.S



2 AERIAL VIEW OF EXISTING SITE AND CONTEXT  
PI SCALE: N.T.S



3 ADJACENT TWO STORY BUILDING  
VIEW FROM YARD (FACING SITE)  
PI SCALE: N.T.S



1 ADJACENT TWO STORY BUILDING  
VIEW FROM YARD  
PI SCALE: N.T.S

626 SAMARITAN LANE  
KEY WEST, FLORIDA

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 298-1347  
Facsimile (305) 298-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS p.c.

Project No. 253

Date: 05/21/2026

P1

# SURVEY



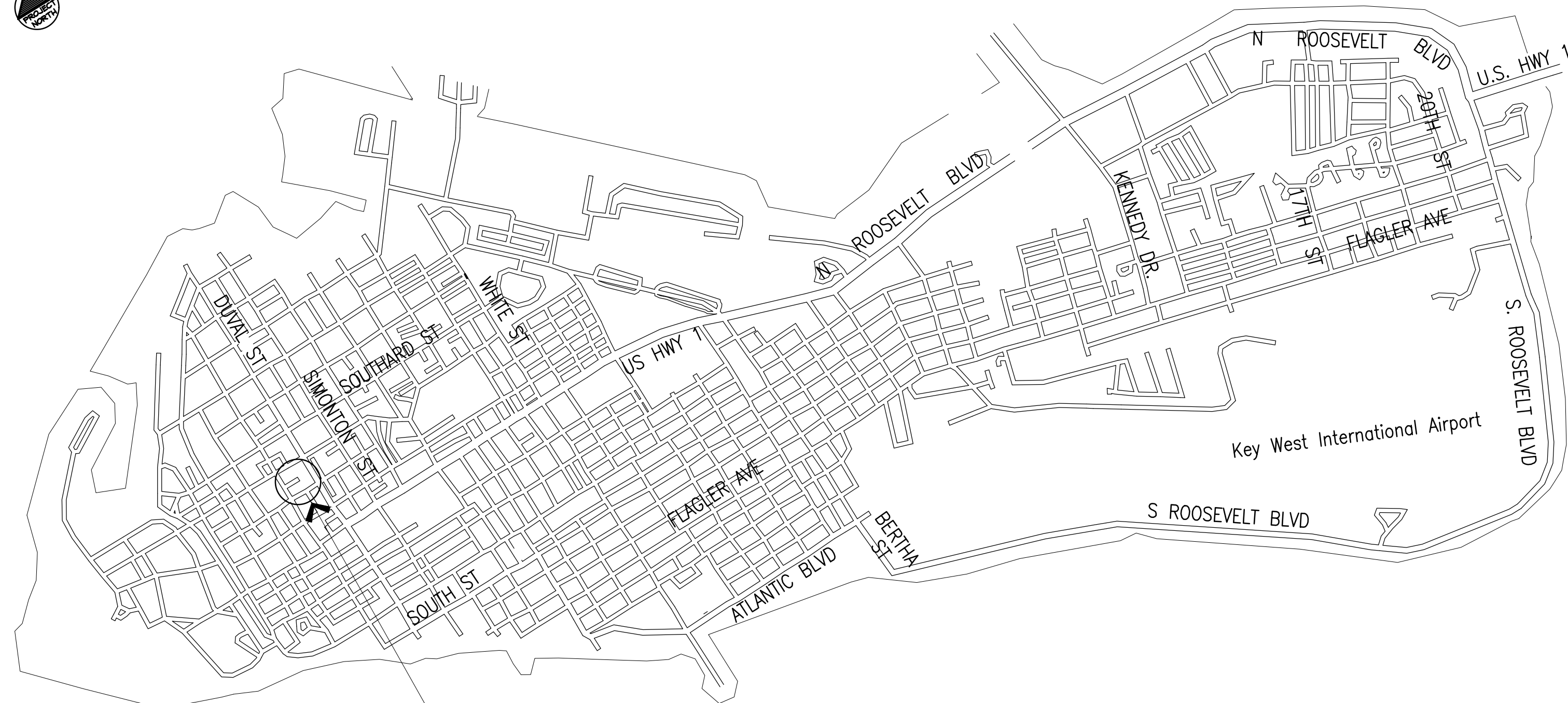
# PROPOSED DESIGN

# 626 SAMARITAN LANE

Key West, Florida 33040

HARC PERMIT

## SITE MAP - KEY WEST



SITE LOCATION:  
626 SAMARITAN LN.  
KEY WEST, FL 33040

Not to Scale

## PROJECT DIRECTORY

PROJECT: 626 SAMARITAN LN.  
ARCHITECT'S PROJECT No.: 2531

CONTACT: JOE SCHROEDER  
Address: 626 SAMARITAN LN.  
KEY WEST, 33040

Tel: --  
Email: --  
ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.  
Address: 410 Angela Street, Key West, FL 33040  
Tel: (305) 296-1347 Fax: (305) 296-2727  
E-mail: info@benderarchitects.com  
Architect: Haven Burkee  
Designer Associate: Ana Catalina Alvarez

## DESCRIPTION OF WORK:

NEW SINGLE FAMILY RESIDENCE.

## GENERAL NOTES

1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:

FLORIDA BUILDING CODE - Building 2023 EDITION  
FLORIDA BUILDING CODE - Existing 2023 EDITION  
FLORIDA BUILDING CODE - Residential 2023 EDITION  
FLORIDA BUILDING CODE - Plumbing 2023 EDITION  
FLORIDA BUILDING CODE - Fuel Gas 2023 EDITION  
FLORIDA BUILDING CODE - Mechanical 2023 EDITION  
FLORIDA BUILDING CODE - Energy Conservation 2023 EDITION  
NATIONAL ELECTRICAL CODE 2023 EDITION  
NFPA 101 LIFE SAFETY CODE w/ Florida Modifications  
8TH EDITION FLORIDA FIRE PREVENTION CODE 8TH EDITION  
NFPA 1 2023 EDITION

This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.

- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

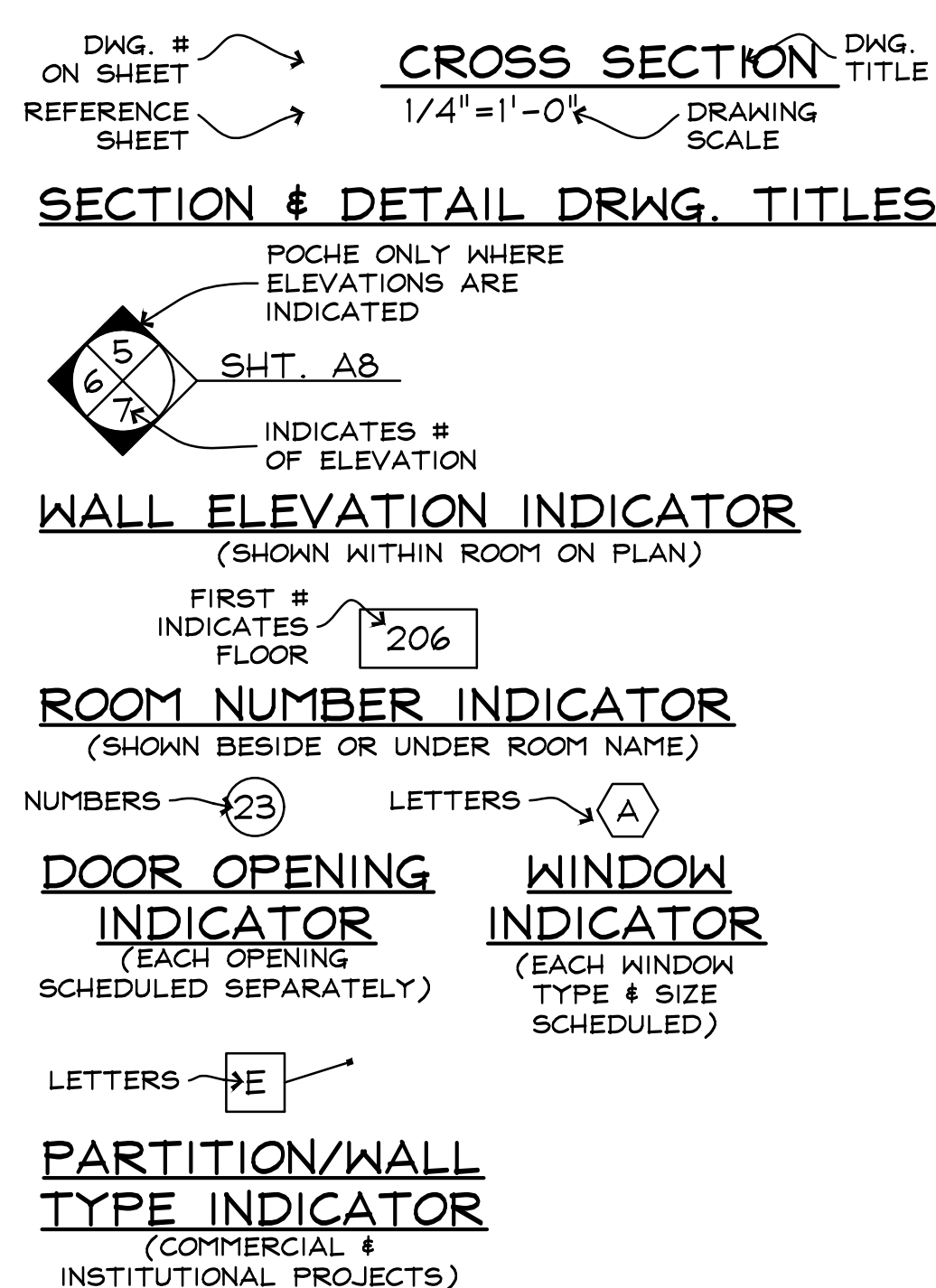
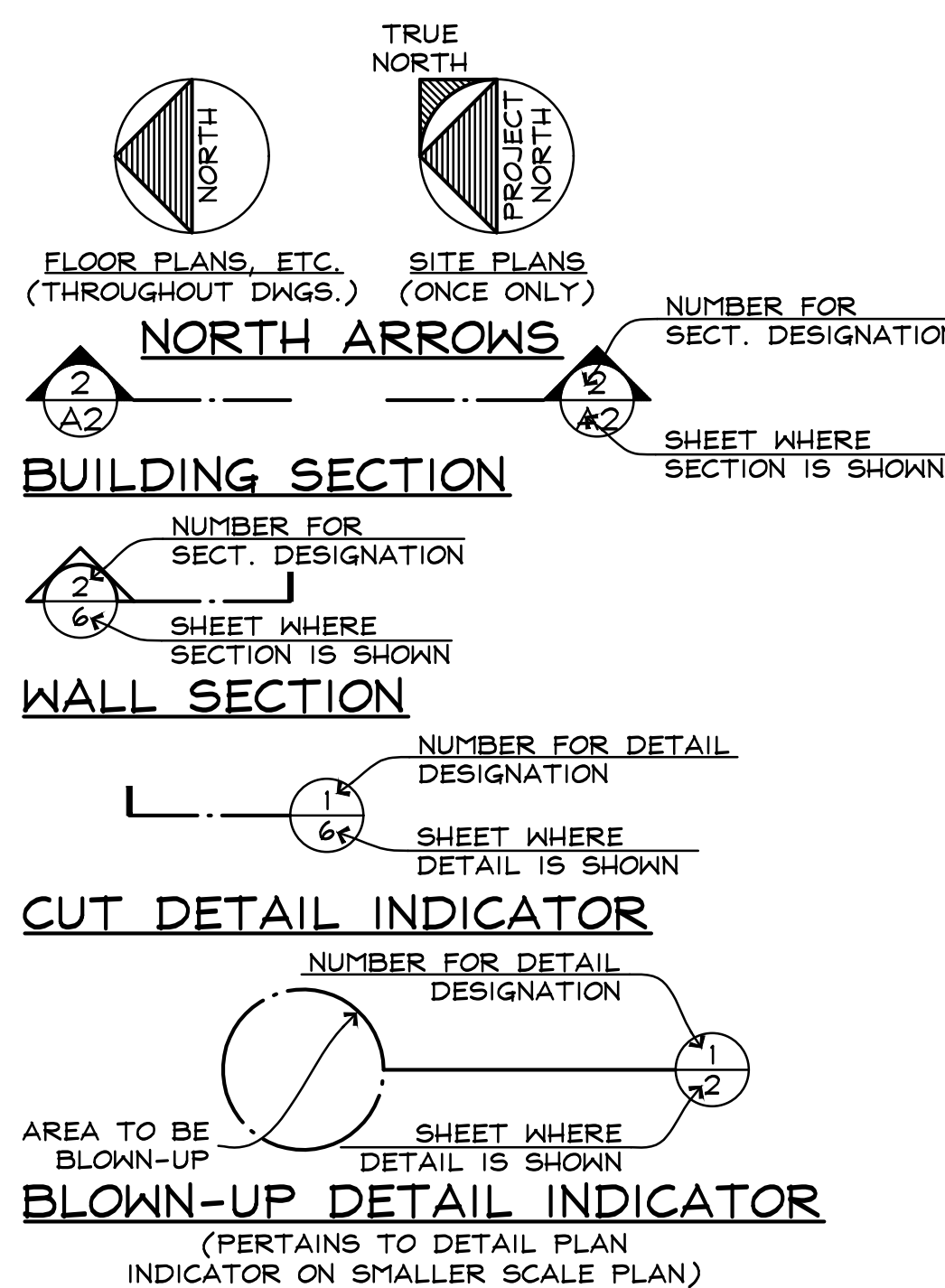
## FLORIDA ADMINISTRATIVE CODE

61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.

## ABBREVIATIONS

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPERTY LINE
CL	CENTER LINE	PLM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	PT	CCA PRESSURE TREATED
CONC	CONCRETE	PVC	POINT
DBL	DOUBLE	R	POLYVINYLCHLORIDE
DIAG	DIAGONAL	R/A	RADIUS (OR) RISER
DS	DOWNSPOUT	REBAR	RETURN AIR
DTL	DETAIL	REFR.	STEEL REINF. BAR
DNR	DRAWER	SF	REFRIGERATOR
EJ	EXPANSION JOINT	SS	SQUARE FOOT (FEET)
EL	ELEVATION	STAINLESS STEEL	STAINLESS STEEL
ELEC	ELECTRIC	SPEC	SPECIFICATION
EQ	EQUAL	TYP	TREAD(S)
EXH	EXHAUST	UNO	TYPICAL
FV	FIELD VERIFY	UNLESS NOTED OTHERWISE	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GI	GALVANIZED IRON	VERT	VERTICAL
HORZ	HORIZONTAL	WD	WOOD
HDW	HARDWARE	WHF	WELDED WIRE FABRIC
HVAC	HEATING VENTILATING & AIR CONDITIONING	WH	WATER HEATER
FOC	FACE OF CONCRETE	W/O	WITHOUT
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		

## SYMBOLS LEGEND



## MATERIAL DESIGNATIONS

[Symbol]	CONCRETE MASONRY UNITS IN PLAN
[Symbol]	CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN
[Symbol]	METAL IN ELEVATION
[Symbol]	METAL IN SECTION
[Symbol]	FINISH WOOD IN ELEV. & IN SECTION
[Symbol]	DIMENSION LUMBER IN SECTION (CONTINUOUS)
[Symbol]	WOOD BLOCKING IN SECTION (DISCONTINUOUS)
[Symbol]	GYPSTUM WALL BOARD IN SECTION (LARGE SCALE)
[Symbol]	EARTH, NATURAL SUBSTRATE
[Symbol]	GRAVEL, AGGREGATE BASE COURSE, FILL
[Symbol]	FIBERGLASS BATT INSULATION
[Symbol]	RIGID INSULATION

## PARTITIONS & WALLS

[Symbol]	CONCRETE MASONRY UNITS
[Symbol]	POURED CONCRETE
[Symbol]	WOOD FRAME
[Symbol]	METAL STUDS
[Symbol]	EXISTING CONSTRUCTION TO REMAIN
[Symbol]	EXISTING CONSTRUCTION TO BE DEMOLISHED

## SHEET INDEX

C	COVER
S	SURVEY
A1	EXISTING PLANS
A2	EXISTING ELEVATIONS
A3	PROPOSED SITE PLAN
A4	PROPOSED FIRST FLOOR PLAN
A5	PROPOSED ELEVATIONS
A6	EXISTING PHOTOS

626 SAMARITAN LANE  
KEY WEST, FLORIDA

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS  
p.a.

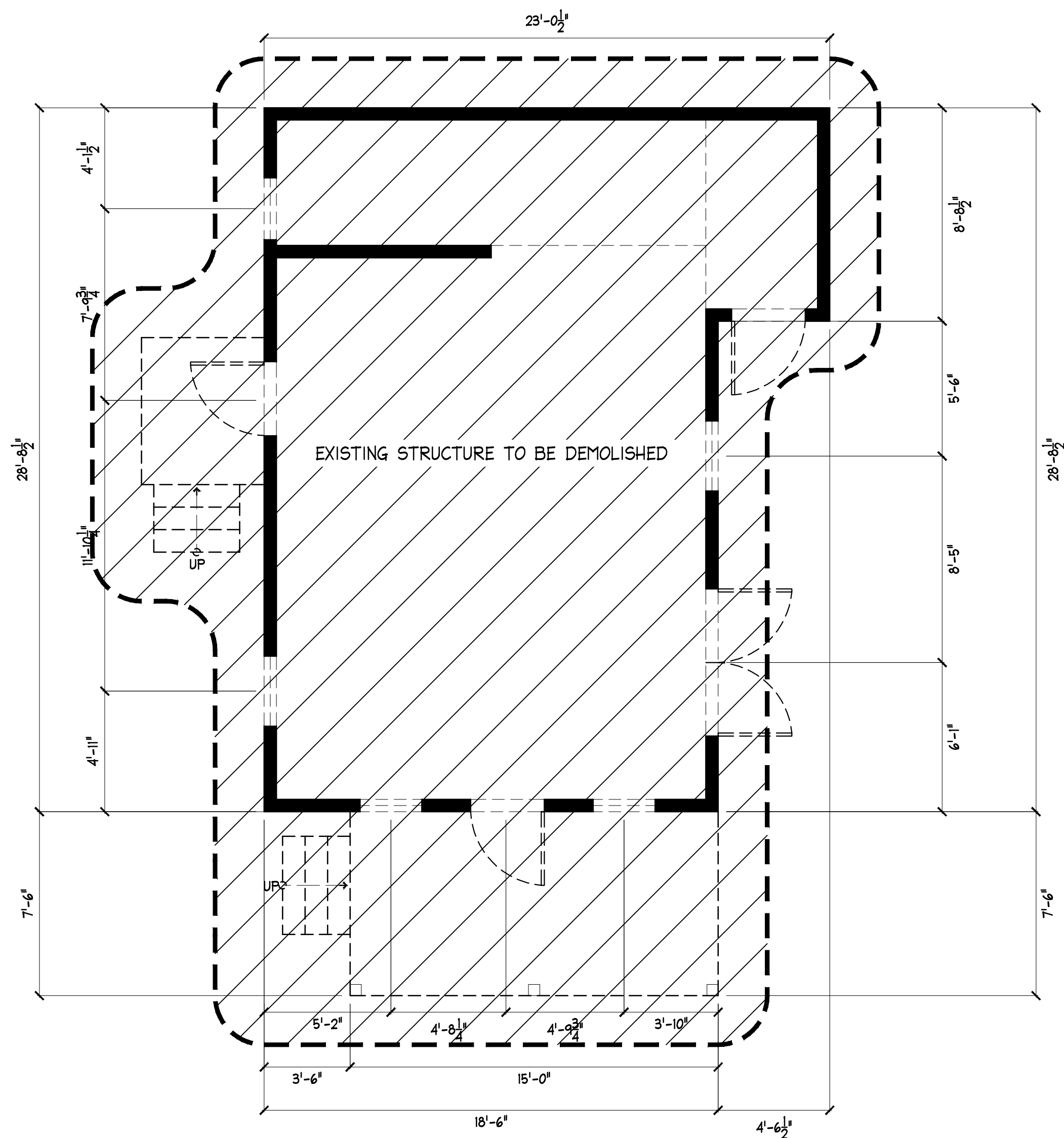
Project No.: 2531

SITE MAP KEY WEST  
PROJECT DIRECTORY  
GENERAL NOTES  
SYMBOLS LEGEND  
SHEET INDEX

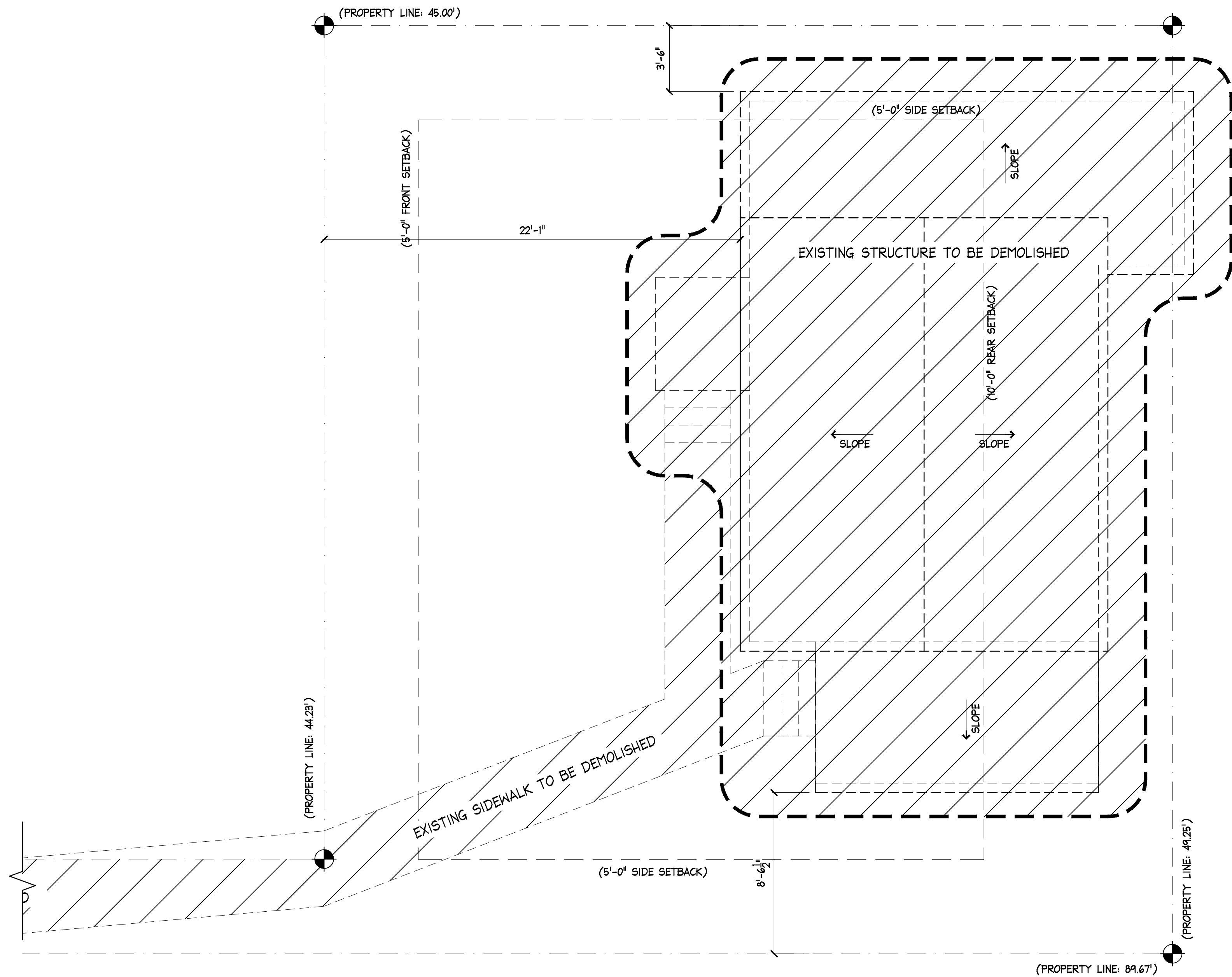
Date: 04/22/2026

C

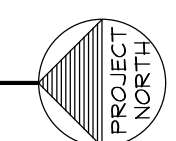




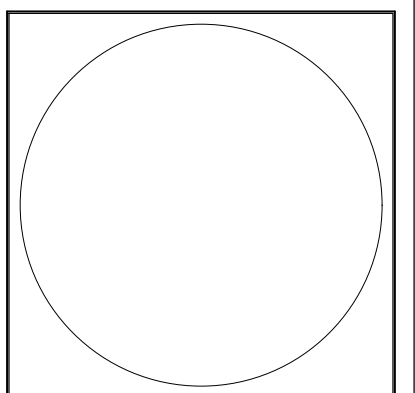
2 EXISTING FLOOR PLAN  
A1 SCALE: 1/4"=1'-0"



1 EXISTING SITE PLAN  
A1 SCALE: 1/4"=1'-0"



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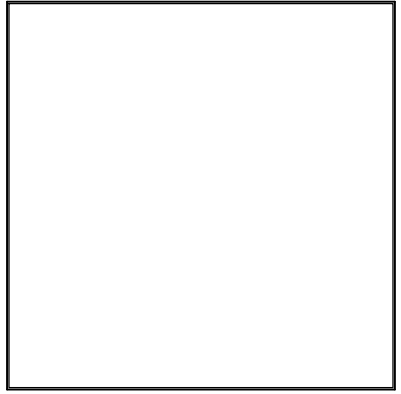
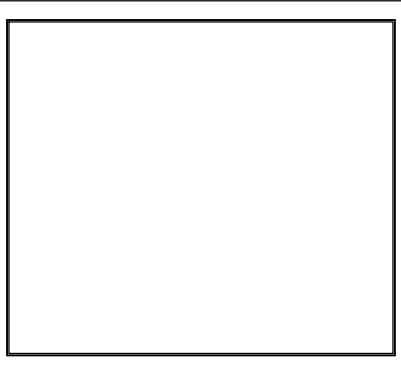


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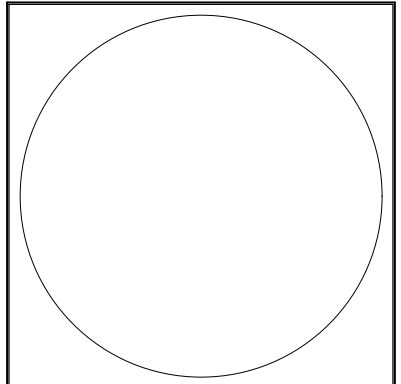
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Project No: 2531  
Date: 04/22/2026

A1



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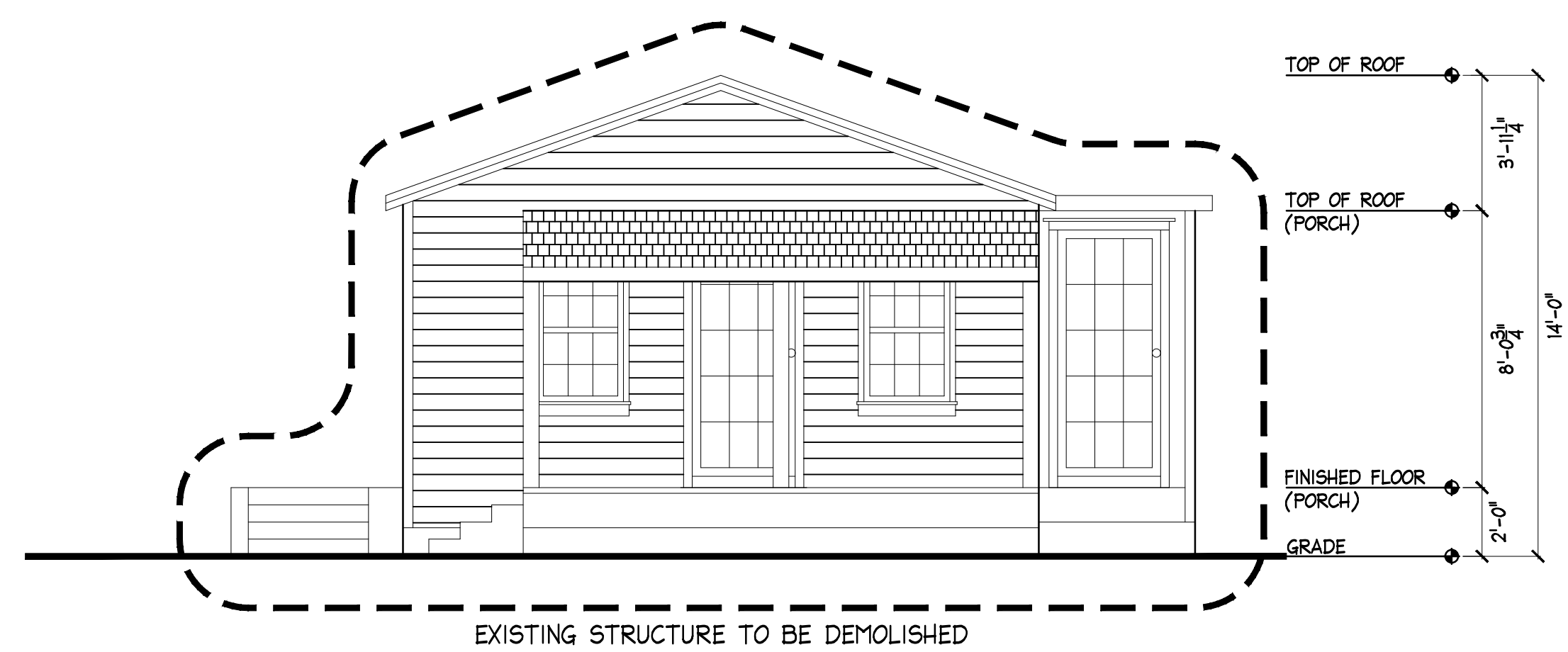


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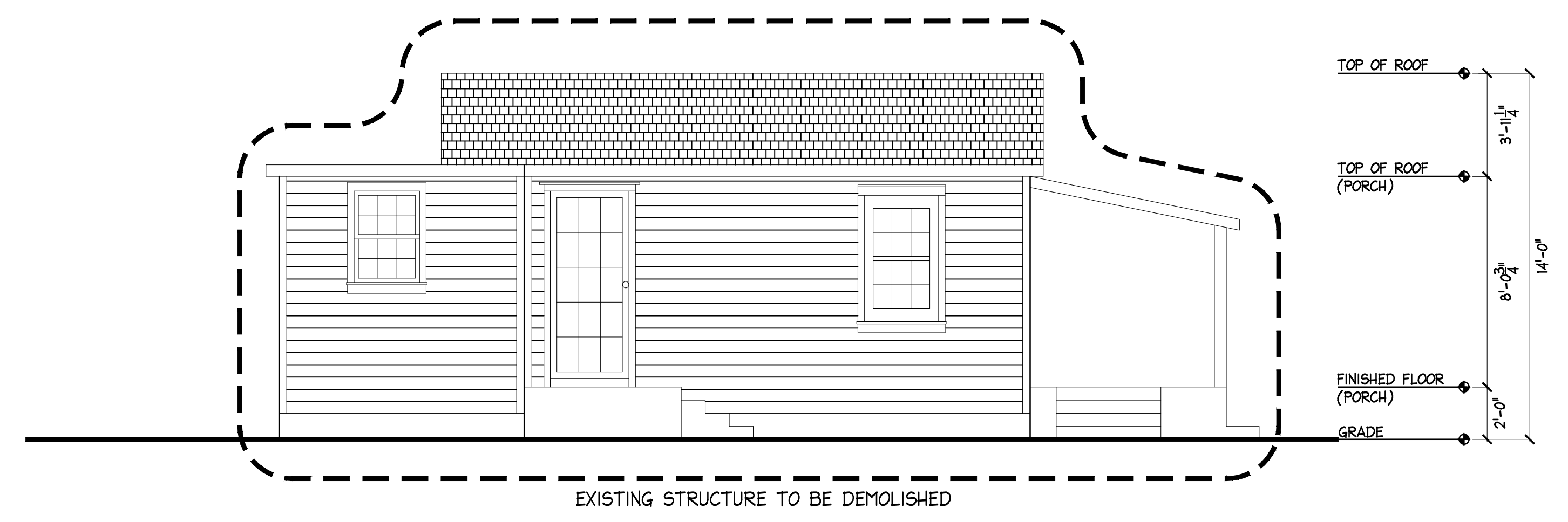
Bender & Associates  
ARCHITECTS p.a.

Project No: 2531  
Date: 04/22/2026

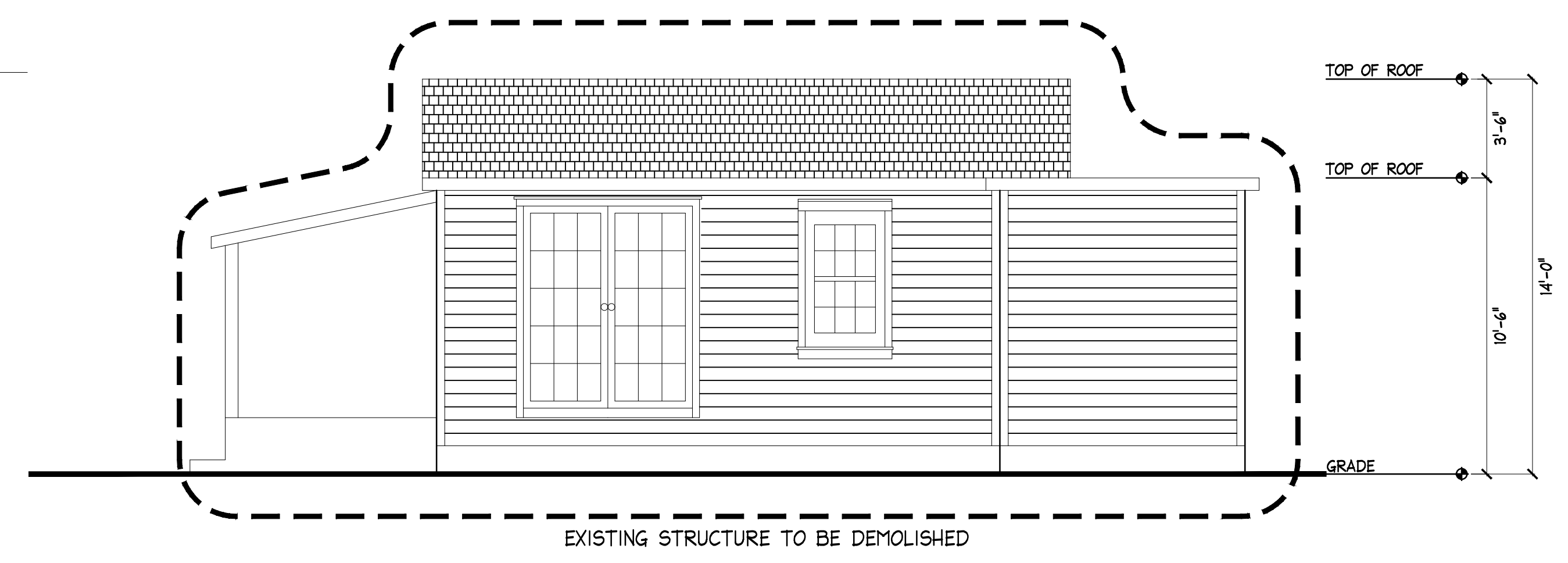
A2



3 EXISTING WEST ELEVATION  
A2 SCALE: 1/4"=1'-0"

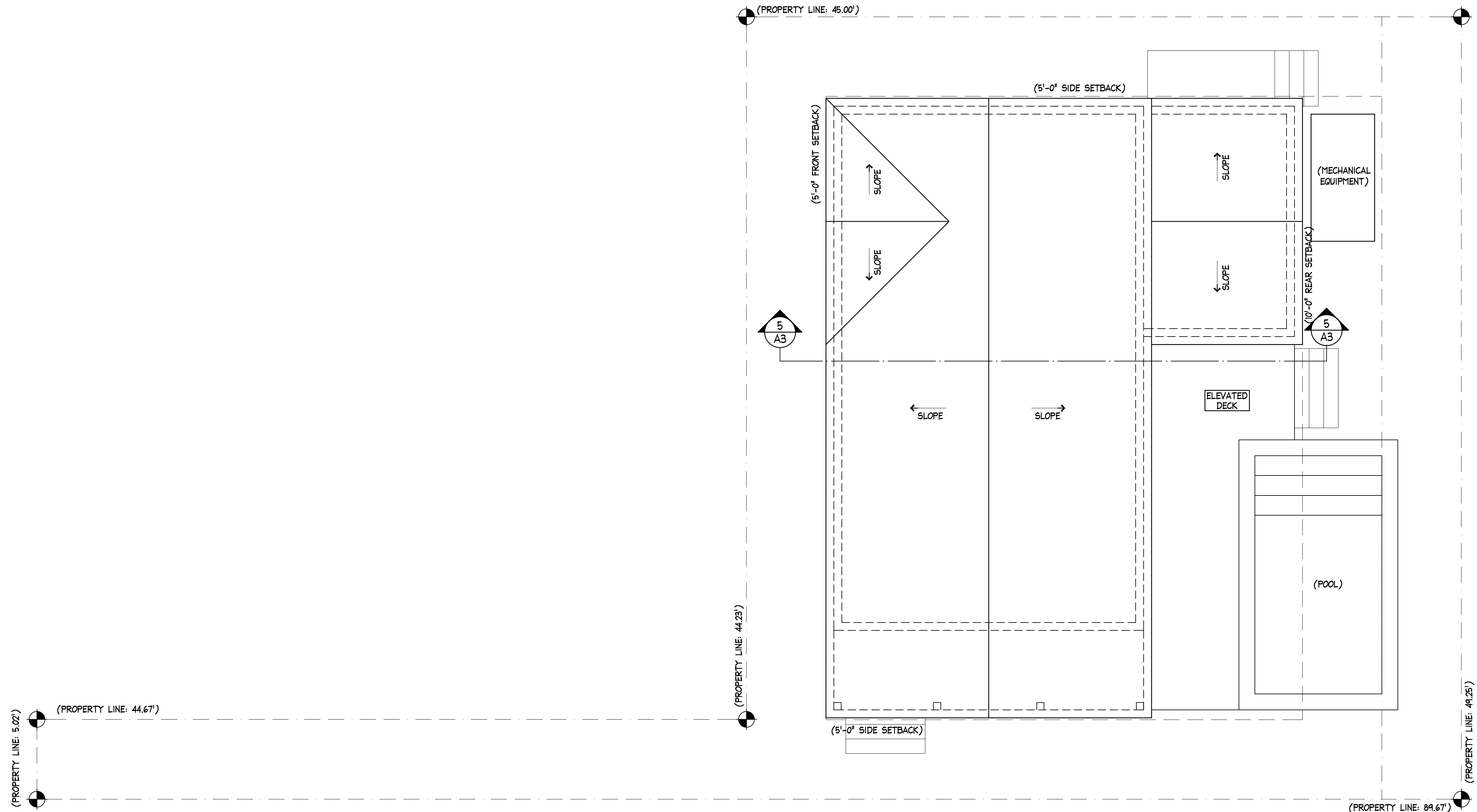


1 EXISTING NORTH ELEVATION  
A2 SCALE: 1/4"=1'-0"

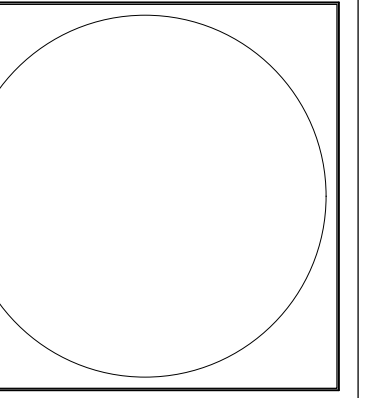


2 EXISTING EAST ELEVATION  
A2 SCALE: 1/4"=1'-0"

PROJECT STATISTICS			
FEMA FLOOD ZONE	ZONE 'X' TO MAP CHANGE 'AE-7' NAVD88		
ZONING DESIGNATION	HRO		
LOT SIZE	2,440 S.F.		
OCCUPANCY	SINGLE FAMILY		
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE 2,440 S.F. X 50%	1,220 S.F. MAX.	736 S.F.	947 S.F.
IMPERVIOUS SURFACE 2,440 S.F. X 60%	1,464 S.F. MAX.	1,076 S.F.	1,297 S.F.
BUILDING HEIGHT (CROWN OF ROAD)	30'-0" MAX.	14'-0"	24'-0"
FRONT SETBACK (NORTH)	5'-0" MIN.	22'-1"	5'-6"
SIDE SETBACK (EAST)	5'-0" MIN.	3'-6"	5'-0"
SIDE SETBACK (WEST)	5'-0" MIN.	8'-6"	5'-0"
REAR SETBACK (SOUTH)	10'-0" MIN.	OVER 1'-2"	10'-0"
OPEN SPACE 35%	854 S.F.	1,361 S.F.	1,143 S.F.



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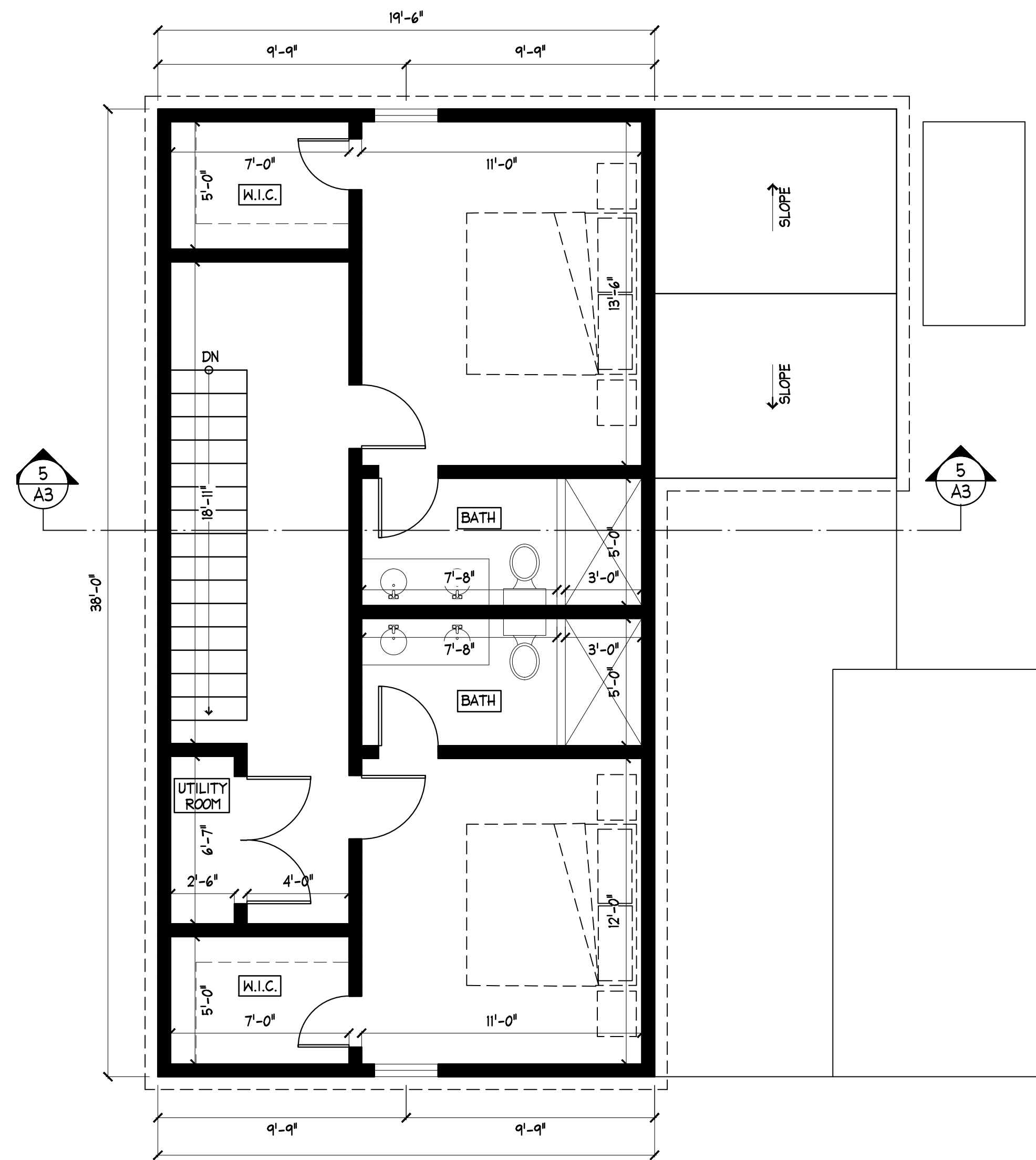


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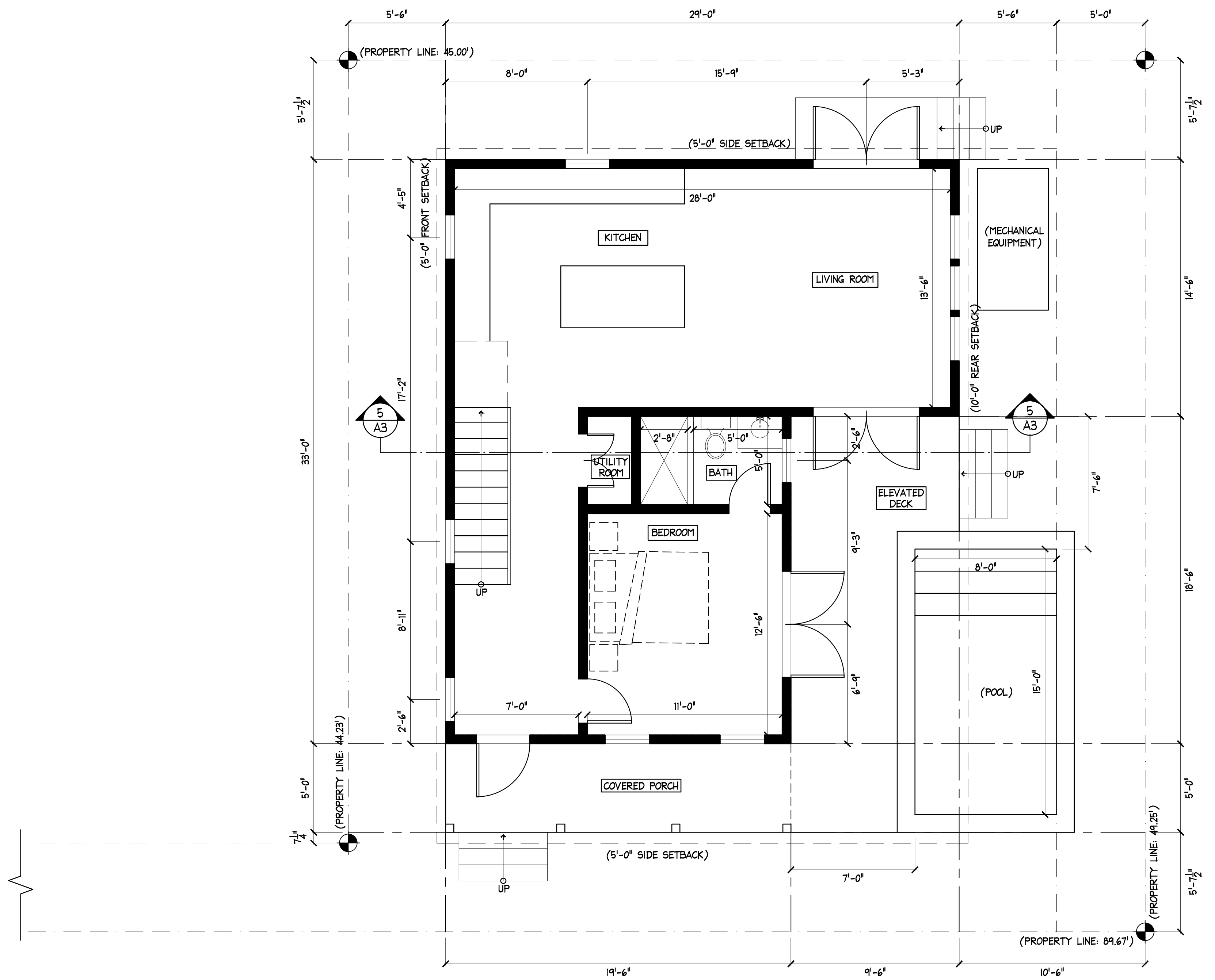
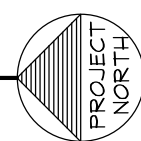
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ARCHITECTS  
p.a.

Project No: 2531  
Date: 04/22/2026

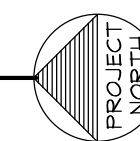
A3



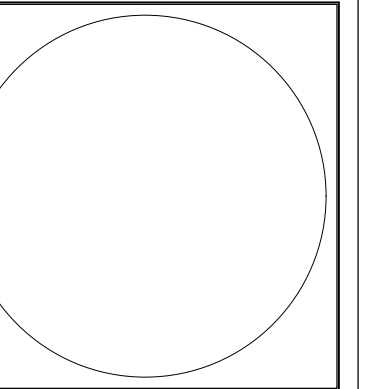
2 PROPOSED HALF STORY FLOOR PLAN  
 A4 SCALE: 1/4"=1'-0"



1 PROPOSED FIRST FLOOR PLAN  
 A4 SCALE: 1/4"=1'-0"



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 KEY WEST, FLORIDA



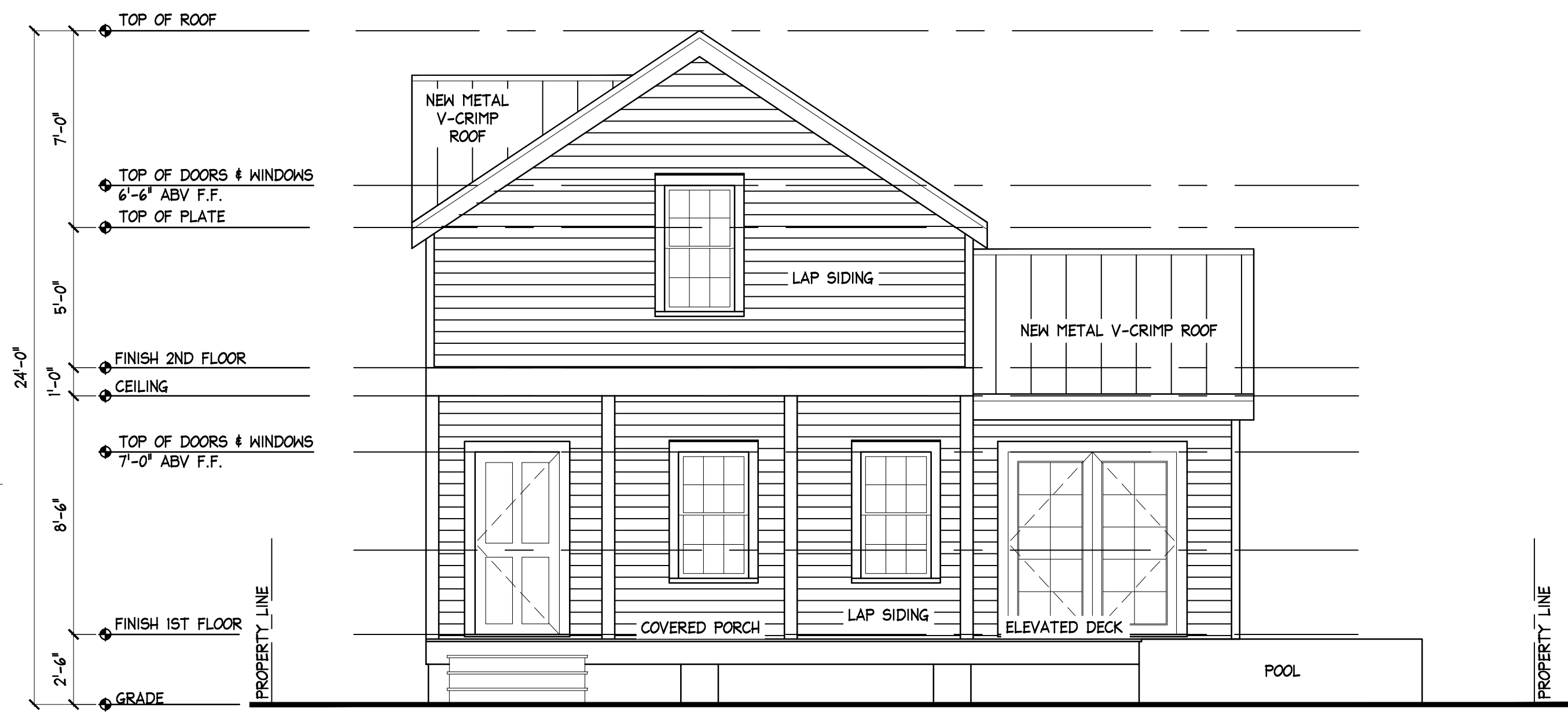
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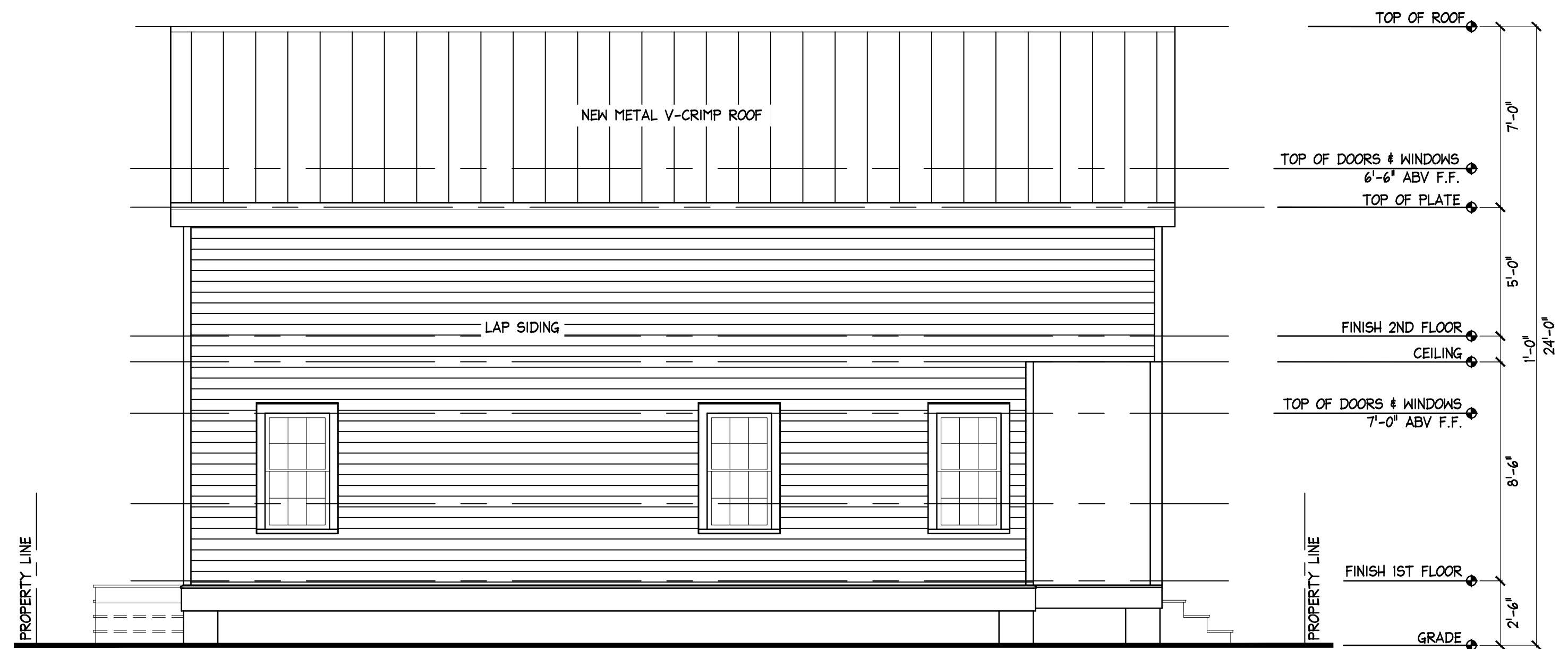
Project No: 2531

Date: 04/22/2026

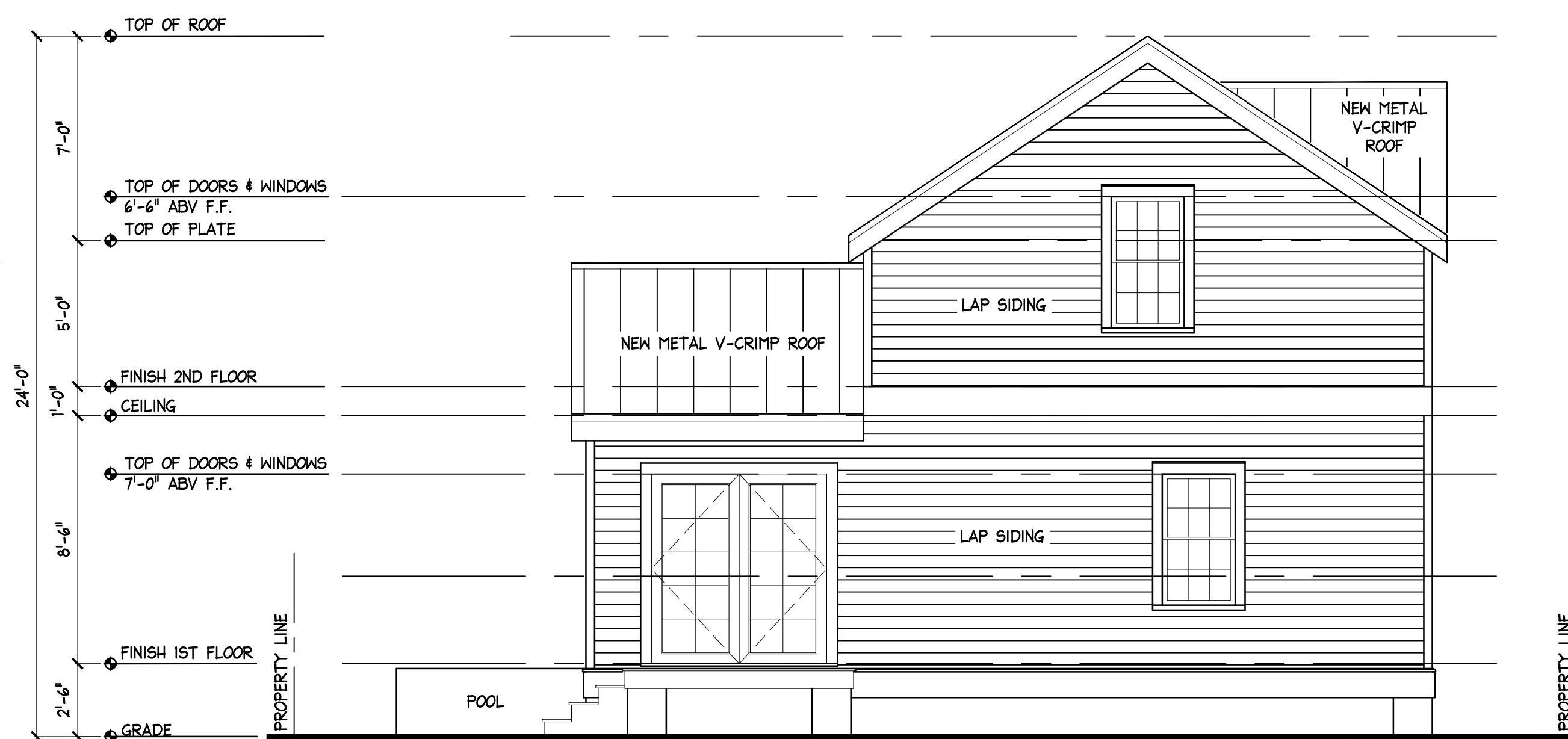
A4



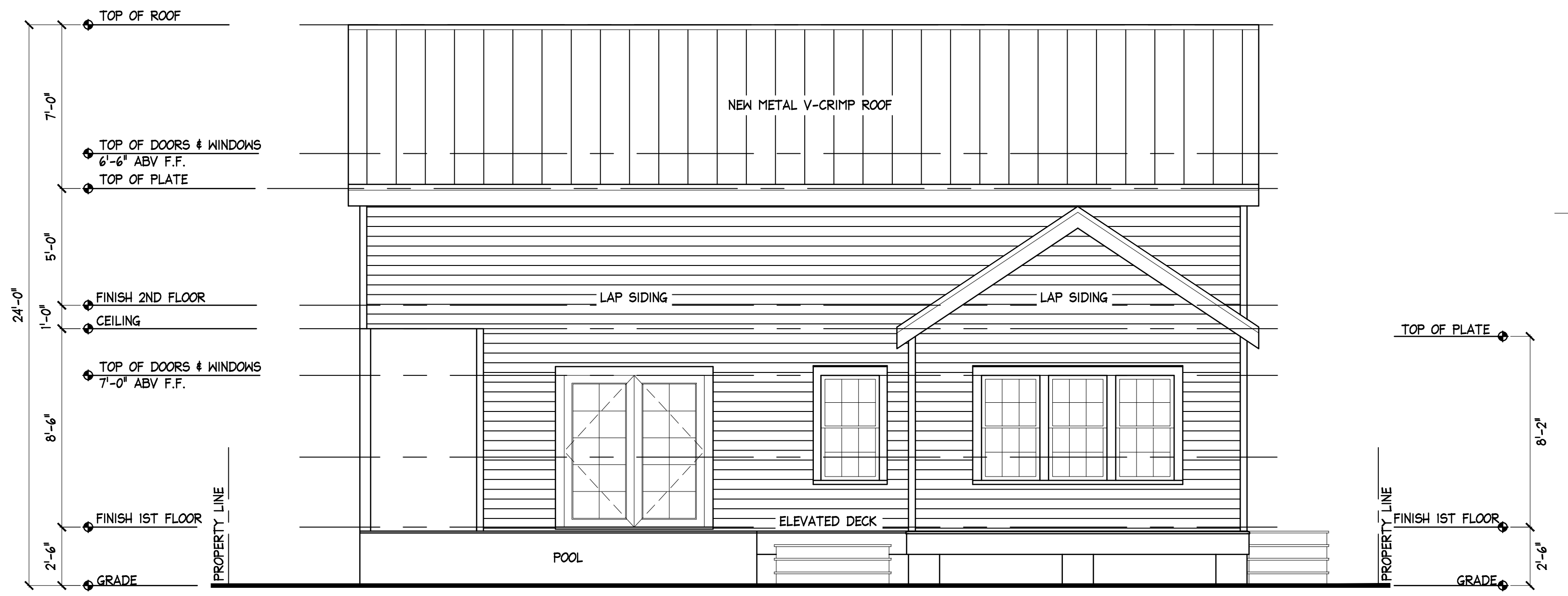
4 PROPOSED WEST ELEVATION  
A5 SCALE: 1/4"=1'-0"



3 PROPOSED NORTH ELEVATION  
A5 SCALE: 1/4"=1'-0"

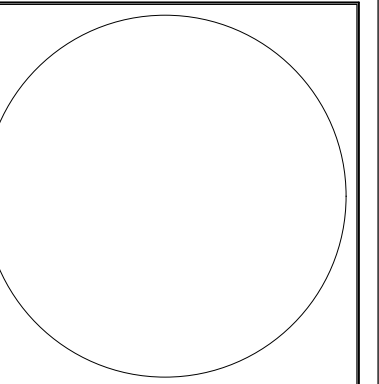


2 PROPOSED EAST ELEVATION  
A5 SCALE: 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION  
A5 SCALE: 1/4"=1'-0"

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Bender & Associates  
ARCHITECTS  
p.a.

Project No: 2531  
Date: 04/22/2026

A5



1 VIEW FROM SOUTH SIDE OF THE PROPERTY  
A6 SCALE: N.T.S.



1 VIEW FROM EAST SIDE OF THE PROPERTY  
A6 SCALE: N.T.S.



1 VIEW FROM NORTH-WEST SIDE OF THE PROPERTY  
A6 SCALE: 1/4"=1'-0"



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Bender & Associates  
ARCHITECTS  
p.c.

Project No: 2531

Date: 04/22/2026

A6

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., May 26, 2026, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW ONE STORY AND A HALF SINGLE-FAMILY RESIDENCE ON FLAG LOT. NEW POOL AND POOL DECK. DEMOLITION OF ONE-STORY CONTRIBUTING STRUCTURE AND SITE FEATURES.**

**#626 SAMARITAN LANE**

**Applicant – Bender & Associates Architects    Application #C2026-0032**

If you wish to see the application or have any questions, you may visit the Growth Management Division during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared \_\_\_\_\_  
ANA ALVAREZ, who, first being duly sworn, on oath,  
depose and says that the following statements are true and correct to the best of  
his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:  
626 SAMARITAN LN. on the  
21st day of MAY, 2026.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on MAY 26,  
2026.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is C2026-0032.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:**

Ana Alvarez  
**Date:** 05/21/2026  
**Address:** 410 Angela St.  
**City:** Key West  
**State, Zip:** FL 33040

The forgoing instrument was acknowledged before me on this 21<sup>st</sup> day of  
May, 2026.

By (Print name of Affiant) Ana Alvarez who is  
personally known to me or has produced \_\_\_\_\_ as  
identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: Caitlin Dempsey

Print Name: Caitlin Dempsey

Notary Public - State of Florida (seal)

My Commission Expires: \_\_\_\_\_



Caitlin Dempsey  
Comm.: HH 456193  
Expires: Oct. 19, 2027  
Notary Public - State of Florida



Public Meeting Notice

722  
Mail

626

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626

# PROPERTY APPRAISER INFORMATION

# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00016170-000000  
**Account#** 1016551  
**Property ID** 1016551  
**Millage Group** 11KW  
**Location** 626 SAMARITAN Ln,  
**Address** KEY WEST  
**Legal** KW PT SUB 5 PT LT 4  
**Description** SQR 3 TR 4 G17-555 TT-  
 228 G51-477/79 G51-  
 480/81 OR1151-1253  
 OR1151-1254 OR1684-  
 1666/67 OR1690-  
 1890/91 OR1873-1337  
 OR1944-2306/07  
 OR1944-2308/10  
 OR2058-1044 OR2533-  
 1462 OR2548-633  
 OR2555-2230 OR2760-  
 1651 OR2767-166  
 OR3228-0086  
 (Note: Not to be used on  
 legal documents.)  
**Neighborhood** 6021  
**Property Class** SINGLE FAMILY RESID  
 (0100)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



### Owner

[SCHROEDER JOSEPH](#)  
 1202 Thompson St  
 Key West FL 33040

### Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$87,923	\$82,823	\$76,092	\$77,195
+ Market Misc Value	\$2,287	\$1,623	\$1,660	\$1,697
+ Market Land Value	\$687,441	\$731,792	\$751,503	\$455,830
= Just Market Value	\$777,651	\$816,238	\$829,255	\$534,722
= Total Assessed Value	\$777,651	\$816,238	\$527,052	\$479,138
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$777,651	\$816,238	\$829,255	\$534,722

**Historical Assessments**

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$731,792	\$82,823	\$1,623	\$816,238	\$816,238	\$0	\$816,238	\$0
2023	\$751,503	\$76,092	\$1,660	\$829,255	\$527,052	\$0	\$829,255	\$0
2022	\$455,830	\$77,195	\$1,697	\$534,722	\$479,138	\$0	\$534,722	\$0
2021	\$369,592	\$64,254	\$1,734	\$435,580	\$435,580	\$0	\$435,580	\$0
2020	\$357,272	\$66,090	\$1,771	\$425,133	\$425,133	\$0	\$425,133	\$0
2019	\$380,680	\$67,008	\$1,809	\$449,497	\$434,495	\$0	\$449,497	\$0
2018	\$380,680	\$25,885	\$1,846	\$408,411	\$394,995	\$0	\$408,411	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,439.55	Square Foot	0	0

**Buildings**

<b>Building ID</b>	1181	<b>Exterior Walls</b>	WD FRAME
<b>Style</b>	1 STORY ELEV FOUNDATION	<b>Year Built</b>	1938
<b>Building Type</b>	S.F.R. - R1 / R1	<b>EffectiveYearBuilt</b>	1999
<b>Building Name</b>		<b>Foundation</b>	WD CONC PADS
<b>Gross Sq Ft</b>	672	<b>Roof Type</b>	GABLE/HIP
<b>Finished Sq Ft</b>	536	<b>Roof Coverage</b>	ASPHALT SHINGL
<b>Stories</b>	1 Floor	<b>Flooring Type</b>	SFT/HD WD
<b>Condition</b>	GOOD	<b>Heating Type</b>	NONE with 0% NONE
<b>Perimeter</b>	100	<b>Bedrooms</b>	1
<b>Functional Obs</b>	0	<b>Full Bathrooms</b>	1
<b>Economic Obs</b>	0	<b>Half Bathrooms</b>	0
<b>Depreciation %</b>	33	<b>Grade</b>	450
<b>Interior Walls</b>	WALL BD/WD WAL	<b>Number of Fire Pl</b>	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	536	536	0
OPU	OP PR UNFIN LL	16	0	0
OPF	OP PRCH FIN LL	120	0	0
<b>TOTAL</b>		<b>672</b>	<b>536</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
TILE PATIO	1959	1960	0 x 0	1	187 SF	3
WALL AIR COND	1986	1987	0 x 0	1	1 UT	1
FENCES	2008	2009	6 x 42	1	252 SF	2

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Grantor	Grantee
5/23/2023	\$100	Quit Claim Deed	2420123	3228	0086	11 - Unqualified		
9/11/2015	\$0	Warranty Deed		2767	1966	11 - Unqualified		
9/11/2015	\$196,400	Warranty Deed		2760	1651	37 - Unqualified		
2/15/2012	\$100	Quit Claim Deed		2555	2230	11 - Unqualified		
11/18/2011	\$165,000	Warranty Deed		2548	633	12 - Unqualified		
9/9/2011	\$100	Certificate of Title		2533	1462	12 - Unqualified		
11/10/2004	\$550,000	Warranty Deed		2058	1044	M - Unqualified		
10/6/2003	\$280,000	Warranty Deed		1944	2306	M - Unqualified		

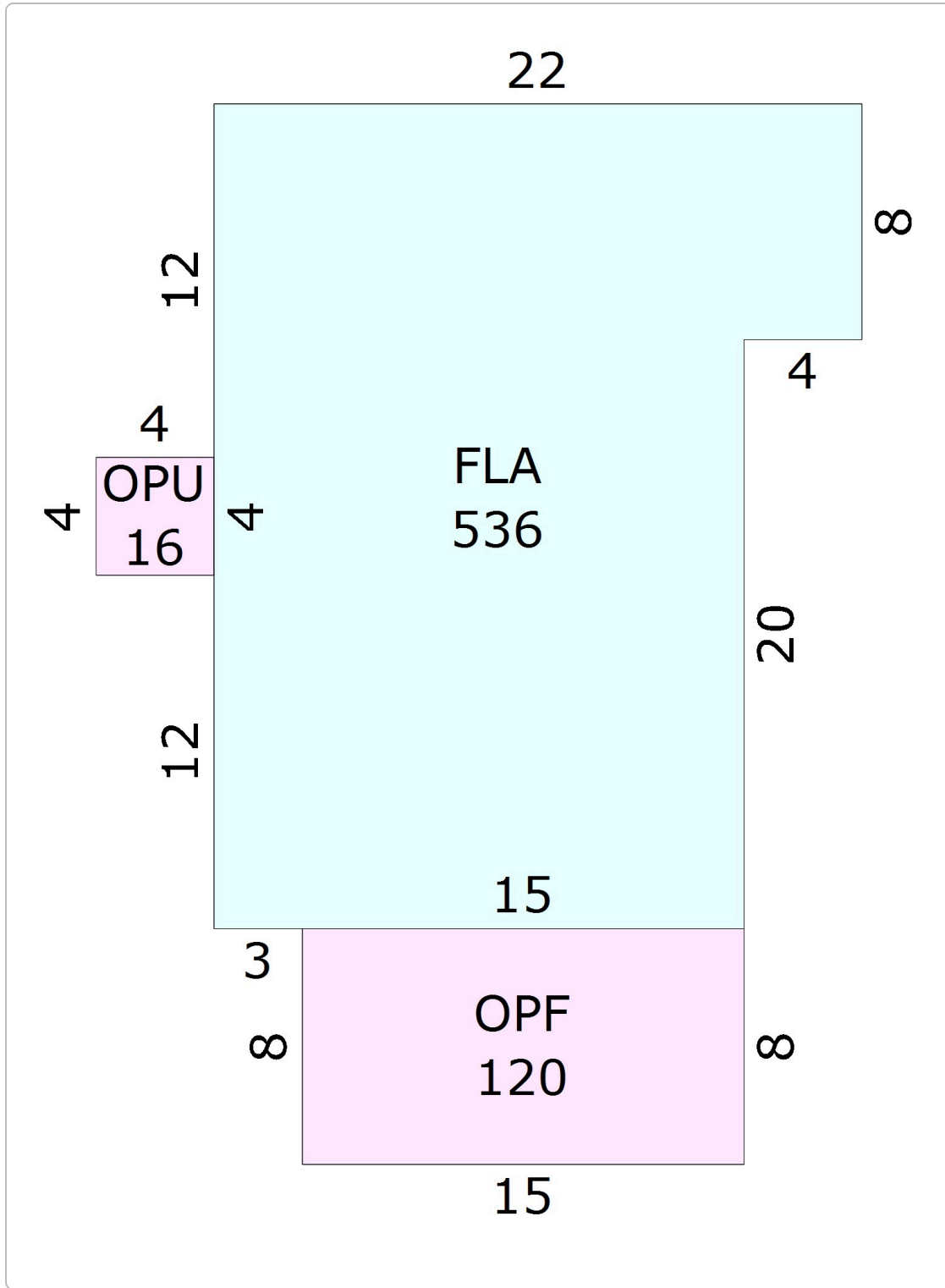
**Permits**

Number	Date Issued	Status	Amount	Permit Type	Notes
08-0077	01/15/2008	Completed	\$2,500	Residential	REMOVE ALL INTERIOR SHEETROCK TO EXPOSE FRAMING FOR ELECTRICAL & PLUMBING REPLACEMENT
07-3974	08/14/2007	Completed	\$3,500	Residential	DEMO BLOCK WALL & REPLACE WITH PICKET FE4NCE 42'x6'

**View Tax Info**

[View Taxes for this Parcel](#)

**Sketches (click to enlarge)**



Photos



Map



TRIM Notice

[2025 TRIM Notice \(PDF\)](#)

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[User Privacy Policy](#) | [GDPR Privacy Notice](#)  
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 GEOSPATIAL