

KEYS OVERNIGHT TEMPORARY SHELTER

5537 COLLEGE ROAD
KEY WEST, FL

WILLIAM P. HORN
ARCHITECT, P.A.

915 EATON ST.
KEY WEST,
FLORIDA
33040

TEL (305) 296-8302
FAX (305) 296-1033

LICENSE NO.
AA 0003040

KEYS OVERNIGHT
TEMPORARY
SHELTER
5537 COLLEGE RD.
KEY WEST, FLORIDA.

MAP LOCATION



AREA OF WORK

SITE DATA

SITE AREA:
OVERALL SITE AREA : 607,339.97 SQFT 13.94 ACRES
LEASE AREA : 041,976.22 SQFT 00.96 ACRES

LAND USE: PS (PUBLIC SERVICE)

FLOOD ZONE: AE EL +10.0' PER LOMR CASE NO. 21-04-3573P

HEIGHT:
ALLOWED: 25'+3.5' = 28.5'(FINISHED FLOOR IS 3.5' ABOVE BFE+1)
PROPOSED: 26.3'±

SETBACKS (PRINCIPAL STRUCTURES):

FRONT SETBACK:
REQUIRED = 20'
PROPOSED = N/A

SIDE SETBACK:
REQUIRED = 15'
PROPOSED = 25'

REAR SETBACK (WETLAND SETBACK):
REQUIRED = 25'
PROPOSED = 25'

SETBACKS (ACTIVE/PASSIVE/RECREATION):

FRONT/SIDES/REAR:
ALLOWED = 10'
PROPOSED = 10'

FAR:

ALLOWED = 0.8
EXISTING = 0.69
PROPOSED = 0.70

LOT COVERAGE:

ALLOWED = 40%
EXISTING = 25.2%
PROPOSED = 25.4%

IMPERVIOUS AREA:

ALLOWED = 50%
EXISTING = 46.35%
PROPOSED = 44.58%

LANDSCAPE AREA:

REQUIRED = 20%
EXISTING = 53.65%
PROPOSED = 55.42%

OPEN SPACE AREA:

REQUIRED = 50%
EXISTING = 53.65%
PROPOSED = 55.42%

PARKING:

REQUIRED = N/A
EXISTING = 0
PROPOSED = 18 SPACES

BIKE/SCOOTER PARKING:

REQUIRED = N/A
EXISTING = OUT OF LEASE AREA
PROPOSED = 87 SPACES (TENANTS)
9 SPACES (EMPLOYEE/VISITORS)
96 SPACES TOTAL

BUILDING DATA

EXISTING BUILDING AREAS:

MCSO JAIL AND DJJ = 383,684 SQFT
MCSO ADMIN = 26,833 SQFT
EXISTING KOTS FACILITY = 9,024 SQFT

PROPOSED BUILDING AREAS:

KOTS FIRST FLOOR ENCLOSED = 10,422 SQFT
KOTS FIRST FLOOR COVERED = 310 SQFT
KOTS GROUND FLOOR ENCLOSED = 384 SQFT
KOTS GROUND FLOOR COVERED = 10,208 SQFT

LIST OF DRAWINGS

A-0	COVER SHEET
EX-1	EXISTING OVERALL SITE PLAN
EX-2	EXISTING PARTIAL SITE PLAN
A-1	PROPOSED OVERALL SITE PLAN
A-2	PROPOSED PARTIAL SITE PLAN
A-3	PROPOSED GROUND FLOOR PLAN
A-3.1	PROPOSED FIRST FLOOR PLAN
A-4	PROPOSED ELEVATIONS
A-5	PROPOSED SCHEMATIC BUILDING SECTION
LS-1	FIRST FLOOR LIFE SAFETY PLAN
LS-2	GROUND FLOOR LIFE SAFETY PLAN
LS-3	LIFE SAFETY DETAILS
L-1	EXISTING VEGETATION PLAN
L-2	LANDSCAPE PLAN (CONCEPTUAL)
L-3	LANDSCAPE SCHEDULE AND DETAILS
L-4	LANDSCAPE SPECIFICATIONS
L-5	IRRIGATION SPECIFICATIONS
E-1	SITE LIGHTING PLAN
C-100	EROSION CONTROL PLAN
C-200	GRADING AND DRAINAGE PLAN
C-300	SITE UTILITY PLAN
	SURVEYS

KEY PERSONNEL

ARCHITECT:

WILLIAM P. HORN ARCHITECT, P.A.
WILLIAM P. HORN, RA, LEED AP
915 EATON ST.
KEY WEST, FL 33040
TEL. (305) 296-8302

CIVIL ENGINEERING:

**PEREZ ENGINEERING
AND DEVELOPMENT INC.**

ALLEN E. PEREZ, PE
1010 EAST KENEDY DRIVE
SUITE 202
KEY WEST, FL 33040
TEL. (305) 293-9440

STRUCTURAL ENGINEERING:

K/W STRUCTURAL ENGINEERS
MARK KEISTER, P.E.
6501 ARLINGTON EXPRESSWAY
BUILDING B, SUITE 156
JACKSONVILLE, FL 32211
TEL. (904) 619-2333

MEP ENGINEERING:

**INNOVATIVE ENGINEERING
GROUP INC.**

SUDHIR GUPTA, PE, LEED AP
2500 NW 79TH AVE.,
SUITE 240
DORAL, FL 33122
TEL. (305) 468-1783

LANDSCAPE ARCHITECT:

LANDWISE DESIGN

LADD ROBERTS, LEED AP

1936 SAN MARCO BLVD
SUITE 101
JACKSONVILLE, FL 32207
TEL. (904) 343-4194

ENVIRONMENTAL ENGINEER:

**TERRAMAR ENVIRONMENTAL
SERVICES, INC.**

PHIL FRANK
1241 CRANE BLVD.
SUGARLOAF KEY, FL 33042
TEL. (305) 393-4200

LAND USE PLANNER:

TREPANIER & ASSOCIATES, INC.

OWEN TREPANIER
1421 1ST STREET
PO BOX 2155
KEY WEST, FL 33040
TEL. (305) 293-8983

SURVEYOR:

AVIROM AND ASSOCIATES

MICHAEL AVIROM,
PROFESSIONAL SURVEYOR & MAPPER

402 APPELLROUTH LN. STE 2E
KEY WEST, FL 33040
TEL. (305) 294-7770

OWNER: (PROPERTY)

**MONROE CO. BOARD OF
COUNTY COMMISSIONERS**

KEVIN WILSON,
ASST. COUNTY ADMINISTRATOR
1100 SIMONTON ST.
KEY WEST, FL 33040
TEL. (305) 294-4641

OWNER: (KOTS LEASE OWNER)

CITY OF KEY WEST

1300 WHITE ST.
KEY WEST, FL 33040
TEL. (305) 809-3700

SEAL

DATE

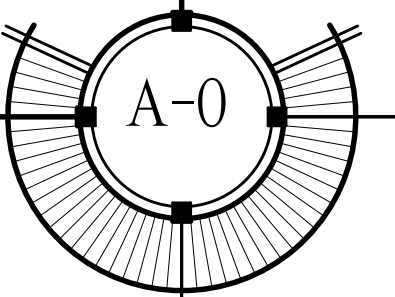
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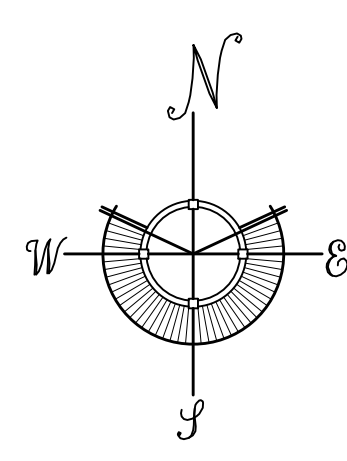


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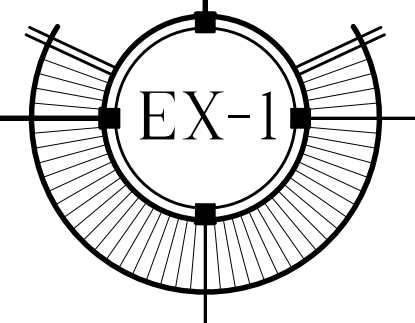
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EXISTING OVERALL SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY AVIRON & ASSOCIATES DATED ON 04-08-2021. SCALE: 1"=80'-0"

KEYS OVERNIGHT TEMPORARY SHELTER (KOTS) 5537 COLLEGE ROAD KEY WEST, FLORIDA

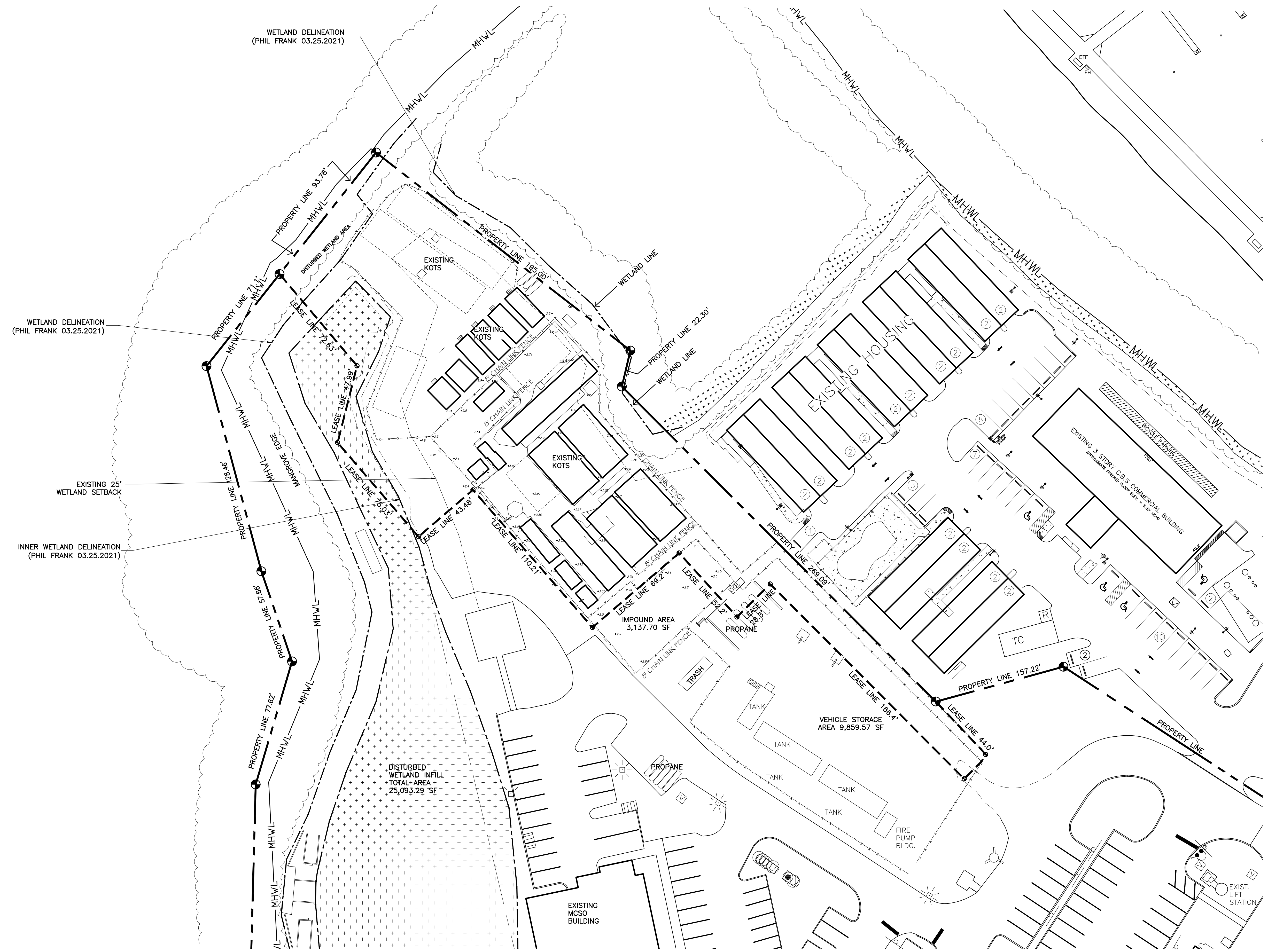


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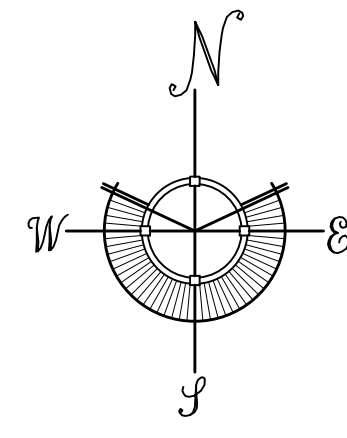
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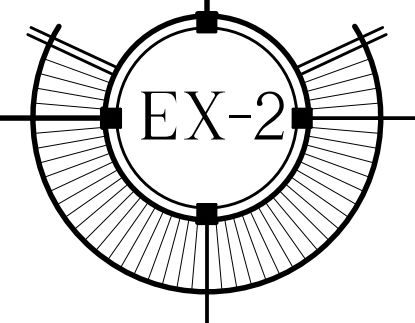


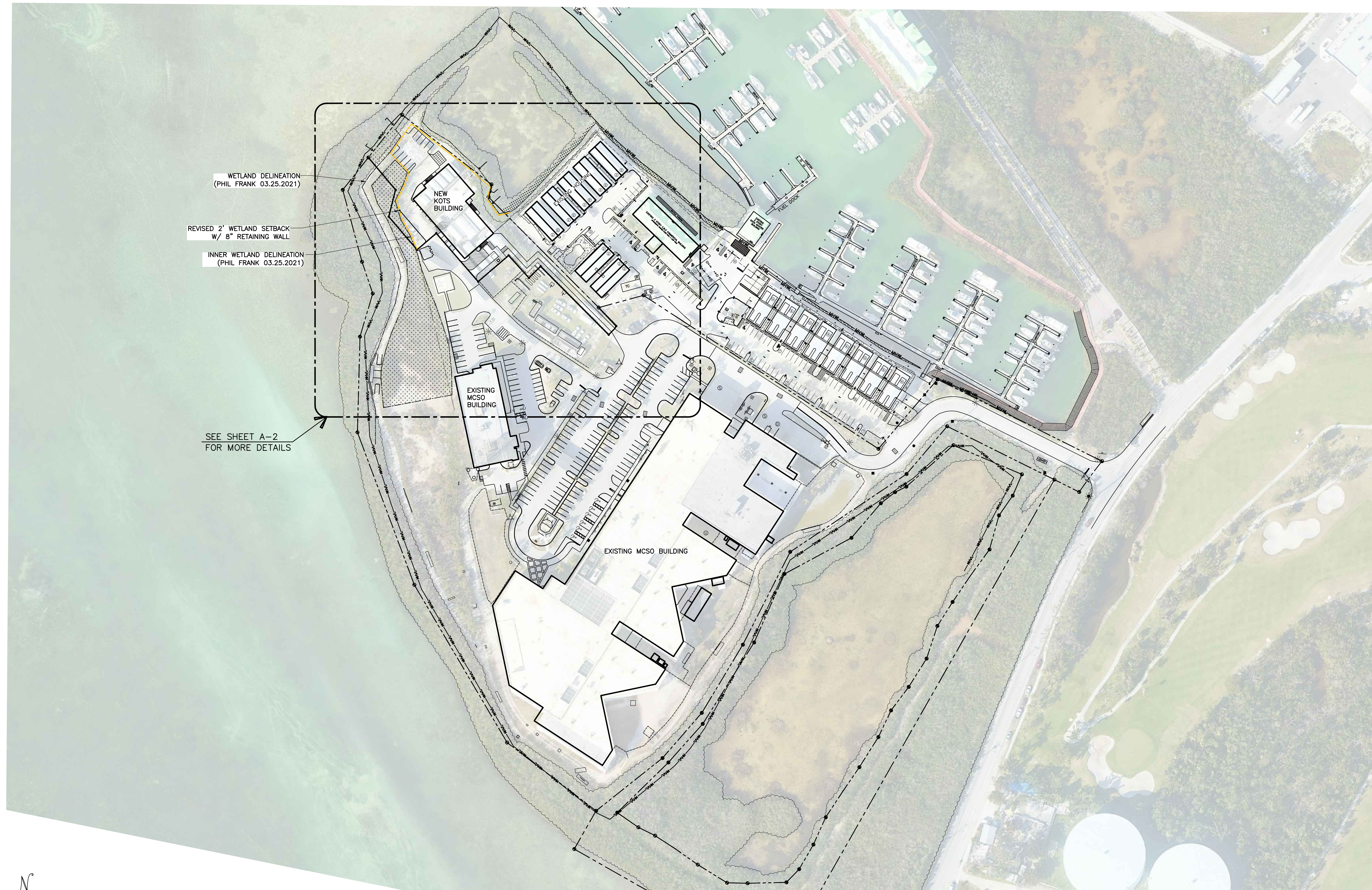
EXISTING SITE PLAN (LEASE AREA)

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY AVIRON & ASSOCIATES DATED ON 04-08-2021. SCALE: 1"=30'-0"



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WETLAND DELINEATION
(PHIL FRANK 03.25.2021)

REVISED 2' WETLAND SETBACK
W/ 8' RETAINING WALL

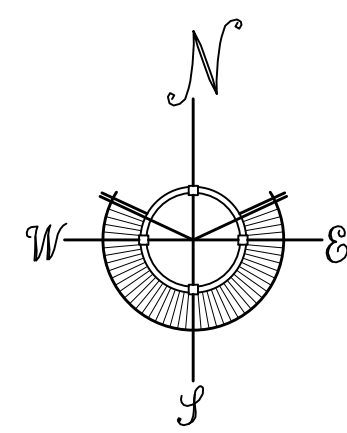
INNER WETLAND DELINEATION
(PHIL FRANK 03.25.2021)

SEE SHEET A-2
FOR MORE DETAILS

EXISTING MCSO BUILDING

NEW KOTS BUILDING

EXISTING MCSO BUILDING



PROPOSED OVERALL SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY AVIRON & ASSOCIATES DATED ON 04-08-2021. SCALE: 1"=30'-0"

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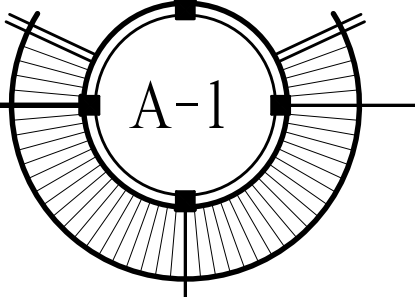
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SCALE: 1"=30'-0"

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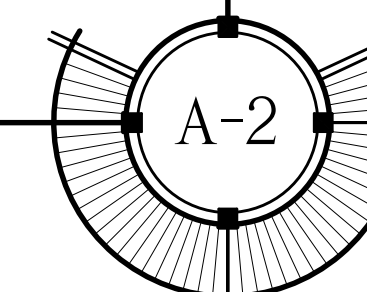
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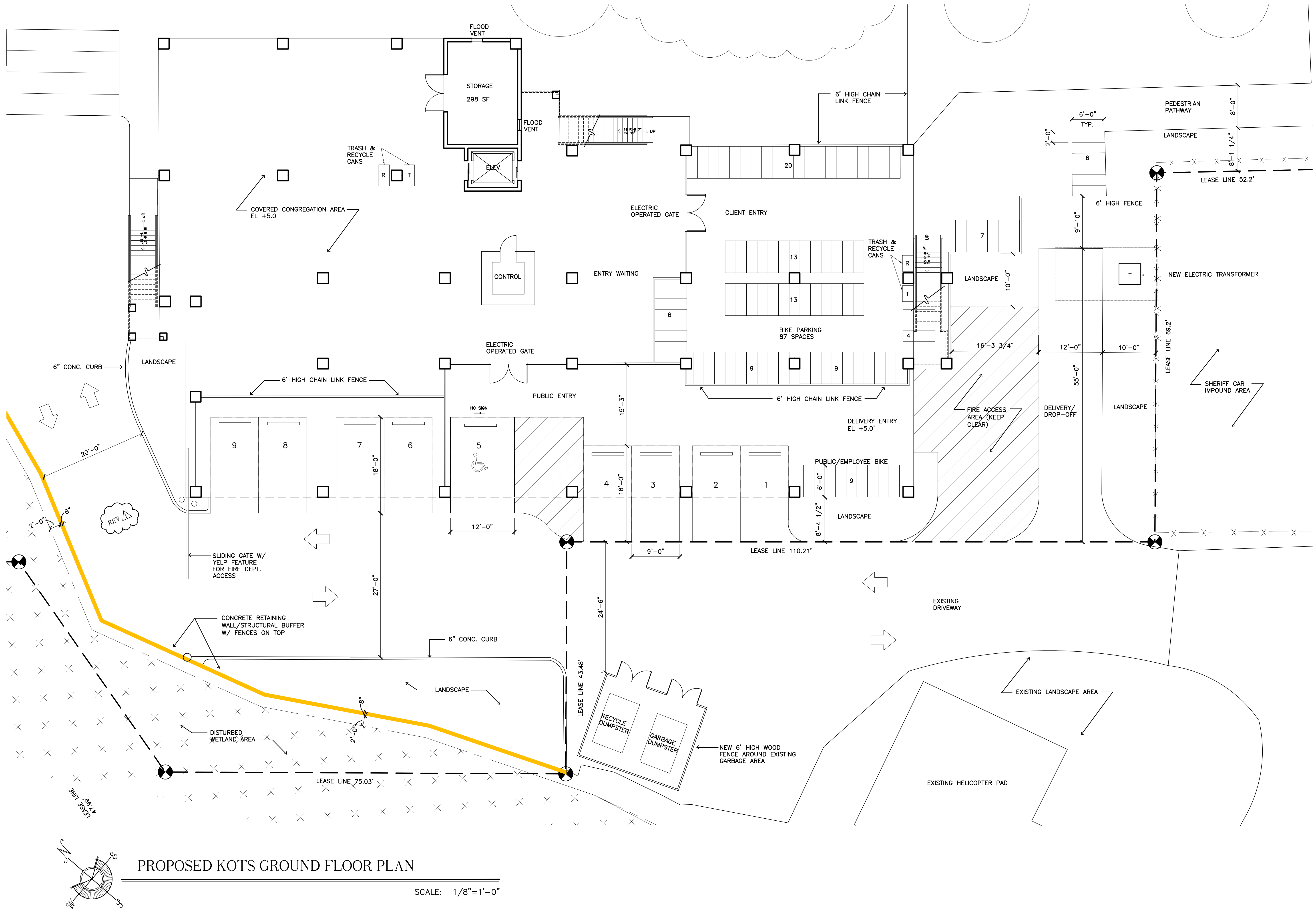
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PROPOSED KOTS GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"

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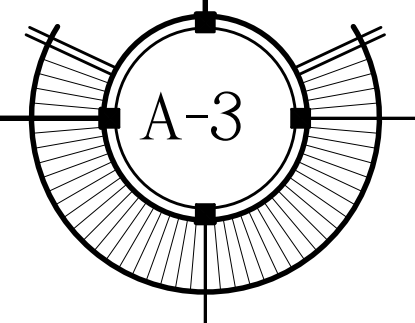
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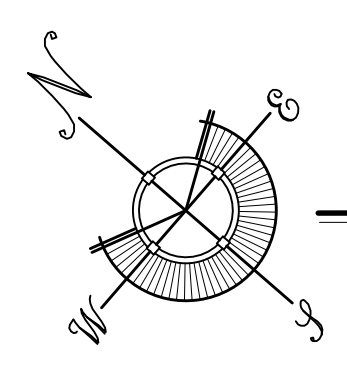
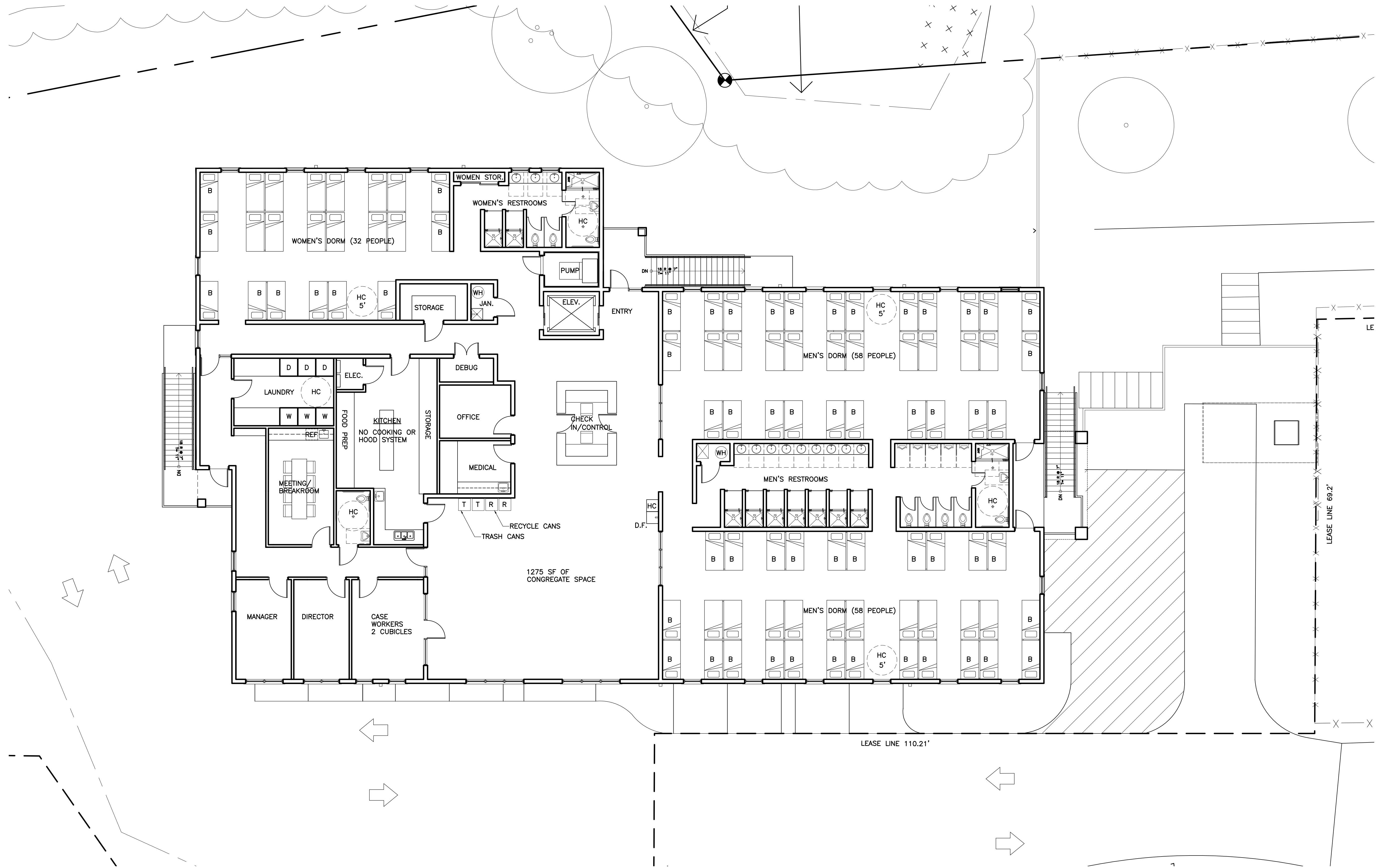


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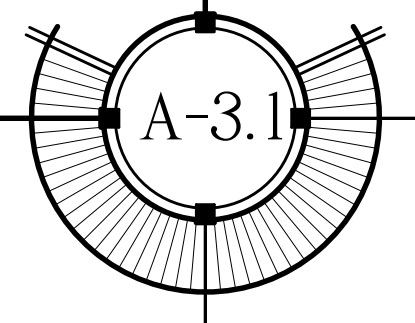
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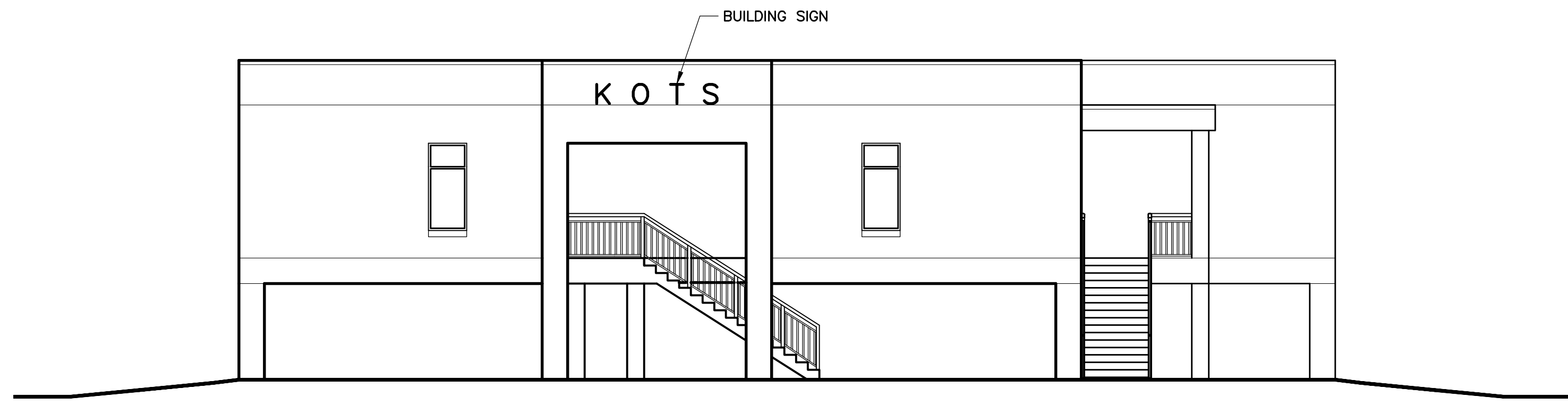


PROPOSED KOTS PLAN

SCALE: 1/8"=1'-0"

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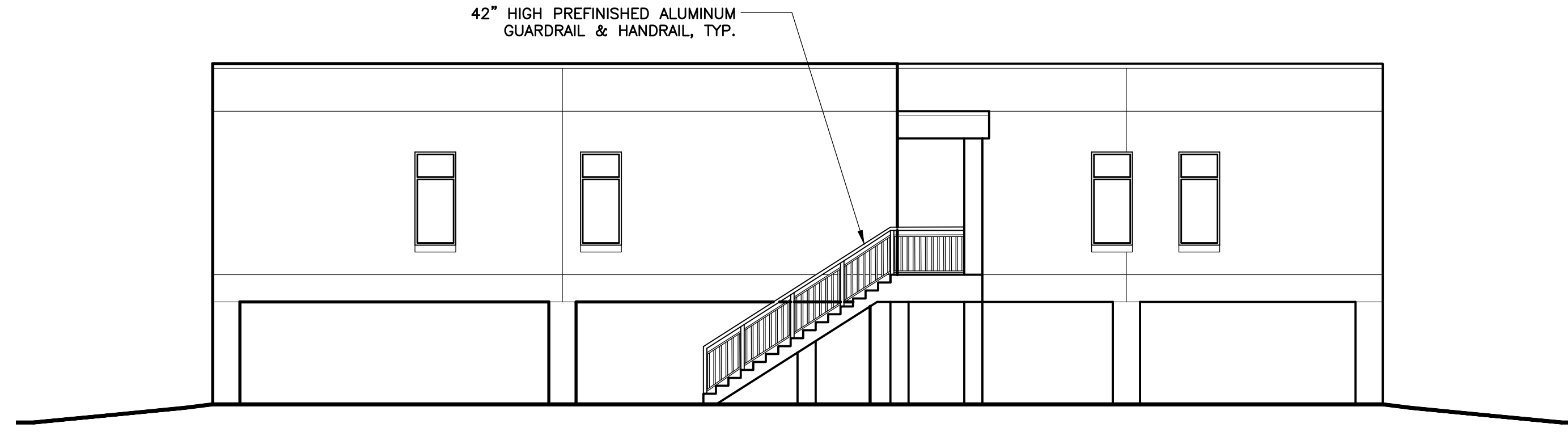




1
A-4

PROPOSED FRONT ELEVATION

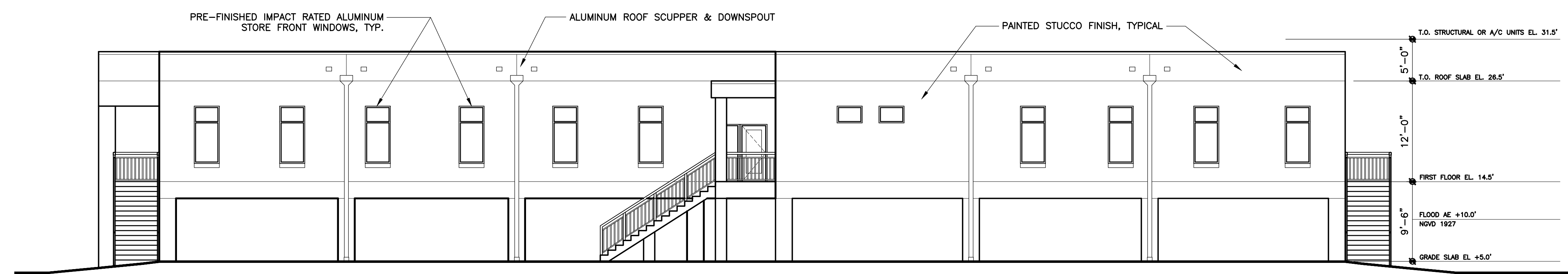
SCALE: 1/8"=1'-0"



2
A-4

PROPOSED REAR ELEVATION

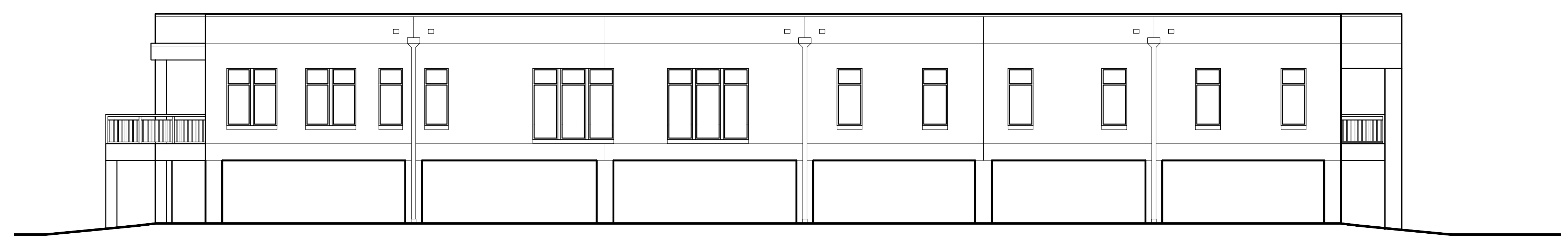
SCALE: 1/8"=1'-0"



3
A-4

PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



4
A-4

PROPOSED LEFT SIDE ELEVATION

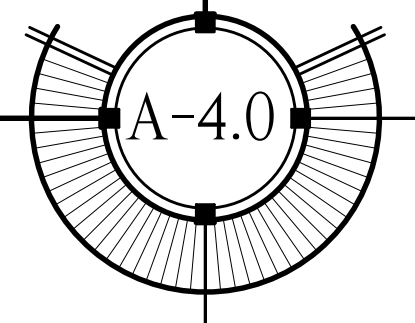
SCALE: 1/8"=1'-0"

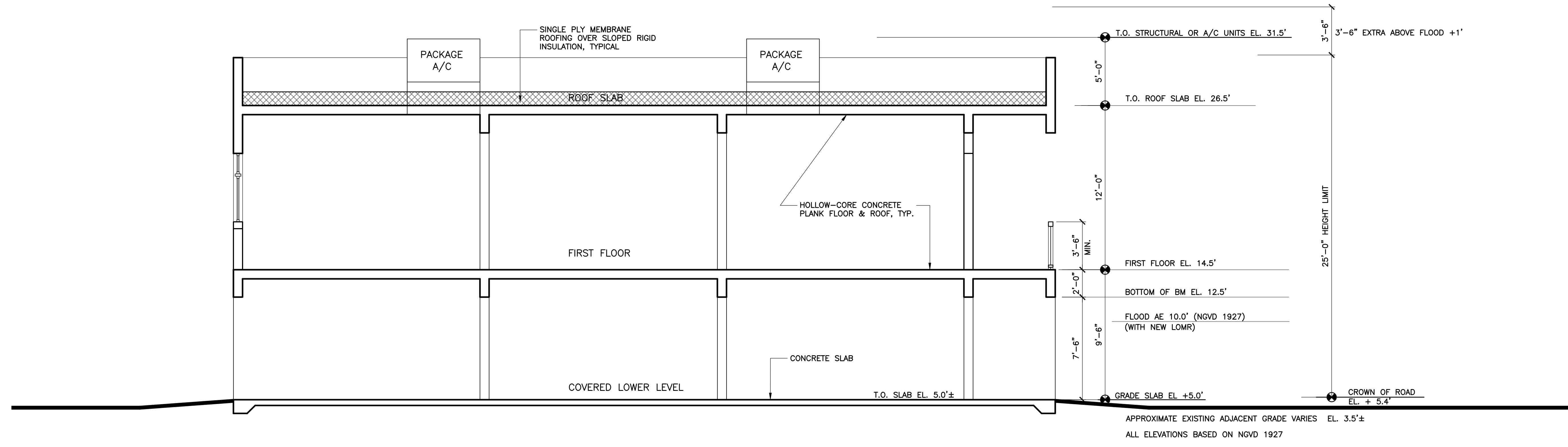
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SCHEMATIC BUILDING SECTION

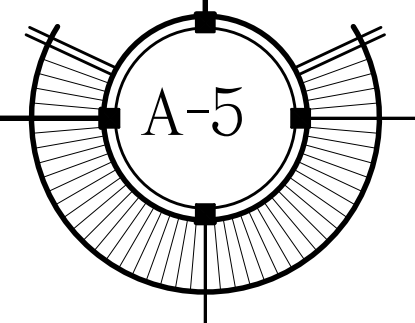
SCALE: 1/4"=1'-0"

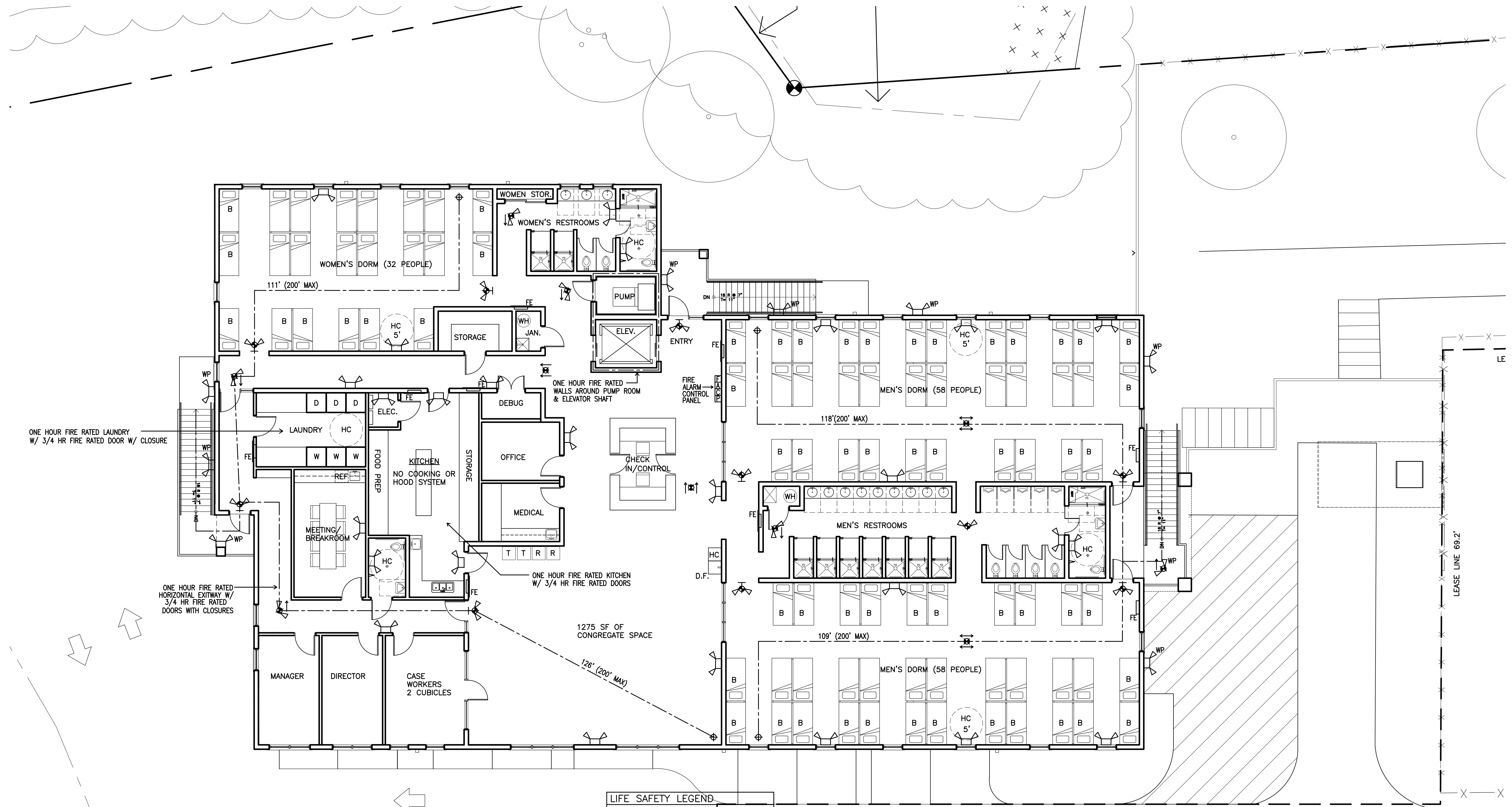
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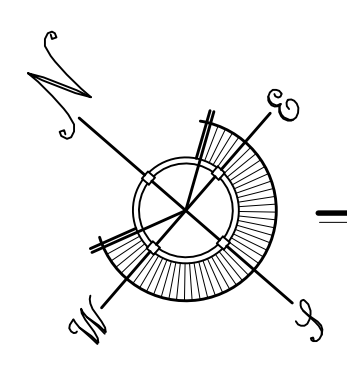




ONE HOUR FIRE RATED LAUNDRY
W/ 3/4 HR FIRE RATED DOOR W/ CLOSURE

ONE HOUR FIRE RATED
HORIZONTAL EXITWAY W/
3/4 HR FIRE RATED
DOORS WITH CLOSURES

1275 SF OF
CONGREGATE SPACE



PROPOSED LIFE SAFETY 1ST FLOOR PLAN

SCALE: 1/8"=1'-0"

LIFE SAFETY LEGEND

	EXIT LIGHT
	COMBO EXIT LIGHT AND EMERGENCY LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	STROBE
	FIRE EXTINGUISHER & CABINET (SEMI-RECESSED)
	FIRE EXTINGUISHER (NON-RECESSED)
	EMERGENCY LIGHT
	FIRE ALARM HORN/STROBE
	FIRE ALARM PULL STATION
	HEAT DETECTORS

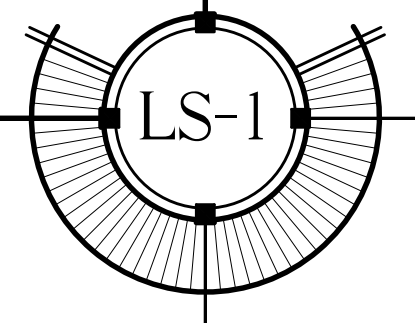
FIRE SPRINKLER SYSTEM
CONTRACTOR TO PROVIDE SHOP DRAWINGS SIGNED & SEALED BY A FLORIDA REGISTERED ENGINEER FOR A COMPLETE FIRE SPRINKLER SYSTEM TO CODE INCLUDING THE FIRE ALARM SYSTEM FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT.

SEAL

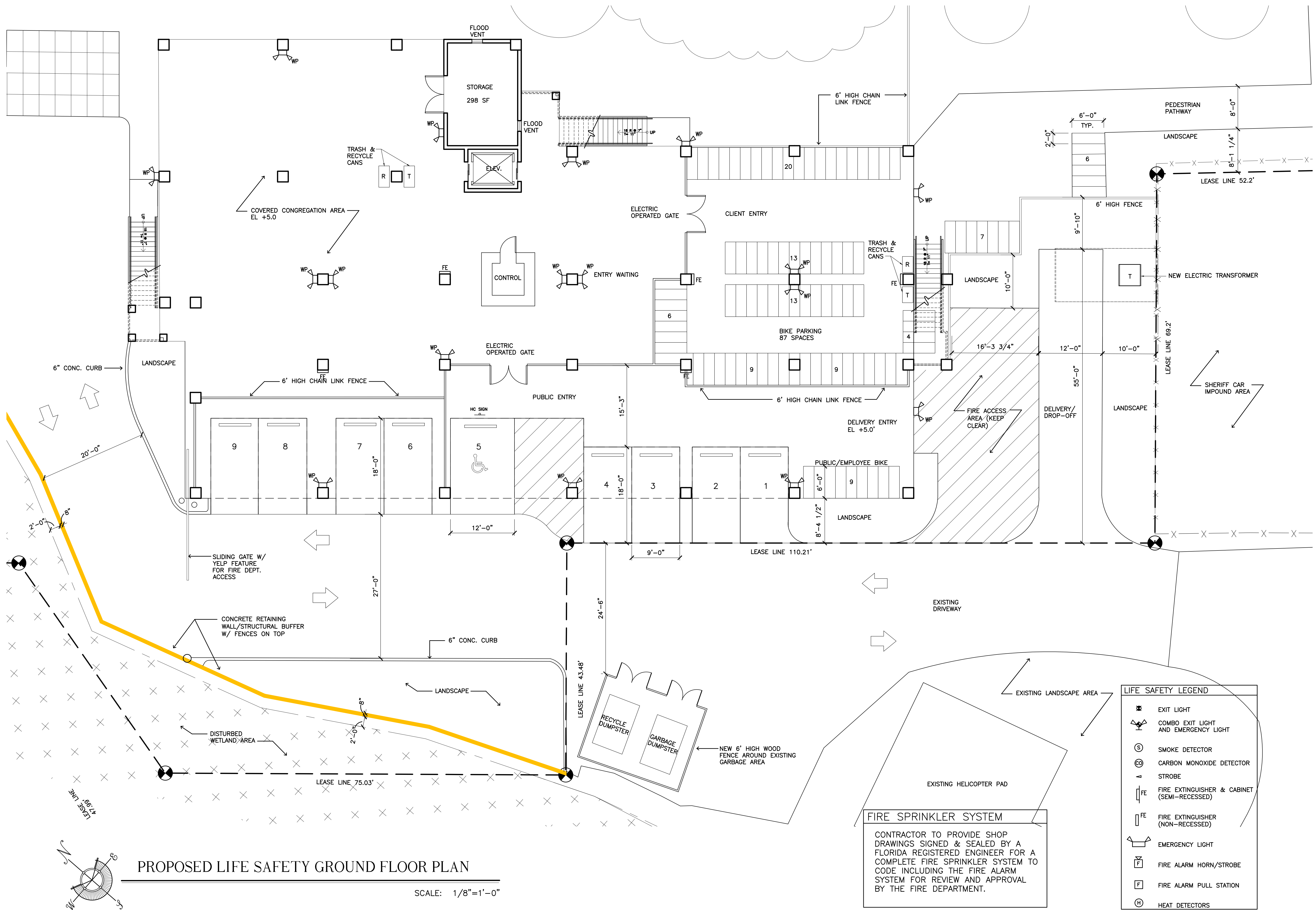
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PROPOSED LIFE SAFETY GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"

LIFE SAFETY LEGEND	
	EXIT LIGHT
	COMBO EXIT LIGHT AND EMERGENCY LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	STROBE
	FIRE EXTINGUISHER & CABINET (SEMI-RECESSED)
	FIRE EXTINGUISHER (NON-RECESSED)
	EMERGENCY LIGHT
	FIRE ALARM HORN/STROBE
	FIRE ALARM PULL STATION
	HEAT DETECTORS

FIRE SPRINKLER SYSTEM
 CONTRACTOR TO PROVIDE SHOP DRAWINGS SIGNED & SEALED BY A FLORIDA REGISTERED ENGINEER FOR A COMPLETE FIRE SPRINKLER SYSTEM TO CODE INCLUDING THE FIRE ALARM SYSTEM FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT.

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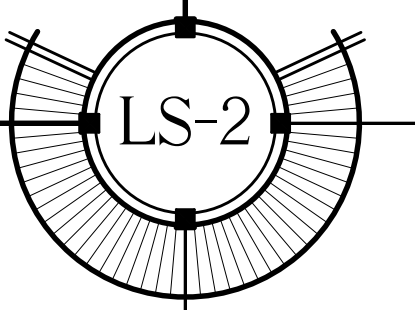
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	CRITERIA	SPECIAL REQUIREMENTS/ COMPLIANCE	STATUS	FBC 2020 REFERENCE
A	USE AND OCCUPANCY			CHAPTER 3
	R-1 CONGREGATE LIVING TRANSIENT			310.3
B	GENERAL BUILDING HEIGHTS/ AREAS/ CONSTRUCTION			CHAPTERS 4-6
	OCCUPANCY R-1	REQUIRED AUTOMIC FIRE SPRINKLER SYSTEM REIURED SMOKE AND FIRE ALARM SYSTEMS		420.1-420.5 TABLE 601 602.2
	CONSTRUCTION TYPE: IIB= R-1			
	BUILDING HEIGHT: (TYPE IIB) (SPRINKLERED) R-1 = 75'-0" MAX	BUILDING HEIGHT = 26'-6"	OK	TABLE 504.3a
	BUIDLING STORIES: (TYPE IIB) (SPRINKLERED) R-1 = 5 STORY MAX	BUILDING STORIES = 2 STORIES	OK	TABLE 504.4
	BUILDING AREA: (TYPE IIB) (SPRINKLERED) R-1 = 64,000 SF	BUILDING AREA: LOWER LEVEL: ENCLOSED = 384 SQFT COVERED = 10,208 SQFT UPPER LEVEL: ENCLOSED = 10,422 SQFT COVERED = 310 SQFT	OK	TABLE 506.2
C	SEPARATION REQUIREMENTS FOR DIFFERENT OCCYPANCY TYPES			CHAPTERS 4 & 5
		BUILDING IS ONE OCCUPANCY NO SEPARATION IS REQUIRED		
D	FIRE RESISTANT RATINGS FOR BUILDING ELEMENTS			CHAPTERS 6 & 7
	STRUCTURAL FRAME: IIB = R-1	0HRS	OK	TABLE 601
	BEARING WALLS			
	EXTERIOR: IIB = R-1	0 HRS	OK	TABLE 601
	INTERIOR: IIB = R-1	0 HRS	OK	TABLE 601
	NON-BEARING INTERIOR FLOOR CONSTRUCTION: IIB = R-1	0HRS 0 HRS	OK OK	TABLE 601 TABLE 601
	ROOF/CEILING CONSTRUCTION: IIB = R-1	0 HR	OK	TABLE 601
	SHAFT CONSTRUCTION:		OK	713.4
	INTERIOR EGRESS STAIRS	1 STORY ELEVATED = 1HR		
	ELEVATOR SHAFT ENCLOSURE	1 STORY ELEVATED = 1HR		
	OPENINGS IN EXTERIOR WALLS	25' - 30' SEPARATION = NO LIMIT	OK	TABLE 705.8
	FIRE RESISTANT RATINGS FOR EXTERIOR WALLS BASED ON FIRE SEPERATION DISTANCE			
	X < 5'-0"	N/A		
	5'-0" ≤ X < 10'-0"	N/A		TABLE 602
	10'-0" ≤ X < 30'-0"	TYPE IIB = 0HRS REQUIRED	OK	
	X ≥ 30'-0"	TYPE IIB = 0HRS REQUIRED	OK	
E	MEANS OF EGRESS			CHAPTER 10
	OCCUPANT LOAD:			
	DORMITORIES- 50 SQFT/PERSON	UPPER LEVEL ENCLOSED SF = 10,422 / 50 SQFT PER PERSON = 208.44 OCCUPANTS MAX.		TABLE 1004.5
	TOTAL	208 OCCUPANTS		
	EGRESS COMPONENT WIDTH	MIN. 0.2" PER OCCUPANT = 40" MIN.		1005.3.2
	TOTAL EXITS	2 EXIT REQUIRED MIN. 3 PROVIDED	OK	TABLE 1006.3.2
	DOOR CLEAR WIDTH	REQUIRED MIN 32" 36" PROVIDED	OK	1010.1.1
	MINIMUM CORRIDOR WIDTH	REQUIRED MIN 44" 60" PROVIDED		TABLE 1020.2
	COMMON PATH:	R-1 = 75'-0" MAX ACTUAL: 15'-0"		TABLE 1006.2.1
	EXIT EGRESS TRAVEL DISTANCE	SEE LIFE SAFETY PLAN FOR ALL DISTANCES R-1 SPRINKLERED 200'-0" MAX GREATEST ACTUAL: 126'-0"		TABLE 1017.2

FIRE SPRINKLER SYSTEM

CONTRACTOR TO PROVIDE SHOP DRAWINGS SIGNED & SEALED BY A FLORIDA REGISTERED ENGINEER FOR A COMPLETE FIRE SPRINKLER SYSTEM TO CODE INCLUDING THE FIRE ALARM SYSTEM FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT.

SEAL

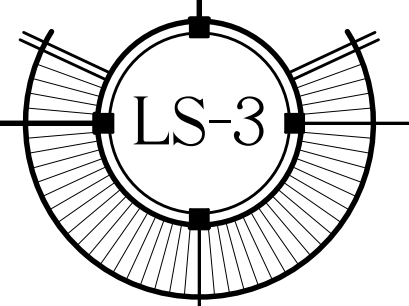
DATE

11-04-2021 D.R.C.
11-30-2021 REV Δ
12-09-2021 D.R.C.
02-11-2022 PL. BD.

REVISIONS

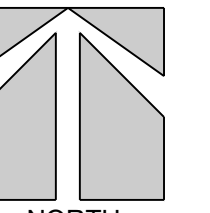
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JFS
CAB
PROJECT
NUMBER
2023



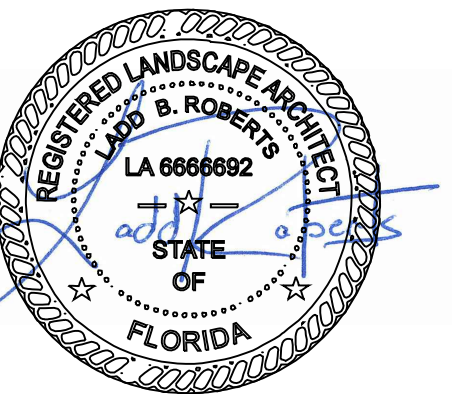
KEYS OVERNIGHT TEMPORARY HOUSING

5517 COLLEGE ROAD
STOCK ISLAND, FL 33040



NORTH

SCALE: 1" = 20'



APPROVAL DOCUMENTS

EXISTING VEGETATION

DATE: 1.14.22

REVISIONS:

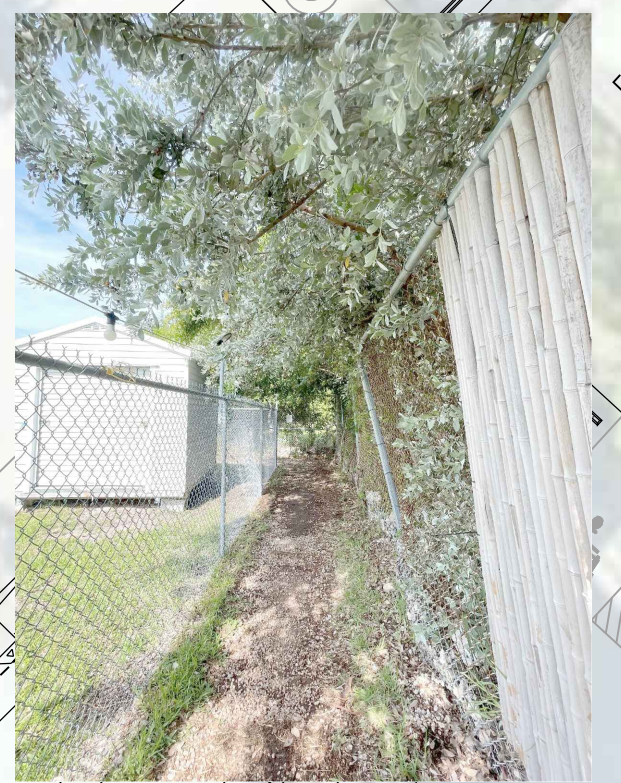
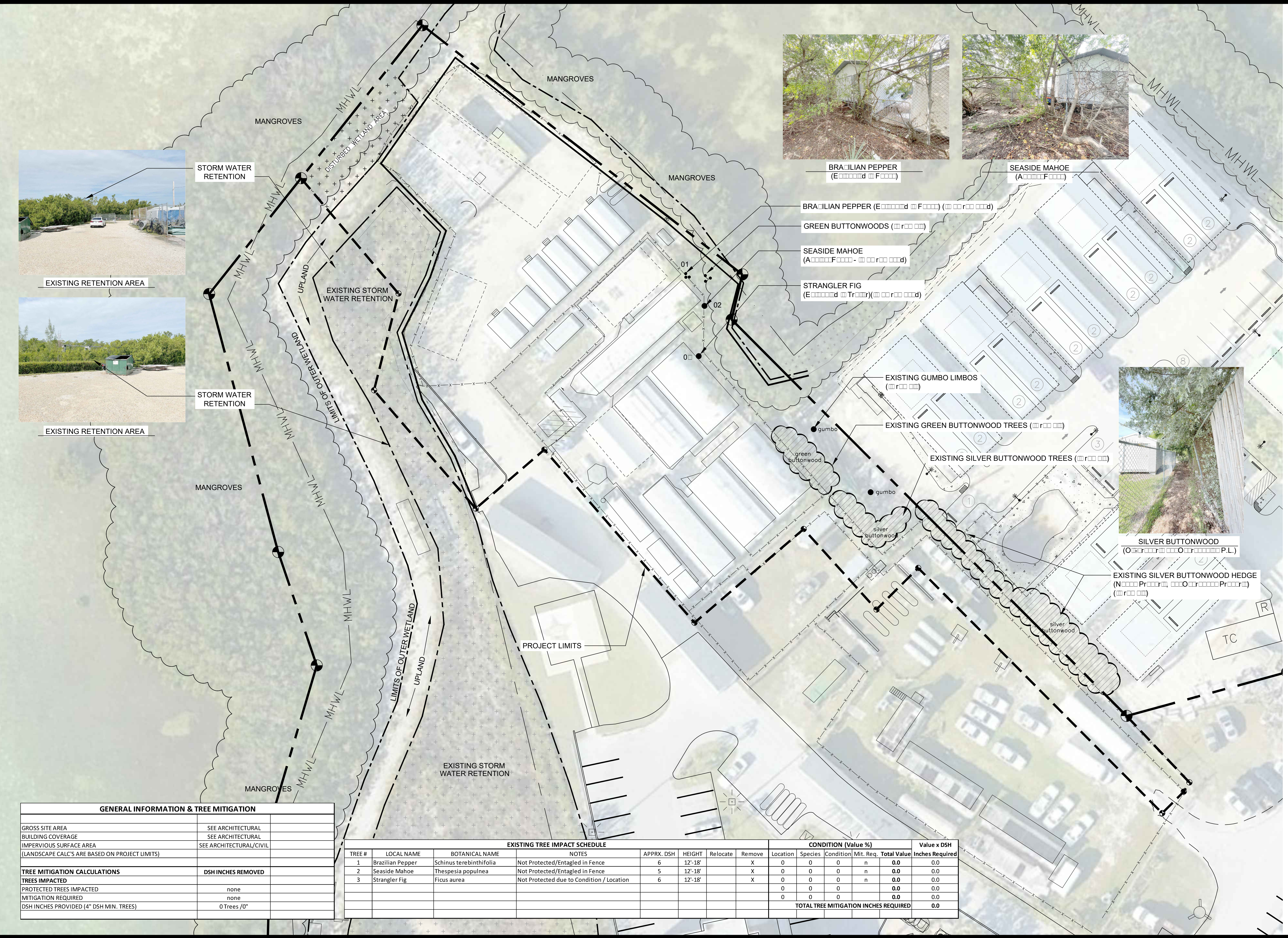
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SHEET NUMBER:

L-1

JOB #: 20005 DRAWN BY: LBR

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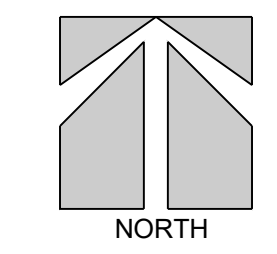


GENERAL INFORMATION & TREE MITIGATION	
GROSS SITE AREA	SEE ARCHITECTURAL
BUILDING COVERAGE	SEE ARCHITECTURAL
IMPERVIOUS SURFACE AREA (LANDSCAPE CALC'S ARE BASED ON PROJECT LIMITS)	SEE ARCHITECTURAL/CIVIL
TREE MITIGATION CALCULATIONS	DSH INCHES REMOVED
TREES IMPACTED	
PROTECTED TREES IMPACTED	none
MITIGATION REQUIRED	none
DSH INCHES PROVIDED (4" DSH MIN. TREES)	0 Trees / 0"

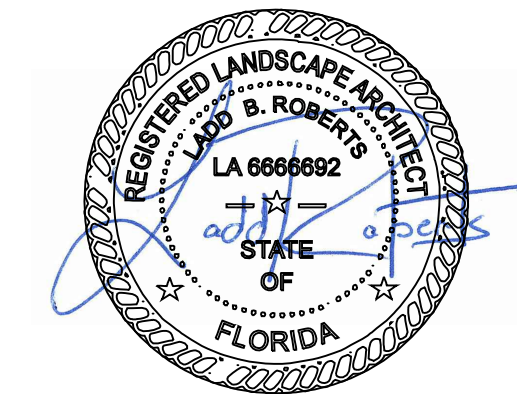
EXISTING TREE IMPACT SCHEDULE													
TREE #	LOCAL NAME	BOTANICAL NAME	NOTES	APPRX. DSH	HEIGHT	Relocate	Remove	CONDITION (Value %)			Value x DSH		
								Location	Species	Condition		Mit. Req.	Total Value
1	Brazilian Pepper	Schinus terebinthifolia	Not Protected/Entangled in Fence	6	12'-18'		X	0	0	0	n	0.0	0.0
2	Seaside Mahoe	Thespesia populnea	Not Protected/Entangled in Fence	5	12'-18'		X	0	0	0	n	0.0	0.0
3	Strangler Fig	Ficus aurea	Not Protected due to Condition / Location	6	12'-18'		X	0	0	0	n	0.0	0.0
								0	0	0	0	0.0	0.0
TOTAL TREE MITIGATION INCHES REQUIRED											0.0		

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**KEYS
OVERNIGHT
TEMPORARY
HOUSING**
557 COLLEGE ROAD
STOCK ISLAND, FL 34974



SCALE: 1" = 20'



APPROVAL DOCUMENTS

LANDSCAPE PLAN (CONCEPTUAL)

DATE: 1.14.22

REVISIONS:

No.	Description	Date
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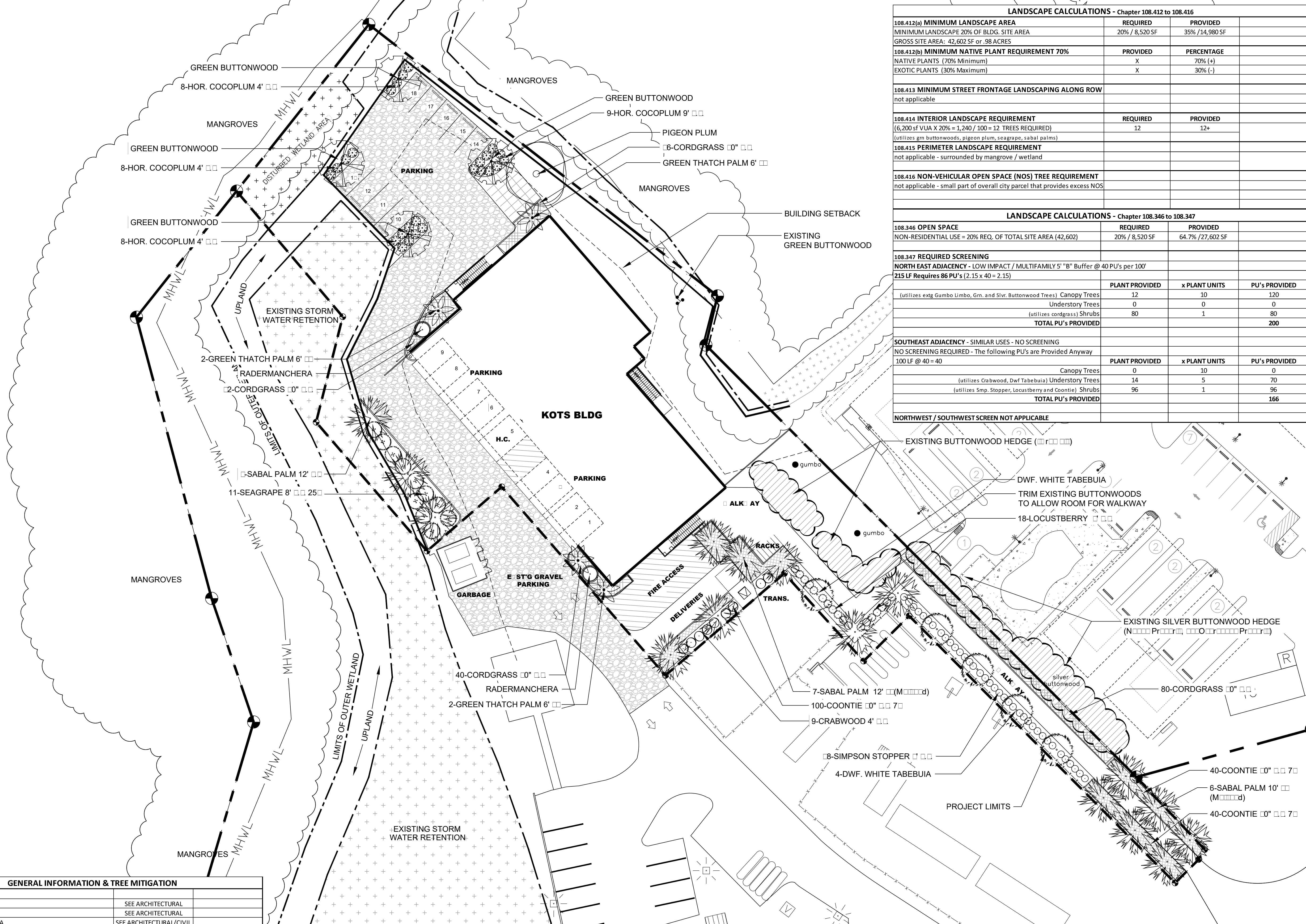
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L-2

JOB #: 20005 DRAWN BY: LBR
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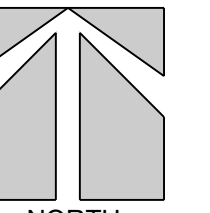
LANDSCAPE CALCULATIONS - Chapter 108.412 to 108.416			
108.412(a) MINIMUM LANDSCAPE AREA	REQUIRED	PROVIDED	
MINIMUM LANDSCAPE 20% OF BLDG. SITE AREA	20% / 8,520 SF	35% / 14,980 SF	
GROSS SITE AREA: 42,602 SF or .98 ACRES			
108.412(b) MINIMUM NATIVE PLANT REQUIREMENT 70%	PROVIDED	PERCENTAGE	
NATIVE PLANTS (70% Minimum)	X	70% (+)	
EXOTIC PLANTS (30% Maximum)	X	30% (-)	
108.413 MINIMUM STREET FRONTAGE LANDSCAPING ALONG ROW			
not applicable			
108.414 INTERIOR LANDSCAPE REQUIREMENT	REQUIRED	PROVIDED	
(6,200 sf VUA X 20% = 1,240 / 100 = 12 TREES REQUIRED)	12	12+	
(utilizes gm buttonwoods, pigeon plum, seagrape, sabal palms)			
108.415 PERIMETER LANDSCAPE REQUIREMENT			
not applicable - surrounded by mangrove / wetland			
108.416 NON-VEHICULAR OPEN SPACE (NOS) TREE REQUIREMENT			
not applicable - small part of overall city parcel that provides excess NOS			
LANDSCAPE CALCULATIONS - Chapter 108.346 to 108.347			
108.346 OPEN SPACE	REQUIRED	PROVIDED	
NON-RESIDENTIAL USE = 20% REQ. OF TOTAL SITE AREA (42,602)	20% / 8,520 SF	64.7% / 27,602 SF	
108.347 REQUIRED SCREENING			
NORTH EAST ADJACENCY - LOW IMPACT / MULTIFAMILY 5' "B" Buffer @ 40 PU's per 100'			
215 LF Requires 86 PU's (2.15 x 40 = 2.15)			
	PLANT PROVIDED	x PLANT UNITS	PU's PROVIDED
(utilizes extg Gumbo Limbo, Gm. and Slvr. Buttonwood Trees)	Canopy Trees	12	10
	Understory Trees	0	0
	(utilizes cordgrass) Shrubs	80	1
	TOTAL PU's PROVIDED		200
SOUTHEAST ADJACENCY - SIMILAR USES - NO SCREENING			
NO SCREENING REQUIRED - The following PU's are Provided Anyway			
100 LF @ 40 = 40			
	PLANT PROVIDED	x PLANT UNITS	PU's PROVIDED
	Canopy Trees	0	10
	(utilizes Crabwood, Dwf Tabebuia) Understory Trees	14	5
	(utilizes Smp. Stopper, Locustberry and Coontie) Shrubs	96	1
	TOTAL PU's PROVIDED		166
NORTHWEST / SOUTHWEST SCREEN NOT APPLICABLE			

GENERAL INFORMATION & TREE MITIGATION	
GROSS SITE AREA	SEE ARCHITECTURAL
BUILDING COVERAGE	SEE ARCHITECTURAL
IMPERVIOUS SURFACE AREA	SEE ARCHITECTURAL/CIVIL
(LANDSCAPE CALC'S ARE BASED ON PROJECT LIMITS)	
TREE MITIGATION CALCULATIONS	DSH INCHES REMOVED
TREES IMPACTED	
PROTECTED TREES IMPACTED	none
MITIGATION REQUIRED	none
DSH INCHES PROVIDED (4" DSH MIN. TREES)	0 Trees / 0"

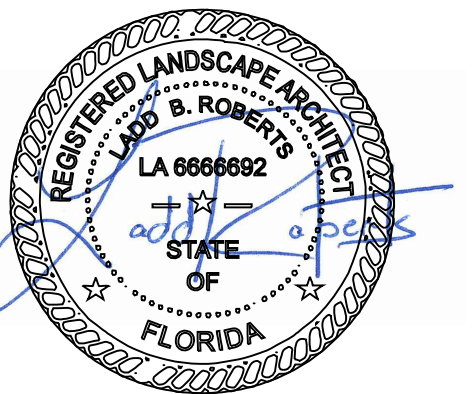


KEYS OVERNIGHT TEMPORARY HOUSING

557 COLLEGE ROAD
STOCK ISLAND, FL 33040



SCALE: 1" = 20'



APPROVAL DOCUMENTS

LANDSCAPE SCHEDULE & DETAILS

DATE: 1.14.22

REVISIONS:

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SHEET NUMBER:

L-3

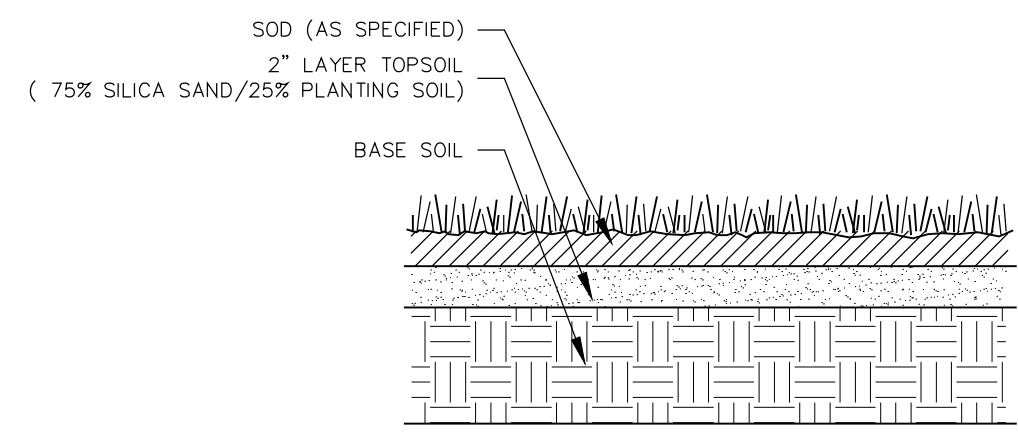
JOB #: 20005 DRAWN BY: LBR

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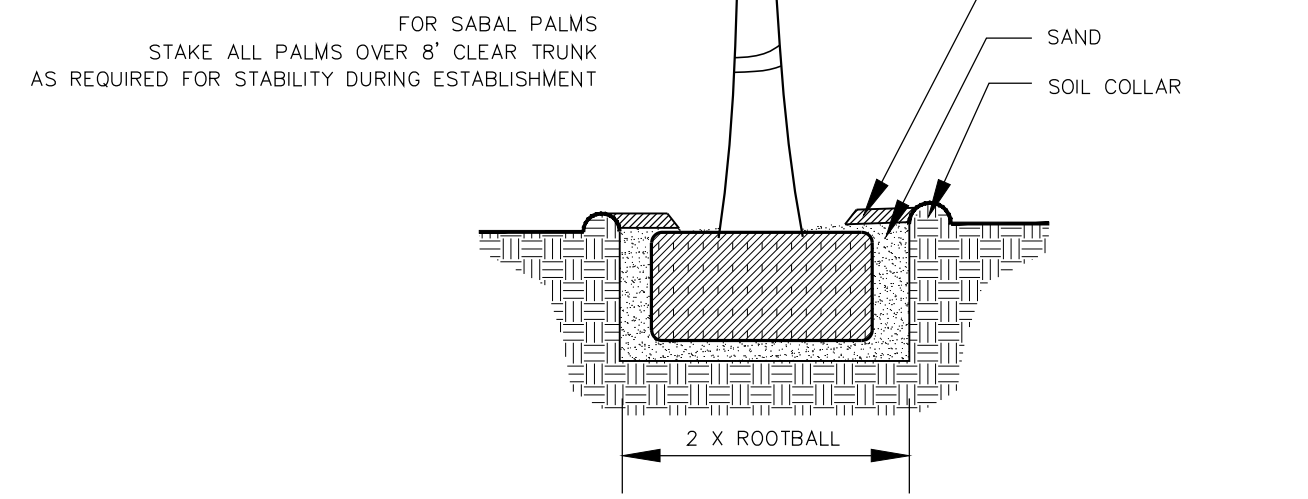
19 8 SAN MARCO BLVD. SUITE 101 JACKSONVILLE, FL 32207 904.421.1134

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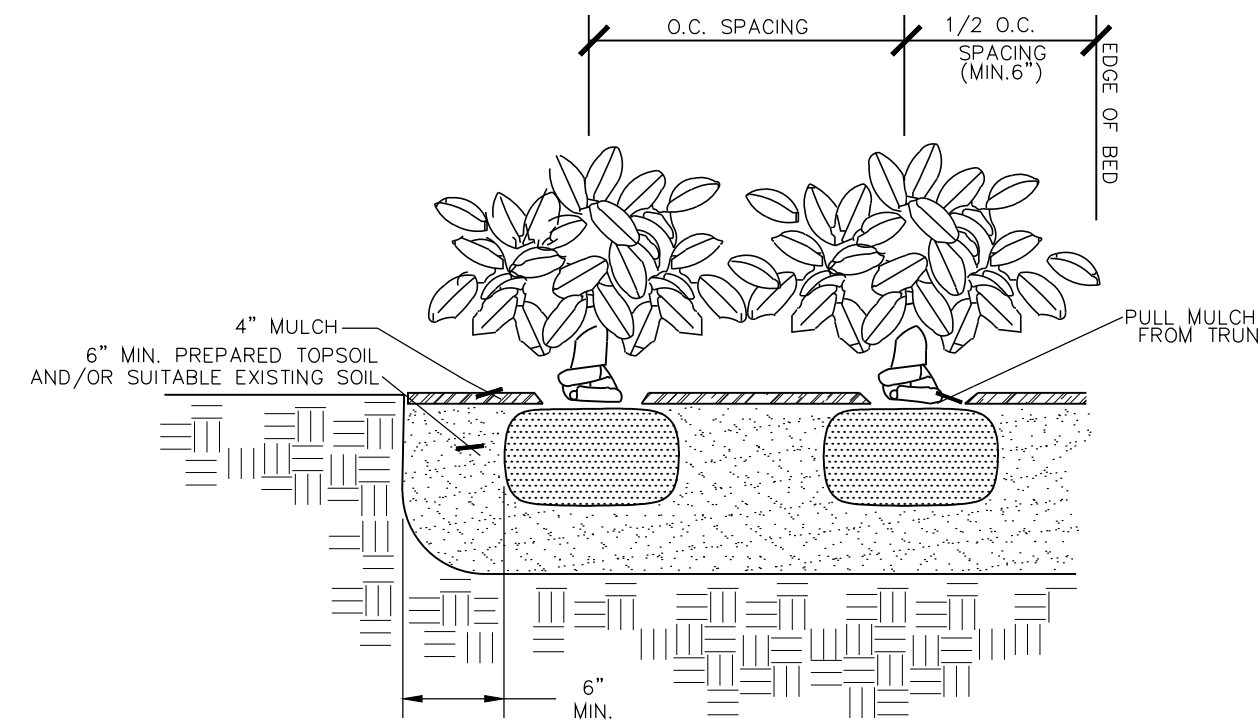


SODDING DETAIL

ALL AREAS TO BE SODDED TO RECEIVE 2" TOP LAYER OF SILICA SAND (75%) /PLANTING SOIL (25%) AS INDICATED.

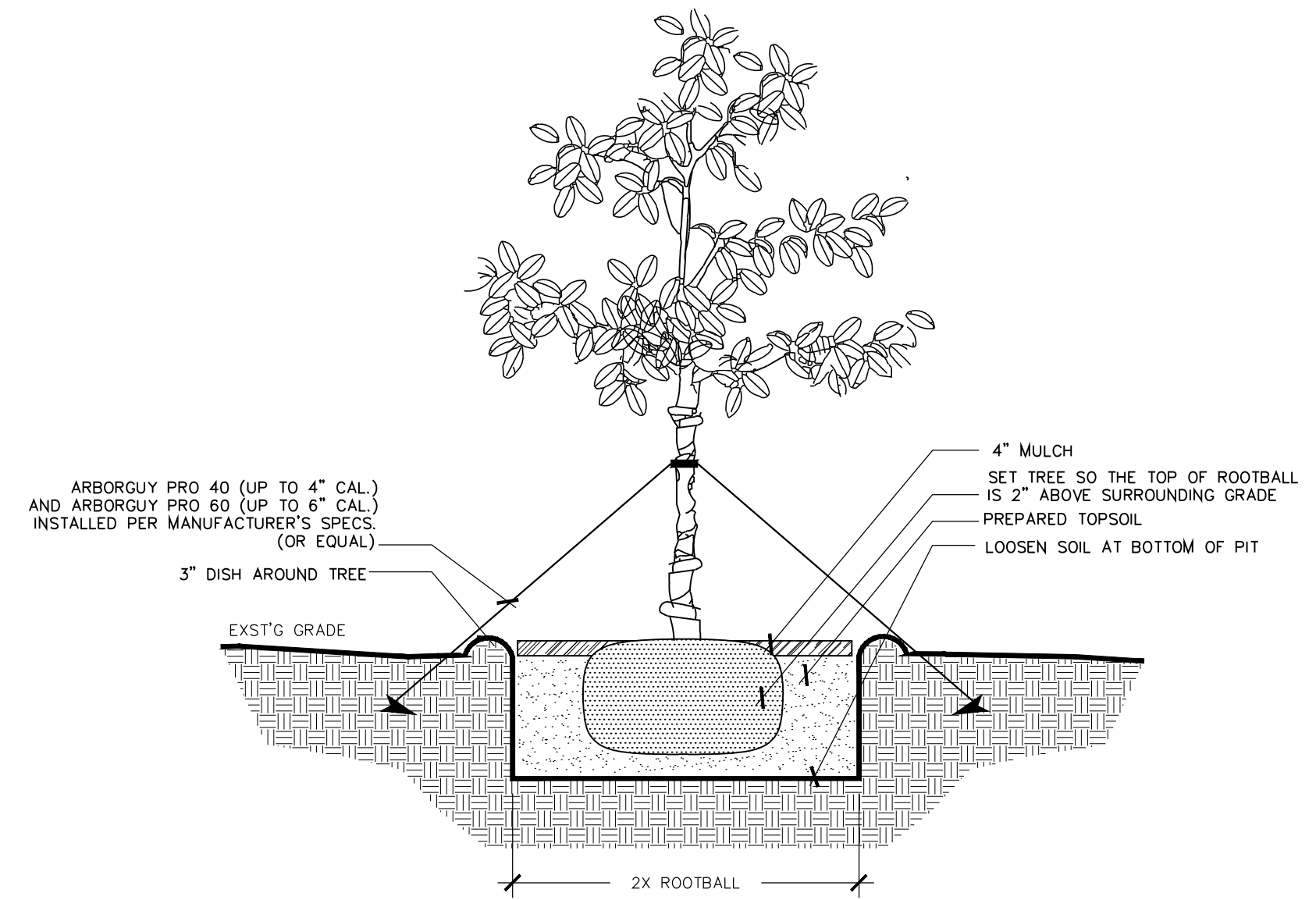


PALM PLANTING DETAIL



SHRUB PLANTING DETAIL

ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



TREE PLANTING DETAIL

ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

THE ROOTBALL OF THE TREE SHOULD BE POSITIONED IN THE HOLE SO THAT THE FINISH GRADE OF THE BACKFILL SOIL AND LANDSCAPE SOIL IS 2" LOWER THAN THE TOP OF THE ROOTBALL. MULCH SHOULD COVER THE EDGE OF THE ROOTBALL. DO NOT MULCH ON TOP OF ROOTBALL.

GENERAL NOTES:

100% OF THE PLANT MATERIAL USED TO SATISFY LANDSCAPING REQUIREMENTS SHALL BE NATIVE and IN ACCORDANCE WITH SECTION 114-105.

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGNED IN COMPLIANCE WITH CoKW CODE.

ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF 6" OF PLANTING SOIL AND MULCHED TO A DEPTH OF 4". ALL TREES SHALL BE PROPERLY GUYED OR STAKED AT TIME OF PLANTING.

GENERAL LANDSCAPE NOTES:

- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECT BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
- ALL TREES TO BE STAKED IN A GOOD WORKMAN LIKE MANNER. NO NAIL STAKING PERMITTED.
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND AND PLANTING MIX. ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND AND PLANTING MIX.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. ALL PALMS ARE TO GUARANTEED FOR ONE YEAR.
- ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
- ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. TYPE AND AMOUNT OF FERTILIZER IS UP TO DISCRETION OF LANDSCAPE CONTRACTOR IN ORDER TO AVOID "BURN" ON PLANTS THAT MAY ALREADY CONTAIN FERTILIZER FROM NURSERY AND ENSURE PROPER ESTABLISHMENT TO MAINTAIN CONTRACTORS WARRANTY.
- PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.
- NO CHANGE SHALL BE MADE WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH GENERAL CONTRACTOR, IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
- ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED.
- ALL TREES TO BE RELOCATED WILL BE ROOT PRUNED 30 DAYS MINIMUM (OR MORE IF REQUIRED BY SPECIES). UPON RELOCATION, TRIM OUT 30% OF THE RELOCATED TREES' CANOPY.
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH WASHED BEACH SAND, AND SOD DISTURBED AREA, IF REQUIRED.
- ALL TREES ON SOD AREA SHALL RECEIVE A MULCH RING 2" IN DIAMETER TYPICAL.
- ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
- ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
- LANDSCAPE CONTRACTOR TO BE COUNTY OR CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

END

IRRIGATION NOTES:

- ALL MAJOR PALMS TO HAVE TWO BUBBLERS ON OPPOSING SIDES OF ROOT BALL. BUBBLERS TO BE HIDDEN FROM VIEW.
- IRRIGATION CONTRACTOR TO COORDINATE LOCATION OF MAIN LINES WITH LANDSCAPE CONTRACTOR PRIOR TO IMPLEMENTATION. AVOID ROOT BALLS OF TREES AND LARGE PLANT MATERIALS. REFER TO LANDSCAPE DRAWINGS.
- ALL PIPE TO BE PVC SCHEDULE 40, 8" MINIMUM COVER.
- ALL HEADS INSTALLED ON FLEXIBLE PVC PIPE AND FITTINGS.
- PRESSURIZED BACKFLOW, RAIN SWITCH, AND MULTI-PROGRAMMABLE CONTROLLER WITH BATTERY BACKUP REQUIRED.
- ALL CROSSINGS UNDER PERMANENT CONCRETE TO BE SLEEVED TWO TIMES THE SPRINKLER PIPE SIZE WITH SCHEDULE 40 PVC.
- ALL VALVES TO HAVE FLOW CONTROL AND BE INSTALLED IN GREEN VALVE BOXES WITH ROOM TO WORK IN FUTURE.
- ALL VALVE BOXES TO BE LOCATED AWAY FROM WALKWAYS, GARDEN PATHS, AND GROUNDCOVERS - KEEP TO BACK OF BEDS.
- ALL SPRINKLERS TO BE COMMERCIAL GRADE TORO 570 SERIES 4" AND 12" AND INSTALLED OUT OF SIGHT.

TREE BRACING NOTES:

2' AND LARGER CALIPER TREES BRACED BY GUYING:

- CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE
- CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
- SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
- PLACE THE HOSE AROUND THE TRUNK, JUST ABOVE THE LOWEST BRANCH.
- THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
- TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE
- PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE, TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
- THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
- FLAG THE GUY WIRES WITH SURVEYORS FLAGGING OR APPROVED EQUAL FOR SAFETY.
- GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.

SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:

- CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT) 2"x4", 4"x4").
- WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/2 OF THE DISTANCE FROM GROUND TO THE CLEAR TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
- SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12"-16")
- USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
- PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
- PLACE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRIPS. **DO NOT NAIL INTO TREE.**
- WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKES. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. **NOTE: ON STRAIGHT TREES OR PALMS, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM OR TREE.**
- CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. **DO NOT PENETRATE TREE OR PALM WITH NAILS.**
- IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARED LABELED WITH THE STATEMENT 'DO NOT REMOVE'.**
- PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

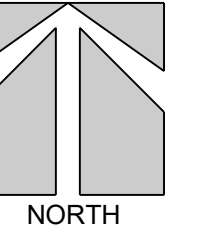
END

- IRRIGATION CONTRACTOR TO MEASURE WATER AVAILABLE ON-SITE AND USE NO MORE THAN 75% OF AVAILABLE GPM.
- WATER CONNECTION TO THE HOUSE, INCLUDING SHUT-OFF VALVES, SHALL NOT BE ALTERED BY PRESSURIZED BACKFLOW.
- ALL WIRE SPICES TO BE IN VALVE BOXES AND CLEARLY LABELED AT BACK OF TIME CLOCK. ALL WIRE SPICES TO BE INSTALLED WITH WATER PROOF CONNECTIONS.
- 2 SPARE WIRES TO BE RUN TO THE LAST VALVE IN EACH DIRECTION.
- CONTROLLER TO BE HARD-WIRED AT TIME OF COMPLETION AND INCLUDED IN IRRIGATION CONTRACTORS BID.
- SYSTEM TO PROVIDE 100% CONTROLLED COVERAGE ON COMPLETION. ADDITIONS/MODIFICATIONS FROM IRRIGATION PLAN MAY BE NECESSARY.
- IRRIGATION CONTRACTOR TO BE COUNTY AND CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AND AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.
- AS-BUILT IRRIGATION DRAWING TO BE PROVIDED PRIOR TO FINAL PAYMENT.**

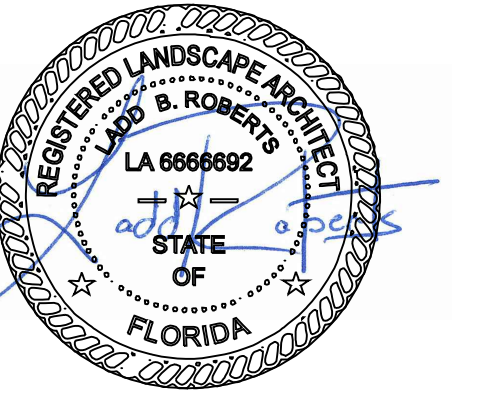
END

PLANT SCHEDULE - KOTS - Keys Overnight Temporary Shelter							
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE	MIT. RATIO	MIT. CREDIT
TREES							
Canopy							
1	PIGEON PLUM	<i>Coccoloba diversifolia</i>	3" cal., 12'-14' ph	FL #1	NATIVE	1:1	3
4	GREEN BUTTONWOOD	<i>Conocarpus erectus</i>	3" CAL., 10'-12' ph	FL #1	NATIVE	1:1	12
Understory							
11	SEAGRAPE	<i>Coccoloba uvifera</i>	3" cal., 25g, multi, min. 6'-8' ph, 4'-5' sprd., full to grnd.	FL #1	NATIVE	1:1	33
5	DWF. WHITE TABEBUIA	<i>Tabebuia bahamensis</i>	2"-3" cal., 10'-12' ph, 4'-6' sprd.,	FL #1	NATIVE	1:1	10
12	CRABWOOD	<i>Gymnanthes lucida</i>	2" cal., 6'-8' ph, 4' o.c.	FL #1	NATIVE	1:1	24
						Total Tree Inches	67
PALMS							
16	SABAL PALM	<i>Sabal palmetto</i>	(6) 10' ct, (9) 12' ct, regens, slick-skinny	FL #1	NATIVE		
4	GREEN THATCH PALM	<i>Thrinax radiata</i>	6' c.t., full Canopy	FL #1	NATIVE		
SHRUBS and GROUNDCOVERS							
18	LOCUSTBERRY	<i>Brysonima lucida</i>	3 gal., full	FL #1	NATIVE		
2	RADERMACHERA	<i>radermachera kunning</i>	7 gal., full	FL #1			
33	HORIZONTAL COCOPLUM	<i>Chrysobalanus icaco 'horizontal'</i>	3 gal., full	FL #1	NATIVE		
38	SIMPSON STOPPER	<i>Myrcianthes fragrans</i>	7 gal., 36" hgt, 18-24" sprd	FL #1	NATIVE	1:1	76
180	COONTIE	<i>Zamia pumilla</i>	7 gal., 24"-30" sprd./hgt.	FL #1	NATIVE		
188	CORDGRASS	<i>Spartina bakerii</i>	3 gal., full	FL #1	NATIVE		
SOD & SUNDRY ITEMS							
0 SF	n/a	CONTRACTOR TO VERIFY QUANTITY		FL#1			
0 LF	SMALL CORAL ROCKS FOR EDGING						
5,900 SF	CYPRESS MULCH	COLOR: NATURAL CYPRESS MULCH.					
0 SF	BLACK MEXICAN RIVER PEBBLES						
0 LF	BLACK ALUMINUM EDGING						

KEYS
OVERNIGHT
TEMPORARY
HOUSING
557 COLLEGE ROAD
STOCK ISLAND, FL 33040



SCALE: 1" = 20'



APPROVAL DOCUMENTS

LANDSCAPE SPECIFICATIONS

DATE: 1.14.22

REVISIONS:

Table with 2 columns: No., Description. Rows 1-6.

SHEET NUMBER:
L-4

JOB #: 20005 DRAWN BY: LBR

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SECTION 02950

TREES, PLANTS AND GROUND COVERS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Establishment of trees, shrubs, and ground covers as indicated.
B. Staked and labeled plants as indicated.
C. Temporary protection of existing trees, shrubs, and ground covers.
D. Prior to installation, staked, labeled, and banded plants as indicated.
E. Watering of plants.

1.02 RELATED SECTIONS

- A. Section 02810-Urban and Suburban Signage
B. Section 02955-Staked

1.03 SUBMITTALS

- A. Color and texture of ground cover.
B. Certificate of origin for plants as indicated.
C. Variety of plants as indicated.
D. Specifications.
E. Manufacturer's literature.
F. Product literature.

1.04 QUALITY ASSURANCE

- A. Landscaping shall be installed in accordance with the specifications.
B. Plants shall be free of insects, diseases, and other plant damage.
C. Plants shall be free of weeds, roots, stumps, rocks larger than 1/2 inch diameter, organic muck, hard pan, toxic substances, etc.
D. Soil shall be tested and analyzed for nutrients.
E. Specifications.
F. All plants shall be Florida #1 or better.
G. Plants shall be free of insects, diseases, and other plant damage.
H. Plants shall be Florida #1 or better.
I. Soil shall be tested and analyzed for nutrients.
J. Landscaping shall be installed in accordance with the specifications.

1.05 DELIVERY, STORAGE AND HANDLING

- A. Plants shall be delivered to the site in accordance with the specifications.
B. Plants shall be stored in accordance with the specifications.
C. Plants shall be handled in accordance with the specifications.
D. Plants shall be installed in accordance with the specifications.
E. Landscaping shall be installed in accordance with the specifications.

1.06 PROJECT REQUIREMENTS

- A. Plants shall be delivered to the site in accordance with the specifications.
B. Plants shall be stored in accordance with the specifications.
C. Plants shall be handled in accordance with the specifications.
D. Plants shall be installed in accordance with the specifications.
E. Landscaping shall be installed in accordance with the specifications.

1.07 WARRANTY

- A. Work shall be guaranteed for a period of one year from the date of completion.
B. Work shall be guaranteed for a period of one year from the date of completion.
C. Root collar rot shall be covered by the manufacturer's warranty.

PART 2 PRODUCTS

2.08 TOPSOIL

- A. Topsoil shall be as specified.
B. Product shall be as specified.
1. Organic Matter: 10%
2. Particle Size: 1/4 inch or smaller

2.09 SOIL AMENDMENTS

- A. L-10: Nitrogen: 85%
B. Product shall be as specified.
C. Product shall be as specified.
D. Product shall be as specified.
E. Product shall be as specified.
F. Soil: 0-10%
G. Organic Soil: 10-20%

2.10 PLANT MATERIALS - GENERAL

- A. Plants shall be as specified.
B. Plants shall be as specified.
C. Plants shall be as specified.
D. Plants shall be as specified.
E. Plants shall be as specified.
F. Plants shall be as specified.
G. Plants shall be as specified.
H. Plants shall be as specified.
I. Plants shall be as specified.

2.11 CONTAINER GROWN STOCK

- A. Plants shall be as specified.
B. Plants shall be as specified.
C. Plants shall be as specified.

2.12 SHRUBS AND SMALL PLANTS

- A. Plants shall be as specified.
B. Plants shall be as specified.
C. Plants shall be as specified.
D. Plants shall be as specified.
E. Plants shall be as specified.
F. Plants shall be as specified.

2.13 FERTILIZER

- A. Fertilizer shall be as specified.
1. Product shall be as specified.
2. Grade shall be as specified.

2.14 MULCH

- A. For Use: 1/4 inch or smaller.

8. Bid and Trade Dressing

- 1. Plants shall be as specified.
2.15 ACCESSORIES
A. Temporary Fencing: 4 feet high, 1/2 inch diameter, 1/2 inch spacing.

8. Plant Material

- B. Product shall be as specified.
C. Water: Fresh water.
D. Staked or Tied Stock: 1/4 inch diameter, 1/2 inch spacing.
E. Ground Wire: 10 or 12 gauge.
F. Temporary Groundcover: 1/2 inch diameter, 1/2 inch spacing.
G. Staked and Girdled: 1/2 inch diameter, 1/2 inch spacing.
H. Existing Container Plants: 1/2 inch diameter, 1/2 inch spacing.
I. Topsoil: 1/4 inch or smaller.
J. Substrate: 1/2 inch diameter, 1/2 inch spacing.
K. Drainage Filter: 1/4 inch diameter, 1/2 inch spacing.
L. Existing Container Plants: 1/2 inch diameter, 1/2 inch spacing.

2.16 ANTI-DESICCANT

- A. Efficacy: 100%.
B. Duration: 10 days.
C. Application: 1/2 inch diameter, 1/2 inch spacing.
D. N/A.

2.17 PLANTING SOIL MIXTURE

- A. Mix: 1/2 inch diameter, 1/2 inch spacing.
B. Add: 1/2 inch diameter, 1/2 inch spacing.
C. For: 1/2 inch diameter, 1/2 inch spacing.
D. For: 1/2 inch diameter, 1/2 inch spacing.
E. For: 1/2 inch diameter, 1/2 inch spacing.

PART 3 EXECUTION

- 3.18 EXAMINATION
A. Efficacy: 100%.

3.19 PREPARATION

- A. Landscaping shall be installed in accordance with the specifications.
B. Plants shall be as specified.
C. Plants shall be as specified.
D. Plants shall be as specified.

3.20 PLANTERS

- A. Plants shall be as specified.
B. Plants shall be as specified.
C. Plants shall be as specified.
D. Plants shall be as specified.
E. Plants shall be as specified.
F. Plants shall be as specified.
G. Plants shall be as specified.
H. Plants shall be as specified.

3.21 EXCAVATION - TREES AND SHRUBS

- A. Efficacy: 100%.

3.22 PLANTING TREES AND SHRUBS

- A. Specifications shall be as specified.
B. Specifications shall be as specified.

- C. Specifications shall be as specified.

- D. Specifications shall be as specified.

- E. Specifications shall be as specified.

- F. Specifications shall be as specified.

- G. Specifications shall be as specified.

- H. Specifications shall be as specified.

- I. Specifications shall be as specified.

- J. Specifications shall be as specified.

- 2.20 PLANTING PALMS
A. Specifications shall be as specified.

- B. Specifications shall be as specified.

- C. Specifications shall be as specified.

2.24 PLANTING GROUND COVER

- A. Specifications shall be as specified.
B. Work shall be as specified.
C. Materials shall be as specified.

2.25 TRANSPLANTING EXISTING TREES, PALMS AND SHRUBS

- A. Root: 1/2 inch diameter.
B. Product: 1/2 inch diameter.
C. Hole: 1/2 inch diameter.
D. Product: 1/2 inch diameter.
E. Product: 1/2 inch diameter.
F. Product: 1/2 inch diameter.
G. Water: 1/2 inch diameter.

2.26 MAINTENANCE

- A. Plants shall be as specified.
B. Materials shall be as specified.
C. Water: 1/2 inch diameter.
D. For: 1/2 inch diameter.

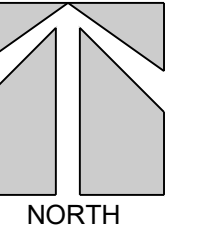
2.27 CLEANING AND PROTECTION

- A. Plants shall be as specified.
B. Plants shall be as specified.
C. Plants shall be as specified.

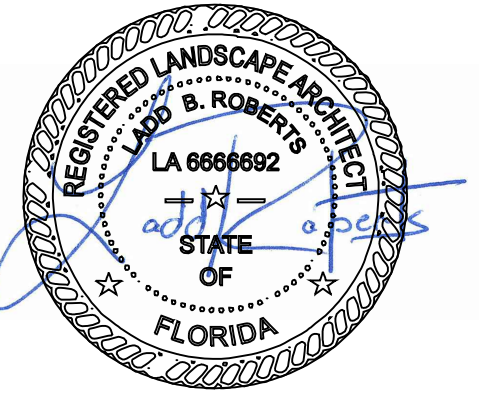
2.28 INSPECTION AND ACCEPTANCE

- A. Work shall be as specified.
B. Landscaping shall be installed in accordance with the specifications.
C. Work shall be as specified.

END OF SECTION



SCALE: 1" = 20'



100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL LANDSCAPE AND TURF AREAS.

AS-BUILT IRRIGATION PLAN SHALL BE PROVIDED TO OWNER AT COMPLETION OF PROJECT.

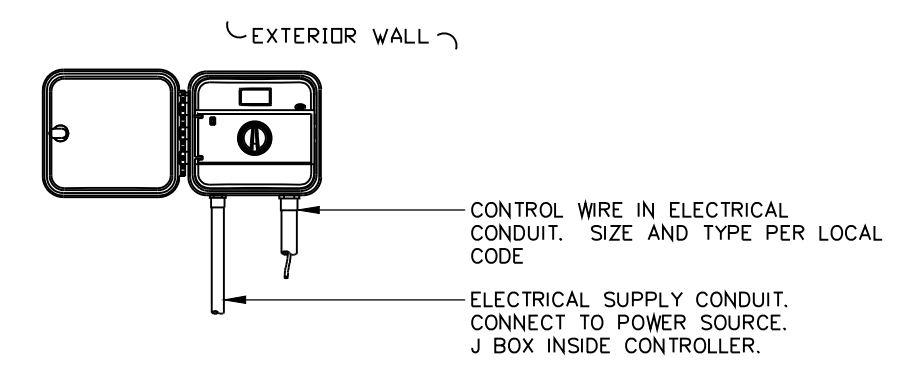
UNDERGROUND IRRIGATION SPECIFICATIONS

1.0 GENERAL

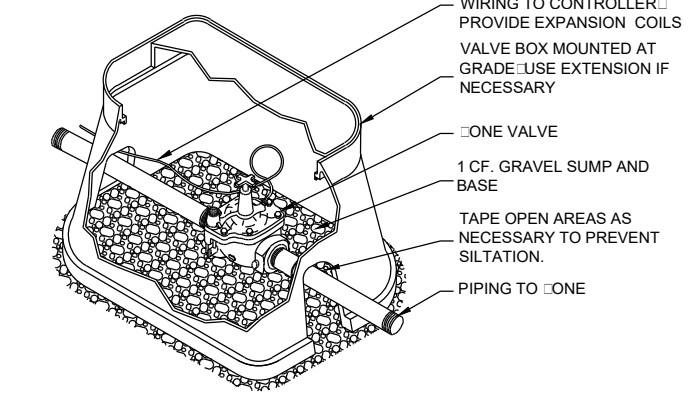
- 1.1 SUMMARY:
 - A. Function: Irrigation system for temporary housing site.
- 1.2 SYSTEM DESCRIPTION:
 - A. Distribution System:
 - 1. Lateral Line: 1/2" or 3/4" diameter, 100' maximum length.
 - 2. Mainline: 1" or 1.5" diameter, 100' maximum length.
- 1.3 QUALITY ASSURANCE:
 - A. Reference:
 - 1. Manufacturer's Installation Instructions.
- 1.4 SUBMITTALS:
 - A. Product Data:
 - 1. Manufacturer's literature, including technical specifications, installation instructions, and performance data.
- 1.5 PRODUCT STORAGE:
 - A. Distribution:
 - 1. Store in a clean, dry area, protected from damage.
- 1.6 WARRANTY:
 - A. System:
 - 1. One (1) year warranty against manufacturing defects.
- 1.7 MAINTENANCE:
 - A. End User:
 - 1. Inspect system regularly for leaks and proper operation.
- 2.0 PRODUCTS:
 - 2.1 PIPE, PIPE FITTINGS, AND CONNECTIONS:
 - A. Pipe:
 - 1. Polyethylene (PE) or Polypropylene (PP).
- 2.2 SPRINKLER HEADS:
 - A. System:
 - 1. Automatic sprinkler heads, 1/2" or 3/4" diameter.
- 2.3 AUTOMATIC SPRINKLER SYSTEM:
 - A. System:
 - 1. Automatic sprinkler system, 1/2" or 3/4" diameter.
- 2.4 VALVES:
 - A. System:
 - 1. Zone valves, 1/2" or 3/4" diameter.
- 2.5 VALVE ACCESSORIES:
 - A. System:
 - 1. Valve boxes, 1/2" or 3/4" diameter.
- 3.0 EXECUTION:
 - 3.1 PREPARATION:
 - 1. Prepare site for installation.
 - 3.2 INSTALLATION:
 - 1. Install system according to manufacturer's instructions.

- 3.3 FIELD QUALITY CONTROL:
 - A. System:
 - 1. Test system for leaks and proper operation.
- 3.4 ADJUSTMENT AND CLEANING:
 - A. System:
 - 1. Adjust system for proper operation.
- 3.5 DEMONSTRATION:
 - A. System:
 - 1. Demonstrate system to owner.

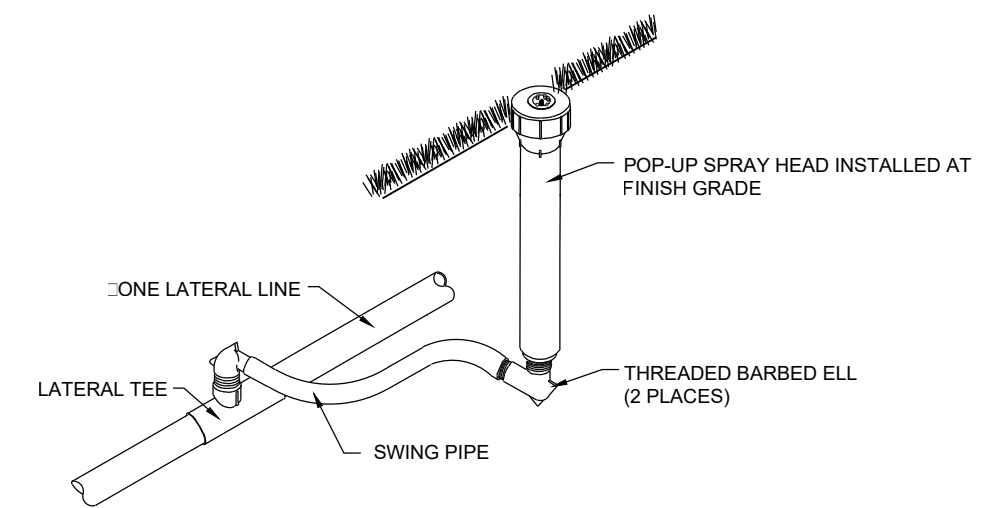
END OF SECTION



CONTROLLER INSTALLATION DETAIL
SCALE: NTS



ZONE VALVE INSTALLATION DETAIL
SCALE: NTS



SPRAY HEAD INSTALLATION DETAIL
SCALE: NTS

APPROVAL DOCUMENTS

IRRIGATION SPECIFICATIONS

DATE: 1.14.22

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
4.		
5.		
6.		
7.		

SHEET NUMBER:
L-5

JOB #: 20005 DRAWN BY: LBR

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19-8 SAN MARCO BLVD. SUITE 101 - JACKSONVILLE, FL 32207 904.421.4134

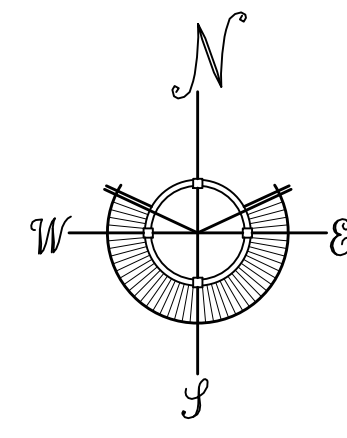
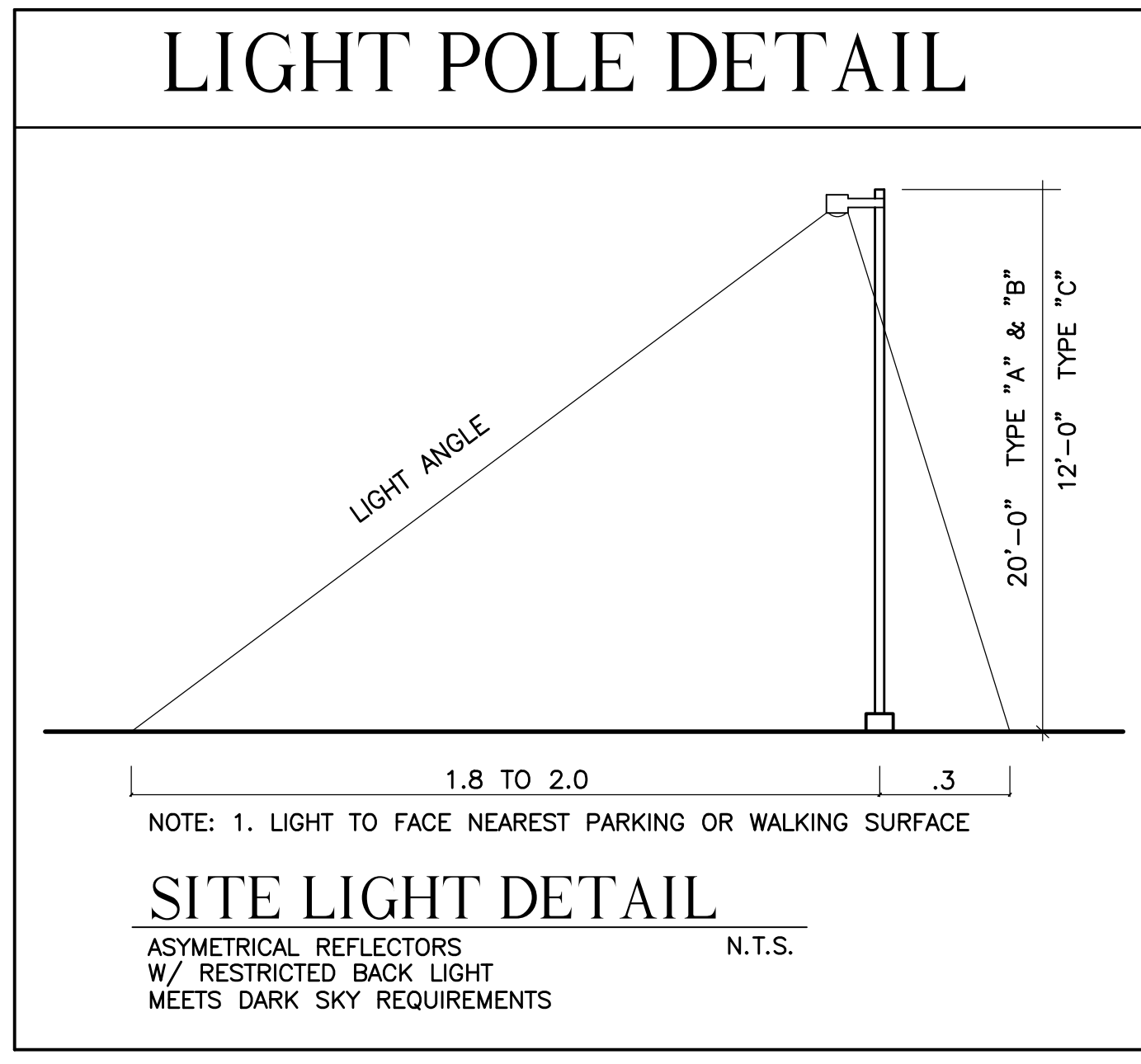
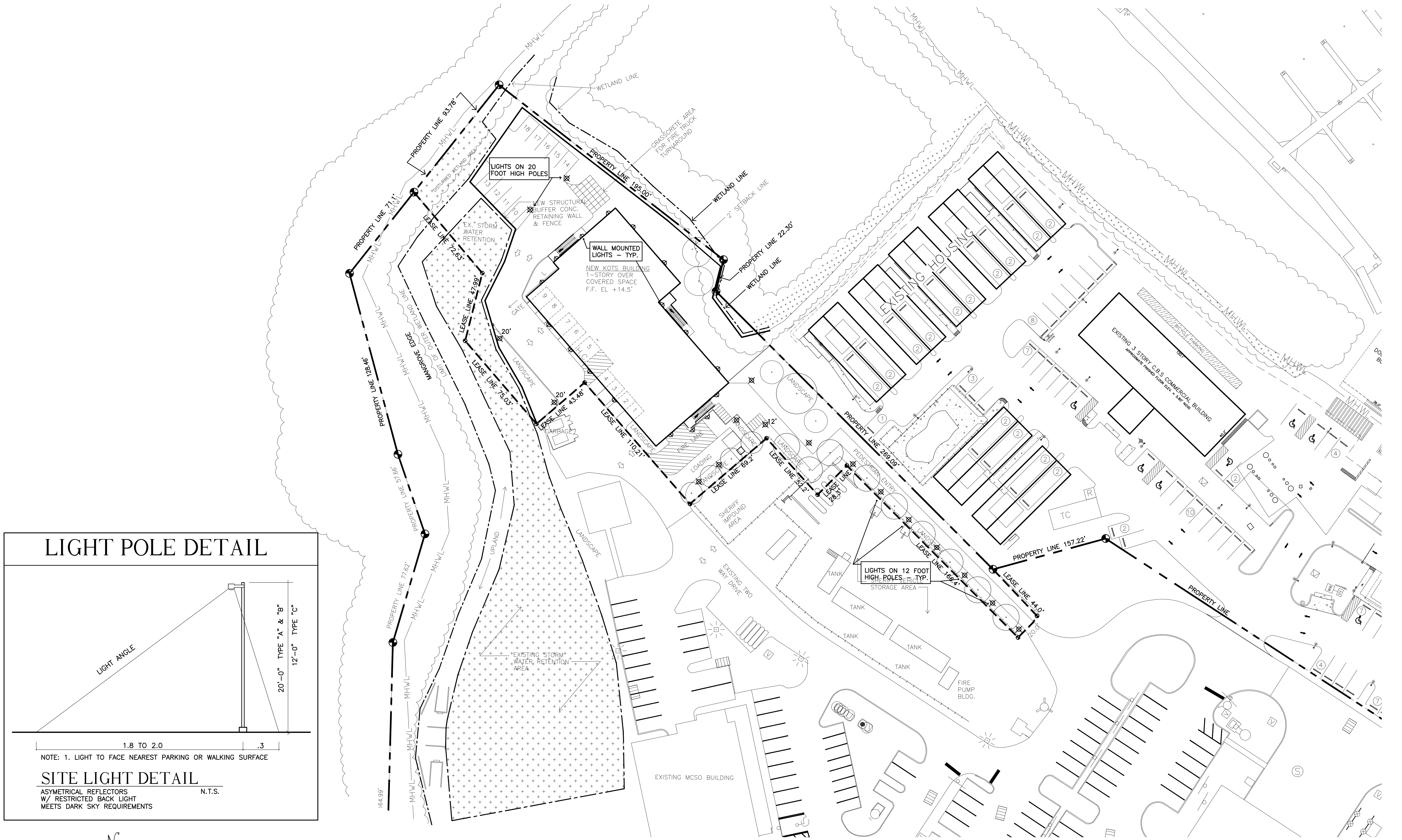
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SEAL

DATE
11-04-2021 D.R.C.
11-30-2021 REV
12-09-2021 D.R.C.
02-11-2022 PL. BD.

REVISIONS

DRAWN BY
EMA
JFS
CAB
PROJECT
NUMBER
2023



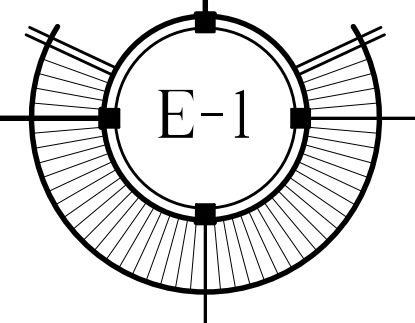
PROPOSED PARTIAL SITE LIGHTING PLAN (LEASE AREA)

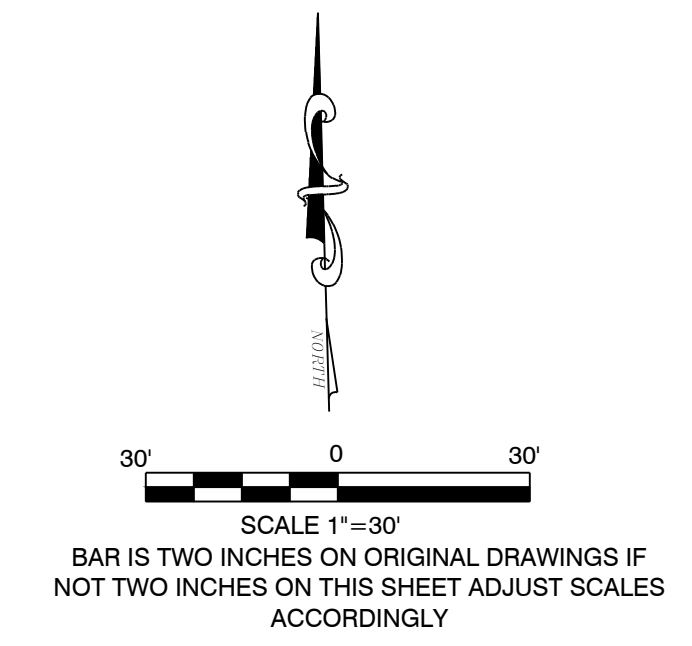
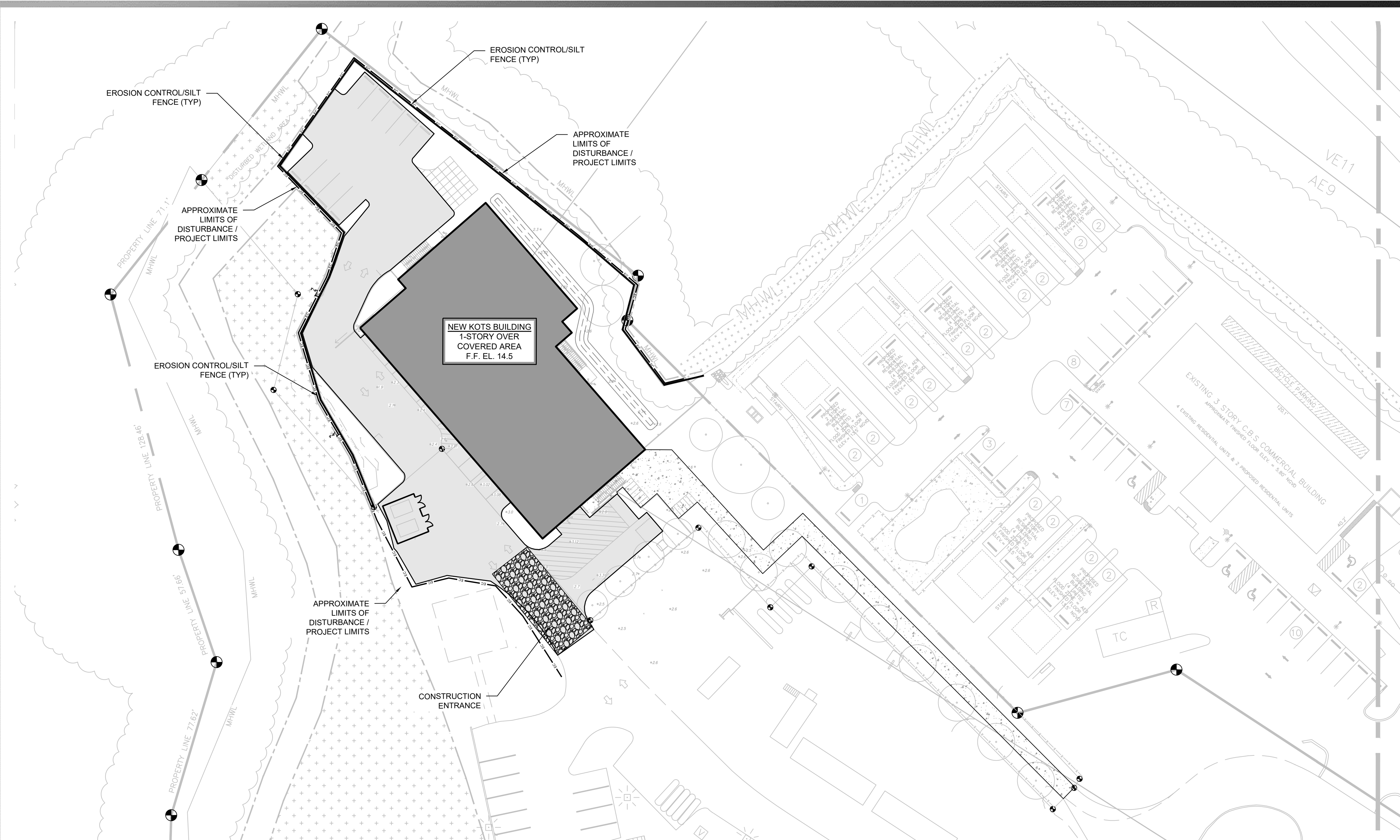
SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY AVIRON & ASSOCIATES DATED ON 05-06-19.

SCALE: 1"=30'-0"

KEYS OVERNIGHT TEMPORARY SHELTER (KOTS)

5537 COLLEGE ROAD
KEY WEST, FLORIDA



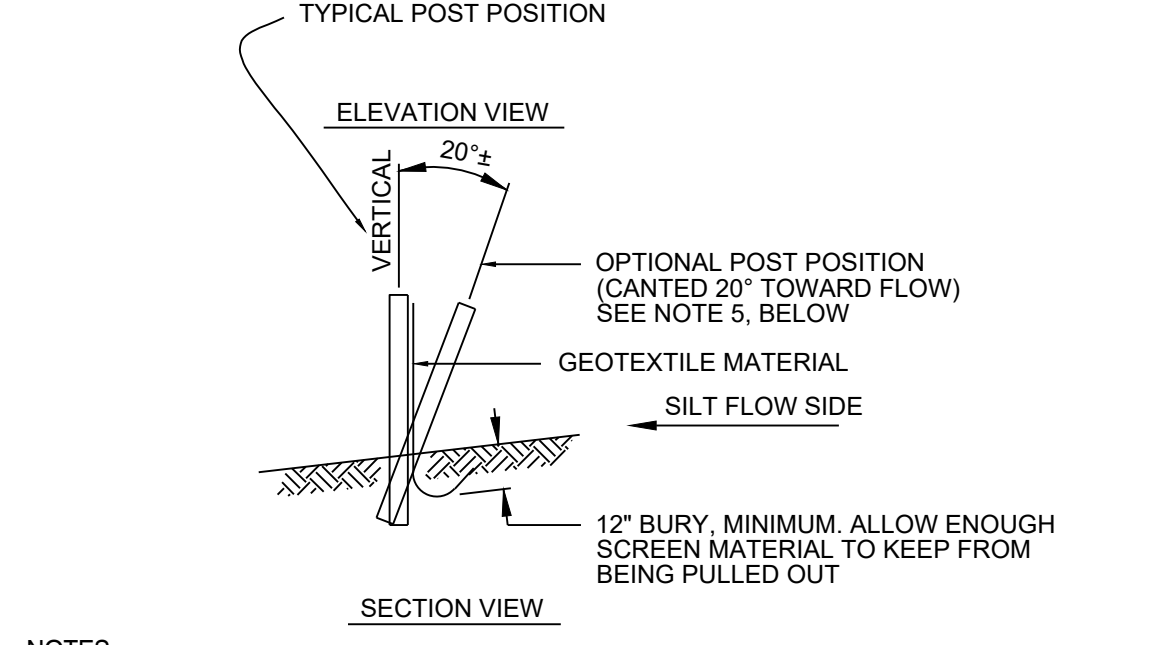
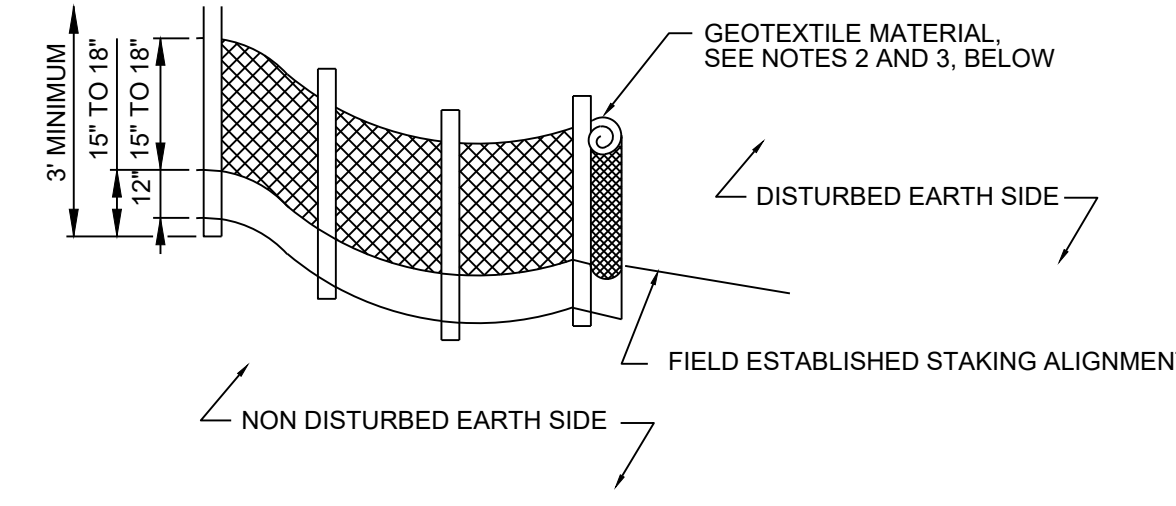


SWPPP GENERAL NOTES

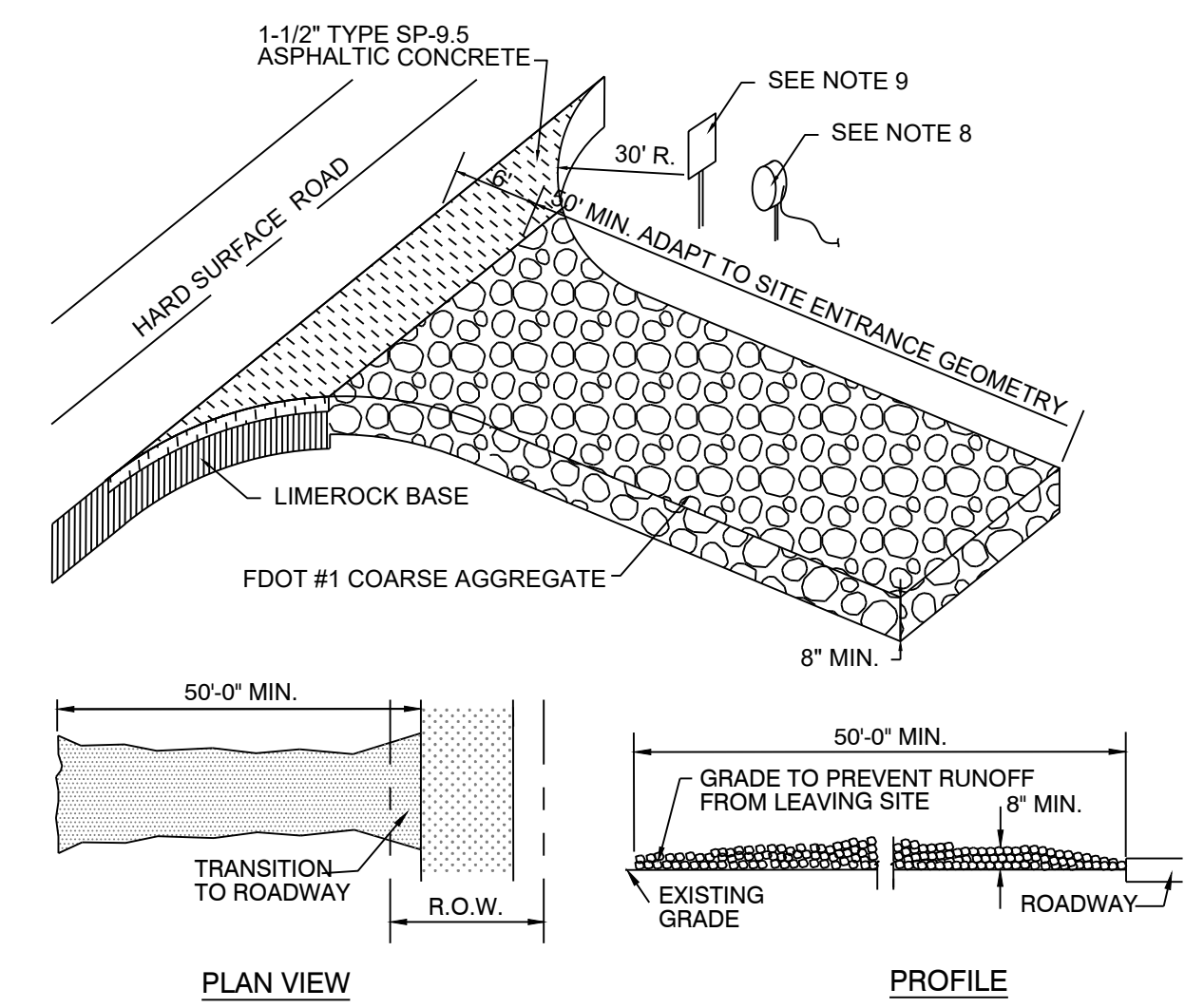
- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECTED TO SOIL DISTURBANCE.
- THE ATTACHED BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE SWPPP.
- THE CONTRACTOR SHALL SUBMIT A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621.300(4)(B)," ALSO KNOWN AS NOTICE OF INTENT OR NOI, TO THE DEPARTMENT, AND SUBMIT THE PERMIT FEE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN, AND SPECIFICATION.
- ANY ITEMS LISTED UNDER THE ABOVE REFERENCED KEYNOTES AS "CONTRACTOR TO LOCATE" SHALL BE DETERMINED BY CONTRACTOR IN ACCORDANCE WITH APPLICABLE CONSTRUCTION SCHEDULING.
- THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

EROSION CONTROL NOTES

1. EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
2. FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH SECTION 985, FDOT SPECIFICATION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ONSITE.
4. BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT INDEX NO. 103.
5. SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
6. PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCK ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURES DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
7. EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, FILTER SOCK AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
8. DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.
9. DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY SEEDING AND MULCHING FOR AREA THAT HAVE BEEN CLEARED (INCLUDING AREAS OF CONCRETE AND PAVEMENT REMOVAL) AND NOT REWORKED WITHIN 7 CALENDAR DAYS DURING THE WET SEASON (APRIL THROUGH SEPTEMBER AND 14 CALENDAR DAYS DURING THE DRY SEASON (OCTOBER THROUGH MARCH). ALSO, ALL SIDE SLOPES SHALL BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS DURING WET SEASON AND 14 DAYS DURING THE DRY SEASON.
10. ALL SURFACE WATER DISCHARGE FROM SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET STATE WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATERS OF THE STATE INCLUDING WETLAND.
11. IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE. ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ANY ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY THE CITY AND SFWMD COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.



- NOTES:**
1. POST: 2"x2" WOOD, P.T. OR 2-1/2"x2" STEEL AT 6' CENTERS, MAXIMUM.
 2. GEOTEXTILE: GRAB TENSILE AT 90 LBS. TRAPEZOIDAL TEAR AT 35 LBS., MULLEN BURST AT 180 PSI.
 3. GEOTEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12" AND BACK FILLED.
 4. ALSO SEE FDOT INDEX 199 "GEOTEXTILE CRITERIA" EROSION CLASS.
 5. OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:2.



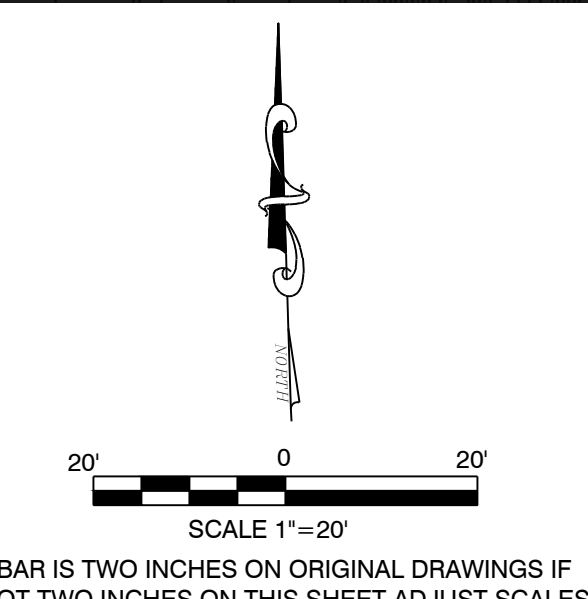
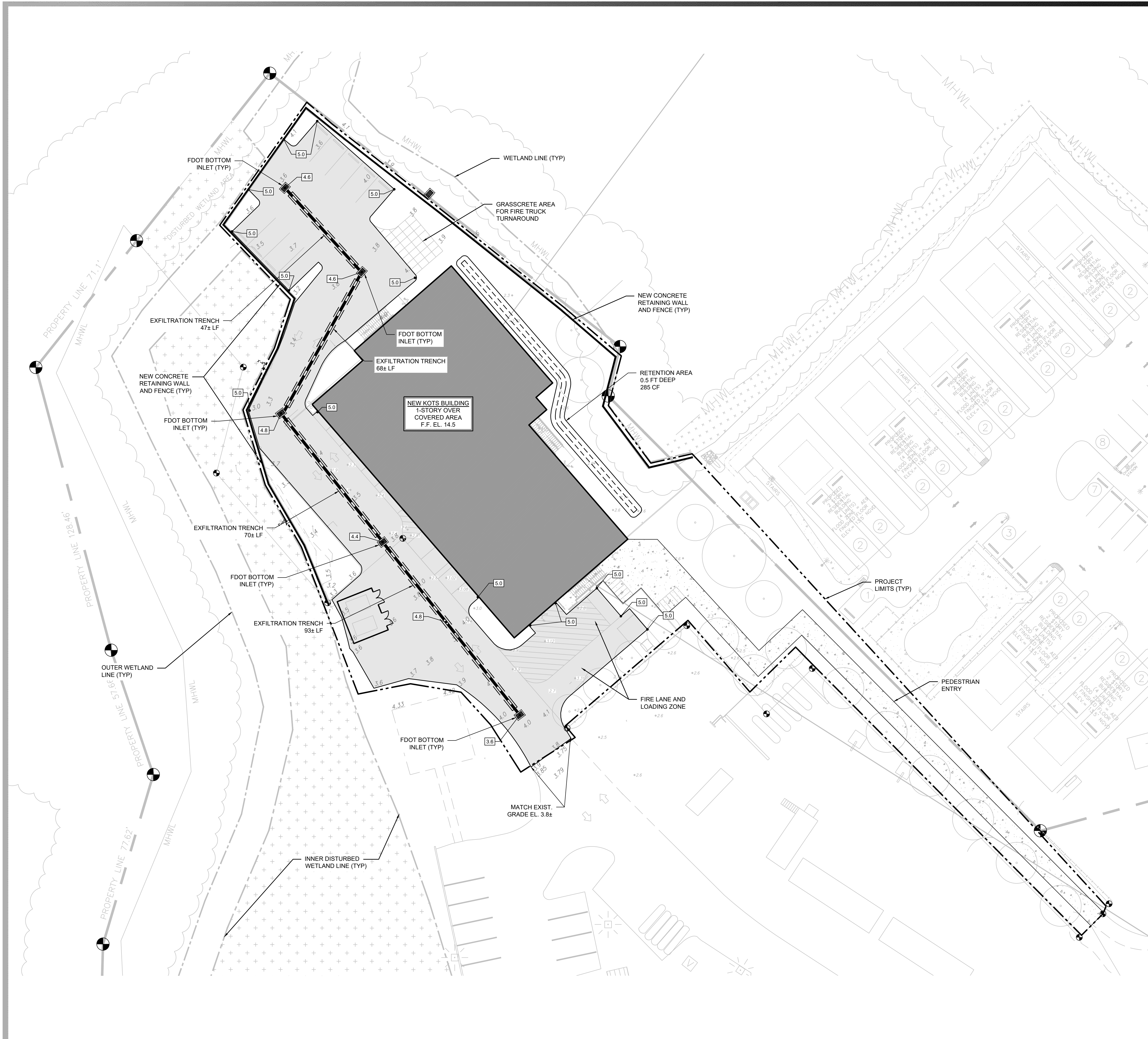
- NOTES:**
1. STONE SIZE- 3 TO 5 INCH OPEN GRADED ROCK.
 2. LENGTH- AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS- NOT LESS THAN 8 INCHES.
 4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING OF ALL VEHICLE UNDERCARRIAGE, WHEEL WELLS AND WHEELS IS MANDATORY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
 6. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 7. DRAINAGE- ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 8. PROVIDE WATER SUPPLY AND MINIMUM 100 FT. LONG HOSE AND SPIGOT AT EACH DESIGNATED CONSTRUCTION EXIT.
 9. PROVIDE SIGNAGE AT EACH DESIGNATED EXIT REQUIRING WASHING OF ALL VEHICLES LEAVING SITE.
 10. ENTRANCE LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE. CONTRACTOR TO COORDINATE ACTUAL LOCATIONS ACCORDING TO PHASING PLANS.

1 Staked Silt Barrier Detail
NTS

2 GRAVEL CONSTRUCTION ENTRANCE
NTS

PRELIMINARY - NOT FOR CONSTRUCTION

C:\Users\Allen.Perez\Engineering\Dropbox\Projects\2021\1051\1051.dwg (Preliminary\SITE.dwg (C200 Conceptual Drainage)) Plotted on: Feb 12, 2022 - 9:57am by Allen Perez



Water Quantity Calculations - 25yr/72hr Design Storm			
Water Quantity - Predevelopment			
Total basin Area	0.956	ac	41,662
Pervious Area	0.665	ac	28,960
Impervious Area	0.291	ac	12,682
% Impervious	30.44%		
Rainfall for 25yr/24hr event	$P_{24} = 9$	in	
Rainfall for 25yr/3day event	$P_{72} = 12.23$	in	
Depth to Water Table	2.5	ft	
Predeveloped Available Storage	4.55	in	
Soil Storage	S = 3.16	in	
$Q_{pre} = \frac{(P^2 - 0.2S)^2}{(P^2 + 0.8S)}$	$Q_{pre} = 9.11$	in	
Runoff Volume from 25 year/ 3 day storm	$V_{25yr/72hr} = 8.71$	ac-in	
Water Quantity - Postdevelopment			
Project Area	A = 0.956	ac	41,662
Pervious Area	0.326	ac	14,200
Impervious Area	0.630	ac	27,462
% Impervious	65.9%		
Rainfall for 25yr/24hr event	$P_{24} = 9$	in	
Rainfall for 25yr/3day event	$P_{72} = 12.23$	in	
Depth to Water Table	2.5	ft	
Developed Available Storage	3.4	in	
Soil Storage	S = 1.16	in	
$Q_{post} = \frac{(P^2 - 0.2S)^2}{(P^2 + 0.8S)}$	$Q_{post} = 10.94$	in	
Runoff Volume from 25 year/ 3 day storm	$V_{25yr/72hr} = 10.47$	ac-in	
Postdevelopment - Predevelopment			
$Q_{pre-post} = Q_{post} - Q_{pre}$	$Q_{pre-post} = 1.83$	in	
Pre/Post Volume = $Q_{pre-post} \times A$	$V_{pre-post} = 1.75$	ac-in	

Water Quality Calculations			
Water Quality			
Project Area	0.956	ac	41,662
Surface Water	0.000	ac	0
Roof Area	0.243	ac	10,591
Pavement/Walkways	0.387	ac	16,871
Pervious area	0.326	ac	14,200
Impervious area for water Quality (Site area for Water Quality - Pervious area)	0.387	ac	16,871
% Impervious for Water Quality	40%		
A) One inch of runoff from project area	0.956	ac-in	
B) 2.5 inches times percent impervious (2.5 x percent impervious x [site area - surface water])	0.908	ac-in	
Total Treatment Volume Required	0.968	ac-in	3,515
Pond Volume Provided	0.079	ac-in	285
Exfiltration Volume Provided	0.924	ac-in	3,352
Total Volume Provided	1.002	ac-in	3,637

Exfiltration Trench Design			
Required trench length (L) =			
$\frac{V}{K(2H^2Du - Du^2 + 2H^2Ds) + 1.39 \times 10^{-4}(W)(Du)}$			
Assumed Hydraulic Conductivity, K =	0.0000633		
H =	2.5	ft	
W =	5	ft	
Du =	1	ft	
Ds =	7.5	ft	
Volume of Trench, V =	0.924	ac-in	
Trench Length Provided =	278	FT	

NOTE: EXFILTRATION TRENCH CALCULATIONS ARE BASED ON AN ASSUMED HYDRAULIC CONDUCTIVITY VALUE

NOTE: CONTRACTOR TO COORDINATE CONVEYANCE OF ROOF DRAINS/RUNOFF TO NEW STORMWATER MANAGEMENT SYSTEM

CIVIL ENGINEERING - REGULATORY PERMITTING - CONSTRUCTION MANAGEMENT
PEREZ ENGINEERING & DEVELOPMENT, INC
 CERTIFICATE OF AUTHORIZATION No. 8579
 ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 February 12, 2022

ORIGINAL: DECEMBER 2021
 REVISIONS:
 1 2-11-22, PL. RP
 2
 3
 4
 5
 6

WILLIAM HORN ARCHITECT
 915 EATON STREET
 KEY WEST, FL. 33040

KOTS
 5537 COLLEGE ROAD
 KEY WEST, FL. 33040

CONCEPTUAL GRADING AND DRAINAGE PLAN

JOB NO. 211051
 DRAWN: AEP
 DESIGNED: AEP
 CHECKED: AEP

SHEET C-200

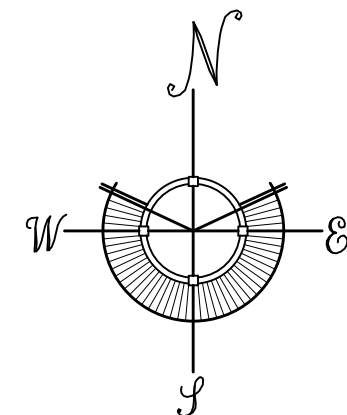
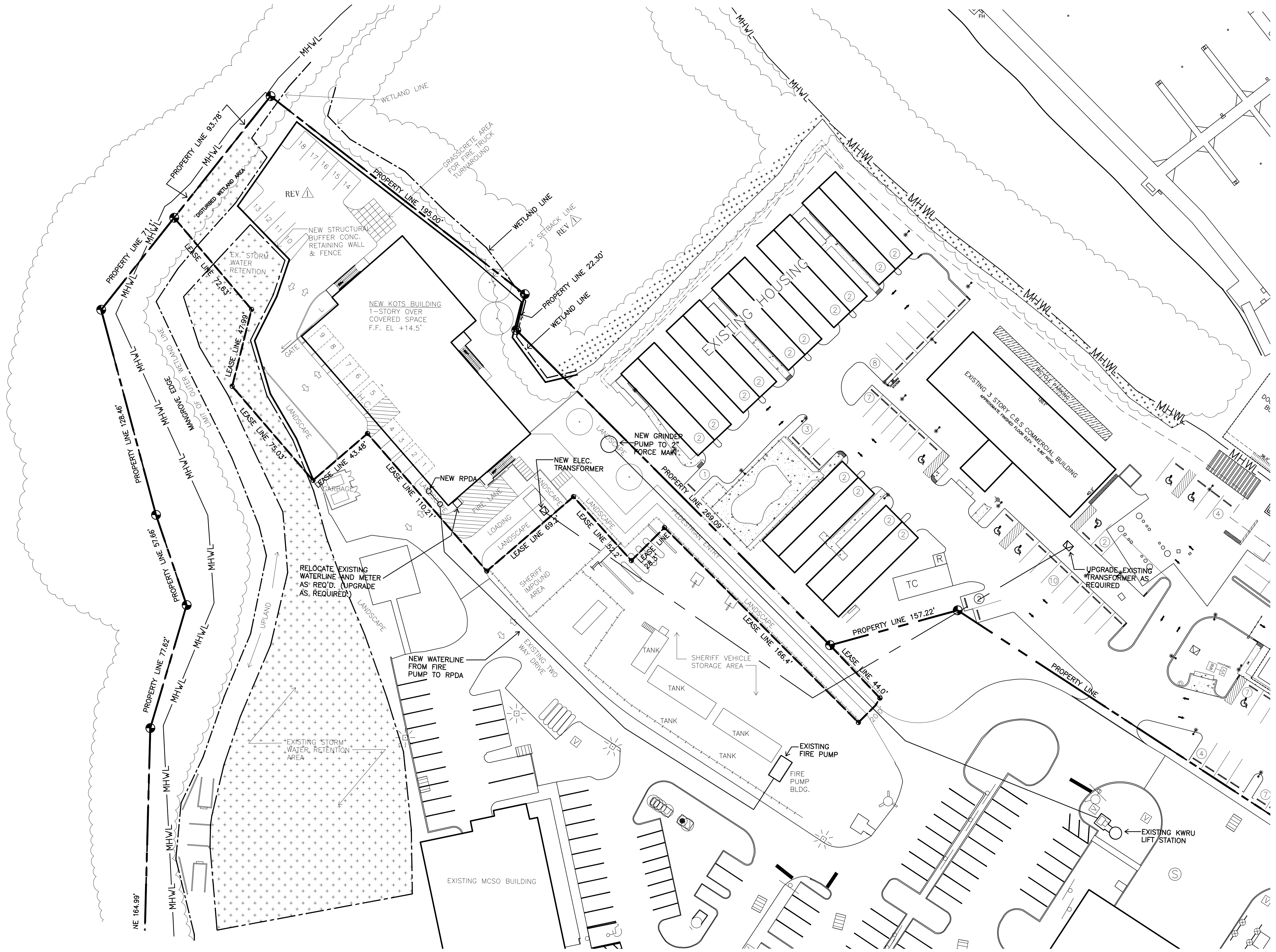
PRELIMINARY - NOT FOR CONSTRUCTION

SEAL

DATE
11-04-2021 D.R.C.
11-30-2021 REV
12-09-2021 D.R.C.
02-11-2022 PL. BD.

REVISIONS

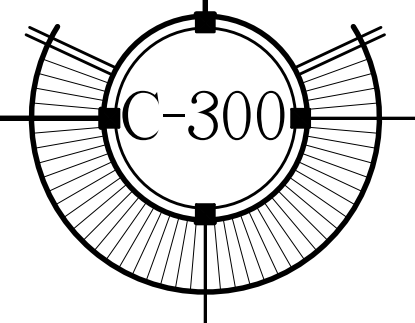
DRAWN BY
EMA
JFS
CAB
PROJECT
NUMBER
2023

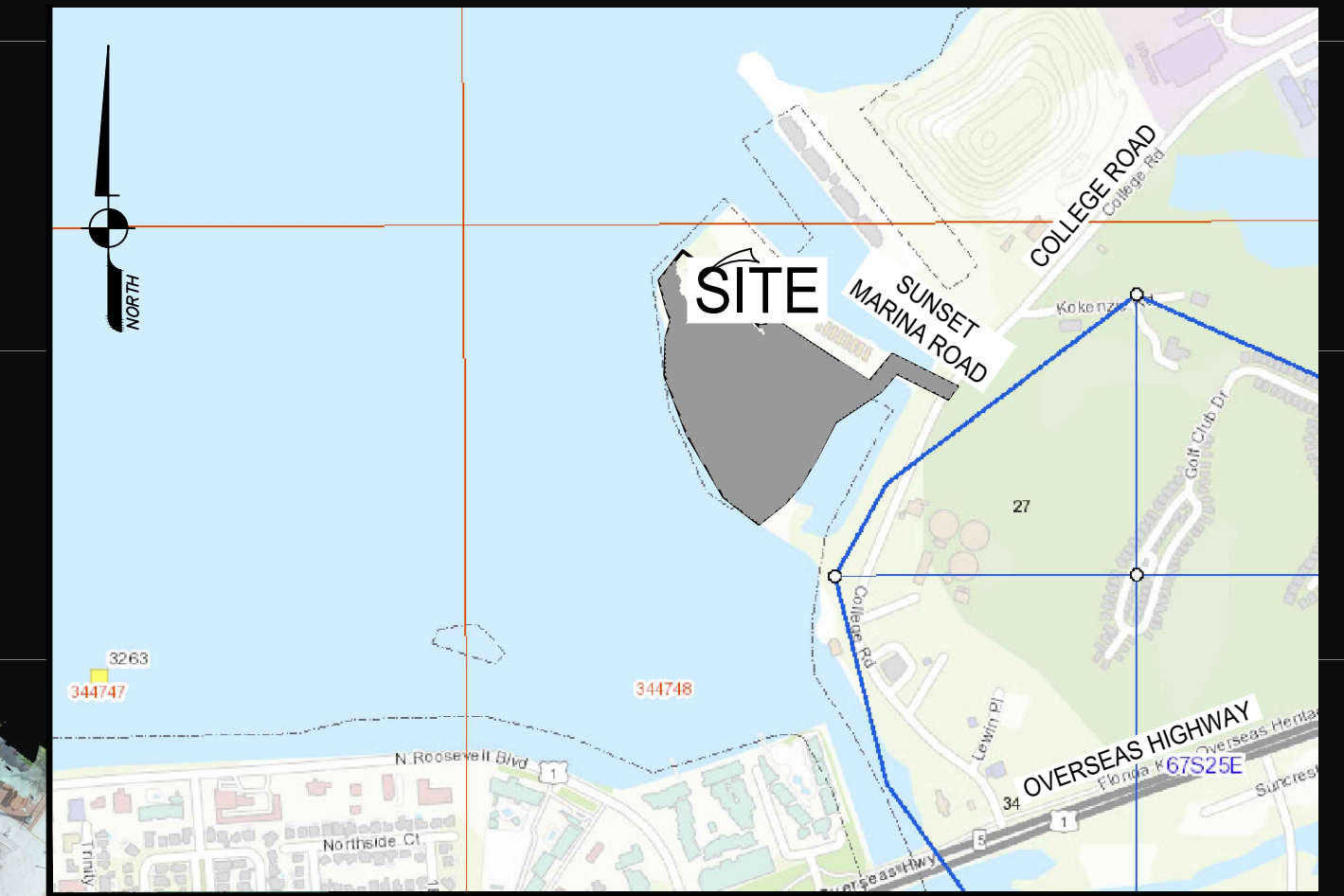
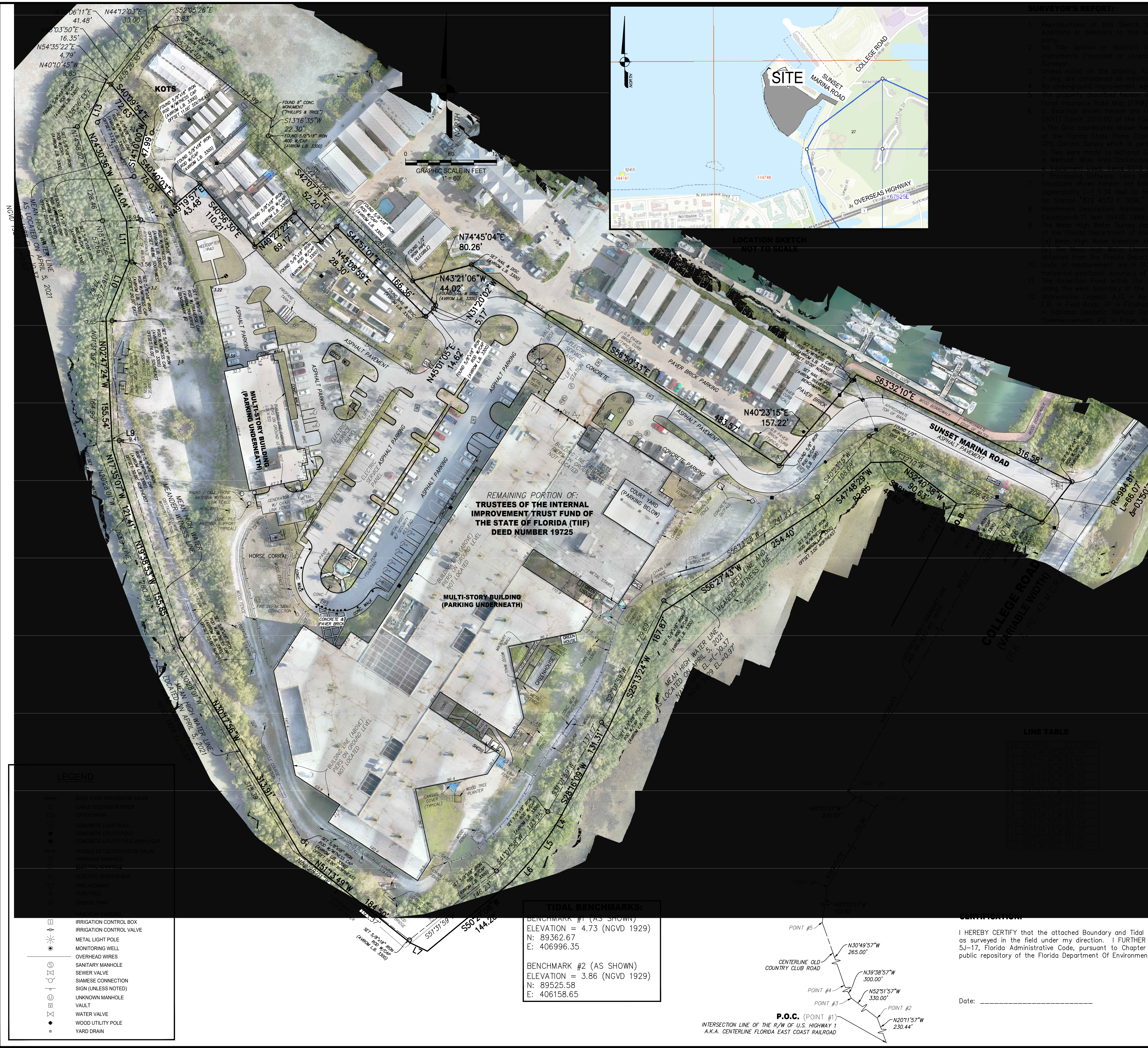


PROPOSED PARTIAL SITE UTILITY PLAN (LEASE AREA)

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY AVIRON & ASSOCIATES DATED ON 05-06-19. SCALE: 1"=30'-0"

KEYS OVERNIGHT TEMPORARY SHELTER (KOTS)
5537 COLLEGE ROAD
KEY WEST, FLORIDA



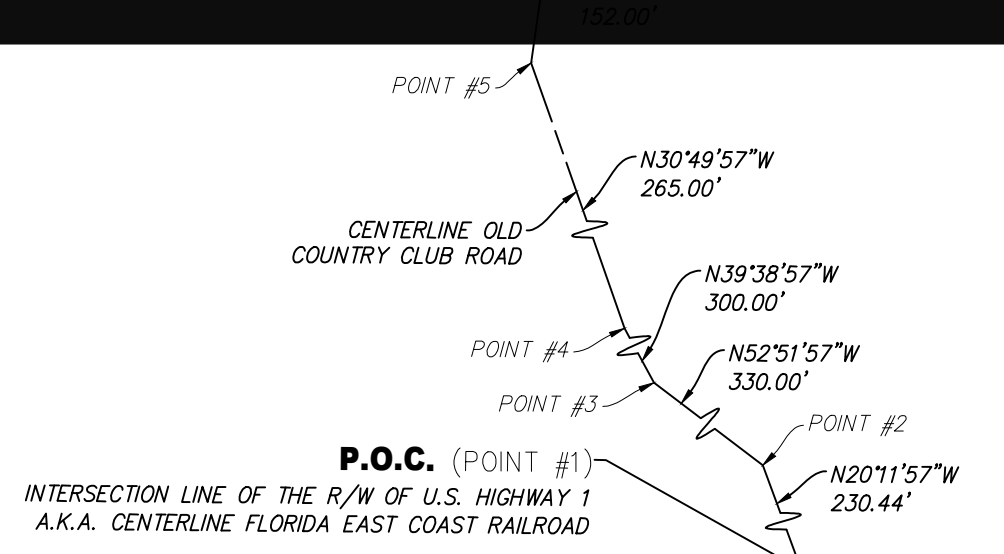


- IRRIGATION CONTROL BOX
- IRRIGATION CONTROL VALVE
- METAL LIGHT POLE
- MONITORING WELL
- OVERHEAD WIRES
- SANITARY MANHOLE
- SEWER VALVE
- SIAMASE CONNECTION
- SIGN (UNLESS NOTED)
- UNKNOWN MANHOLE
- VAULT
- WATER VALVE
- WOOD UTILITY POLE
- YARD DRAIN

TIDAL BENCHMARKS

BENCHMARK #1 (AS SHOWN)
ELEVATION = 4.73 (NGVD 1929)
N: 89362.67
E: 406996.35

BENCHMARK #2 (AS SHOWN)
ELEVATION = 3.86 (NGVD 1929)
N: 89525.58
E: 406158.65



not valid without the signature and the original seal of a Florida licensed surveyor and mapper. Any map or report by other than the signing party is prohibited without written consent of the signing party.

The subject property has been provided. It is possible that there are Deeds, Easements, or other records which may affect the subject property. No search of the Public Records has been made by the surveyor.

The measured bearings and distances correspond with the record bearing and distances and the differences, if any, are within the limits of accuracy.

within Flood Zones AE (El 10 Feet) as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 15-04-0697P, Community Number 125129, dated 08/20/2015, based on the North American Datum of 1983, NAD 83 State Plane Coordinate System (Transverse Mercator Projection), East Zone.

The measurements are based on the North American Datum of 1983, adjustment of 2011 (NAD 83/2011) Epoch 2010.00, Transverse Mercator Projection, East Zone established by a Real-time Network (RTN) to a 2 centimeter local accuracy.

Control Point "872 4572 F TIDAL" (PID AA1629), Operating GPS Reference Station Network.

& UHF Performance Smart Antenna, Serial Numbers 3602394(Dual Frequency Receivers) & Version 3.1.0.3188.

on the North Geodetic Vertical Datum of 1929. To convert elevations from NGVD 29 to NAVD 88, add elevation. Conversion factor was derived from the National Geodetic Survey (NGS) Data Recovery Sheet D AA1629.

Geodetic Survey Station Designation "872 4572 F TIDAL" (PID AA1629). Elevation=10.05 feet (NGVD 1929).

This deed hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Environmental Protection Bureau of Surveying and Mapping as Mean High Water Survey File _____ (Section 27, Township 67 South, Range 25 East and in Monroe County, Florida; and said parcel being more particularly described by metes and bounds as follows:

as shown hereon was established by the extension of tidal data from Tidal Station 3263, which was operated by the Environmental Protection Bureau of Surveying and Mapping.

Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a tolerance of ±0.1'. The elevations on impervious surfaces were field measured to 0.03' and on ground surfaces to 0.1'. The subject property is non-tidal in nature with the flow of water restricted by a control structure located at the entrance to the canal.

Notation: ASPH. = Asphalt; B.M. = Benchmark; BLDG = Building; CONC. = Concrete; EL. = Elevation; I.R. = Iron Rod; L.B. = Licensed Business; NAVD = North American Vertical Datum of 1988; NGVD = North American Vertical Datum of 1929; P = Per Record Plat; P.B. = Plat Book; P.O.B. = Point of Beginning; P.O.C. = Point of Beginning-Of-Way; TEMP. = Temporary; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

A parcel of land, formerly submerged in the Bay of Florida, and being a part of Trustees of the Internal Improvement Trust Fund of the State of Florida (TIIF) Deed Number 19725, and said parcel being in Section 27, Township 67 South, Range 25 East and in Monroe County, Florida; and said parcel being more particularly described by metes and bounds as follows:

COMMENCE at the intersection of the center line of the right of way of U.S. Highway No. 1, also known as the center line of the Florida East Coast Railroad, and the center line of the right of way of "Old Country Club Road" (OCCR), also known as Junior College Road (JCR) as these two center lines exist as of May 16, 1990, said intersection being known as Point #1 and having coordinates of N=86899.70' & E=251292.83' based in the Mercator Projection for the East Zone of Florida; and run thence North 20°11'57" West (all bearings in this legal description are also based on the said Mercator Projection) along the center line of the OCCR for a distance of 230.44 feet to Point #2 (N=87205.96' & E=251213.26'); thence North 52°51'57" West along the center line of the OCCR for a distance of 330.00 feet to Point #3 (N=87405.18' & E=250950.18'); thence North 39°38'57" West along the center line of the OCCR for a distance of 300.00 feet to Point #4 (N=87636.17' & E=250758.75'); thence North 30°49'57" West along the center line of the OCCR for a distance of 265.00 feet to Point #5 (N=87863.72' & E=250622.93'); thence North 03°33'57" West along the center line of the OCCR for a distance of 152.00 feet to Point #6 (N=88015.42' & E=250613.48'); thence North 19°47'03" East along the center line of the OCCR for a distance of 122.56' to Point #7 (N=88130.75' & E=250654.96'); thence North 60°20'57" West for a distance of 200.00 feet to Point #8 (N=88229.69' & E=250481.15') and the Southeastly corner of the lands described in the said TIIF Deed No. 19725; thence North 29°39'03" East along the Southeastly boundary line of the lands described in the said TIIF Deed No. 19725 for a distance of 962.72 feet to Point #9 (N=89066.35' & E=250957.42') and the Point of Beginning of the parcel of land being described herein said Point of Beginning being marked by an iron pipe; thence North 63°32'06" West for a distance of 206.48 feet to Point #10 (N=89158.37' & E=250772.57'); thence South 40°23' 19.5" West for a distance of 108.08 feet to Point #11 (N=89076.04' & E=250702.54'); thence South 56°13'32" West for a distance of 241.24 feet to Point #12 (N=88941.93' & E=250502.01') and the approximate Mean High Tide Lien of Florida Bay (MHTL); thence South 27°02'03" West and along the said MHTL for a distance of 179.70 feet to Point #13 (N=88781.87' & E=250420.33'); thence South 31°02'03" West and along the said MHTL for a distance of 137.17 feet to Point #14 (N=88664.33' & E=250349.62'); thence South 41°02'02" West and along the said MHTL for a distance of 103.25 feet to Point #15 (N=88586.44' & E=250281.83'); thence South 51°32'03" West and along the said MHTL for a distance of 146.23 feet to Point #16 (N=88495.48' & E=250167.33'); thence North 52°27'57" West and along the said MHTL for a distance of 193.38 feet to Point #17 (N=88613.29' & E=250013.99'); thence North 30°27'57" West and along the said MHTL for a distance of 315.40 feet to Point #18 (N=88885.14' & E=249854.07'); thence North 20°27'57" West and along the said MHTL for a distance of 280.40 feet to Point #19 (N=8914.84' & E=249756.03'); thence North 01°32'03" East along the said MHTL for a distance of 165.00 feet to Point #20 (N=89312.78' & E=249760.45'); thence North 16°27'56" East and along the said MHTL for a distance of 77.62 feet to Point #21 (N=89387.22' & E=249782.45'); thence North 18°45'51" West and along the said MHTL for a distance of 57.65 feet to Point #22 (N=89441.81' & E=249763.91'); thence North 14°57'57.5" West and along the said MHTL for a distance of 128.46 feet to Point #23 (N=89565.90' & E=249730.73'); thence North 38°26'33" East and along the said MHTL for a distance of 165.00 feet to Point #24 (N=89695.14' & E=249833.32'); thence South 52°04'36" East for a distance of 195.00 feet to Point #25 (N=89575.29' & E=2499987.14') and a concrete monument; thence South 13°16'39" West for a distance of 22.30 feet to Point #26 (N=89553.59' & E=249982.02') and a concrete monument; thence South 44°52'02" East for a distance of 269.09 feet to Point #27 (N=89362.88' & E=250171.86') and a concrete monument; thence North 74°46'08" East for a distance of 80.26 feet to Point #28 (N=89383.96' & E=250249.30') and a concrete monument; thence South 56°50'29" East for a distance of 483.59 feet to Point #29 (N=89119.46' & E=250654.14') and a concrete monument; thence North 40°23'19" East for a distance of 157.23 feet to Point #30 (N=899239.22' & E=250756.02') and a concrete monument; thence South 63°32'06" East for a distance of 316.58 feet to Point #31 (N=89098.13' & E=251039.42') to the Westerly and curved right of way line of the said Junior College Road and a concrete monument, said curve being concave to the Southeast and having a radius of 984.84 feet; thence Southwesterly along the said curve right of way line for an arc distance of 66.04 feet to Point #32 (N=89045.11' & E=251000.08') and a concrete monument; thence North 63°32'06" West for a distance of 47.66 feet back to Point #9 and the Point of Beginning.

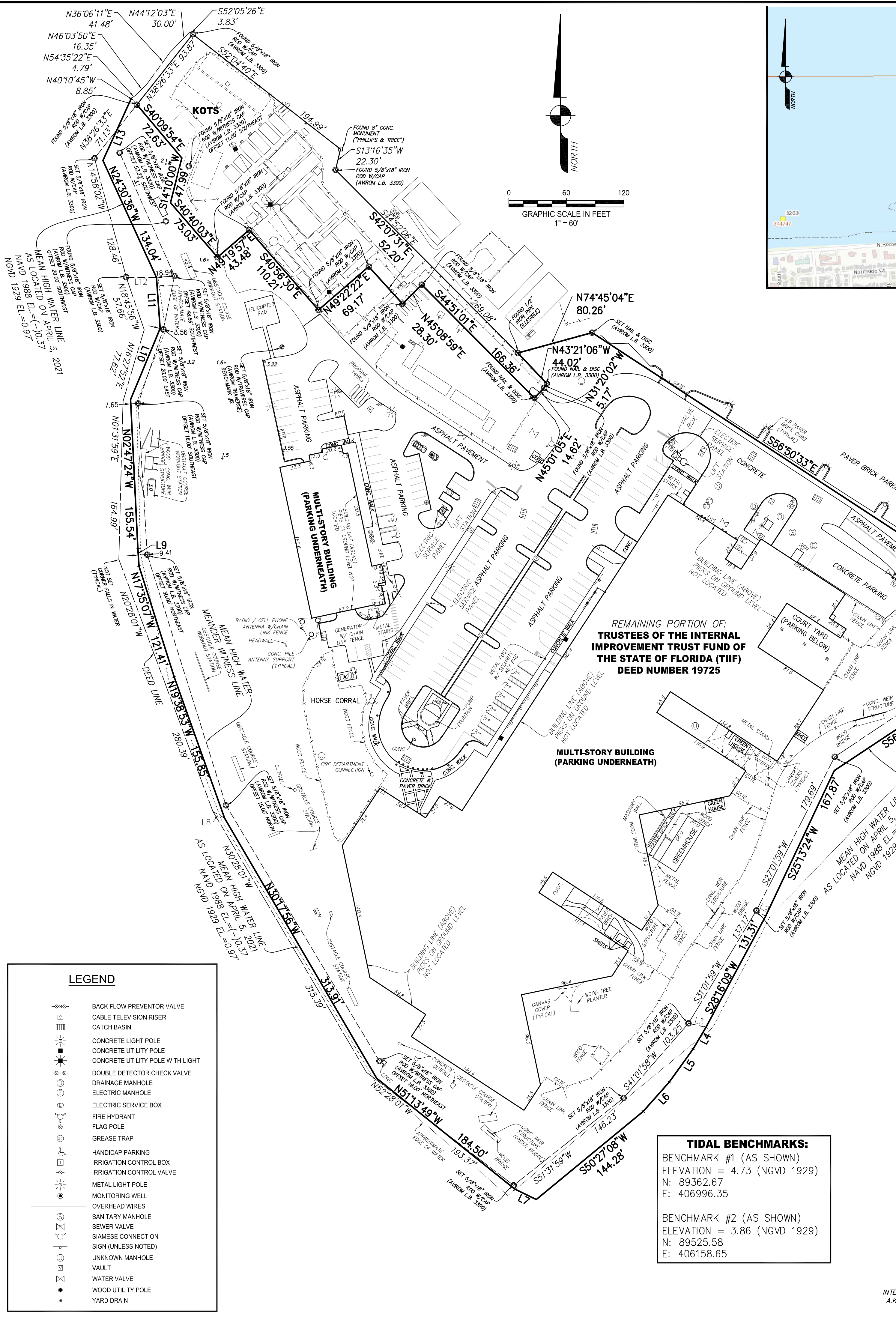
Said lands lying and being in Section 27, Township 67 South, Range 25 East on Stock Island, Monroe County, Florida containing 564.747 square feet (12.9648 acre) more or less.

I HEREBY CERTIFY that the attached Boundary and Tidal Water Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary and Tidal Water Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes, and it complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department Of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File _____.

Date: _____

KEITH M. CHEE-A-TOW, P.L.S.
Florida Registration No. 5328
AVIROM & ASSOCIATES, INC.
L.B. No. 3300
E-MAIL: keith@aviromsurvey.com

AVIROM & ASSOCIATES, INC.		
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50 S.W. 2ND AVENUE, SUITE 02		
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(561) 392-2594 / WWW.AVIROMSURVEY.COM		
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SCALE:	1" = 60'	
DATE:	04/08/2021	
BY:	W.R.E.	
CHECKED:	K.M.C.	
F.B.:	1792	PG. 70-75
SHEET:	1 OF 2	
BOUNDARY AND TIDAL WATER SURVEY		
A PARCEL OF LAND IN		
SECTION 27, TOWNSHIP 67 SOUTH, RANGE 25 EAST		
DESCRIBED IN		
(O.R.B. 1490, PAGE 291, I.M.C.R.)		
MONROE COUNTY, FLORIDA		
JOB #:	11227-5	



LOCATION SKETCH NOT TO SCALE

- SURVEYOR'S REPORT:**
- Reproductions of this Sketch are not valid without the signature and the original seal of a Florida licensed surveyor and mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
 - No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
 - Unless noted on the drawing, ALL measured bearings and distances correspond with the record bearing and distances and the differences, if any, are considered de minimis.
 - No underground improvement were located.
 - The property described hereon lies within Flood Zones AE (El 10 Feet) as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) LOMAR Number 15-04-0697P, Community Number 125129, dated 08/20/2015.
 - Bearings shown hereon are referenced to Grid North, based on the 2011 Adjustment of the North American Datum of 1983, NAD 83 (2011) Epoch 2010.00 of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone.
 - The Grid coordinates shown hereon are based on the North American Datum of 1983, adjustment of 2011 (NAD 83/2011) Epoch 2010.00 of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone established by a Real-time Network (RTN) GPS Control Survey which is certified to a 2 centimeter local accuracy.
 - Ties were made to National Geodetic Control Point "872 4572 F TIDAL" (PID AA1629).
 - Method: Wide Area Continuously Operating GPS Reference Station Network
 - Equipment Used: Leica GS18 LTE & UHF Performance Smart Antenna, Serial Numbers 3602394(Dual Frequency Receivers)
 - Processing Software: Leica Infinity, Version 3.1.0.3188
 - Elevations shown hereon are based on the North Geodetic Vertical Datum of 1929. To convert elevations from NGVD 29 to NAVD 88, add algebraically, (-) 1.34 feet to the elevation. Conversion factor was derived from the National Geodetic Survey (NGS) Data Recovery Sheet for Station "872 4572 F TIDAL" (PID AA1629).
 - Benchmark Description: National Geodetic Survey Station Designation "872 4572 F TIDAL" (PID AA1629). Elevation=10.05 feet (NGVD 1929). Elevation=8.71 feet (NAVD 1988).
 - The Mean High Water Survey depicted hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File _____.
 - Mean High Water Elevation is (-) 0.37 feet, NAVD 1988, as located on February 15, 2021.
 - The Mean High Water Elevation as shown hereon was established by the extension of tidal data from Tidal Station 3263, which was obtained from the Florida Department of Environmental Protection Bureau of Survey and Mapping.
 - Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'. The elevations on impervious surfaces were field measured to 0.03' and on ground surfaces to 0.1'.
 - The Retention Pond within the subject property is non-tidal in nature with the flow of water restricted by a control structure located along the west boundary of the Parent Tract.
 - Abbreviation Legend: A/C = Air Conditioner; ASPH = Asphalt; B.M. = Benchmark; BLDG = Building; CONC. = Concrete; EL. = Elevation; F.B. = Field Book; FF = Finished Floor; I.R. = Iron Rod; L.B. = Licensed Business; NAVD = North American Vertical Datum of 1988; NGVD = National Geodetic Vertical Datum of 1929; P = Per Record Plat; P.B. = Plat Book; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; PG. = Page; R/W = Right-Of-Way; TEMP. = Temporary; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

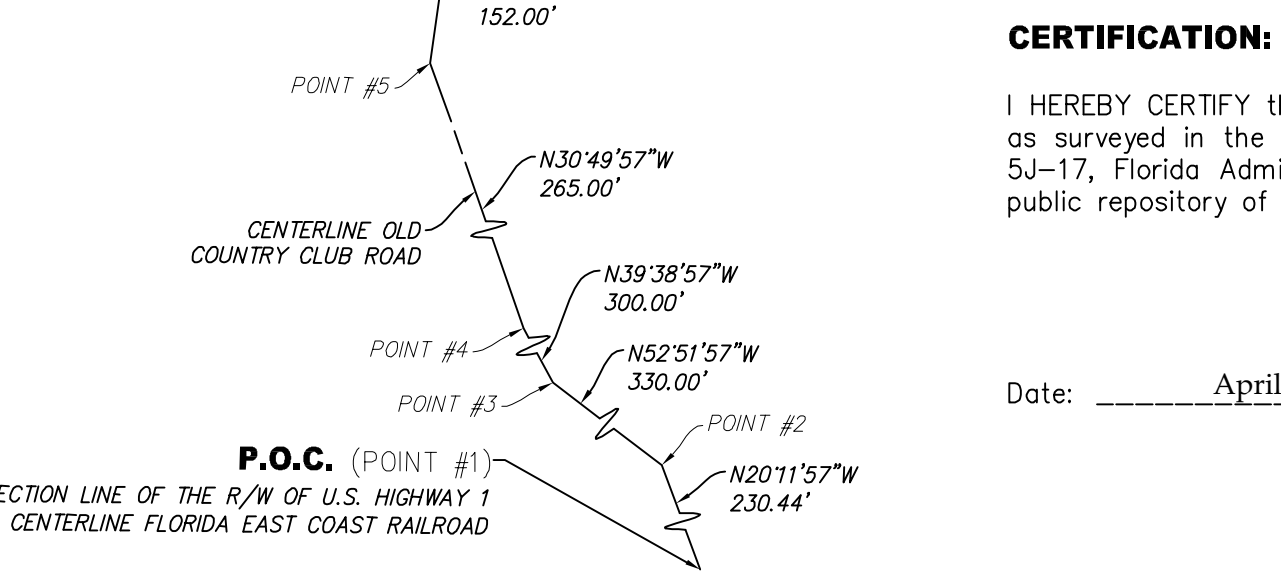
A parcel of land, formerly submerged in the Bay of Florida, and being a part of Trustees of the Internal Improvement Trust Fund of the State of Florida (TIIF) Deed Number 19725, and said parcel being in Section 27, Township 67 South, Range 25 East and in Monroe County, Florida; and said parcel being more particularly described by metes and bounds as follows:

COMMENCE at the intersection of the center line of the right of way of U.S. Highway No. 1, also known as the center line of the Florida East Coast Railroad; and the center line of the right of way of "Old Country Club Road" (OCCR), also known as Junior College Road (JCR) as these two center lines exist as of May 16, 1990, said intersection being known as Point #1 and having coordinates of N=86989.70' & E=251292.83' based in the Mercator Projection for the East Zone of Florida; and run thence North 201°15'57" West (all bearings in this legal description are also based on the said Mercator Projection) along the center line of the OCCR for a distance of 230.44 feet to Point #2 (N=87205.96' & E=251213.26'); thence North 52°51'57" West along the center line of the OCCR for a distance of 330.00 feet to Point #3 (N=87405.18' & E=250950.18'); thence North 39°38'57" West along the center line of the OCCR for a distance of 300.00 feet to Point #4 (N=87636.17' & E=250758.75'); thence North 30°49'57" West along the center line of the OCCR for a distance of 265.00 feet to Point #5 (N=87863.72' & E=250622.93'); 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thence North 18°45'51" West and along the said MHTL for a distance of 57.65 feet to Point #22 (N=89441.81' & E=249763.91'); thence North 14°57'57.5" West and along the said MHTL for a distance of 128.46 feet to Point #23 (N=89565.90' & E=249730.73'); thence North 38°26'33" East and along the said MHTL for a distance of 165.00 feet to Point #24 (N=89695.14' & E=249833.32'); thence South 52°04'36" East for a distance of 195.00 feet to Point #25 (N=89575.29' & E=249998.714') and a concrete monument; thence South 13°16'39" West for a distance of 22.30 feet to Point #26 (N=89553.59' & E=249982.02') and a concrete monument; thence South 44°52'02" East for a distance of 269.09 feet to Point #27 (N=89362.88' & E=250171.86') and a concrete monument; thence North 74°46'08" East for a distance of 80.26 feet to Point #28 (N=89383.96' & E=250249.30') and a concrete monument; thence South 56°50'29" East for a distance of 483.59 feet to Point #29 (N=89119.46' & E=250654.14') and a concrete monument; 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Said lands lying and being in Section 27, Township 67 South, Range 25 East on Stock Island, Monroe County, Florida containing 564,747 square feet (12.9648 acre) more or less.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N03°46'48"W	34.74'
L2	N57°51'44"W	11.45'
L3	N77°00'01"W	18.70'
L4	S30°43'26"W	26.30'
L5	S35°43'56"W	42.49'
L6	S41°57'17"W	40.91'
L7	N64°05'56"W	25.09'
L8	S60°24'09"E	13.93'
L9	N03°58'12"W	18.22'
L10	N22°31'33"E	80.34'
L11	N04°04'24"W	35.19'
L12	S89°33'38"E	31.38'
L13	N24°30'23"E	71.28'



AVIROM & ASSOCIATES, INC.
 SURVEYING & MAPPING
 50 S.W. 2nd AVENUE, SUITE 102
 BOCA RATON, FLORIDA 33432
 (561) 392-2594 / WWW.AVROMSURVEY.COM
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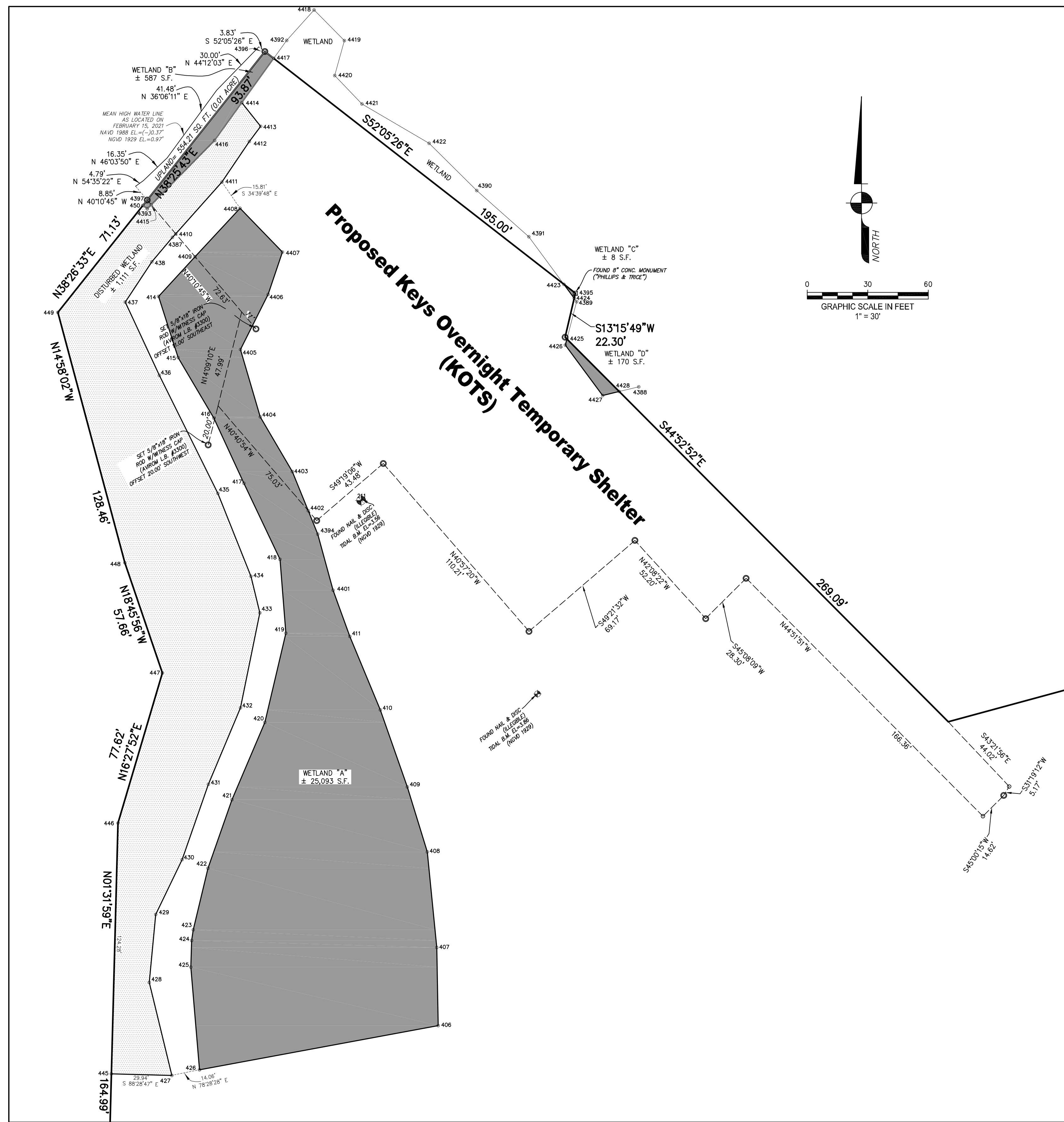
BOUNDARY AND TIDAL WATER SURVEY
A PARCEL OF LAND IN
 SECTION 27, TOWNSHIP 67 SOUTH, RANGE 25 EAST
 DESCRIBED IN
 (O.R.B. 1490; PAGE 291, M.C.R.)
 MONROE COUNTY, FLORIDA

SCALE: 1" = 60'
 DATE: 04/08/2021
 BY: W.R.E.
 CHECKED: K.M.C.
 F.B. No. 1792 PG. 70-75
 SHEET: 1 OF 2

REVISIONS

NO.	DATE	BY	DESCRIPTION

JOB #: 11227-5



JURISDICTIONAL WETLANDS SURVEY
SCALE 1" = 30'

DISTURBED WETLANDS			
± 17,548 S.F.			
Point	Northing	Easting	Description
427	89344.0	406019.5	PL22
428	89390.1	406008.3	PL23
429	89423.8	406011.5	PL24
430	89451.0	406024.6	PL25
431	89488.3	406037.6	PL26
432	89526.2	406053.6	PL27
433	89573.3	406063.2	PL28
434	89591.4	406058.7	PL29
435	89632.5	406042.3	PL30
436	89610.0	406013.4	PL31
437	89727.3	405996.4	PL32
438	89747.3	406009.7	PL33
445	89344.8	405989.6	WETLAND AT DEED LINE
446	89469.1	405992.9	WETLAND AT DEED LINE
447	89543.5	406014.9	WETLAND AT DEED LINE
448	89598.1	405996.3	WETLAND AT DEED LINE
449	89722.2	405963.1	WETLAND AT DEED LINE
450	89775.2	406005.2	WETLAND AT DEED LINE
4387	89759.4	406019.9	DW1 START
4393	89773.5	406007.3	W10 START
4410	89761.1	406021.5	WETLAND AT DEED LINE
4411	89786.7	406044.4	DW2
4412	89806.9	406058.0	DW3
4413	89814.4	406063.5	DW4
4414	89826.1	406054.2	DW5 END
4415	89775.5	406009.3	WETLAND AT DEED LINE
4416	89807.4	406040.7	W11

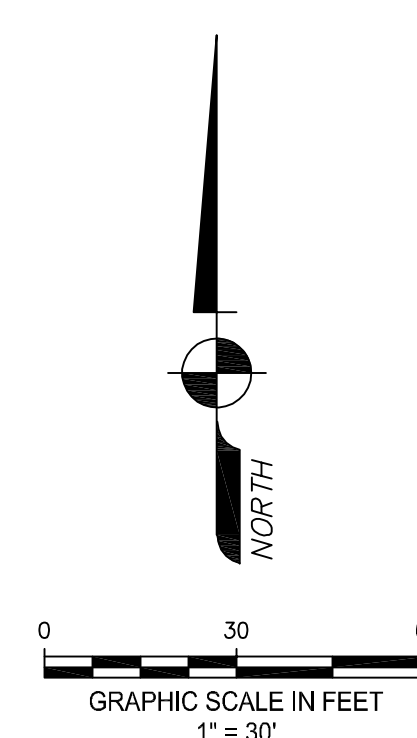
WETLAND "A"			
± 25,093 S.F.			
Point	Northing	Easting	Description
406	89368.7	406151.5	PL1
407	89407.5	406150.9	PL2
408	89454.8	406146.1	PL3
409	89487.1	406136.2	PL4
410	89525.2	406122.8	PL5
411	89561.6	406107.7	PL6
414	89730.1	406013.0	PL9
415	89699.8	406022.7	PL10
416	89669.8	406040.3	PL11
417	89637.5	406055.3	PL12
418	89599.8	406073.1	PL13
419	89563.2	406076.0	PL4
420	89519.0	406065.6	PL15
421	89480.7	406049.3	PL16
422	89446.8	406037.4	PL17
423	89416.3	406030.2	PL18
424	89410.9	406029.4	PL19
425	89397.7	406029.0	PL20
426	89346.9	406033.3	PL21 STOP
4394	89612.3	406091.8	W2
4401	89584.5	406099.4	W1 START
4402	89623.9	406087.1	W @ BNDY
4403	89643.3	406079.3	W3
4404	89670.4	406063.4	W4
4405	89703.8	406053.5	W5
4406	89731.1	406067.2	W6
4407	89752.0	406074.4	W7
4408	89773.7	406053.4	W8
4409	89749.8	406031.0	W9 END

WETLAND "B"			
± 587 S.F.			
Point	Northing	Easting	Description
450	89775.23	406005.2	WETLAND AT DEED LINE
4393	89773.51	406007.3	W10 START
4396	89851.45	406065.7	WETLAND AT DEED LINE
4397	89777.91	406007.3	WETLAND AT DEED LINE
4415	89775.52	406009.3	WETLAND AT DEED LINE
4416	89807.35	406040.7	W11
4417	89848.05	406070	WETLAND AT DEED LINE

WETLAND "C"			
± 8 S.F.			
Point	Northing	Easting	Description
4395	89731.6	406219.5	W @ BOUNDARY
4423	89736.1	406213.8	W @ BOUNDARY
4424	89729.1	406218.9	W @ BOUNDARY

WETLAND "D"			
± 170 S.F.			
Point	Northing	Easting	Description
4425	89709.0	406215.3	W @ BOUNDARY
4426	89706.0	406214.6	W21
4427	89681.0	406233.0	W22
4428	89683.0	406241.2	W @ BOUNDARY

OFF-SITE FLAGS LOCATED			
Point	Northing	Easting	Description
4401	89584.5	406099.4	W1 START
4394	89612.3	406091.8	W2
4387	89759.4	406019.9	DW1 START
4393	89773.51	406007.3	W10 START
4392	89857.01	406076.5	W12
4418	89872.09	406090	W13 CORNER
4419	89856.89	406105.1	W14 CORNER
4420	89839.54	406100.2	W15
4421	89825.43	406113.7	W16
4422	89805.97	406147	W17
4389	89727.53	406220.1	W20
4390	89782.56	406170.6	W18
4391	89759.72	406196.4	W19
4388	89685.24	406250.9	W23 END



SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original seal of a Florida licensed surveyor and mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. Unless noted on the drawing, ALL measured bearings and distances correspond with the record bearing and distances and the differences, if any, are considered de minimis.
4. No underground improvement were located.
5. The property described hereon lies within Flood Zones AE (El 10 Feet) as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) LOMAR Number 15-04-0697P, Community Number 125129, dated 08/20/2015.
6. a. Bearings shown hereon are referenced to Grid North, based on the 2011 Adjustment of the North American Datum of 1983, NAD 83 (2011) Epoch 2010.00 of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone.
b. The Grid coordinates shown hereon are based on the North American Datum of 1983, adjustment of 2011 (NAD 83/2011) Epoch 2010.00, of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone established by a Real-time Network (RTN) GPS Control Survey which is certified to a 2 centimeter local accuracy.
c. Ties were made to National Geodetic Control Point "872 4572 F TIDAL" (PID AA1629).
d. Method: Wide Area Continuously Operating GPS Reference Station Network
e. Equipment Used: Leica GS18 LTE & UHF Performance Smart Antenna, Serial Numbers 3602394(Dual Frequency Receivers)
f. Processing Software: Leica Infinity, Version 3.1.0.3188
7. Elevations shown hereon are based on the North Geodetic Vertical Datum of 1929. To convert elevations from NGVD 29 to NAVD 88, add algebraically (-) 1.34 feet to the elevation. Conversion factor was derived from the National Geodetic Survey (NGS) Data Recovery Sheet for Station "872 4572 F TIDAL" (PID AA1629).
8. Benchmark Description: National Geodetic Survey Station Designation "872 4572 F TIDAL" (PID AA1629). Elevation=10.05 feet (NGVD 1929). Elevation=8.71 feet (NAVD 1988).
9. The Mean High Water Survey depicted hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File 7960.
(a) Mean High Water Elevation is (-) 0.37 feet, NAVD 1988, as located on February 15, 2021.
(b) The Mean High Water Elevation as shown hereon was established by the extension of tidal data from Tidal Station 3263, which was obtained from the Florida Department of Environmental Protection Bureau of Survey and Mapping.
10. The Jurisdictional Wetlands as delineated hereon are based on the location of wetlands flags as established by: Terram Environmental Services, Inc., 1241 Crane Boulevard, Sugarloaf Key, FL 33042. Telephone: (305) 393-4200. The Jurisdictional Wetland lines are subject to review and/or revisions by the Florida Department of Environmental Protection.
11. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'. The elevations on impervious surfaces were field measured to 0.03' and on ground surfaces to 0.1'.
12. The Retention Pond within the subject property is non-tidal in nature with the flow of water restricted by a control structure located along the west boundary of the Parent Tract.
13. Abbreviation Legend: A/C = Air Conditioner; ASPH. = Asphalt; B.M. = Benchmark; BLDG = Building; CONC. = Concrete; EL. = Elevation; F.B. = Field Book; FF = Finished Floor; I.R. = Iron Rod; L.B. = Licensed Business; NAVD = North American Vertical Datum of 1988; NGVD = National Geodetic Vertical Datum of 1929; P = Per Record Plat; P.B. = Plat Book; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; PG. = Page; R/W = Right-Of-Way; S.F. = Square Feet; TEMP. = Temporary; W/CAP = With Surveyors Cap.

SCALE: 1"=30'

DATE: 04/08/2021

BY: W.R.E.

CHECKED: K.M.C.

F.B.: 1732 PG. 70-75

SHEET: 2 OF 2

JURISDICTIONAL WETLANDS SURVEY

A PARCEL OF LAND IN

SECTION 27, TOWNSHIP 87 SOUTH, RANGE 25 EAST

DESCRIBED IN

(O.R.B. 1738, PG. 2378, M.C.R.)

CITY OF KEY WEST

MONROE COUNTY, FLORIDA

REVISIONS

DATE	F.B./PG.	BY	CKD	REVISIONS
02/24/2021	1732/61			

AVIROM & ASSOCIATES, INC.

SURVEYING & MAPPING

50 S.W. 2nd AVENUE, SUITE 102

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JOB #: 11227-5