



Historic Architectural Review Commission Staff Report for Item 11

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Daniela Salume, MFA
Historic Architectural Preservationist

Meeting Date: May 27, 2025

Applicant: Sandbar Design Studio, Inc

Application Number: C2025-0038

Address: 726.5 Passover Lane

Description of Work:

Demolition of existing shed roof and partial demolition of north side of historic house.

Site Facts:

The building under review is listed as being constructed in 1928 according to a 2011 survey and the Property Appraisers website; however, this date is not supported by other sources. The structure does not appear on the 1962 Sanborn Map, and the earliest available aerial imagery showing the building dates to 1968. The site contains a two-story wood-frame structure with a one-story rear addition featuring a shed roof. The house is not visible from the street as it doesn't front any street or lane.

Currently the house sits on piers and is located within an AE-6 flood zone.



Aerial photo of property under review 1968.



Aerial photo of property under review 1972.



Aerial photo of property under review 1975.



Aerial photo of property under review 1981.



Photo of property under review. (Zillow.com)



Photo of property under review. Rear one-story structure with shed roof.



Photo of property under review. Rear one-story structure with shed roof.



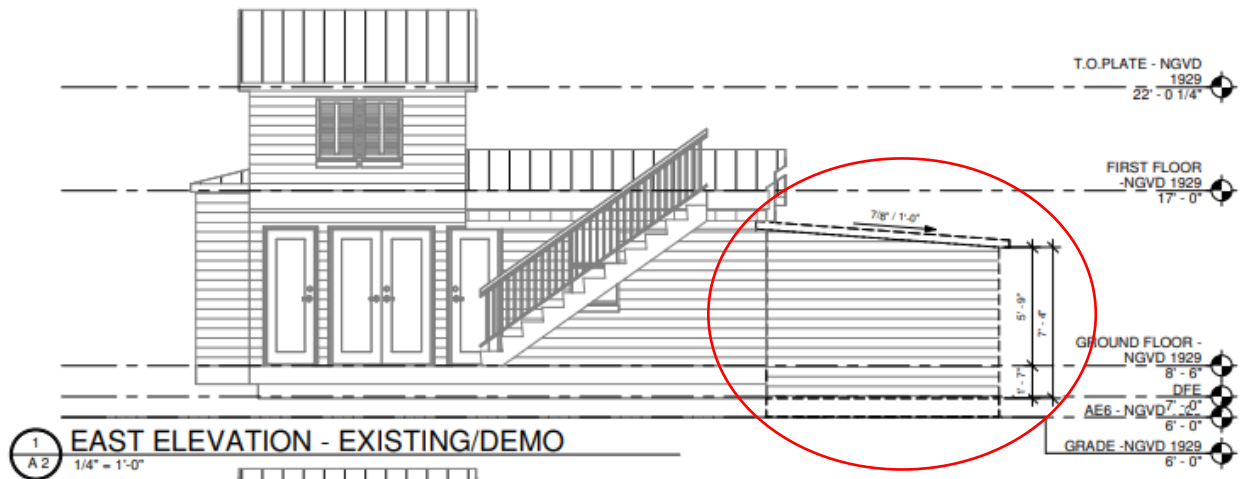
1962 Sanborn Map and current survey.

Ordinance Cited on Review:

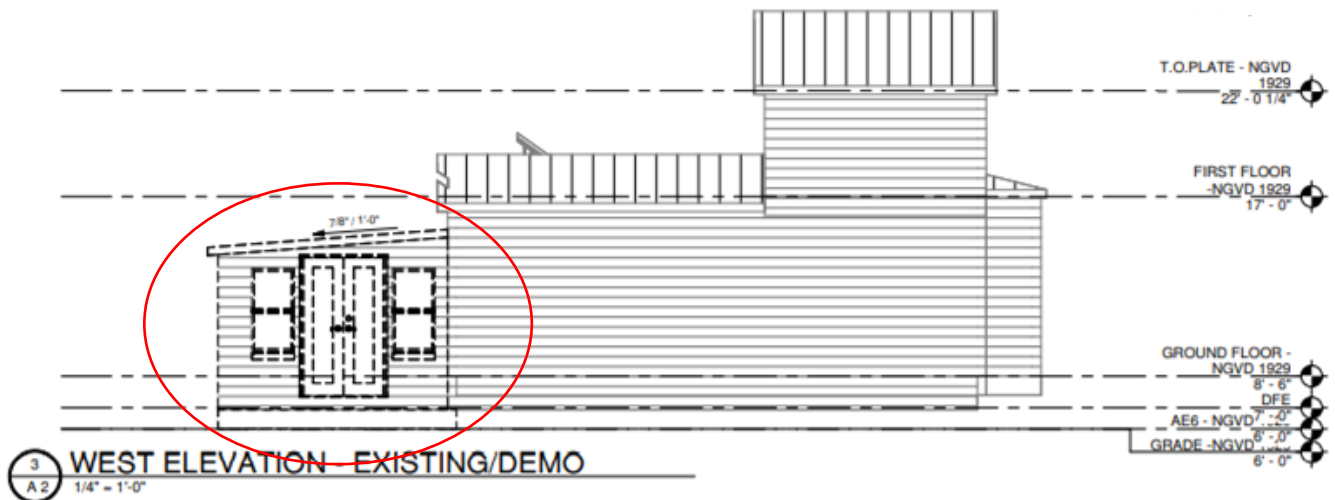
- Section 102-217 (4), demolition for contributing and historic structures of the Land Development Regulations.
- Section 102-218 - Criteria for Demolition of the Land Development Regulations.

Staff Analysis:

The Certificate of Appropriateness proposes the demolition of the existing shed roof and partial removal of the north side of the historic house to allow the rear addition's floor to be raised to match the main house.



Existing East Elevation.



Existing West Elevation.

It is staff's opinion that the request for this demolition shall be based on the demolition criteria of Chapter 102 Section 218 (a) of the LDR's. The criteria for demolition of historic structures state the following:

(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration, or it does not meet any of the criteria of section 102-125(1) through (9).*

The elements proposed for demolition are historic; however, aerial imagery shows that the structure has undergone multiple alterations over time, diminishing its original integrity.

The following is the criteria of section 102-125:

- 1 Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.*

Staff opines that the historic structure has no distinctive characteristics of a type, period or method of construction.

- 2 Is not specifically associated with events that have made a significant contribution to local, state, or national history.*

It is staff understanding that no significant events have ever happened on the site relevant to local, state, or national history.

- 3 Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation, and is not associated with the life of a person significant in the past.*

It is staff's understanding that the elements under review have no significant character and are not associated with the life of a significant person in the past.

- 4 Is not the site of a historic event with a significant effect upon society.*

It is staff's understanding that the site is not associated with any significant event.

- 5 *Does not exemplify the cultural, political, economic, social, or historic heritage of the city.*

It is staff's understanding that the elements under review do not exemplify the cultural, political, economic, social or historic heritage of the city.

- 6 *Does not portray the environment in an era of history characterized by a distinctive architectural style.*

Staff believes that the existing building does not portray an era of history characterized by a distinctive architectural style.

- 7 *If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed, or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.*

This is not the case.

- 8 *Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and*

The elements under review do not have a unique location or physical characteristics which represent an established and familiar visual feature of its neighborhood or of the city.

- 9 *Has not yielded, and is not likely to yield, information important in history.*

Staff believes that the elements under review do not yield important information in history.

It is staff's opinion that the request for demolition may be considered, as the portions of the structure under review meet the criteria for demolition. The building has experienced multiple alterations over time, reducing its original historic integrity. If approved, only one reading will be required. Staff will review submitted construction plans for demolition and design to ensure consistency with submitted drawings.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE AE6	ZONING DISTRICT HHDR	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

726.5 Passover Lane

NAME ON DEED:

Key West Investments LLC

PHONE NUMBER
224-619-9163

OWNER'S MAILING ADDRESS:

1200 4th Street, 138

EMAIL
lynch.don@comcast.net

Key West, FL 33040

APPLICANT NAME:

Sandbar Design Studio, Inc

PHONE NUMBER
847-903-5854

APPLICANT'S ADDRESS:

29183 Camellia Lane

EMAIL
INFO@SANDBARDESIGNSTUDIO.COM

Big Pine Key, FL 33043

APPLICANT'S SIGNATURE:

Erica Poole

DATE
4/18/2025

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS___ RELOCATION OF A STRUCTURE___ ELEVATION OF A STRUCTURE X

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES___ NO X INVOLVES A HISTORIC STRUCTURE: YES X NO___

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES___ NO___

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL:

DEMO OF AN EXISTING SHED ROOF PORTION OF THE HOUSE, THAT IS LOWER THAN THE REMAINDER OF THE RESIDENCE. REBUILD IN THE SAME FOOTPRINT, RAISING THE FLOOR LEVEL TO MATCH THE REST OF THE HOUSE. NEW GABLE ROOF TO MATCH THE REMAINING ROOF PROFILES OF THE HOUSE. 204 SF.

MAIN BUILDING:

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

DEMO OF AN EXISTING SHED ROOF PORTION OF THE HOUSE, THAT IS LOWER THAN THE REMAINDER OF THE RESIDENCE. REBUILD IN THE SAME FOOTPRINT, RAISING THE FLOOR LEVEL TO MATCH THE REST OF THE HOUSE. NEW GABLE ROOF TO MATCH THE REMAINING ROOF PROFILES OF THE HOUSE.

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
N/A	
PAVERS:	FENCES:
N/A	N/A
DECKS:	PAINTING:
N/A	N/A
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
N/A	N/A
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:
N/A	N/A

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	726.5 Passover Lane
PROPERTY OWNER'S NAME:	Key West Investments LLC
APPLICANT NAME:	Don & Sue Lynch

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

PROPERTY OWNER'S SIGNATURE

DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

DEMO OF AN EXISTING SHED ROOF PORTION OF THE HOUSE, THAT IS LOWER THAN THE REMAINDER OF THE RESIDENCE. REBUILD IN THE SAME FOOTPRINT, RAISING THE FLOOR LEVEL TO MATCH THE REST OF THE HOUSE. NEW GABLE ROOF TO MATCH THE REMAINING ROOF PROFILES OF THE HOUSE.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

THIS IS HISTORIC, NON-CONTRIBUTING. DEMO IS TO RAISE THIS PORTION OF THE HOUSE OFF OF THE GROUND FOR ROT/TERMITE PROTECTION.

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

THE EXISTING STRUCTURE IS NOT ARCHITECTURALLY HISTORICALLY SIGNIFICANT.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

THE RESIDENCE HAS NOT BEEN ASSOCIATED WITH SIGNIFICANT EVENTS.

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

THE RESIDENCE DOES NOT HOLD SIGNIFICANT CHARACTER, AND IS NOT ASSOCIATED WITH THE LIFE OF A SIGNIFICANT HISTORICAL FIGURE.

(d) Is not the site of a historic event with significant effect upon society.

THE SITE HAS NO HISTORIC EVENTS ASSOCIATED WITH IT.

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

THE RESIDENCE DOES NOT EXEMPLIFY THE CULTURAL, POLITICAL, ECONOMIC, SOCIAL, OR HISTORIC HERITAGE OF THE CITY.

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

THE RESIDENCE DOES NOT PORTRAY THE ENVIRONMENT IN AN ERA OF HISTORY CHARACTERIZED BY A DISTINCTIVE ARCHITECTURAL STYLE.

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

THE SITE IS NOT RELATED TO A PARK/SQUARE OR SIGNIFICANT AREA

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

THE RESIDENCE AND SITE DO NOT CONTAIN UNIQUE/SINGULAR CHARACTERISTICS.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,
THE RESIDENCE AND SITE HAVE NOT YIELDED AND ARE NOT LIKELY TO YIELD INFORMATION IMPORTANT TO HISTORY.

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
(4) Removing buildings or structures that would otherwise qualify as contributing.

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB Control No. 1660-0008
Expiration Date: 06/30/2026

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building

SECTION A – PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>KEY WEST INVESTMENTS LLC</u>		Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>726 1/2 PASSEOVER LANE</u>		Company NAIC Number: _____
City: <u>KEY WEST</u> State: <u>FL</u> ZIP Code: <u>33040</u>		
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>MONROE COUNTY PROPERTY APPRAISER PARCEL ID 00018530-000100</u>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>RESIDENTAL</u>		
A5. Latitude/Longitude: Lat. <u>24°33'21.20"</u> Long. <u>-081°47'49.00"</u> Horiz. Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983 <input checked="" type="checkbox"/> WGS 84		
A6. Attach at least two and when possible four clear color photographs (one for each side) of the building (see Form pages 7 and 8).		
A7. Building Diagram Number: <u>5</u>		
A8. For a building with a crawlspace or enclosure(s):		
a) Square footage of crawlspace or enclosure(s): <u>N/A</u> sq. ft.		
b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A		
c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>N/A</u> Engineered flood openings: <u>N/A</u>		
d) Total net open area of non-engineered flood openings in A8.c: <u>N/A</u> sq. in.		
e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): <u>N/A</u> sq. ft.		
f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): <u>N/A</u> sq. ft.		
A9. For a building with an attached garage:		
a) Square footage of attached garage: <u>N/A</u> sq. ft.		
b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A		
c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>N/A</u> Engineered flood openings: <u>N/A</u>		
d) Total net open area of non-engineered flood openings in A9.c: <u>N/A</u> sq. in.		
e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): <u>N/A</u> sq. ft.		
f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): <u>NA</u> sq. ft.		
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION		
B1.a. NFIP Community Name: <u>CITY OF KEY WEST</u>		B1.b. NFIP Community Identification Number: <u>120168</u>
B2. County Name: <u>MONROE</u>	B3. State: <u>FL</u>	B4. Map/Panel No.: <u>12087C1516</u> B5. Suffix: <u>K</u>
B6. FIRM Index Date: <u>02/18/2005</u>		B7. FIRM Panel Effective/Revised Date: <u>02/18/2005</u>
B8. Flood Zone(s): <u>AE</u>		B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>6</u>
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____		
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____		
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA		
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

726 1/2 PASSEOVER LANE

City: KEY WEST

State: FL

ZIP Code: 33040

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: AA1653

Vertical Datum: NGVD29

Indicate elevation datum used for the elevations in items a) through h) below.

☒ NGVD 1929 ☐ NAVD 1988 ☐ Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used?

☐ Yes ☒ No

If Yes, describe the source of the conversion factor in the Section D Comments area.

Check the measurement used:

a) Top of bottom floor (including basement, crawlspace, or enclosure floor):

6.9

☒ feet ☐ meters

b) Top of the next higher floor (see Instructions):

8.5

☒ feet ☐ meters

c) Bottom of the lowest horizontal structural member (see Instructions):

N/A

☐ feet ☐ meters

d) Attached garage (top of slab):

N/A

☐ feet ☐ meters

e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area):

8.0

☒ feet ☐ meters

f) Lowest Adjacent Grade (LAG) next to building: ☒ Natural ☐ Finished

6.0

☒ feet ☐ meters

g) Highest Adjacent Grade (HAG) next to building: ☒ Natural ☐ Finished

6.3

☒ feet ☐ meters

h) Finished LAG at lowest elevation of attached deck or stairs, including structural support:

6.0

☒ feet ☐ meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No

☐ Check here if attachments and describe in the Comments area.

Certifier's Name: ERIC ISAACS

License Number: PSM 6783

Title: SURVEYOR AND MAPPER

Company Name: FLORIDA KEYS LAND SURVEYING

Address: 21460 OVERSEAS HWY, SUITE 4

City: CUDJOE KEY

State: FL

ZIP Code: 33042

Telephone: (305) 394-3690

Ext.: _____

Email: FKLSEMAIL@GMAIL.COM

Signature: _____

Date: 04/23/2025



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):
THE BUILDING=A 2 STORY HOUSE ON COLUMNS W/ MULTIPLE FIRST FLOOR ELEVATIONS. C2e=THE ELEVATION OF THE BOTTOM OF THE A/C COMPRESSOR. THE LATITUDE AND LONGITUDE WERE DETERMINED BY USING GOOGLE EARTH.

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

726 1/2 PASSEVER LANE

City: KEY WEST

State: FL

ZIP Code: 33040

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

☐ Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments:

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

726 1/2 PASSEOVER LANE

City: KEY WEST

State: FL

ZIP Code: 33040

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. ☐ A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. ☐ A local official completed Section H for insurance purposes.
- G3. ☐ In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. ☐ The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ ☐ feet ☐ meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ ☐ feet ☐ meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ ☐ feet ☐ meters Datum: _____
- G11. Variance issued? ☐ Yes ☐ No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

726 1/2 PASSOVER LANE

City: KEY WEST

State: FL

ZIP Code: 33040

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) **For Building Diagrams 1A, 1B, 3, and 5–8.** Top of bottom _____ ☐ feet ☐ meters ☐ above the LAG floor (include above-grade floors only for buildings with crawlspaces or enclosure floors) is:

b) **For Building Diagrams 2A, 2B, 4, and 6–9.** Top of next _____ ☐ feet ☐ meters ☐ above the LAG higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is:

H2. Is **all** Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

☐ Yes ☐ No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

☐ Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments:

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
726 1/2 PASSEOVER LANE

City: KEY WEST State: FL ZIP Code: 33040

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo One

Photo One Caption: FRONT VIEW - 04/22/2025

Clear Photo One



Photo Two

Photo Two Caption: FRONT VIEW - 04/22/2025

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
726 1/2 PASSEOVER LANE

City: KEY WEST State: FL ZIP Code: 33040

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo Three

Photo Three Caption: SIDE VIEW -04/22/2025

Clear Photo Three

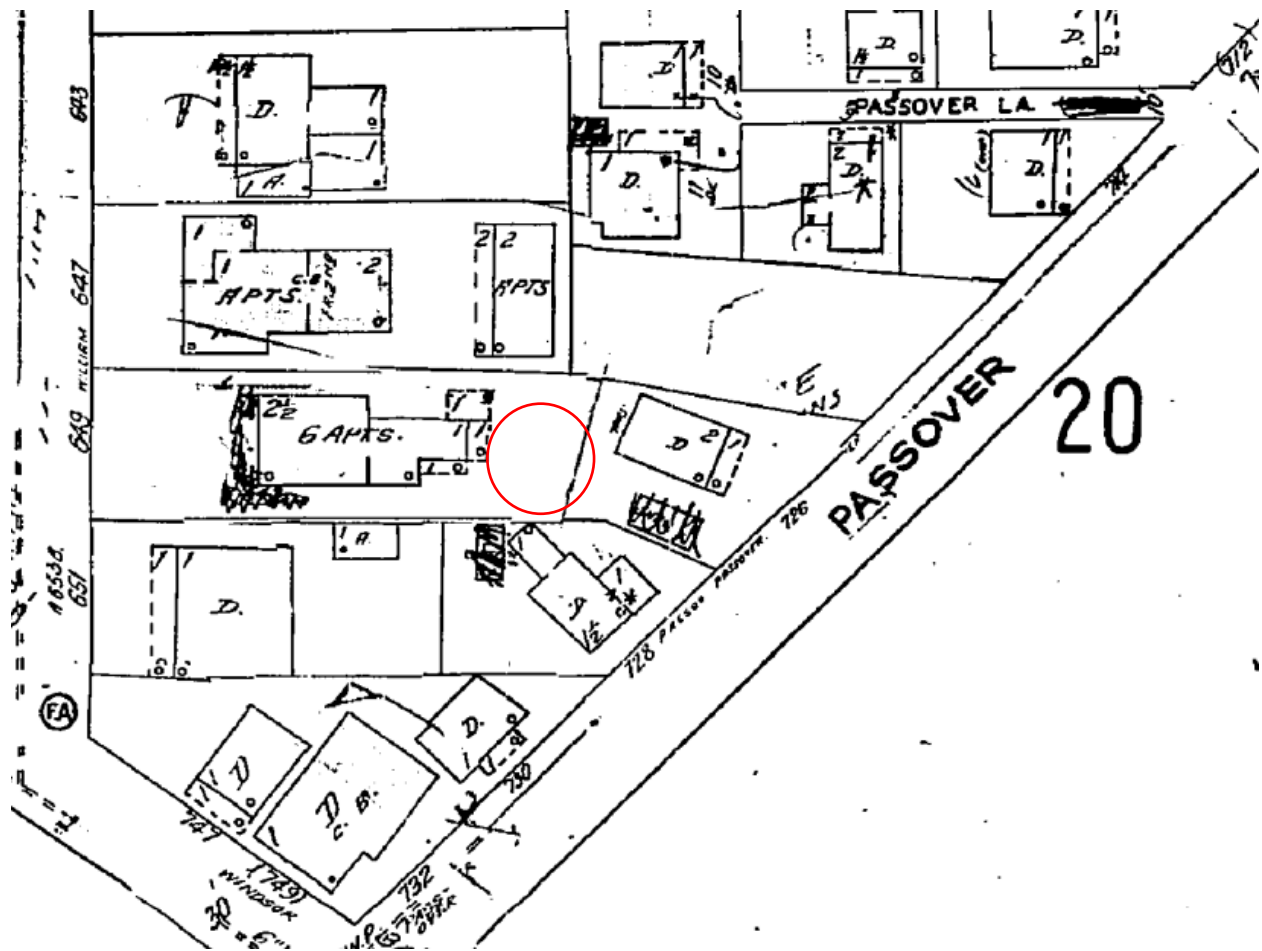


Photo Four

Photo Four Caption: REAR VIEW - 04/22/2025

Clear Photo Four

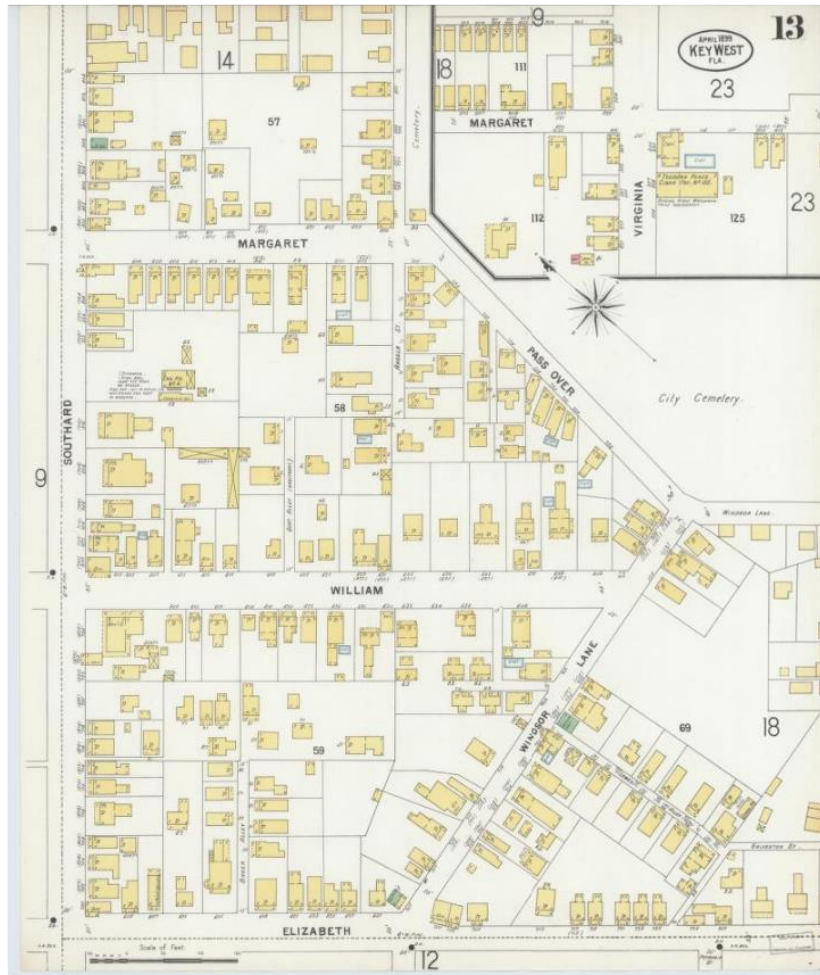
SANBORN MAPS



1962 Sanborn Map. Structure not present.

PROJECT PHOTOS

SANBORN MAP APRIL 1899



PHOTOS OF RESIDENCE



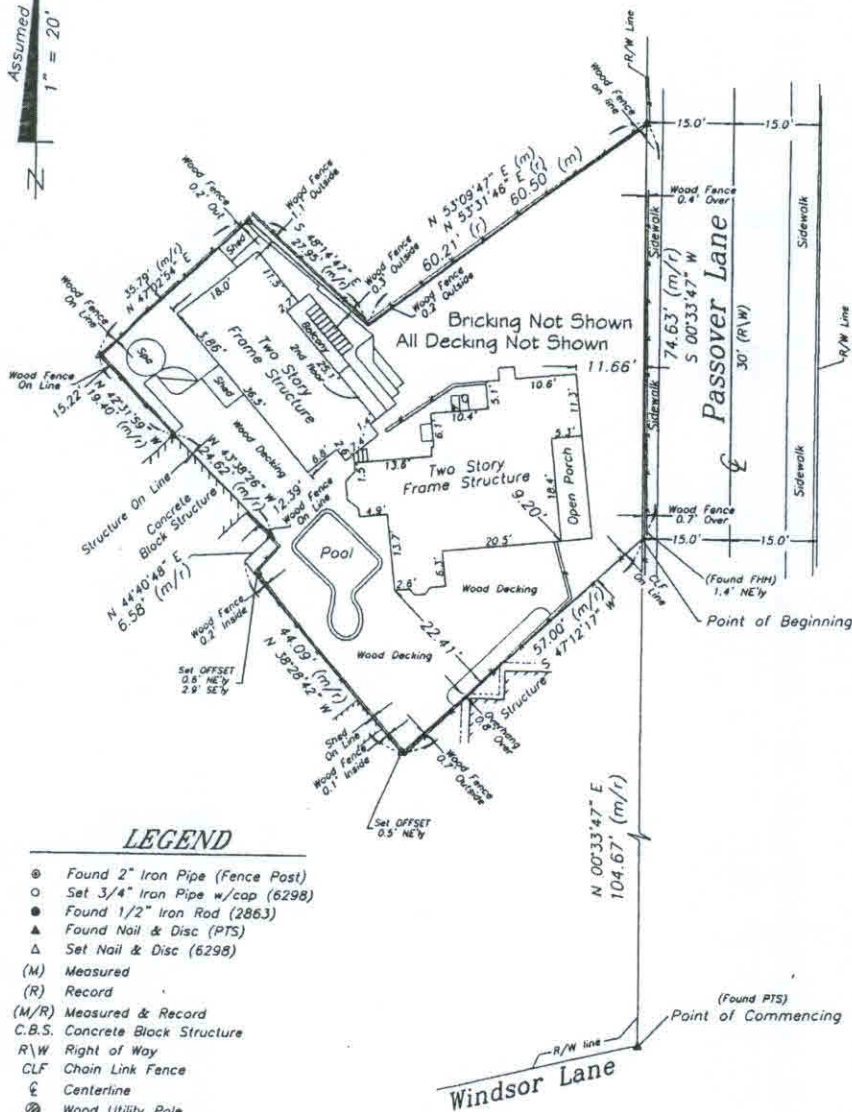






SURVEY

Assumed
 $1'' = 20'$



- ⊙ Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (2863)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ℄ Centerline
- ⊗ Wood Utility Pole
- ☒ Concrete Utility Pole
- P- Overhead Utility Lines

Sheet One of Two Sheets

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 298-7422 FAX (305) 298-2244

728 + 726½ Passover Lark

Boundary Survey Report of part of Tract 5, Island of Key West

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 726 1/2 & 728 Passover Lane, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. Bearings are assumed and based on the legal description whereas the West R/W line of Passover Lane is called N 00°33'47" W.
8. This survey is not assignable.
9. Date of field work: February 26, 2009.
10. Ownership of fences is undeterminable, unless otherwise noted.
11. Adjoiners are not furnished.
12. The Survey Report is not full and complete without the attached Survey Map.
13. Surveyor held bearings and distances when reference was made to existing fences, due to the inability to verify if fence is the original fence called out in the description.

BOUNDARY SURVEY OF: A parcel of land on the Island of Key West, Monroe County, Florida, and being a part of Tract 5, said parcel being described as follows: COMMENCING at the intersection of the N'y right of way line of Windsor Lane with the W'y right of way line of Passover Lane thence along said right of way line of Passover Lane bear N 00°33'47" E for a distance of 104.67 feet to the Point of Beginning of the parcel of land being described herein; thence bear S 47°12'17" W for a distance of 57.00 feet; thence bear N 38°28'42" W for a distance of 44.09 feet; thence bear N 44° 40' 48" E for a distance of 6.58 feet to an existing wood fence; thence along said fence and concrete block structure bear N 43° 38' 26" W for a distance of 24.62 feet; thence along an existing wood fence bear N 42°31'59" W for a distance of 19.40 feet; thence along an existing wood fence bear N 47°02'54" E for a distance of 35.79 feet; thence bear S 48°14'47" E for a distance of 27.95 feet; thence bear N 53°31'46" E for a distance of 60.21 feet to the said W'y right of way line of Passover Lane; thence bear S 00°33'47" W for a distance of 74.63 feet back to the Point of Beginning.

BOUNDARY SURVEY FOR: Key Bank National Assn.;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

March 3, 2009

Revised 3/17/10 to use legal description as described in Item 4 of Surveyor's Affidavit by Thomas A. Norby, recorded in Official Records Book 1760, at pages 376-377, of the Public Records of Monroe County, Florida.

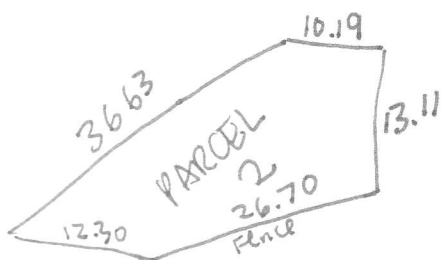
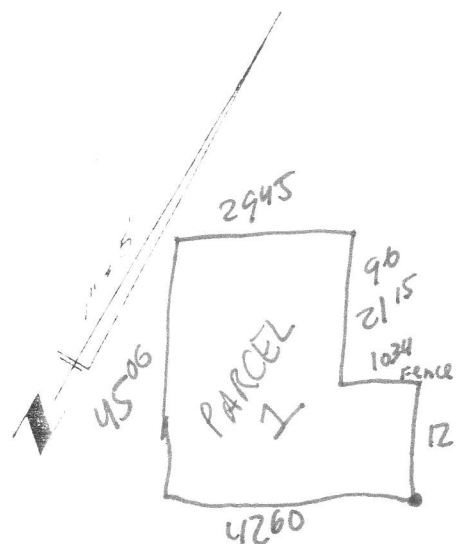
Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244



PARCEL NO. 1: A parcel of land on the Island of Key West, Monroe County, Florida; said parcel of land being described as follows: COMMENCE at the intersection of the NE'y right of way line (ROWL) of William Street with the Northerly ROWL of Windsor Lane and run thence NW'y along the ROWL of the said William Street for a distance of 16.75 feet; thence NE'y and at right angles for a distance of 18.00 feet; thence SE'y and at right angles for a distance of 3.00 feet; thence NE'y and at right angles for a distance of 14.42 feet; thence SE'y and at right angles for a distance of 3.40 feet; thence NE'y and at right angles for a distance of 9.30 feet; thence NW'y and at right angles for a distance of 3.40 feet; thence NE'y and at right angles for a distance of 27.28 feet; thence NW'y and at right angles for a distance of 51.50 feet; thence NE'y and at right angles for a distance of 39.40 feet to the POINT OF BEGINNING of the parcel of land being described herein; thence NW'y along a line deflected 87° 05' to the left for a distance of 45.06 feet; thence NE'y along a line deflected 87° 05' to the right for a distance of 29.45 feet; thence SE'y along a line deflected 96° 42' 22" to the right for a distance of 9.60 feet; thence continue SE'y along a line deflected 11° 54' 17" to the left for a distance of 21.15 feet; thence NE'y and along a line deflected 76° 17' 33" to the left for a distance of 10.34 feet; thence SE'y along a line deflected 76° 29' 28" to the right for a distance of 12.00 feet; thence SW'y and at right angles for a distance of 42.60 feet back to the POINT OF BEGINNING.

PARCEL NO. 2: A parcel of land on the Island of Key West, Monroe County, Florida; said parcel of land being described as follows: COMMENCE at the intersection of the NE'y right of way line (ROWL) of William Street with the Northerly ROWL of Windsor Lane and run thence NW'y along the ROWL of the said William Street for a distance of 16.75 feet; thence NE'y and at right angles for a distance of 18.00 feet; thence SE'y and at right angles for a distance of 3.00 feet; thence NE'y and at right angles for a distance of 14.42 feet; thence SE'y and at right angles for a distance of 3.40 feet; thence NE'y and at right angles for a distance of 9.30 feet; thence NW'y and at right angles for a distance of 3.40 feet; thence NE'y and at right angles for a distance of 27.28 feet; thence NW'y and at right angles for a distance of 51.50 feet; thence NE'y and at right angles for a distance of 82.00 feet to the POINT OF BEGINNING of the parcel of land being described herein; thence continue NE'y along a prolongation of the preceding course for a distance of 36.63 feet; thence Easterly along a line deflected 21° 15' 17" to the right for a distance of 10.19 feet to the Westerly right of way line (WROWL) of Passover; thence Southerly along the said WROWL for a distance of 13.11 feet; thence Westerly along a line deflected 61° 04' 46" to the right for a distance of 26.70 feet; thence continue Westerly along a line deflected 07° 48' 42" to the right for a distance of 12.30 feet back to the said POINT OF BEGINNING.



728 18570 - OWNER: OLEO
ACT ID: 1019127

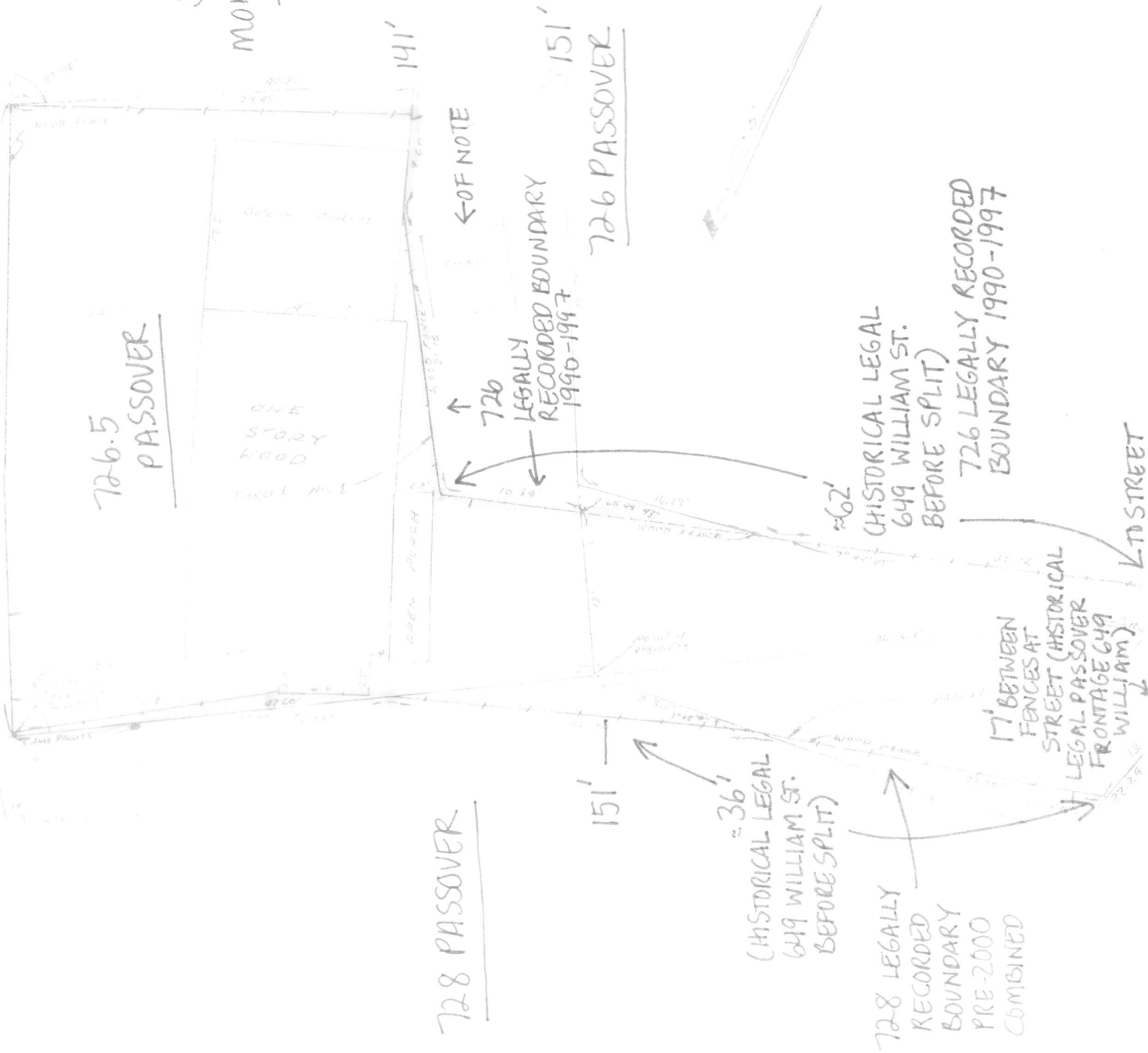
726.5- 18530 - OLEO
ACT ID: 8782403

Survey Drawing
 Monroe County Prop Appr
 726.5 Passover
 Phillips + Trice
 C. 1994

726.5 PASSOVER

728 PASSOVER

726 PASSOVER



WINDSOR LANE

P.O.B. →
732 PASSEY PROTECTED
PROP. LINE PROJECTED
OUT TO MED. SIDEWALK
(1' in would take away
1' from 732 SIDE)

728/730 FENCE - - -

105'8" N.
(104'8" D.)
*actual is extra
1' from P.O.B.

FRONTAGE = 74'3

OLD PROP.
LINE
728

149'11"
(141'3")

OLD PROP.
LINE
649 WILLIAM
DRIVEWAY

166'11"
(171')

MARKER POINT
(171'1")

728/726 FENCE - - -

180'
from P.O.B.
(should be
only 170'
as actual)

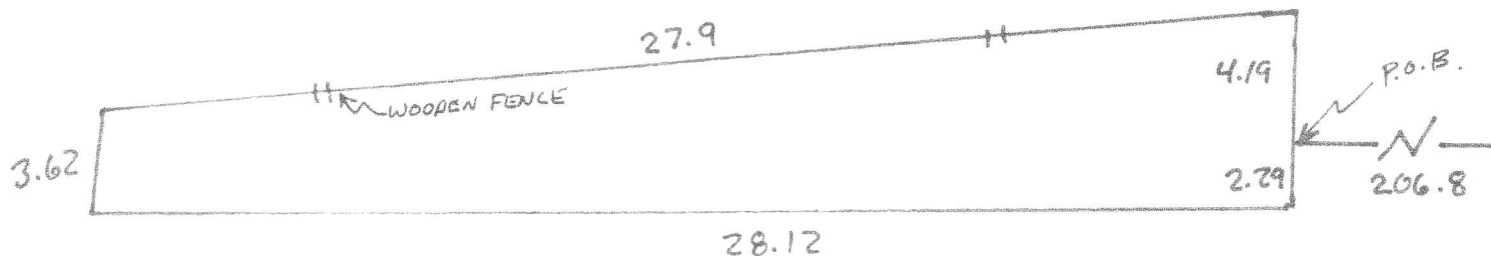
CALLAHAN WOULD HAVE HAD
TO Q.C. 13'1" TO NEWMAN
TO GET TO 180' ACTUAL
MEASUREMENT, YET
ITS 14.91' IN DEED!

NEWMAN TO CALLAHAN - QUIT CLAIM DEED 4-17-97

THIS PARCEL IS GIVEN TO CALLAHAN SINCE NEWMAN CLAIMED THAT HE OWNED 151' FROM WILLIAM ST. (FROM FRONT EDGE OF PROPERTY, NOT WHERE SIDEWALK MEETS STREET NOR FROM SURVEYOR'S MARK; IF FORMER, HE DIDN'T OWN THIS TO GIVE, IF LATTER, THERE WAS NO NEED FOR 2.29' TURN AT THE BEGINNING)

WILLIAM

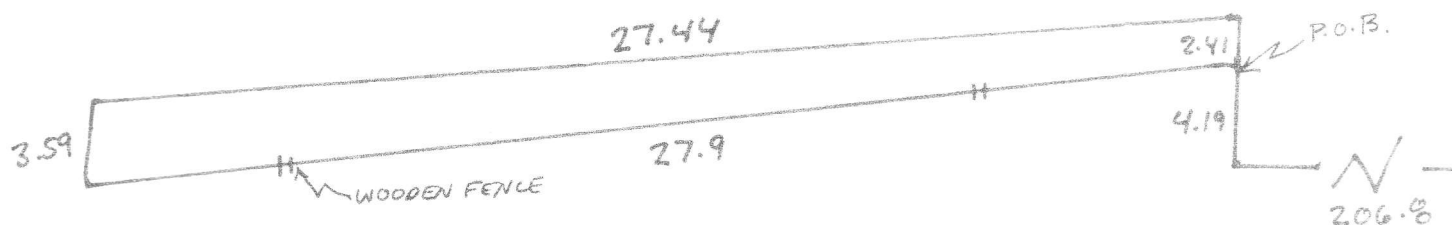
15
(FROM FRO
OF PROPERTY)



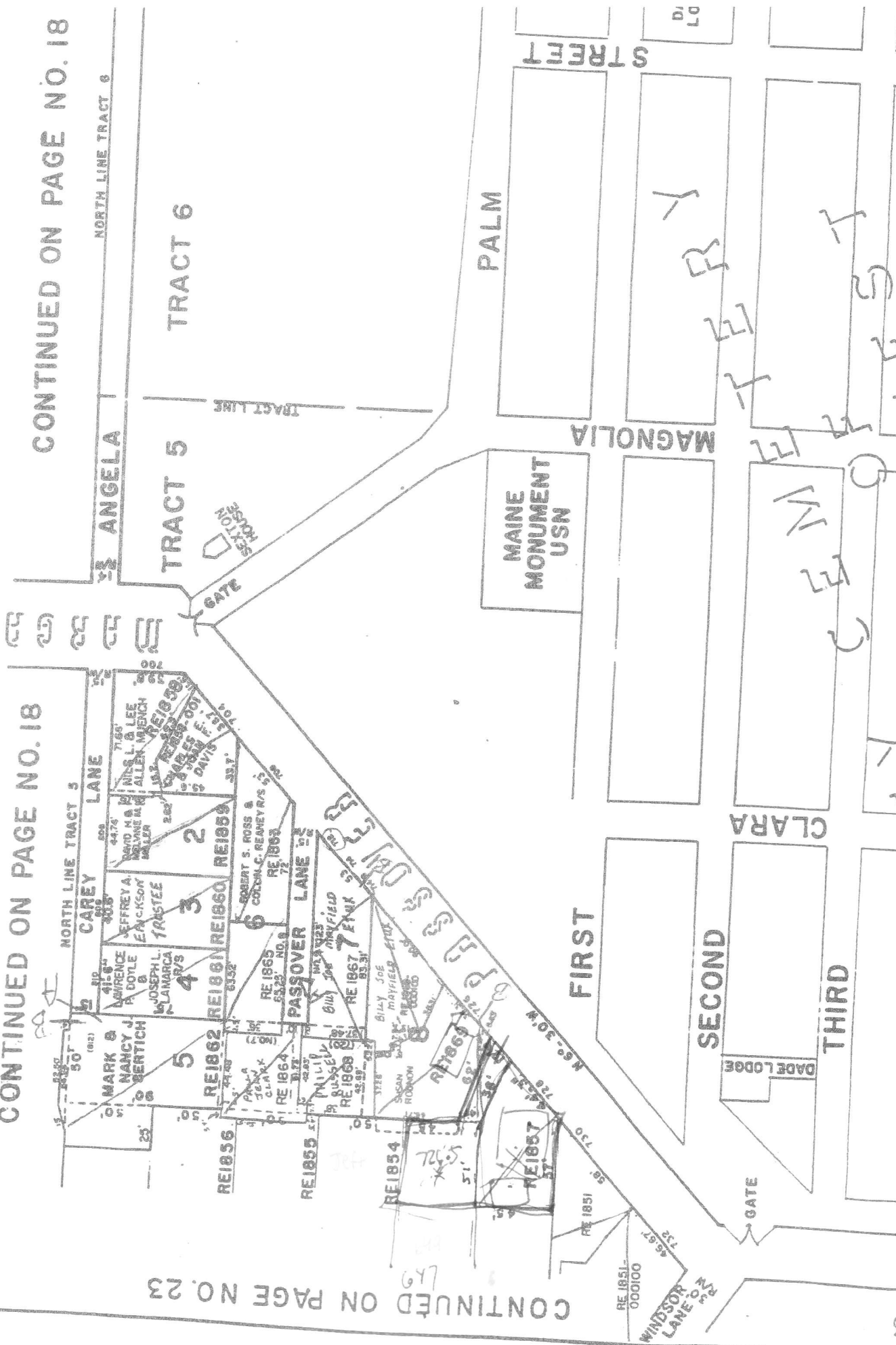
CALLAHAN TO NEWMAN - QUIT CLAIM DEED 4-17-97

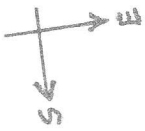
THIS PARCEL IS GIVEN TO NEWMAN EVEN THOUGH NEWMAN SUPPOSEDLY ALREADY OWNED IT AND HAS ALREADY BUILT ON IT AND ERECTED THE WOODEN FENCE. THESE TWO COMPLEMENTARY PARCELS ARE MEANT TO SETTLE A SUPPOSED "DISPUTE" OVER TWO CLAIMS TO THE SAME PROPERTY AND ESTABLISH BOUNDARIES WHERE NEWMAN HAS ALREADY DETERMINED THEM TO BE, WHICH IS 10' PAST OUR REAR FENCE LINE.

(FROM FR
OF PROPR)



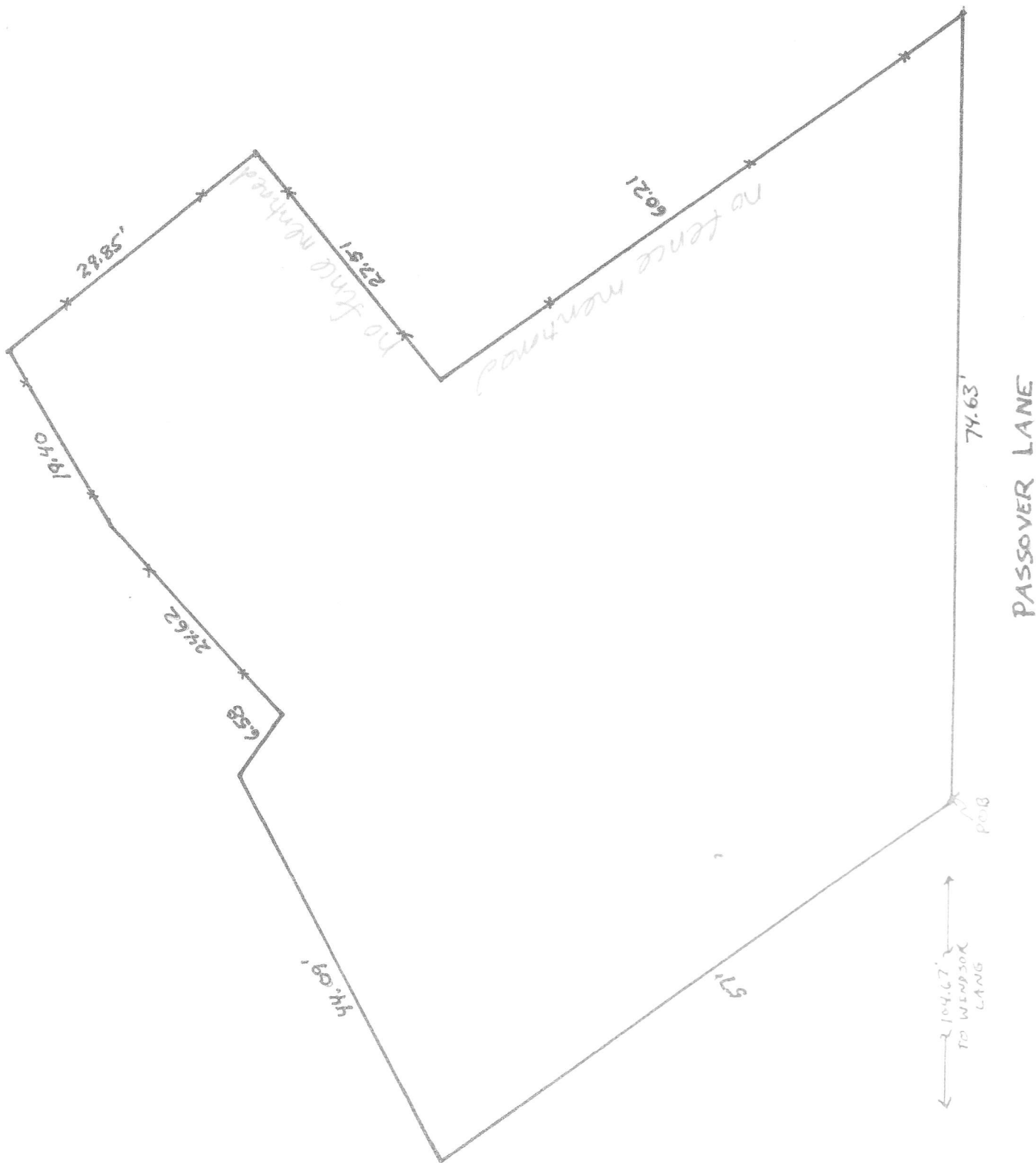
CONTINUED ON PAGE NO. 18





SCALE .75"=10'

728 ± 726 1/2
PASSOVER
LANE



QCD 234.16 MINUS 178.29 = 55.87

SURVEY HAS 57.55 to fence (diff. of 1.68' (1'8"))

1990 SURVEY HAS 30.75 fence length there, leaving 26.80 to that corner

ACTUAL MEASUREMENT = 26' ACROSS BACK - SLIGHTLY MORE AT CORNER SINCE $>90^\circ$ BACK THERE IN CORNER

728 ORIGINAL (1883)

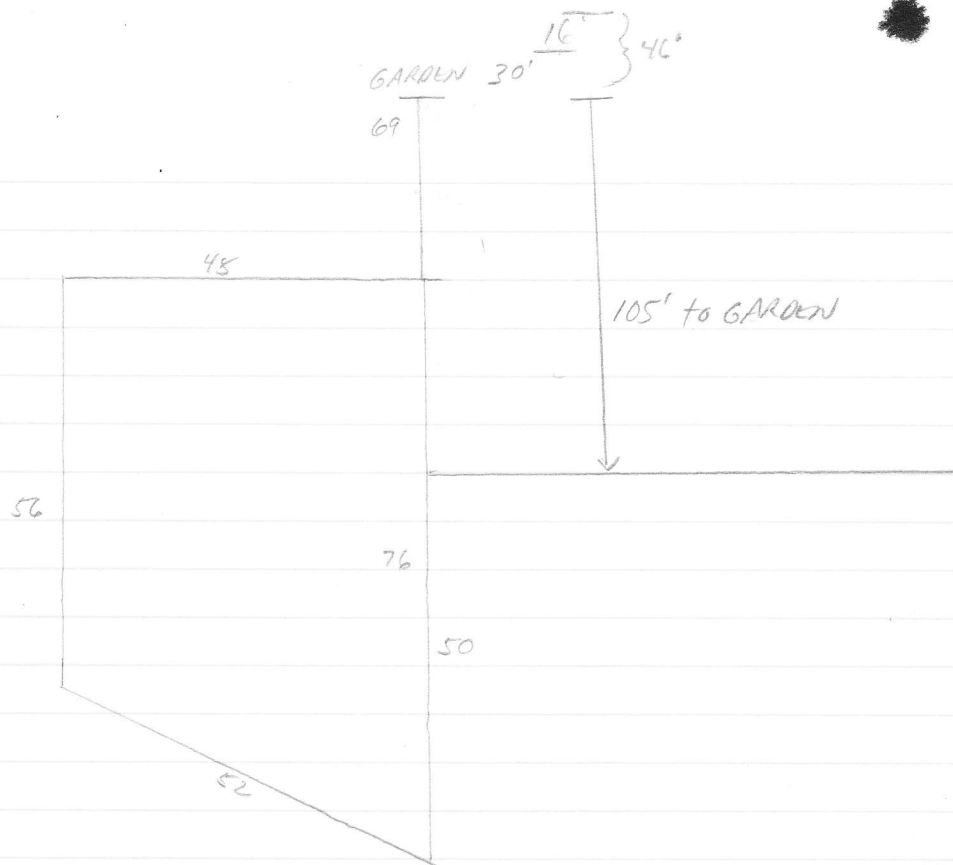
~~GARDEN~~ CITY LINE 235'

69' from William (formerly known as GARDEN ST.)

then 45' across back, 56' out to Passover, 52' of footage along Passover towards our house, the 76' back to POB

Our property begin 245' from City line (10' overlap



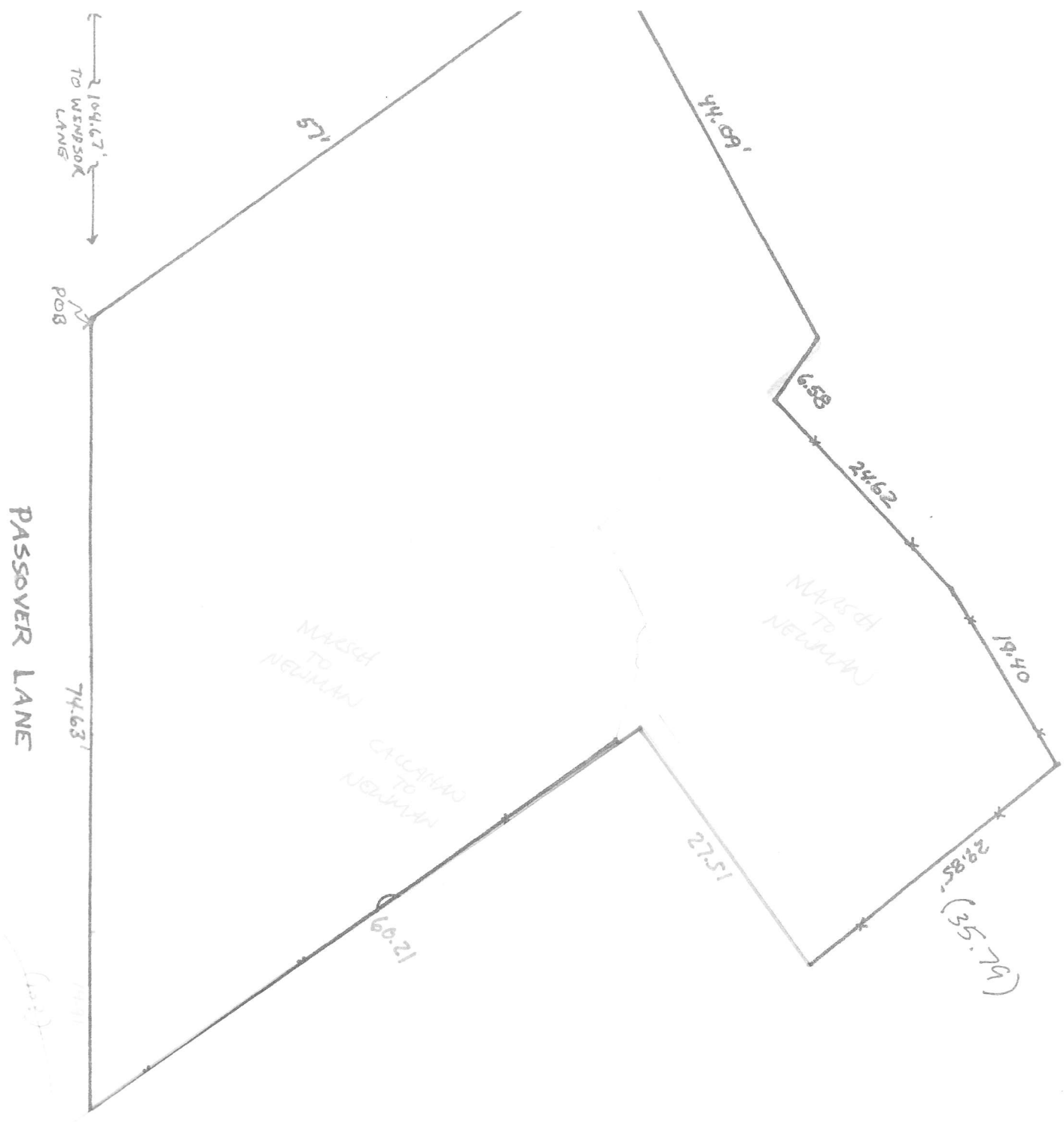


235 was mistaken, it should be 245'
 76' + 69' would be only 145' when it needed to be 155' next
 to our property, so either 69 should be 79' or 76' should
 be 86' (I think latter)
 SO, change to 86' now or 10' and you get your 155'

1305896 4235

SCALE .75"=10'

54-1



A hand-drawn site plan of a property. The property boundary is an irregular polygon with several dimensions labeled along its edges: 14.40' (top left), 29.85' (top left), 27.51' (top right), 66.21' (top right), 74.63' (right side), 104.62' (bottom right, with a note 'TO WENDSON LANE'), 31.6' (bottom right), and 69.44' (bottom left). Inside the property, there are two buildings. The building on the left is labeled '726 1/2' and has a small rectangular structure attached to its top left corner. The building on the right is labeled '728' and is a simple rectangle. The plan also shows a small rectangular structure near the top left corner of the property boundary.

PASSOVER LANE

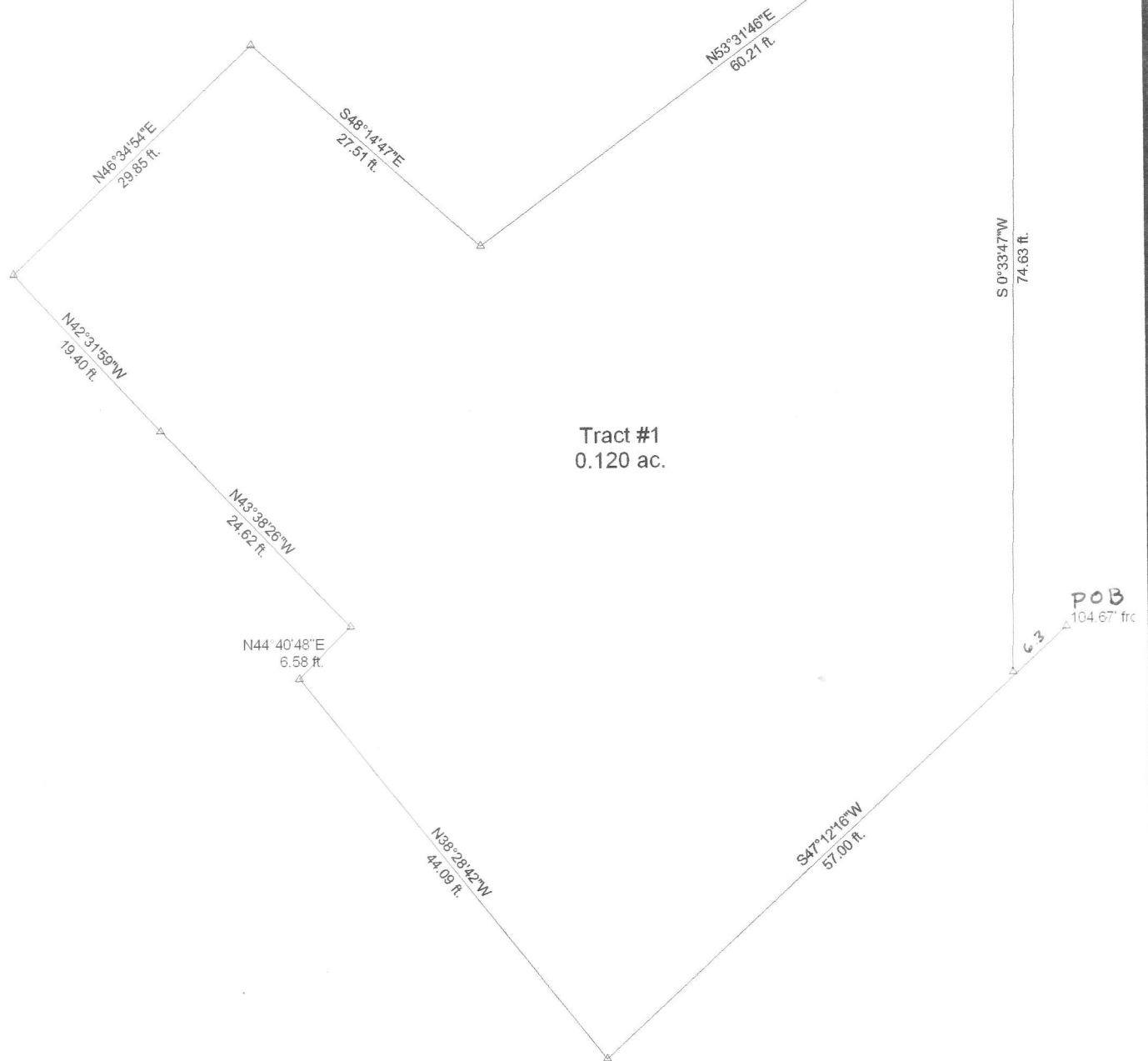
2



ACCORD TO
DEED

NEUMAN DO SUTTER

ONE MIGHT THINK THAT THIS SURVEY DOESN'T 'CLOSE' i.e. return to POB, BECAUSE THE 4TH FROM LAST CALL SHOULD BE 35.79' INSTEAD OF THE 29.85' RECORDED, BUT THE 'BAILEY MAP of 1967' SHOWS A 4 1/2'-5' HIATUS AT FRONT OF PASSOVER PROPERTIES (EVEN OUR ORIGINAL SOUTHERN BOUNDARY OUT TO PASSOVER MEASURED 6 1/2' LONGER THAN IT SHOULD HAVE!) THIS DRAWING HERE SHOWS A LITTLE OVER 6' (6.3').

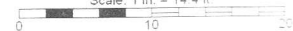


Adjusted Survey Data

April 18, 2000

Exhibit A

Scale: 1 in. = 14.4 ft.



728 PASSOVER LANE
NEWMAN TO SUTTER APRIL 18, 2000 EXHIBIT A

18540

1400

1100

18530

1-171

18520.0003

18520

18520.0004

10001

18530

18510

18570

PASSOU

RE1855

PHILIP
RUSSELL
RE 1868

NO. 9 123'
BILLY JOE MAYFIELD
RE 1867 7 ETUX
83.31'

et
Norby
Survey
RE1854

SUSAN
ROONON

BILLY JOE
MAYFIELD ETUX
RE 1869-
000100

RE1869

~~ROOM~~
Newman
to Sutter

RE1857
57'

deed attn

FIRST

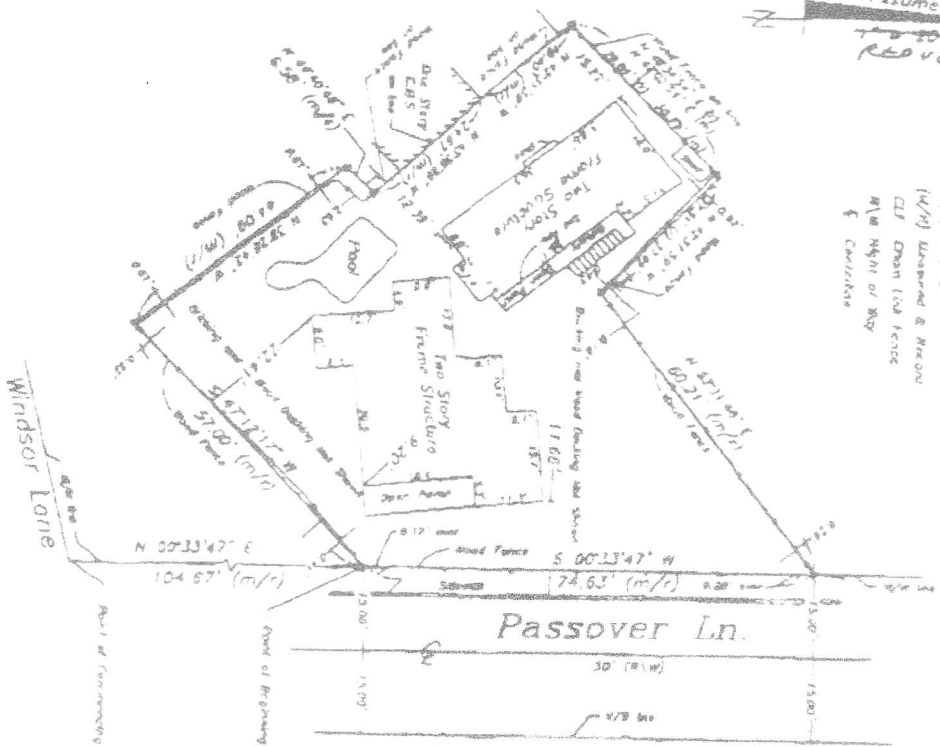
SECOND

GATE

LODGE

LEGEND

- A Round Nail & Iron (Nail)
- (M) Measured
- (R) Recorded
- (H/M) Measured & Recorded
- CLF Chain Link Fence
- N/M Nails of Nails
- C Concrete



- NOTES
1. The legal description shown herein was furnished by the client or their agent.
 2. Underground foundations and utilities were not located.
 3. All angles are 80' (Measured & Recorded) unless otherwise noted.
 4. Street address: 750 1/2 and 750 Passover Lane, Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapmaker.
 6. Land shown herein were not obstructed for rights of way, easements, ownership, or other limitations of record.
 7. Bearing base: East N/M line of Passover Lane as S 00°13'47\"/>
 9. Date of field work: January 25, 2002.
 10. Asymptotes are not furnished.
 11. Ownership of fences are undeterminable, unless otherwise noted.

BOUNDARY SURVEY OF: A parcel of land on the island of Key West, Monroe County, Florida, and being a part of Tract B, said parcel being described as follows: **COMMITMENT** at the intersection of the Nly right of way line of Windsor Lane with the Wly right of way line of Passover Lane. Thence along said right of way line of Passover Lane bear N 00°13'47\"/>

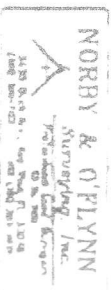
BOUNDARY SURVEY FOR

Scott M. Butler,
 First State Bank of the Florida Keys, its successors
 and/or assigns,
 Successors & Carriers,
 Attorneys' Title Insurance Fund, Inc.

NORBY O'FLYNN SURVEYING, INC.

John O'Flynn, PLS
 John O'Flynn, PLS
 Portland, ME 04101

January 27, 2002



Map of
 Boundary Survey for
 Scott M. Butler of
 First State Bank
 City of Key West

T32 PASSED
 PRO. LANE PROJECTED
 OUT TO MID. SIDEWALK
 (1' in would take away
 1' from T32 SIDE)

WINDSOR LANE

P.O.B.

728/730 FENCE ---

105'8" M.
 (104'8" D.)
 *actual is extra
 1' from P.O.B.

FRONTAGE = 74'3"

OLD PROP.
 L. LINE
 728

149'11"
 (44'3")

OLD PROP.
 L. LINE
 644 WILLIAM
 DRIVEWAY

196'11"
 (71")

728/726 FENCE ---

149'11"
 (44'3")

180'
 from P.O.B.
 (should be
 only 179'
 AS ACTUAL)

CALHAN WOULD HAVE HAD
 TO Q.C. 13'1" TO NEWMAN
 TO GET TO 180' ACTUAL
 MEASUREMENT, YET
 ITS 14.91' IN DEED!

EXHIBIT A

BOUNDARY SURVEY OF: A parcel of land on the Island of Key West, Monroe County, Florida, and being a part of Tract 5, said parcel being described as follows: COMMENCING at the intersection of the N'ly right of way line of Windsor Lane with the W'ly right of way line of Passover Lane thence along said right of way line of Passover Lane bear N00°33'47"E for a distance of 104.67 feet to the Point of Beginning of the parcel of land being described herein; thence bear S47°12'17"W for a distance of 57.00 feet; thence bear N38°28'42"W for a distance of 44.09 feet; thence Bear N44°40'48"E for a distance of 6.58 feet to an existing wood fence; thence along said fence and concrete block structure bear N43°38'26"W for a distance of 24.62 feet; thence along an existing wood fence bear N42°31'59"W for a distance of 19.40 feet; thence along an existing wood fence bear N46°34'54"E for a distance of 29.85 feet; thence bear S48°14'47"E for a distance of 27.51 feet; thence bear N53°31'46"E for a distance of 60.21 feet to the said W'ly right of way line of Passover Lane; thence bear S00°33'47"W for a distance of 74.63 feet back to the Point of Beginning.

MONROE COUNTY
OFFICIAL RECORDS

"Exhibit A"

FILE #1 2 8 4 2 8 5
BK#1 7 6 3 PG#2 4 4

A parcel of land on the Island of Key West, Monroe County, Florida, and being a part of Tract 5, said parcel being described as follows: COMMENCING at the intersection of the N'ly right of way line of Windsor Lane with the W'ly right of way line of Passover Lane thence along said right of way line of Passover Lane bear N00°33'47"E for a distance of 104.67 feet to the Point of Beginning of the parcel of land being described herein; thence bear S47°12'17"W for a distance of 57.00 feet; thence bear N38°28'42"W for a distance of 44.09 feet; thence bear N44°40'48"E for a distance of 6.58 feet to an existing wood fence; thence along said fence and concrete block structure bear N43°38'26"W for a distance of 24.62 feet; thence along an existing wood fence bear N42°31'59"W for a distance of 19.40 feet; thence along an existing wood fence, bear N46°34'54"E for a distance of 29.85 feet; thence bear S48°14'47"E for a distance of 27.51 feet; thence bear N53°31'46"E for a distance of 60.21 feet to the said W'ly right of way line of Passover Lane; thence bear S00°33'47"W for a distance of 74.63 feet back to the Point of Beginning.

MONROE COUNTY
OFFICIAL RECORDS

First American Title Insurance Company

FILE NO.: 1062-1896466

SCHEDULE A

DESCRIPTION

A parcel of land on the Island of Key West, Monroe County, Florida, and being a part of Tract S, said parcel being described as follows: Commencing at the intersection of the Northerly right of way line of Windsor Lane with the Westerly right of way line of Passover Lane; thence along said right of way line of Passover Lane, bear N 00° 33' 47" E for a distance of 104.67 feet to the Point of Beginning of the parcel of land being described herein; thence bear S 47° 12' 17" W for a distance of 57.00 feet; thence bear N 38° 28' 42" W for a distance of 44.09 feet; thence bear N 44° 40' 48" E for a distance of 6.58 feet to an existing wood fence; thence along said fence and concrete block structure, bear N 43° 38' 26" W for a distance of 24.62 feet; thence along an existing wood fence, bear N 42° 31' 59" W for a distance of 19.40 feet; thence along an existing wood fence, bear N 46° 34' 54" E for a distance of 29.85 feet; thence bear S 48° 14' 47" E for a distance of 27.51 feet; thence bear N 53° 31' 46" E for a distance of 60.21 feet to the said Westerly right of way line of Passover Lane; thence bear S 00° 33' 47" W for a distance of 74.63 feet back to the Point of Beginning.

Doc# 1773677
Bk# 2448 Pg# 978

Professional Land Surveyors

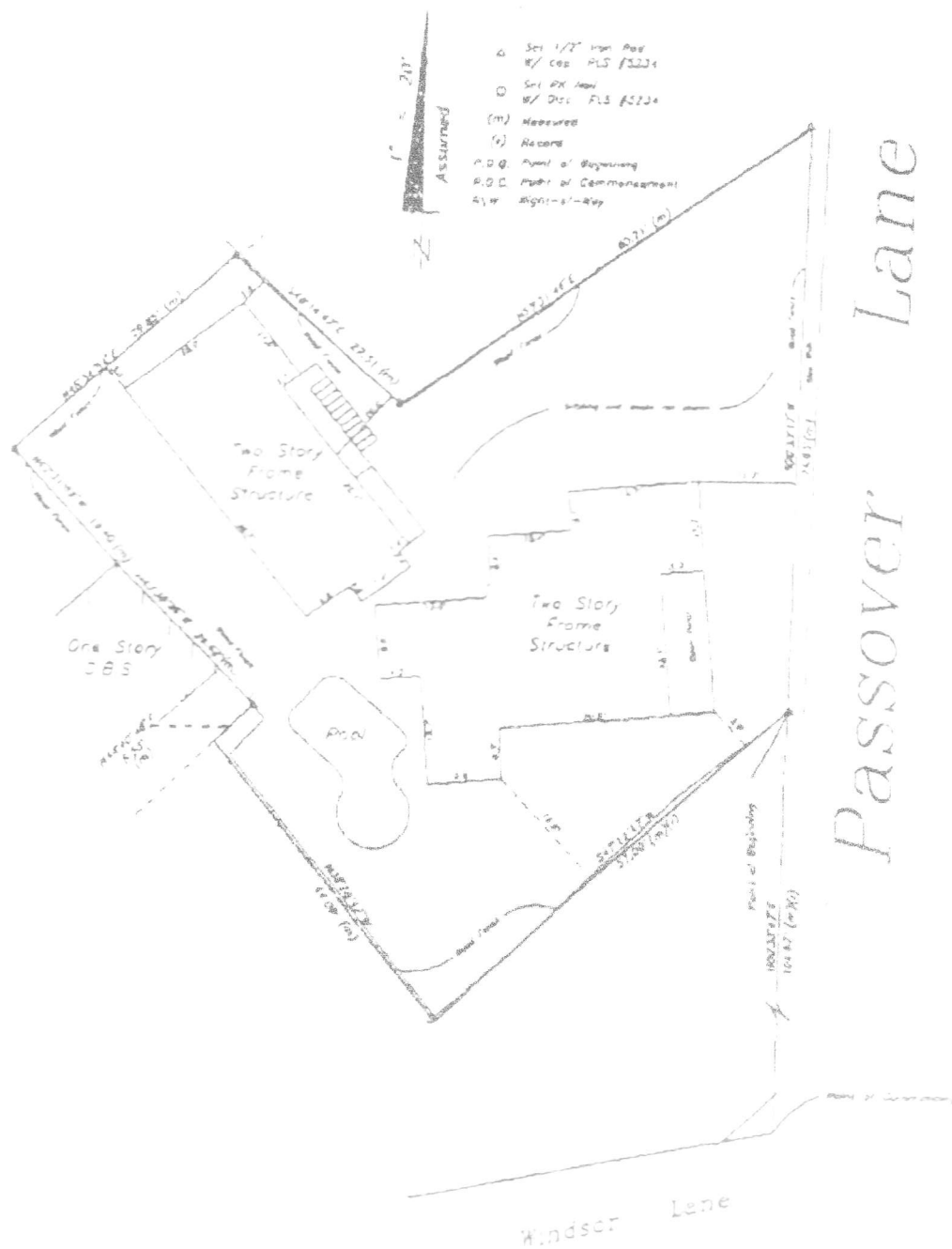
3194 Flagst Avenue

Key Words: 33040

Reg. No. 5234

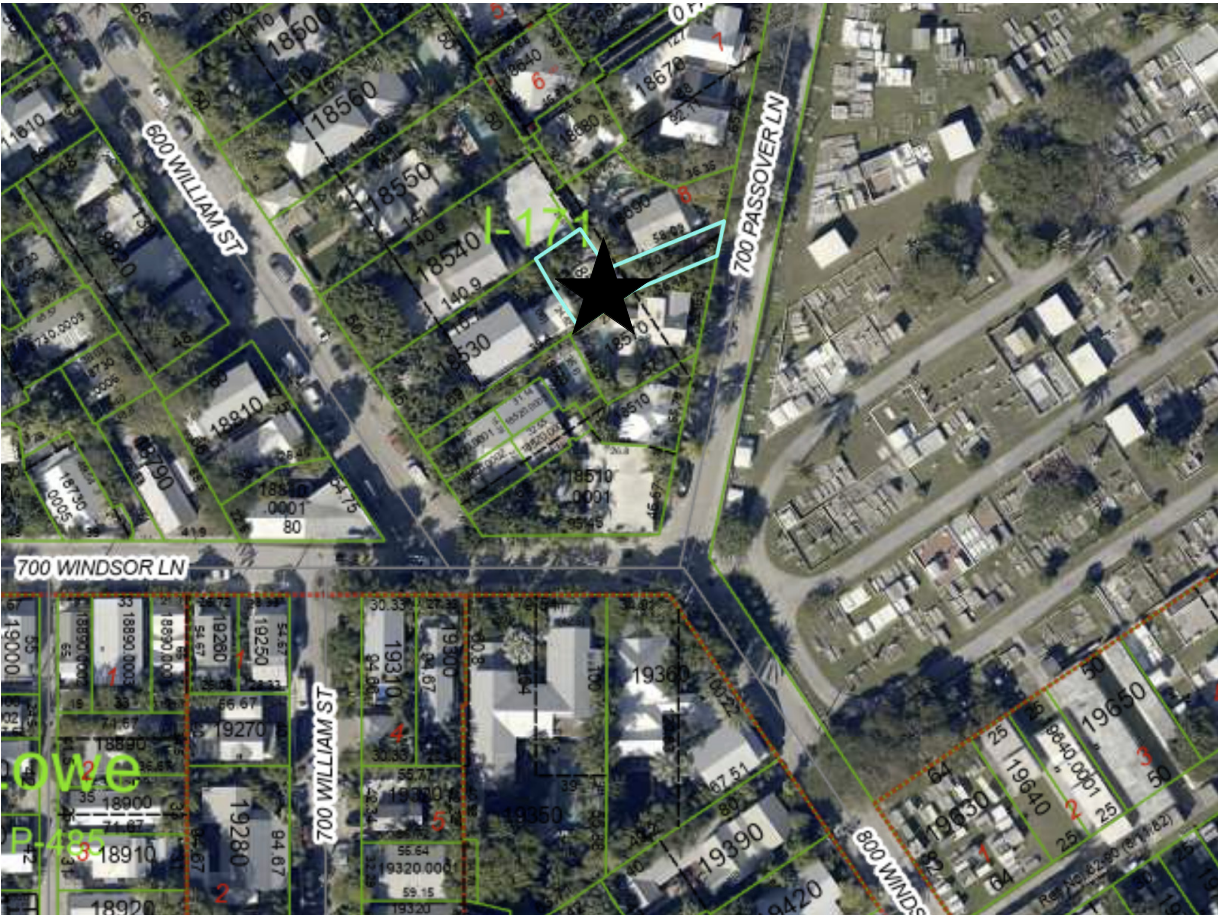
(05) 296.7422

FAX (303) 793-9914



PROPOSED DESIGN

LOCATION MAP



BUILDING DATA

KEY WEST INVESTMENTS LLC
726.5 PASSOVER LANE
KEY WEST, FL 33040

BUILDING SQUARE FOOTAGE (UNCHANGED EXISTING/PROPOSED):
1ST FLOOR - 600 SF
2ND FLOOR - 160 SF
TOTAL - 760 SF

CONTRACTOR GENERAL NOTES:
- ALL WORK TO BE IN ACCORDANCE WITH APPLICABLE CODES.
- WORKMANSHIP TO MEET OR EXCEED ACCEPTED STANDARDS OF RESPECTIVE TRADES.
- VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT IF ANY CONFLICTS EXIST PRIOR TO COMMENCEMENT OF WORK.
- FOR ANY TYPE I OR TYPE II CONSTRUCTION PROJECTS FIRE RETARDANT TREATED WOOD (EXTERIOR OR INTERIOR GRADE) MUST BE USED IN ALL WOOD CONSTRUCTION MATERIALS.
- FOR ALL WALL SYSTEMS WITH EIFS USE EXTERIOR GRADE GLASS MATT SHEATHING OR CEMENTITIOUS BOARD ONLY.

FIRE EXTINGUISHERS WILL BE PROVIDED AS REQUIRED BY AUTHORITY HAVING JURISDICTION OR AS DIRECTED BY THE LOCAL FIRE DEPARTMENT.

WALL R-VALUE (CONTINUOUS) = 6
WALL R-VALUE (CAVITY) = 13
ROOF R-VALUE = 39

CONTRACTOR TO PROVIDE ESR REPORTS FOR CLOSED-CELL SPRAY FOAM SELECTED FOR REVIEW BY DESIGN PROFESSIONAL.

SITE DATA:
ZONING HHDR

RE #: 00018530-000100

OCCUPANCY: R3
TYPE OF CONSTRUCTION: VB

FLOOD DESIGN CRITERIA: ASCE12-24

COMMUNITY NUMBER: 125129
MAP NUMBER: 12087C-1516K
MAP DATE: 02-18-2005
FLOOD ZONE: AE 6
DESIGN FLOOD ELEVATION: AE 7

SCOPE OF WORK:

DEMO OF EXISTING 204 SF SIDE ADDITION. REPLACE IN SAME FOOTPRINT, RAISED TO MATCH THE LEVEL OF THE EXISTING HOUSE, WITH A NEW GABLE ROOF TO MATCH EXISTING ROOFS. METAL ROOFING TO MATCH EXISTING. SIDING TO MATCH EXISTING. (1) NEW IMPACT WINDOW PER PLAN. WOOD FRAME CONSTRUCTION W/ CONC. FOUNDATION.

GENERAL NOTES

- THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
- NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE AND REPORT ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY, OR LOSS AT THE JOB SITE TO ALL PERSONS EMPLOYED TO DO WORK, PERSONS VISITING THE SITE AND THE GENERAL PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- THE CONTRACTOR SHALL DO ALL THE WORK IN STRICT CONFORMANCE TO THE PLAN, 2023 FLORIDA BUILDING CODE, 8TH EDITION; LOCAL CODES AND ORDINANCES; MANUFACTURING'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. THE MOST STRINGENT REQUIREMENTS SHALL GOVERN WHEN CONDITIONS CONFLICT, HOWEVER THE ARCHITECT SHALL BE NOTIFIED OF ALL CONFLICTS.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL SYSTEMS SHALL HAVE THE SEAL OF A REGISTERED FLORIDA ENGINEER AS REQUIRED BY BUILDING CODE AND SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER BY THE CONTRACTOR FOR REVIEW PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES, HE SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL CHECK AND COORDINATE WORK OF VARIOUS TRADES TO PREVENT CONFLICTS.
- CONTRACTOR SHALL FURNISH SUBCONTRACTORS WITH A COMPLETE SET OF PLANS.
- PLUMBING AND A/C SHALL CONFORM TO THE STATE OF FLORIDA ENERGY CODE.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND FLORIDA BUILDING CODE.
- PORTABLE REST ROOM FACILITIES SHALL BE PROVIDED AT SITE BY CONTRACTOR.
- COMPLETE HOT AND COLD WATER SYSTEMS, VENTS, WASTE AND DRAIN SYSTEMS TO SEPTIC TO CODE, SHALL BE FURNISHED.
- PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
- ALL BOLTS, CLIPS, HANGERS, ETC., SHALL BE GALVANIZED OR STAINLESS.
- NO PIPES, CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER REMOVAL OF ALL DEBRIS.
- ALL ELEVATIONS ARE MEASURED FROM NGVD 1929.

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
A/V	AUDIO VISUAL
BO	BOTTOM OF
CL	CENTERLINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CONC	CONCRETE
D	DRYER
DIA	DIAMETER
DTLS	DETAILS
DW	DISHWASHER
E	ELECTRICAL METER
FBC	FLORIDA BUILDING CODE
FEC	FIRE EXTINGUISHER CABINET
GA	GAUGE
GAL	GALLON
GFI	GROUND FLOOR IMPACT
GWB	GYPSPUM WALL BOARD
HB	HOSE BIB
HVAC	HEATING, VENTILATION, & AIR CONDITIONING
LHM	LOWEST HORIZONTAL MEMBER
MAX	MAXIMUM
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O.C.	ON CENTER
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
RCP	REFLECTED CEILING PLAN
RE	REFERENCE
REF	REFRIGERATOR
REQ'D	REQUIRED
RO	ROUGH OPENING
STL	STEEL
THK	THICK
TO	TOP OF
TOP	TOP OF PILE
TOW	TOP OF WALL
TYP	TYPICAL
U.N.O.	UNLESS OTHERWISE NOTES
VTR	VENT TO ROOF
W	WASHER
WC	WATER CLOSET
WD	WOOD
W/D	WASHER/DRYER
WP	WATERPROOF
WH	WATER HEATER

CODE INFORMATION

BUILDING CODE:
MECHANICAL CODE:
PLUMBING CODE:
ELECTRICAL CODE:
FUEL GAS CODE:
ENERGY CODE:
STANDARD LOAD DESIGN CRITERIA

2023 FLORIDA BUILDING CODE, 8TH EDITION
2023 FLORIDA MECHANICAL CODE
2023 FLORIDA PLUMBING CODE
2023 NATIONAL ELECTRIC CODE (NEC) NFPA
2023 FLORIDA FUEL GAS CODE
2023 FLORIDA ENERGY CONSERVATION CODE
ASCE 7-22

LOCAL BUILDING REQUIREMENTS:
FEMA REQUIREMENTS:
DESIGN FLOOD ELEVATION:
CURRENT ZONING
MAX BUILDING HEIGHT:
USE GROUP:

CITY OF KEY WEST CODES AND ORDINANCES
FLOOD ZONE: AE-6 NGVD 1929
FLOOD ZONE: AE-7 NGVD 1929
HHDR
30' FROM COR/LAG
R3

ALL ELEVATIONS PROVIDED IN NGVD 1929.

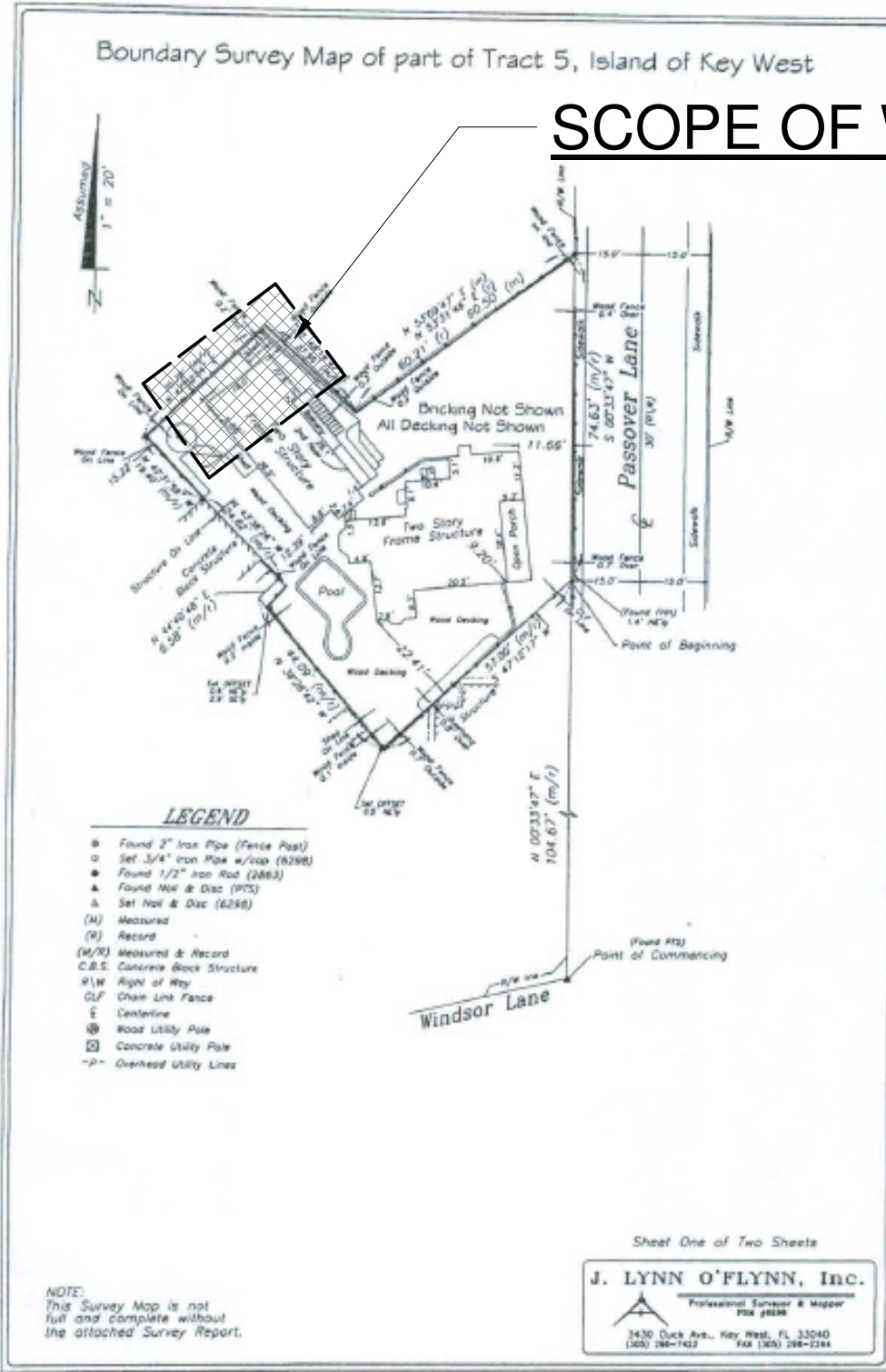
SYMBOLS

	ROOM IDENTIFICATION TAG	ROOM NAME ROOM NUMBER
	ELEVATION TAG	ELEVATION NUMBER SHEET NUMBER
	DETAIL TAG	DETAIL NUMBER SHEET NUMBER
	INTERIOR ELEVATION TAG	ELEVATION NUMBER SHEET NUMBER
	SECTION TAG	SECTIONNUMBER SHEET NUMBER
	DOOR TAG. REFER TO DOOR SCHEDULE	
	WINDOW TAG. REFER TO WINDOW SCHEDULE	
	WALL TAG. REFER TO WALL TYPES.	
	BREAK LINE	
	GRAPHIC SCALE	
	NORTH ARROW	
	DRAWING TITLE	DETAIL NUMBER TITLE SHEET NUMBER SCALE

DRAWING INDEX

A 0	COVER SHEET
A 1	FLOOR PLANS
A 2	ELEVATIONS

SITE NOTE: NO CHANGE IN COVERAGE
OR FOOTPRINT W/ THIS PROJECT



Residential Renovation
726 1/2 Passover Lane
Key West, FL 33040

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#AR98525

SANDBAR
DESIGN STUDIO

SANDBAR DESIGN STUDIO
20185 CAMELIA LANE
BIG PINE KEY, FL 33043

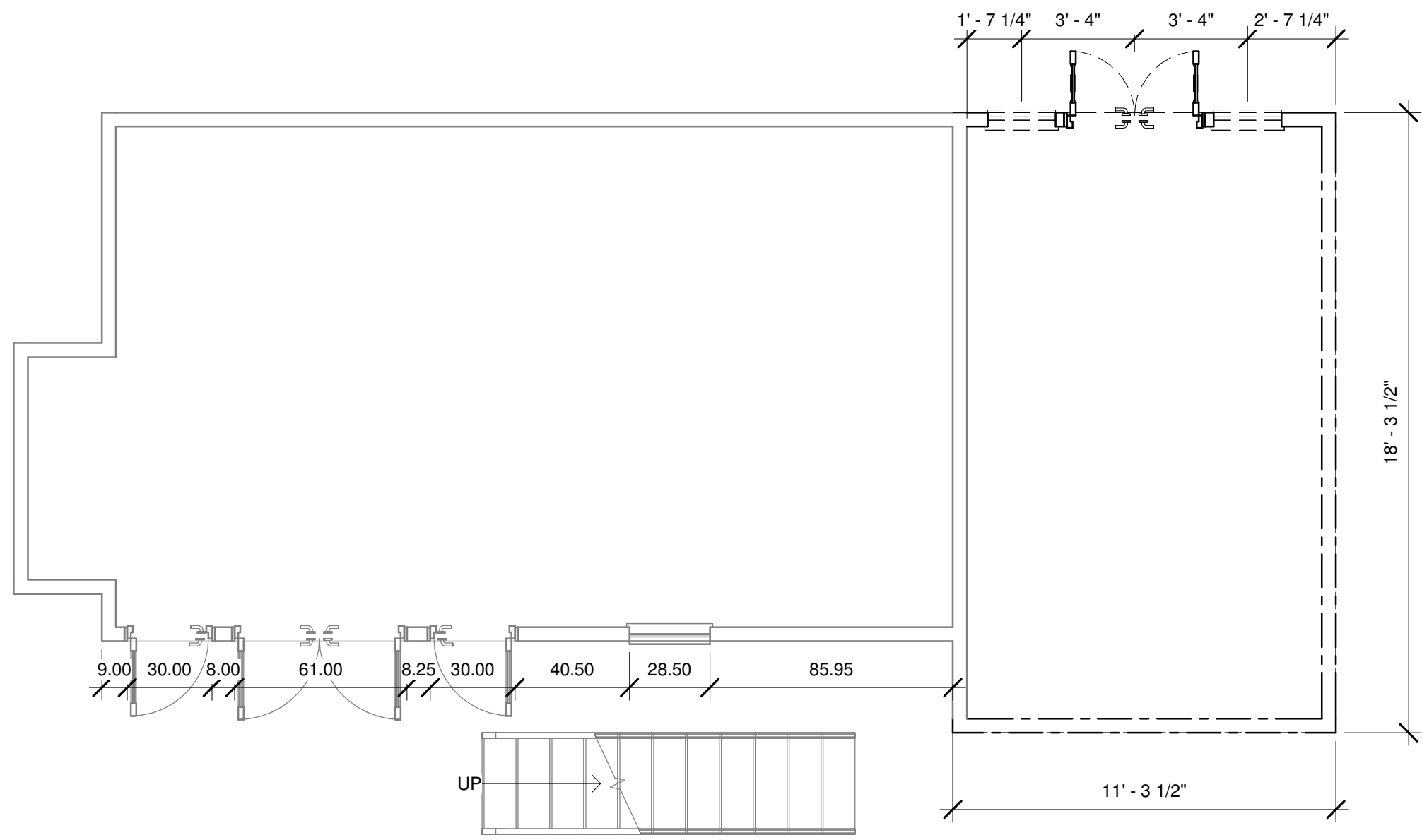
WWW.SANDBARDESIGNSTUDIO.COM
8473925854

COVER SHEET

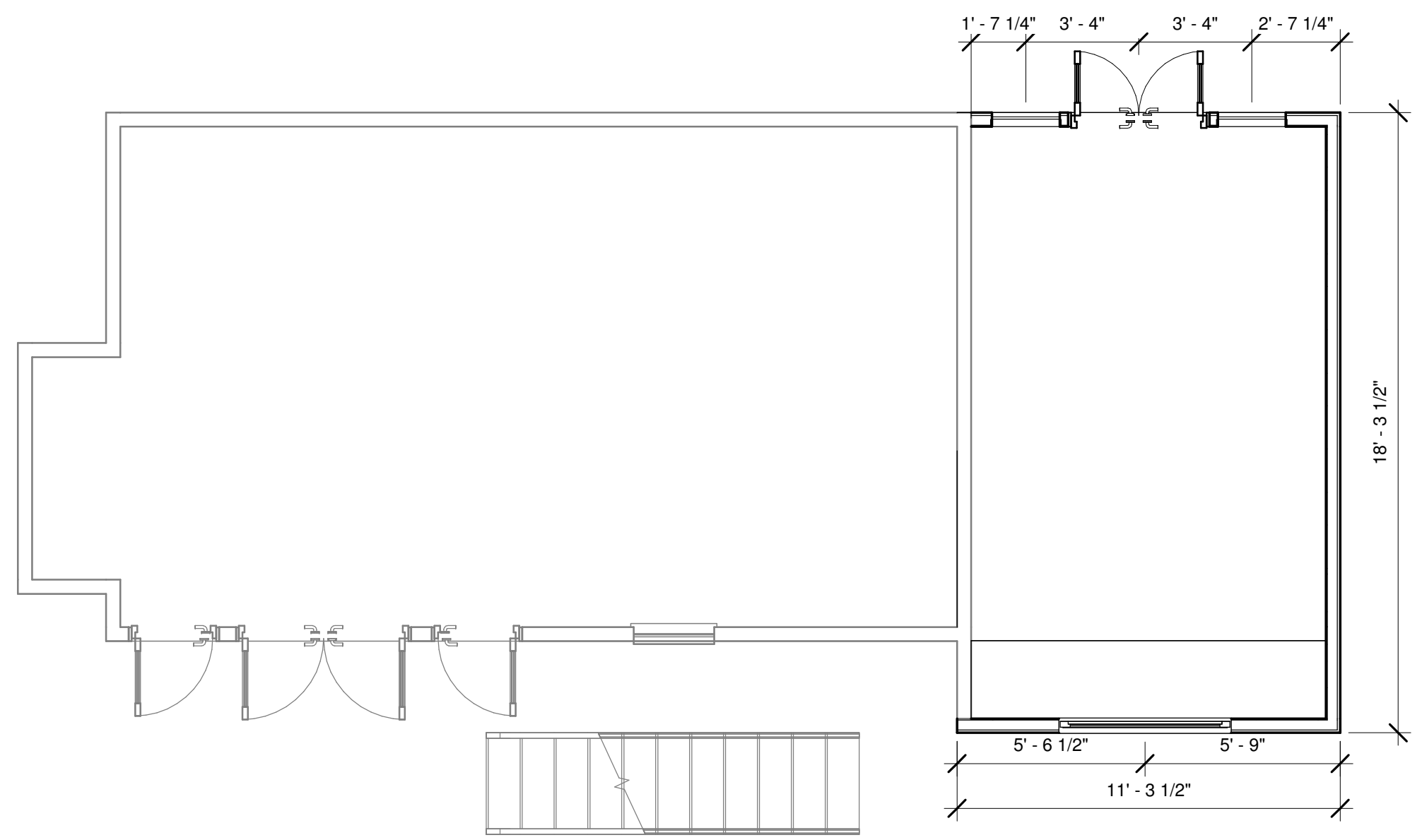
SHEET TITLE

A 0

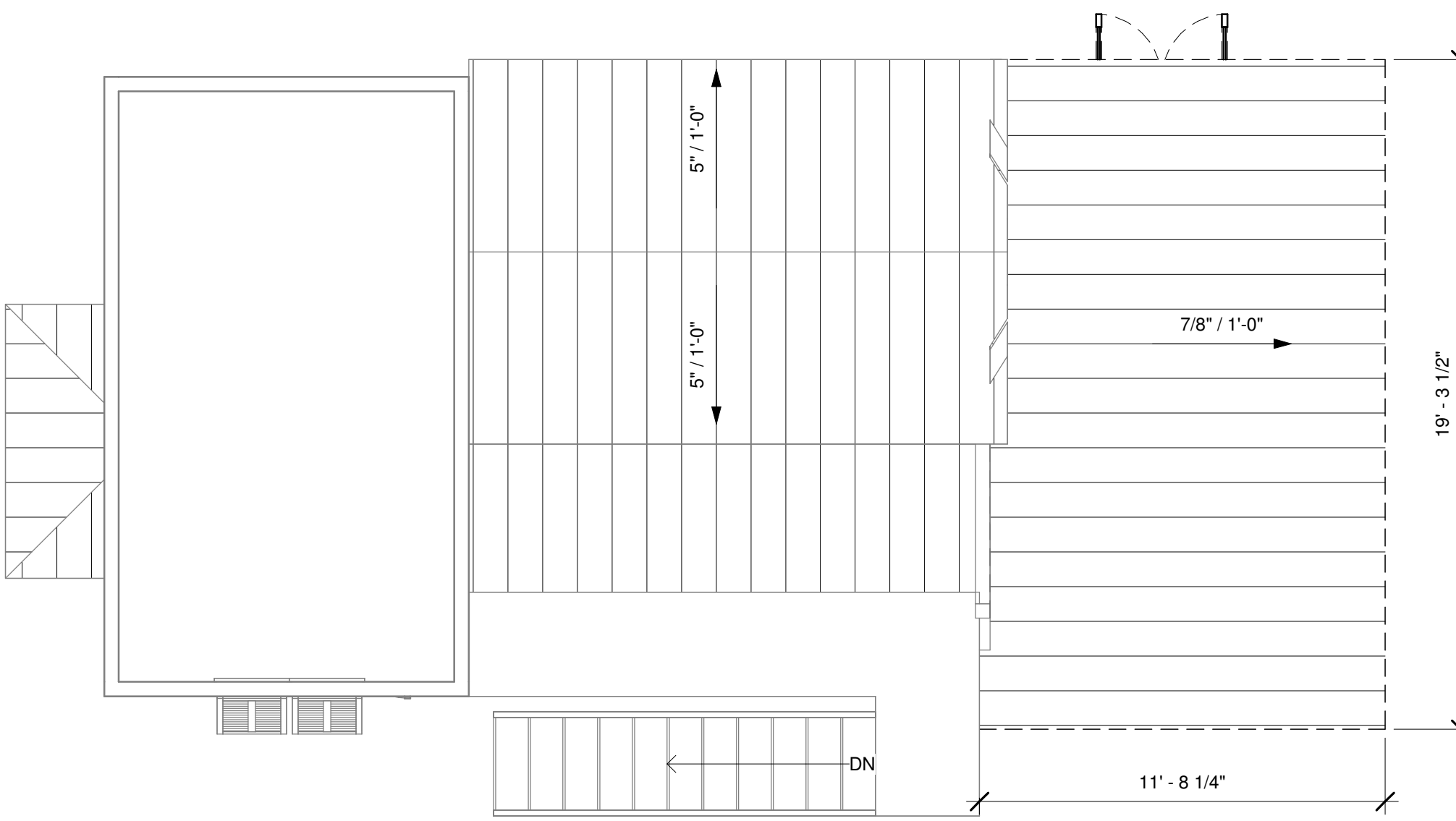
PROJECT NO:
LYN2025
DRAWN BY:
Author
APPROVED BY:
Checker



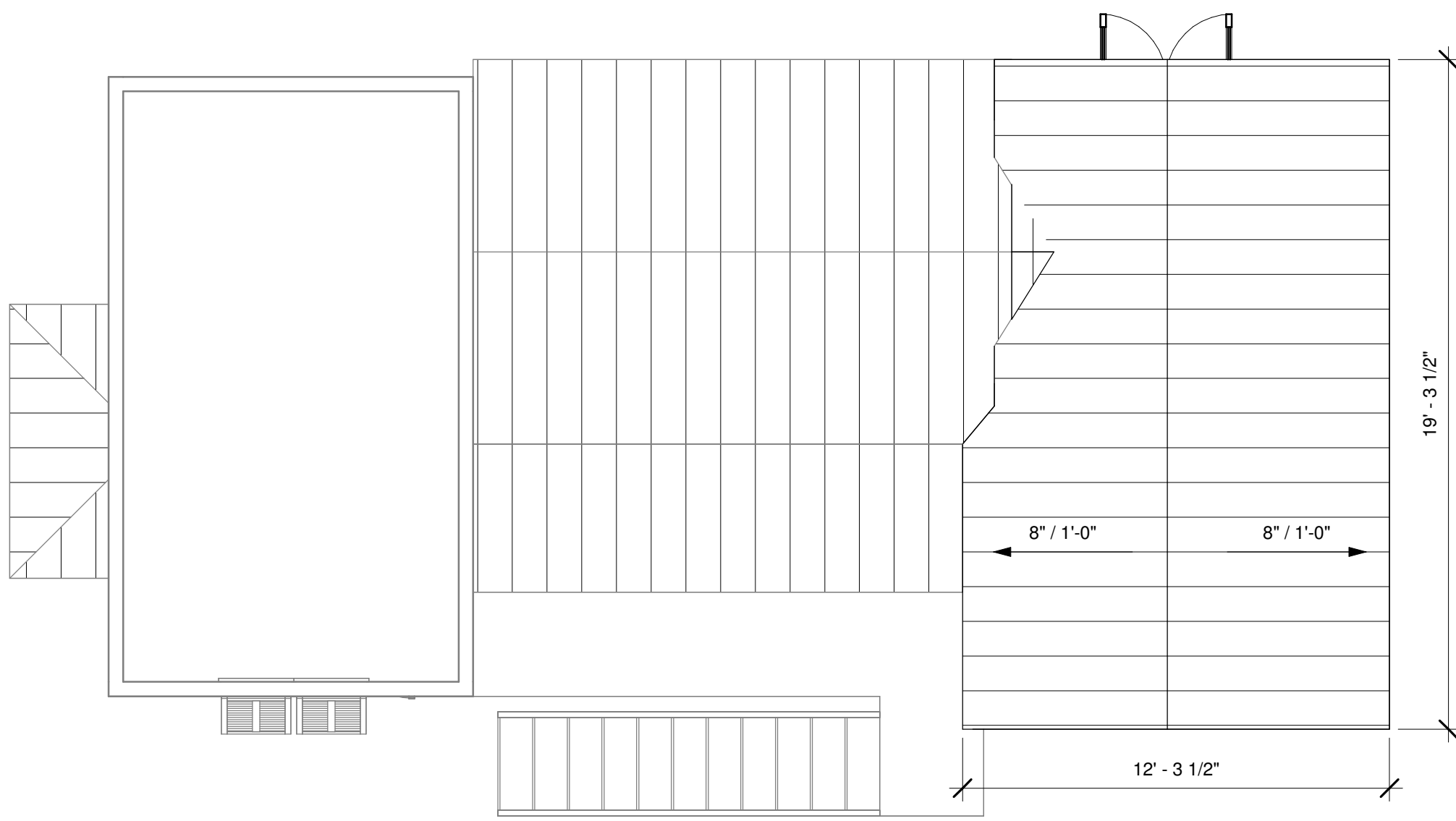
1
A 1
GROUND FLOOR - EXISTING/DEMO
1/4" = 1'-0"



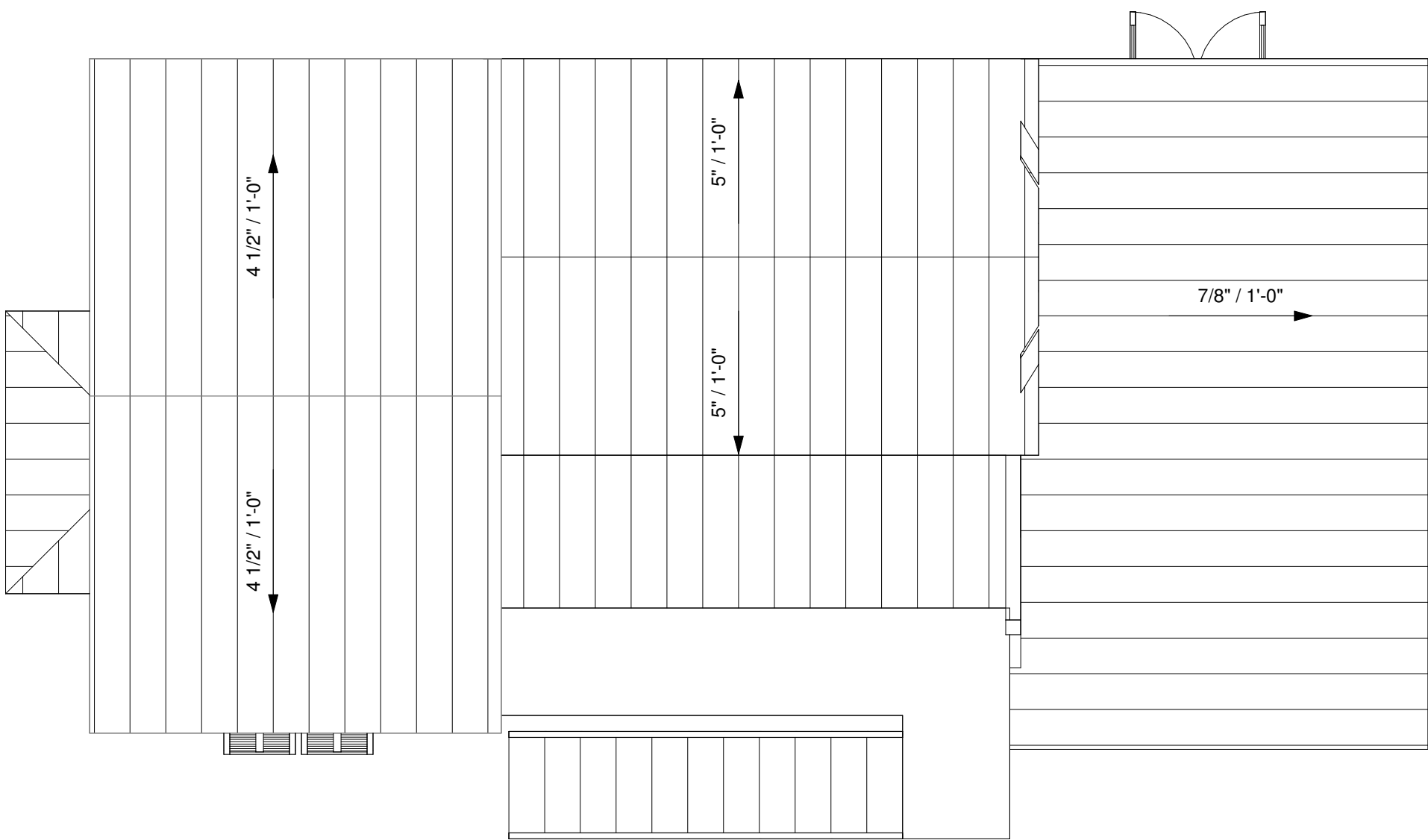
5
A 1
GROUND FLOOR - PROPOSED
1/4" = 1'-0"



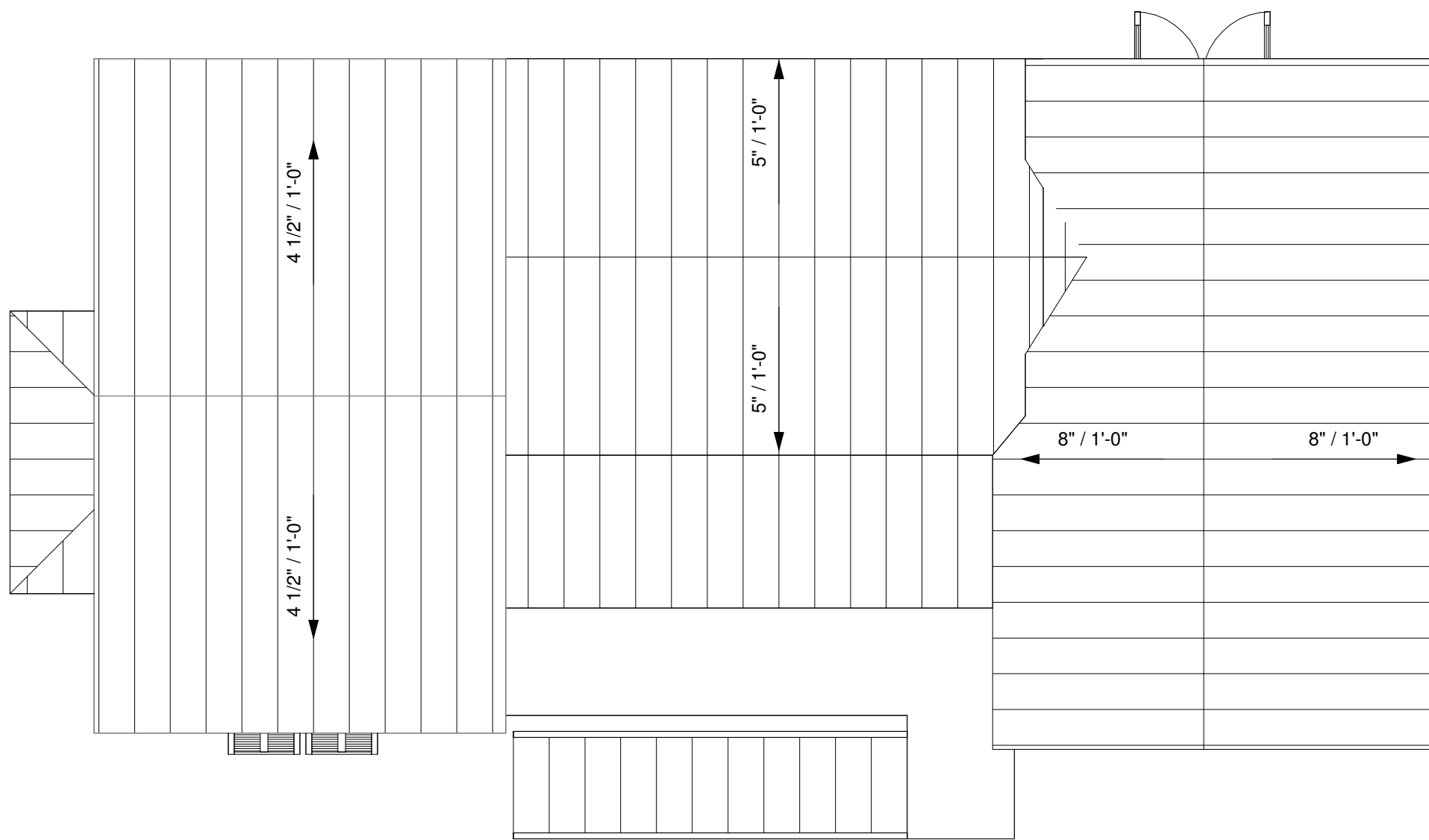
2
A 1
FIRST FLOOR PLAN - EXISTING/DEMO
1/4" = 1'-0"



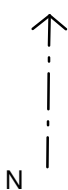
4
A 1
FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0"



3
A 1
ROOF PLAN - EXISTING/DEMO
1/4" = 1'-0"



6
A 1
ROOF PLAN - PROPOSED
1/4" = 1'-0"



Residential Renovation
726 1/2 Passover Lane
Key West, FL 33040

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SANDBAR
DESIGN STUDIO

SANDBAR DESIGN STUDIO
29185 CAMEL JAIL LANE
BIG PINE KEY, FL 33043
WWW.SANDBARDESIGNSTUDIO.COM
8473935854

FLOOR PLANS

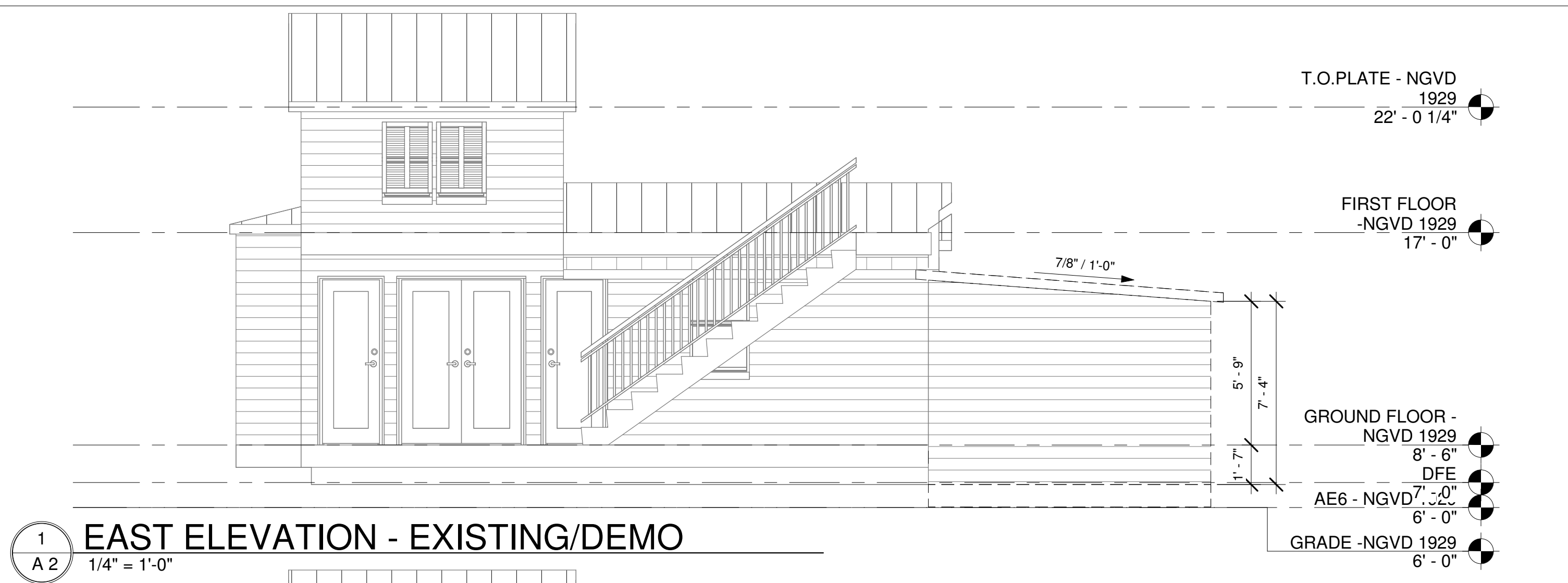
SHEET TITLE

A 1

PROJECT NO.
LYN2025

DRAWN BY:
EHP

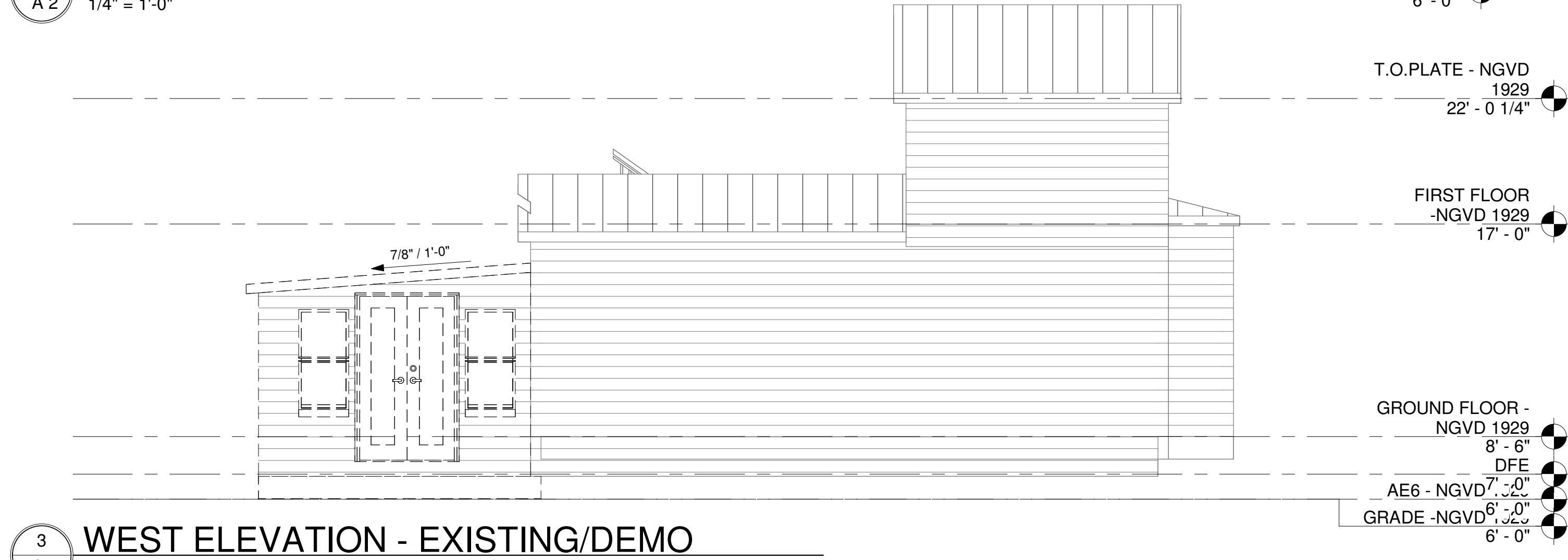
APPROVED BY:
EHP



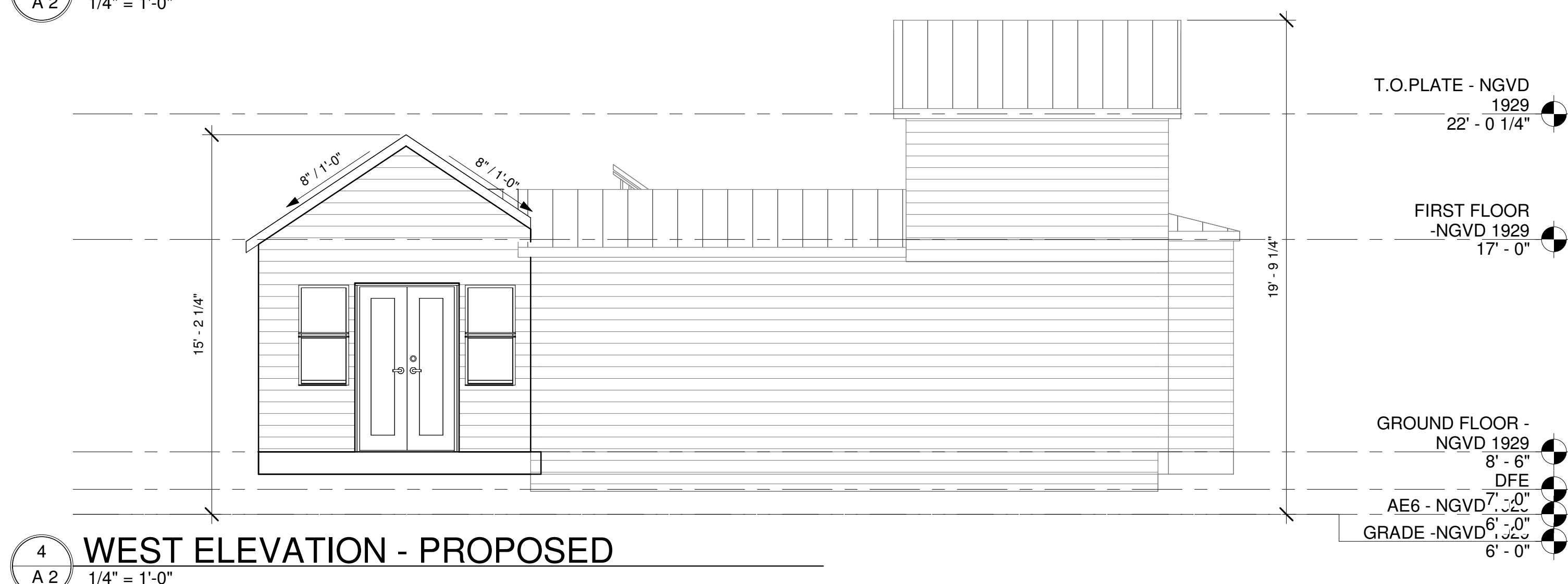
1 EAST ELEVATION - EXISTING/DEMO
1/4" = 1'-0"



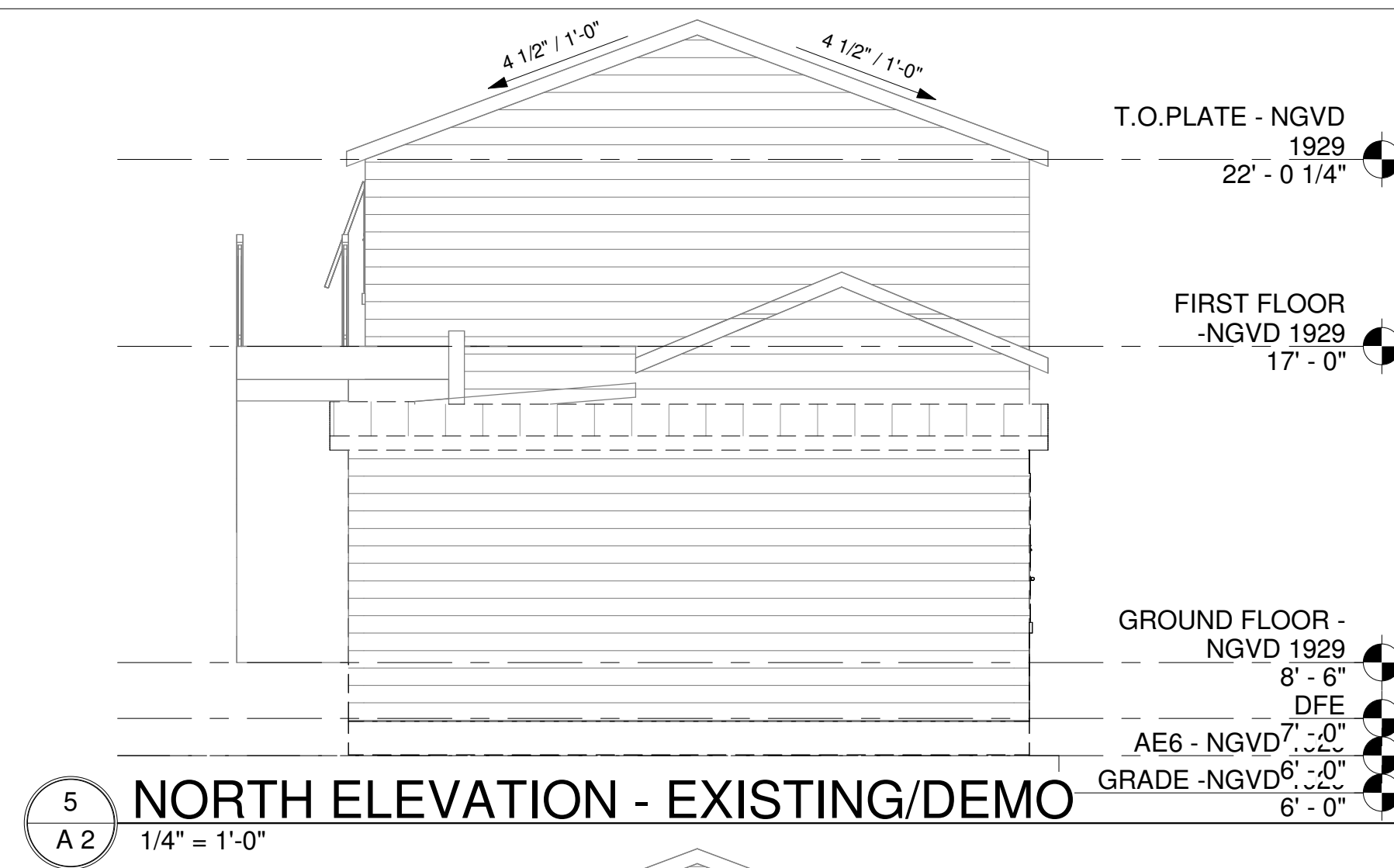
2 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



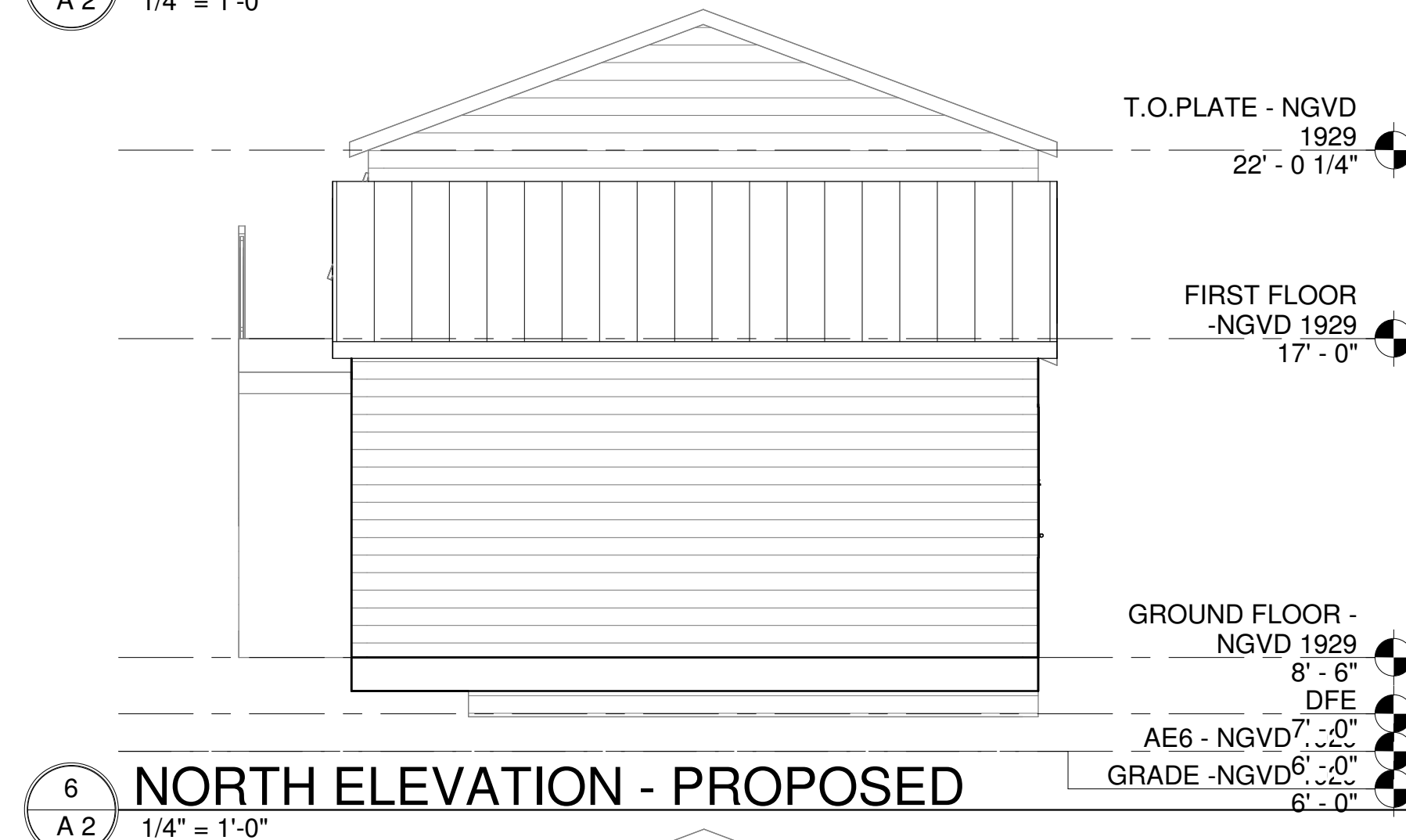
3 WEST ELEVATION - EXISTING/DEMO
1/4" = 1'-0"



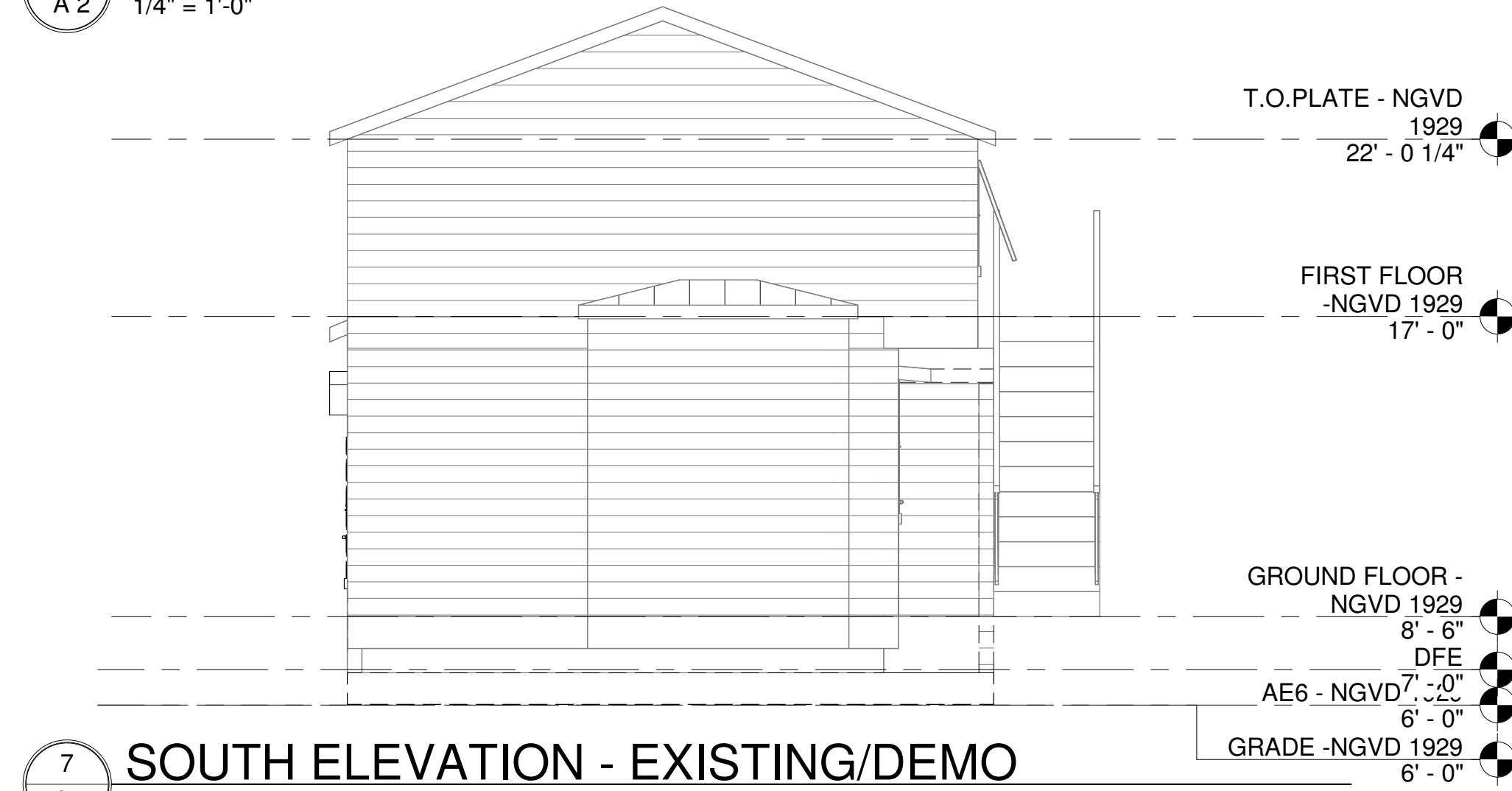
4 WEST ELEVATION - PROPOSED
1/4" = 1'-0"



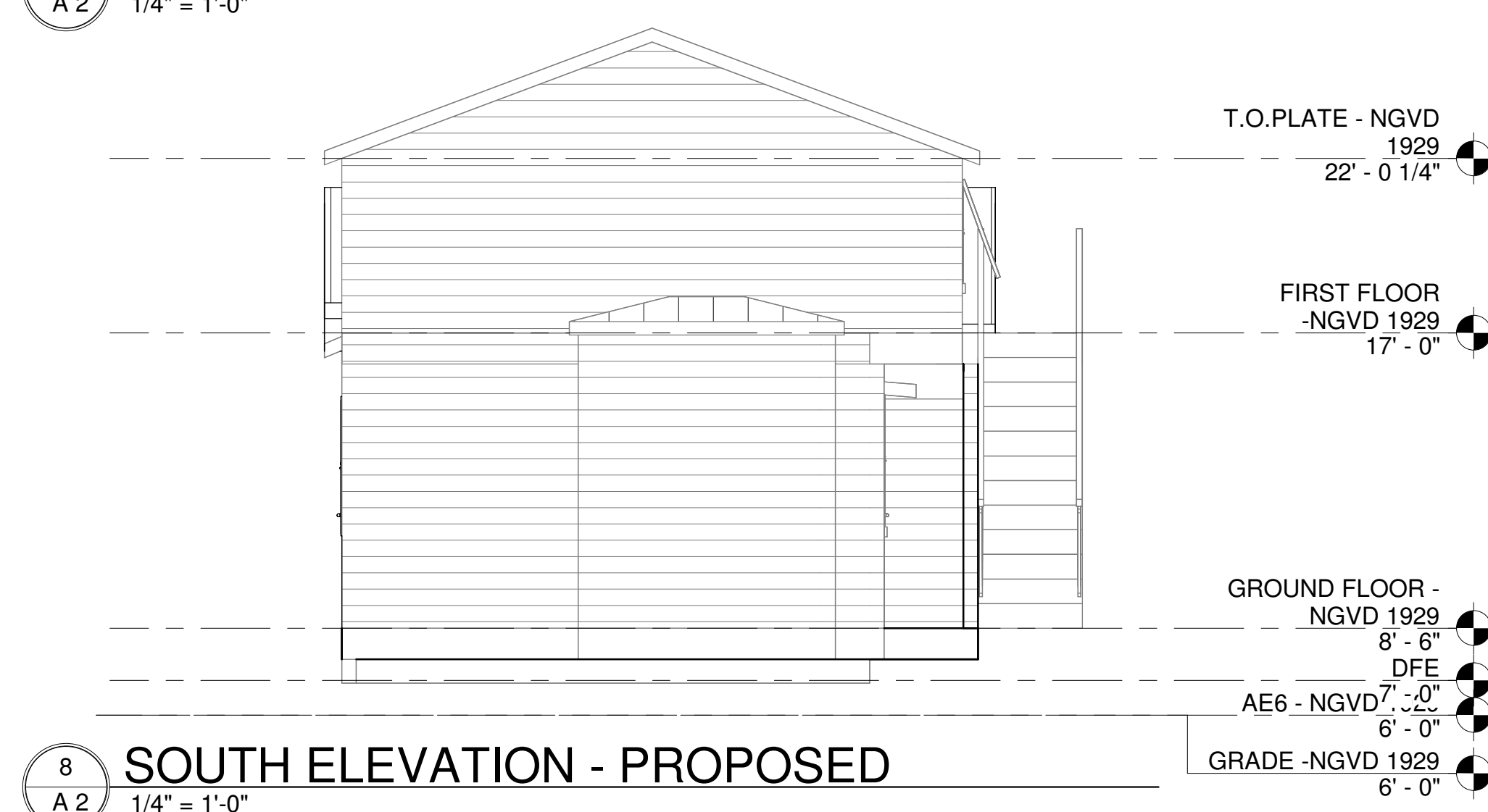
5 NORTH ELEVATION - EXISTING/DEMO
1/4" = 1'-0"



6 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



7 SOUTH ELEVATION - EXISTING/DEMO
1/4" = 1'-0"



8 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

HARC NOTES:

- EXTERIOR SIDING TO MATCH EXISTING.
- ROOFING TO MATCH EXISTING.
- EXTERIOR SOFFITS TO MATCH EXISTING.
- EXTERIOR WINDOW/DOOR TRIM TO MATCH EXISTING.
- EXTERIOR FASCIA TO BE HARDI.
- ROOFING DRIP EDGE TO MATCH FINISH OF METAL ROOF.
- GUTTERS, IF PROVIDED, TO MATCH FINISH OF DRIP EDGE & ROOFING.
- EXTERIOR WINDOWS TO HAVE MUNTIN PATTERN APPROVED BY CITY OF KEY WEST HARC STAFF.
- PAINT COLOR TO MATCH EXISTING.

DATE: REV. SET DESCRIPTION
2025 04 18 HARC SUBMITTAL SET

Residential Renovation
726 1/2 Passover Lane
Key West, FL 33040

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#AR98525



ELEVATIONS

SHEET TITLE

A 2

PROJECT NO. LYN2025
DRAWN BY: Author
APPROVED BY: Checker

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., May 27, 2025, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW GABLE ROOF AND RAISED FLOOR WITHIN SAME FOOTPRINT. DEMOLITION OF EXISTING SHED ROOF AND PARTIAL DEMOLITION OF NORTH SIDE OF HISTORIC HOUSE.

#726.5 PASSOVER LANE

Applicant – Sandbar Design Studio, Inc Application #C2025-0038

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared JAMES BEYL, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 726.5 PASSOVER LANE KEY WEST FL on the 20TH day of MAY, 2025.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on MAY 27, 2025.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is C2025-0138.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant: J. Beyl

Date: 5/20/25

Address: 1104 ANGELA ST

City: KEY WEST

State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 20 day of May, 2025.

By (Print name of Affiant) James Beyl who is personally known to me or has produced ID as identification and who did take an oath.

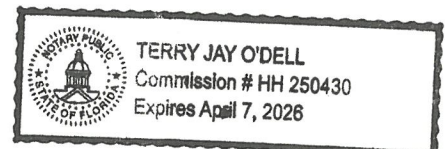
NOTARY PUBLIC

Sign Name: Terry O'Dell

Print Name: Terry O'Dell

Notary Public - State of Florida (seal)

My Commission Expires: April 7, 2026





PROPERTY APPRAISER INFORMATION

Monroe County, FL

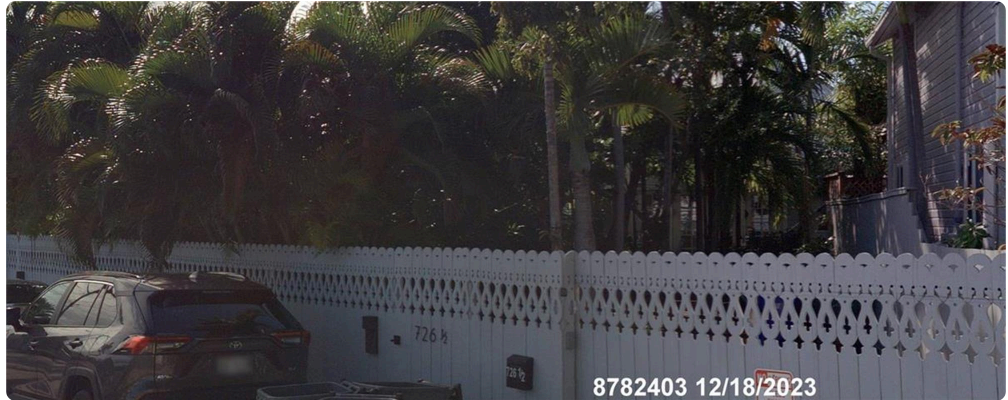
****PROPERTY RECORD CARD******Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00018530-000100
 Account# 8782403
 Property ID 8782403
 Millage Group 10KW
 Location 726 1/2 PASSEOVER Ln,
 Address KEY WEST
 Legal KW PT OF TR 5 OR418-
 Description 574/75 OR418-741
 OR641-90/92 OR735-
 557/58 OR1319-1928/29
 OR1452-2028/30
 OR1452-2031/33
 OR1629-1529/31
 OR1763-242/44C
 OR1980-2305/06
 OR2448-977/91C/T
 OR2497-323/25
 (Note: Not to be used on
 legal documents.)
 Neighborhood 6103
 Property Class SINGLE FAMILY RESID
 (0100)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing

**Owner**

[KEY WEST INVESTMENTS LLC](#)
 1200 4th St
 138
 Key West FL 33040

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$142,614	\$135,385	\$142,327	\$124,308
+ Market Misc Value	\$3,587	\$3,587	\$3,587	\$3,587
+ Market Land Value	\$966,089	\$928,931	\$594,516	\$389,532
= Just Market Value	\$1,112,290	\$1,067,903	\$740,430	\$517,427
= Total Assessed Value	\$688,696	\$626,087	\$569,170	\$517,427
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,112,290	\$1,067,903	\$740,430	\$517,427

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$966,089	\$142,614	\$3,587	\$1,112,290	\$688,696	\$0	\$1,112,290	\$0
2023	\$928,931	\$135,385	\$3,587	\$1,067,903	\$626,087	\$0	\$1,067,903	\$0
2022	\$594,516	\$142,327	\$3,587	\$740,430	\$569,170	\$0	\$740,430	\$0
2021	\$389,532	\$124,308	\$3,587	\$517,427	\$517,427	\$0	\$517,427	\$0
2020	\$354,232	\$125,788	\$3,587	\$483,607	\$483,607	\$0	\$483,607	\$0
2019	\$334,415	\$124,308	\$3,587	\$462,310	\$442,552	\$0	\$462,310	\$0
2018	\$307,167	\$91,566	\$3,587	\$402,320	\$402,320	\$0	\$402,320	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,405.00	Square Foot	0	0

Buildings

Building ID	34073	Exterior Walls	ABOVE AVERAGE WOOD	
Style	2 STORY ELEV FOUNDATION	Year Built	1928	
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2006	
Building Name		Foundation	WD CONC PADS	
Gross Sq Ft	871	Roof Type	IRR/CUSTOM	
Finished Sq Ft	760	Roof Coverage	METAL	
Stories	2 Floor	Flooring Type	SFT/HD WD	
Condition	GOOD	Heating Type	FCD/AIR DUCTED with 0% NONE	
Perimeter	166	Bedrooms	1	
Functional Obs	0	Full Bathrooms	1	
Economic Obs	0	Half Bathrooms	0	
Depreciation %	26	Grade	500	
Interior Walls	WD PANL/CUSTOM	Number of Fire Pl	0	

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	760	760	0
OUU	OP PR UNFIN UL	72	0	0
OPF	OP PRCH FIN LL	39	0	0
TOTAL		871	760	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
BRICK PATIO	1983	1984	0 x 0	1	562 SF	2
WOOD DECK	1983	1984	0 x 0	1	221 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
12/15/2010	\$491,000	Warranty Deed		2497	323	15 - Unqualified	Improved		
1/11/2010	\$100	Certificate of Title		2448	977	12 - Unqualified	Improved		
4/18/2000	\$1	Warranty Deed		1629	1529	M - Unqualified	Improved		
8/1/1994	\$1	Warranty Deed		1319	1928	M - Unqualified	Improved		

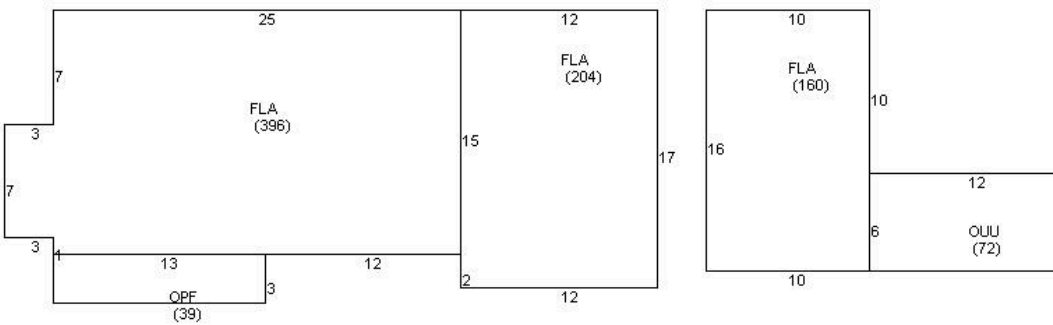
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
B952805	08/01/1995	Completed	\$1,000	Residential	REPAIR 160SF DECK
M952646	08/01/1995	Completed	\$6,000	Residential	3 TON AC

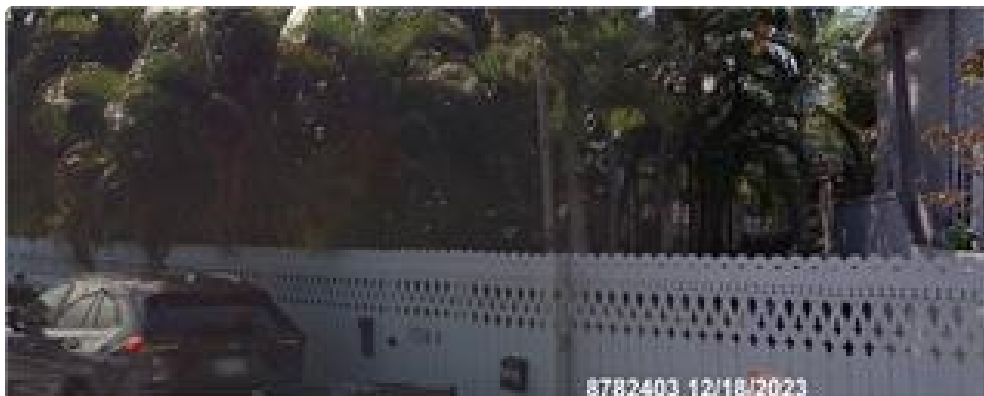
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