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**Historic Architectural Review Commission  
Staff Report for Item 12**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** May 23, 2018

**Applicant:** Meridian Engineering, Designers

**Application Number:** H18-03-0021

**Address:** #711 Olivia Street

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**Description of Work:**

Demolition of existing garage.

**Site Facts:**

The main house located in the site is a contributing resource to the historic district. The lot sits on the east side corner of Olivia Street and Galveston Lane. The one and a half-story frame vernacular structure was built circa 1890. The historic main house has a small sawtooth on its rear which is original to the fabric. Currently the lot is doublewide and a concrete garage stands on the east side and detached from the house. The main house has windows and Bahama shutters that are not original to the historic fabric.

**Ordinances cited on review:**

- Section 102-217 (3), demolition for contributing or historic structures of the Land Development Regulations.

**Staff Analysis**

The Certificate of Appropriateness proposes the demolition of a concrete garage located on the side yard. Staff does not have a specific date of when the garage was built; the circa 1965 photograph found at the library's webpage clearly shows a two story frame structure

located where the current garage is. The Property Appraiser's records includes a 1964 date of construction of the garage, but we know that, due to the circa 1965 photograph this is not correct. The December 7, 1968 aerial photograph depicts the garage and its concrete stripes driveway. For sure, the garage was built between 1965 and December 7, 1968.



### **December 7, 1968 Aerial Photograph**

As a precaution of reviewing this application staff recommends the consideration of this garage as a historic structure. As a historic structure proposed to be demolished, section 102-217 (3) must apply, which requires the following criteria for demolitions: The historic architectural review commission shall not issue permits that would result in:

*(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:*

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is*

*irrevocably compromised by extreme deterioration or it does not meet any of the criteria of section 102-125(1) through (9).*

There is no evidence that the garage is deteriorated and irreparable compromised.

The following is the criteria of section 102-125:

- 1 *Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction;*

Staff opines that the structure in question does not have distinctive architectural characteristics and is not a significant and distinguishable building to the overall historic character of its context.

- 2 *Is not specifically associated with events that have made a significant contribution to local, state, or national history;*

It is staff understanding that no significant events have ever happened in the structure that has contributed to local, state, or national history.

- 3 *Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past;*

The structure in question has no significant value and does not have unique character associated to the city or state.

- 4 *Is not the site of a historic event with a significant effect upon society;*

Staff has no information to proof this.

- 5 *Does not exemplify the cultural, political, economic, social, or historic heritage of the city;*

The structure in question is not an example of the historic heritage of the city.

- 6 *Does not portray the environment in an era of history characterized by a distinctive architectural style;*

The structure in question has no characteristics of any architectural style.

- 7 *If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif;*

The structure in question are not part of a park or square in the city.

- 8 *Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and*

The building in question, although visible from the street, is not a familiar visual feature nor is the best remaining architectural type in its neighborhood.

- 9 *Has not yielded, and is not likely to yield, information important in history.*

The structure in question does not yield important information in history.

In conclusion, it is staff's opinion that the Commission can consider the request for demolition of an existing garage as it meets the criteria for demolition stated under the Land Development Regulations. If approved, this will be the first of two required readings for demolition.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



City of Key West

1300 WHITE STREET  
KEY WEST, FLORIDA 33040

|                         |                 |                |
|-------------------------|-----------------|----------------|
| HARC COA #<br>03-000-21 | REVISION #      | INITIAL & DATE |
| FLOOD ZONE              | ZONING DISTRICT | BLDG PERMIT #  |

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

APPLICANT NAME:

APPLICANT'S ADDRESS:

APPLICANT'S SIGNATURE:

|                          |                                |
|--------------------------|--------------------------------|
| 711 Olivia Street        |                                |
| Alex Plotkin             | PHONE NUMBER<br>215-939-0791   |
| 1311 Villa Mill Alley    | EMAIL<br>chopsalex@aol.com     |
| Key West FL 33040        |                                |
| Meridian Engineering LLC | PHONE NUMBER<br>305-293-3263   |
| c/o Rick Mitelli         | EMAIL<br>rmilelli@meflkeys.com |
| 201 Front St. Ste 203    |                                |
| Key West FL 33040        |                                |
| DATE<br>4/26/18          |                                |

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☒ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☒ NO ☐ INVOLVES A HISTORIC STRUCTURE: YES ☐ NO ☐

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: Demolish an existing garage. Construct a 21'-6" x 16'-3" cottage w/ front porch, construct 4' tall picket fence across front and partially down sides, construct 6' tall privacy fence in rear, construct new wood deck (less than 12" off grade), construct pool and pool equipment

MAIN BUILDING: partial remodel of main structure, add pavers to site.

Remodel building w/ new windows and new french doors, in-fill portions of exterior wall; new siding at in-fill areas

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX): Existing garage

DATE: 4/27/18 57  
2018 300021  
PT \* BUILDING PERMITS-NEW  
Trans number: 1.00 \$600.00  
CK CHECK 491 \$1260.34  
Trans date: 4/27/18 Time: 15:41:46

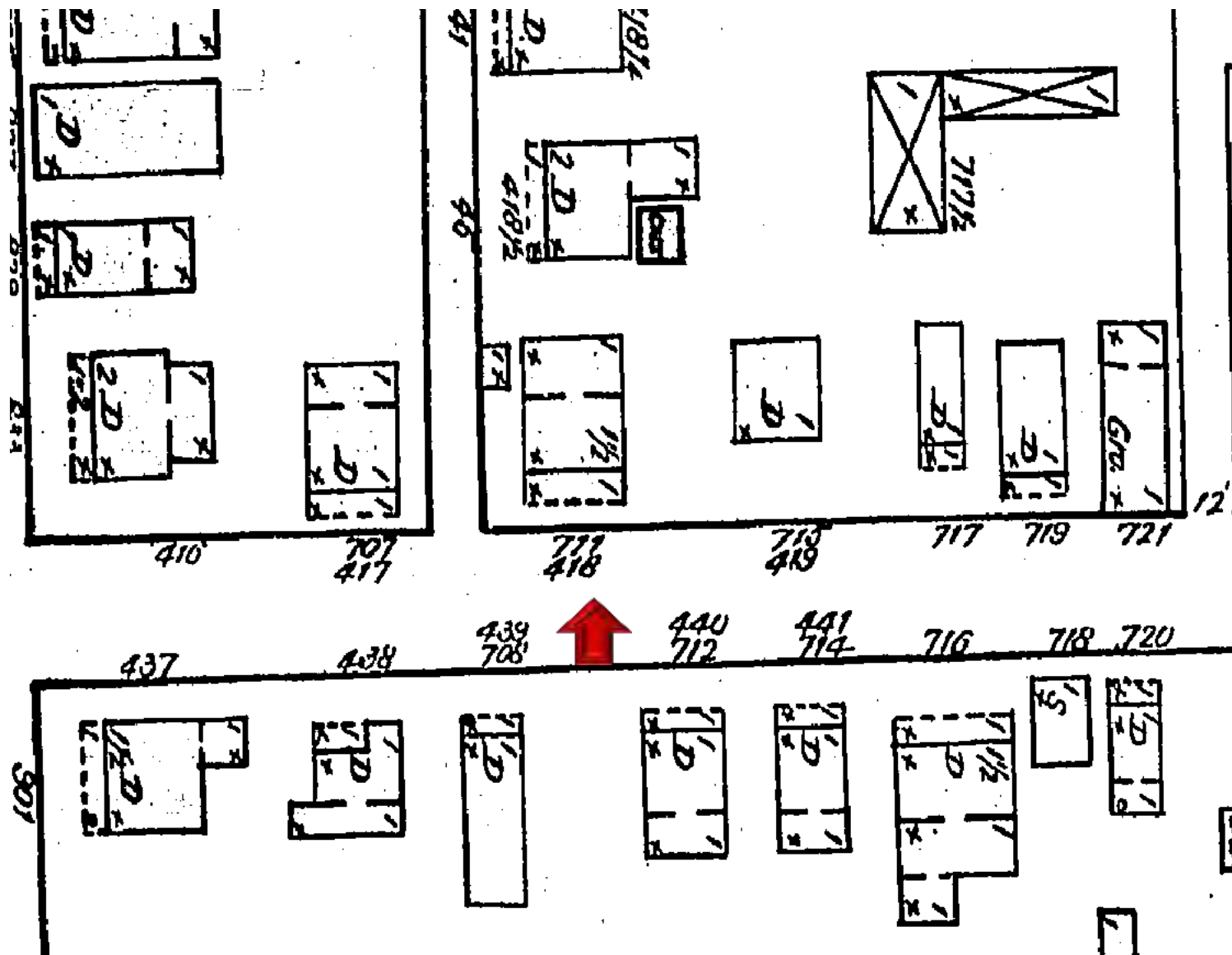
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

|                                                                    |                                                             |
|--------------------------------------------------------------------|-------------------------------------------------------------|
| ACCESSORY STRUCTURE(S): Construct one bedroom/one bathroom cottage |                                                             |
| PAVERS: Yes. Brick pavers for driveway                             | FENCES: Yes. Front/side ~4' picket<br>Rear ~6' picket       |
| DECKS: Yes. New wood deck                                          | PAINTING: Yes. New cottage/main structure                   |
| SITE (INCLUDING GRADING, FILL, TREES, ETC.):                       | POOLS (INCLUDING EQUIPMENT): Yes 8x16 pool<br>and equipment |
| ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):<br>A/C equipment      | OTHER:                                                      |

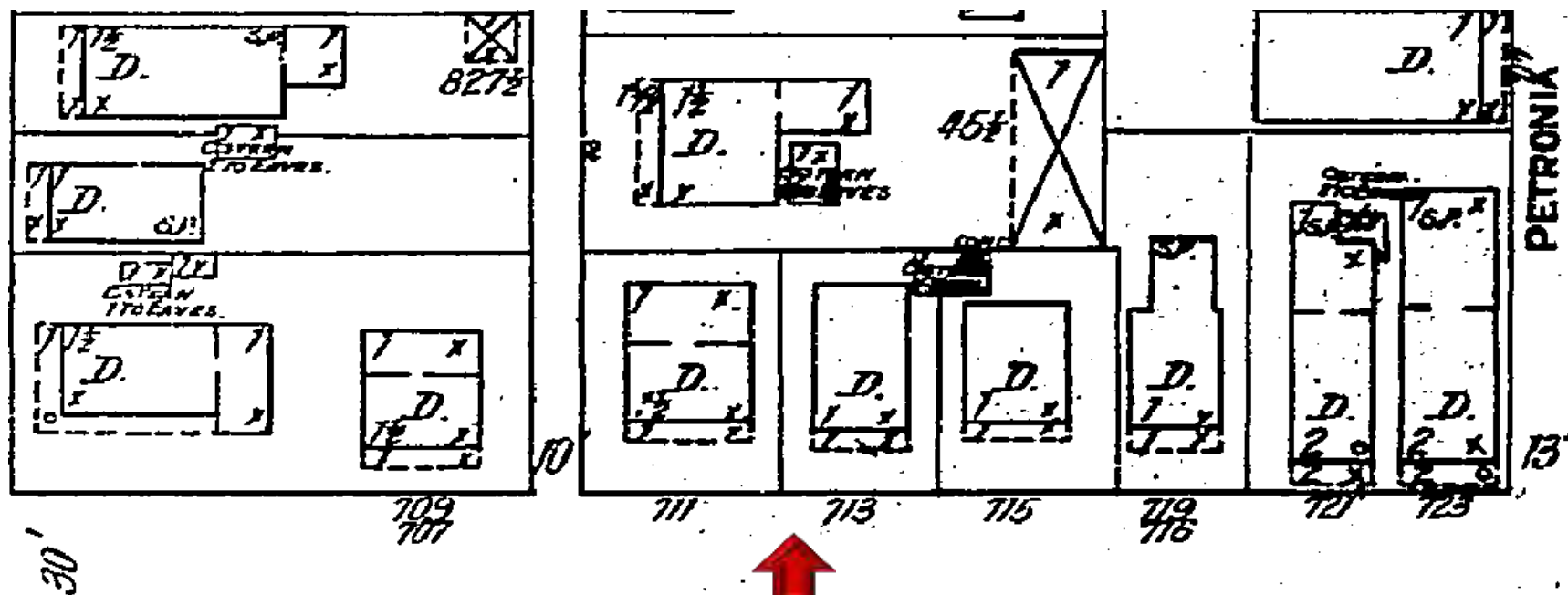
| OFFICIAL USE ONLY:             |                                                                     | HARC COMMISSION REVIEW |                                      | EXPIRES ON: |  |
|--------------------------------|---------------------------------------------------------------------|------------------------|--------------------------------------|-------------|--|
| MEETING DATE:                  | ___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION |                        |                                      | INITIAL:    |  |
| MEETING DATE:                  | ___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION |                        |                                      | INITIAL:    |  |
| MEETING DATE:                  | ___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION |                        |                                      | INITIAL:    |  |
| REASONS OR CONDITIONS:         |                                                                     |                        |                                      |             |  |
|                                |                                                                     |                        |                                      |             |  |
| STAFF REVIEW COMMENTS:         |                                                                     |                        |                                      |             |  |
|                                |                                                                     |                        |                                      |             |  |
| FIRST READING FOR DEMO:        |                                                                     |                        | SECOND READING FOR DEMO:             |             |  |
| HARC STAFF SIGNATURE AND DATE: |                                                                     |                        | HARC CHAIRPERSON SIGNATURE AND DATE: |             |  |

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

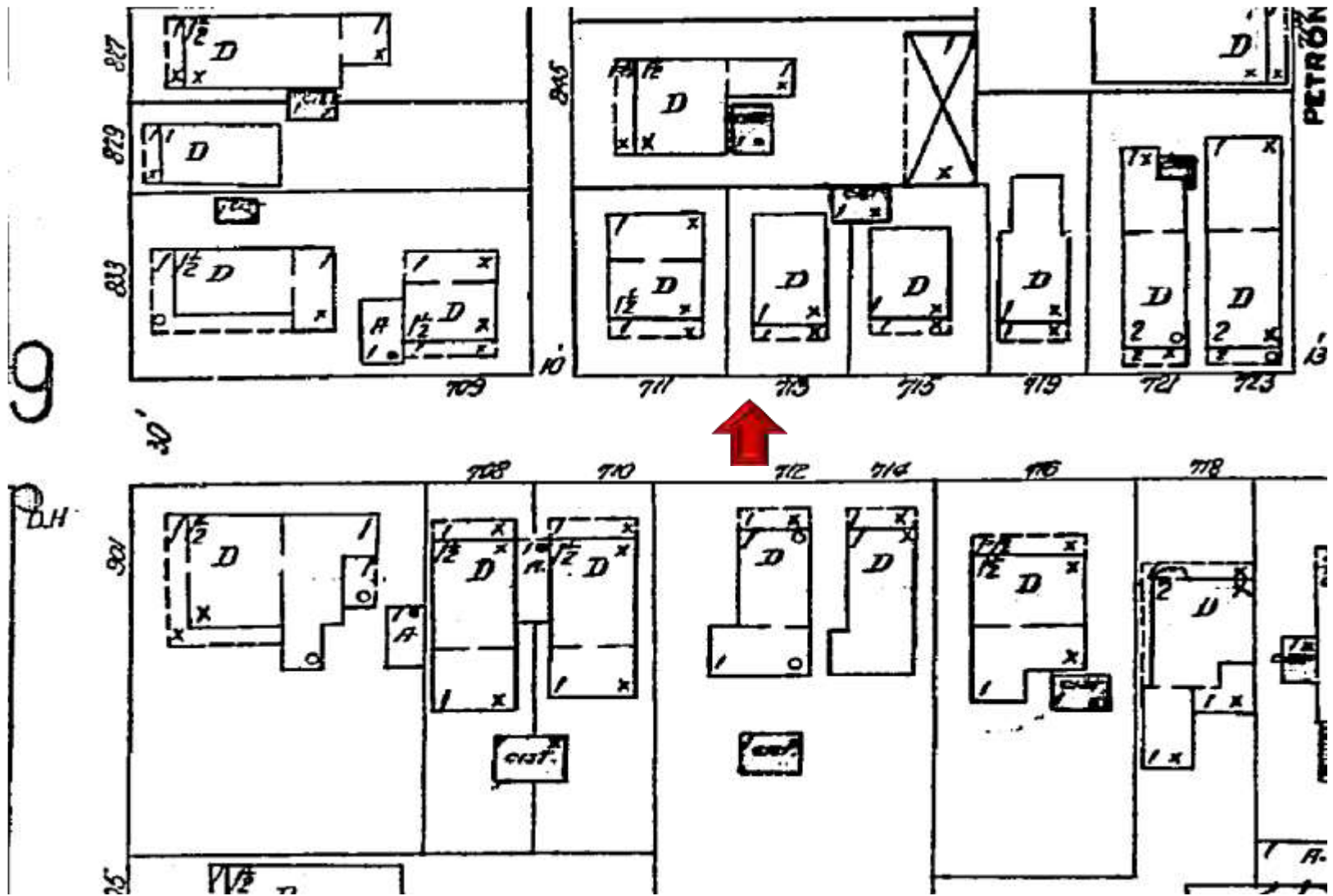
# SANBORN MAPS



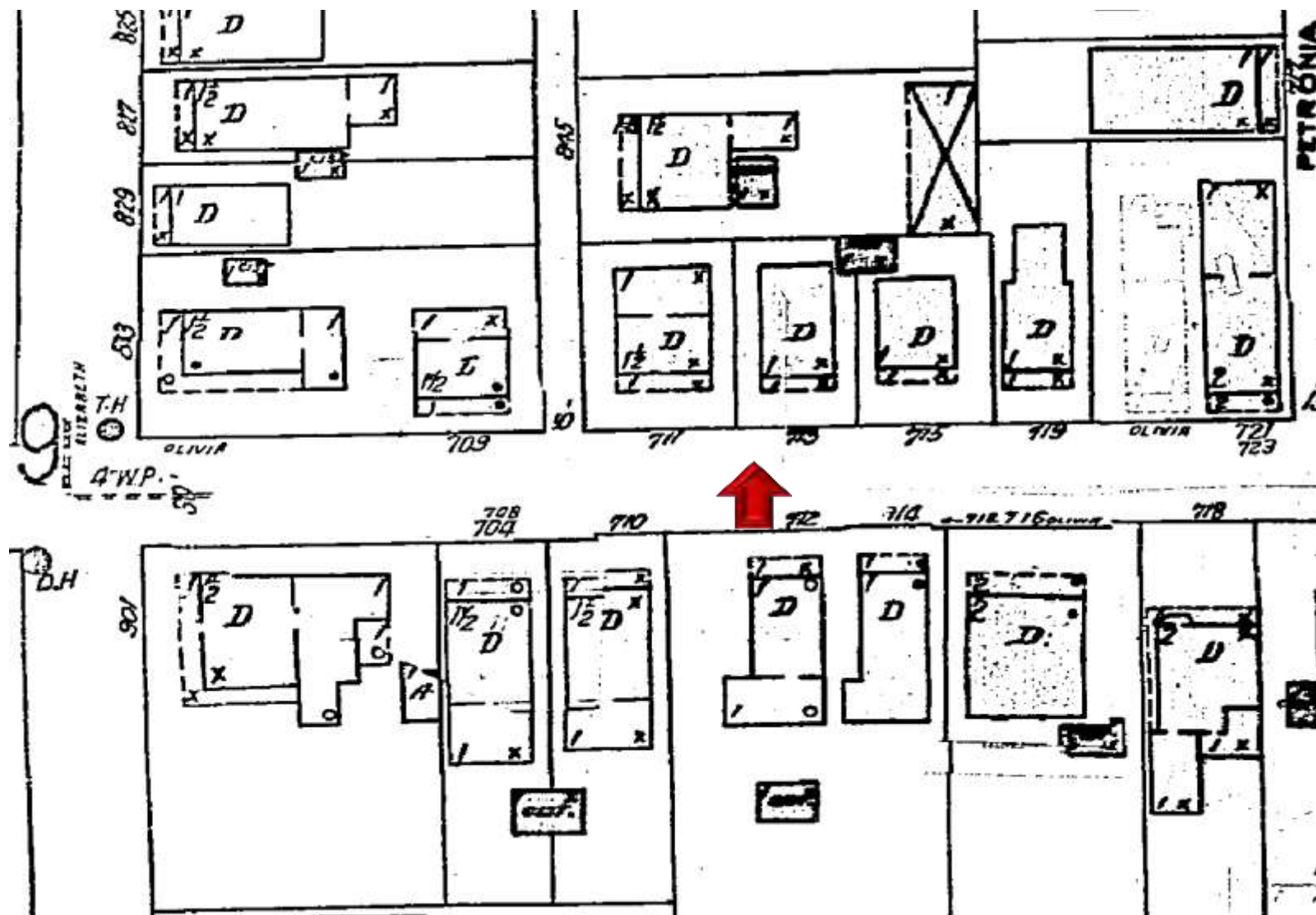
Sanborn Map 1892



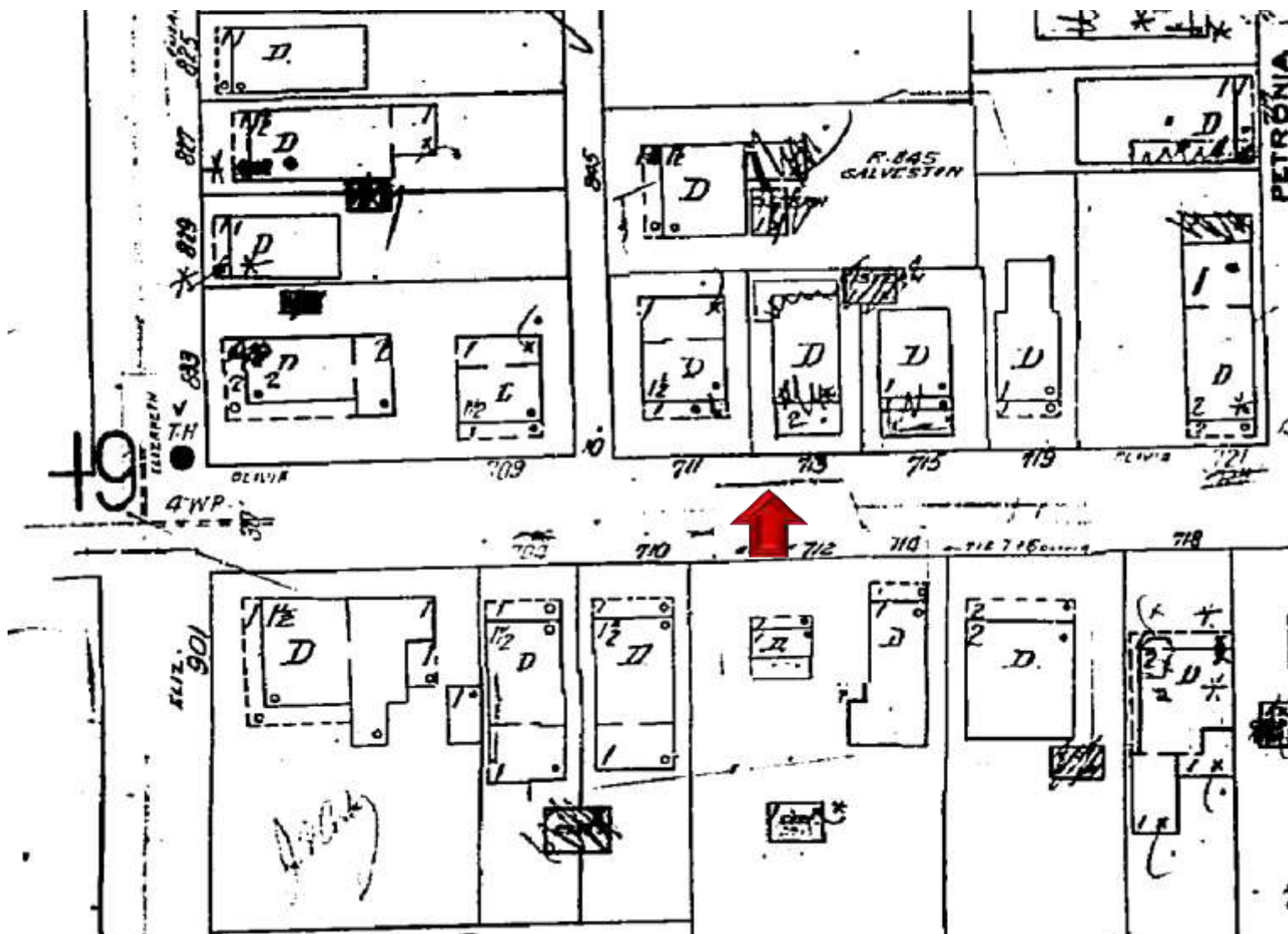
Sanborn Map 1912



Sanborn Map 1926



Sanborn Map 1948



Sanborn Map 1962

# PROJECT PHOTOS



**711 Olivia Street circa 1965. Monroe County Library.**

- **Front Elevation Photograph:**



HARC Application 711 Olivia St.

## 2. Rear Elevation Photograph main house:



Prepared by Meridian Engineering, LLC

HARC Application 711 Olivia St.

**3. Rear Elevation Photograph garage:**



Prepared by Meridian Engineering, LLC

HARC Application 711 Olivia St.

**4. West Side Elevation Photograph from the neighbor's backyard:**



Prepared by Meridian Engineering, LLC

**5. West Side Elevation Photograph from the corner of Olivia and Galveston:**



**6. East Side Elevation Photograph main house/Front of garage:**



**7. East Side Elevation Photograph main house:**



HARC Application 711 Olivia St.

**8. East Side Elevation Photograph garage:**



Prepared by Meridian Engineering, LLC

HARC Application 711 Olivia St.

**9. West Side Elevation Photograph garage:**



Prepared by Meridian Engineering, LLC

**10. Photographs of the existing windows:**



Existing bathroom non-historic window to be removed.

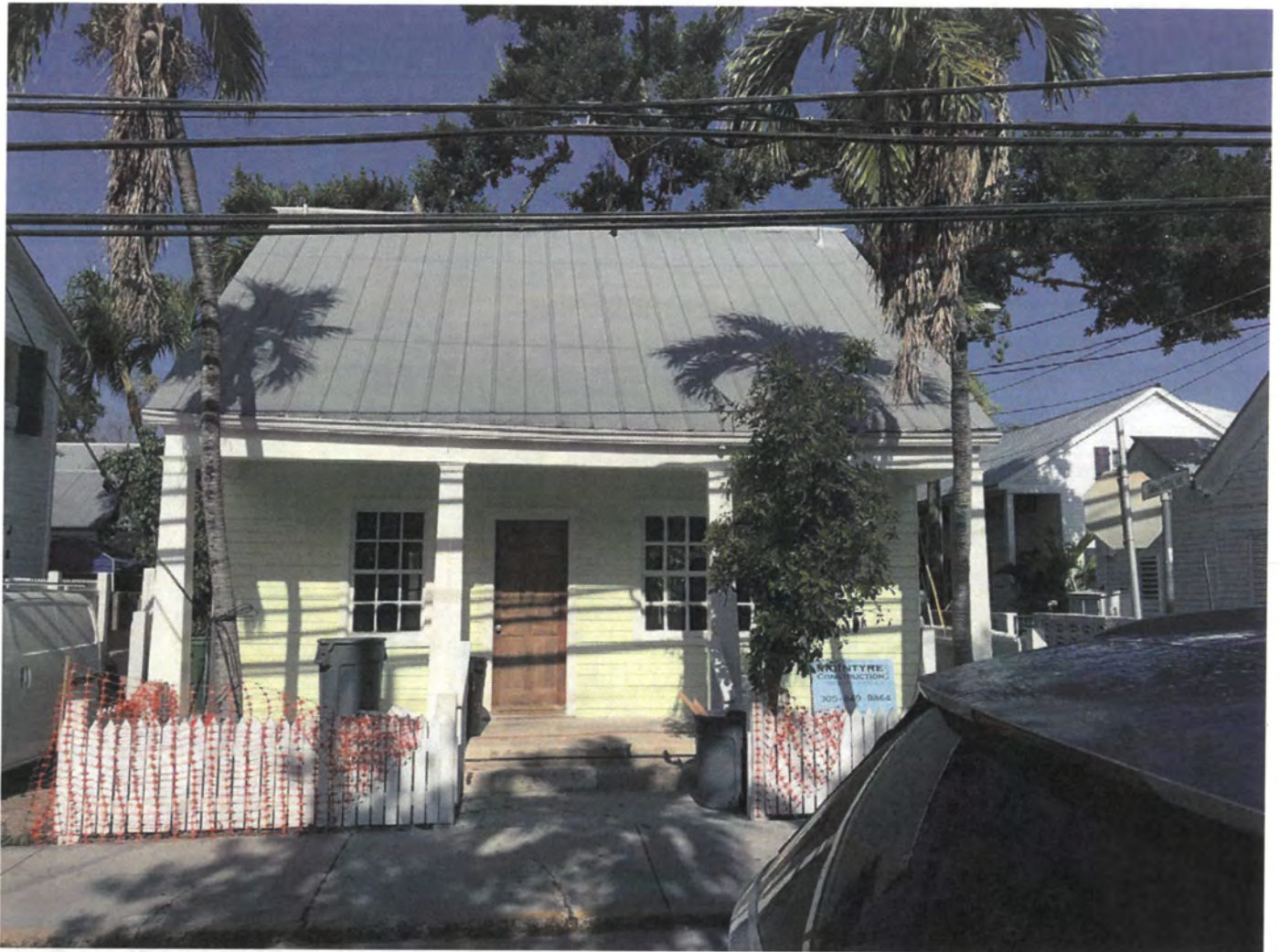


Existing bedroom non-historic 6 over 6 window to be removed for proposed wood French doors.



Existing bedroom 2 over 2 window to remain.

**11. Existing Property to the West- Front Elevation Photograph:**



**12. Existing Property to the East- Front Elevation Photograph:**



HARC Application 711 Olivia St.

**13. Existing Property directly across the street Front Elevation  
Photograph:**



Prepared by Meridian Engineering, LLC

**14. Existing Property across the street to the West- Front Elevation  
Photograph:**



**15. Existing Property across the street to the East- Front Elevation  
Photograph:**



# SURVEY

RICHARD J. MILELLI  
PE #58315

# PROPOSED DESIGN

SITE DATA

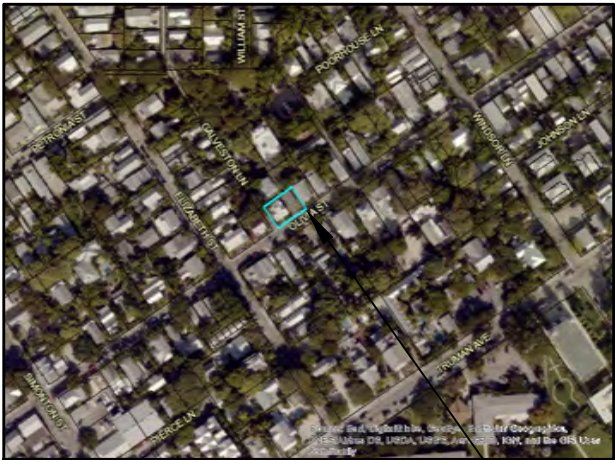
SITE ADDRESS: 711 OLIVIA ST., KEY WEST, FL 33040  
RE:00019240-000000  
ZONING: HMDR (HISTORIC MEDIUM DENSITY RESIDENTIAL)  
FLOOD ZONE: X  
F.I.R.M.- COMMUNITY#12087C; MAP & PANEL #1516 SUFFIX K; DATE:02-18-05  
SECTION/TOWNSHIP/RANGE: 5-68-25  
LEGAL DESCRIPTION: KW PT LOT 37 OF TR 5  
SETBACKS: FRONT 10 FT; SIDE 5 FT; REAR 20 FT; STREET SIDE 7.5 FT  
OCCUPANCY: R-3 RESIDENTIAL SINGLE FAMILY  
TYPE OF CONSTRUCTION: VB

DESIGN DATA

DESIGN LOADS: ASCE 7-10  
WIND LOAD: 180 mph; 3 sec gust; EXPOSURE C; ROOF LIVE LOAD 20 PSF; DEAD  
LOAD 15 PSF; FLOOR LL 40 PSF  
SOIL BEARING CAPACITY ASSUMED 2000LBS PER SQ.FT.

INDEX OF DRAWINGS

- SHEET CS-1 - COVER, LOCATION MAP, SITE DATA AND SITE PLAN
- SHEET AE-1 - EXISTING ELEVATIONS
- SHEET AE-2 - EXISTING ELEVATIONS
- SHEET D-1 - DEMOLITION PLANS AND NOTES
- SHEET A-1 - PROPOSED FLOOR PLAN
- SHEET A-2 - PROPOSED ELEVATIONS & ATTIC PLAN
- SHEET A-3 - PROPOSED ELEVATIONS
- SHEET A-4 - PROPOSED STREET SCAPE

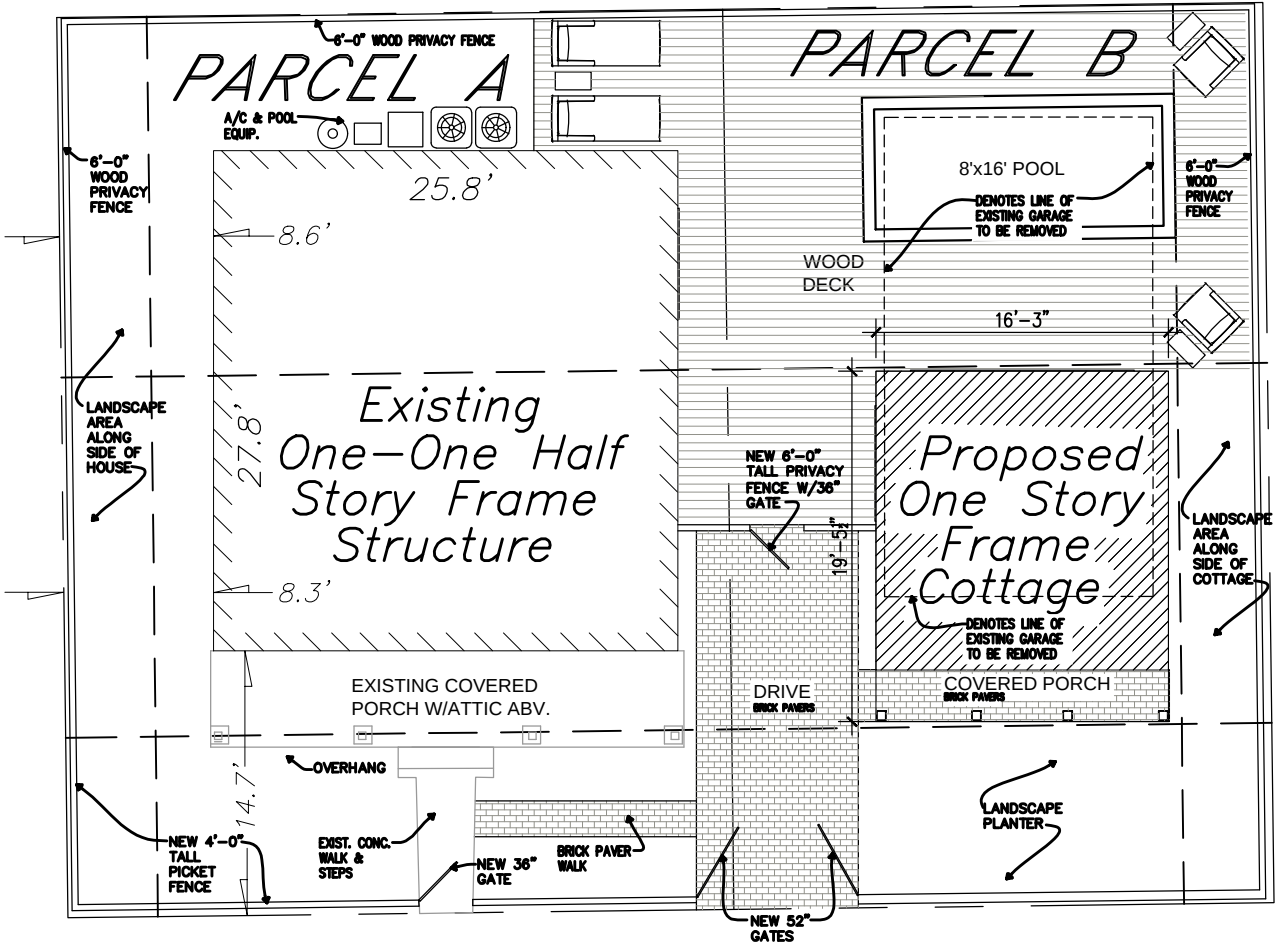


LOCATION MAP SITE  
NTS

NEW COTTAGE  
711 OLIVIA STREET, KEY  
WEST, FLORIDA 33040

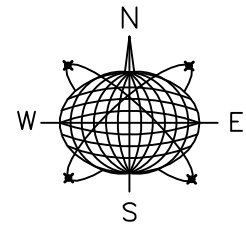
PROJECT DATA

|                   |       | PROPOSED        |      | EXISTING      |      | REQUIRED        | VARIANCE REQUESTED |
|-------------------|-------|-----------------|------|---------------|------|-----------------|--------------------|
| RE NO.            |       | 00019240-000000 |      |               |      |                 |                    |
| SETBACKS:         | FRONT | NO CHANGE       |      | 8.9'          |      | 10'             | NONE               |
| STREET SIDE       |       | NO CHANGE       |      | 7.4'          |      | 5'              | NONE               |
| SIDE              |       | 5.1'            |      | 5.2"          |      | 5'              | NONE               |
| REAR              |       | NO CHANGE       |      | 7.4'          |      | 20'             | NONE               |
| LOT SIZE          |       | NO CHANGE       |      | 3,350 SQ. FT. |      | 4000 SQ.FT. MIN | NONE               |
| BUILDING COVERAGE |       | 1,261 SQ.FT.    | 38%  | 1,425 SQ. FT. | 43%  | 50% MAX         | NONE               |
| FLOOR AREA        |       | 1,560 SQ.FT.    | 0.47 | 1,244 SQ. FT. | 0.37 | 1.0             | NONE               |
| BUILDING HEIGHT   |       | NO CHANGE       |      | 19.8'         |      | 30' MAX         | NONE               |
| IMPERVIOUS AREA   |       | 1,675 SQ.FT.    | 50%  | 1,568 SQ. FT. | 47%  | 60% MAX         | NONE               |
| OPEN SPACE        |       | 1,206 SQ.FT.    | 36%  | 1,607 SQ. FT. | 48%  | 35% MIN         | NONE               |



Olivia St.  
30' (R\W)

1 SITE PLAN  
SP-1 SCALE: 3/32" = 1'-0"



Meridian Engineering LLC  
201 Front Street, Suite 210  
Key West, Florida 33040  
AUTHORIZATION #29401  
ph:305-293-3263 fax:293-4899

Seal:

NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED IN THIS BLOCK

RICHARD J. MILELLI  
PE #58315

PROPOSED COTTAGE  
W/FRONT PORCH

711 OLIVIA STREET  
KEY WEST, FLORIDA

Drawn By: PS Checked By: RJM

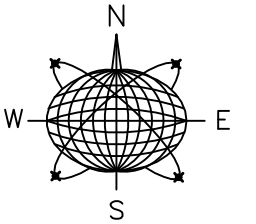
Revisions:

Title:  
EXISTING SURVEY,  
LOCATION MAP, SITE  
DATA & GENERAL  
NOTES

Sheet Number:

CS-1

Date: MAR 30, 2018



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PROPOSED COTTAGE  
W/FRONT PORCH

711 OLIVIA STREET  
KEY WEST, FLORIDA

Drawn By: PS      Checked By: RJM

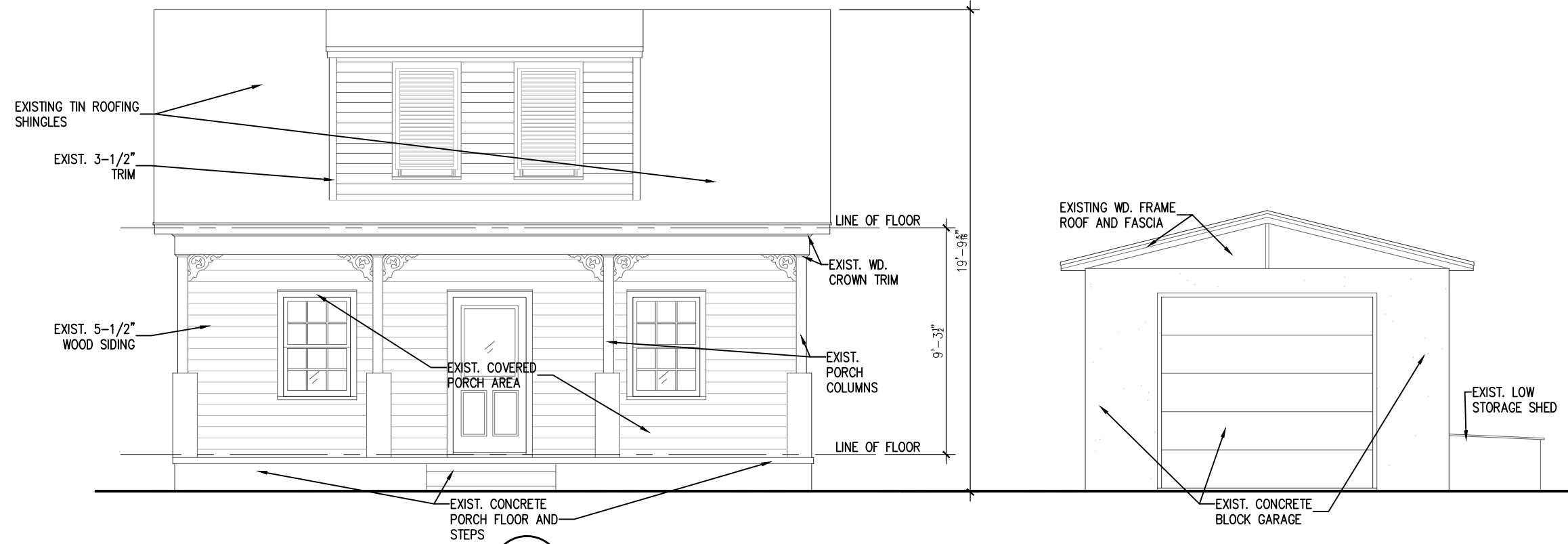
Revisions:

Title:  
EXISTING  
ELEVATIONS

Sheet Number:

AE-1

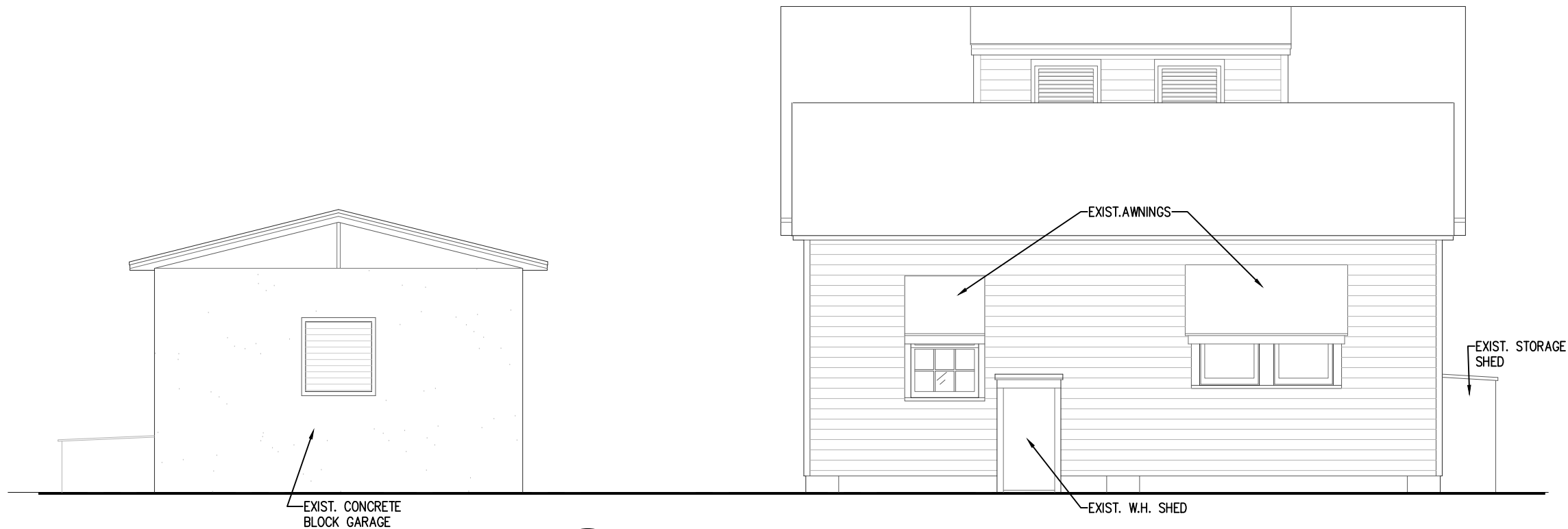
Date: MAR 30, 2018



1 EXIST. FRONT ELEV.  
AE-1 SCALE: 3/16" = 1'-0"



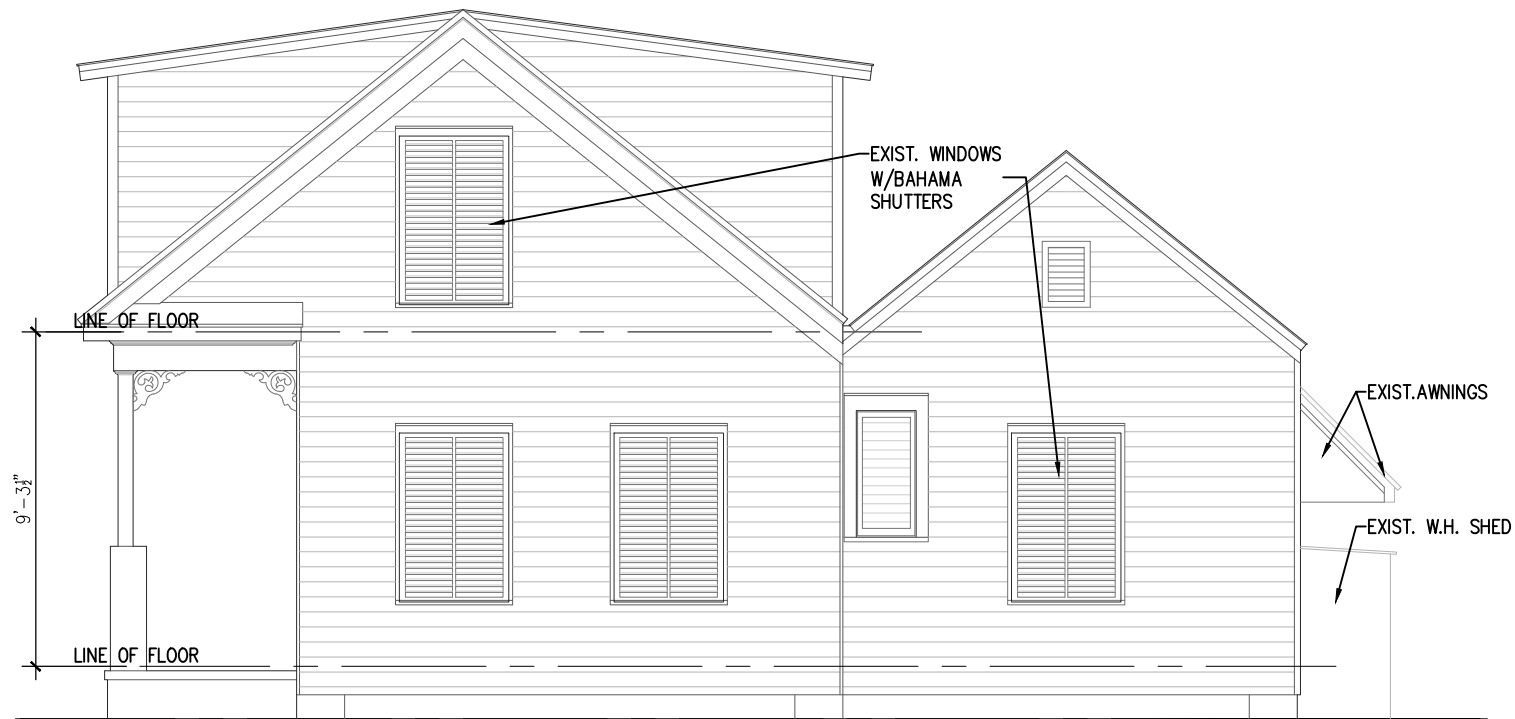
2 EXIST. SIDE ELEV. (WEST)  
AE-1 SCALE: 3/16" = 1'-0"



1  
AE-2

EXIST. REAR ELEV.

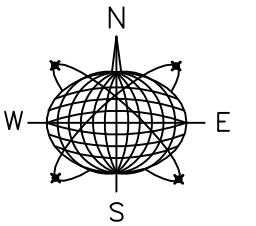
SCALE: 3/16" = 1'-0"



2  
AE-2

EXIST. SIDE ELEV. (EAST)

SCALE: 3/16" = 1'-0"



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PE #58315

PROPOSED COTTAGE  
W/FRONT PORCH

711 OLIVIA STREET  
KEY WEST, FLORIDA

Drawn By: PS      Checked By: RJM

Revisions:

Title:  
EXISTING  
ELEVATIONS

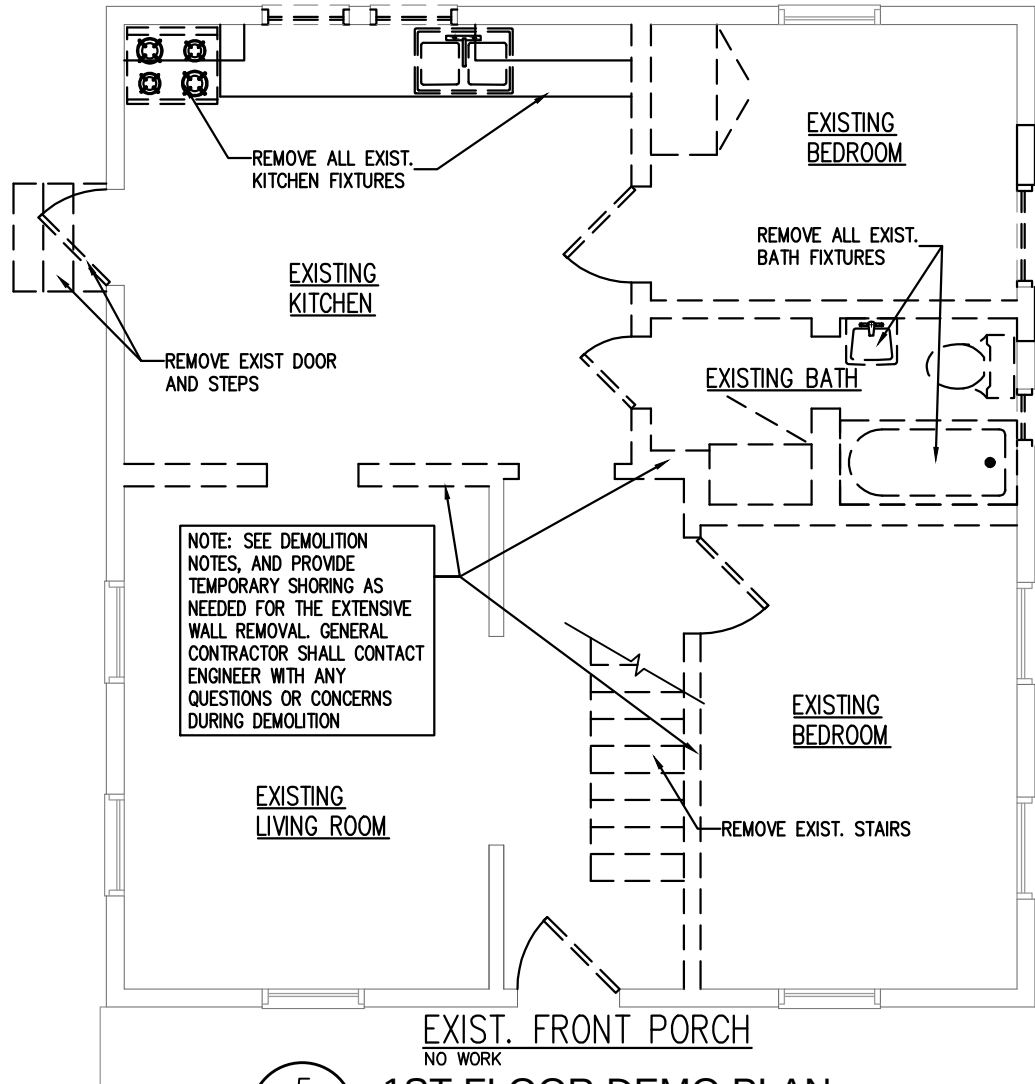
Sheet Number:

AE-2

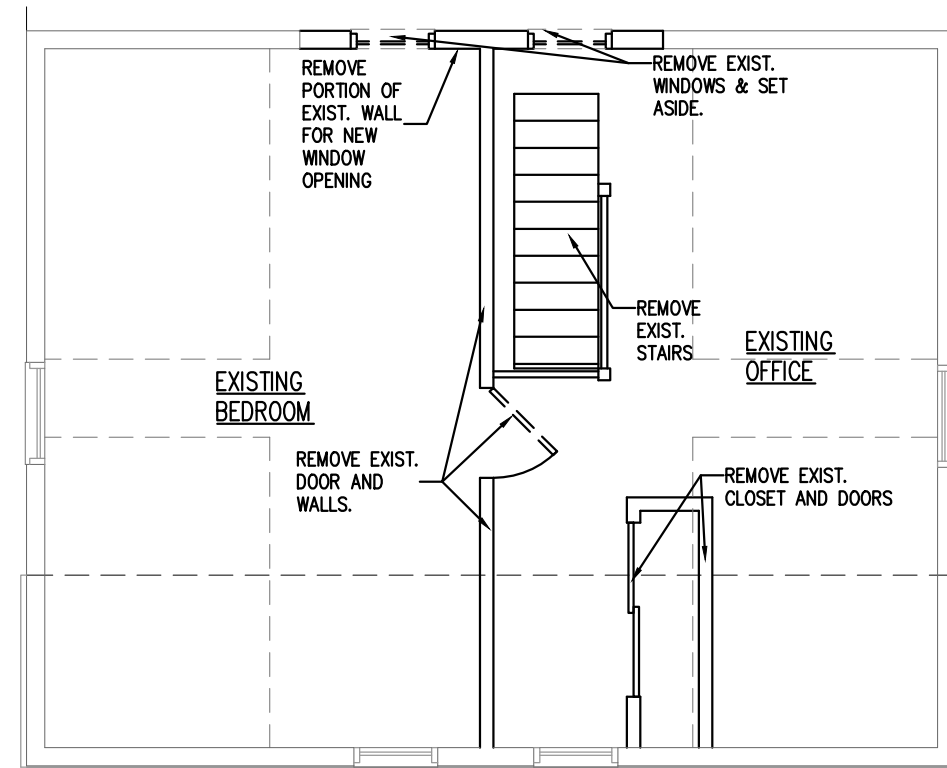
Date: MAR 30, 2018

**DEMOLITION NOTES:**  
-PROTECT ALL EXISTING CONSTRUCTION , NOT SCHEDULED FOR REMOVAL, AT ALL TIMES. PROVIDE ADEQUATE SHORING AND/OR BRACING TO PREVENT DAMAGE. PROMPTLY REPAIR DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO THE OWNER.  
-PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT INDIVIDUALS FROM INJURY. PROVIDE SECURITY LOCKS OR OTHER MEANS TO PREVENT INADVERTENT ENTRY INTO WORK ZONE.  
-CONSTRUCT DUST PROOF PARTITIONS TO SEPARATE WORK AREA WHERE NOISY OR DUSTY OPERATIONS ARE PERFORMED. KEEP WORK AREAS CLEAN TO LIMIT DUST AND DIRT TRACKING TO NON-CONSTRUCTION ZONES.  
-MAINTAIN EXISTING UTILITIES FOR USE BY OWNER AND PROTECT FROM DAMAGE WHEN SERVICE INTERRUPTION IS UNAVOIDABLE, COORDINATE WITH OWNER AND UTILITY COMPANIES. PROVIDE TEMPORARY UTILITY SERVICE AS REQUIRED BY OWNER.

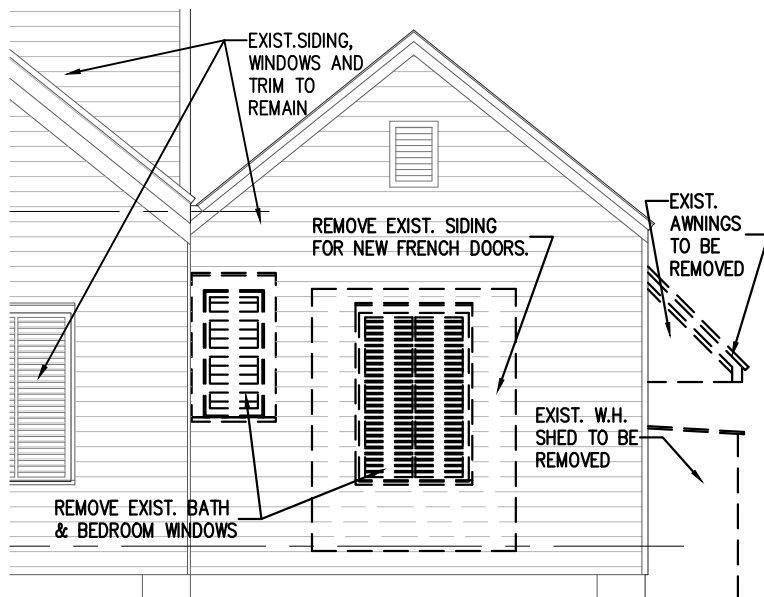
**SHORING AND BRACING:**  
-PROVIDE ADEQUATE SHORING AND BRACING AT ALL LOCATIONS WHERE NEW OPENINGS ARE SHOWN TO BE CUT INTO EXISTING LOAD BEARING WALLS.  
-SHORING SHALL BE PERFORMED BY AN EXPERIENCED SHORING CONTRACTOR.  
-SHORING SHALL BE CONTINUOUS TO THE LOWEST LEVEL AND BE ADEQUATELY DISTRIBUTED TO PREVENT DAMAGE TO EXISTING GRADE SLABS.



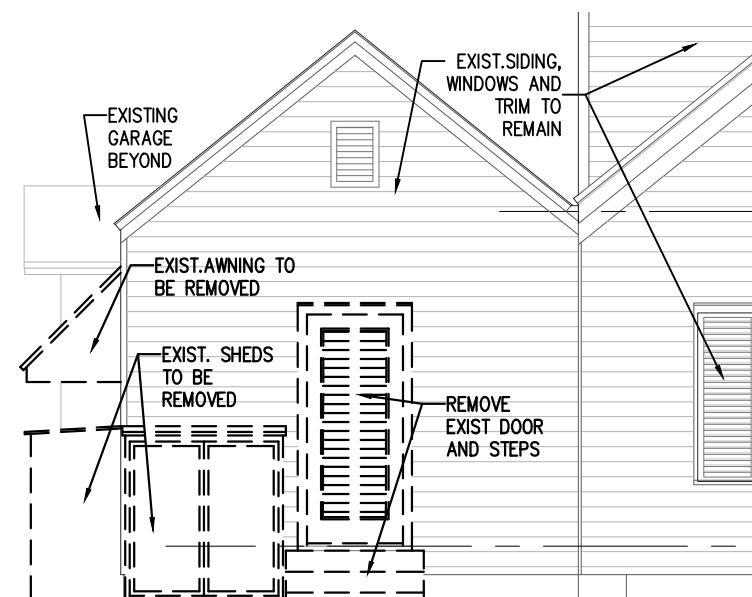
5  
D-1  
1ST FLOOR DEMO PLAN  
SCALE: 3/16" = 1'-0"



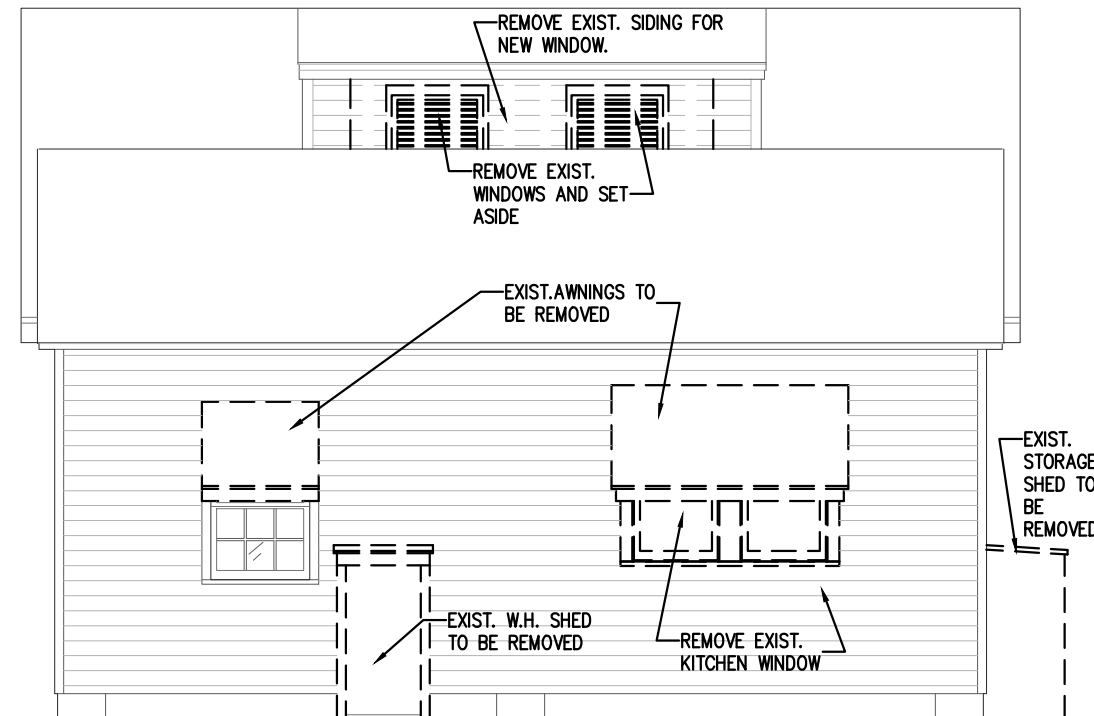
4  
D-1  
ATTIC DEMO PLAN  
SCALE: 3/16" = 1'-0"



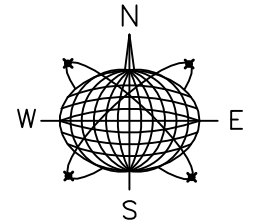
3  
D-1  
EXIST. SIDE ELEV. (EAST)  
SCALE: 3/16" = 1'-0"



2  
D-1  
EXIST. SIDE ELEV. (WEST)  
SCALE: 3/16" = 1'-0"



1  
D-1  
EXIST. REAR ELEV.  
SCALE: 3/16" = 1'-0"



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PROPOSED COTTAGE  
W/FRONT PORCH

711 OLIVIA STREET  
KEY WEST, FLORIDA

Drawn By: PS  
Checked By: RJM

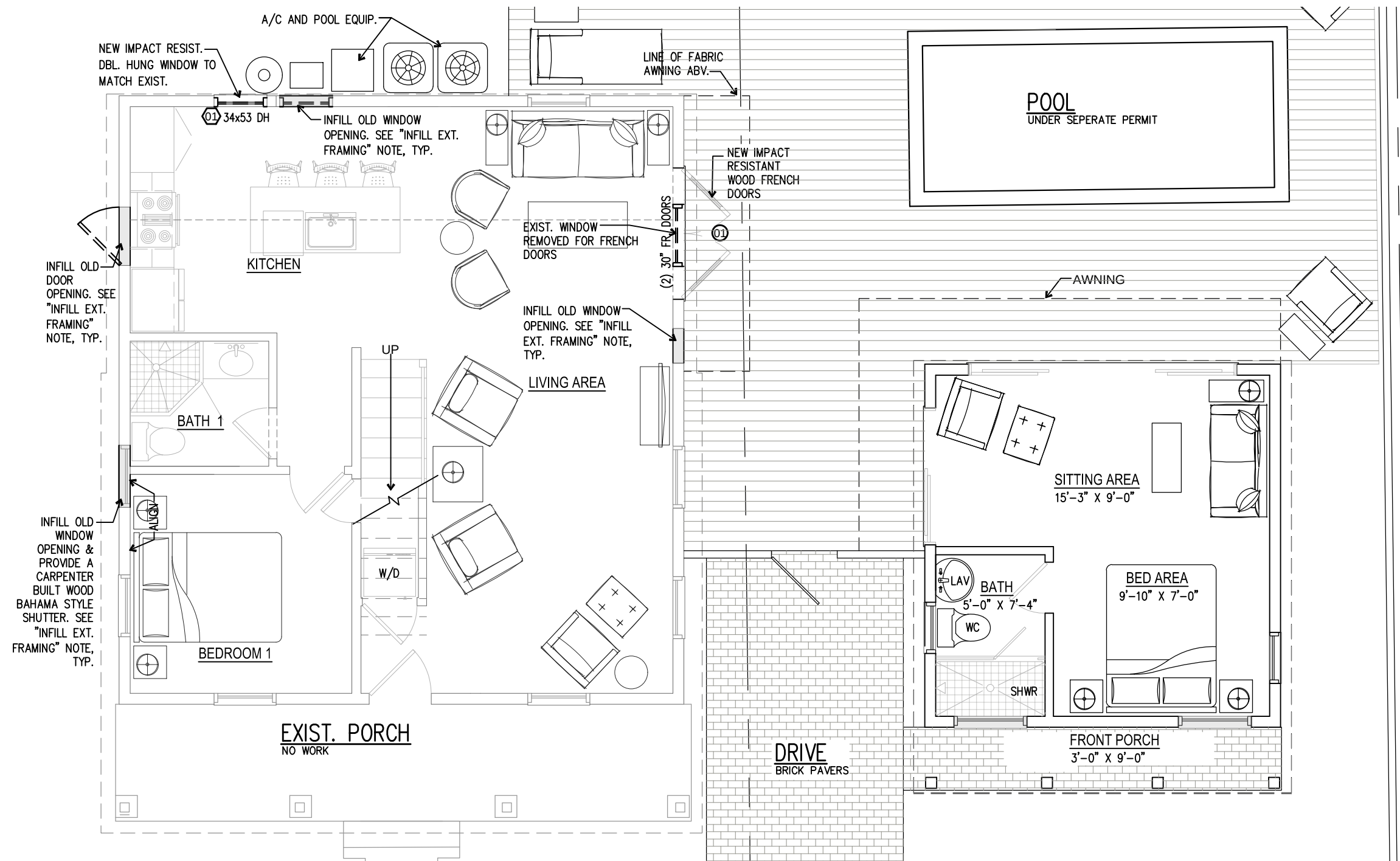
Revisions:

Title:  
PARTIAL DEMOLITION  
FLOOR PLAN  
AND ELEVATIONS

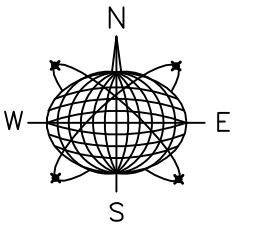
Sheet Number:

D-1

Date: MAR 30, 2018



1 FIRST FLOOR PLAN  
A-1 SCALE: 3/16" = 1'-0"



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711 OLIVIA STREET  
KEY WEST, FLORIDA

Drawn By: PS Checked By: RJM

Revisions:

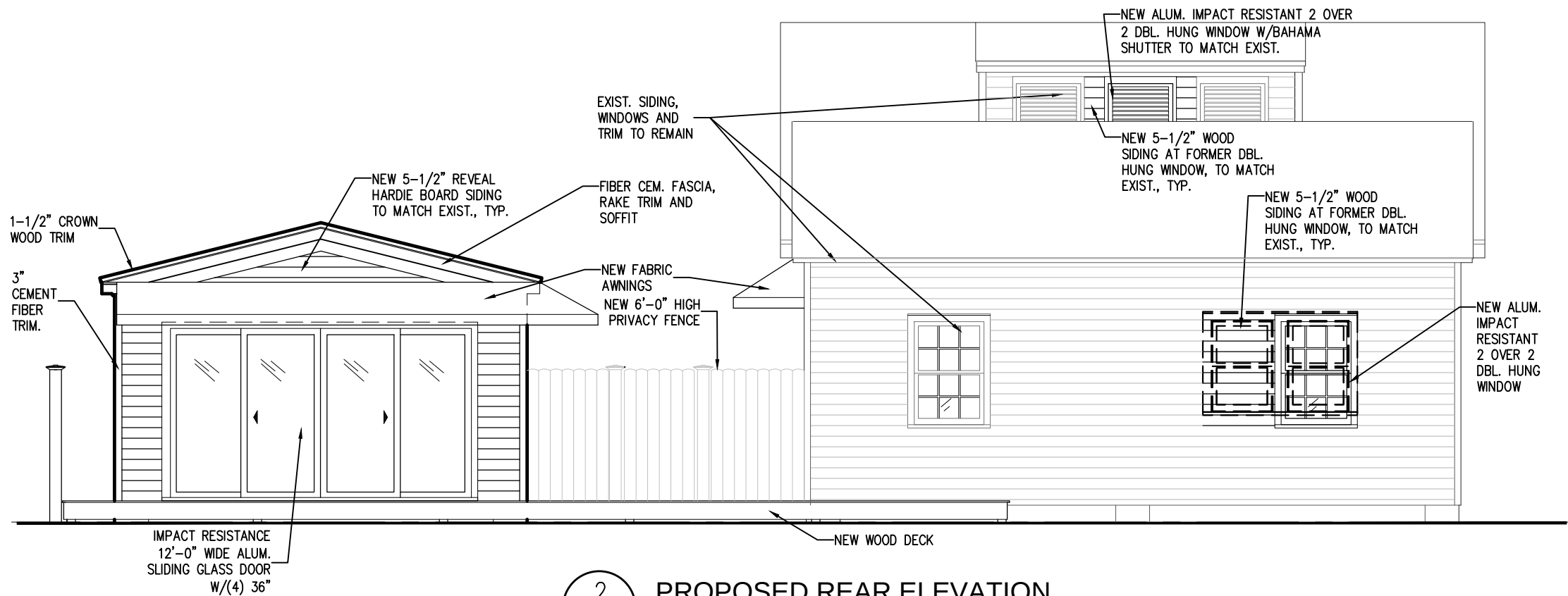
Title:  
FLOOR PLAN

Sheet Number:

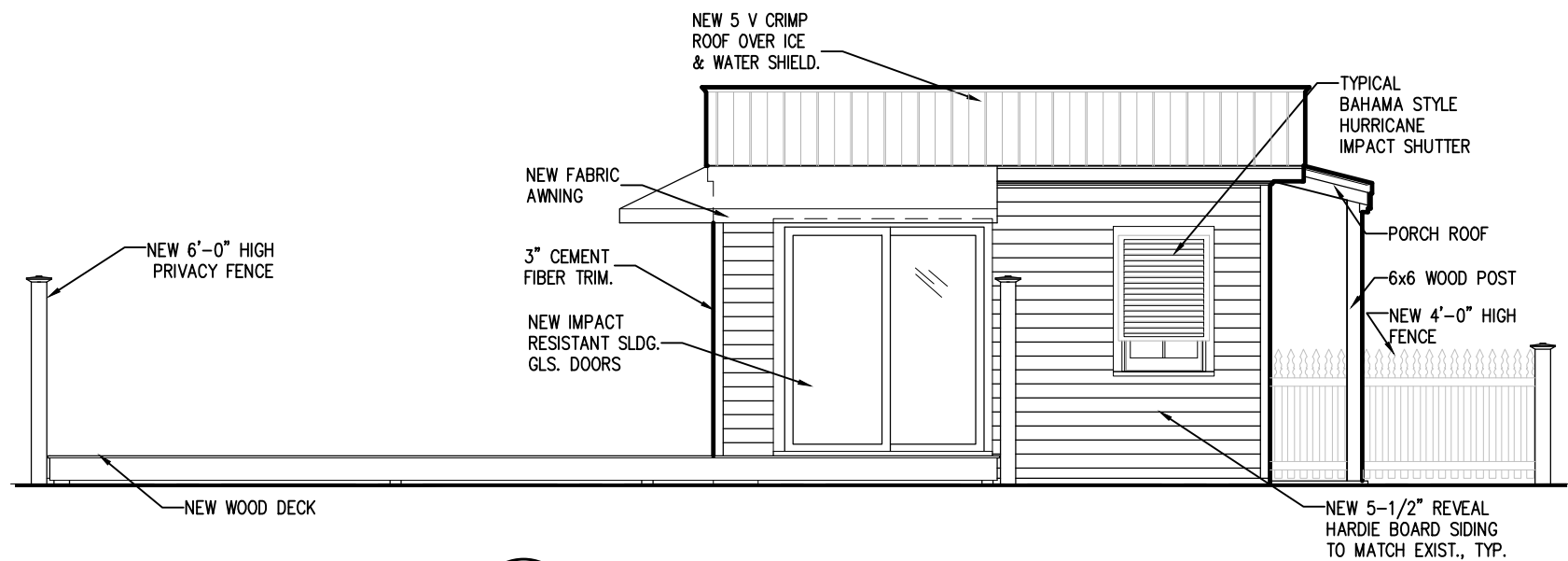
# A-1

Date: MAR 30, 2018

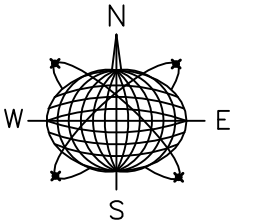




2  
A-3 PROPOSED REAR ELEVATION  
SCALE: 3/16" = 1'-0"



1  
A-3 EXIST. SIDE ELEV. (WEST)  
SCALE: 3/16" = 1'-0"



Meridian Engineering LLC  
201 Front Street, Suite 210  
Key West, Florida 33040  
AUTHORIZATION #29401  
ph:305-293-3263 fax:293-4899

Seal:

NOT VALID FOR CONSTRUCTION UNLESS  
SIGNED AND SEALED IN THIS BLOCK

RICHARD J. MILELLI  
PE #58315

PROPOSED COTTAGE  
W/FRONT PORCH

711 OLIVIA STREET  
KEY WEST, FLORIDA

Drawn By: PS Checked By: RJM

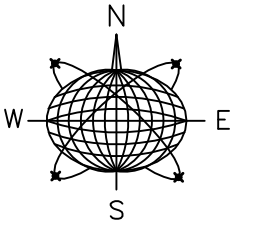
Revisions:

Title:  
PROPOSED  
ELEVATIONS

Sheet Number:

A-3

Date: MAR 30, 2018



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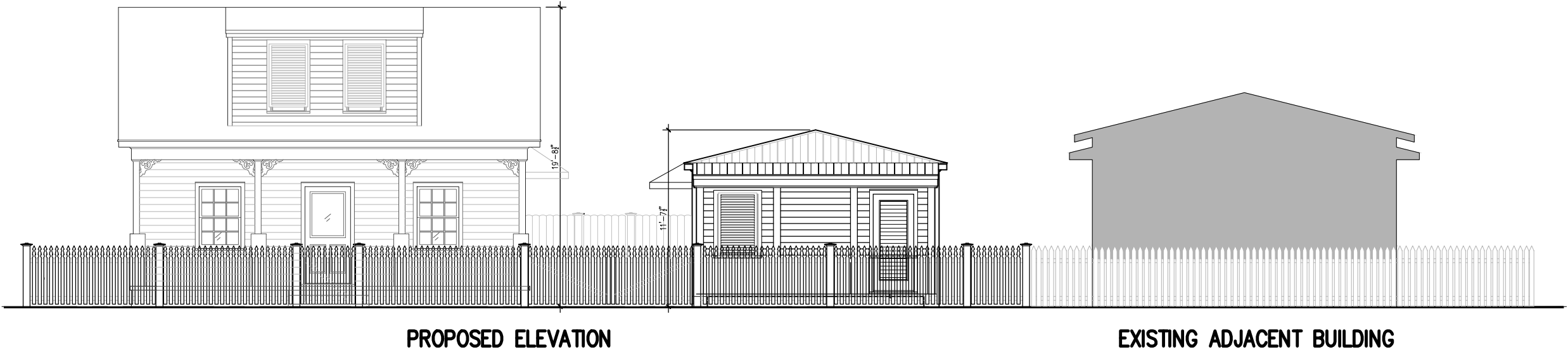
Drawn By: PS      Checked By: RJM

Revisions:

Title:  
PROPOSED  
ELEVATION/  
STREETSCAPE

Sheet Number:  
**A-4**

Date: MAR 30, 2018



1  
A-4  
PROPOSED FRONT ELEV. STREETSCAPE  
SCALE: 1/8" = 1'-0"

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., May 23, 2018 at Key West City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RENOVATIONS TO EXISTING HOUSE. NEW  
ACCESSORY STRUCTURE, NEW POOL,  
DECK, AND SITE IMPROVEMENTS.  
DEMOLITION OF EXISTING GARAGE.  
FOR #711 OLIVIA STREET**

**Applicant – Meridian Engineering**

**Application #18-03-0021**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# PROPERTY APPRAISER INFORMATION



### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00019240-000000  
**Account #** 1019925  
**Property ID** 1019925  
**Millage Group** 10KW  
**Location** 711 OLIVIA St, KEY WEST  
**Address**  
**Legal** KW PT LOT 37 OF TR 5 OR261-433/44 OR262-77/78 OR1730-1136LET/ADM OR2350-2222ORD OR2372-1526/28P/R OR2372-1529/31P/R OR2387-1196/98C OR2387-1199/02C OR2823-2328/29L/E OR2884-189/93 OR2884-195D/C (Note: Not to be used on legal documents)  
**Description**  
**Neighborhood** 6103  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable Housing** No



### Owner

PLOTKIN ALEX  
 2001 Hamilton St  
 Philadelphia PA 19130

### Valuation

|                            | 2017      | 2016      | 2015      | 2014      |
|----------------------------|-----------|-----------|-----------|-----------|
| + Market Improvement Value | \$93,272  | \$81,663  | \$85,111  | \$92,386  |
| + Market Misc Value        | \$8,320   | \$8,320   | \$7,235   | \$6,577   |
| + Market Land Value        | \$382,168 | \$425,604 | \$419,959 | \$391,962 |
| = Just Market Value        | \$483,760 | \$515,587 | \$512,305 | \$490,925 |
| = Total Assessed Value     | \$483,760 | \$515,587 | \$480,790 | \$437,082 |
| - School Exempt Value      | \$0       | \$0       | \$0       | \$0       |
| = School Taxable Value     | \$483,760 | \$515,587 | \$512,305 | \$490,925 |

### Land

| Land Use               | Number of Units | Unit Type   | Frontage | Depth |
|------------------------|-----------------|-------------|----------|-------|
| RESIDENTIAL DRY (010D) | 3,350.00        | Square Foot | 0        | 0     |

### Buildings

|                |                         |                    |                    |
|----------------|-------------------------|--------------------|--------------------|
| Building ID    | 1461                    | Exterior Walls     | ABOVE AVERAGE WOOD |
| Style          | 2 STORY ELEV FOUNDATION | Year Built         | 1943               |
| Building Type  | S.F.R. - R1 / R1        | EffectiveYearBuilt | 1998               |
| Gross Sq Ft    | 1395                    | Foundation         | WD CONC PADS       |
| Finished Sq Ft | 728                     | Roof Type          | GABLE/HIP          |
| Stories        | 2 Floor                 | Roof Coverage      | METAL              |
| Condition      | AVERAGE                 | Flooring Type      | CONC S/B GRND      |
| Perimeter      | 108                     | Heating Type       | NONE with 0% NONE  |
| Functional Obs | 0                       | Bedrooms           | 3                  |
| Economic Obs   | 0                       | Full Bathrooms     | 1                  |
| Depreciation % | 27                      | Half Bathrooms     | 0                  |
| Interior Walls | WALL BD/WD WAL          | Grade              | 500                |
|                |                         | Number of Fire Pl  | 0                  |

| Code | Description    | Sketch Area | Finished Area | Perimeter |
|------|----------------|-------------|---------------|-----------|
| FHS  | FINISH HALF ST | 520         | 0             | 0         |
| FLA  | FLOOR LIV AREA | 728         | 728           | 0         |

| Code         | Description    | Sketch Area  | Finished Area | Perimeter |
|--------------|----------------|--------------|---------------|-----------|
| OPF          | OP PRCH FIN LL | 130          | 0             | 0         |
| SBU          | UTIL UNFIN BLK | 17           | 0             | 0         |
| <b>TOTAL</b> |                | <b>1,395</b> | <b>728</b>    | <b>0</b>  |

### Yard Items

| Description   | Year Built | Roll Year | Quantity | Units  | Grade |
|---------------|------------|-----------|----------|--------|-------|
| PATIO         | 1949       | 1950      | 1        | 66 SF  | 1     |
| CH LINK FENCE | 1964       | 1965      | 1        | 268 SF | 1     |
| GARAGE        | 1964       | 1965      | 1        | 450 SF | 3     |
| FENCES        | 1975       | 1976      | 1        | 124 SF | 4     |

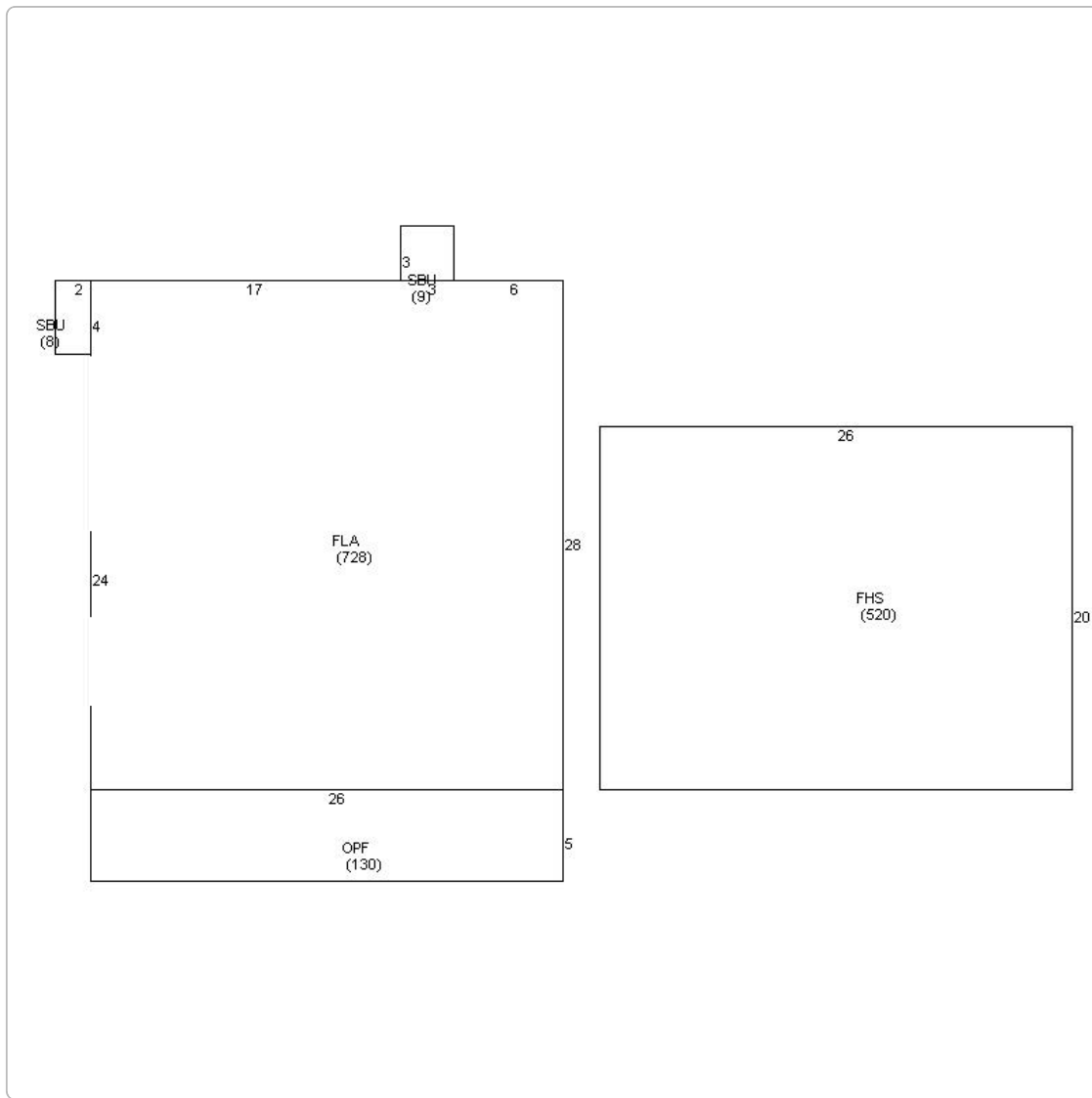
### Sales

| Sale Date  | Sale Price | Instrument    | Instrument Number | Deed Book | Deed Page | Sale Qualification | Vacant or Improved |
|------------|------------|---------------|-------------------|-----------|-----------|--------------------|--------------------|
| 12/12/2017 | \$600,000  | Warranty Deed | 2148215           | 2884      | 189       | 02 - Qualified     | Improved           |
| 10/26/2016 | \$100      | Warranty Deed | 2097931           | 2823      | 2328      | 14 - Unqualified   | Improved           |

### Permits

| Number ◆ | Date Issued ◆ | Date Completed ◆ | Amount ◆ | Permit Type ◆ | Notes ◆                                                  |
|----------|---------------|------------------|----------|---------------|----------------------------------------------------------|
| 14-3221  | 7/2/2014      | 12/5/2014        | \$3,450  |               | REMOVE EXISTING LINOLEUM 180SF AND SUBFLOOR. INSTALL NEW |
| 11-4671  | 12/29/2011    | 11/28/2012       | \$5,200  |               | 4 SQRS RE-ROOF METAL SHINGLES                            |
| 10-3090  | 9/21/2010     | 10/21/2010       | \$6,000  |               | R&R 6 SQRS OF METAL SHINGLES                             |
| B931937  | 7/1/1994      | 12/1/1994        | \$1,575  |               | BAHAMA SHUTTERS                                          |

### Sketches (click to enlarge)



### Photos



## Map



No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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