

# **Application**



# VARIANCE APPLICATION INFORMATION SHEET

City of Key West Planning Department  
PO Box 1409 Key West, FL 33041-1409  
(305) 809-3720



**Please read the following carefully before filling out the application**

This application and any required attachments should be submitted to the City Planning Department at 1300 White Street. It is preferable to make an appointment before the application is submitted to determine what variances are necessary and what fee applies.

### Application Process

- After submittal, the application will be reviewed by the Development Review Committee (DRC). Additional modifications to the site plan may be necessary at that time.
- After the DRC process the applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10 day appeal period.
- After the 10 day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

### **PLEASE NOTE:**

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.

### FEE SCHEDULE

Variations, any number of issues	\$1,000.00
All After-the-fact variations	\$2,000.00
Advertising and Noticing Fee	\$ 100.00
Fire Department Review Fee	\$ 50.00

**Please include the following with this application:**

1. A **copy of the most recent recorded** warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.
2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee. It is best to see a Planner before turning in the application.
3. A site plan or site plans (**plans MUST be signed and sealed by an Engineer or Architect**) of the subject site, indicating the following:
  - a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas and decks.
  - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
  - c. All proposed changes to what exists, including those which make the variance(s) necessary.
  - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
  - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
  - f. Parking spaces and dimensions (**existing and proposed**).
  - g. Easements or other encumbrances on the property.
4. One copy of the most recent survey of the property.
5. Elevation drawings of proposed structures, indicating finished height above established grade as measured from crown of road.
6. Floor Plans of **existing and proposed** development.
7. Stormwater management plan.
8. PDF or compatible electronic format of entire application on compact disk.

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

**Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.**

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

If you have any questions, please call the Planning Department. We will be happy to assist you in the application process.



# Application For Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3720 • www.cityofkeywest-fl.gov

**Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00**

(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

### PROPERTY DESCRIPTION:

Site Address: 1209 Laird Street

Zoning District: SF Single Family Real Estate (RE) #: 00059250-000000

Property located within the Historic District?  Yes  No

APPLICANT:  Owner  Authorized Representative

Name: Meridian Engineering LLC c/o Richard Milelli

Mailing Address: 201 Front Street, Suite 203

City: Key West State: FL Zip: 33040

Home/Mobile Phone: 305-481-0400 Office: 305-293-3263 Fax: \_\_\_\_\_

Email: rmilelli@meflkeys.com

### PROPERTY OWNER: (if different than above)

Name: Alex Model

Mailing Address: P.O. Box 301

City: Pocono Summit State: PA Zip: 18346

Home/Mobile Phone: \_\_\_\_\_ Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: rkaisen@montalininc.com

Description of Proposed Construction, Development, and Use: After the fact variance for a raised deck

### List and describe the specific variance(s) being requested:

Rear setback, building coverage, impervious, and side setback

Are there any easements, deed restrictions or other encumbrances attached to the property?  Yes  No

If yes, please describe and attach relevant documents: \_\_\_\_\_



Will any work be within the dripline (canopy) of any tree on or off the property?  Yes  No  
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078?  Yes  No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	SF			
Flood Zone	AE 7			
Size of Site	5,280			
Height	N/A			
Front Setback	20'	21'-11"	20'	None
Side Setback	5'	3'6"	5'-0"	None
Side Setback	5'	5'	9'-6"	None
Street Side Setback	N/A			
Rear Setback	25'	23'-2"	3'-1"	Yes
F.A.R	N/A			
Building Coverage	35%	2,034 SF	2,221 SF (42%)	Yes
Impervious Surface	50%	2,189 SF	2,851 SF (54%)	Yes
Parking	N/A			
Handicap Parking	N/A			
Bicycle Parking	N/A			
Open Space/ Landscaping	35%	2,189 sf (20%)	2,429 sf (46%)	None
Number and type of units	1			
Consumption Area or Number of seats	N/A			

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at [http://www.municode.com/Library/FL/Key\\_West](http://www.municode.com/Library/FL/Key_West) under Subpart B.

\*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

**Standards for Considering Variances**

**Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:**

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

The existing deck was over 30" from grade which makes it count against building coverage impervious ratio and rear setback.

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2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Applicant has raised the ground around the deck to comply with 30" requirement.

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3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Special privileges not conferred.

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4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship exists because the deck has been built.

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5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only minimum variance granted.

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6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Project is not injurious to public welfare.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other property was not considered.

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**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

**REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.**

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

# **Warranty Deed**

Doc# 2086808 08/09/2016 9:04AM  
Filed & Recorded in Official Records of  
MONROE COUNTY AMY HEAVILIN

08/09/2016 9:04AM  
DEED DOC STAMP CL: Krys \$3,605.00

Doc# 2086808  
Bk# 2809 Pg# 2099

Prepared by and return to:  
Gregory S. Oropeza, Esq.  
Attorney at Law  
Smith | Oropeza | Hawks  
138-142 Simonton Street  
Key West, FL 33040  
305-296-7227  
File Number: 2016-219  
Will Call No.:

\$515,000.00

Parcel Identification No. 00059250-000000

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this 8th day of August, 2016 between **Whitfield Jack, Jr.**, a single man whose post office address is 74 Trowbridge Lane, Brevard, NC 28712 of the County of Transylvania, State of North Carolina, grantor\*, and **Alex Model**, a single man whose post office address is PO Box 301, Pocono Pines, PA 18350 of the County of Monroe, State of Pennsylvania, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Monroe County, Florida**, to-wit:

Lot 6, in Square 1, of Tract 28, PROGRESSIVE LAND IMPROVEMENT COMPANY'S DIAGRAM OF SAID Tract 28, according to the map or plat thereof, as recorded in Plat Book 1, Page 5, of the Public Records of Monroe County, Florida.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

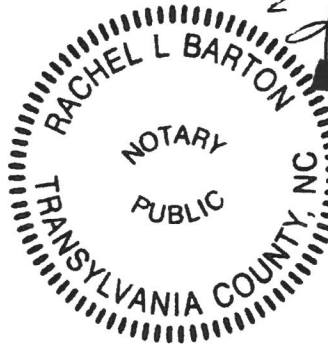
Rachel L. Barton  
Witness Name: Rachel L. Barton  
Michael Mackin  
Witness Name: Michael Mackin

Whitfield Jack, Jr. (Seal)  
Whitfield Jack, Jr.

State of North Carolina  
County of Transylvania

The foregoing instrument was acknowledged before me this 3rd day of August, 2016 by Whitfield Jack, Jr., who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



Rachel L. Barton  
Printed Name: Rachel L. Barton  
My Commission Expires: 4/16/21



# **Authorization Form**

City of Key West  
Planning Department



Authorization Form  
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Ron Kaisen \_\_\_\_\_ authorize  
*Please Print Name(s) of Owner(s) as appears on the deed*

Meridian Engineering LLC c/o Rick Milelli  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

*[Signature]*  
*Signature of Owner*

\_\_\_\_\_  
*Signature of Joint/Co-owner if applicable*

Subscribed and sworn to (or affirmed) before me on this 9-11-18  
*Date*

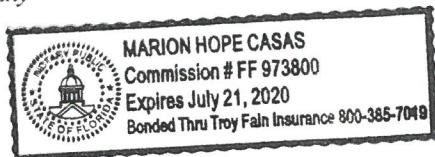
by RONALD D. KAISEN  
*Name of Owner*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

*Marion Hope Casas*  
*Notary's Signature and Seal*

MARION HOPE CASAS  
*Name of Acknowledger typed, printed or stamped*

\_\_\_\_\_  
*Commission Number, if any*



# Verification Form

City of Key West  
Planning Department



Verification Form  
(Where Authorized Representative is an Entity)

I, Richard Mitelli, in my capacity as Principal  
(print name) (print position; president, managing member)  
of Meridian Engineering LLC  
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1209 Laird St.

Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

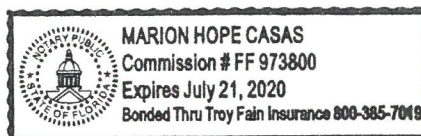
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 9-10-18 by  
Richard Mitelli date  
Name of Authorized Representative

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Notary's Signature and Seal

MARION HOPE CASAS  
Name of Acknowledger typed, printed or stamped



\_\_\_\_\_  
Commission Number, if any

# Site Plans







**SITE DATA**

SITE ADDRESS: 1209 LAIRD ST. KEY WEST, FL 33040  
 RE: 00059250-000000  
 ZONING: SF (SINGLE FAMILY)  
 FLOOD ZONE: AE7  
 F.I.R.M. - COMMUNITY#12087C; MAP & PANEL #1516 SUFFIX K; DATE: 02-18-05  
 SECTION/TOWNSHIP/RANGE: 5-68-25  
 LEGAL DESCRIPTION: KW PRG LAND IMP CO DIAG PB 1-1 LOT 6 SQR 1 TR 28 G30-468/469  
 SETBACKS: FRONT 20 FT, SIDE 5 FT, REAR 25 FT  
 OCCUPANCY: R-3 RESIDENTIAL SINGLE FAMILY  
 TYPE OF CONSTRUCTION: VB

**DESIGN DATA**

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2014 FLORIDA BUILDING CODE AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.  
 THE FOLLOWING LOADINGS WERE USED:  
 DESIGN LOADS: ASCE 7-10  
 WIND LOAD: 180 mph, 3 sec gust; EXPOSURE C; ROOF LIVE LOAD 20 PSF; DEAD LOAD 15 PSF; FLOOR LL 40 PSF  
 SOIL BEARING CAPACITY ASSUMED 2000 LBS PER SQ. FT.  
 FEMA FLOOD DESIGN PER ASCE 24-05

**INDEX OF DRAWINGS**

- SHEET CS-1 - SITE PLAN, PROJECT DATA, EXISTING SURVEY, LOCATION MAP, SWALE CALC.S & NOTES
- SHEET A-1 - ARCHITECTURAL FLOOR PLANS, DETAILS AND NOTES
- SHEET A-2 - ARCHITECTURAL ELEVATIONS, WINDOW AND DOOR SCHEDULES AND NOTES
- SHEET A-3 - ARCHITECTURAL DETAILS
- SHEET E-1 - ELECTRICAL FLOOR PLANS, ELECTRICAL RISER, PANEL SCHEDULE AND ELECTRICAL NOTES
- SHEET M-1 - MECHANICAL FLOOR PLANS, MECHANICAL DETAILS AND MECHANICAL NOTES
- SHEET P-1 - PLUMBING FLOOR PLANS, PLUMBING RISER DIAGRAMS AND PLUMBING NOTES
- SHEET S-1 - STRUCTURAL FOUNDATION/FIRST AND SECOND FLOOR FRAMING PLANS, DETAILS AND NOTES
- SHEET S-2 - STRUCTURAL ROOF/ROOF DECK FRAMING PLAN, BUILDING SECTION, STRUCTURAL DETAILS

**GENERAL NOTES**

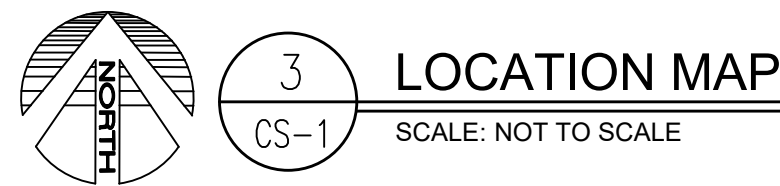
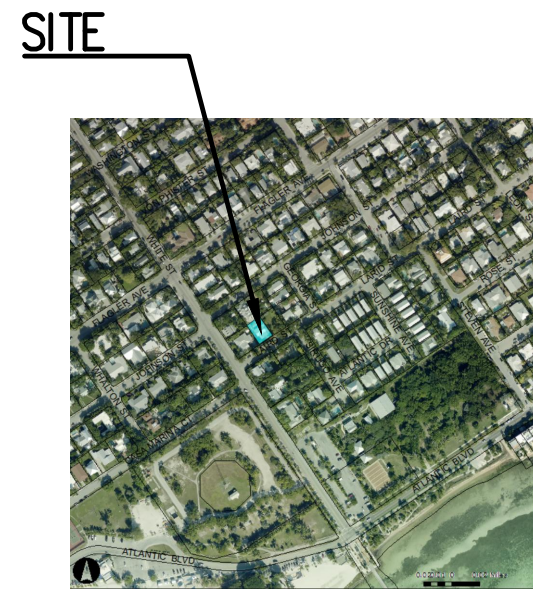
1. THESE PLANS ARE FOR THE CONSTRUCTION AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.)
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2014 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2014 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.
14. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.

**LEGEND**

SYMBOLS	MATERIAL INDICATIONS	LIST OF ABBREVIATIONS
		& AND
		@ AT
		APPROX. APPROXIMATELY
		FT. FOOTFEET
		F.F.L. FINISH FLOOR LEVEL
		IN. INCH
		MAX. MAXIMUM
		MIN. MINIMUM
		# NUMBER
		C.C. ON CENTER
		LB. POUND
		PSI POUND PER SQUARE INCH
		PT PRESSURE TREATED
		SF SQUARE FOOTFEET
		T & G TONGUE AND GROOVE
		W.W.M. WELDED WIRE MESH

# RESIDENTIAL CONSTRUCTION

1209 LAIRD STREET  
 KEY WEST, FLORIDA 33040  
 AFTER THE FACT VARIANCE



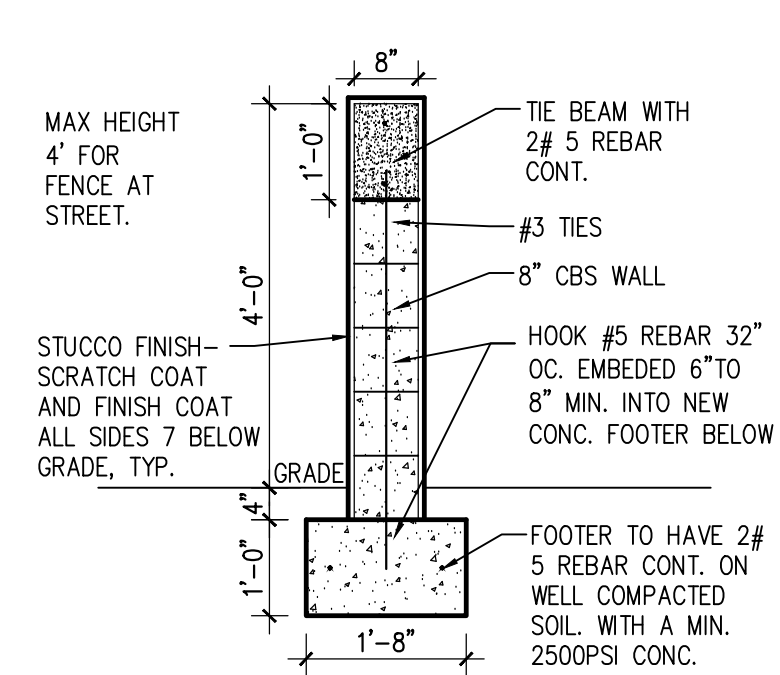
**SITE NOTES**

1. REMOVE EXISTING TOPSOIL AND ORGANIC MATERIAL WITHIN THE BUILDING AREA. STRUCTURAL FILL SHALL BE SELECT STRUCTURAL FILL AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. SITE FILL SHALL BE CLEAN SAND OR CRUSHED LIMESTONE (LESS THAN 3"). GRADE AS SHOWN AND/OR TO DRAIN AWAY FROM THE PROPOSED BUILDING.
2. TREES REQUIRED TO BE REMOVED SHALL BE CUT AND THE STUMP AND ROOT SYSTEM SHALL BE REMOVED COMPLETELY. THE HOLES SHALL BE FILLED COMPACTED AND LEVELED. CARE SHALL BE TAKEN TO AVOID DAMAGE TO ADJACENT TREES AND OTHER FEATURES. PROVIDE CONSTRUCTION BARRIERS FOR TREES TO REMAIN. ALL FOUNDATION AND FOOTING WORK AROUND REMAINING TREES AND THEIR ROOT SYSTEMS SHALL BE HAND DUG ONLY. ANY ROOTS THAT ARE IN CONFLICT W/STRUCTURAL SYSTEM CONTRACTOR SHALL NOTIFY ARCHITECT OR ENGINEER TO RELOCATE PROPOSED CONSTRUCTING STRUCTURE.
3. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE DAILY.
4. THE CONTRACTOR SHALL REMOVE ALL ITEMS INDICATED AND ALL OTHER ITEMS REQUIRED FOR THE INSTALLATION OF NEW WORK. FINISH SURFACES SHALL BE REPAIRED TO MATCH ADJACENT SURFACES. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER.

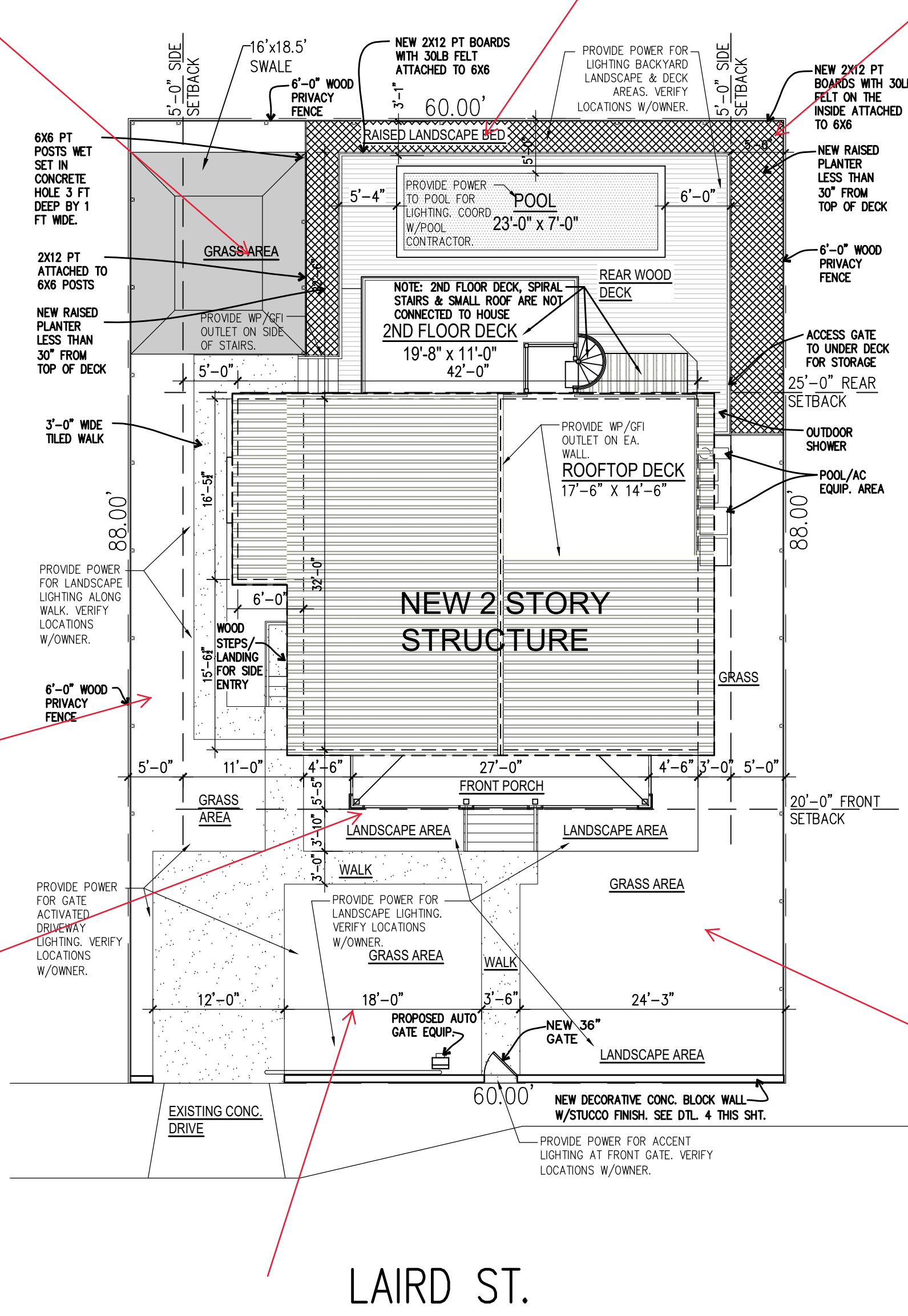
**DRAINAGE CALCS**

REQUIRED INFORMATION:  
 TOTAL LOT AREA = 5,280 S.F.  
 IMPERVIOUS AREA = 2,292 S.F.  
 TOTAL IMPERVIOUS AREA = 2,292 S.F.  
 % IMPERVIOUS = 2,292 / 5,280 = 43%

SWALE VOLUME REQUIRED:  
 CITY OF KEY WEST REQUIRES 1" OVER THE SITE LOT AREA \* 0.0833 = SWALE VOLUME  
 5,280 \* 0.0833 = 440 C.F.  
 50% CREDIT FOR DRY RETENTION = 220 C.F.  
 SWALE PROVIDED:  
 SWALE 18.5 FT \* 12 CF / FT = 222 C.F.



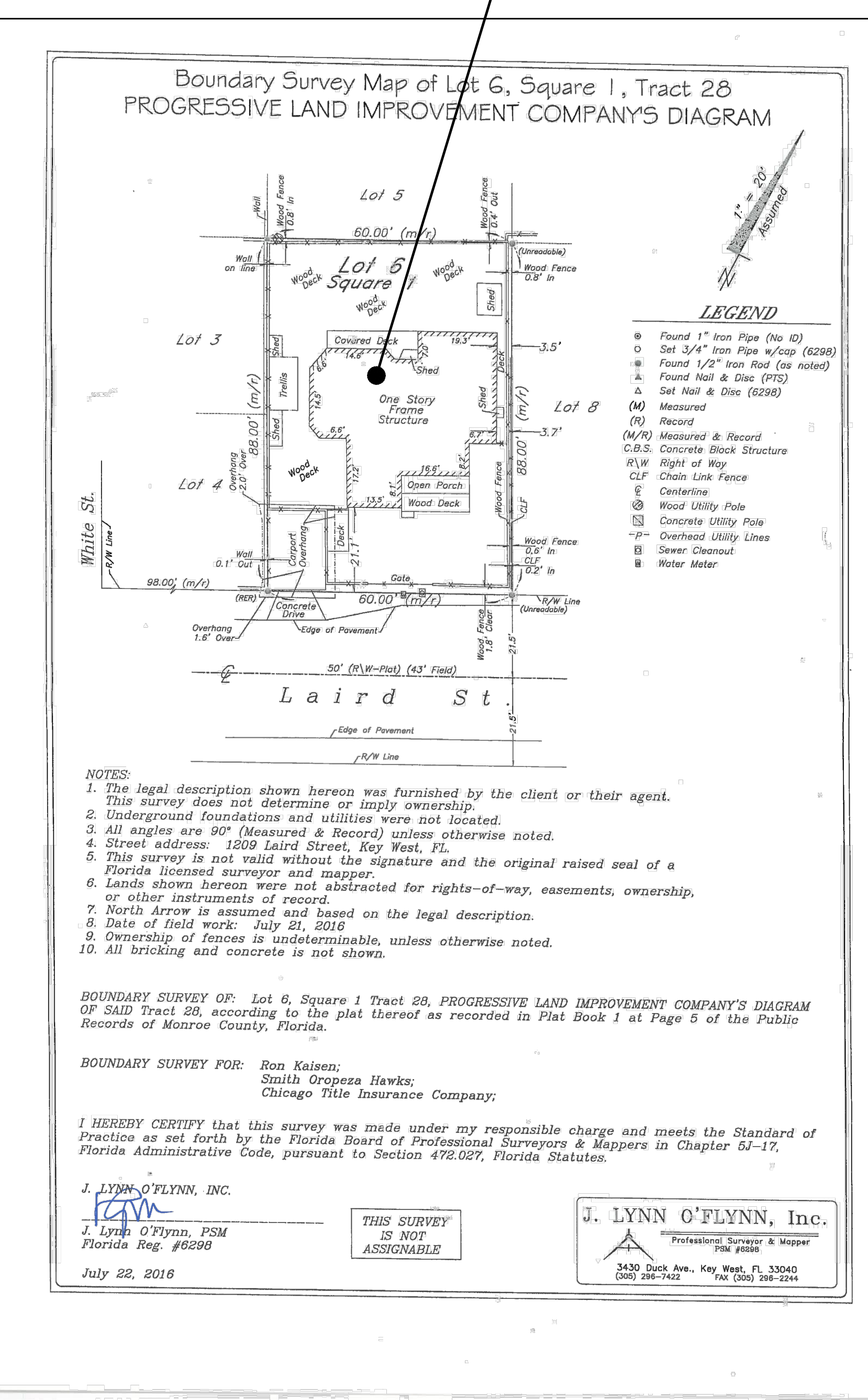
**4 CBS WALL DETAIL**  
 SCALE: 1/2" = 1'-0"



**2 PROPOSED SITE PLAN**  
 SCALE: 1" = 10'-0"

**PROJECT DATA**

	PROPOSED	EXISTING	REQUIRED	VARIANCE REQUESTED
RE NO.	00059250-000000			
SETBACKS:				
FRONT	20'-0"	21'-11"	20'	NONE
STREET SIDE	N/A	N/A	N/A	NONE
SIDE	5'-0"	3'-6"	5'	NONE
REAR	3'-1"	23'-2"	25'	YES
LOT SIZE	NO CHANGE	5,280 SQ. FT.	6000 SQ. FT.	NONE
BUILDING COVERAGE	2,221 SQ. FT. 42%	2,034 SQ. FT. 39%	35% MAX	YES
FLOOR AREA	2,403 SQ. FT. 0.46	1,523 SQ. FT. 0.28	1.0	NONE
BUILDING HEIGHT	29'-10"	14'-4"	25' MAX + 5' FOR FLOOD	NONE
IMPERVIOUS AREA	2,913 SQ. FT. 55.2%	2,189 SQ. FT. 41.5%	50% MAX	YES
OPEN SPACE	2,335 SQ. FT. 44.2%	1,077 SQ. FT. 20%	35% MIN	NONE



- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent.
  2. This survey does not determine or imply ownership.
  3. Underground foundations and utilities were not located.
  4. All angles are 90° (Measured & Record) unless otherwise noted.
  5. Street address: 1209 Laird Street, Key West, FL.
  6. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
  7. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
  8. Date of field work: July 21, 2016.
  9. Ownership of fences is undeterminable, unless otherwise noted.
  10. All bricking and concrete is not shown.

BOUNDARY SURVEY OF: Lot 6, Square 1 Tract 28, PROGRESSIVE LAND IMPROVEMENT COMPANY'S DIAGRAM OF SAID Tract 28, according to the plat thereof as recorded in Plat Book 1 at Page 5 of the Public Records of Monroe County, Florida.

BOUNDARY SURVEY FOR: Ron Kaisen;  
 Smitth Groppeza Hawks;  
 Chicago Title Insurance Company;

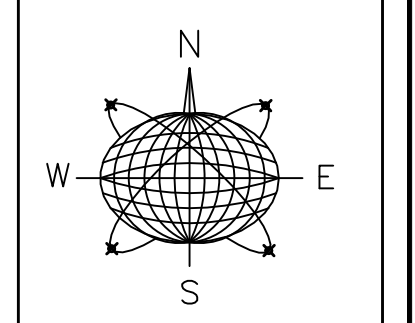
I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 63-17, Florida Administrative Code, pursuant to Section 478.027, Florida Statutes.

J. LYNN O'FLYNN, INC.  
 J. Lynn O'Flynn, PSM  
 Florida Reg. #6298  
 July 22, 2016

THIS SURVEY IS NOT ASSIGNABLE

J. LYNN O'FLYNN, Inc.  
 Professional Surveyor & Mapper  
 PSM #6298  
 3430 Duck Ave., Key West, FL 33040  
 (305) 298-7422 Fax (305) 298-2244

**1 SURVEY**  
 SCALE: NTS



Meridian Engineering LLC  
 201 Front Street, Suite 210  
 Key West, Florida 33040  
 AUTHORIZATION #29401  
 ph.305-293-3263 fax.293-4899

Seal:  
 RICHARD J. MILELLI  
 PE #58315

General Notes:  
 1. KWBED Stamp/Calcs  
 2. KWBED Planets

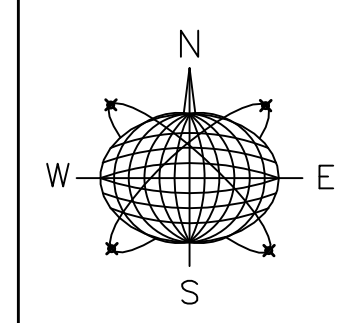
**RESIDENTIAL CONSTRUCTION**  
 1209 LAIRD STREET  
 KEY WEST, FLORIDA

Drawn By: PS  
 Checked By: RJM  
 Project No. Scale:  
 AS NOTED

AutoCad File No.  
 Revisions:  
 Title:  
 COVER SHEET AND SITE PLANS

Sheet Number:  
**CS-1**  
 Date: FEBRUARY 27, 2017





Meridian Engineering LLC  
 201 Front Street, Suite 210  
 Key West, Florida 33040  
 AUTHORIZATION #29401  
 ph.305-293-3263 fax.293-4899

Seal:

NOT VALID FOR CONSTRUCTION UNLESS  
 SIGNED AND SEALED BY THIS BLOCK  
 RICHARD J. MILELLI  
 PE #58315

General Notes:

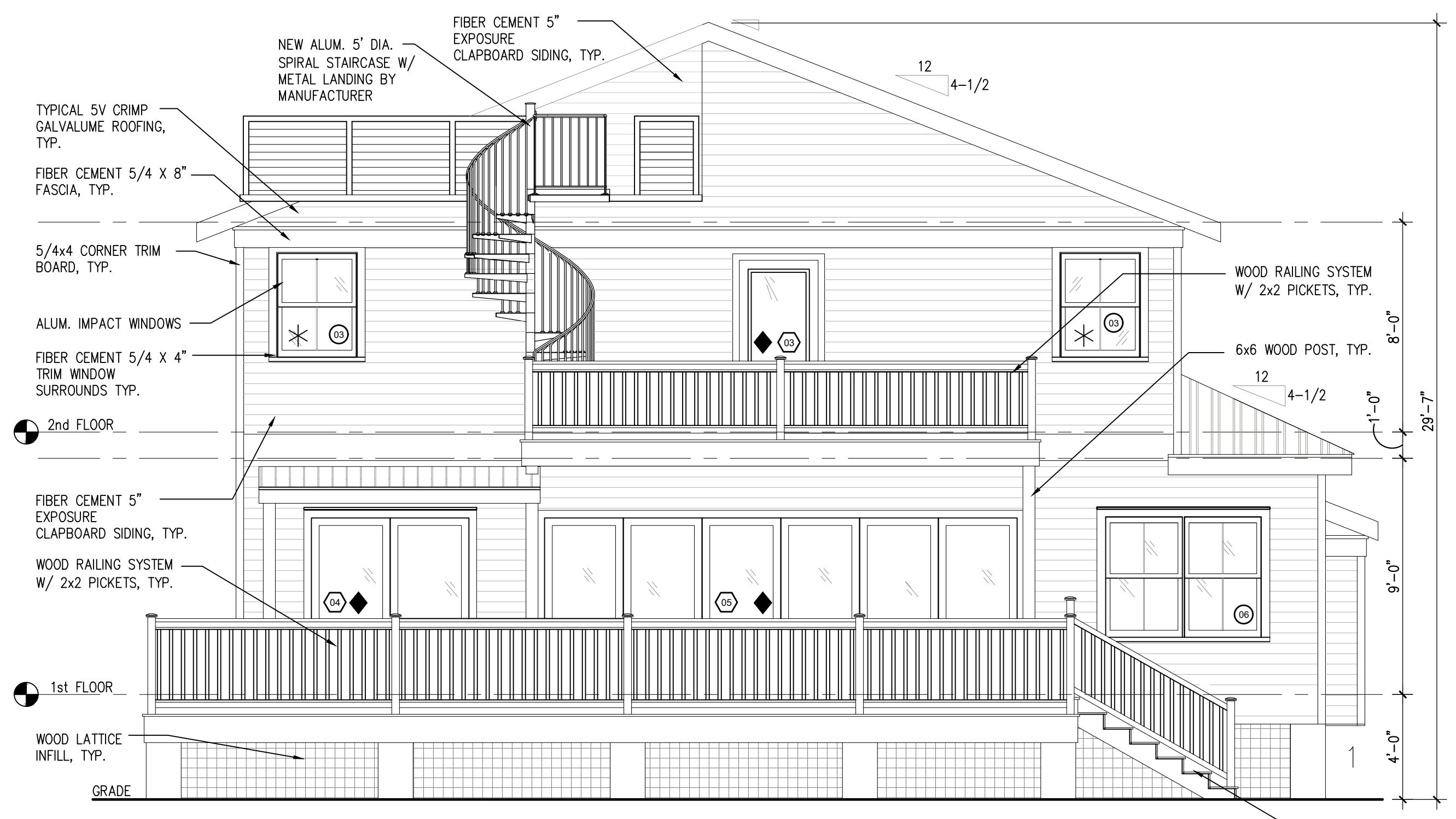
**RESIDENTIAL  
 CONSTRUCTION**  
 1209 LAIRD STREET  
 KEY WEST, FLORIDA

Drawn By: PS	Checked By: RJM
Project No.	Scale: AS NOTED
AutoCad File No.	

Revisions:

Title:  
ELEVATIONS

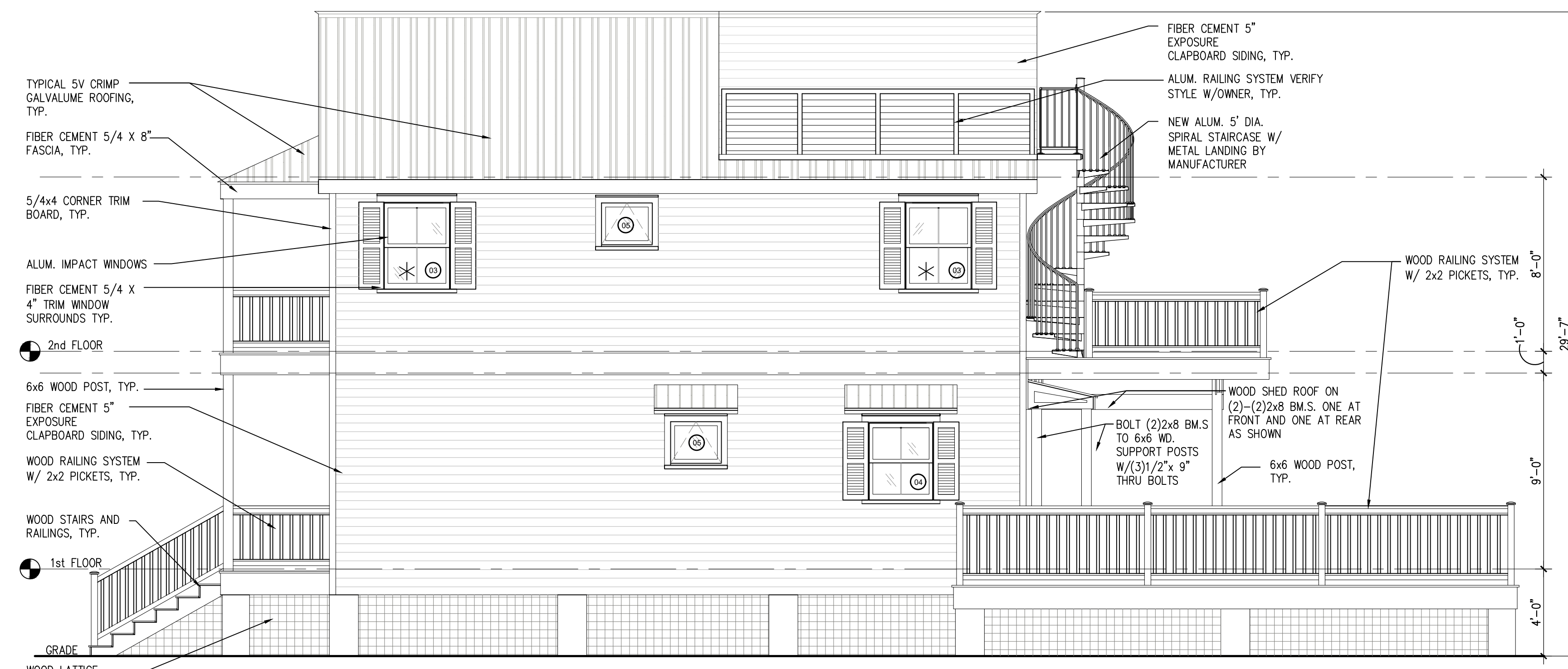
Sheet Number:  
**A-2**  
Date: FEBRUARY 27, 2017



**4 REAR ELEVATION**  
 A-2 SCALE: 1/4" = 1'-0"



**3 LEFT SIDE ELEVATION**  
 A-2 SCALE: 1/4" = 1'-0"



**2 RIGHT SIDE ELEVATION**  
 A-2 SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION**  
 A-2 SCALE: 1/4" = 1'-0"

# Site Visit



1209 Laird Street, Key West, Florida 33040  
SITE VISIT





1209 Laird Street, Key West, Florida 33040  
SITE VISIT





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SITE VISIT





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SITE VISIT





1209 Laird Street, Key West, Florida 33040  
SITE VISIT



# **Additional Information**

**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00059250-000000  
 Account # 1059714  
 Property ID 1059714  
 Millage Group 10KW  
 Location 1209 LAIRD St , KEY WEST  
 Address  
 Legal KW PROG LAND IMP CO DIAG PB 1-1 LOT 6 SQR 1 TR 28 G30-468/469 OR278-475/477 OR625-648 OR809-2307 OR837-1122 OR914-2022D/C OR914-2023/2024 OR914-2027 OR914-2028 OR2809-2099/2100  
 Description (Note: Not to be used on legal documents)  
 Neighborhood 6171  
 Property SINGLE FAMILY RESID (0100)  
 Class  
 Subdivision Progressive Land Improvement Co  
 Sec/Twp/Rng 05/68/25  
 Affordable No  
 Housing



**Owner**

MODEL ALEX  
 PO Box 301  
 Pocono Summit PA 18346

**Valuation**

	2018	2017	2016	2015
+ Market Improvement Value	\$74,334	\$75,553	\$117,421	\$122,204
+ Market Misc Value	\$34,390	\$34,578	\$34,954	\$30,540
+ Market Land Value	\$329,300	\$329,300	\$335,168	\$252,706
= Just Market Value	\$438,024	\$439,431	\$487,543	\$405,450
= Total Assessed Value	\$438,024	\$439,431	\$266,179	\$264,329
- School Exempt Value	\$0	\$0	(\$25,000)	(\$25,000)
= School Taxable Value	\$438,024	\$439,431	\$241,179	\$239,329

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	5,280.00	Square Foot	60	88

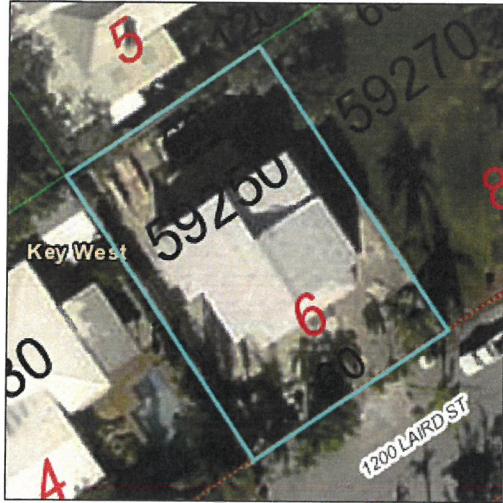
**Buildings**

Building ID 4908  
 Style 1 STORY ELEV FOUNDATION  
 Building Type S.F.R. - R1 / R1  
 Gross Sq Ft 1610  
 Finished Sq Ft 1094  
 Stories 1 Floor  
 Condition AVERAGE  
 Perimeter 146  
 Functional Obs 0  
 Economic Obs 0  
 Depreciation % 39  
 Interior Walls WALL BD/WD WAL  
 Exterior Walls WD FRAME  
 Year Built 1953  
 EffectiveYearBuilt 1980  
 Foundation CONCR FTR  
 Roof Type GABLE/HIP  
 Roof Coverage ASPHALT SHINGL  
 Flooring Type CONC S/B GRND  
 Heating Type FCD/AIR DUCTED with 0% NONE  
 Bedrooms 2  
 Full Bathrooms 1  
 Half Bathrooms 0  
 Grade 400  
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
DCF	F DET CARPORT	280	0	0
FLA	FLOOR LIV AREA	1,094	1,094	0
OUU	OP PR UNFIN UL	64	0	0
SBF	UTIL FIN BLK	172	0	0
<b>TOTAL</b>		<b>1,610</b>	<b>1,094</b>	<b>0</b>



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

Last Data Upload: 9/6/2018, 1:14:46 PM

Developed by  
 Schneider  
GEO SPATIAL



## Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1977	1978	1	2 UT	3
FENCES	1980	1981	1	728 SF	2
LC UTIL BLDG	1982	1983	1	12 SF	1
WALL AIR COND	1986	1987	1	1 UT	1
FENCES	2003	2004	1	1278 SF	2
WOOD DECK	1990	1991	1	4474 SF	2

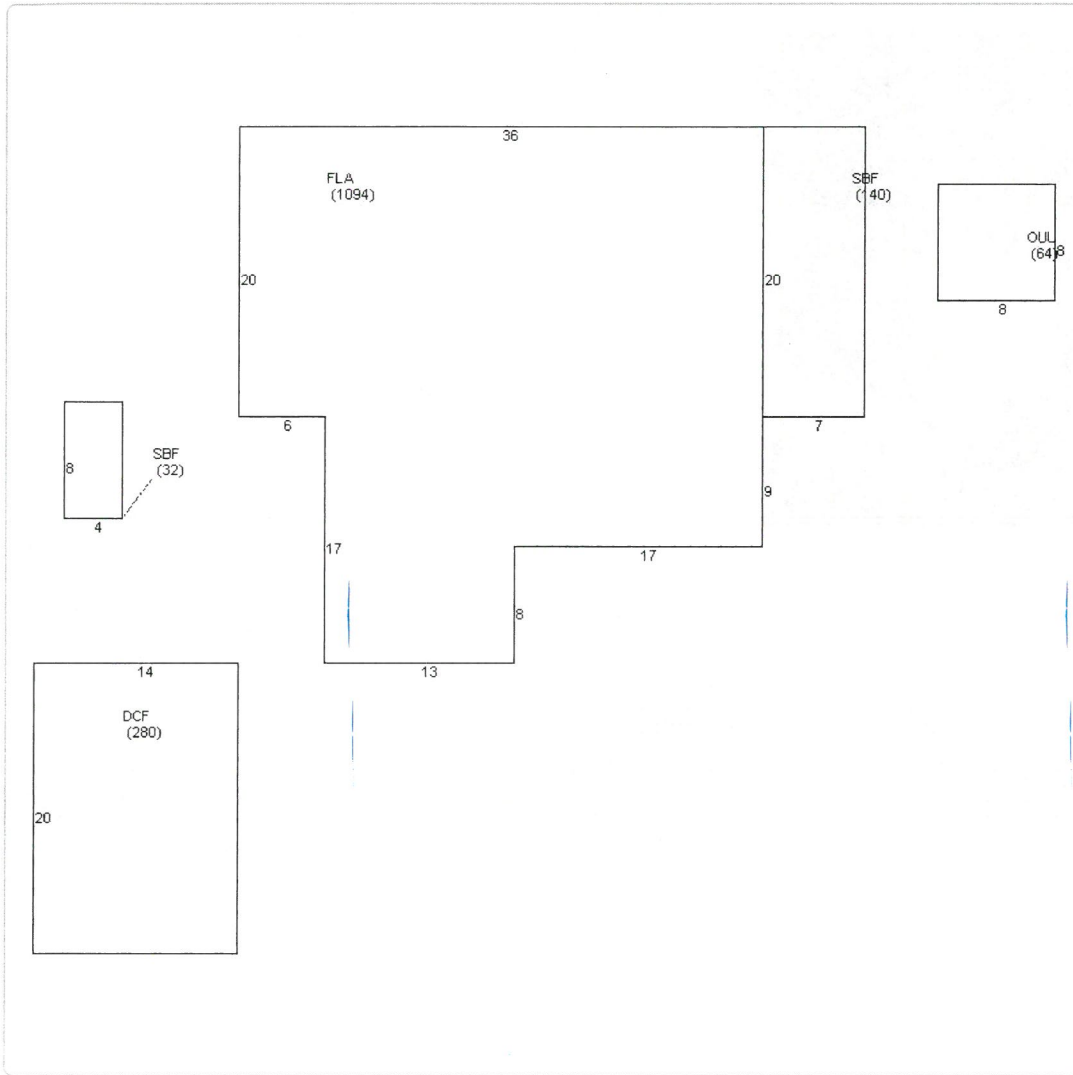
## Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
8/3/2016	\$515,000	Warranty Deed		2809	2099	01 - Qualified	Improved
7/1/1981	\$45	Warranty Deed		837	1122	U - Unqualified	Improved
4/1/1980	\$65,000	Warranty Deed		809	2307	U - Unqualified	Improved
2/1/1975	\$12,000	Conversion Code		625	648	Q - Qualified	Improved

## Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18-1467	4/12/2018		\$14,000	Residential	INSTALLING METAL ROOF ON A SFR CURRENTLY UNDER CONSTRUCTION. PERMIT 17-1106
17-3756	11/8/2017		\$12,500	Residential	10/24/2017 PLUMBING FOR NEW SINGLE FAMILY HOME.
17-3755	11/7/2017		\$13,000	Residential	NEW SINGLE FAMILY CONSTRUCTION WIRING THE POOL.
17-3891	11/6/2017		\$10,000	Residential	INSTALLATION OF A 2 2.5 TON TRANE SYSTEMS WITH ASSOCIATED DUCT WORK.
17-1106	5/9/2017		\$605,000	Residential	revision #1-change finish floor height 1200 sf area. (interior).
16-4146	2/17/2017		\$22,000	Residential	DEMOLITION OF SFR 1094 SF, DECKS AND FOUNDATION
12-3030	8/21/2012	7/11/2013	\$12,000	Residential	17 SQS OF ELEVATED 5 VCRIMP OVER ONE SHINGLE, FLAT RE-ROOF MODIFIED BITUMAN ROLL ROOFING
07-2448	5/29/2007	4/29/2014	\$1,000	Residential	BUILD A ELEVATED PLATFORM TO STORE TRAILER
07-1673	4/5/2007	4/29/2014	\$1,500	Residential	DEMO EXISTING WOOD DECK 25'x45'
05-2625	6/29/2005	10/18/2005	\$2,100	Residential	CHANGE OUT EXISTING 3 TON UNIT
03-2734	8/7/2003	12/10/2003	\$15,000	Residential	FENCE AND DECKING
03-2589	7/23/2003	12/10/2003	\$1,000	Residential	DEMOL 33X60 OF OLD DECK
98-1641	5/28/1998	8/19/1998	\$850	Residential	REPAIR FENCE

Sketches (click to enlarge)



Photos

