

**THE CITY OF KEY WEST  
PLANNING BOARD  
Staff Report**



**To:** Chairman and Planning Board Members

**From:** Nicole Malo

**Through:** Donald Leland Craig, AICP, Planning Director

**Meeting Date:** November 17, 2011

**Agenda Item:** **Conditional Use – 802 - 804 Whitehead Street (RE# 00014010-000100 and 00014020-000000) and 320 - 324 Petronia Street (RE# 00014010-000000) and 809 - 811 Terry Lane (RE# 00014050-000000, 00014060-000000)** - A Conditional Use request for a restaurant in the HNC-3 zoning district per Section 122-868(9) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

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**Request:** To allow a conditional use approval for a restaurant with indoor and outdoor consumption area located on a commercial property along the Petronia Street Commercial Corridor in the Historic Neighborhood Commercial District - Bahama Village Commercial Core (HNC-3). The conditional use request is associated with the reconfiguration of an on-site parking lot on site. The request is for up to 125 new seats, in addition to the 40 seats paid to date that run with the land, for a total of 165 seats proposed on site.

**Applicant:** Trepanier and Associates, Inc.

**Property Owner:** Edwin O. Swift, III

**Location:** 802 - 804 Whitehead Street RE# 00014010-000100; 320-324 Petronia Street, RE# 00014010-000000; 806 Whitehead Street, RE# 00014020-000000; 809 Terry Lane, RE# 00014050-000000 and; 811 Terry Lane, RE# 00014060-000000.

**Zoning:** Historic Neighborhood Commercial, Bahama Village Commercial Core (HNC-3)  
Historic Medium Density Residential (HMDR)



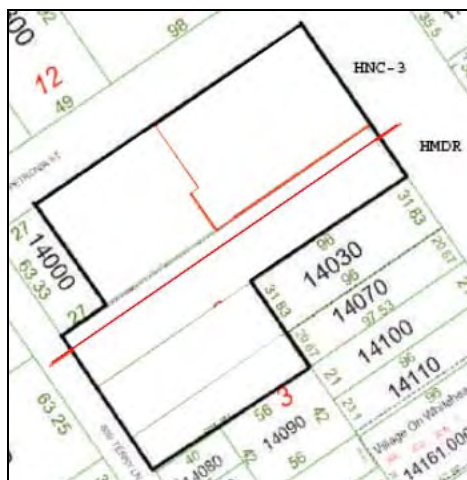
- 802 Whitehead Street (RE# 00014010-000100) HNC- 3. Consumption Area**
- 320-324 Petronia Street (RE# 00014010-000000) HNC-3. Consumption Area**
- 806 Whitehead Street (RE# 00014020-000000) HNC-3 /HMDR. Limited Consumption Area**
- 809 Terry Lane (RE# 00014050-000000) HMDR. Parking Lot**
- 811 Terry Lane (RE# 00014060-000000) HMDR. Parking Lot**

**Background:**

On August 18, 2011 the application had its first hearing at the Planning Board and requested postponement to work with the community to minimize impacts of the proposed use and address neighborhood concerns that included solid waste location and odors, landscape buffering, parking and traffic concerns, noise impacts and the proposed size of the consumption area. Again on September 15, 2011 the applicant requested postponement to continue working with the neighbors to address the same concerns and to address how the proposed restaurant was going to address employment opportunities for Bahama Village Residents.

The applicant held a community meeting on the site on September 5, 2011 that was well attended. As part of this request, the applicant has revised the site plans relocating the waste handling area away from the adjacent single family home and increased the landscape buffers between the consumption area and the parking lot.

The proposed application is for a mixed use property of approximately 21,520 square feet located at the corner of Whitehead and Petronia Streets. The collective properties consist of five separate parcels. Three of the five parcels are zoned Historic Medium Density Residential – HMDR, including the parking lot that is accessed on Terry Lane; the remaining two parcels along Petronia Street are zoned Historic Neighborhood Commercial - HNC-3 as pictured below.



In 1997- 1998, the existing development was approved through development plan Resolutions 90-97, 97-72 and 97-73 and 98-44 (see attached). These resolutions allowed commercial development of the entire site, including three non-transient residential units, a 40-seat restaurant with 2,285 square feet of consumption area, indoor and outdoor commercial retail space and an associated parking lot. These approvals were required to be combined under a Master Plan that established the commercial use and design of the entire site; however there is no documentation that this plan was ever approved. In response to a zoning verification request, on September 10, 2010 the Planning Director issued a document that establishes the entitled, legally non-conforming uses as they relate to the aforementioned approvals, abandonment and development of the site. This includes the recognition of existing commercial areas that were approved for and utilized as consumption area and indoor/outdoor marketplace areas. A site visit conducted by the Planning Department on June 24, 2010 confirms that no new construction or additional floor area has been added and it appears that the majority of the utilities, have not been removed to date (see attached). In short, the September 10, 2010 letter found that almost all portions of the property located in the HNC-1 zoning district have established existing commercial use of indoor/outdoor areas and courtyards including 2,285 square feet of consumption area, and that portions of the property located in the HMDR zoning district have legally established non-conforming commercial uses associated with the approvals above, as follows:

Although planning site visits and analysis indicate that while the outdoor consumption and music venues may have existed, the plan and physical design at best support outdoor retail use in the HMDR zoned area, it does not appear that restaurant or outdoor entertainment uses can be substantiated in this area.

Therefore, although the approved development contemplated non-conforming uses in the HMDR zoning district, those uses may be limited and cannot be expanded or otherwise reconsidered without an application for a change of non-conforming use.

Because a Master Plan, as required by Resolution 97-72, was never approved it has been difficult for staff to determine the model for the final site plan. Staff has a site plan that reflects the required parking to be for 25 spaces (received by the Planning Department February 19, 1998); however, since the September Planning Board meeting the applicant has provided staff with two

approved building permits from 1998 that reflect most accurately the construction of the development which exists on the site today (attached herein). These Building Permit issued site plans reflect 17 parking spaces within the footprint of the existing Terry Lane parking lot. Pursuant to Code Section 108-573, any preexisting off-street parking servicing the structure must be maintained to service the new use; therefore 17, parking spaces are required to be maintained onsite or otherwise accommodated for.

Currently, outdoor marketplace areas on portions of the site located in the HNC-3 zoning district are used commercially by various cart vendors. On the first floor of the primary historic structure on 802-806 Whitehead Street is commercial retail use and the second floor has three non-transient units. The remaining two structures and outdoor courtyard areas have been out of use since around 2005, although as previously stated the Planning Department has found that the uses have not been abandoned as defined in Code Section 86-9.

In 2006 the site was approved for residential redevelopment via Resolution 06-045, that has subsequently been extended to date, but has never been implemented and is not relevant to this analysis of commercial uses.

**Request:**

This request is for a conditional use to increase seating capacity associated with special exception approval, Resolution 97-72 that runs with the land. According to the associated site plans provided by the applicant, approximately 2,285 square feet of consumption area (equivalent to 152 seats) was contemplated, however impact fees have been paid for only 40 seats (see attached Site Plans and Previous Approvals). Therefore, this request is for an increase of 125 seats, for a total of 165 seats. The applicant has chosen to limit the number of seats allowed while requesting flexible, indoor/outdoor consumption area of 6,637 square feet to be located in the HNC-3 zoning district only.

Currently, the site is required to maintain the parking lot and 17 parking spaces associated with the existing development. However, 17 parking spaces cannot be accommodated by the dimensional limitations of the code therefore the reconfiguration of the lot is proposed to bring it into compliance. The site is located in the Historic Commercial Pedestrian Oriented Area, and the change of use from the established commercial/restaurant uses to restaurant use does not trigger an increase in parking requirements. Furthermore, the applicant has provided a Parking and Trip Generation Analysis as prepared by a licensed engineer that demonstrates that the proposed application may reduce potential impacts to the site from the previously approved land uses.

Mitigative techniques to reduce impacts to the immediate adjacent properties include paving the parking lot and managing the stormwater runoff onsite, landscape buffering, relocating the garbage handling area with appropriate screening, and limited hours of operation and amplified music are proposed.

This request does not include uses that may be considered non-conforming, that are associated with the HMDR zoning district, but that have been established by the Zoning Verification Analysis completed September 10, 2010 by the previous City Planner attached to this report as previously noted.

**Surrounding Zoning and Uses:**

**North:** HNC-3: Multi-family residential  
**South:** HMDR: Single-family residential  
**East:** HNC-3: Mixed use - residential and commercial  
**West:** HNC-3: Commercial

**HNC-3 Zoning District**

**Uses Permitted: Section 122-867**

Within the historic neighborhood commercial district (HNC-3), redevelopment or conversion of permanent housing structures to transient residential, office, or other allowable commercial uses shall be permitted only if no on-site reduction in housing units for permanent residents occurs.

Uses permitted include the following:

- (1) Single-family and two-family residential dwellings.
- (2) Multiple-family residential dwellings.
- (3) Group homes with less than or equal to six residents as provided in Section 122-1246
- (4) Places of worship.
- (5) Business and professional offices.
- (6) Commercial retail low intensity less than or equal to 2,500 square feet.
- (7) Hotels, motels, and transient lodging.
- (8) Medical services.
- (9) Parking lots and facilities.
- (10) Veterinary medical services, without outside kennels.

**Sec. 122-868. - Conditional uses.**

- (1) Group homes with seven to 14 residents as provided in Section 122-1246
- (2) Cultural and civic activities.
- (3) Educational institutions and day care.
- (4) Nursing homes, rest homes and convalescent homes.
- (5) Parks and recreation, active and passive.
- (6) Protective services.
- (7) Public and private utilities.
- (8) Commercial retail low intensity greater than 2,500 square feet to less than or equal to 5,000 square feet.
- (9) Restaurants, excluding drive-through.

**Process:**

**Planning Board:**

August 18, 2011  
September 19, 2011  
November 17, 2011

**Development Review Committee Meeting:**

April 28, 2011

**HARC:**

H11-01-229

**Conditional Use Review:**

Code Sec.122-62 (a) provides, in part, that “a conditional use shall be permitted upon a finding by the Planning Board that the proposed use, application, and, if applicable, development plan

comply with the criteria specified in this section, including specific conditions established by the Planning Board and or the City Commission during review of the respective application in order to ensure compliance with the Comprehensive Plan and Land Development Regulations. The same section also specifies that “a conditional use shall be denied if the City determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public’s interest.”

**Conditional Use Criteria Per Code Sec. 122-62:**

(a) **Findings:** The Planning Board may find that the application meets the Code purpose of ensuring that “a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity.” The following criteria form the basis for a finding of compliance.

(b) **Characteristics of Use Described:**

**1) Scale and Intensity:**

**a. Floor Area Ratio:**

The allowed F.A.R in the HMDR zoning district is 0.5 and 1.0 in the HNC-3 zoning district for a combined total of 15,943 square feet of F.A.R allowed. No changes are proposed to the floor area ratio. The outdoor consumption area proposed has been utilized as commercial floor area. The total F.A.R for the entire site is 0.26 (5,595 square feet).

**b. Traffic Generation:**

The applicant has provided a signed and sealed Parking and Trip Generation Analysis as prepared by a licensed engineer. The report indicates that both parking and trip generation should decrease from the proposed change in use (see attached), although the applicant believes that the anticipated traffic should be primarily bicycle and pedestrian oriented.

**c. Square Feet of Enclosed Building for Each Specific Use:**

The site has a total of 4,877 square feet of enclosed building area. The enclosed area for the proposed restaurant is 1,483 square feet. The Enclosed commercial area is 2,214 square feet, and the enclosed residential floor area is 1,058 square feet.

**d. Proposed Employment**

There will be approximately 19 employees associated with the restaurant and a total of approximately 27 potential employees associated with the site. At September Planning Board Meeting the applicant requested postponement in order to create a Bahama Village Employment program for the proposed restaurant. The applicant has informed staff that the proposal will be discussed at the Planning Board Meeting.

**e. Proposed Number of Service Vehicles:**

Certain service vehicles are expected for delivery a total of five trips daily. Up to five trips a week can be expected for other types of service delivery. The planning department is currently working with city staff to establish a loading zone in the right-of-way along Whitehead Street adjacent to the property to be shared by the applicant, however this is contingent on the required size of the adjacent Trolley stop and City Manager approval. The proposal is not required to have on or off-site loading per code Section 108-649. Service vehicles are prohibited from using Petronia Street and Terry Lane and the Terry Lane parking lot for deliveries.

**f. Off-Street Parking:**

The proposed use is located on an existing and approved development within the Commercial Pedestrian Oriented Area. Because the commercial uses there have not been abandoned pursuant to the Planning Directors Zoning Verification Letter referred to above, and because no additional floor area is proposed, the change of use from the established commercial/restaurant uses to a restaurant use, no additional parking is required per Code Section 108-573. Furthermore, the applicant has provided a Parking and Trip Generation Analysis as prepared by a licensed engineer that demonstrates that the proposed application may reduce potential impacts to the site from the previous land uses. However, the existing development is associated with a Master Plan approval requiring 17 on-site parking spaces. The code does not allow for the onsite reduction or removal of parking. Therefore, 17 parking spaces are required to be maintained with the existing development.

The existing parking lot configuration previously approved for 17 parking spaces is currently non-conforming to landscaping and drainage requirements, in addition to dimensional requirements for isle width and stall size. This renders the lot unworkable and possibly dangerous in operation. In order to bring the lot into compliance with no net loss of required parking the applicant has proposed to reconfigure the lot to accommodate a landscape plan and stormwater drainage plan, 6 full-size auto spaces along the east property line, two compact car spaces, one standard ADA vehicular parking space, and a conforming isle width of 24 feet. In order to maintain the use of the 17 required parking spaces staff directed the applicant to create 40 conforming scooter/ bicycle spaces in the parking lot.

Although, the applicant proposed full-size auto spaces along the east property line, two existing trees (Spanish Lime & Gumbo Limbo), could be adversely affected by the two adjacent parking spaces. Section 108-646 allows up to 15% of a lot of 20 or more spaces to be compact. Therefore, in the interest of reducing the potential impact of parking full-size vehicles adjacent to existing shade trees, and pursuant to Section 108-646 for a parking lot intended to accommodate over 20 spaces, staff recommends the two spaces adjacent to the above mentioned trees be reduced to 7.5x15 feet for compact vehicle spaces. This provides a two foot of buffer space between the edge of the parking space and the trees. Please see the attached site plans.

**2) On or Off Site Improvements Required and Not Listed in Subsection (b)(1)**

**a. Utilities:**

No utility changes are expected as a result of the proposed conditional use. Additionally, Keys Energy Services and Florida Keys Aqueduct Authority have no objections to the proposed conditional use, comments are attached.

**b. Public facilities:**

The applicant has included a Concurrency Management Analysis attached herein. According to the report, no changes to public facilities are required to ensure compliance with concurrency management, as provided in Chapter 94 of the City Code. There are no expected changes regarding level of service for potable water and sanitary sewer. Site improvements include swales and French Drains as proposed on the Drainage Plan to meet parking lot stormwater retention requirements. The applicant has provided a signed and sealed engineered Parking and Trip Generation Analysis that shows that traffic may decrease from the previous use.

**c. Roadway or Signal Improvements:**

No changes are required to the roadway and no signal improvements are proposed.

**d. Accessory Structures or Facilities:**

No accessory structures or facilities are proposed.

**e. Other Unique Facilities/Structures Proposed as Part of On-Site Improvements:**

The proposed project does not include unique facilities or structures.

**3) On-Site Amenities Proposed to Enhance the Site and Planned Improvements.**

Planned improvements to the site include primarily parking lot upgrades including landscape buffering, a stormwater drainage plan and configuration modifications to bring the parking lot into compliance and rearrange the garbage handling area.

**a. Open Space:**

No changes are proposed to open space. The site is required to be 20% (4,304 s.f) open space, however the site is over 95% impervious surface. Open space requirements have not been met.

**b. Setbacks from Adjacent Properties:**

No changes are proposed that would alter structural setbacks.

**c. Screening and Buffers:**

Landscape screening and buffering is proposed between commercial and residential land uses as required by the code. Since the September Planning Board Meeting the applicant has added landscape buffering in areas around the solid waste storage area and the parking lot.

**d. Landscaped Berms Proposed to Mitigate Against Adverse Impacts to Adjacent Sites:**



No landscaped berms are proposed.

**e. Mitigative Techniques for Abating Smoke, Odor, Noise, and Other Noxious Impacts:**

To mitigate potential impacts the applicant has proposed a parking lot landscape plan and drainage plan to capture stormwater runoff on site. The waste handling area is proposed to be relocated away from adjacent residential land uses and is required to be entirely enclosed. Additionally, no amplified music or live performance is allowed after the hours of 10pm, except by special event permit or special city-sanctioned event within the Petronia Street Commercial Corridor. These site improvements are recommended as conditions of approval. No noxious impacts are anticipated as a result of this proposal.

**(c) Criteria for Conditional Use Review and Approval.** Applications for a Conditional Use review shall clearly demonstrate the following:

**1) Land Use Compatibility:**

The property is zoned HNC-3, which is contemplated by the Land Use Element of the Comprehensive Plan as providing a neighborhood commercial core linking the Duval Street commercial core. Policy 1-2.3.5 of the Comprehensive Plan contemplates commercial improvement strategies for this corridor, yet also proposes measures which limit potential impacts these commercial uses may inflict upon residential properties in the area. From a land use compatibility standpoint, balance was anticipated between both commercial and residential properties within the corridor, as this is a mixed-use district.

Restaurants are allowed in the district by conditional use only. Currently the site has a Special Exception/Conditional Use approval for a restaurant that runs with the land (Resolution 97-73) and impact fees have been paid to date for 40 seats. This application therefore constitutes an expansion of that approved use. The proposed site is located along a commercial corridor that is bordered by a residential neighborhood. Outdoor commercial retail uses currently exist on the site today; this application proposes to consolidate the mix of commercial uses; however, potential impacts to the neighborhood could include noise generated by the proposed outdoor consumption area, solid waste odors and potential parking and traffic impacts. To help reduce potential noise impacts, the applicant is proposing to limit hours of operation from 8am to 11pm and to prohibit amplified music or live performance after the hours of 10pm; the configuration of the site may help limit the noise amplification from traveling off of the property; consumption area is limited to the courtyard areas located within the HNC-3 district; and areas along the commercial corridor on Petronia Street. Landscaping buffering is proposed between the commercial areas and parking lot and between the parking lot and adjacent residential uses. The parking lot will be brought into compliance with stormwater drainage requirements. Since the previous Planning Board hearings, the applicant has revised the site plans to relocate the waste and recycling handling area as per the site plans and shall be screened from adjacent properties and public rights-of-way and enclosed with a roof and four walls.

Additionally, the applicant has requested from the City a loading zone on Whitehead Street adjacent to the property in order to provide space for deliveries that is in the process of approval that must be granted by the City Manager.

The Planning Department finds that in order to protect the adjacent residential lands and uphold the integrity of the intended land uses in the Land Development Regulations and the Comprehensive Plan conditions of approval are necessary, including but not limited to a limit on the seating capacity of up to 165 seats, separate from the flexible consumption area. At no time does the request for 6,637 square feet of consumption area allow the applicant to increase seating on the site without conditional use review.

The proposed location of the restaurant is across the street from residences and other commercial uses; however, much of the proposed consumption area is in the courtyard of the property and buffered by landscaping, structures, and a parking lot from the nearest residential uses. The proposed restaurant may increase noise impacts during operating hours. However, parking and traffic impacts may potentially be reduced from the previous use as a community gathering and market place as described in the Parking and Trip Analysis provided by the applicant. Nine (9) on site vehicular parking spaces and forty (40) bicycle/scooter spaces are proposed. The site is located in the heart of the Petronia Street Commercial Core and the proposed use appears compatible with the intent and the intensity requirements of the zoning district; however, the proposed intensity of the use may not be compatible with the existing fabric of small shops and restaurants located along the Petronia Street Corridor and the adjacent residential uses. Mitigative techniques proposed by the applicant may help alleviate impacts include: limiting the number of seats (165), limiting the location of the allowed consumption area, and prohibiting the use of amplified music after 10 pm. Hours of operation are proposed between 8am and 11pm. The size of the site and the onsite parking appear to accommodate the needs of the proposed use that is located within the pedestrian core of the city. With the proposed conditions of approval the proposed restaurant may be generally compatible with adjacent land uses. However, the department is unaware as to whether the mitigative techniques proposed are satisfactory to the adjacent residents.

**2) Sufficient Site Size, Adequate Site Specifications and Infrastructure to Accommodate the Proposed Use:**

The size and shape of the site are adequate to accommodate the proposed scale and intensity of the conditional use requested. The applicant proposes to use the existing structures, facilities and utilities currently on the site. Urban design amenities such as streetscape landscaping and rooftop dining are proposed.

**3) Proper Use of Mitigative Techniques:**

Mitigative measures have been previously addressed.

**4) Hazardous Waste:**

Not applicable; no hazardous waste will be generated or stored on site by the proposed conditional use.

**5) Compliance with Applicable Laws and Ordinances:**

The applicant will comply with all applicable laws and regulations as a condition of approval. The application has been deemed ADA compliant.

**6) Additional Criteria Applicable to Specific Land Uses. Applicants Shall Demonstrate the Proposed Conditional Use Satisfies the Following Criteria:**

**a. Land Uses Within a Conservation Area:**

Not applicable; the site is not located in a conservation area.

**b. Residential Development:**

Not applicable; no residential development is proposed.

**c. Commercial or Mixed Use Development:**

Not applicable; no commercial or mixed use development is proposed.

**d. Development Within or Adjacent to Historic Districts:**

The proposed site is within the City's Historic District. The applicant has obtained HARC approval for proposed new awnings through certificate of appropriateness #H11-01-229. Although additional HARC approval will be required for paint, signage or any additional changes to the façade of the structures.

**e. Public Facilities or Institutional Development:**

Not applicable; no public facilities or institutional development is being proposed.

**f. Commercial Structures, Uses and Related Activities Within Tidal Waters:**

Not applicable; this site is not located within tidal waters.

**g. Adult Entertainment Establishments:**

Not applicable; no adult entertainment is proposed.

**Concurrency Facilities and Other Utilities or Service (Section 108-233):**

Concurrency management has been previously addressed in this report. The proposed site is in compliance with Chapter 94 of the City Code of Ordinances.

**RECOMMENDATION:**

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends the request for conditional use be **approved** with the following conditions:

**Conditions subject to a Conditional Approval Permit, per Ordinance 10-22. Conditions subject to an associated annual inspection:**

1. Approval is limited to no more than 165 seats. At no time does the request for 6,637 square feet of consumption area allow the applicant to increase seating on the site without conditional use review.

2. The parking lot shall be reconfigured and maintained to include two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter spaces on the lot including twenty-five (25) bicycle parking spaces throughout the site.
3. The waste and recycling handling area shall exchange location with the handicap parking space as per the revised site plans and shall be screened from adjacent properties and public rights-of-way by appropriate fences, walls or landscaping in accordance with Code Section 108-279, and the area shall be enclosed on all four sides with a roof and a door for access.

**Conditions required prior to the issuance of a Certificate of Occupancy:**

4. Completion of all improvements as depicted on the site plan.
5. The applicant shall revise and resubmit a signed and sealed Landscape Plan that reflects the modified site plan dated November 1, 2011 and Civil Plan Dated November 9, 2011.

**General conditions:**

6. No amplified music or live performance is allowed after the hours of 10pm unless approved under a special event permit per Section 6-86 of the City Code or for a special city-sanctioned event within the Petronia Street Commercial Corridor. Amplified music will be regulated by the “unreasonable noise” definition of Section 26-191 of the Code of Ordinances.
7. Recycling of applicable materials is required.
8. Hours of operation are limited from 8am to 11pm daily except during special city sanctioned events such as Fantasy Fest and Goombay.
9. Service vehicles are prohibited from using Petronia Street and Terry Lane and the Terry Lane parking lot for deliveries.

**Draft  
Resolution**

**PLANNING BOARD RESOLUTION  
NUMBER 2011-XX**

**A RESOLUTION OF THE KEY WEST  
PLANNING BOARD GRANTING A  
CONDITIONAL USE APPROVAL PER  
SECTION 122-62 AND 122-63 OF THE CODE  
OF ORDINANCES FOR A RESTAURANT  
WITH 165 SEATS MAXIMUM TO BE  
LOCATED AT 802 - 806 WHITEHEAD STREET  
(RE# 00014010-000100 AND 00014020-000000)  
AND 318 - 324 PETRONIA STREET (RE#  
00014010-000000) AND 809 - 811 TERRY LANE  
(RE# 00014050-000000, 00014060-000000) IN THE  
HISTORIC NEIGHBORHOOD COMMERCIAL-  
BAHAMA VILLAGE COMMERCIAL CORE  
(HNC-3) ZONING DISTRICT, PURSUANT TO  
SECTION 122-868(9) OF THE CODE OF  
ORDINANCES, KEY WEST FLORIDA;  
PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the subject property is located in the Historic Neighborhood Commercial-Bahama Village Commercial Core (HNC-3) zoning district; and

**WHEREAS**, Section 122-868(9) of the Code of Ordinances provides that restaurants are allowed as a conditional use within the Historic Neighborhood Commercial- Bahama Village Commercial Core (HNC-3) zoning district; and

**WHEREAS**, Section 122-61 of the Code of Ordinances allows applicants to request a conditional use approval; and

\_\_\_\_\_ Chairman

\_\_\_\_\_ Planning Director

**WHEREAS**, the applicant filed a conditional use application for a restaurant not to exceed maximum of 165 seats, with 6,637 square feet of flexible indoor/outdoor consumption area at 802 - 806 Whitehead Street (RE# 00014010-000100 and 00014020-000000) and 318 - 324 Petronia Street (RE# 00014010-000000); and

**WHEREAS**, the associated with the Conditional Use request, the applicant is required to bring the parking lot located at 809 - 811 Terry Lane (RE# 00014050-000000 and 00014060-000000) into compliance with dimensional requirements, landscaping and drainage; and

**WHEREAS**, the parking lot shall be reconfigured to include two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter/bicycle spaces on the lot; and

**WHEREAS**, Section 122-62 outlines the criteria for reviewing a conditional use application by the Planning Board; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on November 17, 2011; and

\_\_\_\_\_ Chairman

\_\_\_\_\_ Planning Director

**WHEREAS**, the Planning Board found that the proposed use complies with the criteria in Section 122-62; and

**WHEREAS**, the approval of the conditional use application will be in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

**NOW THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as fully set forth herein.

**Section 2.** That the request for a Conditional Use approval per Section 122-62 and 122-63 of the Code of Ordinances for a restaurant for up to 165 seats maximum and 6,637 square feet of flexible consumption area to be located at 802 - 806 Whitehead Street (RE# 00014010-000100 and 00014020-000000) and 318 - 324 Petronia Street (RE# 00014010-000000) and the reconfiguration of the parking lot at 809 - 811 Terry Lane (RE# 00014050-000000 and 00014060-000000) to meet Code requirements, landscaping and drainage, and to accommodate two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter/bicycle parking spaces for property located in the Historic Neighborhood Commercial- Bahama Village Commercial Core (HNC-3) zoning district, pursuant to

\_\_\_\_\_ Chairman  
\_\_\_\_\_ Planning Director



section 122-868(9) of the Code of Ordinances, Key West, Florida; providing for an effective date, as shown in the attached site plans dated November 1, 2011 with the following conditions:

**Conditions subject to a Conditional Approval Permit, per Ordinance 10-22. Conditions subject to an associated annual inspection:**

1. Approval is limited to no more than 165 seats. At no time does the request for 6,637 square feet of consumption area allow the applicant to increase seating on the site without conditional use review.
2. The parking lot shall be reconfigured and maintained to include two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter spaces on the lot including twenty-five (25) bicycle parking spaces throughout the site.
3. The waste and recycling handling area shall exchange location with the handicap parking space as per the revised site plans and shall be screened from adjacent properties and public rights-of-way by appropriate fences, walls or landscaping in accordance with Code Section 108-279, and the area shall be enclosed on all four sides with a roof and a door for access.

**Conditions required prior to the issuance of a Certificate of Occupancy:**

4. Completion of all improvements as depicted on the site plan.

5. The applicant shall revise and resubmit a signed and sealed Landscape Plan that reflects the modified site plan dated November 1, 2011 and Civil Plan Dated November 9, 2011.

**General conditions:**

6. No amplified music or live performance is allowed after the hours of 10pm unless approved under a special event permit per Section 6-86 of the City Code or for a special city-sanctioned event within the Petronia Street Commercial Corridor. Amplified music will be regulated by the “unreasonable noise” definition of Section 26-191 of the Code of Ordinances.
7. Recycling of applicable materials is required.
8. Hours of operation are limited from 8am to 11pm daily except during special city sanctioned events such as Fantasy Fest and Goombay.
9. Service vehicles are prohibited from using Petronia Street and Terry Lane and the Terry Lane parking lot for deliveries.

**Section 3.** Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

**Section 4.** This conditional use approval does not constitute a finding as to ownership or

right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

**Section 5.** This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 6.** This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

\_\_\_\_\_ Chairman

\_\_\_\_\_ Planning Director

Read and passed on first reading at a regular meeting held this 17th day of November, 2011.

Authenticated by the Chairman of the Planning Board and the Planning Director.

\_\_\_\_\_  
Richard Klitenick, Chairman  
Key West Planning Board

\_\_\_\_\_  
Date

**Attest:**

\_\_\_\_\_  
Donald Leland Craig, AICP  
Planning Director

\_\_\_\_\_  
Date

**Filed with the Clerk:**

\_\_\_\_\_  
Cheryl Smith, City Clerk

\_\_\_\_\_  
Date

\_\_\_\_\_ Chairman

\_\_\_\_\_ Planning Director

# Application

**DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION**  
**City of Key West Planning Department**  
**604 Simonton Street, Key West, FL 33040**  
**(305) 809-3720**



Development Plan & Conditional Use Application

(Applications will not be accepted until they are complete)



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 August 1, 2011  
 KW Planning Dpt

Development Plan

Conditional Use

Historic District

Major \_\_\_\_\_

  X  

Yes   X  

Minor \_\_\_\_\_

No \_\_\_\_\_

Please print or type and call the Planning Department if you have any questions.

- 1) Site Address **318, 320, 324 Petronia St, 802, 804, 806 Whitehead St, 809, 811 Terry Ln.**
- 2) Name of Applicant **Trepanier & Associates, Inc., on behalf of Bahama Village Market, LLC.**
- 3) Applicant is: Owner \_\_\_\_\_ Authorized Representative   X    
 (attached Authorization Form must be completed)
- 4) Address of Applicant **P.O. Box 2155, Key West, FL 33045-2155**
- 5) Applicant's Phone #: **(305) 298-8983** Fax: **(305) 293-8748**
- 6) Name of Owner, if different than above: **Bahama Village Market, LLC, c/o Ms. Debbie Swift-Batty**
- 7) Address of Owner: **201 Front St Suite 224, Key West, FL 33040**
- 8) Owner Phone #: **(305) 293-3255** Fax: **(305) 295-7384**
- 9) Zoning District & RE No. of Parcel:

Address	RE#:	Zoning
811 Terry Lane	00014060-000000	HMDR
809 Terry Lane	00014050-000000	HMDR
806 Whitehead Street	00014020-000000	HMDR
320, 324 Petronia Street	00014010-000000	HNC-3
804 Whitehead Street	00014010-000100	HNC-3

- 10) Is Subject Property located within the Historic District? Yes   X   No \_\_\_\_\_

**This property received recent approval for awnings (HARC No. 11-01-229) and will require additional approvals for normal building repairs, signage, fencing, painting, etc. No significant alterations are anticipated or sought as part of this approval.**

- 11) Description of Proposed Development and Use. Please be specific. List existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use. (Give concise description here and use a separate sheet if necessary)

**This application seeks to change the existing mix of approved uses by reducing the amount of commercial-retail oriented area and increasing restaurant seating.**

**DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION**  
**City of Key West Planning Department**  
**604 Simonton Street, Key West, FL 33040**  
**(305) 809-3720**



12) Has subject Property received any variance(s)? Yes  No \_\_\_\_\_

Resolution No. <sup>1</sup>	Approval
Res. 90-96	Special Exception – 15 food and craft booths
Res. 90-97	Variance – Setback for 320, 324 Petronia
Res. 97-72	Variance & Special Exception – Zero Setback to rebuild buildings and operate a restaurant
Res. 97-73	Special Exception – To operate retail, restaurant, and parking in the HMDR
Res. 97-494	Impact Fee Waiver and payment plan
Res. 98-44	Variance – Setback for new construction (Straw Market)
Res. 98-94/95/96/97/98/99	Outdoor Display Exceptions

13) Are there any easements, deed restrictions or other encumbrances on the subject property?  
 Yes \_\_\_\_ No  If Yes, describe and attach relevant documents. **Not to our knowledge**

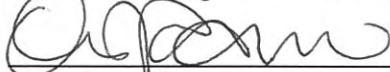
14) A. For *Conditional Uses and Development Plans*, provide the information requested on the attached

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

*Verification*

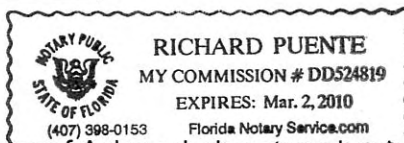
I, **Trepanier & Associates, Inc.** (please print), being duly sworn, depose and say  
 Name of Applicant

that I am (check one) the owner \_\_\_\_ / owner(s) legal representative  of the property which is the subject matter of this application. All of the answers to the above questions, drawings, plans and any other attached data to this application, are true and correct to the best of my knowledge and belief and that if not true or correct, are grounds for revocation of any action reliant on said information.

 \_\_\_\_\_ for **Trepanier & Associates, Inc.**  
 Signature of Applicant

Subscribed and sworn to (or affirmed) before me on 3/1/11 (date) by Owen Trepanier (name of affiant, deponent or other signer). He/She is personally known to me or has presented \_\_\_\_\_ as identification.

 \_\_\_\_\_  
 Notary's Signature and Seal



\_\_\_\_\_  
 Name of Acknowledger typed, printed or stamped

\_\_\_\_\_  
 Title or Rank \_\_\_\_\_ Commission Number

<sup>1</sup> Please see Exhibit A

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION  
City of Key West Planning Department  
604 Simonton Street, Key West, FL 33040  
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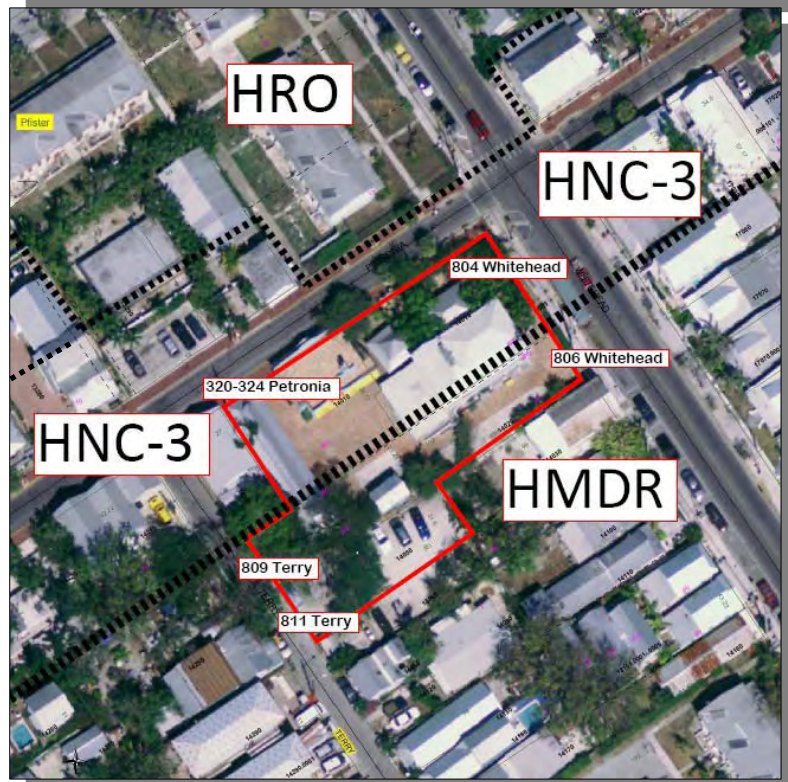
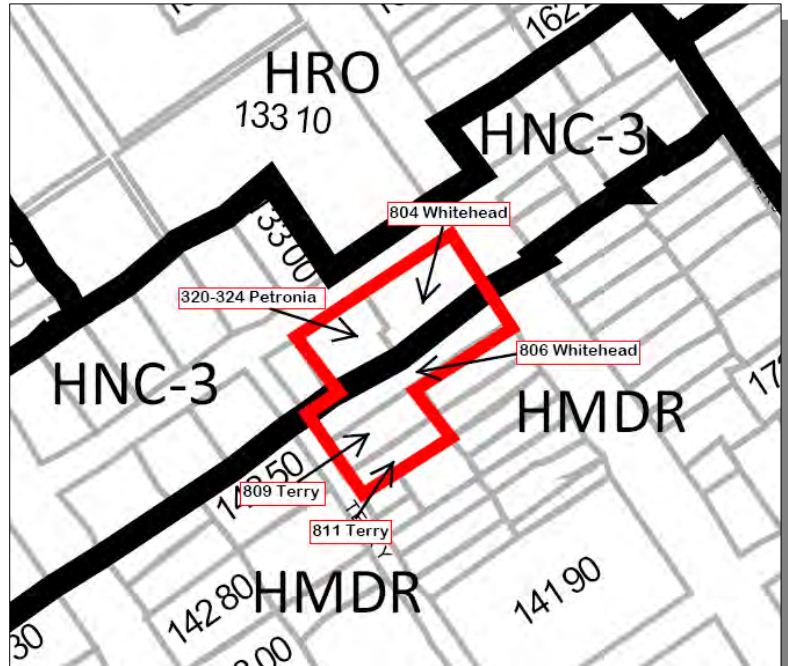


Required Plans and Related Materials



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- I. Existing Conditions.
  - A. Recent Survey of the site: **Please See Attached**
  - B) Existing size, type and location of trees, hedges, and other features: **Please See Attached**
  - C) Existing stormwater retention areas and drainage flows: **Please See Attached**
  - D) A sketch showing adjacent land uses, buildings, and driveways: **Please See Attached**
  
- II. Proposed Development: Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.
  - A) Site Plan to scale with North arrow and dimensions by a licensed architect or engineer.
    - 1) Buildings: **No Significant Changes Proposed – Please See Attached**
    - 2) Setbacks: **No Change Proposed – Please See Attached**
    - 3) Parking:
      - a. Number, location and size of automobile and bicycle spaces: **Please See Attached**
      - b. Handicapped spaces: **No Change Proposed – Please See Attached**
      - c. Curbs or wheel stops around landscaping: **Please See Attached**
      - d. Type of pavement: **No Change Proposed – Please See Attached**
    - 4) Driveway dimensions and material: **Please See Attached**





DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

City of Key West Planning Department  
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5) Location of Utility Lines (sewer, water, electric, cable, and phone) adjacent and extending into the site: **No Change Proposed – Please See Attached**

6) Signs: **No Change Proposed at this Time**



7) Project Statistics:

a. Zoning: **The site has split zoning HMDR & HNC-3**

b. Size of site: **21,520 sq. ft. (HMDR Portion: 11,154 sq. ft.; HNC-3 Portion: 10,366 sq. ft.)**

c. Number of units: **The site is mixed use and recognized for 10 units<sup>2</sup>**

d. If non-residential, floor area & proposed floor area ratio:

Zoning	Permitted	Existing	Proposed
HMDR	<b>0.5 (5,577 sq. ft.)</b>	<b>15,943 sq. ft.</b>	<b>0.26 (5,595 sq. ft.)</b>
HNC-3	<b>1.0 (10,366 sq. ft.)</b>		
			<b>No Change</b>

e. Consumption area of restaurants & bars:

Existing	Proposed
<b>2,285 sq. ft.</b>	<b>6,637 sq. ft.</b>

f. Open space area and open space ratio:

Required	Existing	Proposed
<b>0.2 (4,304 sq. ft.)</b>	<b>0.43 (9,329 sq. ft.)</b>	<b>No Change</b>

g. Impermeable surface area and impermeable surface ratio:

Permitted	Existing	Proposed
<b>0.6 (12,912 sq. ft.)</b>	<b>0.95 (20,616 sq. ft.)</b>	<b>No Change</b>

h. Number of automobile and bicycle spaces required and proposed:

Parking Spaces	Number	
	Existing	Proposed
Full Size Auto	8	8
ADA-Compliant	1	1
Bicycle-Scooter	0	65
Non-Conforming Spaces	8	0
<b>Total Conforming Spaces</b>	<b>9</b>	<b>25</b>

B) Building Elevations: **No Changes Proposed<sup>3</sup>**

C) Drainage Plan: **No Changes Proposed or Required**

D) Landscape Plan: **No Changes Proposed or Required**

<sup>2</sup> Please see Exhibit B (Staff Report by City Planner, p. 3 of 4)

<sup>3</sup> Please see Exhibit C (Site Photos)

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

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III. Solutions Statement: This property is a historically mixed-use property used for retail, restaurant, residential and office. The property has compatibly operated as such and this proposal seeks to continue that mixed-use nature while altering the relative percentages of each use. There will be a reduction in retail and a increase in restaurant use. The site is adequate for the use as demonstrated by the site plan and the overall reductions in potential intensity. The reduction in retail use and expansion in restaurant will not require any expansion of floor area, impervious surface or building coverage. The site has been reviewed and approved several times in the past for variances and special exceptions to allow the existing uses.

The proposed project implements appropriate mitigative techniques such as:

Keeping the kitchen located interiorly to the site;

Increasing the landscaping by creating a landscape buffer along the residential side of the property;

Maintaining the existing FAR, pervious surface, building coverage and open space.

Using the existing nonconforming parking spaces for bikes & scooters, to allow a significantly more functional use of the existing approved parking lot.

The above mitigative techniques will allow the compatible operation of the property without burdening the land use activities in the immediate vicinity, including community infrastructure, with adverse impacts detrimental to the general public health, safety and welfare.

CONDITIONAL USE CRITERIA

Sec. 122-61. Purpose and intent: The proposed use can be adequately accommodated while mitigating adverse impacts on properties and land uses within the adjacent vicinity.

Sec. 122-62. Specific criteria for approval.

(a) Findings: The existing and proposed restaurant on this Bahama Village Commercial Core property within the Historic Neighborhood Commercial District and the Historic Medium Density Residential District complies with the goals and intent of both the Comprehensive Plan and the Land Development Regulations. The Plan & LDR intent for the HNC-3 district is to accommodate neighborhood commercial uses, the goals and intent of the HMDR district is to accommodate medium density residential uses and existing nonconforming uses. Restaurant use is permitted as a conditional use in the HNC-3 and Res. No 97-73<sup>4</sup> permitted the retail and restaurant use on the HMDR portion of the site. Further, the City of Key West previously found restaurant use on this property complies with the goals and intent of the Comprehensive Plan and the land development regulations in 1990 and again in 1997. No change in impervious surface, or building coverage is proposed. No new development is proposed.

(b) Characteristics of use described. The following characteristics of a proposed conditional use shall be clearly described as part of the conditional use application:

(1) Scale and intensity of the proposed conditional use as measured by the following:

<sup>4</sup> Please see Exhibit A

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

City of Key West Planning Department  
 604 Simonton Street, Key West, FL 33040  
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a. Floor area ratio:

Zoning	Permitted	Existing	Proposed
HMDR	0.5 (5,577 sq. ft.)	15,943 sq. ft.	0.26 (5,595 sq. ft.)
HNC-3	1.0 (10,366 sq. ft.)		

b. Traffic generation:

**A trip generation analysis was performed based on the concurrency criteria of the LDRs and comprehensive plan, using the 7<sup>th</sup> edition of the Institute of Transportation Engineers (“ITE”) Trip Generation Manual. The Manual uses historical studies throughout the United States from the 1960s to 1990s on traffic impacts. Most of these studies come from suburban environments and therefore are heavily biased towards automobile-oriented communities. The actual trip generations for Key West is expected to be much lower and to be more bicycle-pedestrian oriented.**

**The trip generation analysis, performed using the ITE predictions, shows a decrease in potential trip generation of up to 14 trips per 1,000 sq. ft. of gross leasable area per day<sup>5</sup> as a result of the proposed change in use. Additionally, the potential trip generation falls below 50 trips per 1,000 sq. ft. of the gross leaseable area per day, and thus the proposed change in use complies with intensity limitations of the HNC-3 district.**

**Potential Trip Generation Summary Table**

Total Trips/ 1,000 sq. ft./ Day	Weekday		Saturday		Sunday	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
	48.88	34.92	46.62	33.79	25.15	24.29

c. Square feet of enclosed buildings: **4,877 sq. ft.**

d. Proposed employment:

Potential Employment <sup>6</sup>	Existing	Proposed
Retail <sup>7</sup>	15	6
Office <sup>8</sup>	1	1
Restaurant <sup>9</sup>	8	19
Residential <sup>10</sup>	1	1
<b>Total</b>	<b>25</b>	<b>27</b>

<sup>5</sup> The HNC-3 zoning district requires trip generation to be measured in terms of trips per 1,000 sq. ft. of gross leaseable floor area per day. However, for restaurants and other establishments with significant outdoor activity area, the ITE indicates trip generation by floor area is an inaccurate measure of intensity, due to the additional intensity associated with the non-floor area portions of the site. To mitigate the inaccuracy, the gross leaseable area was used and includes indoor and outdoor activity area, thereby incorporating the additional potential intensity of the outdoor (non-floor area) uses.

<sup>6</sup> According to the APA Planner’s Estimating Guide, 2002

<sup>7</sup> 1,021 mean sq. ft. per worker

<sup>8</sup> 416 mean sq. ft. per worker

<sup>9</sup> 459 mean sq. ft. per worker

<sup>10</sup> 3,846 mean sq. ft. per worker

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

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e. Proposed number and type of service vehicles: **The number and type of service vehicles will generally mirror that of other similar restaurants in the immediate area:**

Vehicle	Frequency
Produce Box Truck	1 x Daily
Seafood Van	1 x Daily
Fausto's Van	1 x Daily
Laundry Van	2 x Daily
2 Beer Box Truck	1 x Week
1 Soft Drink Box Truck	1 x Week
3 Wine Box Truck	1 x Week
"Cisco"-type Truck	3 x Week
No deliveries on Sunday	



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f. Off-street parking needs: **This property is located within the Historic Commercial Pedestrian-Oriented Area, a.k.a. "the parking waiver zone". Within the parking-waiver zone, new parking is only required when new non residential floor area is constructed or increased and when new residential or transient residential units are constructed or increased. No commercial floor area will be constructed or increased, and no residential units will be constructed or increased. The existing mix of uses will be altered, but no new commercial activity area will be created, therefore under the terms of the Historic Commercial Pedestrian-Oriented Area no increase in parking is required.**

**Notwithstanding the provisions of the Historic Commercial Pedestrian-Oriented Area, the attached parking demand study demonstrates that as a result of the proposed change to the mix of existing uses, there will be a small reduction in the potential parking demand.**

**The existing non-conforming parking lot will be improved to accommodate full-size autos, bikes and scooters, and will comply with storm water management and landscape requirements.**

Parking Spaces	Number	
	Existing	Proposed
Full Size Auto	8	8
ADA-Compliant	1	1
Bicycle-Scooter	0	44
Non-Conforming Spaces	8	0
<b>Total Conforming Spaces</b>	<b>9</b>	<b>25</b>

**The most recent approved plan (associated with Building Permit application made on 08/29/97 and signed by Paul Cates on 11/6/97) shows 17 parking spaces. However, parking plans approved at that time do not conform to code requirements. As part of this conditional use application, we propose mitigating potential parking impacts by using existing approved non-conforming parking spaces for bicycles and scooters, in addition to new scooter/ bicycle spaces, in order to allow the equivalent of 25 compliant parking spaces. Additionally, using the non-compliant parking spaces for bikes and scooters allows for a functional aisle width of 24ft.**

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

City of Key West Planning Department  
604 Simonton Street, Key West, FL 33040  
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- (2) On- or off-site improvement needs generated by the proposed conditional use and not identified on the list in subsection (b)(1) of this section including the following:
- a. Utilities: **No changes required or proposed.**
  - b. Public facilities: **No changes required or proposed as demonstrated by the Concurrency Analysis<sup>11</sup>**
  - c. Roadway or signalization improvements, or other similar improvements: **No changes required or proposed.**
  - d. Accessory structures or facilities: **No changes required or proposed.**
  - e. Other unique facilities/structures proposed as part of site improvements: **No changes required or proposed.**
- (3) On-site amenities proposed to enhance site and planned improvements. Amenities including mitigative techniques such as:
- a. Open space: **No changes required or proposed.**
  - b. Setbacks from adjacent properties: **No changes required or proposed.**
  - c. Screening and buffers: **A dense landscape strip could be created as part of the mitigative strategy to help segregate this use from the adjacent uses.**
  - d. Landscaped berms proposed to mitigate against adverse impacts to adjacent sites: **Landscape berms are not viable, required or proposed in this instance.**
  - e. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts: **The kitchen, for this property, is located on the interior of the site in the building addressed 320, 324 Petronia. All appliances exhaust fans, fire suppression systems will meet current code requirements. Trash and recycling is handled on site and within an enclosed area. Business hours are expected to reflect the current practice along the Petronia Street Corridor such as 8 a.m. to 11 p.m.**
- (c) Criteria for conditional use review and approval:
- (1) Land use compatibility: **This property was approved for residential, retail, and restaurant as modified through time by the City of Key West. As demonstrated in this application, the site is appropriate for the proposed use and will result in reductions of potential trip generation.**
  - (2) Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use: **The five properties which make up this site are all under common ownership and operate as a single unit. The site is adequate for the use as demonstrated by the site plan and the overall reductions in potential intensity. Additionally the site has been reviewed and approved several times in the past for variances and special exceptions to allow the existing uses. We currently seek to modify the relative percentages of those uses. The increased number of seats will not require any expansion of floor area, impervious surface or building coverage.**

<sup>11</sup> Please see Exhibit D

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

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604 Simonton Street, Key West, FL 33040  
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- (3) Proper use of mitigative techniques: The proposed project implements appropriate mitigative techniques such as keeping the kitchen located interiorly to the site; increasing the landscaping by creating a landscape buffer along the residential side of the property; not increasing the FAR, impervious surface, or building coverage, and maintaining open space. The mitigative techniques will allow the compatible operation of the property without burdening the land use activities in the immediate vicinity, including community infrastructure, with adverse impacts detrimental to the general public health, safety and welfare.
- (4) Hazardous waste: All restaurant waste is handled by licensed haulers.
- (5) Compliance with applicable laws and ordinances: This project proposes to comply with all applicable laws and ordinances.
- (6) Additional criteria applicable to specific land uses:
- Land uses within a conservation area: NA – No land uses proposed within a conservation area.
  - Residential development: NA – No new residential development is proposed.
  - Commercial or mixed use development: This property is a historically mixed use site and, as such, has operated compatibly with itself and its surroundings. This application seeks to modify the relative percentages of each use. There will be a significant reduction in retail space and that area will, instead, be use for restaurant.
- The site is located in the heart of the Bahama Village Commercial Core and the Historic Commercial Pedestrian-Oriented Area. Café-style, pedestrian-oriented restaurants with limited retail activities are exactly what the goals and intent of the Comprehensive Plan and the Land Development Regulations are designed to encourage. The proposed change will not alter floor area ratio, setbacks, lot coverage, height, mass of buildings, building coverage, and open space criteria. The appearance, design, protection of historic resources, pedestrian access and circulation, internal vehicular circulation together with access and egress to the site, off-street parking, and other mitigative measures such as landscaping and buffering will all be improved or maintained.
- Development within or adjacent to historic district: As mentioned above, this property received recent approval for awnings (HARC No. 11-01-229) and will require additional approvals for normal building repairs, signage, fencing, painting, etc. No significant alterations are anticipated or sought as part of this approval.
  - Public facilities or institutional development: NA – No Public facilities or institutional development.
  - Commercial structures, uses and related activities within tidal waters: NA - No Commercial structures, uses and related activities are proposed within tidal waters.
  - Adult entertainment establishments: NA - No adult entertainment is proposed.

# Verification Form

**DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION**  
**City of Key West Planning Department**  
**604 Simonton Street, Key West, FL 33040**  
**(305) 809-3720**



12) Has subject Property received any variance(s)? Yes  No \_\_\_\_\_

Resolution No. <sup>1</sup>	Approval
Res. 90-96	Special Exception – 15 food and craft booths
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13) Are there any easements, deed restrictions or other encumbrances on the subject property?  
 Yes \_\_\_\_ No  If Yes, describe and attach relevant documents. **Not to our knowledge**


14) A. For *Conditional Uses and Development Plans*, provide the information requested on the attached

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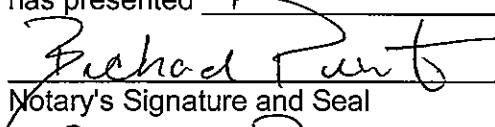
*Verification*

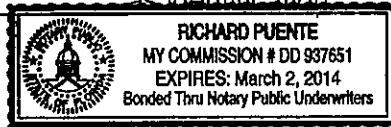
I, **Trepanier & Associates, Inc.** (please print), being duly sworn, depose and say  
 Name of Applicant

that I am (check one) the owner \_\_\_\_ / owner(s) legal representative  of the property which is the subject matter of this application. All of the answers to the above questions, drawings, plans and any other attached data to this application, are true and correct to the best of my knowledge and belief and that if not true or correct, are grounds for revocation of any action reliant on said information.

 for **Trepanier & Associates, Inc.**  
 Signature of Applicant

Subscribed and sworn to (or affirmed) before me on 8-18-2011 (date) by  
Owen Trepanier (name of affiant, deponent or other signer).  He/She is personally known to me or  
 has presented \_\_\_\_\_ as identification.

  
 Notary's Signature and Seal



Richard Puente Name of Acknowledger typed, printed or stamped

Notary Title or Rank DD 937651 Commission Number



<sup>1</sup> Please see Exhibit A  
 Z:\Projects\Swift, Ed\Bahama Village Market\Application\Cond. Use App 5.16.11.doc



# **Authorization Form**

**DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION**  
City of Key West Planning Department  
604 Simonton Street, Key West, FL 33040  
(305) 809-3720



Authorization Form

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Bahama Village Market, LLC authorize  
Please Print Name(s) of Owner(s)

Trepanier & Associates, Inc.  
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]  
Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on Feb. 28<sup>th</sup>, 2011 (date) by

Edwin O. Swift III  
Please Print Name of Affiant

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Marion Hope Casas  
Notary's Signature and Seal

\_\_\_\_\_  
Name of Acknowledger printed or stamped

\_\_\_\_\_  
Title or Rank

\_\_\_\_\_  
Commission Number, if any





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## Detail by Entity Name

### Florida Limited Liability Company

BAHAMA VILLAGE MARKET, LLC

#### Filing Information

**Document Number** L05000030313  
**FEI/EIN Number** 202487493  
**Date Filed** 03/28/2005  
**State** FL  
**Status** ACTIVE  
**Last Event** NAME CHANGE AMENDMENT  
**Event Date Filed** 05/12/2005  
**Event Effective Date** NONE

#### Principal Address

201 FRONT STREET  
SUITE 224  
KEY WEST FL 33040

Changed 03/06/2008

#### Mailing Address

201 FRONT STREET  
SUITE 224  
KEY WEST FL 33040

Changed 03/06/2008

#### Registered Agent Name & Address

SWIFT, EDWIN O III  
201 FRONT STREET, SUITE 224  
KEY WEST FL 33040

#### Manager/Member Detail

##### Name & Address

Title MGR

SWIFT, EDWIN O III  
201 FRONT STREET, SUITE 224

**Deed**

A parcel of land on the Island of Key West, Monroe County, Florida, and is known on Charles W. Tift's Map of said Island as part of Lots 7 and 8, of Square 1, in Tract 3 of Simonton's Addition according to Deed Book "I" at Page 421 of the Public Records of Monroe County, Florida, said parcel being more particularly described by metes and bounds as follows: COMMENCE at the intersection of the Northeasterly right of way line of Thomas Street with the Southeasterly right of way line of Petronia Street and run thence in a Northeasterly direction along the Southeasterly right of way line of the said Petronia Street for a distance of 130.00 feet to the Point of Beginning; thence continue Northeasterly along the Southeasterly right of way line of the said Petronia Street for a distance of 62.22 feet to the Southwesterly right of way line of Terry Lane; thence Southeasterly at right angles and along the Southwesterly right of way line of the said Terry Lane for a distance of 64.25 feet; thence Southwesterly and at right angles for a distance of 62.22 feet; thence Northwesterly and at right angles for a distance of 64.25 feet back to the Point of Beginning.

EXHIBIT A

PARCEL 1: On the Island of Key West, and designated on Charles W. Tift's Map of said Island as part of Lot No. 2 in the Subdivision of Square No. 1, in part of Tract 3 known as Simonton's Addition to the City of Key West; COMMENCING at a point on Whitehead Street, distant 63 feet from the corner of Petronia and Whitehead Sts., and run thence in a S.E.'ly direction 31 feet and 6 inches; thence at right angles in a S.W.'ly direction 86 feet; thence at right angles N.W.'ly 31 feet and 6 inches; thence at right angles N.E.'ly 88 feet to the place of beginning.

ALSO

PARCEL 2: In the City of Key West, Monroe County, Florida and is designated on Charles W. Tift's Map of said City as part of Lot 1 of Square 1 in Tract 3 of Simonton's Addition to the City of Key West and herein described more particularly by metes and bounds as follows: BEGIN at the intersection of the Southerly Right-Of-Way line of Petronia St., and the W'ly Right-Of-Way boundary line Whitehead Street for a Point of Beginning; thence Southerly along the said Westerly line of Whitehead Street 62.25 feet to a point; thence Westerly at right angles 96 feet to a point; thence Northerly at right angles 23.48 feet to a point; thence Easterly at right angles 5 feet to a point; thence Northerly at right angles 38.77 feet to a point on the said line of Petronia St., 91 feet back the Point of Beginning.

ALSO

PARCEL 3: Part of Lot One (1) of Square One (1), Tract Three (3) of Simonton's Addition to the City of Key West, Florida; COMMENCING at the intersection of the Westerly Right-Of-Way boundary line of Whitehead Street and the Southerly Right-Of-Way boundary line of Petronia Street and run thence Westerly along the said line of Petronia 91 feet to the Point of Beginning of the parcel herein being described; thence continue along the said line of Petronia Street 74 feet to a point; thence Southerly and at right angles 62.25 feet to a point; thence Easterly and at right angles 89 feet to a point; thence Northerly and at right angles 23.48 feet to a point; thence Easterly at right angles 5 feet to a point; thence Northerly at right angles 38.77 feet back to the Point of Beginning on Petronia Street.

ALSO

PARCEL 4: On the Island of Key West, as known on Charles W. Tift's Map of the City of Key West, as part of Square One (1) in Tract Three (3) and is part of Subdivision Two (2) in Square One (1) according to a diagram made of portion of said Tract Three (3), which diagram is recorded in Book "T" deeds page 421 of Monroe County Records: COMMENCING at a point on an Eighteen foot alley-way, Sixty Three (63) feet and four (4) inches distant from the corner of Petronia Street and said alley-way and running thence along said alley-way in a Southeasterly direction Thirty-One feet and six inches, and extending back in a Northeasterly direction on both lines a distance of Ninety-Six (96) feet.

ALSO

PARCEL 5: In the City of Key West, Monroe County, Florida and is designated on Charles W. Tift's Map of said City as part of Lot 1, of Square 1 in Tract 3 of Simonton's Addition to the City of Key West and herein described more particularly by metes and bounds as follows: COMMENCE at the intersection of the Southerly Right-Of-Way boundary of Petronia Street and the Westerly Right-Of-Way boundary line of Whitehead St. 62.25 feet to the Point of Beginning; thence continue along the said Westerly line of Whitehead Street 0.75 feet to a point; thence Westerly at right angles 96 feet to a point; thence Northerly at right angles 0.75 feet to a point; thence Easterly at right angles 96 feet back to the Point of Beginning.

ALSO

PARCEL 6: On the Island of Key West, Monroe County, Florida and being a part of Lot 1 in Square 1 of a "Sub-division of a part of the Estate of John W. Simonton Tract 3, Key West, Florida" as recorded in Deed Book 1 at Page 421 Public Records of Monroe County, Florida and being described more particularly as follows: COMMENCE at the point of intersection of the Southerly line of Petronia Street with the Easterly line of Terry Lane; thence SouthEasterly along the said line of Terry Lane 63.34 feet to a point; thence Northeasterly at a right angle 27 feet to the Point of Beginning of the parcel of land herein described; thence Northwesterly at a right angle 1.03 feet to a point; thence Northeasterly at a right angle 69 feet to a point; thence Southwesterly at a right angle 1.03 feet to a point; thence Southwesterly at a right angle 69 feet back to the Point of Beginning.

ALSO

Part of Lot Two (2) in Square One (1) of Tract Three (3) also known as 809 Terry Lane, in the City of Key West, County of Monroe, State of Florida.

Doc# 1528763  
BK# 2133 P# 392

**EXHIBIT** **B**

On the Island of Key West and is known as Part of Lot Three, (3), in the Subdivision of Square One, (1), in part of Tract Three, (3); Commencing at a point on Whitehead Street One Hundred Twenty-six feet Four and One-half inches (126' 4 ½"), in a South East direction from the corner of Whitehead and Petronia Streets; running thence a right angles in a South West direction Ninety-six feet, (96'), to a point of beginning of Lot to be conveyed; running thence at right angles in a South East direction Twenty-one, (21'); then at right angles in a South West direction Ninety-six feet (96') to an alley known as Terry's Lane; thence in a North West direction along said alley Twenty-one feet, (21'); thence at right angles in a North East direction Ninety-six, (96') to point of beginning.

MONROE COUNTY  
OFFICIAL RECORDS

EXHIBIT C



Return to: Michelle I. Cates, P.A.  
201 Front Street, Ste.110  
Key West, FL 33040  
This instrument prepared by:  
Michelle Cates Deal, Esq.  
201 Front Street, Ste.110  
Key West, FL 33040  
Property Appraisers Parcel I.D.: 00014020-000000;  
00014010-000000;  
00014060-000000.

Doc# 1528763 07/15/2005 2:06PM  
Filed & Recorded in Official Records of  
MONROE COUNTY DANNY L. KOLHAGE

07/15/2005 2:06PM  
DEED DOC STAMP CL: FP \$0.70

Doc# 1528763  
BK# 2133 Pgh 389

Grantee(s) SS# or FEIN

### QUIT CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 14 day of July, 2005, by and between **BAHAMA VILLAGE MARKET, LTD., a Florida Limited Partnership**, whose Office address is 201 Front Street, Ste. 310, Key West, Monroe County, Florida, hereinafter party of the first part, referred to as "grantor" to **BAHAMA VILLAGE MARKET, LLC., a Florida Limited Liability Company**, whose Post Office address is 201 Front Street, Ste. 224, Key West, Florida, hereinafter party of the second part referred to as "grantee."

WITNESSETH, that the said Grantor, for and in consideration of the sum of \$10.00 and other good and valuable consideration to the said Grantor in hand paid by the Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said Grantee forever, all the right, title, interest, claim and demand which the said Grantor has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Monroe, State of Florida, to-wit:

See attached Exhibit "A" commonly known as 312-314 Petronia Street, Key West, FL 33040.

See attached Exhibit "B" commonly known as 800-806 Whitehead Street; 318-324 Petronia Street; 807 and 809 Terry Lane, Key West, FL 33040.

See attached Exhibit "C" commonly known as 811 Terry Lane, Key West, FL 33040.

SUBJECT TO: Restrictions, limitations, reservations and easements of record, if any.  
SUBJECT TO: Taxes for the year 2004 and subsequent years.

**THIS DOCUMENT WAS PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR ABSTRACT EXAMINATION IS BASED SOLELY ON THE FACTS PROVIDED BY EITHER OF THE PARTIES OR THEIR AGENTS.**



TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said grantor, either in law or equity, to the only proper use, benefit and behalf of the grantee(s) forever.

(Wherever used herein the terms "grantor" and "grantee(s)" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires).

IN WITNESS THEREOF, the said grantor has signed and sealed these presents the day and year first above written.

**Signed, sealed and delivered**

In the presence of:

**BAHAMA VILLAGE MARKET, LTD**

a Florida Limited Partnership

By it's General Partner,  
OLD TOWN KEY WEST DEVELOPMENT, LTD,  
a Florida Limited Partnership

*Hope Casas*

Name: Hope Casas

Please print, type or stamp

by Edwin O. Swift, III, General Partner of  
Old Town Key West Development, LTD,  
a Florida Limited Partnership

*Michelle Cates Deal*

Name: Michelle Cates Deal

Please print, type or stamp

**STATE OF FLORIDA  
COUNTY OF Monroe**

The foregoing instrument was acknowledged before me this 14<sup>th</sup> day of July, 2005, by **Edwin O Swift, III, General Partner of Old Town Key West Development, LTD, partner (or agent), on behalf of Bahama Village Market, LTD., a Florida Limited Partnership.** He is personally known to me, or has produced \_\_\_\_\_ as identification, and who did (not) take an oath.

*Marion Hope Casas*

Notary Public

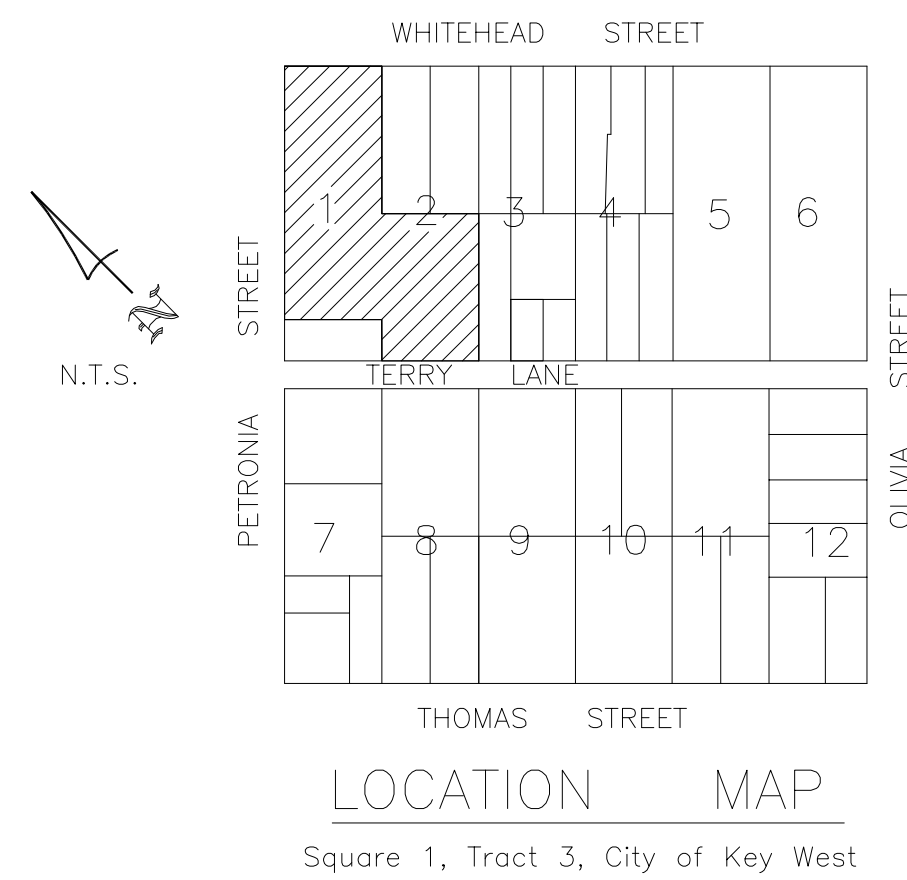
My commission expires:



*seal*  
**Marion Hope Casas**  
Commission # DD325062  
Expires July 21, 2008

Bonded Tray Palm - Insurance, Inc. 800-368-7010

# Survey



**LEGAL DESCRIPTION:**

Parcel "A": (Parcel 1) 806 Whitehead Street  
 On the Island of Key West, and designated on Charles W. Tift's map of said island as part of Lot No. 2 in the Subdivision of Square No. 1, in part of Tract 3 known as Simonton's Addition to the City of Key West; COMMENCING at a point on Whitehead Street, distant 63 feet from the corner of Petronia and Whitehead Sts. And run thence in a S.E.'ly direction 31 feet and 6 inches; thence at right angles in a S.W.'ly direction 96 feet; thence at right angles N.W.'ly 31 feet and 6 inches; thence at right angles N.E.'ly 96 feet to the place of beginning.

Parcel "B": (Parcel 2) 802 Whitehead Street  
 In the City of Key West, Monroe County, Florida and is designated on Charles W. Tift's Map of said City as part of Lot 1 of Square 1 in Tract 3 of Simonton's Addition to the City of Key West and herein described more particularly by metes and bounds as follows: BEGIN at the intersection of the Southerly right of Way line of Petronia Street and the W'ly right of way boundary line of Whitehead Street for a Point of Beginning; thence Southerly along the said Westerly line of Whitehead Street 62.25 feet to a point; thence Westerly at right angles 96 feet to a point; thence Northerly at right angles 23.48 feet to a point; thence Easterly at right angles 5 feet to a point; thence Northerly at right angles 38.77 feet to a point on the said line of Petronia St.; thence at right angles in a Northeasterly direction 91 feet back to the Place of Beginning.

Parcel "C": (Parcel 3) 318-324 Petronia Street  
 Part of Lot One (1) of Square One (1), Tract Three (3) of Simonton's addition to the City of Key West, Florida; COMMENCEING at the intersection of the Westerly right of way boundary line of Whitehead Street and the Southerly right of way boundary line of Petronia Street and run thence Westerly along the said line of Petronia 91 feet to the Point of Beginning of the Parcel herein being described: thence continue along the said line of Petronia Street 74 feet to a point; thence Southerly and at right angles 62.25 feet to a point; thence Easterly and at right angles 69 feet to a point; thence Northerly and at right angles 23.48 feet to a point; thence Easterly at right angles 5 feet to a point; thence Northerly at right angles 38.77 feet back to the Point of Beginning on Petronia Street.

Parcel "D": (Parcel 4):  
 On the Island of Key West, as known on Charles W. Tift's map of the City of Key West, as Part of Square One (1) in Tract Three (3) and is part of Subdivision Two (2) in Square One (1), according to a diagram made of Portion of said Tract Three (3), which diagram is recorded in book "1" deeds page 421 Monroe County Records: COMMENCEING AT A POINT ON AN Eighteen foot alley way, Sixty three (63) feet and four (4) inches distant from the corner of Petronia Street and said alley way and running thence along said alley way in a Southeasterly direction thirty-one feet and six inches, and extending back in a Northeasterly direction on both lines a distance of ninety-six (96) feet.

Parcel "E": (Parcel 5): 804 Whitehead Street  
 In the City of Key West, Monroe County, Florida and is designated on Charles W. Tift's Map of said City as Part of Lot 1 of Square 1 in Tract 3 of Simonton's addition to the City of Key West and herein described more particularly by metes and bonds as follows: COMMENCE AT THE INTERSECTION OF THE Southerly right of way boundary of Petronia Street and the Westerly right of way boundary line of Whitehead St. 62.25 feet to the Point of Beginning; thence continue along the said Westerly line of Whitehead Street 0.75 feet to a point; thence Westerly at right angles 96 feet to a point; thence Northerly at right angles 0.75 feet to a point; thence Easterly at right angles 96 feet back to the Point of Beginning.

**AND**

Parcel "F": (Parcel 6):  
 On the Island of Key West, Monroe County, Florida and being a part of Lot 1 in Square 1 of a Subdivision of a part of the Estate of John W. Simonton Tract 3, Key West, Florida" as recorded in Deed Book 1 at Page 421 Public Records of Monroe County, Florida and being described more particularly as follows: Commence at the point of intersection of the Southerly line of Petronia Street with the Easterly line of Terry Lane; thence Southeasterly along the said line of Terry Lane 63.34 feet to a point; thence Northeasterly at a right angle 27 feet to the Point of Beginning of the parcel of land herein described: thence Northwesterly at right angle 1.09 feet to a point; thence Northeasterly at a right angle 69 feet to a point; thence Southeasterly at a right angle 1.09 feet to a point; thence Southwesterly at a right angle 69 feet back to the Point of Beginning.

**AND**

Parcel "H": 811 Terry Lane:  
 On the Island of Key West is known as Part of Lot Three (3), in the Subdivision of Square One (1), in part of Tract Three (3), Commencing at a point on Whitehead Street One hundred Twenty six feet Four and One-half inches (126' 4"), in a South East direction from the corner of Whitehead and Petronia Streets; running thence at right angles in a SouthWest direction Ninety-six feet (96') to a point of beginning of Lot to be conveyed; running thence at right angles in a South East direction Twenty-one, (21'); then at right angles in a South West direction Ninety-six feet (96') to an alley known as Terry's Lane; thence in a North West direction along said alley Twenty-one feet (21'); thence at right angles in a North East direction Ninety-six feet (96') to the point of beginning.

**AND**

Parcel "I": 809 Terry Lane  
 Part of Lot Two (2), in Square One (1) of Tract Three and also known as 809 Terry Lane, in the City of Key West, County of Monroe, State of Florida.

**Parcel J:**

In the City of Key West and known and designated on Charles W. Tift's Map of said City part of Lots One (1) and Two (2) is Square One (1), of Tract Three of Simonton's Addition to the City of Key West, better described by metes and bounds as follows:

COMMENCING at the intersection of Petronia and Whitehead Streets and run in a Southeasterly direction along Whitehead Street a distance of Ninety-four feet and Ten inches (94' 10") for a point of beginning from this point of beginning continue in a Southeasterly direction a distance of Thirty-one (31) feet and six (6) inches; thence, at right angles, run in a Southwesterly direction a distance of Ninety six (96) feet; thence at right angles, run in a Northwesterly direction a distance of Thirty-one (31) feet and Six (6) inches; thence, at right angles, run in a Northeasterly direction, a distance of Ninety six (96) feet back to the Point of Beginning.

**SURVEYOR'S NOTES:**

North arrow based on plat assumed median  
 Reference Bearing: R/W Whitehead Street  
 3,4 denotes existing elevation  
 Elevations based on N.G.V.D. 1929 Datum  
 Bench Mark No.: Basic Elevation: 14.324

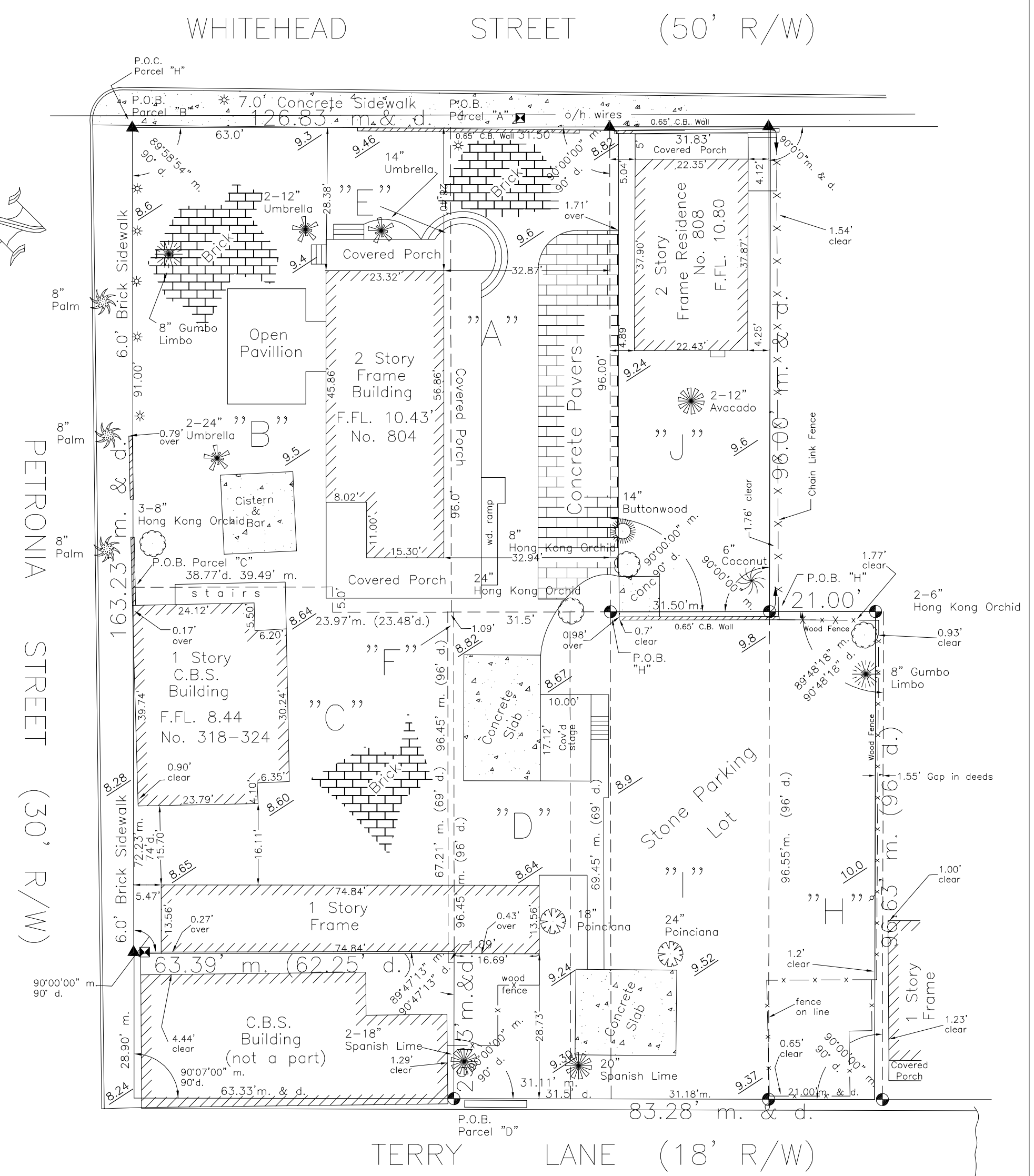
**Monumentation:**  
 ● = set 1/2" Iron Pipe, P.L.S. No. 2749  
 ▲ = Set P.K. Nail, P.L.S. No. 2749  
 △ = Found P.K. Nail  
 ● = Found 1/2" Iron Bar

**Abbreviations:**

Sty. = Story  
 R/W = Right-of-Way  
 fd. = Found  
 p. = Plat  
 m. = Measured  
 d. = Deed  
 N.T.S. = Not to Scale  
 o/h = Overhead  
 u/g = Underground  
 F.F.L. = Finish Floor Elevation  
 conc. = concrete  
 I.P. = Iron Pipe  
 I.B. = Iron Bar  
 C.B.S. = Concrete Block Stucco

cov'd. = Covered  
 wd. = Wood  
 w.m. = Water Meter  
 Bal. = Balcony  
 Pl. = Planter  
 Hydt. = Fire Hydrant  
 F.W. = Fire Well  
 A/C = Air Conditioner  
 □ = Concrete Utility Pole  
 ○ = Wood utility Pole  
 ◐ = Wood Utility Pole with Guy wire  
 B.P.Z. = Backflow Prevention Valve

⊙ = Centerline  
 Elev. = Elevation  
 B.M. = Bench Mark  
 P.O.C. = Point of Commence  
 P.O.B. = Point of Beginning  
 P.B. = Plat Book  
 pg. = page  
 Elec. = Electric  
 Tel. = Telephone  
 Ench. = Encroachment  
 O.L. = On Line  
 C.L.F. = Chain Link Fence  
 ○ = Water Meter  
 ◐ = Water Valve  
 Field Work performed on: 3/28/05



**CERTIFICATION:**

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT  
 Professional Land Surveyor & Mapper No. 2749  
 Professional Engineer No. 36810  
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

3/29/05: updated, Trees  
 3/6/05: updated, lights Parcel J  
 3/17/04: Cert., Correct Legal Description  
 Bahama Village Market, Ltd.  
 802-806 Whitehead St., Key West, FL 33040  
 318-324 Petronia Street

BOUNDARY SURVEY		Dwn No. 05-190
Scale: 1"=20'	Ref. file 39-53	Dwn. By: F.H.H.
Date: 9/23/02	Flood panel No. 1516X	Flood Zone: X
REVISIONS AND/OR ADDITIONS		
9/26/02: Street Address on Legal Descriptions		
11/26/02: Cert.		
3/13/04: Cert., Minor Changes		
c/dwg/kw/blw61		

FREDERICK H. HILDEBRANDT  
 ENGINEER PLANNER SURVEYOR

3152 Northside Drive  
 Suite 201  
 Key West, FL 33040  
 (305) 293-0466  
 Fax: (305) 293-0237

# Site Plans

Historic Tours of America  
201 Front Street, Suite 207  
Key West, Florida 33040  
AUTHORIZATION #26120  
pk:305-293-3263 fax:293-3927

Richard J. Milelli  
PE #58315

General Notes:

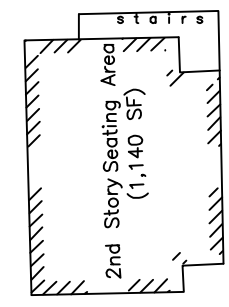
**BAHAMA VILLAGE MARKET**  
WHITEHEAD AND PETRONIA  
KEY WEST, FLORIDA

Drawn By: RJM  
Checked By: RJM  
Project No. #####  
Scale: AS NOTED  
HTA AutoCAD File No. 8VM Consumption Areas 11-11  
Print Date: November 1, 2011

Revisions:  
1. N/A  
2. N/A  
3. N/A  
4. N/A  
5. N/A  
6. N/A

Title: SITE AND FLOOR PLAN  
Sheet Number: **C-1.0**  
Date: JANUARY 21, 2010

**SECOND FLOOR**  
SCALE: 1"=30'



INDEX OF DRAWINGS

C-1.0	SITE AND FLOOR PLAN
C-1.1	PREVIOUS CONSUMPTION AREAS
C-1.2	PROPOSED AND PREVIOUS CONSUMPTION AREAS
C-1.3	PARKING LOT PLAN

SITE DATA

RE Numbers	00014060-000000; 00014050-000000; 00014020-000000; 00014010-000000; 00014010-000100			
Zoning Designation	HMDR (11,154 sq. ft.) and HNC-3 (10,366 sq. ft.)			
Flood Zone	ZONE X/ MAP 12087C-1516K			
Issue	Existing	Proposed	Required/Permitted	Complies
Zoning	HMDR and HNC-3	No Change	No Change	Complies
Site Size (sq. ft.)	21,520	No Change	4,000	Complies
Building Coverage (sq. ft.)	4,877	No Change	8,608 (40%)	Complies
Impervious Surface (sq. ft.)	20,616 (95.8%)	No Change	12,912 (60%)	Complies 1
Open Space Ratio (sq. ft.)	904 (4.2%) <sup>2</sup>	No Change	4,304 (20%)	Complies
FAR	0.26	No Change	1.0	Complies
Retail Space (sq. ft.)	5,595	2,553	15,943	Complies
Consumption Area				
Indoor (sq. ft.)		1,241		Complies
Outdoor (sq. ft.)	2,285	4,595		Complies
Restaurant Seats	45	165		Complies
Parking Spaces	17	19 <sup>3</sup>	17	Complies
Scooter/Bicycle		40		
Residential Units	3-Studios	3-Studios	10	Complies
Setbacks				
Front	18'-2 1/4"-0"	18'-2 1/4"-0"	0'-0" 11'-0"	Complies
Side <sup>5</sup>	5'-0" 5'-0"	16'-9 1/4"-0"	7'-6 1/5"-0"	Complies
Rear <sup>6</sup>	28'-9"	28'-9"	15'-0"	Complies

NOTE: NO DELIVERIES WILL BE ALLOWED ON PETRONIA STREET

Outdoor Commercial Activity Area

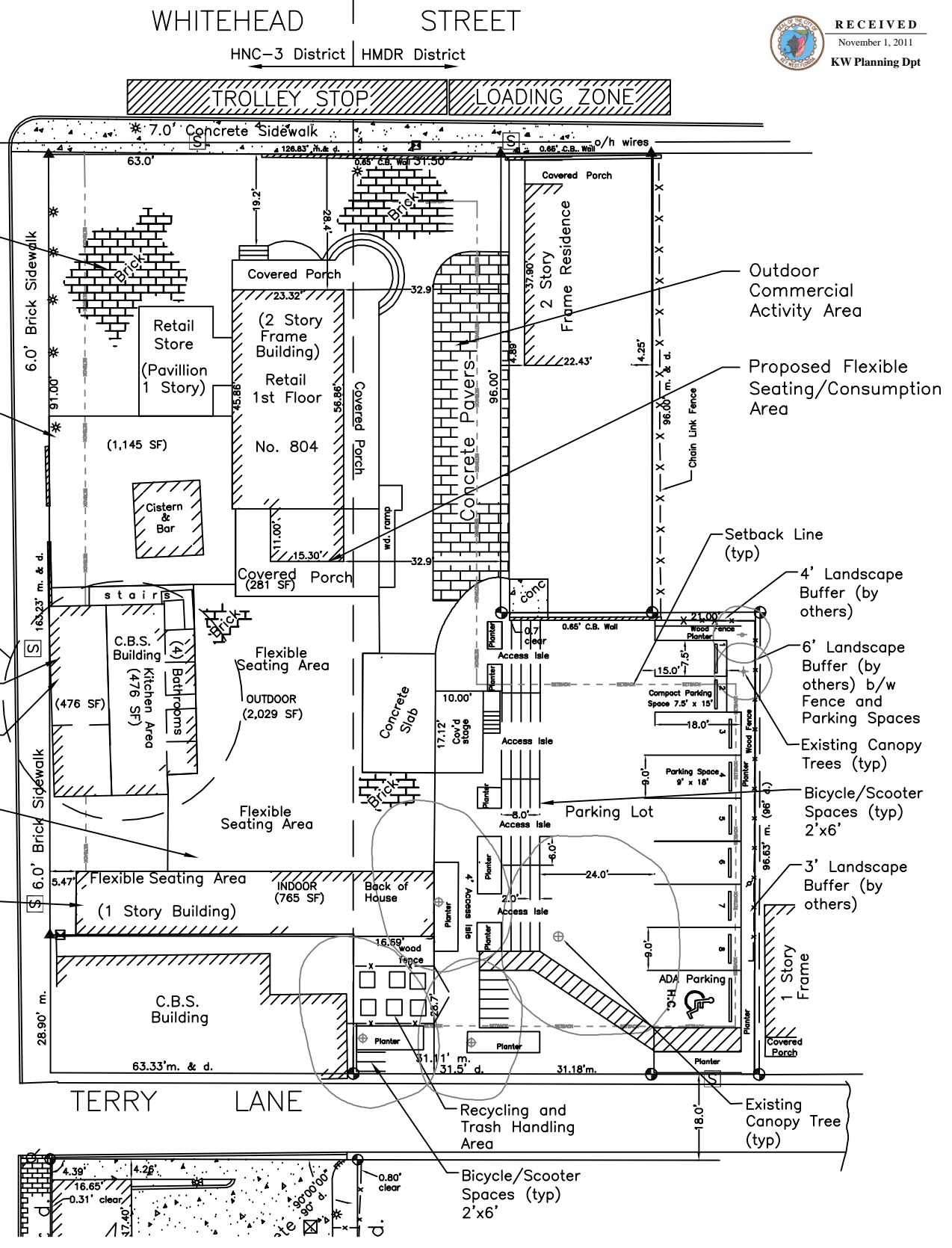
Outdoor Consumption Area Outside of Cistern Bar

Flexible Seating Area

Proposed Indoor Consumption/Retail Area

Proposed Outdoor Consumption Area Brick Area

Proposed Indoor Consumption Area One Story Bldg



**SITE AND FLOOR PLAN**  
SCALE: 1"=30'

LEGEND

**S** EXISTING SEWER CLEANOUT (TYP OF 5)

NOTE: THE SITE DOES NOT HAVE AN EXISTING STORMWATER MANAGEMENT SYSTEM OR A GREASE TRAP

1. Existing nonconformity  
2. Site area less building coverage, pavers, concrete and parking areas  
3. Proposed is based on 9 car parking spaces and 40 scooter spaces.  
4. The City of Key West recognizes ten ROGO-exempt dwelling units, per City Planner's Staff report dated 11/27/05.  
5. HNC-3 is the first number and HMDR is the second  
6. HMDR Zoning only



Historic Tours of America  
201 Front Street, Suite 207  
Key West, Florida 33040  
AUTHORIZATION #26120  
PK-305-293-3263 fax296-3927

Seal:

RICHARD J. MILELLI  
PE #58315

General Notes:

**BAHAMA VILLAGE MARKET**  
WHITEHEAD AND PETRONIA  
KEY WEST, FLORIDA

Drawn By: RJM  
Checked By: RJM  
Project No. #####  
Scale: AS NOTED

HTA AutoCAD File No.  
BVM Consumption Areas 11-1-11

Print Date:  
November 1, 2011

Revisions:

1. N/A  
2. DRC  
3. R/S

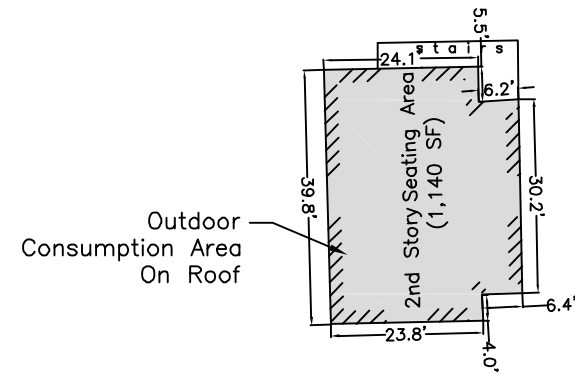
Title:

PROPOSED AND PREVIOUS CONSUMPTION AREAS

Sheet Number:

**C-1.2**

Date: JANUARY 21, 2010



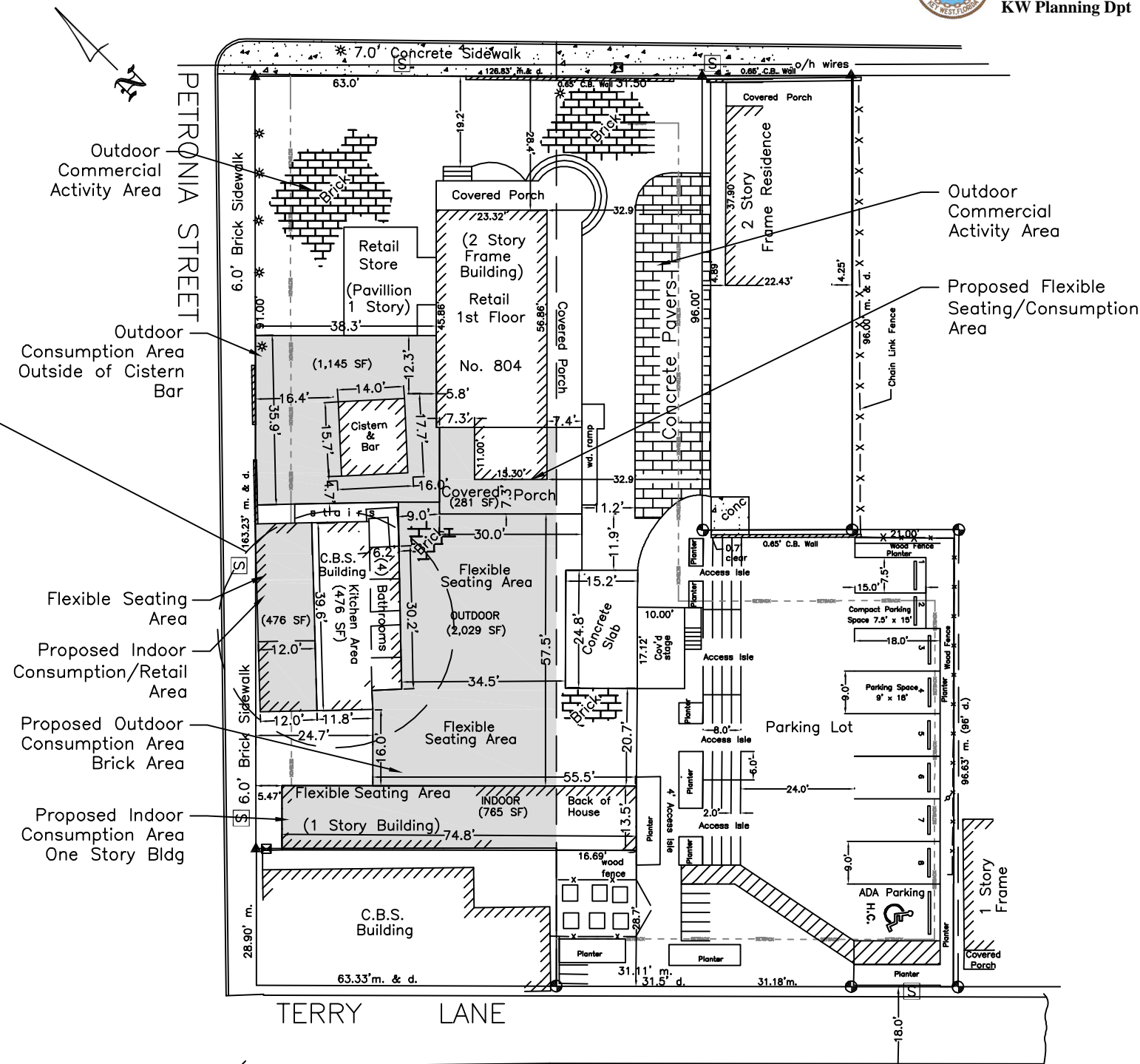
**SECOND FLOOR**

SCALE: 1"=30'

**LEGEND**

CONSUMPTION AREA

CONSUMPTION AREAS:  
PREVIOUS (ROOF DECK AND CISTERN BAR): 2,285 SF  
PROPOSED:  
COVERED PORCH: 281 SF  
OUTDOOR BRICK AREA: 2,029 SF  
INDOOR ONE-STORY BLDG: 765 SF  
INDOOR TWO-STORY BLDG: 476 SF  
TOTAL PREVIOUS AND PROPOSED: 5,836 SF




**PROPOSED CONSUMPTION AREAS**

SCALE: 1"=30'



- Outdoor Commercial Activity Area
- Outdoor Consumption Area Outside of Cistern Bar
- Flexible Seating Area (Roof Top)
- Proposed Indoor Consumption/Retail Area (Ground Floor)
- Proposed Outdoor Consumption Area Brick Area
- Proposed Indoor Consumption Area One Story Bldg
- Proposed Flexible Seating/Consumption Area
- Site Boundary

**LEGEND**

 CONSUMPTION AREA

**CONSUMPTION AREAS:**  
PREVIOUS (ROOF DECK AND CISTERN BAR): 2,285 SF  
**PROPOSED:**  
COVERED PORCH: 281 SF  
OUTDOOR BRICK AREA: 2,029 SF  
INDOOR ONE-STORY BLDG: 765 SF  
INDOOR TWO-STORY BLDG: 476 SF  
TOTAL PREVIOUS AND PROPOSED: 5,836 SF



**BAHAMA VILLAGE MARKET  
PROPOSED CONSUMPTION AREAS**

SCALE: 1"=30' (11x17 paper)



Historic Tours of America  
201 Front Street, Suite 207  
Key West, Florida 33040  
AUTHORIZATION #26120  
PK-305-293-3263 fnc296-3927

Seal:

RICHARD J. MILELLI  
PE #58315

General Notes:

**BAHAMA VILLAGE MARKET**  
WHITEHEAD AND PETRONIA  
KEY WEST, FLORIDA

Drawn By: RJM  
Checked By: RJM  
Project No. #####  
Scale: AS NOTED

HTA AutoCAD File No.  
BVM Consumption Areas 6-30-11

Print Date:  
July 28, 2011

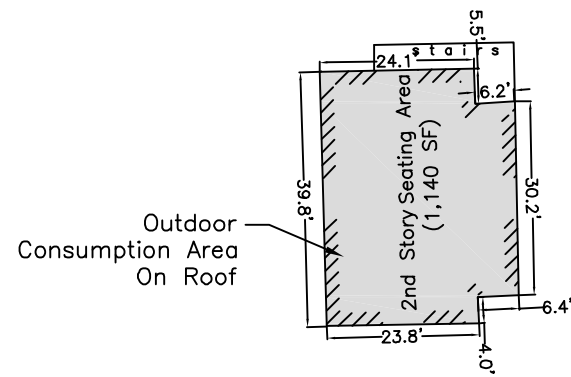
Revisions:

1. NAMP Comments 4-24-11  
2. DRC Comments 6-24-11

Title:  
PREVIOUS CONSUMPTION AREAS

Sheet Number:  
**C-1.1**

Date: JANUARY 21, 2010



**SECOND FLOOR**

SCALE: 1"=30'

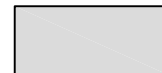
**CONSUMPTION AREAS:**

PREVIOUS OUTDOOR (CISTERN AND BAR): 1,145 SF

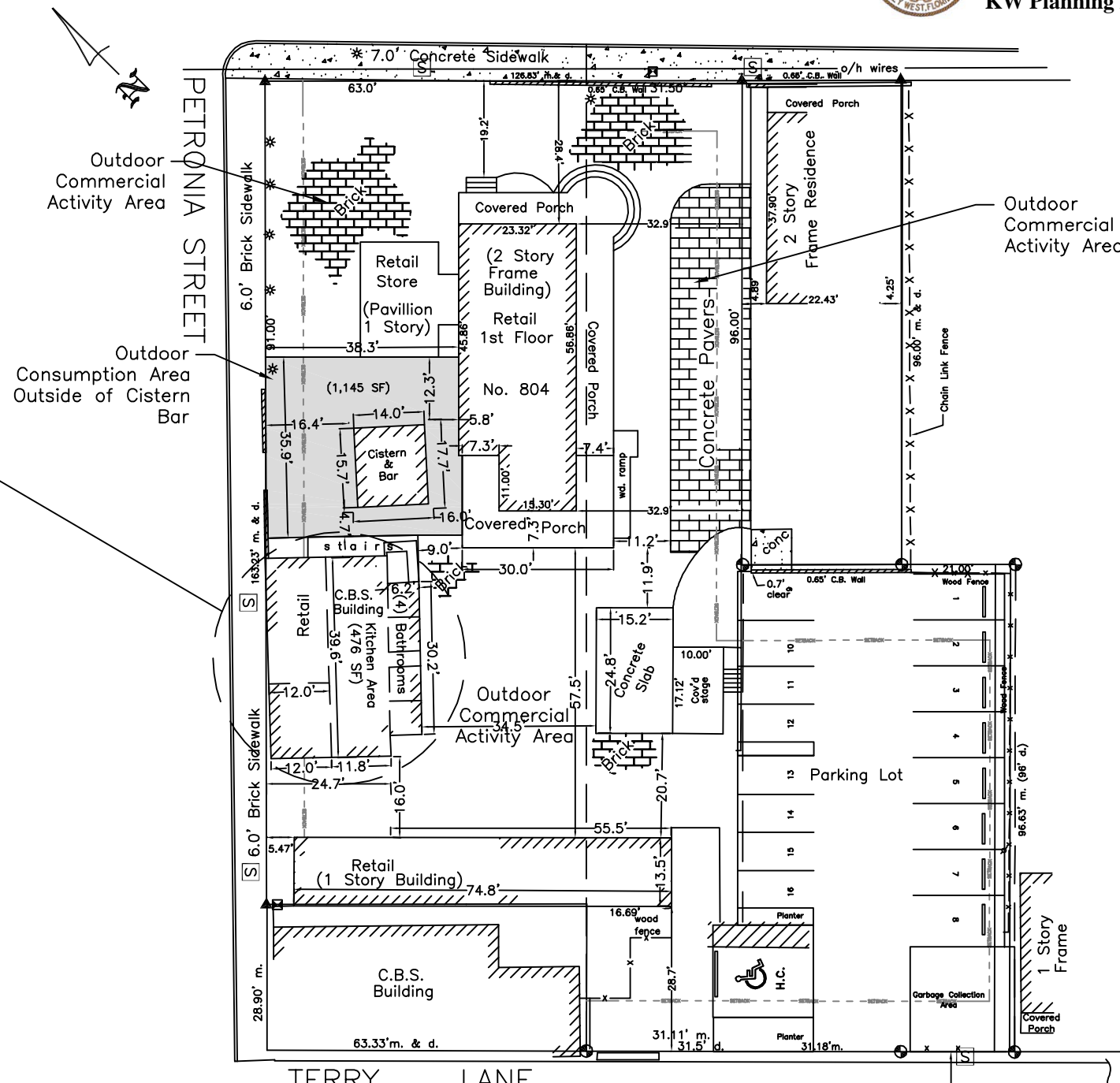
PREVIOUS OUTDOOR (ROOF DECK): 1,140 SF

TOTAL: 2,285 SF

**LEGEND**

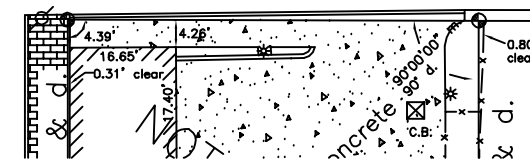


CONSUMPTION AREA

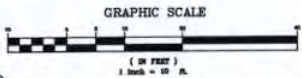


**PREVIOUS CONSUMPTION AREA**

SCALE: 1"=30'







48 HOURS BEFORE BIDDING  
CALL TOLL FREE  
**1-800-432-4770**  
FLORIDA STATE WORKSHEETS  
UTILITIES NOTIFICATION CENTER

**DRAINAGE CALCULATIONS**

**POSTDEVELOPMENT - PREDEVELOPMENT**

Qpost - Qpre = 0 in.  
VOLUME = QA = 0 Ac-in

NOTE: THE DRAINAGE PLAN AND CALCULATIONS ARE ONLY FOR THE PARKING LOT; THE PARKING LOT IS EXISTING AND CONSIDERED IMPERVIOUS. THEREFORE, THE POSTDEVELOPMENT AND PREDEVELOPMENT WATER QUANTITY AMOUNTS ARE THE SAME. WATER QUALITY GOVERNS THE DESIGN.

**WATER QUALITY**

PROJECT AREA = 0.142 Ac  
PERVIOUS = 0.017 Ac  
IMPVIOUS = 0.125 Ac

A) ONE INCH OF RUNOFF FROM DRAINAGE BASIN = 0.142 Ac-in  
IMPVIOUS AREA = 0.125 Ac.  
X IMPVIOUS = 88.08  
B) 2.5 INCHES TIMES PERCENT IMPVIOUS = 0.31 Ac-in

**EXFILTRATION TRENCH PROVIDED**

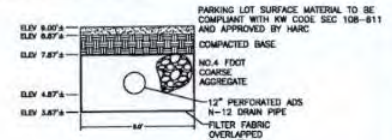
TRENCH LENGTH = 27 FT  
EXFILTRATION TRENCH VOLUME CALCULATED USING SPWMO  
EQUATION (PC F-10 OF THE DEP INFORMATION MANUAL)  
VARIABLES K=0.0001; H=7; W=5; Dp=5; Ds=0  
VOLUME = 0.31 Ac-in

**LANDSCAPE BUFFER**  
PARKING LOT AREA = 0.142 AC = 6,200 SF  
BUFFER REQUIRED = 6,200 \* 10% = 620 SF  
BUFFER PROVIDED = 756 SF



**LEGEND**

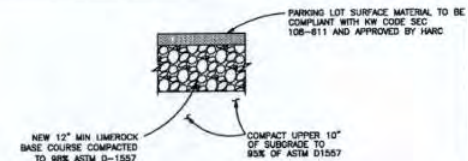
- DRAINAGE FLOW
- PROPOSED ELEVATION
- EXISTING ELEVATION
- NEW LIGHT POLE
- NEW PARKING LOT SURFACE MATERIAL TO BE COMPLIANT WITH KW CODE SEC 108-811 AND APPROVED BY HARC
- LANDSCAPE AREA



**EXFILTRATION TRENCH NTS**

NOTES:

1. FILTER FABRIC SHALL BE MARAT FILTERWEAVE 300 OR ENGINEER APPROVED EQUIVALENT. FILTER FABRIC SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.



**PARKING LOT SURFACE DETAIL NTS**



**LIGHT POLE DETAIL NTS**

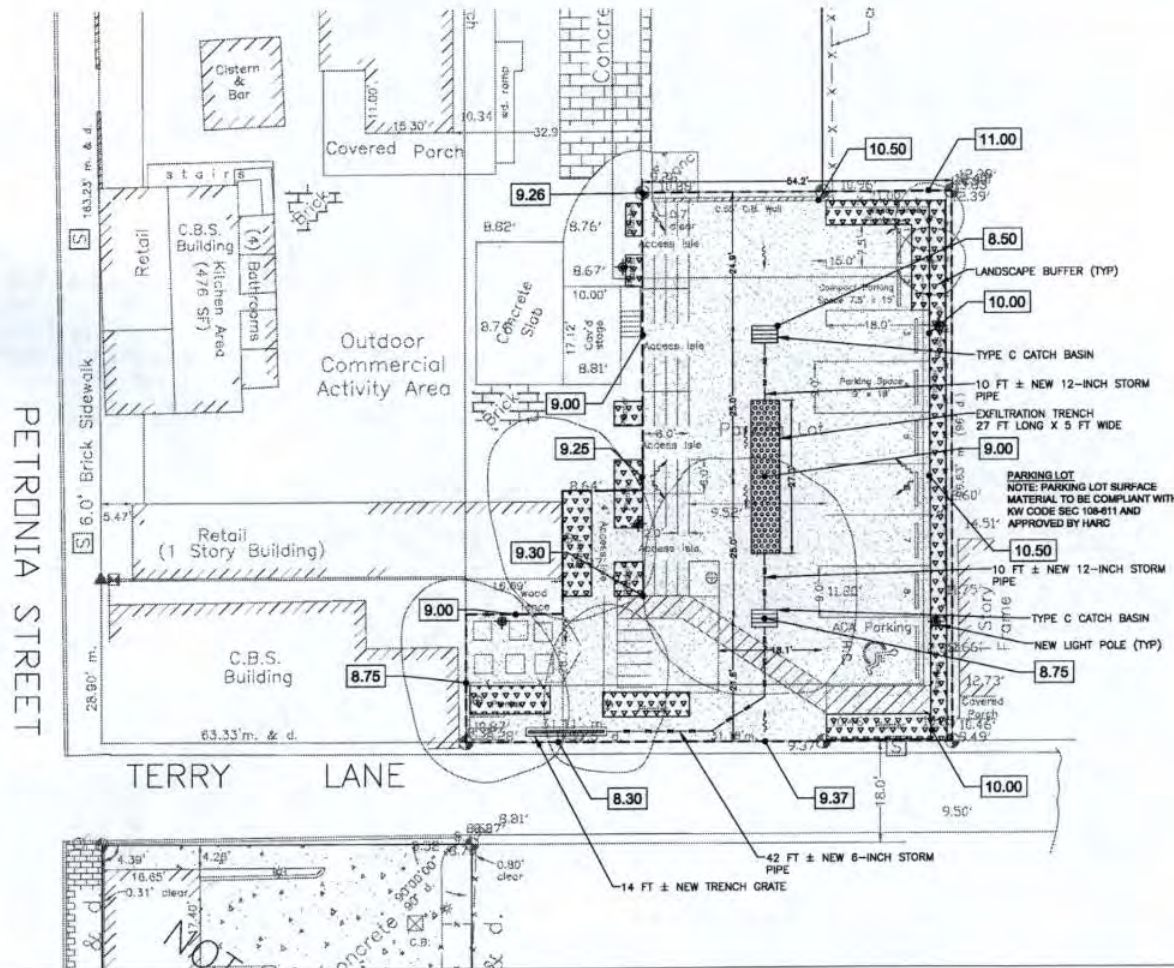
NOTES:

1. CONTRACTOR SHALL INSTALL A HAND HOLE AT THE BASE OF EACH LIGHT POLE NOT LESS THAN 2-IN x 4-IN WITH A COVER SUITABLE FOR USE IN WET LOCATIONS.
2. LIGHTS SHALL BE EQUIPPED WITH HOUSE SHIELDS.
3. ELECTRICIAN SHALL PROVIDE THE ENGINEER WITH A SUBMITTAL FOR THE LIGHT POLE AND FIXTURES. THE LIGHT FIXTURE SHALL BE A METAL HALIDE 150 W.
4. LIGHTS SHALL BE CONTROLLED BY A PHOTOCELL.
5. LIGHTS AND LIGHT BASES SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.



**BICYCLE/SCOOTER RACK DETAIL NTS**

NOTES:  
1. THE CONTRACTOR MAY ADJUST THE PROPOSED ELEVATIONS IN THE FIELD IF APPROVED BY THE ENGINEER.



Historic Tours of America  
201 Front Street, Suite 207  
Key West, Florida 33540  
AUTHORIZATION #091303  
PH: 305-293-2261 FAX: 305-293-2267

Sheet:

RECEIVED  
REINHOLD J. MUELLER  
PE 999315

Contract Name:

**BAHAMA MARKET VILLAGE**  
WHITEHEAD AND PETRONIA  
KEY WEST, FLORIDA

Drawn By: RLH  
Checked By: EOG  
Project No.: 1758  
Scale: AS NOTED

ITTA AutoCad File No.: 1756-C-1.0R

1. CIVIL ENGINEERING Dept. - November 2011
2. CIVIL ENGINEERING Dept. - November 2011
3. CIVIL ENGINEERING Dept. - November 2011
4. CIVIL ENGINEERING Dept. - November 2011
5. CIVIL ENGINEERING Dept. - November 2011
6. CIVIL ENGINEERING Dept. - November 2011
7. CIVIL ENGINEERING Dept. - November 2011
8. CIVIL ENGINEERING Dept. - November 2011
9. CIVIL ENGINEERING Dept. - November 2011
10. CIVIL ENGINEERING Dept. - November 2011

Title:

**PARKING LOT PLAN**

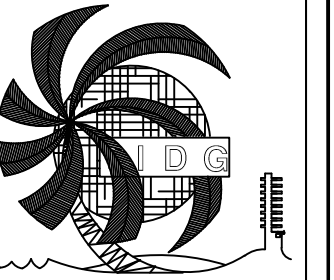
Sheet Number:  
**C-1.3**

Date: JUNE 23, 2011



**RECEIVED**  
August 1, 2011  
KW Planning Dpt

Architect / Engineer



**Indigenous Design Group INC.**  
KEY WEST, FL P. 305.294.2148

License #

Stamp

Description  
**Bahama Village Market**  
Petronia Street  
KEY WEST, FL 33040

**Parking Area Improvement Plan**

Project Number  
000-0000  
Plan Series

Property Number  
000-0000

Sheet Title

LANDSCAPE PLAN

Sheet

**LA1**

**Bahama Village Market**  
Petronia St.  
Key West Fl. 33040

Qty.	Item		Specifications
<b>TREES</b>			
3	<i>Coccoloba diversifolia</i>	Pigeon Plum	12' ph
13	<i>Eugenia foetida</i>	Spanish Stopper	5-6' PH. Standard
<b>SHRUBS AND GROUNDCOVERS</b>			
28	<i>Psychotria nervosa</i>	Wild Coffee	3 gal.



**PLANTING NOTES**

**GENERAL**

- Contractor shall verify location of utilities, existing trees and vegetation prior to commencement of the plant installation.
- Contractor shall anticipate the possibility of the Landscape Designer locating certain plants and trees in the field. Location of plant materials as shown on the planting plan are essentially diagrammatic.
- All trees and shrubs shall be of the sizes called for in the plant materials schedule. Any plant materials as determined by the Landscape Designer as not meeting the size and quality as called for shall be removed from the site.
- See Landscape specification for top soil and site grade preparation.
- All plant materials shall be Florida #1 or better as outlined by Grades and Standards for Nursery Plants, Division of Plant Industry, Florida Dept. of Agriculture and Consumer Services.
- All trees required to be planted as part of the contract shall be planted as specified. All trees are to be staked and guyed as determined to be necessary. Landscape contractor will remove staking and guying from trees within the four month guarantee period.
- Mulch all disturbed areas with a three (3") inch minimum layer of eucalyptus mulch or an approved equivalent as specified on the plan.
- Water all plant material immediately after planting.
- If quantities differ between the plan and schedule, those on the schedule shall govern. The contractor shall verify that the quantities indicated will provide the coverage as specified and report discrepancies at the time of bidding to the Landscape Designer.
- All shrub material shall be planted in staggered rows spaced on center (O.C.) as indicated.
- All plant material shall be guaranteed FOUR MONTHS (120 days) from acceptance by the owner.
- The contractor shall notify the Landscape Designer prior to any changes.
- Irrigation to be accomplished by the use of an underground irrigation system that shall promote water conservation throughout by the use of efficient sprinkler zoning and/or by utilizing drip irrigation components. Irrigate as needed.

**RESEARCH:**  
Contractor shall research plans and site to determine present location of utilities and obstructions before commencing work. Contractor shall ensure that before he commences work that all necessary permits have been obtained.

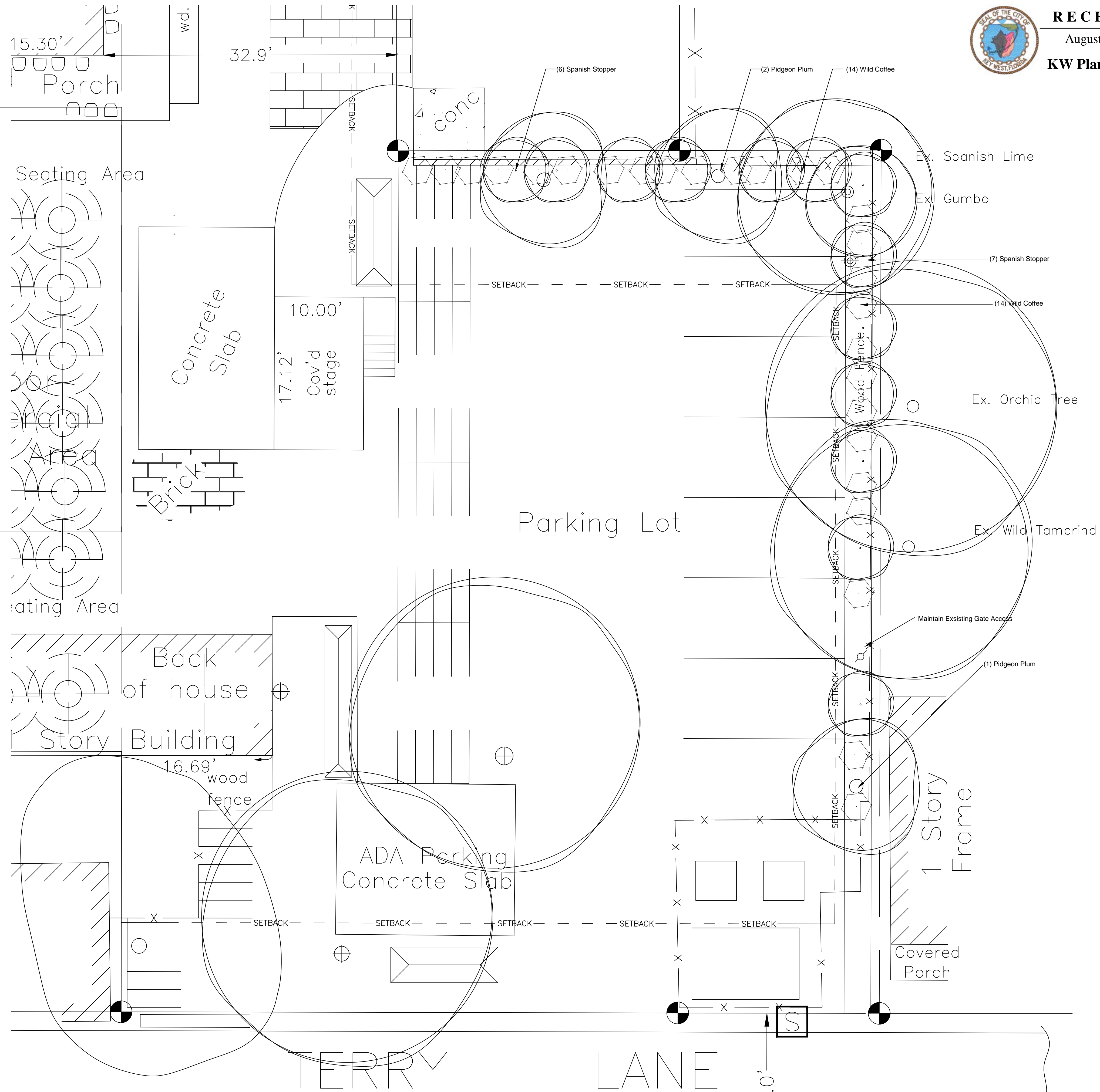
**DRAWINGS:**  
Any discrepancies between the drawings and specifications shall be brought to the attention of the owner at time of bid.

**REPLACEMENT:**  
All plant replacement shall be done with the same size and species of the plant that was specified. Any substitutions made for any reason must be approved by the owner.

**CONTAINER GROWN MATERIAL:**  
All container grown material shall be healthy vigorous, well rooted plants, and established in the container so that the root mass will retain its shape and hold together when removed from the container.

**FINE GRADING:**  
The landscape contractor shall be responsible for fine grading of the site. This means that prior to the installation of landscape material, the site shall be brought within 1" of final grade so that the landscape contractor will be able to perform the final grading. All landscape areas, sod areas, are to be fine graded.

**BACKFILL/SOIL MIX:**  
Planting beds shall contain good soil, complete with organic sand mix. There shall be no construction debris, rocks larger than 1" within bed areas. Soil within planting beds shall not be compacted. All compacted sub-base/ shell/ caprock is to be removed from all landscape areas.

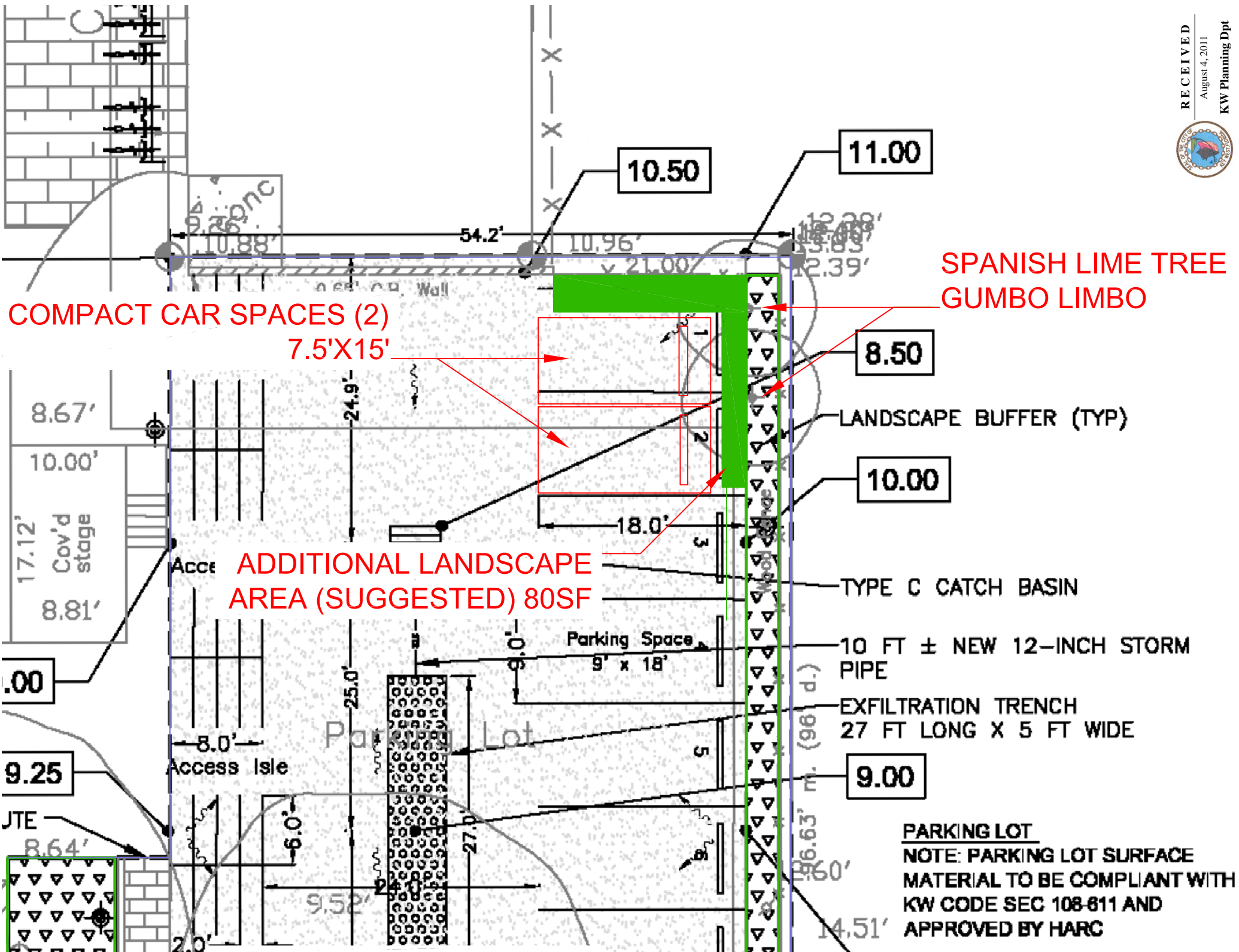


**LANDSCAPE PLAN**



NORTH

1" = 10'-0"



COMPACT CAR SPACES (2)  
7.5' X 15'

ADDITIONAL LANDSCAPE  
AREA (SUGGESTED) 80SF

SPANISH LIME TREE  
GUMBO LIMBO

**PARKING LOT**  
NOTE: PARKING LOT SURFACE  
MATERIAL TO BE COMPLIANT WITH  
KW CODE SEC 108-811 AND  
APPROVED BY HARC

**Approved Site Plans  
per Approved Building Permits**

APPLICATION FOR BUILDING PERMIT

AUG 29 1997

ADDRESS OF CONSTRUCTION: 804 WHITEHURD ST.

OWNER: BAHAMA VILLAGE MARKET, LTD. TELEPHONE: 294-3225

ADDRESS: 201 FRONT ST., SUITE 310

CONTRACTOR: H.T.M., INC. TELEPHONE: 292-8950

CONTRACTOR ADDRESS: 201 FRONT ST., SUITE 310

ARCHITECT/ENGINEER: WILLIAM P. HANN MCH., P.A. TELEPHONE: 296-8302

ARCHITECT/ENGINEER ADDRESS: 915 EDYON ST.

PROPERTY IS: RESIDENTIAL X COMMERCIAL X

EXISTING # UNITS: \_\_\_\_\_ # UNITS AFTER CONSTRUCTION: \_\_\_\_\_

EXISTING # BEDROOMS: \_\_\_\_\_ # BEDROOMS AFTER CONSTRUCTION \_\_\_\_\_

SQUARE FOOTAGE OF EXISTING BUILDING(S); \_\_\_\_\_

DIMENSIONS OF NEW BUILDING(S) OR ADDITION: 1,125 SF.

TYPE OF WORK: NEW X REMODEL \_\_\_\_\_ REPAIR \_\_\_\_\_ ADDITION \_\_\_\_\_

DESCRIPTION OF WORK: NEW 15' X 75' OPEN MARKET BUILDING  
AND SITE WORK

*ISSUED*

ESTIMATED COST OF COMPLETED WORK (LABOR & MATERIAL): \$ 48,000.00

SEC. 35.13(6) OF THE KEY WEST CODE OF ORDINANCES: If the work described in any building permit has not begun within ninety (90) days from the date of issuance thereof, said permit shall expire; it shall be canceled by the Chief Building Official, and written notice shall be given to the persons affected.

If the work described in any building permit has not been substantially completed within two (2) years of the date of issuance thereof, said permit shall expire and be canceled by the Chief Building Official and written notice thereof shall be given to the persons affected, together with notice that further work described in the canceled permit shall not proceed unless and until a new building permit has been obtained.

"FAILURE TO COMPLY WITH THE MECHANIC'S LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS"

Owner or Contractor \_\_\_\_\_

State Certification/Registration \_\_\_\_\_

Plan Reviewer \_\_\_\_\_

Date \_\_\_\_\_

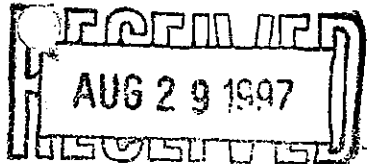
Building Official \_\_\_\_\_

Date \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Zoning HRec3 Flood Zone X Re# \_\_\_\_\_ Assessed Value \$ \_\_\_\_\_

2464-24455-OK



# HARC

## Historic Architectural Review Commission 1997 HARC Application

A HARC application must precede applications for building permits, variances, and development review approvals. HARC applications must meet the requirements as outlined by the *Secretary of the Interior's Standards for Rehabilitation and Design Guidelines in Key West's Historic District*. The filing of an application does not ensure approval.

This application should be completed to the best of your ability and returned to the Planning Department, 605-A Simonton Street, Key West, Florida. All applications will be forwarded to the HARC board for a decision. The applicant should be present at the scheduled HARC meeting.

- Unless scope of work follows staff approval criteria, application review period is typically 14 days.
- Consult the tree commission for questions regarding tree removal.
- Please refer to the *Secretary of the Interior's Standards for Rehabilitation and Design Guidelines in Key West's Historic District* (available at the City Planning Office) for additional information.

### Required attachments:

- Photographs of existing building (for repairs, rehabilitations, or expansions)
- Photographs of adjoining buildings (for new buildings or major additions)
- Two (2) sets of to scale drawings of floor plans, site plans, exterior elevations (for new buildings or major additions)
- Illustrations of manufactured products to be used such as shutters, doors, and windows; paint color chips; and awning fabric samples
- Brief written description of scope of work intended under this application

**Applications that do not have the required attachments will be considered incomplete and will not be brought to the HARC board.**

Certificate of Appropriateness Number (assigned by HARC) HA 97-2958

Name of Property Owner: BAHAMO VILLAGE MARKET LTD. Phone: 294-3225

Permanent Home Address: 201 FRONT ST., SUITE 310

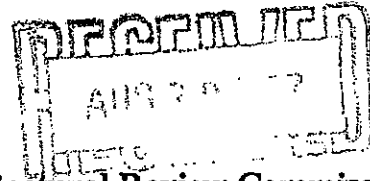
Applicant(owner or legally designated agent): W.P. HORN ARCH., P.A. Phone: 296-8302

Applicant's Mailing Address: 915 EATON ST.

Address of Construction: 804 WHITEHEAD ST.

# HARC

Historic Architectural Review Commission



Applicant's Summary of Scope of Work (Please type or print): NEW ONE STORY  
OPEN MARKET BUILDING AND SITE WORK AS SHOWN  
ON PLANS. REMOVAL OF "SHED" BUILDING THAT IS  
FALLING DOWN. PAINT WHITE

I attest that I will not exceed the scope of work as summarized above without coming back before the HARC for additional review.

Date: 8-28-97 Signature: [Signature]

### For HARC Use Only

Approved  Denied  Deferred

Reason for deferral/denial: \_\_\_\_\_

New Hearing Date: \_\_\_\_\_

HARC staff comments: \_\_\_\_\_

Limits of work approved, conditions of approval, and/or suggested changes, etc.:  
ELEVATIONS TO BE MOVED BACK / NO HANGING SIGNS -  
MUST BE PLACED OVER DOOR.

Date: SEP 9 9 1997 By: [Signature]

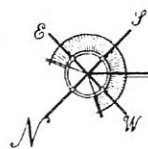
Historic Architectural Review Commission  
HISTORICAL ARCHITECTURAL  
REVIEW COMMISSION

SUBJECT TO COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS OF THE KEY WEST BUILDING DEPT.

DATE: JCE 10 30 97  
 PERMIT NO. 923571 DATE 10 14 97

HISTORICAL ARCHITECTURAL REVIEW COMMISSION  
 OCT 28 1997

OFFICE



**SITE PLAN**

SITE AREA: 19,491 S.F. (0.45 ACRES)  
 ZONING DISTRICT: HNC-3  
 FLOOD ZONE: 'X' ZONE  
 SCALE: 1/8"=1'-0"

Boldy Demet  
 2464-24455  
 WILLIAM P. HORN  
 ARCHITECT, P.A.  
 49-97-2958  
 800 WHITE STREET  
 KEY WEST,  
 FLORIDA  
 33640

TEL 309 296-8302  
 FAX 309 296-1033  
 LICENCE NO.  
 AR 001357

BAHAMA VILLAGE MARKET  
 WHITEHEAD & PETRONIA ST.  
 KEY WEST, FLORIDA

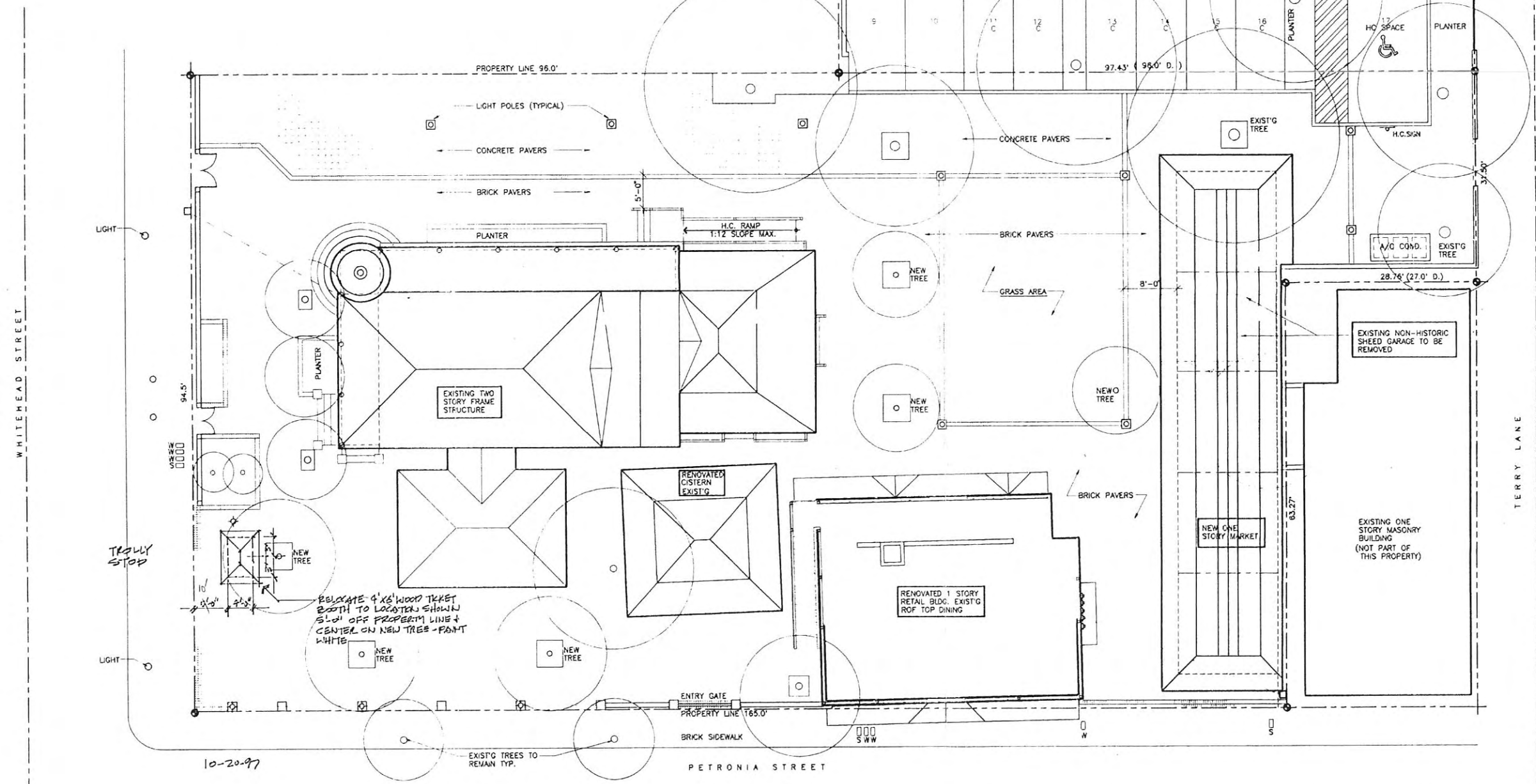
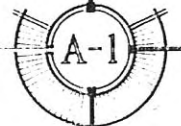
SEAL

DATE  
 8-5-97

REVISIONS

DRAWN BY  
 BH

PROJECT NUMBER  
 9725R



**BAHAMA VILLAGE MARKET**  
 WHITEHEAD & PETRONIA STREET  
 KEY WEST, FL





THE CITY OF KEY WEST
BUILDING DEPARTMENT

P.O. BOX 1409
KEY WEST, FL 33041-1409
(305) 292-8151

Application Number . . . . . 98-00002419 Date 8/19/98
Property Address . . . . . 804 WHITEHEAD ST
RE #/PARCEL #/TAX ID etc . . . . . 0001-4010-000000-
Application description . . . . . SIGN APPLICATION
Property Zoning . . . . . NEIGHBORHOOD COMMERCIAL
Application valuation . . . . . 1000

Owner Contractor
BAHAMA VILLAGE MARKET HTM INC.
226 PETRONIA ST POB 2218
KEY WEST FL 33040 KEY WEST FL 33045
(305) 294-3225

Structure Information
Flood Zone . . . . . FLOOD ZONE X
Other struct info . . . . . HARC #

Permit . . . . . SIGN PERMIT
Additional desc . . . . .
Permit Fee . . . . . 21.00
Issue Date . . . . . 8/19/98 Valuation . . . . . 0
Expiration Date . . . . . 8/10/00

Qty Unit Charge Per BASE FEE Extension
21.00

Special Notes and Comments
BUILD SIGN 12'2" HT/ 10" LETTERS, 8'X 8'
WOOD POST AGED PER PLANS ON FILE
BLUE/GREEN/GOLD COLORS, NO CORAL AT BASE
PER HARC #H8-98-2419
BAHAMA VILLAGE MARKET

Table with 5 columns: Fee summary, Charged, Paid, Credited, Due. Rows include Permit Fee Total and Grand Total.

Handwritten signature: Paul Costa

THE PROPOSED CONSTRUCTION IS PERMITTED ON CONDITION OF COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND IN CONFORMANCE WITH ALL PLANS, SPECIFICATIONS AND ESTIMATES SUBMITTED WITH THE SUBJECT APPLICATION. PERMIT VOID UNLESS CONSTRUCTION SUBSTANTIALLY COMMENCED WITHIN 90 DAYS OF ISSUE

1/17/99
DATE ISSUED

Date: 98 2419 \$21.00 PT
1/07/99 50 Receipt: 0030052
CHECK 100157
0000000000000000

Handwritten signature and BY

98-2419

KEY WEST BUILDING DEPARTMENT  
APPLICATION FOR BUILDING PERMIT

ADDRESS OF CONSTRUCTION: 804 Whitehead  
 OWNER: Balmain Village Market TELEPHONE: 299-3225  
Old Town Key West Dow Blvd  
 ADDRESS: 201 Front St. Suite 310  
 CONTRACTOR: HTM, INC. TELEPHONE: \_\_\_\_\_  
 CONTRACTOR ADDRESS: \_\_\_\_\_  
 ARCHITECT/ENGINEER: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_  
 ARCHITECT/ENGINEER ADDRESS: \_\_\_\_\_  
 PROPERTY IS: RESIDENTIAL \_\_\_\_\_ COMMERCIAL   
 EXISTING # UNITS: NA # UNITS AFTER CONSTRUCTION: NA  
 EXISTING # BEDROOMS: NA # BEDROOMS AFTER CONSTRUCTION NA  
 SQUARE FOOTAGE OF EXISTING BUILDING(S): NA  
 DIMENSIONS OF NEW BUILDING(S) OR ADDITION: Sign 12'3" x 12'H  
 TYPE OF WORK: NEW  REMODEL \_\_\_\_\_ REPAIR \_\_\_\_\_ ADDITION \_\_\_\_\_  
 DESCRIPTION OF WORK: to Build sign out of Old bicycle  
Frames and 1/4 inch Sheet Metal letters 10" High  
Chain, 8x8 Wood Post / Alternate  
old City Cast Iron Post  
no coral at Base - @  
 ESTIMATED COST OF COMPLETED WORK (LABOR & MATERIAL): \$ 1,000

SEC. 35.13(6) OF THE KEY WEST CODE OF ORDINANCES: If the work described in any building permit has not begun within ninety (90) days from the date of issuance thereof, said permit shall expire; it shall be canceled by the Chief Building Official, and written notice shall be given to the persons affected.

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"FAILURE TO COMPLY WITH THE MECHANIC'S LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS"

*Heed R. Fisher Porter*

Owner or Contractor \_\_\_\_\_ State Certification/Registration \_\_\_\_\_

*James E. ...* 8/15/98  
 Plan Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Building Official \_\_\_\_\_ Date \_\_\_\_\_

Permit Fee \$ 21.<sup>00</sup>

Zoning: HNC3 Flood Zone  Re# \_\_\_\_\_ Assessed Value \$ \_\_\_\_\_

2464-551455-OK

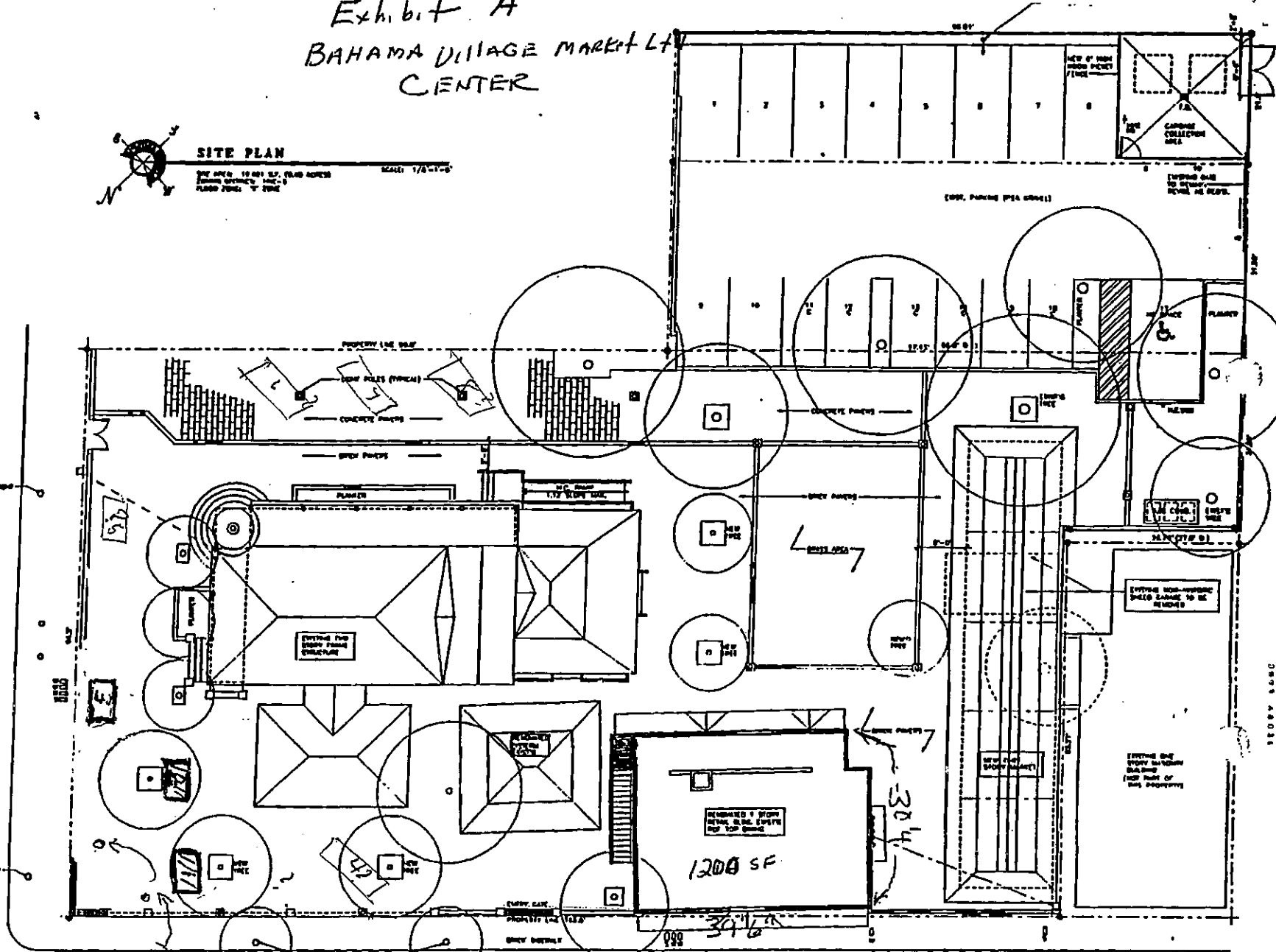
# Exhibit A BAHAMA VILLAGE MARKET LTD CENTER



## SITE PLAN

LOT AREA: 10,001 SQ. FEET  
 TOTAL OFFICE: 1,400 SQ. FT.  
 PAVED PARKING: 1,700 SQ. FT.

Whitehead St



SIGHT TRIANGLE  
NO EXPOSURE

Petronia

BAHAMA VILLAGE MARKET, LTD CENTER  
 WHITEHEAD & PETRONIA STREET  
 WRY WRST. FL.

0 000 4 00 01

# **Waste Management Letter**



**RECEIVED**

September 22, 2011

**KW Planning Dpt**

**WASTE MANAGEMENT**

125 Toppino Industrial Road  
Rockland Key, FL 33040  
305-296-8297  
305-296-8175 Fax



September 15, 2011

Ed Swift III

201 Front Street

Key West Fl. 33040

Ed, please accept this letter to confirm our meeting reference the property corner Whitehead & Petronia. Trash and recycling pick up will occur on Whitehead Street between six and eight am. They will be placed near the trolley stop, which will give easy access, and they can be removed from curbside so as not to interfere with other operations. Toter service is available seven days per week if necessary and can be adjusted with business volumes. I suggest at least three times per week with a 96-gallon for trash and the same for recycling. Please call me if you have any questions.

A handwritten signature in black ink that reads "Greg Sullivan".

Greg Sullivan

Senior District Manager

# **Community Meeting**

# Open House

## Bahama Village Market

Please join us to tour and discuss our ideas for a revitalized Bahama Village Market. We propose to change the existing mix of uses by reducing the existing indoor and outdoor commercial retail space and use it instead for the restaurant.

We'd like to share our plans and hear what you think.

**Where: We're inviting everyone to meet in the interior courtyard off of Petronia Street**

**When: Monday September 5<sup>th</sup> from 5 - 7pm**

We look forward to speaking with you. If you are unable to attend and have questions or comments, please call us (Debbie Batty, 305-509-1958 or Owen Trepanier, 305-293-8983).



**A special note and apology from Trepanier & Associates:** Prior to the first hearing of the Planning Board, the property owners asked that we assist in the mailing of a letter to all neighbors within 300 feet of the property. The letter (copied onto the back of this invitation) was an invite to review the plans and meet with the property owners. Unfortunately, we made a mistake with our "mail merge" and not all neighboring property owners received the letter. We believe this may have caused some ill feelings and for this we sincerely apologize.

August 4<sup>th</sup>, 2011

[REDACTED]  
[REDACTED] Petronia St., Unit 1  
Key West, FL  
33040

**Re: Bahama Village Market**

Dear Mr. [REDACTED]

We are the long time owners of the Bahama Village Market on the corner of Whitehead and Petronia, and are trying to bring the Bahama Village Market back to life.

We have owned the property since the early 1990s. Our goal for the Market was to create an environment where small business owners and craftsmen and women could flourish, while at the same time have a positive impact on the Petronia Street corridor. The concept did flourish in the beginning but the property has since sat fallow.

We put the property up for sale and some folks contracted to buy it, and then tried to develop a nightclub-type business. They were unsuccessful for many reasons and they are no longer involved with the property. As the long-time property owners, we've decided to bring the property back to life ourselves in a considerate, respectful way. We understand many of the concerns people have regarding the impacts of the property and we would like to take this opportunity explain what we propose to do.

The Bahama Village Market is currently recognized for commercial retail, office, restaurant, and residential uses. We propose to alter the existing mix of uses by significantly reducing the amount of commercial space, retail and office space (from approx 15,500 sq. ft. to 2,500 sq. ft.) and incorporate some of that area into the existing restaurant. The restaurant will be café-style with indoor and outdoor seating. The kitchen will remain adjacent to Petronia Street, the parking lot will be brought up to current code, paved, landscaped, and stormwater management installed. Deliveries will be prohibited on Petronia, required to occur only in official loading zones. The hours of operation will be limited to 8 a.m. to 11 p.m.

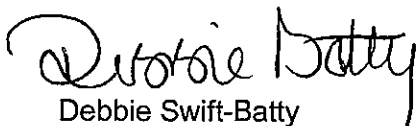
City law now requires that if the property is not managed according to the conditions of approval (deliveries, noise, parking, etc.) the City will have the authority to revoke our right to operate. Thus, as the owner, we are making a commitment to the City and you, our neighbor, that this property will managed considerately, respectfully, and responsibly.

We hope you will support the process.

Please contact Debbie Batty at 305-509-1958 if you have any comments, concerns questions or would like additional information. We will be happy to talk to you, right at your home, or meet you at the property so you can fully understand our concept.

Thanks for your time.

Sincerely,

  
Debbie Swift-Batty



**DRC**  
**Minutes & Comments**

**3. Conditional Use - 802 - 808 Whitehead Street (RE Number) - A Conditional Use request for a restaurant in the HNC-3 zoning district per Section 122- 868(9) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida**

Nicole Malo gave an overview of the project.

Owen Trepanier presented the project.

Mrs. Nicklaus stated that the parking constraints were a concern.

Mr. Torrence asked the applicant where deliveries were going to take place. Mr. Trepanier stated they would utilize the parking lot as well as the trolley stop area on Whitehead Street for deliveries

Mr. Torrence suggested the applicant attend the next District 6 community meeting for community input

Ms. Ignaffo requested information regarding ADA accessibility, sewer connection plan, grease intercept trap dimensions, and storm water plan.

Mrs. Torregrosa stated that any exterior changes to the building would have to come before HARC.

Mrs. Nicklaus stated that 20% of every dollar spent needs to go toward ADA improvements.

The following comment was received from the Florida Keys Aqueduct Authority and read into the record:

This site is presently being served by multiple FCAA Location #s. There is a 12" water main located on Whitehead Street, a 6" water main on Petronia Street and a 4" water main on Terry Lane. A complete set of plans will be required for review to determine meter location and requirements and any System Development Charges that will be due.

**4. Variance - 321 Catherine Street (RE Number 00026350-000000) - A Variance request for existing non-conforming front yard setback and building coverage for an addition to the primary single family contributing structure in the HMDR zoning district per Section 122-600(4) a. and (6) a. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.**

Nicole Malo gave an overview of the project

William Horn presented the project.

Mr. Torrence recommended that the back area be cleared of debris.

Mr. Averette, Ms. Ignaffo and Mrs. Nicklaus had no comment.

Mrs. Torregrosa recommended the applicant include the second reading for HARC March 28, 2011 in the application.

**5. Variance - 1621 Bahama Drive (RE# 00070230-000000) For building coverage requirements in the SF zoning district per Section 122-235 (4) a. 1. of the Land Development Regulations of the City of Key West.**

Brendon Cunningham gave an overview of the project.

**From:** Elizabeth Ignaffo  
**Sent:** Tuesday, August 02, 2011 4:08 PM  
**To:** Rick Milelli  
**Cc:** Owen Trepanier; Debbie Swift; Chris King IDG; Nicole Malo; Doug Bradshaw  
**Subject:** Re: Bahama Village Parking Lot Plan

**Follow Up Flag:** Follow up  
**Flag Status:** Red

**Attachments:** BAHAMA MKT\_COMPACT SPACES.pdf

Hi Rick,

I reviewed the revised parking site plan, and note the following comments:

1. It appears parking spaces # 1 and 2 will impact existing trees, a Spanish Lime and Gumbo Limbo.
2. The combined landscape areas total less than 10% of the parking lot area, 610 square feet.

Please find the attached sketch that shows compact car spaces and increased landscape area replacing the standard vehicle spaces # 1 and 2. Increasing the landscape area and substituting compact spaces will protect the existing trees. The attached sketch is provided as a suggestion.

Thanks.  
Elizabeth

Elizabeth Ignoffo, E.I.  
Permit Engineer  
City of Key West  
3140 Flagler Avenue  
Key West, Florida 33040  
[\(305\) 809-3966](tel:(305)809-3966)  
[eignaffo@keywestcity.com](mailto:eignaffo@keywestcity.com)

On Mon, Jul 25, 2011 at 6:26 PM, Rick Milelli <[rmilelli@historictours.com](mailto:rmilelli@historictours.com)> wrote:

Hi Elizabeth,

Here's the revised drainage plan. I've addressed all of your comments. I increased the landscape buffer area to 638 sf by utilizing existing planters and creating new

ones around the existing trees.

Thanks,

Rick

Rick Milelli, P.E.

Meridian Engineering LLC

201 Front Street, Suite 207

Key West, FL 33040

Ph: [305-293-3263](tel:305-293-3263)

Fax: [305-293-4899](tel:305-293-4899)

Cell: [305-481-0400](tel:305-481-0400)

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**From:** Elizabeth Ignaffo [mailto:[eignaffo@keywestcity.com](mailto:eignaffo@keywestcity.com)]

**Sent:** Wednesday, July 13, 2011 9:13 AM

**To:** Rick Milelli

**Subject:** Re: Bahama Village Parking Lot Plan

Hi Rick,

Owen and I spoke about parking lot paving material and agreed notation should state "parking lot surface material to be compliant with KW Code of Ordinances Sec. 108-611 and be approved by HARC." The paving and exfiltration trench details should be revised to acknowledge other surface material options.

Please show the ADA path of travel and associated dimensions and markings, and be advised that a minimum 44" path of travel in front of the ADA parking space is required.

The parking plan must show driveway width dimension, wheel stops and space markings. Note: Landscaping in the amount 10% of the area, 580 square feet, shall be required.

In regard to the drainage plan calculations, I believe the exfiltration trench and inlets are sufficient to meet the requirements of the code.

Thanks.

Elizabeth

On Mon, Jul 11, 2011 at 3:21 PM, Rick Milelli <[rmilelli@historictours.com](mailto:rmilelli@historictours.com)> wrote:

Hi Elizabeth,

The Planning Dept is looking for a letter from the Engineering Dept about the parking lot plan for Bahama Village Market. Could you take a look at the plan and let me know if it looks ok? I'll drop off signed and sealed copies if it's good to go. Owen told me that HARC doesn't like asphalt parking lots. I can change it if it's an issue.

Thank you,

Rick

Rick Milelli, P.E.

Meridian Engineering LLC

201 Front Street, Suite 207

Key West, FL 33040

Ph: [305-293-3263](tel:305-293-3263)

Fax: [305-293-4899](tel:305-293-4899)



(305) 295-1000  
1001 James Street  
PO Box 6100  
Key West, FL 33040-6100  
www.KeysEnergy.com

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UTILITY BOARD OF THE CITY OF KEY WEST

April 27, 2011

Mr. Don Craig  
City of Key West  
PO Box 1409  
Key West, Florida 33040

RE: DEVELOPMENT REVIEW COMMITTEE  
KEYS ENERGY SERVICES COMMENTS MEETING OF APRIL 28, 2011.

Dear Mr. Don Craig:

Keys Energy Services (KEYS) received the Development Review Committee Agenda for April 28, 2011. KEYS has reviewed the items that will be discussed at the City's Development Review Committee meeting.

Below are KEYS' comments:

1. LOCATION: 921 Eaton Street – Variance  
COMMENT: KEYS has no objections to the Variance request.
2. LOCATION: 802-808 Whitehead Street – Conditional Use  
COMMENT: KEYS has no objections to the Conditional Use request.
3. LOCATION: 321 Catherine Street - Variance  
COMMENT: KEYS has no objections to the Variance request.
4. LOCATION: 1621 Bahama Dr – Variance  
COMMENT: KEYS has no objections to the Variance.
5. LOCATION: 616 Virginia Street - Variances  
COMMENT: KEYS has no objections to these Variances.  
Customer will need to provide full set of plans for future project.
6. LOCATION: 711 Baker's Lane – Variances  
COMMENT: KEYS has no objections to these Variances.  
Customer must provide full set of plans and coordinate with Keys for new location of electrical service.
7. LOCATION: 1315 Third Street – Variance  
COMMENT: KEYS has no objections to the Variance.
8. LOCATION: 529 United Street – Conditional Use  
COMMENT: KEYS has no objections to the Conditional Use request.  
Customer will need to coordinate with Keys and provide a "Project Review Form". Keys will need to verify existing facilities and/or any upgrades will be needed.

# **Parking and Trip Analysis**

# PARKING AND TRIP ANALYSIS

## Bahama Village Market Development Petronia and Whitehead Streets, Key West FL

Prepared For:

Bahama Village Market, LLC  
201 Front St. Ste. 224  
Key West, FL 33040

Prepared By:

Richard J. Milelli, P.E.  
P.E. # 58315  
Historic Tours of America  
201 Front St. Ste. 207  
Key West, FL 33040  
(305) 293-3263



Certificate of Authorization # 26120

April 2011

*RJM*  
4/7/11



# Bahama Village Market - Potential Intensity Analysis

## Executive Summary

This intensity analysis was performed to understand the potential impacts of the proposed change in the mix of allowable uses associated with the Bahama Village Market property located on the corner of Whitehead and Petronia Streets. To understand the potential intensity impacts, two indicators were analyzed: potential trip generation and potential parking demand.

For trip generation the Institute of Transportation Engineers ("ITE") Trip Generation Manual, 7<sup>th</sup> Edition and the concurrency criteria of Key West Comprehensive Plan were used. City Code Sec. 108-572 along with ITE impact methodology was used to calculate potential parking demand. In both cases reductions in the relative potential impacts of both trip generation and parking demand were found as demonstrated below:

Potential Trip Generation Summary Table

Total Trips/ 1,000 sq. ft./ Day	Weekday		Saturday		Sunday	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
	48.88	34.92	46.62	33.79	25.15	24.29

Potential Parking Demand Summary Table

Sum of all uses	Existing	Proposed
	71.1	68.3

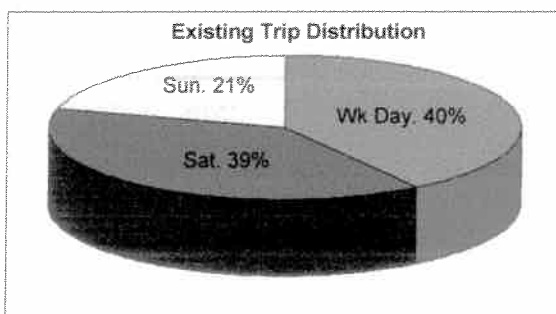


## Analysis

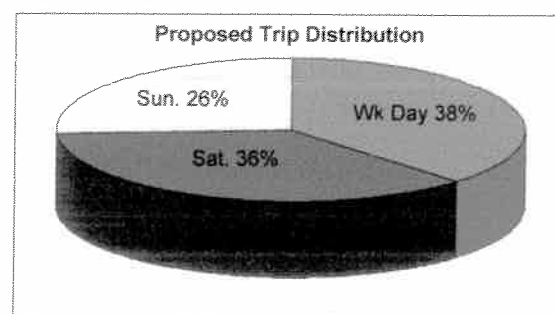
### Trip Generation:

A trip generation analysis was performed based on the concurrency criteria of the City of Key West's Land Development Regulations and Comprehensive Plan, using the 7<sup>th</sup> edition of the Institute of Transportation Engineers ("ITE") Trip Generation Manual. The Manual uses historical studies throughout the United States from the 1960s to 1990s on traffic impacts. Most of these studies come from suburban environments and therefore are heavily biased towards automobile-oriented communities. The actual trip generations for Key West is expected to be much lower and to be more bicycle-pedestrian oriented.

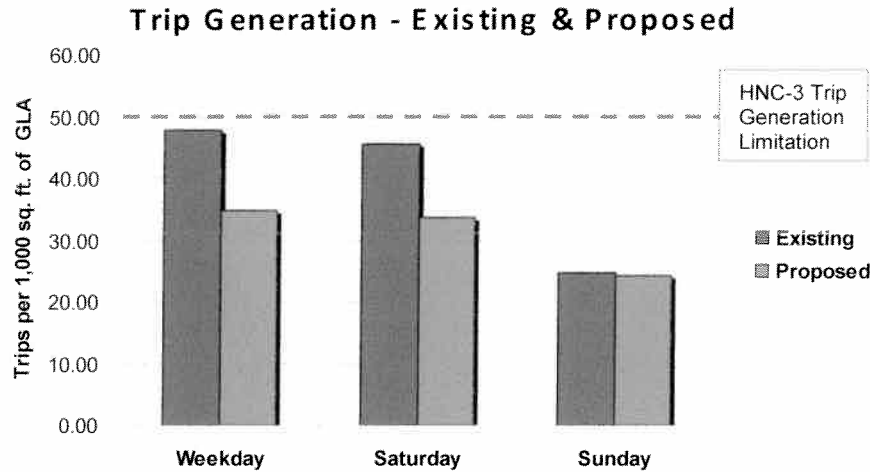
The ITE trip generations predictions show the overall distribution of potential trips will not change significantly. This means the potential trips associated with the various days of the week will continue to be similarly associated with the same days of the week. Therefore the neighborhood will not experience a significant change in the potential traffic patterns as a result of the proposal.



1



The ITE trip generation predictions also show a decrease in potential trip generation of up to 10 trips per 1,000 sq. ft. of gross leasable area per day<sup>1</sup> as a result of the proposed change in the mix of uses. The predictions also show the potential trip generation falls below 50 trips per 1,000 sq. ft. of the gross leaseable area per day, and thus the proposed change in the mix of uses complies with intensity limitations of the HNC-3 district.



Potential Trip Generation Calculations						
Trip Generator	Weekday		Saturday		Sunday	
	Existing	Proposed	Existing	Proposed	Existing	Proposed
No. of Restaurant Seats	45.00	165.00	45.00	165.00	45.00	165.00
Trips per Seat (ITE #931)	2.86	2.86	2.81	2.81	2.15	2.15
Total Restaurant Trips	128.70	471.90	126.45	463.65	96.75	354.75
Existing Residential Units	3.00	3.00	3.00	3.00	3.00	3.00
Trips per Unit (ITE #220)	6.72	6.72	6.39	6.39	5.86	5.86
Total Residential Trips	20.16	20.16	19.17	19.17	17.58	17.58
Retail GLA	15,943.00	2,553.00	15,943.00	2,553.00	15,943.00	2,553.00
Trips per Retail GLA (ITE# 814)	44.32	44.32	42.04	42.04	20.43	20.43
Total Retail Trips	706.59	113.15	670.24	107.33	325.72	52.16
Office GLA	0.00	529.00	0.00	529.00	0.00	529.00
Trips per Office GLA (ITE# 710)	11.01	11.01	2.37	2.37	0.98	0.98
Total Office Trips	0.00	5.82	0.00	1.25	0.00	0.52
Total Gross Trips	855.45	611.03	815.86	591.40	440.05	425.01
Gross Leaseable Area (1,000 sq. ft.)	17.50	17.50	17.50	17.50	17.50	17.50
Total Trips/ 1,000 sq. ft.	48.88	34.92	46.62	33.79	25.15	24.29



<sup>1</sup> The HNC-3 zoning district requires trip generation to be measured in terms of trips per 1,000 sq. ft. of gross leaseable floor area per day. However, for restaurants and other establishments with significant outdoor activity area, the ITE indicates trip generation by floor area is an inaccurate measure of intensity, due to the additional intensity associated with the non-floor area (i.e. outdoor) portions of the site. To mitigate the potential inaccuracy, gross leaseable area was used, instead of just the gross leaseable floor area, and includes indoor and outdoor activity area, thereby incorporating the additional potential intensity of the outdoor (non-floor area) uses.

Parking Demand:

The parking demand study was performed using the methodology and requirements of Article VII. Division 2. Regulations for Required Spaces. Sec. 108-572 lays out the schedule of off street parking requirements for each use. This site currently has three primary uses: retail, restaurant, and residential.

Section 108-572 specifies the following parking spaces per use:

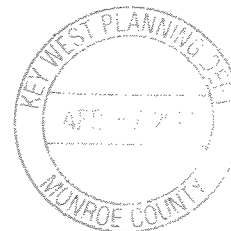
Use	Parking Requirement
Retail	1 space per 300 sq. ft. gross floor area
Restaurant	1 space per 45 sq. ft. of consumption area
Residential	1 space per dwelling unit
Office	1 space per 300 sq. ft. gross floor area

Retail parking requirements are based on floor area. On sites such as this, with significant outdoor commercial activity areas, intensity studies based on floor area alone do not produce accurate results since outdoor areas are not considered "floor area" under the code. Therefore, following the methodology of the ITE, the parking requirements in this study include the impacts of both indoor and outdoor commercial areas. By including the impacts of both indoor and outdoor commercial areas, the resulting data more accurately reflects the true potential impacts of the uses.

Restaurant parking requirements in the code are also based on floor area. Again, following the ITE methodology for restaurants with significant outdoor consumption areas, this study analyzed impacts based on number of seats (both indoor and outdoor), rather than just consumption area as it relates to floor area. The result is a more accurate understanding of potential impacts and the related parking demand.

When the parking requirements of Sec. 108-572 together with the ITE based impact methodologies are applied to the existing and proposed mix of uses a 4% reduction is revealed (as demonstrated below).

Use	Existing	Proposed
No. of Restaurant Seats	45 seats	165 seats
Functional Consumption Area <sup>1</sup>	675 sq. ft.	2,475 sq. ft.
Parking - Consumption	15 spaces	55 spaces
Residential Units in Existence	3 units	3 units
Parking - Residential	3 spaces	3 spaces
Retail GLA	15,943 sq. ft.	2,553 sq. ft.
Parking - Retail	53.14 spaces	8.51 spaces
Office GLFA	0 sq. ft.	529 sq. ft.
Parking - Office	0 spaces	1.76 spaces
<b>Total Parking</b>	<b>71.14 spaces</b>	<b>68.27 spaces</b>



<sup>1</sup> The functional consumption area is a measure of the consumption area represented by the maximum seating proposed for a site. This project proposes an indoor-outdoor "flexible" seating area. The indoor and the outdoor areas must each individually accommodate the full seating capacity of 165 seats (depending on weather conditions and customer needs), however, according to the application, in no case will the site ever contain more than 165 seats total. Therefore a straight measure of gross consumption area for the flexible seating arrangement produces a wildly inaccurate parking demand. In order to accurately predict the parking

demand of the proposed 165-seat indoor-outdoor flexible seating area, functional consumption area was used. The functional consumption area was determined using the life-safety required area per seat and the maximum number of seats as follows: 165 seats x 15 sq. ft. / seat = 2,475 sq. ft.

Currently the mix of uses is predominantly retail and the percentage of the total parking demand is also predominantly retail. As is depicted in the above table, the proposed changes to the mix of uses will result in a significant reduction in potential retail activity and an increase in the number of restaurant seats. The relative change in uses, however, have similar, but opposite effects on parking demand, i.e. the reduction in retail oriented parking demand by approximately 84%. The increase in seating has a similar but opposite impact on seating-related parking, which increases by approximately 73%. The resulting impact on the potential parking demand as a result of the proposed change in the mix of uses is a decrease of approximately 2 parking spaces.

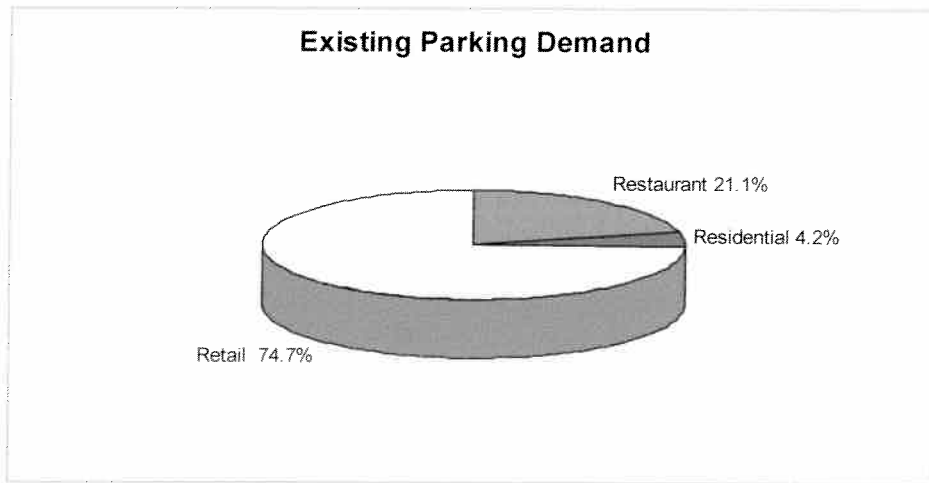


Chart - Existing Parking Demand

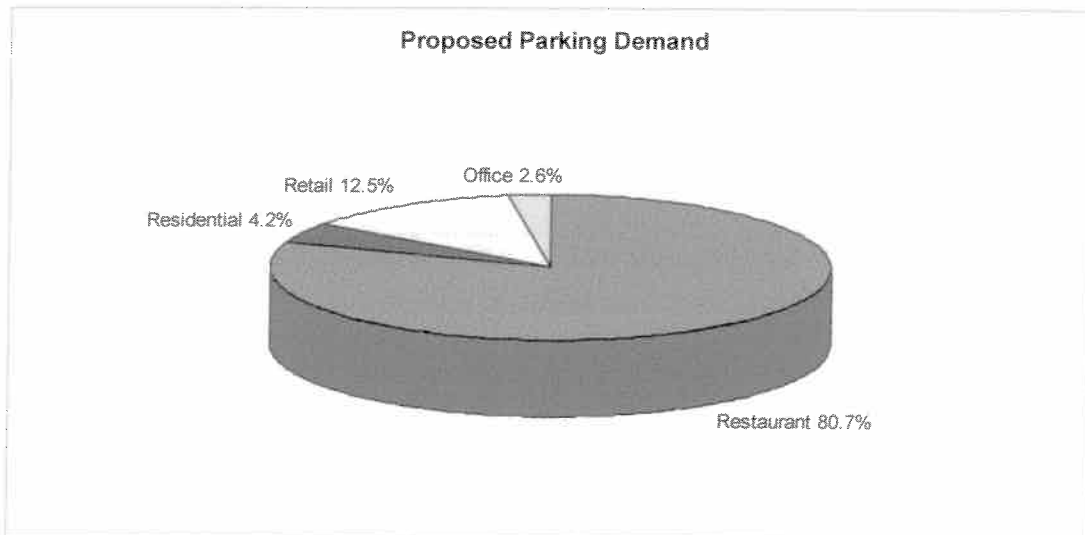
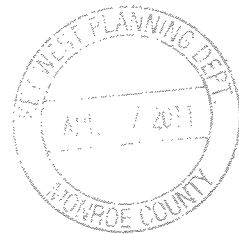


Chart - Proposed Parking Demand

## Conclusion

As a result of the proposed change in the mix of uses at the Bahama Village Market property, there will be an overall reduction in potential trip generation and parking demand. The change of uses will also not significantly alter potential trip distribution.



# **Property Appraiser Information**

802 Whitehead Street - RE# 00014010-000100

806 Whitehead Street - RE# 00014020-000000

320-324 Petronia Street - RE# 00014010-000000

809 Terry Lane - RE# 00014050-000000

811 Terry Lane - RE# 00014060-000000

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501  
Website tested on Internet Explorer

**Our Website is currently undergoing maintenance. (GIS Mapping functionality is being upgrading.)**

## Property Record View

Alternate Key: 1014401 Parcel ID: 00014010-000100

### Ownership Details

**Mailing Address:**

BAHAMA VILLAGE MARKET LLC  
201 FRONT ST  
STE 224  
KEY WEST, FL 33040

### Property Details

**PC Code:** 12 - STORE/OFF/RES OR COMBINATION

**Millage Group:** 11KW

**Affordable Housing:** No

**Section-Township-  
Range:** 06-68-25

**Property Location:** 802 WHITEHEAD ST KEY WEST  
804 WHITEHEAD ST KEY WEST

**Legal Description:** KW PT LOTS 1 & 2 SQR 1 TR 3 B3-6 G22-421/425/429 G44-427/428 BOOK OF WILLS C-408/409 CO JUDGES DOCKET 11-10 OR500-503 OR500-508 OR602-437/39  
OR805-1099/1101 OR1143-338D/C OR1295-1572/73 OR1344-1666/7 OR2133-389/393Q/C

### Parcel Map (Click to open dynamic parcel map)

### Land Details

Land Use Code	Frontage	Depth	Land Area
100d - COMMERCIAL DRY	63	93	5,782.00 SF

### Building Summary

**Number of Buildings:** 1  
**Number of Commercial Buildings:** 1  
**Total Living Area:** 2250  
**Year Built:** 1999

### Building 1 Details

**Building Type**  
**Effective Age** 30  
**Year Built** 1999  
**Functional Obs** 0

**Condition** E  
**Perimeter** 296  
**Special Arch** 0  
**Economic Obs** 0

**Quality Grade** 450  
**Depreciation %** 40  
**Grnd Floor Area** 2,250

**Inclusions:**



Roof Type  
Heat 1  
Heat Src 1

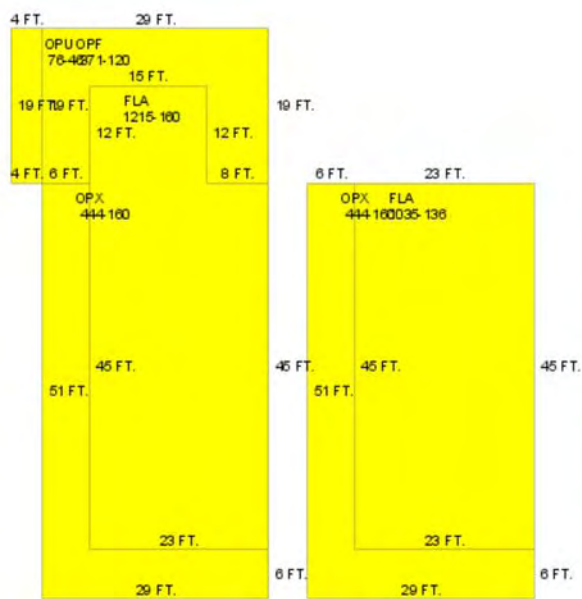
Roof Cover  
Heat 2  
Heat Src 2

Foundation  
Bedrooms 0

Extra Features:

2 Fix Bath 3  
3 Fix Bath 3  
4 Fix Bath 0  
5 Fix Bath 0  
6 Fix Bath 0  
7 Fix Bath 0  
Extra Fix 12

Vacuum 0  
Garbage Disposal 0  
Compactor 0  
Security 0  
Intercom 0  
Fireplaces 0  
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1927					1,215
2	OPF		1	1999					371
3	OPX		1	1927					444

4	OPU	1	1999	76
5	FLA	1	1927	1,035
6	OPX	1	1927	444

**Interior Finish:**

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2612	1 STY STORE-A	100	Y	Y
	2613	APTS-A	100	N	Y

**Exterior Wall:**

Interior Finish Nbr	Type	Area %
687	AB AVE WOOD SIDING	100

**Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN3:WROUGHT IRON	276 SF	0	0	1944	1945	1	60
2	PT3:PATIO	345 SF	0	0	1999	2000	2	50
3	PT2:BRICK PATIO	5,652 SF	0	0	1999	2000	2	50
4	TK2:TIKI	255 SF	17	15	1999	2000	4	40
5	TK2:TIKI	368 SF	23	16	1999	2000	4	40
6	TK2:TIKI	40 SF	8	5	1999	2000	1	40

**Appraiser Notes**

2003-09-12-M-SALE 1995 WITH AK1014397 & AK1014419 FOR \$322,900 WMC TPP8986704-RENTALS

**Building Permits**

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	08-222	05/05/2008		320,000	Commercial	INTERIOR AND EXTERIOR RENOVATION.
	08-238	05/05/2008		240,000	Residential	CONSTRUCT 1600 SF CONJOINED SINGLE FAMILY RESIDENCE

04-0560	02/25/2004	11/22/2004	1,000	NEW SERVING STATION
9701683	07/02/1997	04/30/1999	1	DEMO INTERIOR
9703571	10/31/1997	04/30/1999	1,500	RELOCATION OF BOOTH
9702296	11/19/1997	04/30/1999	105,000	RENOVATION OF APARTMENTS
9704084	12/04/1997	04/30/1999	450	NEW SEWER LINE
9802240	07/17/1998	04/30/1999	14,690	17 NEW FIXTURES
9802419	08/19/1998	04/30/1999	1,000	SIGNS
9802589	08/21/1998	04/30/1999	2,200	WATER/SEWER LINE
9803109	10/06/1998	04/30/1999	10,000	ELECTRICAL
9803341	10/26/1998	04/30/1999	2,500	ELECTRICAL
9702958	12/29/1998	04/30/1999	48,000	ROOFING
9702296	01/26/1999	04/30/1999	105,000	RENOVATIONS
9900704	02/26/1999	04/30/1999	500	ELECTRICAL
9900687	03/02/1999	04/30/1999	10,000	FINISH INTERIOR WORK
9902690	09/25/1999	12/31/1999	800	SIGN
02-3095	11/15/2002	10/30/2003	300	SIGN
04-0354	02/06/2004	11/22/2004	500	ELECTRICAL

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	255,509	43,407	446,957	745,873	745,873	0	745,873
2009	255,509	44,560	582,114	882,183	882,183	0	882,183
2008	255,509	45,630	731,750	1,032,889	1,032,889	0	1,032,889
2007	196,231	46,782	731,750	974,763	974,763	0	974,763
2006	196,231	47,851	526,860	755,474	755,474	0	755,474
2005	254,808	49,003	439,050	641,006	641,006	0	641,006
2004	254,799	50,073	668,250	641,006	641,006	0	641,006
2003	254,799	51,225	267,300	641,006	641,006	0	641,006
2002	254,799	52,293	267,300	610,482	610,482	0	610,482

2001	254,799	53,447	267,300	610,482	610,482	0	610,482
2000	239,233	18,921	222,750	480,904	480,904	0	480,904
1999	71,334	3,647	136,323	298,282	298,282	0	298,282
1998	74,159	3,647	136,323	288,045	288,045	0	288,045
1997	74,159	3,647	120,285	260,336	260,336	0	260,336
1996	70,628	3,647	120,285	211,643	211,643	0	211,643
1995	70,628	3,647	120,285	211,643	211,643	0	211,643
1994	70,628	3,647	120,285	201,988	201,988	25,500	176,488
1993	70,995	252	120,285	198,657	198,657	25,500	173,157
1992	86,614	268	120,285	215,855	215,855	25,500	190,355
1991	86,614	280	120,285	215,868	215,868	25,500	190,368
1990	75,438	292	98,233	181,536	181,536	25,000	156,536
1989	75,438	308	96,228	171,974	171,974	25,000	146,974
1988	49,593	224	80,190	130,007	130,007	25,000	105,007
1987	48,995	232	69,498	118,725	118,725	25,000	93,725
1986	49,260	244	64,152	113,656	113,656	25,000	88,656
1985	47,795	252	36,324	84,371	84,371	25,000	59,371
1984	31,524	260	36,324	68,108	68,108	25,000	43,108
1983	31,524	272	36,324	68,120	68,120	25,000	43,120
1982	32,144	506	26,864	59,514	59,514	0	59,514

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
1/1/1995	1344 / 1666	1	WD	M
2/1/1994	1295 / 1572	1	WD	M
2/1/1972	805 / 1099	30,000	00	Q

This page has been visited 12,342 times.

Monroe County Property Appraiser

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501  
Website tested on Internet Explorer

**Our Website is currently undergoing maintenance. (GIS Mapping functionality is being upgraded.)**

## Property Record View

Alternate Key: 1014397 Parcel ID: 00014010-000000

### Ownership Details

**Mailing Address:**

BAHAMA VILLAGE MARKET LLC  
201 FRONT ST  
STE 224  
KEY WEST, FL 33040

### Property Details

**PC Code:** 11 - STORES ONE STORY

**Millage Group:** 11KW

**Affordable Housing:** No

**Section-Township-  
Range:** 06-68-25

**Property Location:** 318 PETRONIA ST KEY WEST  
320 PETRONIA ST KEY WEST  
322 PETRONIA ST KEY WEST  
324 PETRONIA ST KEY WEST

**Legal Description:** KW PT LOT 1 SQR 1 TR 3 B3-6 G22-421/429 G44-427/428 BOOK OF WILLS C-408/409 OR513-666 OR602-438/39 OR805-1099/1101 OR1143-338D/C OR1295-1572/73 OR1344-1666/7 OR1388-218/219 OR2133-389/393Q/C

**Parcel Map (Click to open dynamic parcel map)**

### Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	74	69	4,489.00 SF

### Building Summary

**Number of Buildings:** 2  
**Number of Commercial Buildings:** 2  
**Total Living Area:** 2196  
**Year Built:** 1943

### Building 1 Details

**Building Type**  
**Effective Age** 15  
**Year Built** 1943  
**Functional Obs** 0

**Condition** E  
**Perimeter** 140  
**Special Arch** 0  
**Economic Obs** 0

**Quality Grade** 400  
**Depreciation %** 19  
**Grnd Floor Area** 1,146

**Inclusions:**

Roof Type  
Heat 1  
Heat Src 1

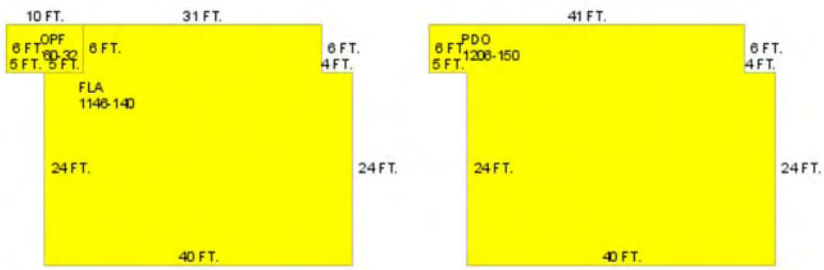
Roof Cover  
Heat 2  
Heat Src 2

Foundation  
Bedrooms 0

Extra Features:

2 Fix Bath 2  
3 Fix Bath 0  
4 Fix Bath 0  
5 Fix Bath 0  
6 Fix Bath 0  
7 Fix Bath 0  
Extra Fix 9

Vacuum 0  
Garbage Disposal 0  
Compactor 0  
Security 0  
Intercom 0  
Fireplaces 0  
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1993					1,146
2	OPF		1	1993					60
3	OUU		1	1993					1,206

**Interior Finish:**

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2607	REST/CAFET-A-	30	Y	Y
	2608	1 STY STORE-A	70	Y	Y
	2609	OPF	100	N	N
	2610	OUU	100	N	N

**Exterior Wall:**

Interior Finish Nbr	Type	Area %
685	C.B.S.	100

## Building 2 Details

**Building Type**  
**Effective Age** 9  
**Year Built** 1998  
**Functional Obs** 0

**Condition E**  
**Perimeter** 178  
**Special Arch** 0  
**Economic Obs** 0

**Quality Grade** 350  
**Depreciation %** 12  
**Grnd Floor Area** 1,050

**Inclusions:**

**Roof Type**  
**Heat 1**  
**Heat Src 1**

**Roof Cover**  
**Heat 2**  
**Heat Src 2**

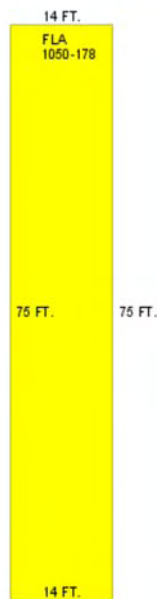
**Foundation**  
**Bedrooms** 0

**Extra Features:**

**2 Fix Bath** 0  
**3 Fix Bath** 0  
**4 Fix Bath** 0  
**5 Fix Bath** 0  
**6 Fix Bath** 0  
**7 Fix Bath** 0  
**Extra Fix** 0

**Vacuum** 0  
**Garbage Disposal** 0  
**Compactor** 0  
**Security** 0  
**Intercom** 0  
**Fireplaces** 0  
**Dishwasher** 0





**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1998					1,050

**Interior Finish:**

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2611	1 STY STORE-B	100	N	Y

**Exterior Wall:**

Interior Finish Nbr	Type	Area %
686	C.B.S.	100

**Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT2:BRICK PATIO	2,028 SF	0	0	1996	1997	2	50

## Appraiser Notes

BUILDING 1 = RESTUARANT ETC. 2 = OPEN AIR MARKET 2003-09-12-M-SALE 1995 WITH AK1014401 & AK1014419 FOR \$322,900 WMC TPP8986704-RENTALS

## Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	08-233	05/03/2008		210,000	Residential	CONSTRUCT 1600 SF CONJOINED WITH SINGLE FAMILY HOME
	08-237	05/04/2008		210,000	Residential	CONSTRUCT 1600 SF CONJOINED WITH SINGLE FAMILY HOME
1	9704277	01/28/1998	01/01/1999	15,000	Commercial	LIGHTS, FANS ETC
1	9704346	02/27/1998	01/01/1999	10,000	Commercial	GREASE TRAP, SINK ETC
1	9704346	02/12/1998	01/01/1999	10,000	Commercial	INTERIOR IMPROVEMENTS
1	9704346	02/17/1998	01/01/1999	10,000	Commercial	OUTLETS, SWITCHES ETC
1	9704346	03/06/1998	01/01/1999	10,000	Commercial	CENTRAL AC & DUCT ETC
1	9800791	03/12/1998	01/01/1999	4,100	Commercial	HOOD, EXHAUST DUCT & FAN
1	9800568	04/07/1998	01/01/1999	1	Commercial	V-CRIMP ROOF
1	9801209	04/12/1998	01/01/1999	400	Commercial	LIGHT/SWITCH ETC
1	9704277	04/27/1998	01/01/1999	15,000	Commercial	CENTRAL AC SYSTEM
1	9704346	04/30/1998	01/01/1999	10,000	Commercial	HOOD FIRE SYSTEM
1	9801726	06/03/1998	01/01/1999	14,000	Commercial	OUTLET SWITCHES ETC
1	9801732	06/02/1998	01/01/1999	1	Commercial	BOOTHES
1	9702958	05/26/1998	12/30/1998	48,000	Commercial	1 STRY OPEN MARKET BLDG
	990986	05/15/1997	12/30/1999	1	Commercial	RENOVATE CISTERN/BRICK PA
	9800121	01/13/1998	12/30/1999	79,000	Commercial	DEMO SHED/NEW BLDG
	9901775	05/24/1999	12/30/1999	3,050	Commercial	CENTRAL AC
21	01/3858	12/13/2001	09/16/2002	900	Commercial	CONNECT A/C
	01-3879	12/10/2001	09/16/2002	3,500	Commercial	INSTALL 3.5 TON A/C

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	316,089	11,255	403,128	730,472	730,472	0	730,472
2009	319,080	11,560	509,358	839,998	839,998	0	839,998
2008	319,080	11,864	570,000	797,413	797,413	0	797,413
2007	224,054	12,168	570,000	797,413	797,413	0	797,413
2006	224,054	12,472	387,600	755,719	755,719	0	755,719
2005	227,528	12,776	319,200	407,954	407,954	0	407,954
2004	232,514	13,081	273,840	407,954	407,954	0	407,954
2003	232,514	13,385	136,920	407,954	407,954	0	407,954
2002	228,727	13,689	73,024	407,954	407,954	0	407,954
2001	228,727	13,993	73,024	407,954	407,954	0	407,954
2000	228,727	4,384	63,896	297,007	297,007	0	297,007
1999	220,496	2,014	63,896	286,406	286,406	0	286,406
1998	89,448	2,056	63,896	155,400	155,400	0	155,400
1997	34,299	578	50,204	112,983	112,983	0	112,983
1996	32,666	578	50,204	86,772	86,772	0	86,772
1995	32,666	324	50,204	90,782	90,782	0	90,782
1994	32,666	336	50,204	86,506	86,506	0	86,506
1993	28,997	0	50,204	82,101	82,101	0	82,101
1992	35,376	0	50,204	89,118	89,118	0	89,118
1991	35,376	0	50,204	89,118	89,118	0	89,118
1990	26,941	0	46,781	76,416	76,416	0	76,416
1989	24,491	0	45,640	70,131	70,131	0	70,131
1988	21,554	0	31,948	53,502	53,502	0	53,502
1987	21,272	0	16,316	37,588	37,588	0	37,588
1986	21,392	0	15,061	36,453	36,453	0	36,453
1985	20,486	0	14,762	35,248	35,248	0	35,248
1984	19,355	0	14,762	34,117	34,117	0	34,117
1983	19,355	0	14,762	34,117	34,117	0	34,117
1982	19,706	0	10,946	30,652	30,652	25,000	5,652

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501  
Website tested on Internet Explorer

**Our Website is currently undergoing maintenance. (GIS Mapping functionality is being upgraded.)**

## Property Record View

Alternate Key: 1014419 Parcel ID: 00014020-000000

### Ownership Details

**Mailing Address:**

BAHAMA VILLAGE MARKET LLC  
201 FRONT ST  
STE 224  
KEY WEST, FL 33040

### Property Details

**PC Code:** 10 - VACANT COMMERCIAL

**Millage Group:** 11KW

**Affordable Housing:** No

**Section-Township-  
Range:** 06-68-25

**Property Location:** VACANT LAND 806 WHITEHEAD ST KEY WEST

**Legal Description:** KW PT LOT 2 SQR 1 TR 3 B3-6 G22-421/425/429 G44-427/428 BOOK OF WILLS C-408/409 OR513-666 OR602-438/39 OR805-1099/1101 OR1143-338D/C  
OR1295-1572/73 OR1344-1666/7 OR2133-389/393Q/C

### Parcel Map (Click to open dynamic parcel map)

## Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	32	192	6,190.00 SF

## Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT5:TILE PATIO	990 SF	0	0	1999	2000	3	50
2	PT2:BRICK PATIO	270 SF	0	0	1999	2000	2	50
3	TK2:TIKI	170 SF	0	0	1999	2000	1	40

## Appraiser Notes

2003-09-12-M-SALE 1995. WITH AK1014397 & AK1014401 FOR \$322,900 WMC

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	0	10,330	621,628	631,958	422,297	0	631,958
2009	0	10,606	373,301	383,907	383,907	0	383,907
2008	0	10,866	378,000	388,866	388,866	0	388,866
2007	0	11,142	378,000	389,142	389,142	0	389,142
2006	0	11,402	257,040	268,442	268,442	0	268,442
2005	0	11,679	211,680	223,359	223,359	0	223,359
2004	0	11,939	151,200	163,139	163,139	0	163,139
2003	0	12,215	72,576	84,791	84,791	0	84,791
2002	0	12,475	48,384	60,859	60,859	0	60,859
2001	0	12,751	48,384	61,135	61,135	0	61,135
2000	0	4,809	39,312	44,121	44,121	0	44,121
1999	0	0	39,312	39,312	39,312	0	39,312
1998	0	0	39,312	39,312	39,312	0	39,312
1997	0	0	33,264	33,264	33,264	0	33,264
1996	0	0	33,264	33,264	33,264	0	33,264
1995	0	0	33,264	33,264	33,264	0	33,264
1994	0	0	33,264	33,264	33,264	0	33,264
1993	0	0	33,264	33,264	33,264	0	33,264
1992	0	0	33,264	33,264	33,264	0	33,264
1991	0	0	33,264	33,264	33,264	0	33,264
1990	0	0	26,460	26,460	26,460	0	26,460
1989	0	0	25,704	25,704	25,704	0	25,704
1988	0	0	22,680	22,680	22,680	0	22,680
1987	0	0	9,828	9,828	9,828	0	9,828
1986	0	0	9,072	9,072	9,072	0	9,072
1985	0	0	7,987	7,987	7,987	0	7,987
1984	0	0	7,987	7,987	7,987	0	7,987
1983	0	0	7,987	7,987	7,987	0	7,987
1982	0	0	6,789	6,789	6,789	0	6,789

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501  
Website tested on Internet Explorer

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## Property Record View

Alternate Key: 1014435 Parcel ID: 00014050-000000

### Ownership Details

**Mailing Address:**

BAHAMA VILLAGE MARKET LLC  
201 FRONT ST  
STE 224  
KEY WEST, FL 33040

### Property Details

**PC Code:** 28 - PARKING LOTS, MOBILE HOME PARKS

**Millage Group:** 11KW

**Affordable Housing:** No

**Section-Township-Range:** 06-68-25

**Property Location:** 809 TERRY LN KEY WEST

**Legal Description:** KW PT LOT 2 SQR 1 TR 3 H2-566 OR1347-9/13 CASE#95-50-CP-08 OR1352-1339/41 OR2133-389/393Q/C

### Parcel Map (Click to open dynamic parcel map)

## Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	0	0	3,024.00 SF

## Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	CL2:CH LINK FENCE	186 SF	31	6	1995	1996	1	30
2	FN2:FENCES	492 SF	82	6	1999	2000	2	30
3	PT3:PATIO	441 SF	21	21	1999	2000	2	50
4	PT3:PATIO	340 SF	17	20	1999	2000	2	50

## Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	9600655	01/01/1996	08/01/1996	550		FENCE



## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	0	6,325	303,684	310,009	310,009	0	310,009
2009	0	6,514	373,301	379,815	379,815	0	379,815
2008	0	6,701	378,000	384,701	384,701	0	384,701
2007	0	6,882	378,000	384,882	384,882	0	384,882
2006	0	7,071	257,040	264,111	264,111	0	264,111
2005	0	7,255	211,680	218,935	218,935	0	218,935
2004	0	7,458	151,200	158,658	158,658	0	158,658
2003	0	7,646	72,576	80,222	80,222	0	80,222
2002	0	7,831	48,384	56,215	56,215	0	56,215
2001	0	8,034	48,384	56,418	56,418	0	56,418
2000	0	2,747	39,312	42,059	42,059	0	42,059
1999	0	159	39,312	39,471	39,471	0	39,471
1998	0	165	39,312	39,477	39,477	0	39,477
1997	0	172	33,264	33,436	33,436	0	33,436
1996	0	0	33,264	33,264	33,264	0	33,264
1995	0	0	33,264	33,264	33,264	0	33,264
1994	0	0	33,264	33,264	33,264	0	33,264
1993	0	0	33,264	33,264	33,264	0	33,264
1992	0	0	33,264	33,264	33,264	0	33,264
1991	0	0	33,264	33,264	33,264	0	33,264
1990	0	0	26,460	26,460	26,460	0	26,460
1989	0	0	25,704	25,704	25,704	0	25,704
1988	0	0	22,680	22,680	22,680	0	22,680
1987	0	0	9,828	9,828	9,828	0	9,828
1986	0	0	9,072	9,072	9,072	0	9,072
1985	0	0	7,738	7,738	7,738	0	7,738
1984	0	0	7,738	7,738	7,738	0	7,738

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501  
Website tested on Internet Explorer

**Our Website is currently undergoing maintenance. (GIS Mapping functionality is being upgraded.)**

## Property Record View

Alternate Key: 1014443 Parcel ID: 00014060-000000

### Ownership Details

**Mailing Address:**

BAHAMA VILLAGE MARKET LLC  
201 FRONT ST  
STE 224  
KEY WEST, FL 33040

### Property Details

**PC Code:** 28 - PARKING LOTS, MOBILE HOME PARKS

**Millage Group:** 11KW

**Affordable Housing:** No

**Section-Township-  
Range:** 06-68-25

**Property Location:** 811 TERRY LN KEY WEST

**Legal Description:** KW PT LOT 3 SQR 1 TR 3 G11-403 OR1447-867/869Q/C OR1455-151/153AFFD OR1455-154/155AFFD OR1541-1844/45(PROB #98-84-CP-10)  
OR1557-500AMD/EST/ORD OR1564-1030/32P/R OR2133-389/393Q/C

### Parcel Map (Click to open dynamic parcel map)

## Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	21	95	1,984.37 SF

## Appraiser Notes

GAVE TO NEIGHBOR A 1.53' X 20.67' (31.62 SQ FT) PARCEL OF LAND PER OR1978-2309/2312Q/C. ADJUSTED LAND SIZE FOR THE 2004 TAX ROLL. LG
2007-04-10 BAHAMA VILLAGE MRKT PARKING LOT. DKRAUSE

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	0	0	219,752	219,752	219,752	0	219,752

2009	0	0	279,722	279,722	272,850	0	279,722
2008	0	0	248,046	248,046	248,046	0	248,046
2007	0	0	248,046	248,046	248,046	0	248,046
2006	0	0	168,671	168,671	168,671	0	168,671
2005	0	0	138,906	138,906	138,906	0	138,906
2004	0	0	99,219	99,219	99,219	0	99,219
2003	0	0	48,384	48,384	48,384	0	48,384
2002	0	0	32,256	32,256	32,256	0	32,256
2001	0	0	32,256	32,256	32,256	0	32,256
2000	0	0	26,208	26,208	26,208	0	26,208
1999	0	0	26,208	26,208	26,208	0	26,208
1998	0	0	26,208	26,208	26,208	0	26,208
1997	0	0	22,176	22,176	22,176	0	22,176
1996	0	0	22,176	22,176	22,176	0	22,176
1995	0	0	22,176	22,176	22,176	0	22,176
1994	0	0	22,176	22,176	22,176	0	22,176
1993	0	0	22,176	22,176	22,176	0	22,176
1992	0	0	22,176	22,176	22,176	0	22,176
1991	0	0	22,176	22,176	22,176	0	22,176
1990	0	0	17,640	17,640	17,640	0	17,640
1989	0	0	17,136	17,136	17,136	0	17,136
1988	0	0	15,120	15,120	15,120	0	15,120
1987	0	0	6,552	6,552	6,552	0	6,552
1986	0	0	6,048	6,048	6,048	0	6,048
1985	0	0	5,242	5,242	5,242	0	5,242
1984	0	0	5,242	5,242	5,242	0	5,242
1983	0	0	5,242	5,242	5,242	0	5,242
1982	0	0	4,455	4,455	4,455	0	4,455

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

**Public Notices**  
**(radius map & mailing list)**

# Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 p.m., August 18, 2011 at Old City Hall, 510 Greene Street, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

**Conditional Use - 802 - 806 Whitehead Street (RE# 00014010-000100, 00014020-000000) / 320-324 Petronia Street (RE# 00014010-000000), 809-811 Terry Lane (RE# 00014050-000000, 00014060-000000) - A Conditional Use request for a restaurant in the HNC-3 zoning district per Section 122- 868(9) of the Land Development Regulations of the Code of Ordinances of the City of Key West.**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at [www.keywestcity.com](http://www.keywestcity.com).

**YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY**

The City of Key West Planning Board will be holding a Public Hearing:

**Request:** Conditional Use - 802 - 806 Whitehead Street (RE# 00014010-000100, 00014020-000000) / 320-324 Petronia Street (RE# 00014010-000000), 809-811 Terry Lane (RE# 00014050-000000, 00014060-000000) - A Conditional Use request for a restaurant in the HNC-3 zoning district per Section 122- 868(9) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

**Applicant:** Trepanier & Associates on behalf of Bahama Village Market, LLC  
**Owner:** Bahama Village Market, LLC  
**Project Location:** 802-806 Whitehead  
**Date of Hearing:** Thursday, August 18, 2011  
**Time of Hearing:** 6:00 PM  
**Location of Hearing:** Old City Hall, City Commission Chambers  
510 Greene St

Interested parties may appear at the public hearing(s) and be heard with respect to the applications. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm. **Packets can be viewed online at [www.keywestcity.com](http://www.keywestcity.com). Click on City Board & Committee Agendas.**

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email [ccowart@keywestcity.com](mailto:ccowart@keywestcity.com) .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA ASSISTANCE: If you are a person with a disability who needs special accommodations in order to participate in this proceeding, please contact the ADA Coordinator at 305-809-3951 between the hours of 8:00 a.m. and 5:00 p.m., or information on access available to individuals with disabilities. To request materials in accessible format, a sign language interpreter or other assistance (5 days advance notice required), please call 305-809-1000 for assistance.

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Printed: Aug 08, 2011

## 802-806 Whitehead

### MCPA GIS Public Portal

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.





	<b>NAME</b>	<b>ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP</b>	<b>COUNTRY</b>
1	418-422 PETRONIA ST LLC	728 DUVAL ST STE 206	KEY WEST	FL	33040	
2	725 THOMAS STREET LLC	729 THOMAS ST	KEY WEST	FL	33040	
3	729 THOMAS STREET LLC	729 THOMAS ST	KEY WEST	FL	33040	
4	809 WHITEHEAD STREET REALTY TR 1/14/10	50 LELAND RD	BREWSTER	MA	02631	
5	907 WHITEHEAD STREET CORP	907 WHITEHEAD ST	KEY WEST	FL	33040	
6	ANGELL GEORGE J TRUST 12/16/1998	808 SHAVERS LN	KEY WEST	FL	33040	
7	AUSTIN BRYAN E AND TERRY J	6514 NIGHTINGALE CT	NEW MARKET	MD	21774	
8	BAHAMA VILLAGE MARKET LLC	201 FRONT ST	KEY WEST	FL	33040	
9	BARNETT BOBBIE JEAN ESTATE	831 THOMAS ST	KEY WEST	FL	33040	
10	BELLE MAISON BUILDERS LLC	3133 CONNECTICUT AVE NW APT	WASHINGTON	DC	20008	
11	BERRY H MICHAEL	416 PETRONIA ST	KEY WEST	FL	33040	
12	BIMINI VILLAGE CONDOMINIUM	806 THOMAS ST	KEY WEST	FL	33040	
13	BI-STATE REALTY LTD	444 N MAIN ST	HUBBARD	OH	44425	
14	BRICE WILLIAM L	823 TERRY LN	KEY WEST	FL	33040	
15	BURKE BONITA R	1500 ATLANTIC BLVD	KEY WEST	FL	33040	
16	CALABRO DANIEL J	P O BOX 1857	BRIDGEHAMPTON	NY	11932	
17	CALDWELL JOHN G	807 THOMAS ST	KEY WEST	FL	33040	
18	CALIHAN EDWARD J III AND MARY S	720 LARRABEE	CHICAGO	IL	60610	
19	CAREY MARGARET L	P O BOX 645	GREENVILLE	MS	38702	
20	CENTENNIAL BANK	701 WHITEHEAD ST	KEY WEST	FL	33040	
21	CLARKE CAMILLA	11215 SW 138TH ST	MIAMI	FL	33176	
22	CLINE RANDALL W AND DAWN R	815 WHITEHEAD ST	KEY WEST	FL	33040	
23	COIRA STANLEY MD TRUST AGR 4/23/2001	4140 BONITA AVE	COCONUT GROVE	FL	33133	
24	COLLINS KEVIN	410 PETRONIA ST	KEY WEST	FL	33040	
25	CURRY APARTMENTS LLC	807 WHITEHEAD ST	KEY WEST	FL	33040	
26	CURRY ELBRIDGE W	807 WHITEHEAD ST	KEY WEST	FL	33040	
27	DALTON KEVIN AND LESLIE	213 NO QUEEN ST	CHESTERTOWN	MD	21620	
28	DAVIS GEORGE P	BOX 1403	NANTUCKET	MA	02554	
29	DEAN JULIA V	808 TERRY LN	KEY WEST	FL	33040	
30	DEUTSCHE BANK NATIONAL TRUST CO	2424 N FEDERAL HWY STE 360	BOCA RATON	FL	33431	
31	FELDMAN TODD G AND STI PHANIE	221 HIGH MEADOW RD	SOUTHPORT	CT	06890	
32	FORBES ELOISE EGGLESTON	P O BOX 449	KEY WEST	FL	33040	
33	FOWLER NORMAN E AND SUSAN J	824 TERRY LN	KEY WEST	FL	33040	
34	GALLAGHER WILLIAM E AND PATRICIA A	708 WHITEHEAD ST	KEY WEST	FL	33040	

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35	GEORGIA/CAROLINA I & D LLC	1215 VARELA ST	KEY WEST	FL	33040	
36	GRANNIS JANE G	818 TERRY LN	KEY WEST	FL	33040	
37	HARRISON CHARLES W	2151 JAMIESON AVE	ALEXANDRIA	VA	22314	
38	HEMBLING JOHN J AND JUDITH B	508 N OAK PK	OAK PARK	IL	60302	
39	HERON COURT CONDOMINIUM					
40	HOUSING AUTHORITY OF THE CITY OF KW FL	PO BOX 2476	KEY WEST	FL	33045	
41	HOUSING AUTHORITY THE OF THE CITY OF KW FL	PO BOX 2476	KEY WEST	FL	33045	
42	JOHNSON LEONARD	29 6TH AVE	KEY WEST	FL	33040	
43	JONES ALVILDA J	309 OLIVIA ST	KEY WEST	FL	33040	
44	JUSTEN RALPH J	812 TERRY LN	KEY WEST	FL	33040	
45	KEE GILBERT	308 VIRGINIA ST	KEY WEST	FL	33040	
46	KELLY SAMUEL D JR	208 TRUMAN AVE	KEY WEST	FL	33040	
47	KEY LIME INN INC	725 TRUMAN AVE	KEY WEST	FL	33040	
48	KEY WEST BANK FSB	970 RINEHART RD	LAKE MARY	FL	32746	
49	KNOWLES PATRICIA A AND STEVE JR	813 SHAVERS LN	KEY WEST	FL	33040	
50	KOPPENAAL RICHARD J	822 TERRY LN	KEY WEST	FL	33040	
51	KW LLC	PO BOX 21182	SARASOTA	FL	34276	
52	LAST TRIPP REALTY I LLC	1204 PINE ST	KEY WEST	FL	33040	
53	LATHAN DYANNE	501 RAINS LN	BOHANNON	VA	23021	
54	LENNOX GEORGE H III AND SUSAN B	817 TERRY LN	KEY WEST	FL	33040	
55	LOJKO ALBERT T	313 OLIVIA ST	KEY WEST	FL	33040	
56	MIN KHIN MICHAEL	1624 SIRUGO AVE	KEY WEST	FL	33040	
57	MINGO CLIFFORD AND YOLANDA	708 EMMA ST	KEY WEST	FL	33040	
58	MINGO SHIRLEY R	9046 HAWKEVE DR	JACKSONVILLE	FL	32221	
59	MOBLEY HORACE AND JOSEPHA	609 THOMAS ST	KEY WEST	FL	33041	
60	MURPHY RITA	PO BOX 4191	KEY WEST	FL	33041	
61	MYERS BOBBIE E AND POOCHIE	813 THOMAS ST	KEY WEST	FL	33040	
62	OHLINGER BIRCHARD HAYES	PO BOX 57	FRANKFORT	MI	49635	
63	OLD TOWN KEY WEST DEVELOPMENT LTD	201 FRONT ST	KEY WEST	FL	33040	
64	OLD TOWN KEY WEST DEVELOPMENT LTD	P O BOX 1237	KEY WEST	FL	33040	
65	PARKS DENNIS L	1385 NW 192ND TER	MIAMI	FL	33169	
66	PENN-OHIO ELECTRICAL COMPANY	1370 SHARON-HOGUE RD	MASURY	OH	44438	
67	PETRONIA STREET CONDOMINIUM	416 PETRONIA ST	KEY WEST	FL	33040	
68	PLA STEPHEN E ESTATE	415 OLIVIA ST	KEY WEST	FL	33040	

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69	PRAZEN RUDY	225 PETRONIA ST	KEY WEST	FL	33040	
70	RIVAS MARJORIE D	817 WHITEHEAD ST	KEY WEST	FL	33040	
71	ROSE MARCI L	810 THOMAS ST	KEY WEST	FL	33040	
72	SAENKO ALEXEI	406 PETRONIA ST	KEY WEST	FL	33040	
73	SAWYER ELVIRA V	818 SHAVERS LN	KEY WEST	FL	33040	
74	SCHROEDER JOSEPH J	1202 THOMPSON ST	KEY WEST	FL	33040	
75	SCHROEDER JOSEPH	1202 THOMPSON ST	KEY WEST	FL	33040	
76	SCHROEDER JOSEPH J	1202 THOMPSON ST	KEY WEST	FL	33040	
77	SCHROEDER JOSEPH J	1202 THOMPSON ST	KEY WEST	FL	33040	
78	SCHULTZ KENNETH H AND DEBORAH L ANGEL-SCHULTZ (WIFE)	219 SIMONTON ST	KEY WEST	FL	33040	
79	SCHULTZ KENNETH H	810 SHAVERS LN	KEY WEST	FL	33040	
80	SCHUPPENIES BERT	115 E 9TH ST APT 21A	NEW YORK	NY	10003	
81	SHADY CAT LLC	PO BOX 87	EGG HARBOR	WI	54209	
82	SHARKEY CAROLANN	1120 SOUTH ST	KEY WEST	FL	33040	
83	SHAVERS MAXWELL ESTATE	12303 LEITH CT	WOODBIDGE	VA	22192	
84	SIESTA REAL ESTATE INVESTMENTS LLC	1111 HORIZON VIEW DR	SARASOTA	FL	34242	
85	SNYDER PAUL P AND LISA V	600 FOX ST	LONGBOAT KEY	FL	34228	
86	SUAREZ ANTONIA E	813 WHITEHEAD ST	KEY WEST	FL	33040	
87	SUMMERWIND PROPERTIES OF NEWPORT LLC	80 OLD BEACH RD	NEW PORT	RI	02840	
88	SWEETING FLOYD H SR REVOCABLE TRUST U/A/D 7/14/03	1012 HOWE ST	KEY WEST	FL	33040	
89	SWEETING FLOYD H SR REVOCABLE TRUST U/A/D 7/14/03	1012 HOWE ST	KEY WEST	FL	33040	
90	SWEETING IRMA OLEAN DEC OF TRUST DATED 2/27/98 &	892 SW GRAND RESERVE BLVD	PORT ST LUCIE	FL	34986	
91	TERRA KEVIN J	819 TERRY LN	KEY WEST	FL	33040	
92	THE VILLAGE ON WHITEHEAD CONDOMINIUM	818 WHITEHEAD ST	KEY WEST	FL	33040	
93	TRUSTEES OF ST JAMES MISSIONARY BAPTIST CHURCH	312 OLIVIA ST	KEY WEST	FL	33040	
94	TURNER JEFF B	826 TERRY LN	KEY WEST	FL	33040	
95	VILLAGE ON WHITEHEAD I LLC	820 WHITEHEAD ST	KEY WEST	FL	33040	
96	WHITE J LARRY	685 EAST LONG LAKE	BLOOMFIELD HILLS	MI	48304	
97	WIK COLETTE	810 WHITEHEAD ST	KEY WEST	FL	33040	
98	WILBUR WRIGHT 725 LLC	1331 DUNCAN ST	KEY WEST	FL	33040	
99	WILDGOOSE CLARENCE G JR	1525 42ND ST	WEST PALM BEACH	FL	33407	
100	WISSMANN KENNETH AND CHRISITNE	144 LOBSTERTAIL RD	BIG PINE KEY	FL	33043	
101	ZOUAD HOURIA SARA	416 PETRONIA ST APT 5	KEY WEST	FL	33040	