



ITB No. 26-001
907 Caroline Street
New Commercial Building Construction

BID OPENING - February 17, 2026 AT 2PM

SEALED BID ENCLOSED



DESIGN CENTER

GENERAL CONTRACTORS & ENGINEERS



6677 OVERSEAS HIGHWAY, MARATHON, FLORIDA, 33050
(O) 305.735.4042 (C) 239.810.2942 (Andrew George, Owner)

1 Original & (2) Flash Drives Enclosed

BIDDER'S CHECKLIST

(Note: The purpose of this checklist is to serve as a reminder of major items to be addressed in submitting a bid and is not intended to be all inclusive. It does not alleviate the Bidder from the responsibility of becoming familiar with all aspects of the Contract Documents and proper completion and submission of his bid.)

1. All Contract Documents are thoroughly read and understood. [X]
2. All blank spaces in bid filled in, using black ink or typewritten. [X]
3. Total and unit prices added correctly and attached Schedule of Values [X]
4. Addenda acknowledged. [X]
5. Subcontractors are named as indicated in the bid. [X]
6. Experience record included. [X]
7. Bid signed by authorized officer and notarized. [X]
8. Bid Bond completed and executed, including power-of-attorney dated the same date as Bid Bond. [X]
9. Bidder familiar with federal, state, and local laws, ordinances, rules and regulations affecting performance of the work. [X]
10. Bidder, if successful, able to obtain and/or demonstrate possession of required licenses and certificates within ten (10) calendar days after receiving a Notice of Award. [X]
11. Bid submitted intact with 1 original, and 2 flash drives as stated in the Invitation to Bid. [X]
12. Bid Documents submitted in sealed envelope and addressed and labelled in conformance with the instructions in the Invitation to Bid. [X]
13. Bid Certifications and Affidavits signed and notarized, where applicable. [X]



ADDENDUM NO. 1
907 Caroline Street New Commercial Building Construction
ITB 26-001

This addendum is issued as supplemental information to the Request for Proposal package for clarification of certain matters of both a general and a technical nature. The referenced Request for Proposal package is hereby amended in accordance with the following items:

1. **Clarification:**
2. **Changes to Submission Requirements:** [No Changes]
3. **Updates to Project Timeline:**
 - 1) The City of Key West has updated the following project timeline to extend the Bid Opening Date to: February 17, 2026 @ 2:00 PM.
4. **Responses to Questions:**

Question: Please provide the Geotech Report. We need to confirm depth of the Auger Piles.

Response: See sheet A0 revision Item #2 (note regarding geotechnical report). For bidding purposes assume all indicated auger piers shown on the plans are 10'-0" in length (total from top of grade). This assumes 4'-0" of topsoil and 6'-0" embedment into cap rock (see also note 230.4 on sheet S0.1). In addition to this, please provide a cost per linear foot of pile for deduct / add purposes once the geotechnical report is complete.

Question: Multiple of our Subs have informed us that as of 10/31, PGT the owner of CGI was purchased by Miter Brands and Miter discontinued the CGI Sentinel Line of Windows and Doors. Can we provide an alternate window as long as it meets the design pressures? Also, the Store Front Windows on the first floor are shown as CGI Sentinel series, Please confirm that

these will stay residential windows & doors, or should they be commercial store front windows and doors?

Response: In lieu of CGI Sentinel products please provide pricing for PGT WinGuard aluminum doors and windows (Ogee grid, laminated glass, Low-E Solarban 70XL). Alternate aluminum systems will be considered with the General Contractor that is awarded the project. All windows will need to comply with the design pressures indicated on sheet S1.3.

Question: Please provide the dimensions and quantities of the collector heads and downspouts.

Response: Assume all collector heads are 1'-6" wide X 1'-6" tall X 1'-0" deep. Assume all downspouts are 6" diameter. There are to be (4) collector boxes and downspouts (reference 1/A0)

Question: Is Romex (NM Cable) permitted to use in the residential dwelling units?

Response: For bidding assume MC cable.

Question: Is MC Cable permitted to use in the commercial dwelling units?

Response: Homeruns are to be in conduit; MC cable can be used for branch circuit distribution.

Question: Please provide Fire Alarm specifications.

Response: See revised sheet E4.

Question: All light fixtures state an allowance for the bid besides the Rooftop exterior wall

mounted light fixtures and the shower area vapor tight light fixtures. Please provide an allowance amount to include in the bid.

Response: Assume an allowance of \$250 for all roof top wall mounted lights and \$150 for all shower area lights. Allowance is for fixture only.

Question: The mechanical drawings do not indicate any supply or return ductwork serving the first-floor space. Please clarify the intended scope for the mechanical installation in this area. Specifically, should the mechanical equipment be provided with a basic supply plenum, or is the unit intended to be installed without ductwork and left capped/ready for future use? Please advise on the required configuration to ensure compliance with the design intent and project specifications.

Response: See attached revised sheets M1 and M5 for ductwork layout.

Question: Please confirm the required level of polished concrete finish for this project. Specifically, indicate the desired polish level on a scale of Level 1 through Level 4, as applicable.

Response: Assume a Level 3 finish for bidding purposes (per ACI 310.1-20)

Question: Is there a scheduled site visit or pre-bid meeting for this project? We did not see any mentioned in the ITB documents. If not, please advise when we may visit the site.

Response: There is not a scheduled pre-bid meeting for this project. It is recommended that all bidders go to the project site and review on their own. The Site is open to review Monday through Friday.

Question: Is there a designated staging area or space available for contractors to work, including placement of dumpsters and materials?

Response: There will be limited staging and material storage areas. An area for a dumpster will be worked out with the approved contractor. There are other commercial businesses that will be in operation during the construction phase of this project. Closing roadways and parking will need to be coordinated with the other businesses that operate in the area. Plan on bringing materials as required to the site daily.

Question: Please confirm that there is no scope of work related to window treatments.

Response: No window treatments are to be included in the base bid.

Question: Are there any prevailing wage or wage requirements applicable to this project?

Response: Follow State Employment and wage requirements.

Question: Note 4 on A11 and A12 call out a Kynar Finish. This is about a 14% add from the regular white powder coat finish. I'm bidding it with the "Kynar" (2605) finish but it would be a great VE option to eliminate it. Totally unnecessary!

Response: City of Key West requested Kynar finish.

Question: I do not see a required SHGC or glass make-up required. I'm bidding it with standard clear glass for now but I would imagine that they want a LowE coating or tint.

Response: Bid door and window package with PGT WinGuard Low-E Solarban 70XL.

Question: The required design pressures are really high for the windows on A12. I believe that these are the Ultimate pressures and not the nominal

pressures. a. To convert ultimate pressures to nominal pressures you multiply the ultimate pressure by 0.60

- i. Please confirm that the required pressures for window types A and B are +60/-72
- ii. Please confirm that the required pressures for window type C is +48/-78

Response: Note #3 under the 'components and cladding wind pressure table' on sheet S1.3 indicates that all tabulated pressures can be converted to nominal pressures by multiplying by 0.60. Required design pressures are to meet the criteria shown on sheet S1.3 (not the listed pressures indicated on sheet A12, which were pulled from CGI NOA's).

Question: Please provide opening directions of the casement windows A17 through A19, and A28 through A30 a. A22 through A25 and A31 through A38 are assumed to open opposite of each other.

Response: See attached revised sheets indicating window opening directions.

Question: A20,A21, A26, And A27 are in bathrooms. Do you want privacy glass?

Response: Privacy glass not needed. Bid project with Winguard Low-E Solarban 70XL (see Items #2 & #15). Window sill is at 5'-0" above shower floor.

Question: The door schedule calls for the doors to be 3'x7' is that the frame dimension or door itself?

Response: The intent is for the door itself to be 3'-0" X 7'-0"

Question: Do you want privacy glass on the unit entry doors? Hardware?

Response For bidding assume privacy glass at the entry doors (second floor only). Privacy glass to be white interlayer or equivalent.

Question: I assumed doors 1, 5, and 10 are commercial doors, push-pull hardware, with heavy duty external closers.

Response: For bidding purposes assume an allowance of \$500 for closers at doors 1, 5, & 10. Panic hardware is not required at these doors based on FBC occupancy classification and occupancy load.

5. Additional Resources: [No Changes]

A handwritten signature in blue ink, consisting of a series of loops and a long horizontal stroke, positioned above a solid black horizontal line.

Signature

Name of Business

ADDENDUM NO. 1

January 22, 2026

To all general contract bidders of record on the work titled:

907 CAROLINE STREET
KEY WEST, FLORIDA

ITEM #1

Question: Please provide the Geotech Report. We need to confirm depth of the Auger Piles.

Response: See sheet A0 revision Item #2 (note regarding geotechnical report). For bidding purposes assume all indicated auger piers shown on the plans are 10'-0" in length (total from top of grade). This assumes 4'-0" of topsoil and 6'-0" embedment into cap rock (see also note 230.4 on sheet S0.1). In addition to this, please provide a cost per linear foot of pile for deduct / add purposes once the geotechnical report is complete.

ITEM #2

Question: Multiple of our Subs have informed us that as of 10/31, PGT the owner of CGI was purchased by Miter Brands and Miter discontinued the CGI Sentinel Line of Windows and Doors. Can we provide an alternate window as long as it meets the design pressures? Also, the Store Front Windows on the first floor are shown as CGi Sentinel series, Please confirm that these will stay residential windows & doors, or should they be commercial store front windows and doors?

Response: In lieu of CGI Sentinel products please provide pricing for PGT WinGuard doors and windows. Alternate systems will be considered with the General Contractor that is awarded the project. All windows will need to comply with the design pressures indicated on sheet S1.3.

ITEM #3

Question: Please provide the dimensions and quantities of the collector heads and downspouts.

Response: Assume all collector heads are 1'-6" wide X 1'-6" tall X 1'-0" deep. Assume all downspouts are 6" diameter. There are to be (4) collector boxes and downspouts (reference 1/A0)

ITEM #4

Question: Is Romex (NM Cable) permitted to use in the residential dwelling units?

Response: For bidding assume MC cable.

ITEM #5

Question: Is MC Cable permitted to use in the commercial dwelling units?

Response: **Homeruns are to be in conduit; MC cable can be used for branch circuit distribution.**

ITEM #6

Question: Please provide Fire Alarm specifications.

Response: **See revised sheet E4.**

ITEM #7

Question: All light fixtures state an allowance for the bid besides the Rooftop exterior wall mounted light fixtures and the shower area vapor tight light fixtures. Please provide an allowance amount to include in the bid.

Response: **Assume an allowance of \$250 for all roof top wall mounted lights and \$150 for all shower area lights. Allowance is for fixture only.**

ITEM #8

Question: The mechanical drawings do not indicate any supply or return ductwork serving the first-floor space. Please clarify the intended scope for the mechanical installation in this area. Specifically, should the mechanical equipment be provided with a basic supply plenum, or is the unit intended to be installed without ductwork and left capped/ready for future use? Please advise on the required configuration to ensure compliance with the design intent and project specifications.

Response: **See attached revised sheets M1 and M5 for ductwork layout.**

ITEM #9

Question: Please confirm the required level of polished concrete finish for this project. Specifically, indicate the desired polish level on a scale of Level 1 through Level 4, as applicable.

Response: **Assume a Level 3 finish for bidding purposes (per ACI 310.1-20)**

ITEM #10

Question: Is there a scheduled site visit or pre-bid meeting for this project? We did not see any mentioned in the ITB documents. If not, please advise when we may visit the site.

Response: **Response from City of Key West Required**

ITEM #11

Question: Is there a designated staging area or space available for contractors to work, including placement of dumpsters and materials?

Response: **Response from City of Key West Required**

ITEM #12

Question: Please confirm that there is no scope of work related to window treatments.

Response: **No window treatments are to be included in the base bid.**

ITEM #13

Question: Are there any prevailing wage or wage requirements applicable to this project?

Response: **Response from City of Key West Required**

ITEM #14

Question: Note 4 on A11 and A12 call out a Kynar Finish. This is about a 14% add from the regular white powder coat finish. I'm bidding it with the "Kynar" (2605) finish but it would be a great VE option to eliminate it. Totally unnecessary!

Response: **City of Key West requested Kynar finish.**

ITEM #15

Question: I do not see a required SHGC or glass make-up required. I'm bidding it with standard clear glass for now but I would imagine that they want a LowE coating or tint.

Response: **For bidding assume clear glass.**

ITEM #16

Question: The required design pressures are really high for the windows on A12. I believe that these are the Ultimate pressures and not the nominal pressures. a. To convert ultimate pressures to nominal pressures you multiply the ultimate pressure by 0.60

- i. Please confirm that the required pressures for window types A and B are +60/-72
- ii. Please confirm that the required pressures for window type C is +48/-78

Response: Note #3 under the 'components and cladding wind pressure table' on sheet S1.3 indicates that all tabulated pressures can be converted to nominal pressures by multiplying by 0.60. Required design pressures are to meet the criteria shown on sheet S1.3 (not the listed pressures indicated on sheet A12, which were pulled from CGI NOA's).

ITEM #17

Question: Please provide opening directions of the casement windows A17 through A19, and A28 through A30 a. A22 through A25 and A31 through A38 are assumed to open opposite of each other.

Response: See attached revised sheets indicating window opening directions.

ITEM #18

Question: A20,A21, A26, And A27 are in bathrooms. Do you want privacy glass?

Response: Bid project with clear glass. Window sill is at 5'-0" above shower floor.

ITEM #19

Question: The door schedule calls for the doors to be 3'x7' is that the frame dimension or door itself?

Response: The intent is for the door itself to be 3'-0" X 7'-0"

ITEM #20

Question: Do you want privacy glass on the unit entry doors? Hardware?

Response For bidding assume privacy glass at the entry doors (second floor only). Privacy glass to be white interlayer or equivalent.

ITEM #21

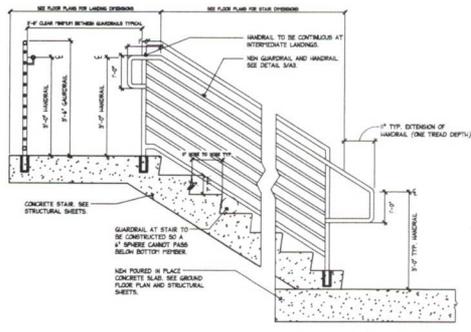
Question: I assumed doors 1, 5, and 10 are commercial doors, push-pull hardware, with heavy duty external closers.

Response: For bidding purposes assume an allowance of \$500 for closers at doors 1, 5, & 10. Panic hardware is not required at these doors based on FBC occupancy classification and occupancy load.

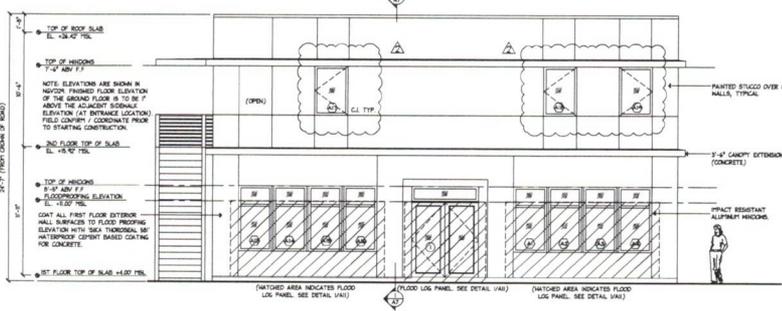
ELEVATION NOTE:
 FINISHED FLOOR IS TO BE 4" ABOVE
 EXISTING FINISH FLOOR ELEVATION.
 FINISHED ELEVATION SHOWN AT
 ±0.00 (INDICATED). FIELD CONFORM PRIOR
 TO COMMENCEMENT OF WORK.



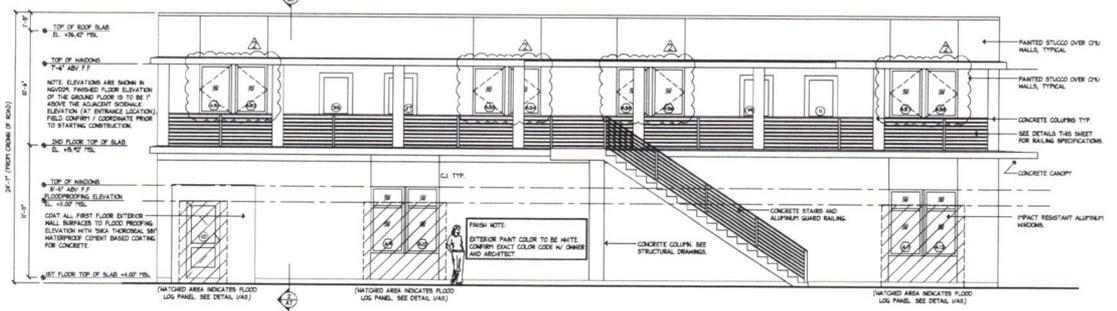
RAILING DETAIL
 SCALE: 1/4" = 1'-0"



RAILING DETAIL
 SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

1/8" DIA. BUILDING HEIGHT FROM
 CORNER OF ROAD
 1/8" DIA. INDICATING WINDOW SWING

907 CAROLINE STREET
 KEY WEST, FLORIDA

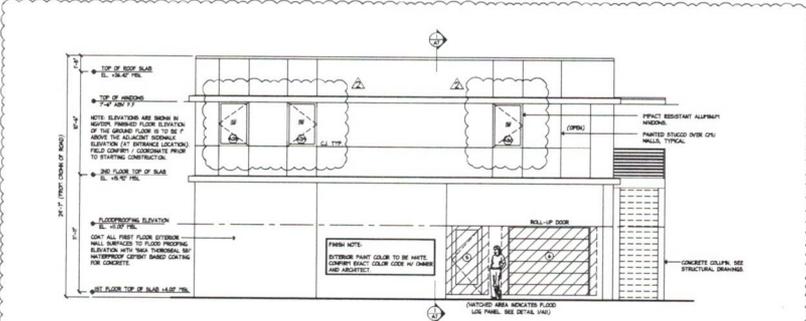
110 Apple Street
 Key West, Florida 33548
 Telephone: (305) 850-1817
 Facsimile: (305) 850-8787
 E-mail: jason@bender.com

Bender & Associates
ARCHITECTS

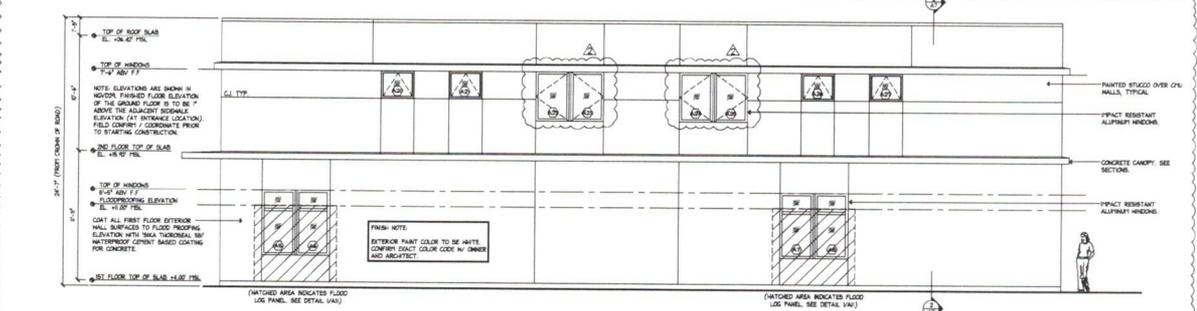
Project No. 2206
 Date: 03/22/2006

A5

ELEVATION NOTE:
 FINISHED FLOOR IS TO BE 4" ABOVE
 EXISTING FINISHED FLOOR ELEVATION.
 ELEVATION ASSUMED AT
 ±0.00' (INDICATED) FIELD CONFORM PRIOR
 TO COMMENCEMENT OF WORK.



2 PROPOSED NORTH ELEVATION - TWO STORY BUILDING
 A6 SCALE 1/4"=1'-0"



PROPOSED EAST ELEVATION
 A6 SCALE 1/4"=1'-0"

▲ HATCHED
 BUILDING HEIGHT FROM
 GRADE TO ROOF
 ▲ ELEVATION
 INDICATING HEIGHT BOUND

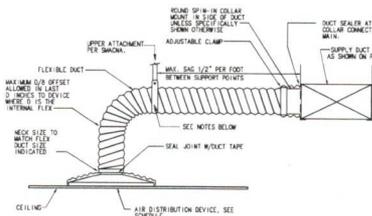
907 CAROLINE STREET
 KEY WEST, FLORIDA

410 Adams Street
 Key West, Florida 33401
 Phone: 305.296.1111
 Florida License #A62002027

Bender & Associates
 ARCHITECTS
 P.A.

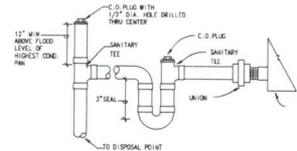
Project # 2205
 Date: 05/22/2005

A6



FLEXIBLE DUCT DETAIL AND STANDARD CEILING DIFFUSER
SCALE: N.T.S.

FLEXIBLE DUCT NOTES:
FLEXIBLE DUCTS SHALL BE ONE-PIECE AND SHALL NOT BE SPOLICED TOGETHER.
EXTEND FLEXIBLE DUCT INSULATION TO DUCT/ZIPPER PANEL INSULATION AND SEAL WITH MASTIC.
WHEN A 1/2\"/>

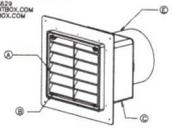


TYPICAL A/C UNIT CONDENSATE DRAIN CONNECTION
N.T.S.

MODEL # 450P-S MANUFACTURER: FISH INDUSTRIES, LLC

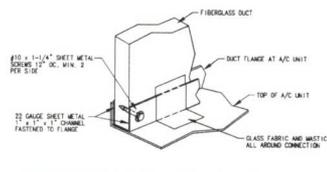
- NOTE:**
- ① REMOVABLE FRONT FACE LOUVER
 - ② (A) STAINLESS STEEL AUGER TRIP SCREWS (EQS)
 - ③ MONOLITHIC BOX CAVITY
 - ④ GRAVITY CHAMBER
 - ⑤ DUCT POINT (UP TO 8\"/>

MANUFACTURER: FISH INDUSTRIES, LLC
WWW.FISH-IND.COM
WWW.XVENT.COM

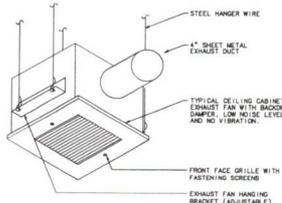


XVENT DETAILS
N.T.S.

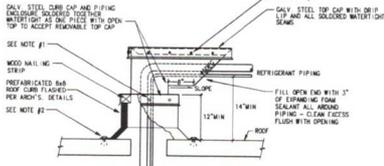
NOTE: ADJUSTING TO OUTFLOW WALL AS PER MANUFACTURER RECOMMENDATIONS (DETAILS)



FIBERGLASS DUCT CONNECTION TO A/C UNIT DETAIL
SCALE: N.T.S.



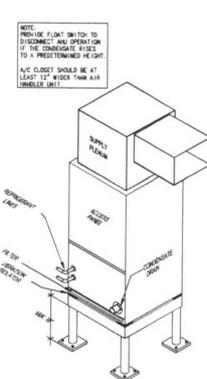
CEILING MOUNTED CABINET EXHAUST FAN DETAIL
SCALE: N.T.S.



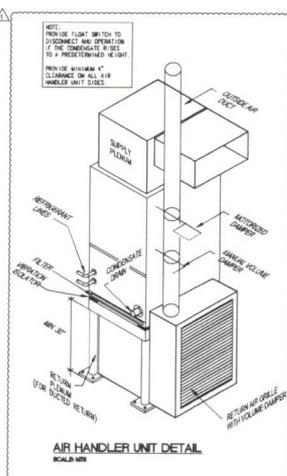
REFRIGERANT PIPING ROOF PENETRATION DETAIL
N.T.S.

MECHANICAL SCHEDULES AND NOTES:

1. SECURE CURB CAP TO ROOF MAILING STRIP WITH 1/4\"/>

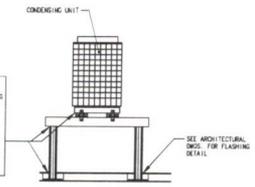


AIR HANDLER UNIT DETAIL
SCALE: N.T.S.



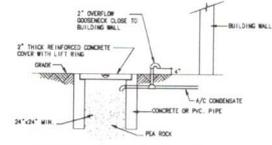
AIR HANDLER UNIT DETAIL
SCALE: N.T.S.

USE BUILDING PROVIDED STRUCTURAL SUPPORT SYSTEM FOR CONDENSING UNITS. FOR BUILDINGS WHERE SUPPORT FOR CONDENSING UNITS IS NOT AVAILABLE, PROVIDE SUPPORT BY MEANS OF AN INTERNATIONAL ALUMINUM A/C STAND U.S.A. 20-0700-00.



CONDENSING UNIT MOUNTING DETAIL
N.T.S.

NOTE: UNIT & STAND SHALL BE ANCHORED TO AN INSTEAD OF 8\"/>



A/C CONDENSATE DRYWELL DETAIL
SCALE: N.T.S.

907 CAROLINE STREET
KEY WEST, FLORIDA

410 Anglin Street
Key West, Florida, United States
Phone: (305) 896-3167
FAX: (305) 896-3177
Florida License ALC000262

Brender & Associates
ARCHITECTS
P.C.

Project No. 2206
MECHANICAL
DETAILS
Date: 04-26-2006 10:15:00

M5



ADDENDUM NO. 2
907 Caroline Street New Commercial Building Construction
ITB 26-001

This addendum is issued as supplemental information to the Invitation to Bid package for clarification of certain matters of both a general and a technical nature. The referenced Invitation to Bid package is hereby amended in accordance with the following items:

1. Clarification:

1) The City of Key West has updated the following project timeline to extend the bid opening date and the City Request for Information Response date to:

1. Bid Opening: February 25, 2026 @ 2:00 PM

2. City's Response to RFI's: February 17, 2026 @ 3:00 PM

2. Changes to Submission Requirements: [No Changes]

3. Updates to Project Timeline: [No Changes]

4. Responses to Questions:

5. Additional Resources: [No Changes]

Signature

Design Center Inc.

Name of Business

NOTE TO BIDDER: Bid Forms should be completed using black ink or typed for clarity and legibility.

BID FORM

To: The City of Key West
Address: 1300 White Street, Key West, Florida 33040
Project Title: **907 Caroline Street New Commercial Building Construction**
ITB #26-001

Bidder's contact person for additional information on this bid:

Company Name: Design Center Inc

Contact Name & Telephone #: Andrew George (o) 305.735.4042 (c) 239.810.2942

Email Address: andrew@designcenterfl.com / (all cc'd) permits@designcenterfl.com

BIDDER'S DECLARATION AND UNDERSTANDING

The undersigned, hereinafter called the Bidder, declares that the only persons or parties interested in this bid are those named herein, that this bid is, in all respects, fair and without fraud, that it is made without collusion with any official of the City, and that the bid is made without any connection or collusion with any person submitting another bid on this contract.

The Bidder further declares that they have carefully examined the Contract Documents for the construction of the project, that they have personally inspected the site, and satisfied themselves as to the quantities involved, including materials and equipment, and conditions of work involved, including the fact that the description of the quantities of work and materials, as included herein, is brief and is intended only to indicate the general nature of the work and to identify the said quantities with the detailed requirements of the Contract Documents, and that this bid is made according to the provisions and under the terms of the Contract Documents, which documents are hereby made a part of this bid.

CONTRACT EXECUTION AND BONDS

The Bidder agrees that, if their bid is accepted, they will, within ten (10) calendar days—excluding Sundays and legal holidays—after receipt of the Notice of Award, execute the contract in the form attached hereto. At that time, the Bidder shall also provide the City with examples of the Performance Bond and Payment Bond for each project, evidence of all required licenses and certifications, and shall furnish, to the extent of their bid, all necessary machinery, tools, equipment, and materials to perform and complete all work as specified or indicated in the Contract Documents.

CERTIFICATES OF INSURANCE

Bidder agrees to furnish the City, before commencing the work under this contract, the Certificates of Insurance (COI) as specified in these documents.

START OF CONSTRUCTION AND CONTRACT COMPLETION TIME

The Bidder further agrees to begin work within ten (10) calendar days after receiving the Notice to Proceed and to complete the project, in all respects, within **four hundred and twenty-five (425)** after the date of the Notice to Proceed.

**PRICE PROPOSAL FORM – 907 Caroline Street New Commercial Building
Construction**

LUMP SUM BID SCHEDULE

Bid prices stated in this proposal include all costs and expenses for labor, equipment, materials, disposal and contractor's overhead and profit. Prices for the various work line items are intended to establish a total price for completing the project in its entirety. All work and incidental costs shall be included for payment under the scheduled items of the overall contract, and no separate payment will be made therefore.

ITB26-001 – 907 Caroline Street New Commercial Building Construction

- | | |
|--|---------------------|
| 1. <u>Mobilization, General/Supplemental Conditions and Demobilization</u> | |
| a. Mobilization | \$ <u>22,500.00</u> |
| b. General/Supp. Conditions | \$ <u>10,000.00</u> |
| c. Demobilization | \$ <u>20,000.00</u> |

The total cost for Bid Items #1(a + b + c) must not exceed five percent (5%) of the overall construction cost for Bid Items 4–15

- | | |
|---|------------------------|
| 2. Payment and Performance Bonds | \$ <u>182,500.00</u> |
| 3. Permit and Impact Fees (to be paid at cost) | \$ 210,000 |
| 4. Demolition | \$ <u>110,000.00</u> |
| 5. Foundation | \$ <u>450,000.00</u> |
| 6. Stairs, Decking, Railings & Building Signage | \$ <u>250,000.00</u> |
| 7. Building Structure & Roof | \$ <u>1,200,000.00</u> |
| 8. Interior Finishes (Commercial Space) | \$ <u>150,000.00</u> |
| 9. Interior Finishes (Residential Space) | \$ <u>100,000.00</u> |
| 10. Doors & Windows | \$ <u>300,000.00</u> |
| 11. Mechanical | \$ <u>200,000.00</u> |
| 12. Electrical | \$ <u>300,000.00</u> |
| 13. Plumbing | \$ <u>300,000.00</u> |
| 14. Site Work | \$ <u>125,000.00</u> |
| 15. Landscaping | \$ <u>120,000.00</u> |
| 16. General Allowance (approved in writing by the City) | \$ 200,000.00 |

TOTAL OF LUMP SUM ITEMS 1-16: \$ 4,250,000.00

Four million two hundred fifty thousand Dollars & zero Cents
(amount written in words)

*** The Contractor shall be responsible for obtaining and paying for all required permits, licenses, and inspections necessary to perform the work. Permit fees may vary based on project scope and valuation. The City will reimburse the Contractor for actual, documented permit fees at cost (no markup), upon submission of valid receipts and proof of payment.**

Payment for materials & equipment authorized by the City in a written Change Order but not listed in the Schedule of Values will be provided at suppliers' invoice plus 15%.

List items to be performed by Bidder's own forces and the estimated total cost of these items. (Use additional sheets if necessary.)

We perform all of the above work besides mechanical and roofing which we sub out.

Multiple horizontal lines for listing items and costs.

SUBCONTRACTORS

The Bidder further proposes that the following subcontracting firms or businesses will be awarded subcontracts for the following portions of the work if the Bidder is awarded the contract:

US - JC Construction Management - Plumbing - Same Address as Design Center Inc

Name

6677 Overseas Highway, Marathon, Florida, 33050
Street City State Zip

Name US - Galaxy Electric - Electric - Same Address as Design Center Inc

6677 Overseas Highway, Marathon, Florida, 33050
Street City State Zip

Faswd LLC (Lindholm) - Roofing

Name

87899 Overseas Highway, Islamorada, Florida, 33050
Street City State Zip

Icy Arctic Corp

Name

20210 Franjo Rd, Miami, Florida, 33189
Street City State Zip

SURETY

United States Fire Insurance Company whose address is

305 Madison Avenue, Morristown, New Jersey, 07960
Street City State Zip

BIDDER

The name of the Bidder submitting this bid is

Design Center Inc. doing business at

6677 Overseas Highway, Marathon, Florida, 33050
Street City State Zip

which is the address to which all communications concerned with this Bid and with the Contract shall be sent.

The names of the principal officers of the corporation submitting this bid, or of the partnership, or of all persons interested in this bid as principals are as follows:

Andrew George, President Yadira Blanco, Vice-President

If Sole Proprietor or Partnership

IN WITNESS hereto the undersigned has set their (its) hand this _____ day of _____ 2026.

Signature of Bidder

Title

If Corporation

IN WITNESS WHEREOF the undersigned corporation has caused this instrument to be executed, and its seal affixed by its duly authorized officers this 9th day of February 2026.

(SEAL)

Design Center Inc.

Name of Corporation

By Andrew George

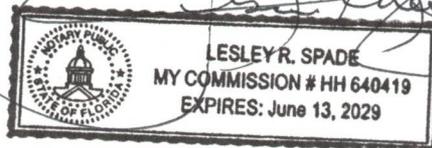
Title President, Design Center Inc.

Attest [Signature]

Sworn and subscribed before this 9th day of February, 20 26

NOTARY PUBLIC, State of Florida, at Large

My Commission Expires: June 13th, 2029





CGC 1523838

DESIGN CENTER INC

GENERAL CONTRACTORS & ENGINEERS



The Value of Local Experience and Long-Term Accountability

Design Center Inc. is a locally owned, minority and women-owned, family-operated construction firm with more than 25 years of hands-on experience delivering complex projects in this unique local environment. With fully integrated, in-house capabilities, including the electrical, and plumbing licenses required for this project, we bring all major trades under one roof. This structure allows us to provide seamless continuity, clear accountability, and consistent quality from preconstruction through final completion. We have a vested interest in the safe execution of this project, as some of our current employees reside in the Eastwind community.

We have successfully completed hundreds of local spalling and structural concrete remediation projects across residential, condominium, and commercial properties, many performed under active-occupancy conditions and public-sector oversight. Additionally, our extensive experience includes work over the last 15 years with the Housing Authority, including projects at Newport Village Apartments, Tropical Isles, and Eastwind Apts, among others. These projects demanded not only technical execution, but a deep working knowledge of local environmental exposure, permitting and approval processes, inspection standards, and long-term performance considerations specific to this region.

Our experience further includes numerous State of Florida government projects, including work within state parks, as well as projects for condominium associations and commercial properties throughout the area. These engagements have resulted in ongoing referrals from public agencies and housing authority partners, including referrals stemming from prior work at Eastwind, reflecting the confidence earned through consistent results and responsible project delivery.

Every element of the current plan reflects lessons learned, what must be done differently, more thoroughly, and with accountability from day one. This is precisely where local knowledge becomes a financial safeguard, not a premium. **The value of local experience isn't measured in dollars; it's measured in avoiding the cost of doing the same project twice.**

As a minority and women-owned local contractor, Design Center Inc. brings an added level of accountability that comes from living and working in the same community we serve. Our leadership, workforce, and trade partners are all local. When coordination is required, we are present. When questions arise, decisions are made quickly and responsibly. When long-term performance matters, ownership is personal.

Supported by a team of over 60 professionals, disciplined project management, and a proven public-sector track record, Design Center Inc. offers agencies a partner focused on risk reduction, fiscal responsibility, and long-term value. We welcome the opportunity to contribute our experience, expertise, and community commitment to the success of this project.

We have attached extensive recommendation letters for your review. Thank you for your time and consideration.



CGC 1523838

DESIGN CENTER INC

GENERAL CONTRACTORS & ENGINEERS



#7 General Character of Work Performed

Design Center Inc. performs a broad range of construction, design, planning, and project management services for public-sector, residential, condominium, and commercial projects, including:

Construction & Trades:

- Structural concrete construction, spalling remediation, and concrete restoration
- Shell, piling, column construction
- Rough and finish carpentry
- Roofing installation, repair, and replacement
- Plumbing, mechanical, and HVAC systems
- Electrical coordination and integration
- Interior and exterior renovations, building envelope repairs
- Concrete pools, patios, and hardscapes
- Landscaping and site improvements
- Dock installation, shoreline restoration, and waterfront construction

Planning, Design, & Engineering:

- Site investigation, due diligence, and feasibility studies
- Zoning, land development analysis, and municipal ordinance reviews
- Regulatory research and permitting (local, state, and federal agencies, including DEP, DOH, and Army Corps of Engineers)
- Preparation of conceptual designs, CAD drawings, site plans, layouts, and construction documents
- Virtual walkthroughs and renderings for planning and client presentations
- Workflow optimization and operational redesign for improved functionality
- Cost impact analysis and constructability reviews

Project Management & Oversight:

- Full lifecycle project management, from conceptual design through construction closeout
- Coordination with architects, engineers, sub-contractors, and consultants
- Budget, schedule, and risk management
- Oversight of phased or active-occupancy projects
- Government bid package preparation and procurement compliance
- Quality assurance and adherence to environmental, zoning, and safety standards

Public-Sector & Special Expertise:

- Housing Authority projects, including Newport Village Apartments, Tropical Isles, and Eastwind Apts**
- State of Florida government projects, including state parks**
- Condominium associations, commercial properties, and private residential developments
- Life-safety concrete improvements, code compliance upgrades, recertification repairs and long-term maintenance planning

Additional Services:

- Notary and certified signing agent services for real estate and our property-related transactions
- Remote Online Notarizations (RON) for secure virtual notarizations
- Administrative, permitting, and documentation management



DESIGN CENTER

GENERAL CONTRACTORS & ENGINEERS



1. WestCare(Heron House RFT- Marathon FL)
Address: 5200 Blue Lagoon Drive, Miami, FL
Contact: Albert Grandinetti
Email: albert.grandinetti@westcare.com

2. Housing Authority of Key West
Address: 1400 Kennedy Drive
Contact: Gary Bowman
Phone: (305) 395-9933

3. Mike Puto – Former City Manager
Scope: Commercial Spalling
Phone: (305) 481-0438

4. The Cay Condominiums
Address: 601 W. Ocean Drive
City: Key Colony Beach, FL
Phone: (305) 289-1581

5. Skipjack Condominiums
Address: 4 Ibis Lane
Contact: Lydia Westdickenberg
Phone: (516) 805-1558

6. Bayside Condominiums
Address: 201 Coppitt Road
City: Key West, FL
Contact: Lorna Sanchez
Phone: (786) 282-8437

7. State of Florida / Ducky Johnson – REBUILD FLORIDA Project
Scope: 39 Homes Under Construction
Location: Key Largo to Key West
Garrett Tillman, Project Manager – (832) 840-9630

8. Ocean Side Marina
Location: Stock Island, FL
Contact: Will Campbell
Phone: (305) 363-8330

9. Monroe County – Marathon Government Annex Project
Address: 490 E. 63rd Street Ocean
City: Marathon, FL 33050
Contact: David Tegreene
Phone: (305) 517-6005 | (772) 834-9498

10. Captain Quarter Condominiums
Address: 225 South Angler Drive
City: Marathon, FL 33050
Contact: Charles Alferes
Phone: (508) 922-1010

11. Sunset Beach Condominiums
Address: 581 East Ocean Drive
City: Key Colony Beach, FL 33051
Contact: Ed Carey
Phone: (305) 289-0808 | (305) 797-0434

12. Sombrero Beach Condominiums
Address: 19 Sombrero Boulevard
City: Marathon, FL 33050
Contact: Tim Statler
Phone: (231) 838-4686

13. Harbor Club Condominiums
Address: 423 Sombrero Beach Road
City: Marathon, FL 33050
Contact: David Peck
Phone: (305) 393-2167

14. Hawks Nest Condominiums
Address: 1 Kyle Way South
City: Marathon, FL 33050
Contact: Petri Hernandez
Phone: (305) 743-6711

15. Royal Furniture – Largest Commercial Building in Marathon
Location: Marathon, FL
Contact: Ryan Elwell
Phone: (305) 481-1791



601 W. Ocean Dr.
P.O. Box 510069
Key Colony Beach, FL 33051-0069

phone: (305) 289-1581

January 26, 2026

Dear Sir or Madam,

Based on many years of service to our condominium community, I would highly recommend Design Center for your spalling repairs. They are dependable, committed to agreed upon timelines, accessible and very cost competitive.

After addressing our initial spalling needs, we've continued with yearly maintenance. Their crew is excellent, respectful, professional and tidy. Our project manager, Alex Estevez, is 100% committed to customer satisfaction and shows a genuine interest in our property.

If you would like to discuss further, you can reach me at stanfriend111@gmail.com.

Sincerely,

Stan Friend
President, The Cay Condominium Association

LYDIA WESTDICKENBERG

4 IBIS LANE

MARATHON FL 33050

C/O SKIPJACK RESORT & MARINA

C/O VASO PROPERTY MANAGEMENT

To Whom It May Concern,

I am pleased to provide this letter of recommendation for Design Center. Our company has worked with them on multiple concrete and spalling repair projects, and they have consistently delivered outstanding results.

Throughout our experience working together, their team has been professional, reliable, and highly skilled. They consistently completed their work on schedule while maintaining excellent workmanship and attention to detail. Their projects were well-organized, and they demonstrated strong communication from start to finish.

Importantly, all work performed complied fully with required inspections and applicable standards. They were proactive in addressing any issues that arose and ensured that each project met or exceeded expectations.

Based on our past experience, I would highly recommend Design Center and Alex Estevez for concrete and spalling repair services. They are a dependable contractor who takes pride in delivering quality work.

Please feel free to contact me if additional information is needed.

Sincerely,

Lydia Westdickenberg



Lwestdickenberg@gmail.com

516.805.1558

BAYSIDE CONDOMINIUMS AT MILE MARKER 10 ASSOCIATION INC.

201 Coppitt Road
Key West, FL 33040

January 26, 2026

To Whom It May Concern:

This letter serves as a reference for Design Center and the major spalling work they performed at Bayside Condominiums.

Between July 2024 and July 2025, Design Center repaired all affected spalling areas on all three condo buildings at Bayside. Their team was very cooperative and helpful throughout the entire process. The scope of work was performed efficiently, thoroughly and on time. At all times, they were professional and responded quickly to any requests, changes, etc.

If you require further information or have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Lorna Sanchez". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Lorna Sanchez
Secretary of the Board
Bayside Condominiums
786-282-8437

Sombrero Sunsets, LLC



August 30, 2024

Mr. Andrew George
Design Center
6677 Overseas Highway
Marathon, FL 33051

To Whom it may concern:

We are extremely pleased to express our satisfaction with the services provided by Design Center for the spalling repair work on our Key Colony Condominium building.

From the initial consultation through project completion, the Design Center team demonstrated a high level of professionalism, technical expertise, and attention to detail. The scope of work was clearly explained, the planned repair methods shared, communication channels and timeline documented, all while ensuring transparency and confidence throughout the process.

The spalling repairs were completed efficiently and in accordance with all standards and with minimal disruption to our long term residents. The workmanship met our expectations, and the project was delivered on schedule. Design Center's staff was responsive, courteous, and proactive in addressing issues, concerns, and questions as they arose.

Based upon our experience with many projects over the years, we would not hesitate to recommend Design Center for spalling repair and restoration services. We appreciate the commitment to quality and customer satisfaction and look forward to working on future projects.

Richard Even
President
Sombrero Sunsets, LLC



Albert Grandinetti
5200 Blue Lagoon Drive, Suite 445
Miami, FL 33126
305-890-6789
albert.grandinetti@westcare.com

December 29, 2025

To Whom It May Concern,

Design Center performed spalling work at our property at 67 Coco Plum, Marathon, Florida. The job was completed below budget and under the estimated time for completion. We are very satisfied with their work and continue to use them on other projects.

Sincerely,

Albert Grandinetti
Construction Superintendent Fitzhouse Enterprises

1/26/2026

TO WHOM IT MAY CONCERN

My name is Ivan Urbay I am facilities officer for First State Bank with numerous of Branch from Key West to Pembroke pine, we have being working with Design Center, they are being on time on the project, with quality and professional work, they are very responsible demonstrates commitment to excellence and honesty, for additional information you can contact me at 3406 North Roosevelt Blvd key west FL 33040 ivanu@keysbank.com 3052936807 or 3057630323, best regards.

January 26, 2026

RE: Letter of Recommendation for The Design Center, Marathon, FL

To Whom It May Concern,

I am writing to offer my strongest recommendation for The Design Center in Marathon, Florida. From start to finish, my experience with Alex and his entire team was exceptional, and I would not hesitate to hire them again or encourage others to do the same.

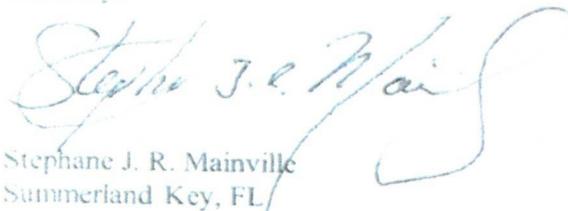
The initial project involved substantial spalling repair, an unavoidable but critical reality of owning property in the Florida Keys. From the outset, the workmanship was outstanding. The quality of the repairs, attention to detail, and care taken throughout the process exceeded my expectations. Just as important, the project stayed precisely on schedule and came in exactly at the quoted price. In an industry where surprises are often the norm, their reliability and transparency were genuinely refreshing.

Communication was another major strength. Alex and his crew were present and engaged every step of the way. Questions were answered promptly, updates were clear and consistent, and I always felt informed and confident about the progress of the work. The crew itself was polite, professional, and respectful of my home, which made a disruptive project far easier to live with.

I was so impressed with the results and the integrity of the company that I hired The Design Center again, this time to complete an addition and remodel portions of my existing home. Once again, the pricing was accurate, the timeline was honored, and the finished work was excellent. They even included a few extra touches at no additional cost to ensure I was completely satisfied, which spoke volumes about their commitment to customer satisfaction.

Above all, I value The Design Center for their honesty, communication, and dedication to doing the job right. Those qualities, combined with superior craftsmanship and dependable pricing, make them truly stand out. They earned my trust through their actions, and I give them my wholehearted recommendation.

Sincerely,



Stephane J. R. Mainville
Summerland Key, FL

To whom it may concern:

I unconditionally recommend the Design Center of Marathon Florida as a trustworthy partner for remodeling and construction.

I own a top 20 Washington, D.C. commercial general contracting company. Over the past four years, Alex and his crew have done significant concrete spalling work, pool deck repair and the interior remodeling of two bathrooms. Most recently, Alex completed a significant home addition, adding two bedrooms and four bathrooms.

My home in Marathon had been severely neglected prior to its purchase. Alex and his team have helped me repair everything from concrete spalling, structural improvement, painting, electrical, plumbing and mechanical work. His workers are dedicated and professional. I've been extremely impressed with the expertise and quality of their work.

I was skeptical when I hired the Design Center for the first project because I never thought I would be able to find anyone I could trust or rely on like my own team, especially from so far away.

Now, I would never have anyone else in the Keys work on my home.

All of my projects with Design Center have been long distance from Washington, D.C. Alex has always kept apprised of the project's progression. He is communicative and deals with any problems that may come up along the way. Dealing with major improvements from so far away could not have been done with anyone but Design Center and Alex's team.

I trust Alex implicitly and highly recommend him and his crew for any project you have in mind.

Their work is top notch.

PIZZANO CONTRACTORS

Robert Pizzano Jr. | President

1019 Cameron Street

Alexandria, VA 22314

Office | 703.549.4444 Ext. 13003

Cell | 703.906.6574

rpizzanojr@pizzanocontractors.com

www.pizzanocontractors.com

Whatever It Takes.

We moved into our current home in Marathon about 6 years ago. Since then Design Center has done spalling work, and a complete remodeling job. They helped me design the perfect house, they gave me an excellent bid and stuck to it. They were timely and easy to work with.

We are very pleased with the work they did and would use them again.

Sincerely,



Dolores McCrory

7550 Gulfstream

Marathon FL

352-267-4450

DESIGN CENTER INC

Job Progress Invoices vs. Estimates

July 1, 2024 through February 2, 2026

Type	Date	Num	Name	Estimate Active	Estimate Total	Progress Invoice	% Progress
Abi Martinez							
Pavel - New Construction 320 84th							
Estimate	07/31/2024	083181	Abi Martinez:Pavel - ...	X	300,000.00	300,000.00	100.00%
Antonie De La Gueronniere							
Alex 2025- 500 Corte De Luna Dock							
Estimate	05/17/2025	083222	Antonie De La Guer...	X	52,217.54	5,000.00	9.58%
Arkadiusz Kosakowski							
Alex - Spalling 850 97th							
Estimate	09/11/2024	083189	Arkadiusz Kosakows...	X	21,075.00	21,075.00	100.00%
Alex - Windows & Doors 850 97th							
Estimate	09/11/2024	083190	Arkadiusz Kosakows...	X	19,271.31	19,271.31	100.00%
Arnel Santos							
Pavel New Construction - 712 83rd St							
Estimate	11/03/2025	083260	Arnel Santos:Pavel ...	X	193,080.00	25,000.00	12.95%
Bob and Jayne Ohly							
Chris- Remodel 581 E Ocean Drive #19							
Estimate	08/19/2025	083246	Bob and Jayne Ohly:...	X	46,035.75	46,035.75	100.00%
Bowline Hospitality I LLC							
Alex - Deck 815 Duval St Key West							
Estimate	08/07/2025	083243	Bowline Hospitality I ...	X	54,625.76	54,625.76	100.00%
Brad and Melissa Hager							
218 Tropical							
Estimate	10/01/2024	083196	Brad and Melissa H...	X	440,000.00	440,000.00	100.00%
Candy Fincke							
Alex - Spalling 500 123rd St Gulf							
Estimate	01/05/2025	083200	Candy Fincke:Alex - ...	X	12,840.96	12,840.96	100.00%
Cay Condominiums MARLENE							
Alex - 601 W. Ocean 2025 Spalling							
Estimate	03/06/2025	083216	Cay Condominiums ...	X	123,063.75	123,063.75	100.00%
Charles Batarse							
Kevin- Remodel 16 Kyle way E							
Estimate	11/19/2025	083261	Charles Batarse:Kev...	X	17,350.00	17,350.00	100.00%
Cheryl Hulseberg							
Brad - Remodel 801 10th St.							
Estimate	08/19/2024	083186	Cheryl Hulseberg:Br...	X	133,482.25	133,482.25	100.00%
Christian Science Society							
Alex-327 Elizabeth st KW-Spall&Wind							
Estimate	05/20/2025	083227	Christian Science S...	X	44,715.64	44,715.64	100.00%
Craig Britton							
Alex - Spalling 236 Apache							
Estimate	03/11/2025	083212	Craig Britton:Alex - ...	X	10,824.24	10,824.24	100.00%
David Wenhold							
Alex - Spalling 15 Sea Lore							
Estimate	01/30/2025	083205	David Wenhold:Alex...	X	7,602.20	7,602.20	100.00%
Deidre Morris							
Brad - Bathroom 999 73rd							
Estimate	10/16/2024	083191	Deidre Morris:Brad - ...	X	18,436.00	18,436.00	100.00%
Delores McCrory							
Alex - 2025 Spalling							
Estimate	12/01/2025	083264	Delores McCrory:Ale...	X	15,500.00	4,000.00	25.81%
Donna Eales							
Brad - House Repairs 366 Stirrup Key							
Estimate	01/15/2025	083204	Donna Eales:Brad - ...	X	27,114.38	27,114.38	100.00%
Brad - HVAC Repairs 366 Stirrup Key							
Estimate	11/20/2024	083195	Donna Eales:Brad - ...	X	32,532.00	32,532.00	100.00%
Eddie Lebron							
Alex-Spalling 435 121st Gulf							
Estimate	01/20/2026	083275	Eddie Lebron:Alex-S...	X	74,100.00	10,000.00	13.50%
Edward Kertis							
Brad - New Construction 16 Shore Ter							
Estimate	08/14/2025	083244	Edward Kertis:Brad - ...	X	1,150,455.00	376,200.00	32.70%
First Professional Center							
Alex - Spalling 2024 5701 Overseas							
Estimate	11/01/2024	083192	First Professional C...	X	17,290.79	17,290.79	100.00%
Alex - Spalling 2025 5701 Overseas							
Estimate	06/23/2025	083232	First Professional C...	X	52,125.00	52,125.00	100.00%
First State Bank KW							
Alex- Spalling 3406 N Roosevelt Blvd							
Estimate	01/01/2026	083272	First State Bank KW...	X	35,000.00	33,000.00	94.29%
Glen Simser							
Les, And,Pav-Install Patio- 25 7th St KCB							
Estimate	12/03/2025	083266	Glen Simser:Les, An...	X	52,000.00	20,000.00	38.46%
Grassy Key Resort Group LLC							
Alex-Spalling 58182 OVERSEAS Hwy							
Estimate	10/07/2025	083253	Grassy Key Resort ...	X	12,879.46	12,879.46	100.00%
Guidance Care Center Inc.							
Brad - Heron Construction 67 Coco Plum							

DESIGN CENTER INC

Job Progress Invoices vs. Estimates

July 1, 2024 through February 2, 2026

Type	Date	Num	Name	Estimate Active	Estimate Total	Progress Invoice	% Progress
Estimate	08/21/2024	083188	Guidance Care Cent...	X	4,949,869.01	2,445,822.51	49.41%
Heron House							
Brad - Generator Platform							
Estimate	08/18/2025	083245	Heron House:Brad - ...	X	9,500.00	9,500.00	100.00%
James Sprague							
Alex-Spalling 416 bay Shore Dr, Ramond							
Estimate	06/24/2025	083233	James Sprague:Alex...	X	12,696.84	12,696.84	100.00%
Jeannie Hendrickson							
Chris - Renovation Indigo #51							
Estimate	05/18/2025	083225	Jeannie Hendrickso...	X	135,695.00	127,882.00	94.24%
Chris - Windows- Indigo #51							
Estimate	05/17/2025	083223	Jeannie Hendrickso...	X	66,620.94	66,620.94	100.00%
Jeff Blake							
Alex - Spalling 1099 100th St							
Estimate	08/19/2024	083187	Jeff Blake:Alex - Sp...	X	19,339.32	19,339.32	100.00%
Jeff Green							
Brad - Dock 120 Avenue E							
Estimate	03/21/2025	083220	Jeff Green:Brad - Do...	X	132,040.10	21,327.10	16.15%
Brad - New Construction 120 Ave E							
Estimate	08/08/2024	083183	Jeff Green:Brad - Ne...	X	1,854,635.70	1,793,691.58	96.71%
Brad - Pool 120 Ave E							
Estimate	08/08/2024	083184	Jeff Green:Brad - Po...	X	158,611.58	143,311.58	90.35%
Jorge Gonzalez							
Pavel- Stucco &Spalling 836 89th St							
Estimate	10/08/2025	083254	Jorge Gonzalez:Pav...	X	85,180.00	20,000.00	23.48%
Pavel-Pool 836 89th St							
Estimate	10/08/2025	083255	Jorge Gonzalez:Pav...	X	100,000.00	20,000.00	20.00%
Justin Ahearn & Cara O'Neill							
414 Calle Limon Cara							
Estimate	12/02/2024	083199	Justin Ahearn & Car...	X	748,730.11	748,730.11	100.00%
Estimate	11/12/2025	083265	Justin Ahearn & Car...	X	34,999.41	34,999.41	100.00%
Karl Floody							
Brad - Landscaping 850 Shelter							
Estimate	11/11/2024	083194	Karl Floody:Brad - L...	X	52,981.00	48,000.00	90.60%
KCB							
Alex-Spalling repairs 600 W Ocean Dr							
Estimate	12/09/2025	083268	KCB:Alex-Spalling r...	X	15,100.00	6,750.00	44.70%
Brad-Install Cabinets -600 W Ocean Dr							
Estimate	09/22/2025	083250	KCB:Brad-Install Ca...	X	22,650.00	22,650.00	100.00%
Ken Bukauski							
Alex - Enclosure 57413 Goodley							
Estimate	02/05/2025	083208	Ken Bukauski:Alex -...	X	29,253.00	29,253.00	100.00%
Leandra Hutchinson							
Alex- Windows replacement							
Estimate	05/29/2025	083229	Leandra Hutchinson:...	X	46,427.00	5,000.00	10.77%
Brad - Pool 946 E. 75th							
Estimate	02/07/2025	083209	Leandra Hutchinson:...	X	179,818.01	179,818.01	100.00%
Leonor Prager							
Alex - Spalling 508 Avenida Primiceria							
Estimate	12/09/2024	083197	Leonor Prager:Alex -...	X	10,500.00	10,500.00	100.00%
Lisa Nolan							
Alex - Painting 1088 Fern Ave							
Estimate	01/07/2025	083202	Lisa Nolan:Alex - Pa...	X	12,300.00	12,300.00	100.00%
Lisa Pavone							
Alex-Bathroom Remodel 1133 W Ocean Dr 5							
Estimate	06/29/2025	083234	Lisa Pavone:Alex-B...	X	123,922.70	110,000.00	88.77%
Lishell Meredith							
Alex- Dock Spalling 11765 5th Ave Ocean							
Estimate	09/08/2025	083249	Lishell Meredith:Alex...	X	38,500.00	5,000.00	12.99%
Marathon AC Inc.							
Alex - Spalling 2499 Overseas Hwy							
Estimate	08/08/2024	083185	Marathon AC Inc.:Al...	X	4,908.03	4,908.03	100.00%
Mark Pustizzi							
Alex - Spalling 1064 Labat							
Estimate	12/13/2024	083198	Mark Pustizzi:Alex - ...	X	15,730.30	15,730.30	100.00%
Marlin Bay Yacht Club							
Alex - Dock Spalling 3876 Louisa							
Estimate	07/11/2024	083173	Marlin Bay Yacht Cl...	X	55,965.49	55,965.49	100.00%
Michael Cook							
Alex - Bathroom Remodel 777 63rd							
Estimate	03/14/2025	083215	Michael Cook:Alex - ...	X	22,227.37	22,227.37	100.00%
Mike Sheehan							
Andrew - Fencing 406 Calle Limon							
Estimate	03/13/2025	083214	Mike Sheehan:Andr...	X	10,665.51	10,665.51	100.00%
Ned Hancock							
Alex - Spalling 172 S. Indies Dr.							
Estimate	07/19/2024	083178	Ned Hancock:Alex - ...	X	17,530.03	17,530.03	100.00%

DESIGN CENTER INC

Job Progress Invoices vs. Estimates

July 1, 2024 through February 2, 2026

Type	Date	Num	Name	Estimate Active	Estimate Total	Progress Invoice	% Progress
Nelson Rodriguez							
.Pavel - Fence/Paver 387 82nd Street							
Estimate	07/16/2024	083175	Nelson Rodriguez:P...	X	25,522.47	25,522.47	100.00%
Pavel - New Construction 715 26th							
Estimate	07/18/2024	083179	Nelson Rodriguez:P...	X	694,988.00	694,988.00	100.00%
Pavel - Pool 9008 Aviation							
Estimate	03/04/2025	083210	Nelson Rodriguez:P...	X	75,819.13	75,819.13	100.00%
Noel Stamper - 11770 5th Ave Ocean							
Alex-Remodel 2025							
Estimate	08/07/2025	083248	Noel Stamper - 1177...	X	120,000.00	10,000.00	8.33%
Noleside Properties LLC - 116							
Chris-Windows&Doors 116 Bimini							
Estimate	08/22/2025	083247	Noleside Properties ...	X	29,168.96	29,168.96	100.00%
Chris B. - Remodel 116 Bimini							
Estimate	04/23/2025	083219	Noleside Properties ...	X	92,628.66	92,628.66	100.00%
Kevin-Pavers 116 Bimini Drive							
Estimate	12/03/2025	083267	Noleside Properties ...	X	30,420.00	10,000.00	32.87%
Phil Burkart							
Brad - Remodel 146 Mockingbird							
Estimate	11/01/2024	083193	Phil Burkart:Brad - R...	X	88,143.69	75,993.69	86.22%
Ray's Construction							
Andrew - Electrical 55 Coral Lane							
Estimate	07/10/2025	083235	Ray's Construction:...	X	74,500.00	22,350.00	30.00%
Andrew - Electrical 920 Shelter Bay							
Estimate	03/12/2025	083213	Ray's Construction:...	X	30,250.00	30,250.00	100.00%
Richard Martin Jr							
Alex - Spalling & Stairs 131 W Indies Dr.							
Estimate	10/07/2025	083252	Richard Martin Jr:Al...	X	12,978.58	12,978.58	100.00%
Richard Rowley							
Alex - Painting 2797 Sombbrero							
Estimate	03/31/2025	083217	Richard Rowley:Alex...	X	9,500.00	9,500.00	100.00%
Alex - Spalling 2797 Sombbrero							
Estimate	02/04/2025	083206	Richard Rowley:Alex...	X	16,012.71	16,012.71	100.00%
Riki Lambert- 768 82nd							
Kevin-Landscaping							
Estimate	01/05/2026	083269	Riki Lambert- 768 8...	X	21,384.56	11,884.56	55.58%
Pavel Pool							
Estimate	07/21/2025	083240	Riki Lambert- 768 8...	X	111,940.00	106,940.00	95.53%
Robert Blanchard							
Alex - Spalling 2024 800-810 10th							
Estimate	07/30/2024	083182	Robert Blanchard:Al...	X	76,696.25	76,696.25	100.00%
Alex - Spalling 2025 800-810 10th							
Estimate	03/03/2025	083211	Robert Blanchard:Al...	X	21,227.13	21,227.13	100.00%
Alex - Spalling 2026 800-810 10th							
Estimate	01/07/2026	083271	Robert Blanchard:Al...	X	29,500.00	10,000.00	33.90%
Robert Bostack							
23 Kyle Way - Brad							
Estimate	01/07/2026	083270	Robert Bostack:23 K...	X	33,879.00	18,879.00	55.73%
Robert Helwig							
Pool - 140 S. Bahama							
Estimate	10/14/2025	083256	Robert Helwig:Pool -...	X	118,401.71	118,401.71	100.00%
Robert Pizzano							
Alex- Spalling 2025 3001 Sombbrero							
Estimate	07/29/2025	083241	Robert Pizzano:Alex...	X	31,388.32	31,388.32	100.00%
Alex - 2025 Remodel 3001 Sombbrero							
Estimate	06/10/2025	083230	Robert Pizzano:Alex...	X	300,000.00	255,000.00	85.00%
Sam Spencer							
Alex-Spalling 2547 Sombbrero Blvd							
Estimate	06/12/2025	083231	Sam Spencer:Alex-...	X	10,989.74	10,989.74	100.00%
Sean Cunningham							
Alex- Remodel 9 Treasure Road							
Estimate	11/19/2025	083262	Sean Cunningham:A...	X	620,000.00	75,000.00	12.10%
Staci & Stan Stokes							
Alex Spalling-Chris Dock 164 S Indies							
Estimate	07/18/2025	083236	Staci & Stan Stokes:...	X	123,560.11	123,560.11	100.00%
Stephane Mainville							
Alex - Spalling 27942 Leeward Rd							
Estimate	12/30/2024	083201	Stephane Mainville:...	X	217,054.44	212,554.44	97.93%
Estimate	05/20/2025	08322...	Stephane Mainville:...	X	16,000.00	0.00	0.00%
Steve Schmitt							
Brad - Remodel 11600 1st Ave Gulf #60							
Estimate	07/24/2024	083180	Steve Schmitt:Brad -...	X	125,662.31	125,662.31	100.00%
Sunset Beach Apts							
Brad - 2025 Spalling 581 E. Ocean Dr							
Estimate	05/01/2025	083226	Sunset Beach Apts:...	X	71,546.42	71,546.42	100.00%
Thomas Hakes							
Brad-Spalling 27450 W Indies Drive							

DESIGN CENTER INC
Job Progress Invoices vs. Estimates
 July 1, 2024 through February 2, 2026

Type	Date	Num	Name	Estimate Active	Estimate Total	Progress Invoice	% Progress
Estimate	01/16/2026	083274	Thomas Hakes:Brad...	X	35,487.00	10,000.00	28.18%
Tom Ball							
Andrew - New Construction 7780 Wahoo							
Estimate	04/04/2025	083218	Tom Ball:Andrew - N...	X	1,181,956.76	980,131.76	82.93%
Ventrice Family Trust							
Kevin- Remodel 308 Calamondin St							
Estimate	01/14/2026	083273	Ventrice Family Trus...	X	40,500.00	10,500.00	25.93%
Wayne Toning							
Andrew - New Construciton 121 S. Indies							
Estimate	07/18/2024	083177	Wayne Toning:And...	X	8,731.69	8,731.69	100.00%
Wendy Dyar							
Chris-Wendy Dyar 531 10th KCB							
Estimate	09/24/2025	083251	Wendy Dyar:Chris...	X	900.00	900.00	100.00%
Wendy Olaechea							
Brad - New Construction 1044 26th							
Estimate	02/04/2025	083207	Wendy Olaechea:Br...	X	601,330.95	328,330.95	54.60%
William Thompkins							
Alex - 100 Industrial Road							
Estimate	01/23/2025	083203	William Thompkins:...	X	22,000.00	22,000.00	100.00%



CGC 1523838

DESIGN CENTER INC

GENERAL CONTRACTORS & ENGINEERS



Firm Profile

Design Center Inc. is a locally owned, family-operated, minority-led corporation with over 20 years of experience in commercial, residential, and public-sector construction. The firm is led by Andrew N. George, President, and Yadira Blanco, Vice President, both of whom serve as Title Directors for affiliated construction entities.

Project Management Approach

Design Center Inc. employs Six Sigma project management principles to ensure efficiency, accountability, and quality assurance. Projects are executed using a structured, phased methodology that divides scope into manageable segments, allowing for continuous workflow, optimized scheduling, and minimal disruption.

Pricing and Cost Control

The firm offers fixed, inclusive pricing and does not utilize time-and-material billing. This approach ensures transparency, cost certainty, and adherence to approved budgets.

Technology and Documentation

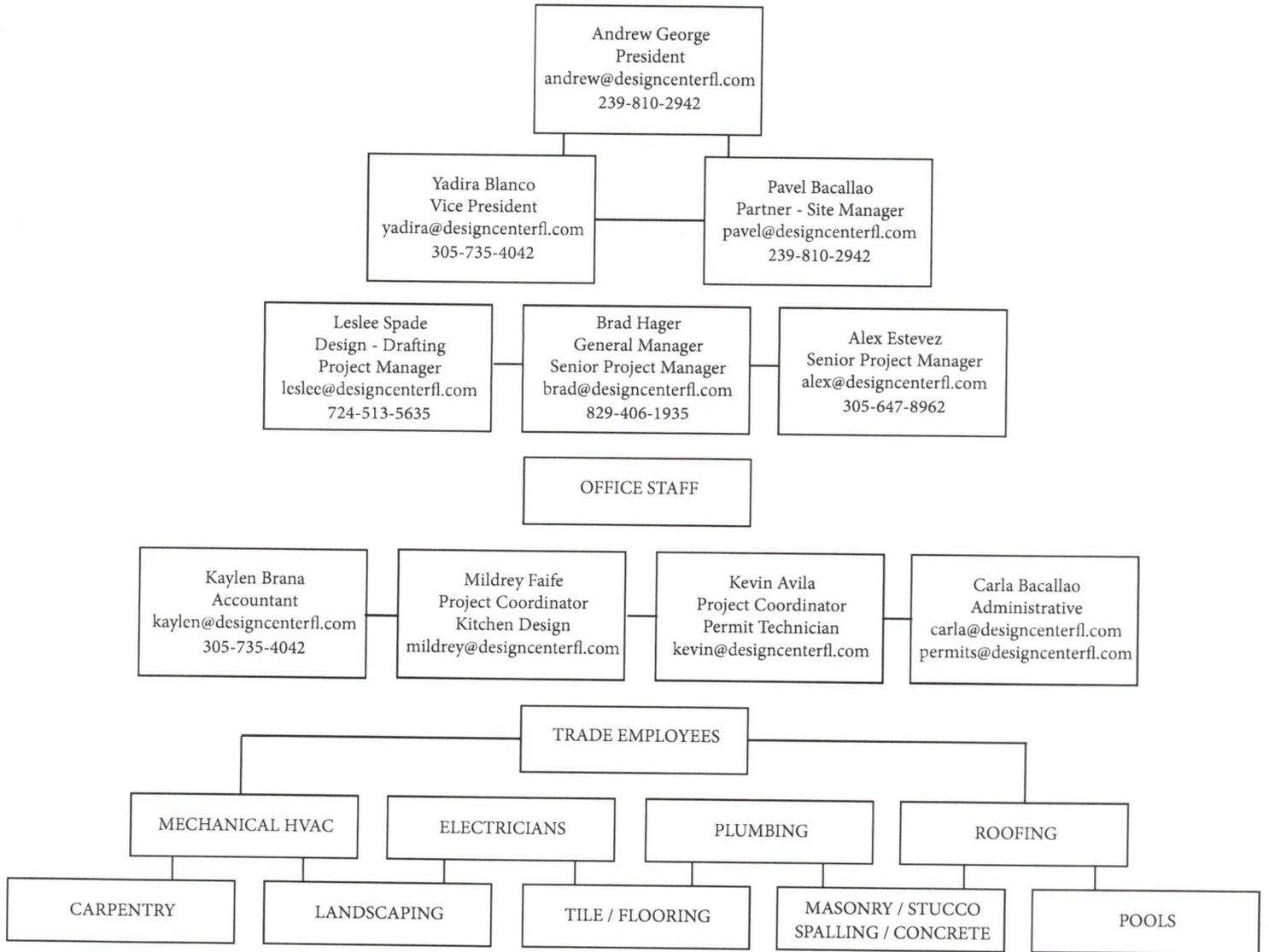
Design Center Inc. utilizes industry-standard task management platforms and CompanyCam, a secure, cloud-based documentation system that provides real-time, timestamped photographic records of project progress for client review and compliance verification.

Scope of Services

Services include structural and concrete construction, spalling and concrete restoration; shell work; rough and finish carpentry; roofing; plumbing; electrical; HVAC; engineering; cabinetry; masonry; stucco; concrete restoration; tile and flooring; landscaping; custom concrete pools; docks; and permitting services.

Capacity and Local Expertise

With a workforce exceeding 60 professionals and extensive knowledge of local codes, permitting requirements, and regulatory processes, Design Center Inc. has the capacity and expertise to deliver public-sector projects efficiently, safely, and in full compliance with governing standards.



Andrew George

CONTACT

(o) 305-735-4042 (c) 239-810-2942 Email; andrew@DesignCenterFL.com

PROFESSIONAL PROFILE

Project Management Professional with extensive experience in managing small, medium to large technology-based Fortune 500 and Government projects in the U.S. and internationally. Background includes program management, project management, systems engineering, and programming. Expertise in all phases of the project development lifecycle and implementing new and emerging technologies to define and solve business problems. Multi-lingual with excellent communication skills and ability to multi-task in high-pressure environments. Consistently achieve and exceed project objectives.

EDUCATION

- Masters in Project Management, George Washington University, Washington, DC
- BS Electrical Engineering, Franklin University, Columbus, Ohio
- BS Computer Science, Franklin University, Columbus, Ohio
- Project Management Professional (PMP)
- Project Management Institute (PMI)

ADDITIONAL SKILLS

- UNIX (MP-RAS) Certification, MSCE, MCP+I, Oracle DBA, Global PM® Project Management, Deploy PM, PMP
- Microsoft Word, Excel, PowerPoint, Access, Outlook, MS Project, MS Publisher, and Lotus Notes
-

PROFESSIONAL AFFILIATIONS

- ICRI - INTERNATIONAL CONCRETE REPAIR INSTITUTE - PROFESSIONAL
- CI - CONSTRUCTION INSTITUTE
- AEI - ARCHITECTURAL ENGINEERING INSTITUTE
- AIBD - AMERICAN INSTITUTE OF BUILDING DESIGN
- NKBA - NATIONAL KITCHEN & BATH

EXPERIENCE

Royal Crest Builders, Royal Crest Homes, LLC

President - 2002 - Present

- Program Manager and management consultant with demonstrated successes in program and project management and leading interdisciplinary teams and stakeholders throughout the portfolio, program and project lifecycle.
- Experienced leader in the development and execution of interdisciplinary programs and projects.
- Strong ability to bridge strategy to execution and develop systems, processes and metrics.
- Adept at working with diverse and demanding stakeholders, executives and delivery team
- Several Years of experience working with Federal, State and Local Government Agencies.

HP ENTERPRISES SERVICES

Project Manager / Program Manager (Secret Clearance) 2010 - 2011

- Project management for State & Local Government
- Project management State of Ohio's Exchange email Migration
- Project management County of San Diego Desktop Transition

DELL, INC.

Project Manager / Program Manager (Secret Clearance) 2000 – 2008

1. I was the lead Program Manager of 6 PMs, 8-10 Lead consultants and 30-40 engineers for the US NMCI Project. Played a key role in starting the Oracle Consulting practice at DELL
2. Developed Oracle Delivery methodology. Managed the Oracle delivery practice for four years.
3. Responsible for managing Scope, Cost and Schedule of oracle projects.

- Performed as charter employee of the startup DELL Professional Services. Helped standardize pricing models, Statements of Work, and Letters of Engagement. Negotiated and on-boarded consulting companies and software manufacturers.
- Participated extensively in concept and pre-award planning and managed global implementation of the largest Dell consulting project in the US in partnership with EDS/US Navy, valued at more than \$100 million and still ongoing into 2009.
- Participated extensively in concept and pre-award planning and roll out of multiple US and international projects, including successfully managing several Governmental (Federal, State and Local), Medium Business and fortune 500 companies' projects to conclusion.
- Managed the evaluation and selection of key consulting partners and established cost targets and cost reduction roadmaps to guide internal teams and external partners.
- Participated on the Revenue Analysis and Margin Improvement team, developing a cost reduction strategy to meet and improve annual profit margin targets for DELL Professional Services.
- Acknowledged and received several awards for excellent pre-sales, project management, and technical support skills with no customer escalations.

NCR / AT&T

Senior Manager / Project Manager / Senior Consultant 1994 - 2000

- Played a key role in developing and consulting on the NCR 30XX UNIX servers and benchmarking for performance. Moved up to Senior Project Manager responsible for several large projects.
- Lead a team of project managers, consultants and engineers in the successful global implementation of the United States Navy's Y2K upgrade.
- Teamed with key customers to benchmark first-generation NCR and competitors' servers, providing feedback to Engineering and Manufacturing which resulted in development of a superior product.
- Successfully completed Global PM® Project Management certification.
- Lead Program Manager of 5 PMs, 4 Lead consultants and 15-20 engineers

LESLEE SPADE, aff.m.asce

Design Director | Executive Assistant to the President | General Manager

Design Center Inc. (Royal Crest Builders)

Marathon, Florida

Office: 305-735-4042 | Cell: 724-513-5635

Email: leslee@designcenterfl.com

Website: designcenterfl.com

PROFESSIONAL PROFILE

Design Director with over 20 years of experience spanning public and private sector design, construction coordination, zoning analysis, and executive leadership. Highly organized, detail-oriented professional with strong research, regulatory, and technical expertise. Proven ability to translate complex zoning, development, and construction requirements into actionable strategies and fully compliant designs.

PROFESSIONAL EXPERIENCE

Design Center Inc. / Royal Crest Builders

Design Director | Executive Assistant to the President

2017 – Present

- Interpret and explain contracts, zoning codes, and technical documentation to clients, attorneys, contractors, architects, and engineers
- Collaborate with architects, engineers, and construction specialists throughout all project phases
- Calculate dimensions, material requirements, weight limitations, and construction constraints

Zoning Reviews & Land Development Analysis

- Review municipal zoning and land development ordinances
- Analyze applicable agency regulations to determine development limitations for properties

Site Investigation & Due Diligence

- Conduct ordinance reviews, utility service research, outside agency coordination, and site visits
- Establish comprehensive development guidelines prior to design and permitting
- Create detailed CAD drawings, site plans, layouts, and construction documents
- Prepare design diagrams, maps, and layouts illustrating workflow and buildability
- DEP / DOH submissions related to shoreline restoration, dock installation, sewer replacement, and sewer connections
- Conduct regulatory research, ensure requirements are met, and complete permit submissions
- Maintain correspondence with the Army Corps of Engineers on projects requiring federal review
- Prepare conceptual renderings and virtual walkthroughs
- Review construction plans to determine cost impacts and feasibility
- Identify operational issues and redesign solutions to improve functionality
- Ensure final designs comply with zoning, environmental, and quality standards
- Prepare written correspondence with agencies, clients, attorneys, and consultants
- Manage general office operations, administrative workflows, and permitting
- Maintain website content, design advertising materials, and manage social media

- Prepare government bid packages for submittals
- Analyze, manage, and mitigate project risks

Independent Notary Public & Signing Agent - CURRENT

- Commissioned Florida Notary Public
- Certified Notary Signing Agent, specializing in real estate and property-related transactions
- Authorized Remote Online Notary (RON) with proficiency in secure virtual closing and notarization platforms
- Perform notarizations for real estate closings, affidavits, permits, and legal documents
- Ensure full compliance with Florida notary statutes and industry best practices
- Maintain comprehensive bonding and Errors & Omissions (E&O) Insurance to ensure liability protection and risk mitigation
- Provide reliable, confidential, and detail-oriented services for clients, attorneys, lenders, and title companies

Tekcapital**Director – U.S. Corporate Office | Executive Assistant to the President | Global Creative Director**
2016 – 2017

- Designed provisional and government patent concepts
- Developed high-level workflow strategies to improve efficiency
- Worked directly with NASA, U.S. Government agencies, science advisors, and universities
- Represented the President in his absence
- Managed intellectual property, confidentiality, and contractual agreements
- Conducted highly confidential research and reporting
- Traveled to government research facilities, universities, and laboratories
- Prepared classified technology reports and executive presentations
- Coordinated shareholder and investor communications
- Organized and led weekly executive “think tank” sessions

CAREER ACHIEVEMENTS

- 2018 Advanced Conference – Global Grand Prize, Most Innovative Conceptual Design
- 2018 Chief Architect – Global 1st Place, Residential Remodel
- 2018 Chief Architect – Global 1st Place, Interior Design
- 2018 Chief Architect – Global 1st Place, Kitchen Design (Florida Representative)
- 2018 Chief Architect – Global 2nd Place, Sustainability / Green Design
- 2018 Chief Architect – Global 1st Place, Designer of the Year
- 2019 Chrysalis Award – Kitchen Remodel \$75K–\$150K (Regional)
- 2019 Chrysalis Award – Residential Interior \$50K–\$300K (National)
- 2019 Chrysalis Award – Residential Exterior (National)
- 2019 Chrysalis Award – Whole House Remodel Under \$300K (National)
- 2019 Chrysalis Award – Residential Universal Design (National)

- NKBA – Past Communications Chairman
-

EDUCATION

- Community College of Beaver County – Commercial Arts (Vo-Tech)
 - Art Institute of Pittsburgh – Bachelor of Applied Science, Design
 - Career Training Academy – Associate, Specialized Technology
 - New York Institute of Art & Design – Interior Design
-

CERTIFICATIONS & CREDENTIALS

- Harvard University – Architectural Fundamentals Certificate
 - Project Management Institute (LYNDA Approved)
 - Human Resource Management
 - Project Management
 - Influencing Others
 - Leadership Fundamentals
 - Communication Fundamentals
 - Cornell University – Marketing Strategy (eCornell)
 - Adobe Certified Expert
 - Autodesk Professional (AutoCAD)
 - Chief Architect – Certified Professional User & Award Winner
 - International NLP Diploma Certification
 - ULCM – Doctor of Metaphysics Degree
-

PROFESSIONAL AFFILIATIONS

- Designers Society of America (DSA) Professional
 - Construction Institute (CI)
 - Architectural Engineering Institute (AEI)
 - American Institute of Building Design (AIBD) Professional
 - National Kitchen & Bath Association (NKBA)
 - American Society of Civil Engineers (ASCE)
-

TECHNICAL PROFICIENCIES

Design & Drafting Software

- AutoCAD
- AutoCAD Inventor
- Chief Architect
- DesignCAD 2D
- CAD (C.A.D.)
- 20/20 Design Software
- Structure Studios

Graphic Design & Creative Suites

- Adobe Creative Cloud – Certified Expert
- Adobe Photoshop (CS2–CS6, CC, CC24-26)
- Adobe Illustrator (CS2–CS6, CC, CC24-26)
- Adobe InDesign (CS2–CS6, CC, CC24-26)
- Adobe Bridge (CS2–CS6, CC, CC24-26)
- Adobe After Effects (CS2–CS6, CC, CC24-26)
- Adobe Sound Booth (CS5, CC24-26)
- Adobe Acrobat Pro (All Versions)
- CorelDRAW
- QuarkXPress
- PageMaker

Video, Media & Publishing Tools

- Sony Movie Studio Platinum
- News Edit
- Fetch

Business, Office & Accounting Software

- Microsoft Word
- Microsoft Excel
- Microsoft PowerPoint
- QuickBooks

Operating Systems & Platforms

- macOS (All Versions)
- Windows 95, 98, ME, 2000, XP
- Windows Vista, 7, 8, 10, 11

Production, Printing & Fabrication

- Direct Mail Setup & Production
- Sublimation Press Operations
- Large Format Printing

Technical & Systems Skills

- Basic MS-DOS
- File Management & Archival Systems
- Cross-Platform Software Integration



Pavel Bacallao

Partner,
Lead Project Manager / Foreman

CONTACT



(o) 305-735-4042
(c) 305-481-5801



pavelbconstruction@yahoo.es



Design Center Inc
6677 Overseas Highway,
Marathon, Florida, 33050



floridakeysdesigncenter.com

ADDITIONAL EXPERIENCE

Hurricane Irma Restorations:

- Fiesta Key
- Sunshine Key

State Parks:

- Bahia Honda
- John Pennecamp
- Curry Hammock
- Long Key

Miscellaneous Jobs:

- Royal Furniture
- Sunset Condo
- LaBrisa
- Spanish Galleon
- Sunset Beach - Key Colony
- Personal Customer

PROFESSIONAL PROFILE

Experienced construction manager and general contractor with over 20 years experience in the field. Extensive knowledge of construction best practices, equipment maintenance and use, and OSHA guidelines.

EXPERIENCE

■ Design Center Inc

Foreman - Lead Project Manager

2015 - Present

- Extensive knowledge of construction best practices, equipment maintenance and use, and OSHA guidelines
- Understanding of use and maintenance of electrical and hydraulic systems
- Ability to read drawings, plans and blueprints and convey this information to others
- Excellent organizational and leadership skills
- Ability to communicate and report effectively
- Aptitude in math and strong problem-solving abilities
- Oversee and direct construction projects from conception to completion
- Review the project in-depth to schedule deliverables and estimate costs
- Oversee all on-site and off-site constructions to monitor compliance with building and safety regulations
- Coordinate and direct construction workers and subcontractors
- Select tools, materials and equipment
- Meet contractual conditions of performance
- Review the work progress on daily basis
- Engage in open communication with the Partners report any issues which could affect the project plan.
- Prepare internal and external reports pertaining to job status
- Plan ahead to prevent problems and resolve any emerging ones
- Negotiate terms of agreements, draft contracts and obtain permits
- Analyze, manage and mitigate risks
- Ensure quality construction standards and the use of proper construction techniques

■ JC Construction Management

Owner/President-

2003 - 2016

- Lead and direct people, equipment and resources
- Ensure sufficient deployment and productivity of work crews.
- Organize and coordinate the daily activities of all crew members, subcontractors, equipment and utilize corrective action to keep the project on time and on budget.
- Review and adhere to construction schedules, ensuring milestones, completion dates, and contract specifications are met.
- Observe Jobsites to determine potential quality control issues, and apply necessary corrections.
- Operate heavy equipment and other construction duties as necessary.



Yadira Blanco

Vice President / Office Manager

CONTACT



(o) 305-735-4042
(c) 305-731-0009



yadira@royal-crest.com



Design Center Inc
6677 Overseas Highway,
Marathon, Florida, 33050



floridakeysdesigncenter.com

PROFESSIONAL PROFILE

Experienced in handling a wide range of administrative and executive support related tasks. Able to work independently and use my exceptional knowledge of financial organization, customer interaction, and computer experience. I have over 10 years of experience managing businesses and have had my general contractor license since 2008.

EXPERIENCE

■ Design Center Inc Vice President - Office Manager

2015 - Present

- Deal with the city and county so that all paper work is in order for projects so they continue to flow smoothly. Call inspections and fill out necessary paper work needed to allow work to keep moving.
- Responsible for managing office services by ensuring office operations and procedures are organized, correspondences are controlled, filing systems are designed, supply requisitions are reviewed and approved, and that clerical functions are properly assigned and monitored.
- Organize spreadsheets for bills and manage relationship with vendors, service providers, and landlord, ensuring that all items are invoiced and paid on time while keeping all payments organized in QuickBooks.
- Responsible for calling orders to have them sent to a job site and making sure it gets there at the right time and in good condition.
- Ensure that results are measured against standards, while making the necessary changes along the way.
- Allocate tasks and assignments to subordinates and monitor their performance for best quality efficiency.
- Review the work progress on daily basis

■ JC Construction Management Owner/President-

2008 - 2015

- Responsible for mailing bills, paying online, and by phone, plus keeping records of all paid invoices in file folder.
- Create workers schedules and report hours to payroll.
- Coordinate and schedule meetings and appointments.
- Engage in open communication with the Partners report any issues which could affect the project plan.

FLORIDA BID BOND

BOND NO. N/A
Five Percent of Amount Bid
AMOUNT: \$ (5% of Amount Bid)

KNOW ALL MEN BY THESE PRESENTS, that Design Center, Inc., 6677 Overseas Highway,
Marathon, FL 33050

Hereinafter called the Principal, and United Fire & Casualty Company

a corporation duly organized under the laws of the State of Iowa

having its principal place of business at P.O. BOX 73909, CEDAR RAPIDS, IA 52407 - 3909

_____ in the State of Iowa,

and authorized to do business in the State of Florida, as Surety, are held and firmly bound unto

City of Key West

hereinafter called the Obligee, in the sum of Five Percent of Amount Bid

Dollars (\$ 5% of Amount Bid) for the payment for which we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these present.

THE CONDITION OF THIS BOND IS SUCH THAT:

WHEREAS the Principal is herewith submitting his or its bid for

ITB # 26-001 / 907 Caroline Street New Commercial Building Construction said bid, by reference thereto, being hereby made a part hereof.

WHEREAS, the Principal contemplates submitting or has submitted a bid to the City for the furnishing of all labor, materials (except those to be specifically furnished by the City), equipment, machinery, tools, apparatus, means of transportation for, and the performance of the work covered

in the bid and the Contract Documents, entitled:

ITB 26-001 / 907 Caroline Street New Commercial Building Construction

WHEREAS, it was a condition precedent to the submission of said bid that a cashier's check, certified check, or bid bond in the amount of five (5) percent of the base bid be submitted with said bid as a guarantee that the Bidder would, if awarded the contract, enter into a written contract with the City for the performance of said contract, within ten (10) working days after written notice having been given of the award of the contract.

NOW, THEREFORE, the conditions of this obligation are such that if the Principal within ten (10) consecutive calendar days after written notice of such acceptance, enters into a written contract with the Oblige and furnishes the Performance and Payment Bonds, each in an amount equal to one hundred (100) percent of the base bid, satisfactory to the City, then this obligation shall be void; otherwise the sum herein stated shall be due and payable to the Oblige and the Surety herein agrees to pay said sum immediately upon demand of the Oblige in good and lawful money of the United States of America, as liquidated damages for failure thereof of said Principal.

Signed and sealed this 10th day of February, 2026.

Principal Design Center, Inc.

By [Signature]

STATE OF Florida)
: SS
COUNTY OF Monroe)

Surety United Fire & Casualty Company

By [Signature]
Charles J. Nielson, Attorney-In-Fact





UNITED FIRE & CASUALTY COMPANY, CEDAR RAPIDS, IA
 UNITED FIRE & INDEMNITY COMPANY, WEBSTER, TX
 FINANCIAL PACIFIC INSURANCE COMPANY, LOS ANGELES, CA
 CERTIFIED COPY OF POWER OF ATTORNEY
 (original on file at Home Office of Company – See Certification)

Inquiries: Surety Department
 118 Second Ave SE
 Cedar Rapids, IA 52401

KNOW ALL PERSONS BY THESE PRESENTS, That United Fire & Casualty Company, a corporation duly organized and existing under the laws of the State of Iowa; United Fire & Indemnity Company, a corporation duly organized and existing under the laws of the State of Texas; and Financial Pacific Insurance Company, a corporation duly organized and existing under the laws of the State of California (herein collectively called the Companies), and having their corporate headquarters in Cedar Rapids, State of Iowa, does make, constitute and appoint

CONNIE L. RUSSELL, RICHARD D. CHILDERS JR., PATRICIA L. SCHMALTZ, ERYN J. ZAK, SANDRA O. GLEESON, REBEKAH F. PICKERING, OSCAR F. JUAREZ II, JEAN-PAUL M. ZICCARDI, MITCH D. WILEY, CHRIS OBERG MARTIN, LEONCE B. WIMBERLEY, DEBORAH A. WEIGEL, THOMAS DAVIS TALMAGE III, BARBARA J. BENTON, DIANE LYNN SCHLABIG, LANCE KINNEY, DENISE MARIE DONELSON, FERNANDO JUAREZ, JAMES T. SMITH, BROOK T. SMITH, RAYMOND M. HUNDLEY, DEBORAH NEICHTER, MICHELE LACROSS, JASON CROMWELL, LEIGH MCCARTHY, RYAN BRITT, AMY SMITH, BARBARA DUNCAN, KRIS KELLY WALTERS, CHARLES J. NIELSON, CHARLES D. NIELSON, KEVIN WOJTOWICZ, BRETT ROSENHAUS, TAYLOR ROSENHAUS, CHRISTIAN COLLINS, DEVIN PHILLIPS, MATTHEW T. SMITH, JESSICA J. MARTIN, CATHY U. PHAN, EACH INDIVIDUALLY

their true and lawful Attorney(s)-in-Fact with power and authority hereby conferred to sign, seal and execute in its behalf all lawful bonds, undertakings and other obligatory instruments of similar nature provided that no single obligation shall exceed \$55,000,000.00 and to bind the Companies thereby as fully and to the same extent as if such instruments were signed by the duly authorized officers of the Companies and all of the acts of said Attorney, pursuant to the authority hereby given and hereby ratified and confirmed.

The Authority hereby granted shall expire the 21st day of August, 2026 unless sooner revoked by United Fire & Casualty Company, United Fire & Indemnity Company, and Financial Pacific Insurance Company.

This Power of Attorney is made and executed pursuant to and by authority of the following bylaw duly adopted by the Boards of Directors of United Fire & Casualty Company, United Fire & Indemnity Company, and Financial Pacific Insurance Company.

“Article VI – Surety Bonds and Undertakings”

Section 2, Appointment of Attorney-in-Fact. “The President or any Vice President, or any other officer of the Companies may, from time to time, appoint by written certificates attorneys-in-fact to act in behalf of the Companies in the execution of policies of insurance, bonds, undertakings and other obligatory instruments of like nature. The signature of any officer authorized hereby, and the Corporate seal, may be affixed by facsimile to any power of attorney or special power of attorney or certification of either authorized hereby; such signature and seal, when so used, being adopted by the Companies as the original signature of such officer and the original seal of the Companies, to be valid and binding upon the Companies with the same force and effect as though manually affixed. Such attorneys-in-fact, subject to the limitations set forth in their respective certificates of authority shall have full power to bind the Companies by their signature and execution of any such instruments and to attach the seal the Companies thereto. The President or any Vice President, the Board of Directors or any other officer of the Companies may at any time revoke all power and authority previously given to any attorney-in-fact.

IN WITNESS WHEREOF, the COMPANIES have each caused these presents to be signed by its vice president and its corporate seal to be hereto affixed this 21st day of August, 2024



UNITED FIRE & CASUALTY COMPANY
 UNITED FIRE & INDEMNITY COMPANY
 FINANCIAL PACIFIC INSURANCE COMPANY

By: *Kyanna M. Saylor*
 Vice President

State of Iowa, County of Linn, ss:

On 21st day of August, 2024, before me personally came Kyanna M. Saylor to me known, who being by me duly sworn, did depose and say; that she resides in Cedar Rapids, State of Iowa; that she is a Vice President of United Fire & Casualty Company, a Vice President of United Fire & Indemnity Company, and a Vice President of Financial Pacific Insurance Company the corporations described in and which executed the above instrument; that she knows the seal of said corporations; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporations and that she signed her name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporations.



Judith A. Jones
 Notary Public
 My commission expires: 04/23/2027

I, Mary A. Bertsch, Assistant Secretary of United Fire & Casualty Company and Assistant Secretary of United Fire & Indemnity Company, and Assistant Secretary of Financial Pacific Insurance Company, do hereby certify that I have compared the foregoing copy of the Power of Attorney and affidavit, and the copy of the Section of the bylaws and resolutions of said Corporations as set forth in said Power of Attorney, with the ORIGINALS ON FILE IN THE HOME OFFICE OF SAID CORPORATIONS, and that the same are correct transcripts thereof, and of the whole of the said originals, and that the said Power of Attorney has not been revoked and is now in full force and effect.

In testimony whereof I have hereunto subscribed my name and affixed the corporate seal of the said Corporations this 10th day of February, 2026.



By: *Mary A. Bertsch*
 Assistant Secretary,
 UF&C & UF&I & FPIC

SWORN STATEMENT UNDER SECTION 287.133(3)(A)
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES

THIS FORM MUST BE SIGNED IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted with bid or proposal for ITB No.. 26-001
907 Caroline Street - New Commercial building Construction

2. This sworn statement is submitted by Design Center Inc.
(Name of entity submitting sworn statement)

whose business address is 6677 Overseas Highway, Marathon, Florida. 33050

and (if applicable) its Federal Employer Identification Number (FEIN) is 47-4303280

(If the entity has no FEIN, include the Social Security Number of the individual signing this sworn statement N/A

3. My name is Andrew George, President, Design Center Inc.
(Please print name of individual signing)

and my relationship to the entity named above is President / Owner

4. I understand that a “public entity crime” as defined in Paragraph 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with an agency or political subdivision of any other state or with the United States, including but not limited to, any bid or contract for goods or services to be provided to any public or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, material misrepresentation.

5. I understand that “convicted” or “conviction” as defined in Paragraph 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication guilt, in any federal or state trial court of record relating to charges brought by indictment information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.

6. I understand that an “affiliate” as defined in Paragraph 287.133(1)(a), Florida Statutes, means:

- a. A predecessor or successor of a person convicted of a public entity crime; or
 - b. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term “affiliate” includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm’s length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.
7. I understand that a “person” as defined in Paragraph 287.133(1)(8), Florida Statutes, means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts for the provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with public entity. The term “person” includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.
8. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Please indicate which statement applies).

N/A Neither the entity submitting this sworn statement, nor any officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, nor any affiliate of the entity have been charged with and convicted of a public entity crime subsequent to July 1, 1989, AND (Please indicate which additional statement applies.)

N/A There has been a proceeding concerning the conviction before a hearing of the State of Florida, Division of Administrative Hearings. The final order entered by the hearing officer did not place the person or affiliate on the convicted vendor list. (Please attach a copy of the final order.)

N/A The person or affiliate was placed on the convicted vendor list. There has been a subsequent proceeding before a hearing officer of the State of

Florida, Division of Administrative Hearings. The final order entered by the hearing officer determined that it was in the public interest to remove the person or affiliate from the convicted vendor list. (Please attach a copy of the final order.)

N/A The person or affiliate has not been put on the convicted vendor list. (Please describe any action taken by or pending with the Department of General Services.)

(Signature) Andrew George, President, Design Center Inc.
(Date) 2/9/2026

STATE OF Florida

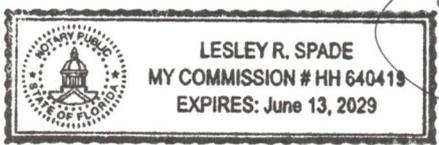
COUNTY OF Monroe

PERSONALLY, APPEARED BEFORE ME, the undersigned authority,

Andrew George who, after first being sworn by me, affixed his/her
(Name of individual signing)

Signature in the space provided above on this 9th day of February, 2026.

My commission expires: June 13, 2026



(Signature)
NOTARY PUBLIC

INDEMNIFICATION

To the fullest extent permitted by law, the Bidder expressly agrees to indemnify and hold harmless the City of Key West, their officers, directors, agents, and employees (herein called the "indemnitees") from liabilities, damages, losses and costs, including, but not limited to, reasonable attorney's fees and court costs, such legal expenses to include costs incurred in establishing the indemnification and other rights agreed to in this paragraph, to persons or property, to the extent caused by the negligence, recklessness, or intentional wrongful misconduct of the Bidder, its Subcontractors or persons employed or utilized by them in the performance of the contract. Claims by indemnitees for indemnification shall be limited to the amount of Bidder's insurance or \$1 million per occurrence, whichever is greater. The parties acknowledge that the amount of the indemnity required hereunder bears a reasonable commercial relationship to the contract and it is part of the project specifications or the bid documents, if any.

The indemnification obligations under the contract shall not be restricted in any way by any limitation on the amount or type of damages, compensation, or benefits payable by or for the Bidder under workers' compensation acts, disability benefits acts, or other employee benefits acts, and shall extend to and include any actions brought by or in the name of any employee of the Bidder or of any third party to whom Bidder may subcontract a part or all of the Work. This indemnification shall continue beyond the date of completion of the work.

INDEMNIFICATION ACKNOWLEDGMENT

The undersigned Bidder acknowledges that indemnification of the City of Key West is governed exclusively by Article 35 – INDEMNITY of the Conditions of the Contract, which is incorporated into and made a part of the Contract Documents. By signing below, the Bidder agrees to be bound by that Article if awarded the Contract.

BIDDER : Andrew George, President, Design Center Inc.

SEAL:



6677 Overseas Highway,
Marathon, Florida, 33050

Address

Signature

Yadira Blanco

Print Name

Vice-President, Design Center Inc.

Title

DATE: February, 10, 2026

LOCAL VENDOR CERTIFICATION PURSUANT TO CKW ORDINANCE 09-22 SECTION 2-798

The undersigned, as a duly authorized representative of the vendor listed herein, certifies to the best of his/her knowledge and belief, that the vendor meets the definition of a "Local Business." For purposes of this section, "local business" shall mean a business which:

- a. Principal address as registered with the FL Department of State located within 30 miles of the boundaries of the city, listed with the chief licensing official as having a business tax receipt with its principal address within 30 miles of the boundaries of the city for at least one year immediately prior to the issuance of the solicitation.
- b. Maintains a workforce of at least 50 percent of its employees from the city or within 30 miles of its boundaries.
- c. Having paid all current license taxes and any other fees due the city at least 24 hours prior to the publication of the call for bids or request for Bids.
 - Not a local vendor pursuant to Ordinance 09-22 Section 2-798
 - Qualifies as a local vendor pursuant to Ordinance 09-22 Section 2-798

If you qualify, please complete the following in support of the self-certification & submit copies of your County and City business licenses. Failure to provide the information requested will result in denial of certification as a local business.

Business Name Design Center Inc. Phone: 305.735.4042

Current Local Address: 6677 Overseas Highway, Marathon, FL.33050 Fax: 888.788.8219
 (P.O Box numbers may not be used to establish status)

Length of time at this address: Fourteen Years

[Signature] Date: 2/9/2026
 Signature of Authorized Representative

STATE OF Florida COUNTY OF Monroe

The foregoing instrument was acknowledged before me this 9th day of February, 2026.

By Andrew George, President, of Design Center Inc.
 (Name of officer or agent, title of officer or agent) (Name of corporation acknowledging)

or has produced identification Personally Known as identification
 (Type of identification)

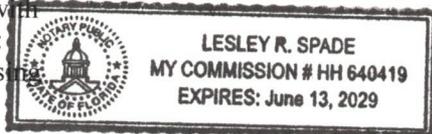
[Signature]
 Signature of Notary

L. Spade

Print, Type or Stamp Name of Notary

Title or Rank

If you are a local vendor:
 Return Completed form with
 Supporting documents to:
 City of Key West Purchasing



Design Director

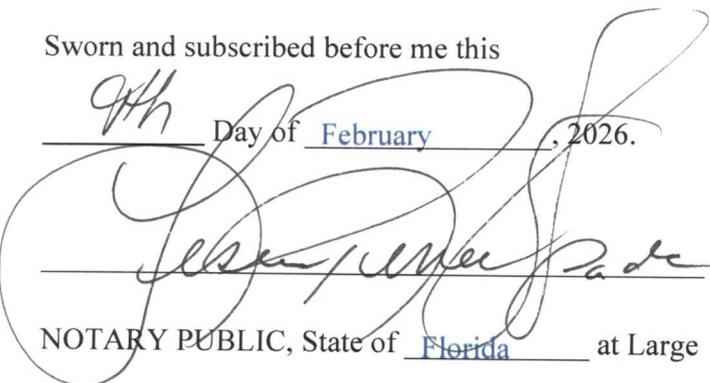
EQUAL BENEFITS FOR DOMESTIC PARTNERS AFFIDAVIT

STATE OF Florida)
 : SS
COUNTY OF Monroe)

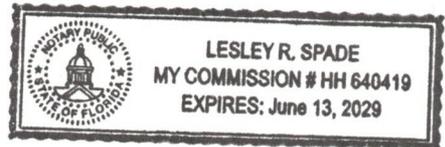
I, the undersigned hereby duly sworn, depose and say that the firm of Design Center Inc. provides benefits to domestic partners of its employees on the same basis as it provides benefits to employees' spouses per City of Key West Ordinance Sec. 2-799.

By: 
Andrew George, President,
Design Center Inc.

Sworn and subscribed before me this
9th Day of February, 2026.


NOTARY PUBLIC, State of Florida at Large

My Commission Expires: June 13th, 2026



VENDOR CERTIFICATION REGARDING
SCRUTINIZED COMPANIES LISTS

Respondent Vendor Name: Design Center Inc.

Vendor FEIN: 47-4303280

Vendor's Authorized Representative Name and Title: Andrew George, President

Address: 6677 Overseas Highway

City: Marathon State: Florida

Zip: 33050

Phone Number: (o) 305.735.4042 (c) 239.810.2942

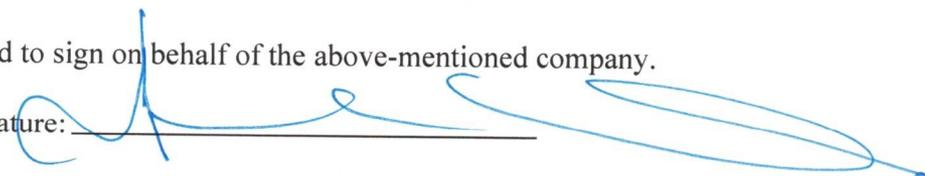
Email Address: andrew@designcenterfl.com / cc all - permits@designcenterfl.com

Section 287.135(2)(a), Florida Statutes, prohibits a company from bidding on, submitting a proposal for, or entering into or renewing a contract for goods or services of any amount if, at the time of contracting or renewal, the company is on the Scrutinized Companies that Boycott Israel List, created pursuant to section 215.4725, Florida Statutes, or is engaged in a boycott of Israel. Section 287.135(2)(b), Florida Statutes, further prohibits a company from bidding on, submitting a proposal for, or entering into or renewing a contract for goods or services over one million dollars (\$1,000,000) if, at the time of contracting or renewal, the company is on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, both created pursuant to section 215.473, Florida Statutes, or the company is engaged in business operations in Cuba or Syria.

As the person authorized to sign on behalf of Respondent, I hereby certify that the company identified above in the section entitled "Respondent Vendor Name" is not listed on either the Scrutinized Companies that Boycott Israel List, Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List I understand that pursuant to section 287.135, Florida Statutes, the submission of a false certification may subject such company to civil penalties, attorney's fees, and/or costs and termination of the contract at the option of the awarding governmental entity.

Certified By: Andrew George President
Print Name Print Title

who is authorized to sign on behalf of the above-mentioned company.

Authorized Signature: 

**AFFIDAVIT ATTESTING TO NONCOERCIVE CONDUCT
FOR LABOR OR SERVICES**

Entity/Vendor Name: Design Center Inc.

Vendor FEIN: 47-4303280

Vendor's Authorized Representative: Andrew George, President

(Name and Title)

Address: 6677 Overseas Highway

City: Marathon State: Florida Zip: 33050

Phone Number (o) 305.735.4042 (c) 239.810.2942

Email Address: andrew@designcenterfl.com / cc all at permits@designcenterfl.com

As a nongovernmental entity executing, renewing, or extending a contract with a government entity, Vendor is required to provide an affidavit under penalty of perjury attesting that Vendor does not use coercion for labor or services in accordance with Section 787.06, Florida Statutes.

As defined in Section 787.06(2)(a), coercion means:

1. Using or threatening to use physical force against any person;
2. Restraining, isolating, or confining or threatening to restrain, isolate, or confine any person without lawful authority and against her or his will;
3. Using lending or other credit methods to establish a debt by any person when labor or services are pledged as a security for the debt, if the value of the labor or services as reasonably assessed is not applied toward the liquidation of the debt, the length and nature of the labor or service are not respectively limited and defined;
4. Destroying, concealing, removing, confiscating, withholding, or possessing any actual or purported passport, visa, or other immigration document, or any other actual or purported government identification document, of any person;
5. Causing or threatening to cause financial harm to any person;
6. Enticing or luring any person by fraud or deceit; or
7. Providing a controlled substance as outlined in Schedule I or Schedule II of Section 893.03 to any person for the purpose of exploitation of that person.

As a person authorized to sign on behalf of Vendor, I certify under penalties of perjury that Vendor does not use coercion for labor or services in accordance with Section 787.06. Additionally, Vendor has reviewed Section 787.06, Florida Statutes, and agrees to abide by same.

Certified By: Andrew George, President, Design Center Inc., who is authorized to sign on behalf of the above referenced company.

Authorized Signature: 

Print Name: Yadira Blanco

Title: Vice-President

THE CITY OF KEY WEST E-VERIFY AFFIDAVIT

Beginning January 1, 2021, Florida law requires all contractors doing business with The City of Key West to register with and use the E-Verify System in order to verify the work authorization status of all newly hired employees. The City of Key West requires all vendors who are awarded contracts with the City to verify employee eligibility using the E-Verify System. As before, vendors are also required to maintain all I-9 Forms of their employees for the duration of the contract term. To enroll in the E-Verify System, vendors should visit the E-Verify Website located at www.e-verify.gov.

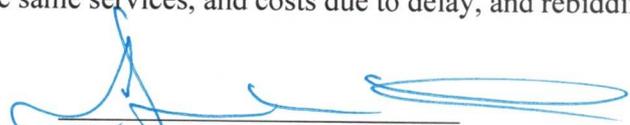
In accordance with Florida Statute § 448.095, **it is the responsibility of the Awarded Vendor to ensure compliance with all applicable E-Verify requirements.**

By executing this affidavit, the undersigned contractor verifies its compliance with Florida Statute § 448.095, stating affirmatively that the individual, firm, or corporation which is engaged in the performance of services on behalf of the City of Key West, has registered with, is authorized to use, and uses the U.S. Department of Homeland Security's E-Verify system.

Furthermore, the undersigned contractor agrees that it will continue to use E-Verify throughout the contract period, and should it employ or contract with any subcontractor(s) in connection with the performance of services pursuant to this Agreement with The City of Key West, contractor will secure from such subcontractor(s) similar verification of compliance with Florida Statute § 448.095, by requiring the subcontractor(s) to provide an affidavit attesting that the subcontractor does not employ, or subcontract with, an unauthorized alien. Contractor further agrees to maintain records of such compliance during the duration of the Agreement and provide a copy of each such verification to The City of Key West within five (5) business days of receipt.

Failure to comply with this provision is a material breach of the Agreement and shall result in immediate termination of the Agreement without penalty to the City of Key West. Contractor shall be liable for all costs incurred by the City of Key West to secure replacement Agreement, including but not limited to, any increased costs for the same services, and costs due to delay, and rebidding costs, if applicable.

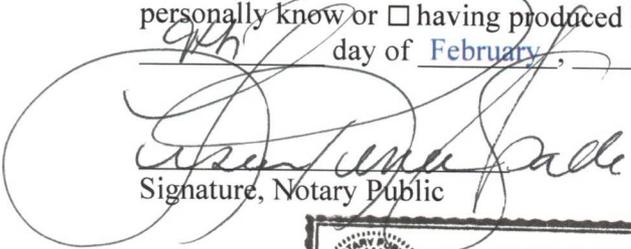
2/9/2026
Date


(Signature of Authorized Representative)

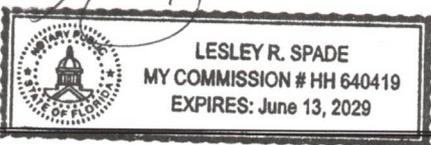
Andrew George, President, Design Center Inc.

State of Florida,
County of Monroe,

Personally Appeared Before Me, the undersigned authority, Andrew George who, being personally know or having produced his/her signature in the space provided above on this 9th day of February, 2026.


Signature, Notary Public

June 13th, 2029
Commission Expires

Stamp/Seal: 

**2025 / 2026
MONROE COUNTY BUSINESS TAX RECEIPT
EXPIRES SEPTEMBER 30, 2026**

Business Name: DESIGN CENTER INC

RECEIPT# 30140-117682

Owner Name: ANDREW GEORGE
Mailing Address:
6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Business Location: MO CTY
MARATHON, FL 33050
Business Phone: 305-735-4042
Business Type: CONTRACTOR (CERTIFIED GENERAL)

Employees 1

STATE LICENSE: CGC1523838

Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
20.00	0.00	20.00	0.00	0.00	0.00	20.00

Paid WRB-24-00096315 08/26/2025 20.00

THIS BECOMES A TAX RECEIPT
WHEN VALIDATED

Sam C. Steele, CFC, Tax Collector
PO Box 1129, Key West, FL 33041

THIS IS ONLY A TAX.
YOU MUST MEET ALL
COUNTY AND/OR
MUNICIPALITY
PLANNING, ZONING AND
LICENSING
REQUIREMENTS.

MONROE COUNTY BUSINESS TAX RECEIPT
P.O. Box 1129, Key West, FL 33041-1129
EXPIRES SEPTEMBER 30, 2026

Business Name: DESIGN CENTER INC

RECEIPT# 30140-117682

Owner Name: ANDREW GEORGE
Mailing Address:
6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Business Location: MO CTY
MARATHON, FL 33050
Business Phone: 305-735-4042
Business Type: CONTRACTOR (CERTIFIED GENERAL)

Employees 1

STATE LICENSE: CGC1523838

Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
20.00	0.00	20.00	0.00	0.00	0.00	20.00

Paid WRB-24-00096315 08/26/2025 20.00



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

GEORGE, ANDREW N

DESIGN CENTER INC
6677 OVERSEAS HIGHWAY
MARATHON FL 33050

LICENSE NUMBER: CGC1523838

EXPIRATION DATE: AUGUST 31, 2026

Always verify licenses online at MyFloridaLicense.com



ISSUED: 06/05/2024

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation
DESIGN CENTER INC.

Filing Information

Document Number	P15000046688
FEI/EIN Number	47-4303280
Date Filed	05/26/2015
State	FL
Status	ACTIVE
Last Event	AMENDMENT
Event Date Filed	11/09/2015
Event Effective Date	NONE

Principal Address

6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Mailing Address

6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Registered Agent Name & Address

GEORGE, ANDREW
6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Officer/Director Detail

Name & Address

Title President

GEORGE, ANDREW
6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Title Director

ROYAL CREST COMPANINES INC
6677 OVERSEAS HWY
MARATHON, FL 33050

Title VicePresident, VP

Blanco, Yadira
6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Title Director

JC CONSTRUCTION MANAGEMENT INC
6677 OVERSEAS HIGHWAY
MARATHON, FL 33050

Annual Reports

Report Year	Filed Date
2023	04/25/2023
2024	04/29/2024
2025	04/23/2025

Document Images

04/23/2025 -- ANNUAL REPORT	View image in PDF format
04/29/2024 -- ANNUAL REPORT	View image in PDF format
04/25/2023 -- ANNUAL REPORT	View image in PDF format
04/29/2022 -- ANNUAL REPORT	View image in PDF format
04/02/2021 -- ANNUAL REPORT	View image in PDF format
04/24/2020 -- ANNUAL REPORT	View image in PDF format
02/08/2019 -- ANNUAL REPORT	View image in PDF format
02/08/2018 -- ANNUAL REPORT	View image in PDF format
01/10/2017 -- ANNUAL REPORT	View image in PDF format
02/01/2016 -- ANNUAL REPORT	View image in PDF format
11/09/2015 -- Amendment	View image in PDF format
08/10/2015 -- Amendment	View image in PDF format
05/26/2015 -- Domestic Profit	View image in PDF format