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**Historic Architectural Review Commission  
Staff Report for Item 1**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kathleen McDonald, MHP  
Historic Preservation Planner II

**Meeting Date:** September 9, 2019

**Applicant:** Bert Bender, Bender & Associates

**Application Number:** H2019-0029

**Address:** #801 Caroline Street

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**Description of Work**

Replacement of existing roof and structural supports.

**Site Facts**

The site under review has been used for decades as an open-air eatery. The operation was started out of a food wagon on Duval Street over 25 years ago. Over the years the institution, known as BO's Fish Wagon, has undergone several expansions to the roof around the original wagon.

The current roof structure under review is not historic. The roof components are not optimum for weather-proofing, they are non-conforming, and they do not meet current building codes.

**Guidelines Cited on Review**

- Guidelines for Additions and Alterations on Contributing, Non-Contributing, and Non-Historic Buildings and Structures (pages 37a-37k), specifically guidelines 4, 25 and 26.
- Guidelines for New Construction in the Historic District (pages 38a-38q), specifically guidelines 18, 22 and 23.

### **Staff Analysis**

A Certificate of Appropriateness is under review for the replacement of an existing non-historic roof structure. The new structural system will consist of wood beams and 4" steel columns anchored to concrete piers. The new roof covering will consist of a single ply TPO membrane over peel and stick waterproofing, with a base of 3/4" plywood sheathing on wood joists. The new roof structure will mimic the original in form and character, while bringing the structure up to code.

### **Consistency with Cited Guidelines**

It is staff's opinion that the proposed design is appropriate to the site and surrounding context. The design is similar in form and material to the original roof structure and maintains the character of the original.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



**City of Key West**  
1300 WHITE STREET  
KEY WEST, FLORIDA 33040

HARC COA # <b>19-0029</b>	REVISION #	INITIAL & DATE
FLOOD ZONE <b>AE7</b>	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	<b>801 CAROLINE STREET</b>	
NAME ON DEED:	<b>CITY OF KEY WEST</b>	PHONE NUMBER <b>305-797-5590</b>
OWNER'S MAILING ADDRESS:	<b>BUDDY &amp; HOLLY OWEN, KEY WEST, FL.</b>	EMAIL <b>FISHWAGON@COMCAST.NET</b>
APPLICANT NAME:	<b>BERT BENDER</b>	PHONE NUMBER <b>305-296-1347</b>
APPLICANT'S ADDRESS:	<b>BENDER &amp; ASSOCIATES ARCH: 410 ANGELA ST., KEY WEST, FL. 33040</b>	EMAIL <b>BBENDER@BENDERARCHITECTS.COM</b>
APPLICANT'S SIGNATURE:		DATE <b>7.26.2019</b>

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS  RELOCATION OF A STRUCTURE  ELEVATION OF A STRUCTURE

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO  INVOLVES A HISTORIC STRUCTURE: YES  NO

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES  NO

<b>DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.</b>	
<b>GENERAL:</b>	<b>REPLACEMENT OF EXISTING COMPONENTS WITH A NEW ROOFING.</b>
<b>MAIN BUILDING:</b>	
<b>DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):</b>	

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):		N/A	
PAVERS:		N/A	
DECKS:		N/A	
SITE (INCLUDING GRADING, FILL, TREES, ETC.):		N/A	
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):		N/A	
FENCES:		N/A	
PAINTING:		N/A	
POOLS (INCLUDING EQUIPMENT):		N/A	
OTHER:			

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

**THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.**

# HARC Certificate of Appropriateness: Demolition Appendix



**City of Key West**  
 1 300 WHITE STREET  
 KEY WEST, FLORIDA 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:

801 CAROLINE ST.

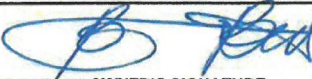
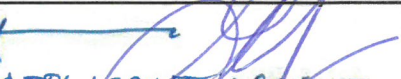
PROPERTY OWNER'S NAME:

BUDDY + HOLLY OWEN / CITY OF KEY WEST

APPLICANT NAME:

BERT BENDER / BENDER & ASSOCIATES

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

		BERT BENDER
PROPERTY OWNER'S SIGNATURE	APPLICANT NAME	13 AUGUST 2019 DATE AND PRINT NAME

### DETAILED PROJECT DESCRIPTION OF DEMOLITION

DEMOLITION OF EXISTING ROOF + RECONSTRUCTION WITH NEW MATERIALS

### CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

N/A

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

N/A

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

N/A

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

N/A

(d) Is not the site of a historic event with significant effect upon society.

N/A

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

N/A

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

N/A

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

N/A

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

N/A

(i) Has not yielded, and is not likely to yield, information important in history.

N/A

**CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:**

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

REMOVAL AND REPLACEMENT WILL MAINTAIN THE EXISTING CHARACTER

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

NO CHANGES TO EXISTING RELATIONSHIPS ARE EXPECTED

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

NO CHANGES TO EXISTING HISTORIC STRUCTURES IS PLANNED

(4) Removing buildings or structures that would otherwise qualify as contributing.

NO HISTORIC BUILDINGS ARE ON THIS SITE.



# SANBORN MAPS



# PROJECT PHOTOS



BO'S FISH WAGON FROM WILLY



ONLY WOOD GRILL  
FROM WILLIAM



STOP

BO's Gain Fishy

BO's Gain Fishy TODAY

BO'S FROM CAROLINE



BO'S FROM WILLIAM



BO's FISHWAGON





BO'S FISHWAGON

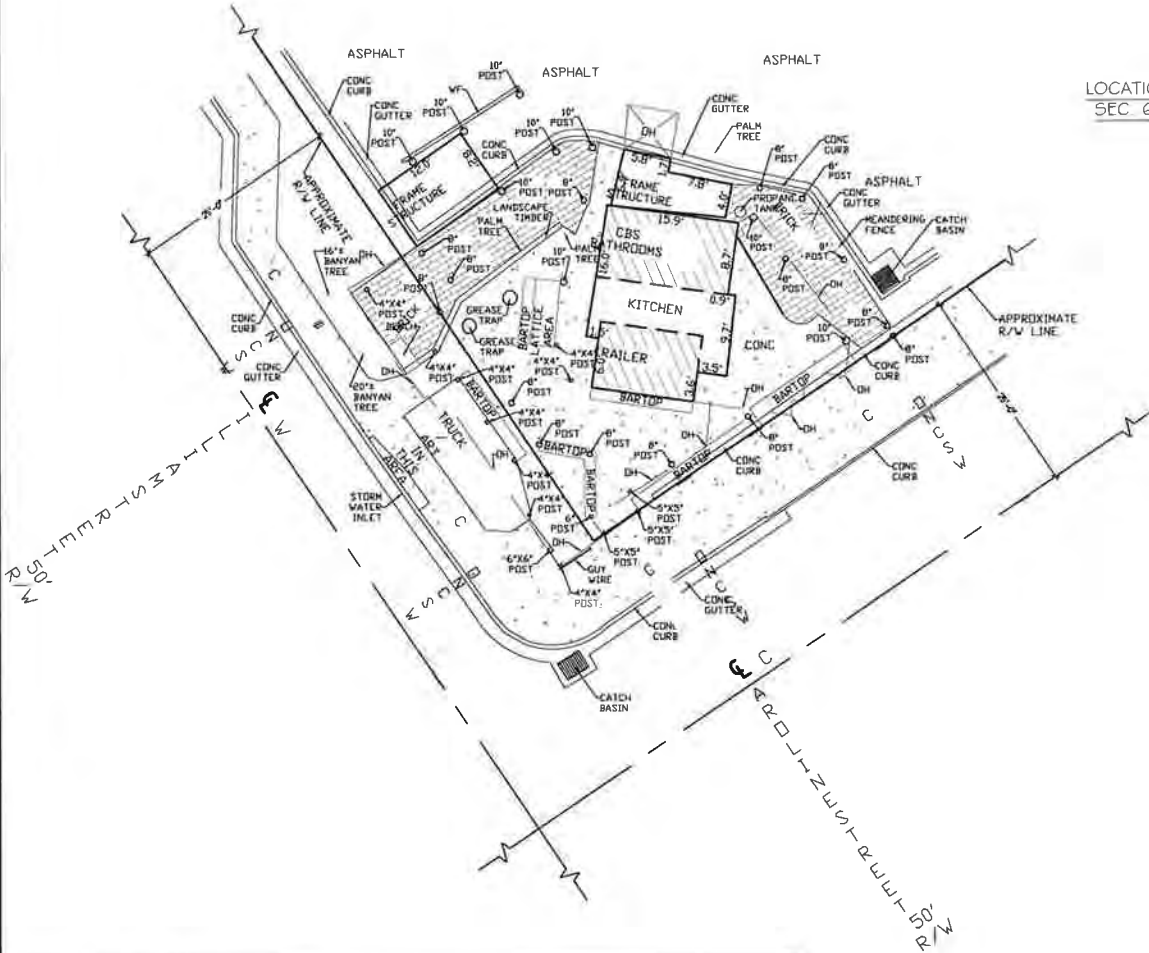
CA. 1986

# SURVEY

SPECIFIC PURPOSE SURVEY OF BO'S FISHWAGON  
801 CAROLINE STREET, KEY WEST, MONROE COUNTY, STATE OF FLORIDA

PROJECT SITE

LOCATION MAP - NTS  
SEC. 6-T685-R25E



**SURVEYOR NOTES**

"THIS IS NOT A BOUNDARY SURVEY; ANY BOUNDARY OR RIGHT OF WAY LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY, AND ARE A GRAPHICAL REPRESENTATION OF THE BOUNDARY BASED ON THE RECOVERY OF SUFFICIENT BOUNDARY AND INFORMATION TO SPATIALLY DEFINE THE BOUNDARY LINES. NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECOVERED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.

BEARING BASE: ALL BEARINGS ARE BASED ON N55°10'05"E ASSUMED ALONG THE CENTERLINE OF CAROLINE STREET.

ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED.

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.

STREET ADDRESS: 801 CAROLINE STREET, KEY WEST, FL 33040

CITY OF KEY WEST PURCHASE ORDER NUMBER: 789-D

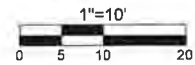
CERTIFIED TO -  
CITY OF KEY WEST:

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BENDER & ASSOCIATES ARCHITECTS P.A. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS SURVEY SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BENDER & ASSOCIATES ARCHITECTS P.A. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS PROHIBITED.

DATE: 07/15/19  
PROJECT: 19010019

**LEGEND**

- WATER
- METAL
- CLEAN
- WOOD
- CONCRETE



BO'S FISH WAGON ROOF  
801 CAROLINE STREET  
KEY WEST, FL 33040

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS p.a.

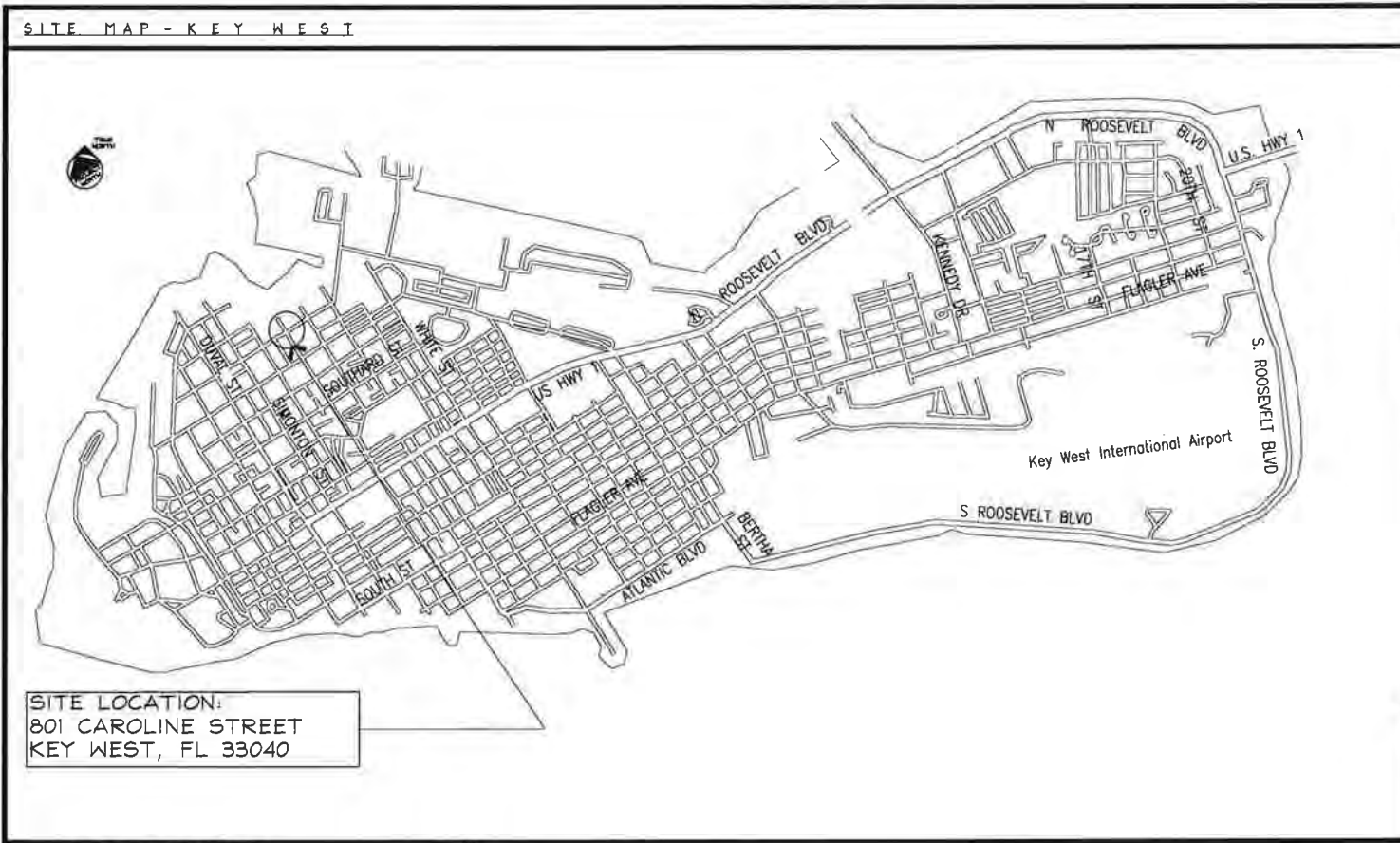
Project No: 19010019  
SURVEY  
Date: 07/15/19

A0.1

# PROPOSED DESIGN

# BO'S FISH WAGON ROOF

801 CAROLINE STREET  
Key West Florida, 33040



**PROJECT DIRECTORY**

PROJECT: BO'S FISH WAGON ROOF  
801 CAROLINE STREET

ARCHITECT'S PROJECT No: 1533

CONTACT: BERT BENDER  
Address: 410 ANGELA STREET  
Tel: 305-296-1347  
EMAIL: BBENDER@BENDERARCHITECTS.COM

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.  
Address: 410 Angela Street, Key West, FL 33040  
Tel: (305) 296-1347  
E-mail: info@benderarchitects.com  
Architect: Bert L. Bender

**DESCRIPTION OF WORK:**  
THE WORK OF THIS PROJECT WILL REPLACE THE EXISTING ROOF STRUCTURE WITH A NEW SYSTEM CONSISTING OF STEEL COLUMNS AND WOOD COMPONENTS.

**GENERAL NOTES**

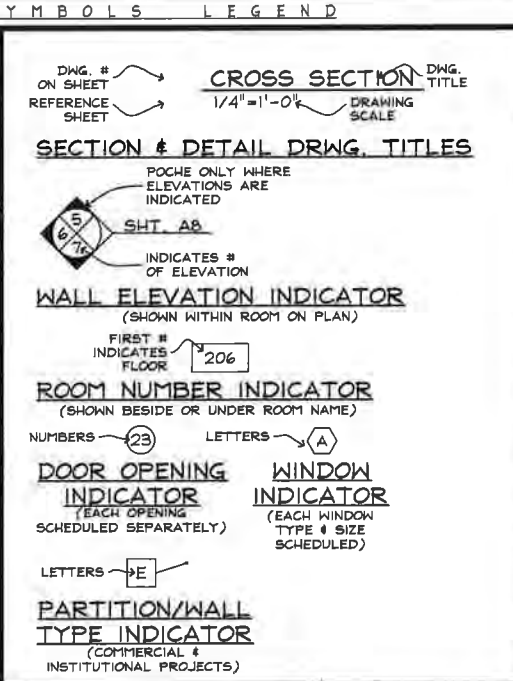
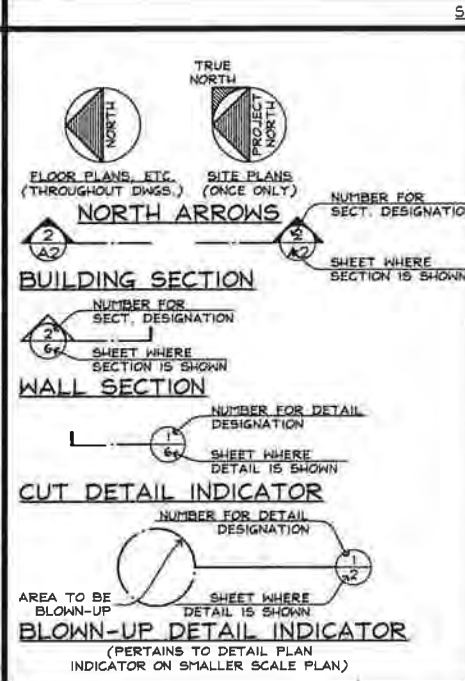
- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida in the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:  
FLORIDA BUILDING CODE - Building 2017 EDITION  
FLORIDA BUILDING CODE - Existing 2017 EDITION  
FLORIDA BUILDING CODE - Residential 2017 EDITION  
FLORIDA BUILDING CODE - Plumbing 2017 EDITION  
FLORIDA BUILDING CODE - Fuel Gas 2017 EDITION  
FLORIDA BUILDING CODE - Mechanical 2017 EDITION  
FLORIDA BUILDING CODE - Energy Conservation 2017 EDITION  
NATIONAL ELECTRICAL CODE 2008 EDITION  
NFPA 70 LIFE SAFETY CODE w/ Florida Modifications  
2015 EDITION FLORIDA FIRE PREVENTION CODE 2017 EDITION  
NFPA 1 2018 EDITION
- This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

**FLORIDA ADMINISTRATIVE CODE**

§161-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his cooperation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.  
Specific: Authority 481.2055, 481.221 F5. Last Implemented 481.221, 481.225(1)(e), (q), (j), 481.225(1)(g), (h), (i) F5. History-New 12-29-19, Formerly 21B-16.03, Amended 7-27-04, Formerly 21B-16.003, Amended 11-21-94, 4-18-00

**ABBREVIATIONS**

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPETY LINE
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	PT	POINT
CONC	CONCRETE	PVC	POLYVINYLCHLORIDE
DBL	DOUBLE	R	RADIUS (OR) RISER
DIAG	DIAGONAL	R/A	RETURN AIR
DS	DOWNSPOUT	REBAR	STEEL REINF. BAR
DTL	DETAIL	REFR.	REFRIGERATOR
DNR	DRAINER	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EL	ELEVATION	SPEC	SPECIFICATION
ELEC	ELECTRIC	T	TYPICAL
EQ	EQUAL	UNO	UNLESS NOTED OTHERWISE
EXH	EXHAUST	VCT	VINYL COMPOSITION TILE
FV	FIELD VERIFY	VERT	VERTICAL
GALV	GALVANIZED	WD	WOOD
GI	GALVANIZED IRON	WHF	WELDED WIRE FABRIC
HORZ	HORIZONTAL	WH	WATER HEATER
HDW	HARDWARE	W/O	WITHOUT
HVAC	HEATING VENTILATING & AIR CONDITIONING		
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		



**MATERIAL DESIGNATIONS**

- CONCRETE MASONRY UNITS IN PLAN
- CONC., STUCCO, PLASTER IN ELEV., POURED CONC. IN PLAN
- METAL IN ELEVATION
- METAL IN SECTION
- FINISH WOOD IN ELEV. & IN SECTION
- DIMENSION LUMBER IN SECTION (CONTINUOUS)
- WOOD BLOCKING IN SECTION (DISCONTINUOUS)
- GYPSUM WALL BOARD IN SECTION (LARGE SCALE)
- EARTH, NATURAL SUBSTRATE
- GRAVEL, AGGREGATE BASE COURSE, FILL
- FIBERGLASS BATT INSULATION
- RIGID INSULATION

**PARTITIONS & WALLS**

- CONCRETE MASONRY UNITS
- POURED CONCRETE
- WOOD FRAME
- METAL STUDS
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

**SHEET INDEX**

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A0.1	SURVEY
EX1	EXISTING CONDITIONS
A1.0	PROPOSED ROOF PLAN
A1.1	PROPOSED ROOF FRAMING PLAN
A2.0	PROPOSED WILLIAM AND CAROLINE STREET ELEVATIONS
A3.0	PROPOSED CROSS SECTION
AB.0	PHOTO DETAIL
SI	GENERAL STRUCTURAL NOTES

REVISION

**BO'S FISH WAGON ROOF**  
801 CAROLINE STREET  
KEY WEST, FL 33040

410 Angela Street  
Key West, Florida 33040  
Telephone: (305) 296-1347  
Facsimile: (305) 296-2927  
Florida License AAC002022

**Bender & Associates**  
ARCHITECTS  
P.C.

Project No: 1533  
Date: 07/15/19

**C**  
1 OF 9

**NOTES**

1. B.O.'S FISH WAGON IS AN ICONIC INSTITUTION WITHIN THE KEY WEST BIGHT AND THE HISTORIC DISTRICT. THE INTENT OF THIS PROJECT IS TO PROVIDE HEATHER PROOFING WHILE RETAINING THE 'FUNKINESS' THAT IS THE HEART OF THE KEY WEST BIGHT. REMOVAL OF COMPONENTS CONTAINED WITHIN AND AROUND THE FISH WAGON SHALL BE COORDINATED WITH AND PERFORMED UNDER THE DIRECT SUPERVISION OF THE OWNERS OF THE FISH WAGON.
2. RETAIN ALL ARTIFACTS AND STORE FOR REINSTALLATION AS DIRECTED BY THE OWNER AND AS COORDINATED BY THE ARCHITECT.
3. FOR BID PRICE PURPOSE, ASSUME THAT ONE DAY WILL BE REQUIRED FOR INSTALLATION OF CEILING PANELS AND OTHER ARTIFACTS. ANY COMPONENTS NOT INSTALLED AFTER ONE DAY WILL BE COMPLETED BY THE FISH WAGON OWNERS.
4. COORDINATE ALL DEMOLITION WITH THE FISH WAGON OWNERS TO MINIMIZE DISRUPTION OF THE RESTAURANTS.

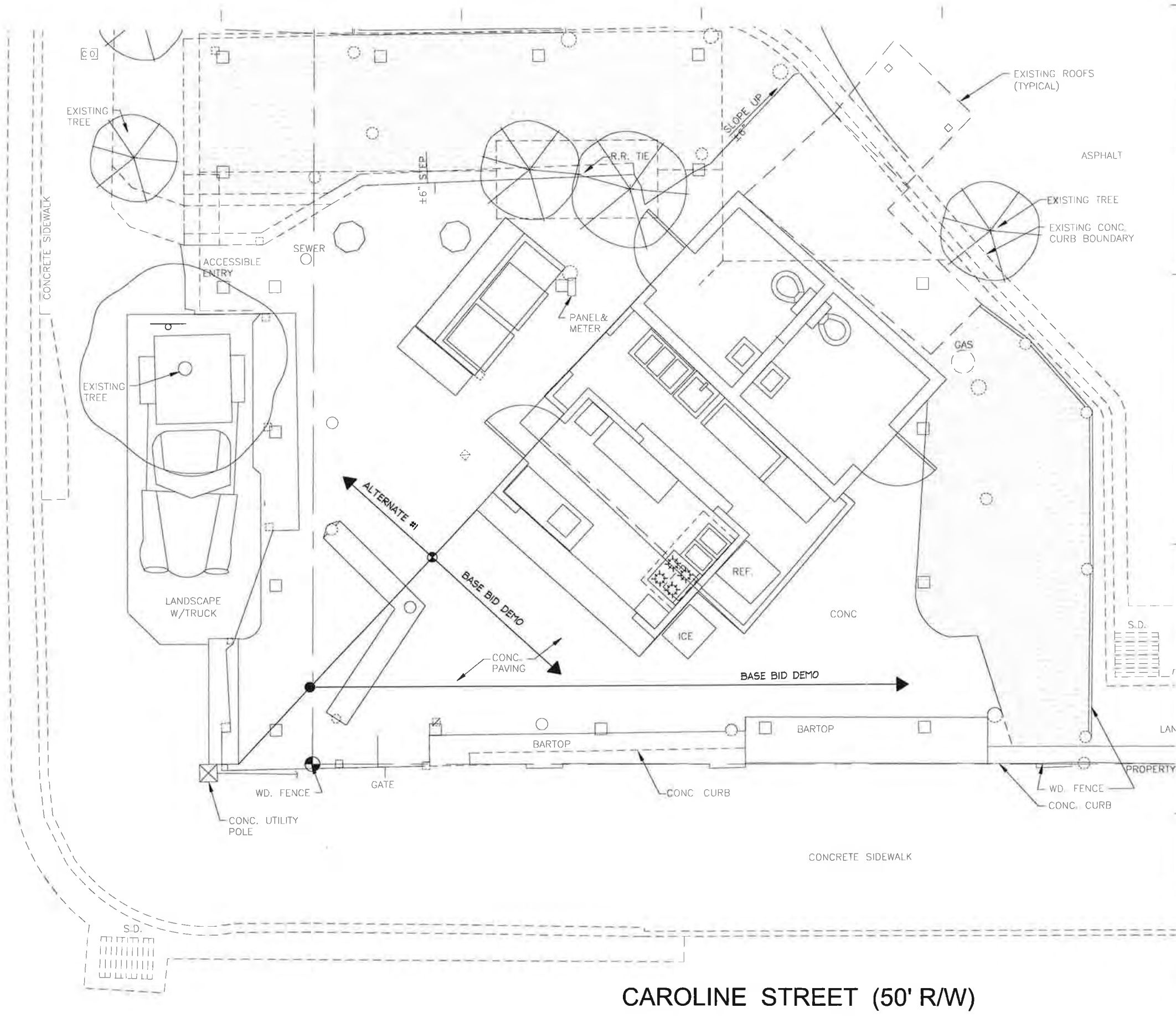
**GENERAL DEMOLITION NOTES:**

1. DO NOT REMOVE HISTORIC MATERIALS UNLESS SPECIFICALLY NOTED TO BE REMOVED
2. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOBSITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION
3. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT
4. ALL COSTS OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFIRM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENTS, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
6. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.
7. PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.
8. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ON SITE WHEN SPECIFICALLY APPROVED BY THE ARCHITECT IN ADVANCE.

**GENERAL NOTES:**

1. DEMOLITION IS BROKEN IN TO TWO PHASES, THE BASE BID AND THE ALTERNATE BID NUMBER 1.
2. PROVIDE ALL DEMOLITION FOR THE BASE BID IN THE BASE BID PRICING. THE OWNER WILL REMOVE ALL ARTIFACTS SHOWN ON THE EXISTING ROOF AND STORE THEM FOR OWNERS INSTALL AFTER ALL WORK IS COMPLETED.
3. BASE BID DEMO WILL INCLUDE REMOVAL AND DISPOSAL OF ALL ROOF COMPONENTS. THE EXISTING WOOD COLUMNS WILL REMAIN IN PLACE.
4. ALTERNATE BID NUMBER 1 WILL BE BID FOR PRICING WITH THE ALTERNATE BID PRICING.

WILLIAM ST. (50' R/W)



**BO'S FISH WAGON ROOF**  
 801 CAROLINE STREET  
 KEY WEST, FL 33040

410 Angela Street  
 Key West, Florida 33040  
 Telephone (305) 296-1347  
 Facsimile (305) 296-2727  
 Florida License AAC002022

**Bender & Associates**  
**ARCHITECTS**  
 p.a.

Project No: 1533  
 EXISTING SITE PLAN  
 Date: 07/15/19

**EX1**

**PROJECT STATISTICS - BO'S FISHWAGON**

LOT DESCRIPTION: SEE SURVEY.

FEMA FLOOD ZONE: AE 7 - MAP 12087C-1516K DATE 2/18/05  
 FINISH FLOOR ELEVATION: VARIES  
 ZONING DESIGNATION: HRCC-2 (HISTORIC RESIDENTIAL COMMERCIAL CORE 2)  
 LOT AREA:  
 BUILDING CONDITIONED AREA: 1772 SF.

**SETBACKS:**

	<u>REQUIRED/ALLOWED</u>	<u>EXISTING:</u>	<u>PROPOSED:</u>
BUILDING HEIGHT:	35' MAXIMUM	15 FEET	NO CHANGE
FRONT SETBACK	10' MINIMUM	0	0
SIDE YARD SETBACK	5' MINIMUM	0	0
STREET SIDE SETBACK	7.5' MINIMUM	0	0
REAR SETBACK	15' MINIMUM	0	0
IMPERVIOUS SURFACE:	MAX. 60% OF LOT AREA	100%	0
BUILDING COVERAGE:	MAX. 50% OF LOT AREA	80%	0
OPEN SPACE:	MIN. 35% OF LOT AREA	0	0
F.A.R.:	0.5 MAXIMUM	0	0

**ACCESSORY STRUCTURE SETBACKS:**

	<u>REQUIRED/ALLOWED</u>	<u>EXISTING:</u>	<u>PROPOSED:</u>
REAR SETBACK	5' MINIMUM	N/A	0
SIDE SETBACK	5' MINIMUM	N/A	0

**ACCESSORY STRUCTURE/ REAR YARD :**

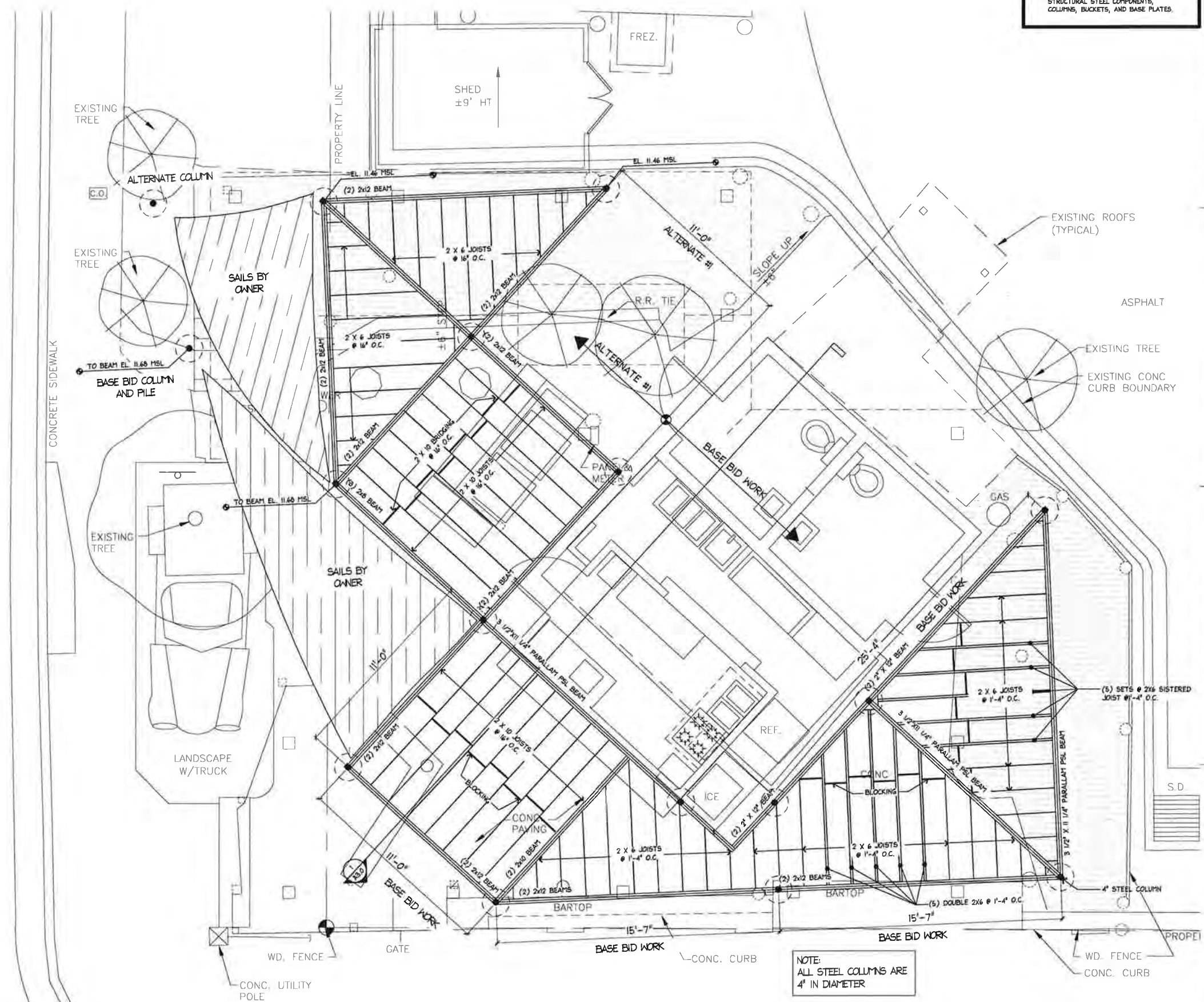
	<u>MAXIMUM ALLOWED</u>	<u>EXISTING:</u>	<u>PROPOSED:</u>
		N/A	0





WILLIAM ST. (50' RW)

A1.1 PROPOSED ROOF FRAMING PLAN  
SCALE: 3/8"=1'-0"



- NOTES**
1. SOLID BLOCK @ MIDSPAN, FOR ALL RAFTERS WITH SPANS OVER 8'-0".
  2. PROVIDE SHOP DRAWINGS FOR ALL STRUCTURAL STEEL COMPONENTS, COLUMNS, BRACKETS, AND BASE PLATES.

NOTE:  
ALL STEEL COLUMNS ARE  
4" IN DIAMETER

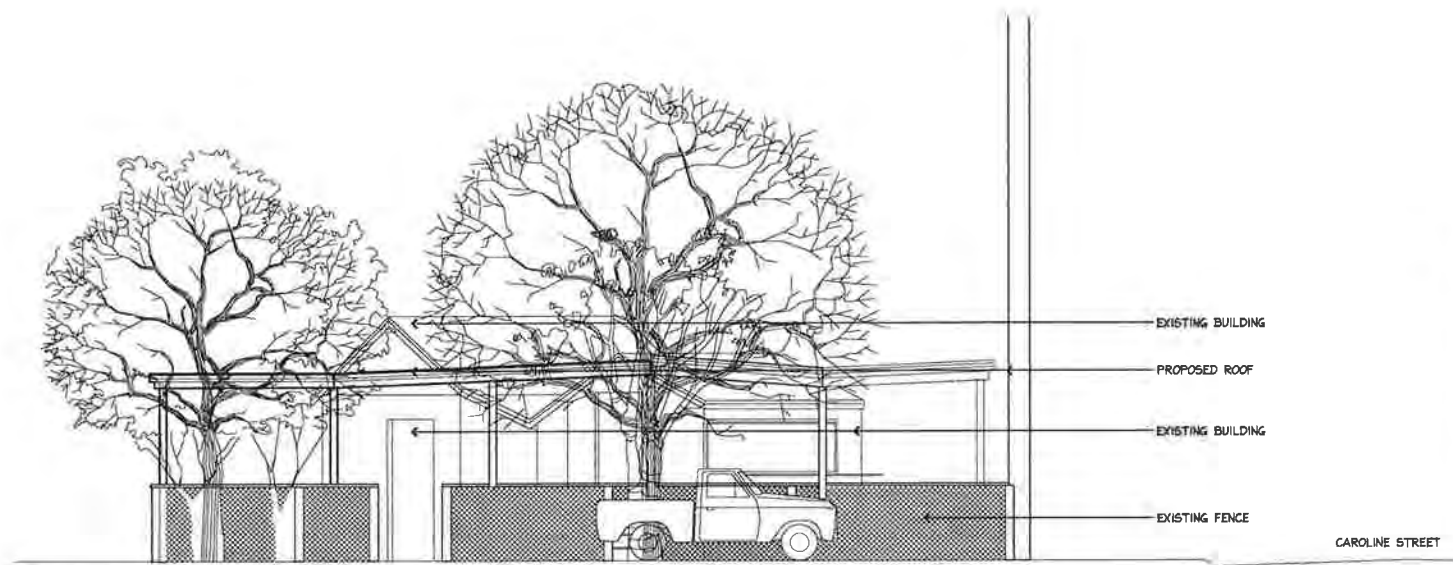
**BO'S FISH WAGON ROOF**  
801 CAROLINE STREET  
KEY WEST, FL 33040

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 266-1347  
Facsimile (305) 298-2727  
Florida License AAC002022

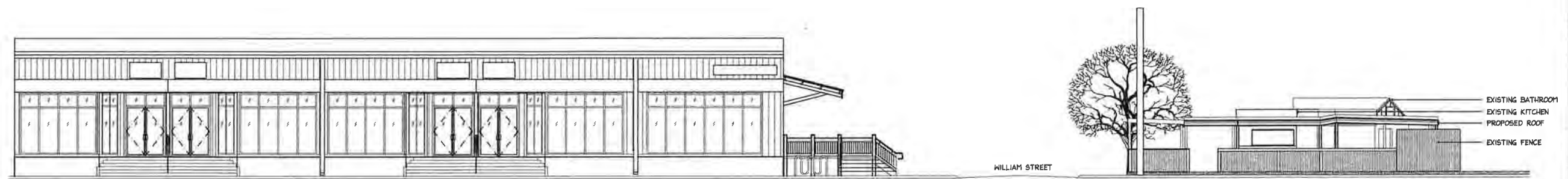
**Bender & Associates**  
**ARCHITECTS**  
p.a.

Project No. 1553  
PROPOSED ROOF FRAMING PLAN  
Date: 07/15/19

**A1.1**  
5 OF 9



2 PROPOSED WILLIAM STREET ELEVATION  
 SCALE: 1/4"=1'-0"



1 PROPOSED CAROLINE STREET ELEVATION  
 SCALE: 1/8"=1'-0"

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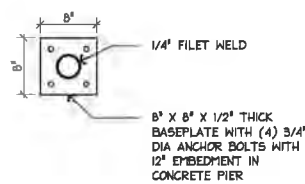
Bender & Associates  
 ARCHITECTS  
 p.d.

Project No: 1533  
 PROPOSED CAROLINE  
 AND WILLIAM STREET  
 ELEVATIONS

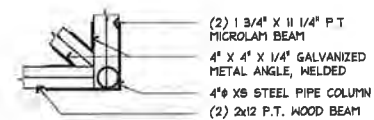
Date: 07/15/19

A2.0

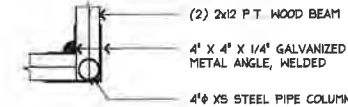
**NOTES**  
 1. ALL BRACKETS SHOULD BE 1/16" LARGER THAN THE INTENDED BEAM.



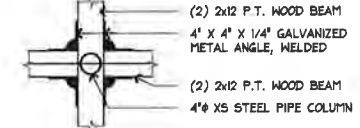
9 TYPICAL COLUMN BASEPLATE DETAIL  
 A3.0 SCALE: 1"=1'-0"



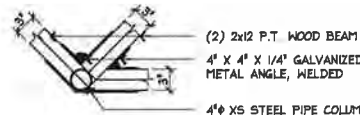
9 STRUCTURE DETAIL 9  
 A3.0 SCALE: 1"=1'-0"



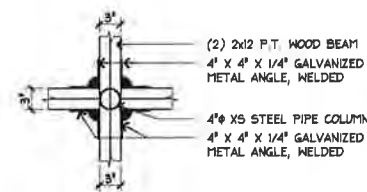
8 STRUCTURE DETAIL 8  
 A3.0 SCALE: 1"=1'-0"



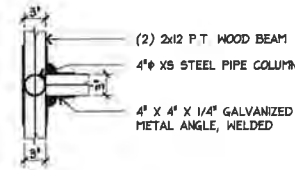
7 STRUCTURE DETAIL 7  
 A3.0 SCALE: 1"=1'-0"



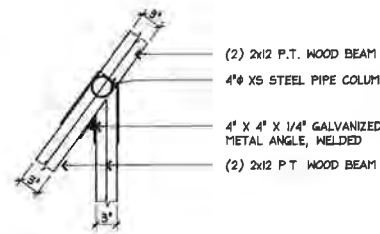
6 STRUCTURE DETAIL 6  
 A3.0 SCALE: 1"=1'-0"



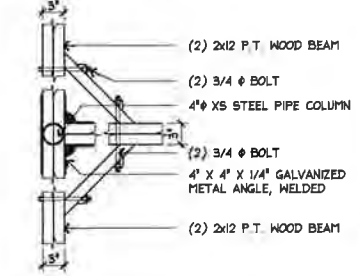
5 STRUCTURE DETAIL 5  
 A3.0 SCALE: 1"=1'-0"



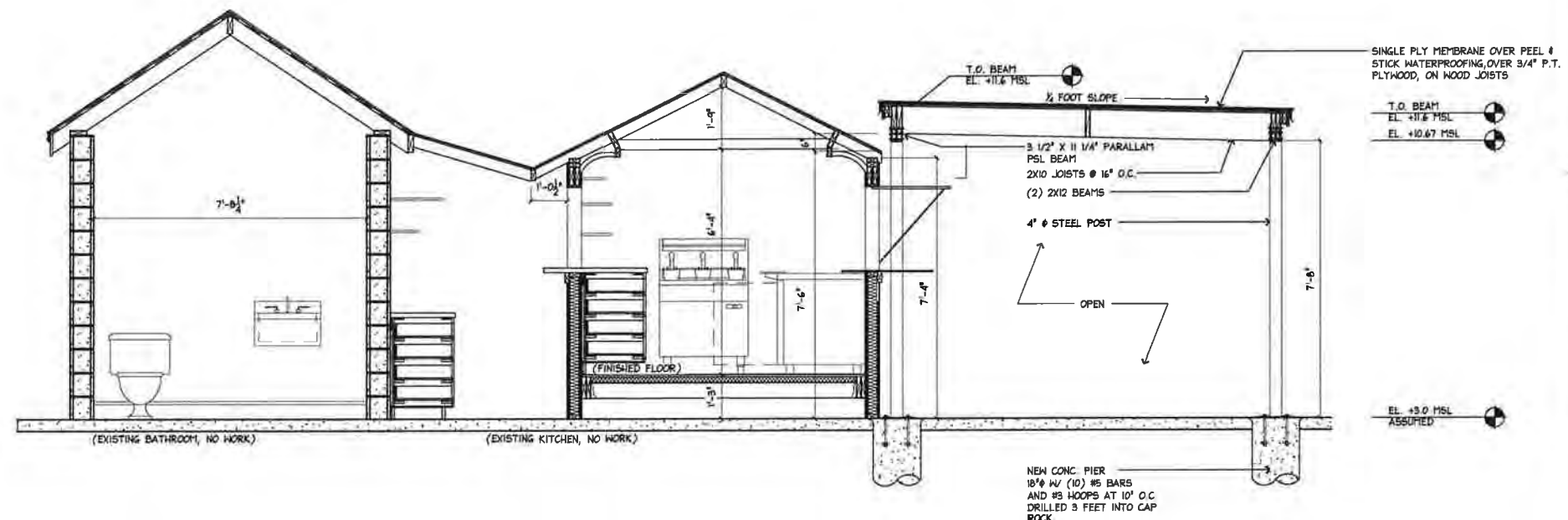
4 STRUCTURE DETAIL 4  
 A3.0 SCALE: 1"=1'-0"



3 STRUCTURE DETAIL 3  
 A3.0 SCALE: 1"=1'-0"



2 STRUCTURE DETAIL 2  
 A3.0 SCALE: 1"=1'-0"



1 PROPOSED CROSS SECTION  
 A3.0 SCALE: 1/2"=1'-0"

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**Bender & Associates**  
 ARCHITECTS  
 p.a.

Project No: 1533  
 PROPOSED CROSS SECTION  
 Date: 07/25/19

**A3.0**  
 7 OF 9



9 PHOTO DETAIL 9  
SCALE: N.T.S



8 PHOTO DETAIL 8  
SCALE: N.T.S



7 PHOTO DETAIL 7  
SCALE: N.T.S



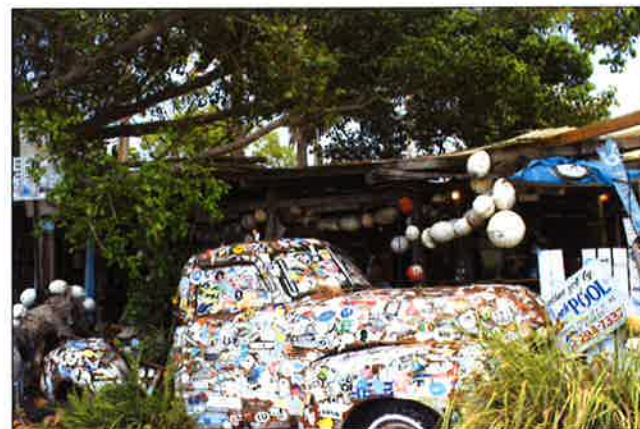
6 PHOTO DETAIL 6  
SCALE: N.T.S



5 PHOTO DETAIL 5  
SCALE: N.T.S



4 PHOTO DETAIL 4  
SCALE: N.T.S



3 PHOTO DETAIL 3  
SCALE: N.T.S



2 PHOTO DETAIL 2  
SCALE: N.T.S



1 PHOTO DETAIL 1  
SCALE: N.T.S

BO'S FISH WAGON ROOF  
801 CAROLINE STREET  
KEY WEST, FL 33040

410 Angela Street  
Key West, Florida 33010  
Telephone (305) 296-1347  
Facsimile (305) 296-2327  
Florida License AAC002022

Bender & Associates  
ARCHITECTS p.a.

Project No: 1533  
PHOTO DETAILS  
Date: 7/15/19

PROJECT NAME: BO'S FISH WAGON ROOF  
PROJECT NUMBER: 319-239

GENERAL NOTES

100. DESIGN CRITERIA

100.1 DESIGN BUILDING CODE:

A. FLORIDA BUILDING CODE, SIXTH EDITION (2017)

100.2 GRAVITY LOADS:

A. ROOF LIVE LOADS:

1. ROOF \_\_\_\_\_ 20 PSF

100.3 LATERAL LOADS:

A. WIND LOADS (IN ACCORDANCE WITH DESIGN BUILDING CODE PER GENERAL NOTE 100.1):

1. ULTIMATE DESIGN WIND SPEED (3 SECOND GUST),  $V_{ult}$  = 180 MPH
2. NOMINAL DESIGN WIND SPEED (3 SECOND GUST),  $V_{sld}$  = 140 MPH
3. RISK CATEGORY = II
4. EXPOSURE CATEGORY = D
5. ENCLOSURE CLASSIFICATION = OPEN
6. COMPONENTS AND CLADDING PRESSURES,  $P_{ult}$  = +14.9/-20.4 PSF

110. GENERAL

110.1 UNLESS OTHERWISE INDICATED, PROVIDE EQUAL SPACING OF STRUCTURAL COMPONENTS BETWEEN OVERALL DIMENSIONS INDICATED ON DRAWINGS.

110.2 STRUCTURAL WORK SHALL BE INSPECTED IN ACCORDANCE WITH ALL LOCAL ORDINANCES. THE CONTRACTOR SHALL ENGAGE AN EXPERIENCED, QUALIFIED INSPECTION AGENCY, SUBJECT TO THE REVIEW OF THE ARCHITECT, TO PERFORM ALL INSPECTION WORK, AS REQUIRED.

110.3 STRUCTURAL WORK SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GENERAL NOTES. THE CONTRACTOR SHALL ENGAGE AN EXPERIENCED, QUALIFIED TESTING AGENCY, SUBJECT TO THE REVIEW OF THE ARCHITECT, TO PERFORM ALL TESTING WORK, AS REQUIRED.

200. CONCRETE AUGER PIERS

200.1 AUGER PIERS HAVE BEEN DESIGNED TO BEAR ON CAPROCK WITH AN ALLOWABLE END BEARING CAPACITY OF 5000 PSF AND AN ALLOWABLE SIDE FRICTION CAPACITY OF 5000 PSF.

200.2 CAST IN PLACE CONCRETE AUGER PIERS SHALL BE SOCKETED A MINIMUM OF 3 FEET INTO SOUND CAPROCK.

200.3 THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER TO PROVIDE A SIGNED AND SEALED CERTIFICATION THAT THE MATERIAL IN WHICH THE PIERS ARE INSTALLED HAS AT LEAST THE ABOVE NOTED END BEARING AND SIDE FRICTION CAPACITIES.

200.4 THE CONTRACTOR SHALL OBSERVE WATER CONDITIONS AT THE SITE AND TAKE THE NECESSARY PRECAUTIONS TO ENSURE THAT THE FOUNDATION EXCAVATIONS REMAIN DRY DURING CONSTRUCTION. PROVIDE FOR DEWATERING AS NECESSARY.

300. REINFORCED CONCRETE

300.1 ALL REINFORCED CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318, LATEST EDITION) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301, LATEST EDITION) OF THE AMERICAN CONCRETE INSTITUTE.

300.2 MINIMUM DESIGN COMPRESSION STRENGTH ( $f'_c$ ) REQUIRED AT 28 DAYS:

A. AUGER PIERS \_\_\_\_\_ 4000 PSI

300.3 MAXIMUM WATER TO CEMENTITIOUS MATERIALS RATIO:

A. AUGER PIERS \_\_\_\_\_ 0.56

300.4 ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (MINIMUM 144 PCF) WITH ALL PORTLAND CEMENT CONFORMING TO ASTM C150, TYPE I, II OR I/II, MAXIMUM NOMINAL COARSE AGGREGATE SIZE SHALL BE 1-1/2" FOR FOUNDATIONS AND 3/4" FOR WALLS AND SLABS, CONFORMING TO ASTM C33.

300.5 THE CONTRACTOR SHALL BE PERMITTED TO FURNISH CONCRETE MIXES UTILIZING PORTLAND CEMENT SUPPLEMENTED WITH FLY ASH, NATURAL POZZOLAN, SLAG CEMENT AND/OR SILICA FUME CONFORMING TO THE SPECIFICATION REQUIREMENTS OF TABLE 26.4.1.1.1 (a) IN ACI 318.

300.6 MIXING WATER SHALL CONFORM TO ASTM C1602.

300.7 ADMIXTURES SHALL CONFORM TO THE REQUIREMENTS OF SECTION 26.4.1.4.1 OF ACI 318.

300.8 ADMIXTURES SHALL NOT CONTAIN CALCIUM CHLORIDE OR CHLORIDE-CONTAINING COMPOUNDS AS A FUNCTIONAL INGREDIENT.

300.9 LIMIT WATER SOLUBLE CHLORIDE ION CONTENT IN CONCRETE FROM ALL SOURCES TO 0.15 PERCENT BY WEIGHT OF CEMENT.

300.10 REINFORCEMENT

A. DEFORMED BARS \_\_\_\_\_ ASTM A615, GRADE 60

300.11 COVER FOR CAST-IN-PLACE CONCRETE REINF., UNLESS OTHERWISE SHOWN ON DRAWINGS, SHALL BE AS FOLLOWS (REFER TO ACI 117 FOR ALLOWABLE CONSTRUCTION TOLERANCES):

A. AUGER PIERS \_\_\_\_\_ 1"

300.12 SPLICES IN REINFORCEMENT, WHERE PERMITTED, SHALL BE AS FOLLOWS:

A. ALL OTHERS \_\_\_\_\_ CLASS "B" TENSION, CASE "1" MINIMUM, UNO

300.13 CLASS "B", CASE "1" TENSION SPLICES IN INCHES, SHALL BE AS FOLLOWS:

SIZE	3000 PSI		4000 PSI	
	TOP BARS	ALL OTHERS	TOP BARS	ALL OTHERS
#3 (#10)	28	22	24	19
#4 (#13)	37	29	32	25
#5 (#16)	47	36	40	31
#6 (#19)	56	43	48	37

300.14 THE CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING LABORATORY, SUBJECT TO THE APPROVAL OF THE OWNER, TO SAMPLE AND TEST CONCRETE AT THE POINT OF PLACEMENT PER ACI 301. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE OWNER AND ENGINEER. TESTING SHALL INCLUDE AT LEAST THE FOLLOWING:

- A. RECORD THE TEMPERATURE AND PERFORM ONE SLUMP TEST PER ASTM C 143 FOR EACH 10 CY OF CONCRETE PLACED.
- B. CAST AND LABORATORY CURE SIX (6) CONCRETE COMPRESSIVE STRENGTH TEST CYLINDERS IN ACCORDANCE WITH ASTM C 31 FOR EACH 50 CY OF EACH CLASS OF CONCRETE OR FRACTION THEREOF PLACED PER DAY. TEST (IN ACCORDANCE WITH ASTM C 39) TWO (2) CYLINDERS AT 7 DAYS, TWO (2) CYLINDERS AT 28 DAYS AND RETAIN TWO (2) CYLINDERS FOR TESTING AT 56 DAYS IN THE EVENT THE 28 DAY CYLINDERS DO NOT MEET THE SPECIFIED CONCRETE COMPRESSIVE STRENGTH.

510. STRUCTURAL STEEL

510.1 ALL STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH ANSI/AISC 360 - 10 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" LOADS, FORCES AND MOMENTS INDICATED ARE SERVICE LEVEL AND ARE INTENDED FOR USE WITH THE ALLOWABLE STRENGTH DESIGN PROVISIONS OF THE CODE.

510.2 GRADE OF STEEL

- A. STEEL PIPE \_\_\_\_\_ ASTM A53 GRADE B
- B. OTHER \_\_\_\_\_ ASTM A36

510.3 GALVANIZED STRUCTURAL STEEL

- A. STRUCTURAL SHAPES AND RODS \_\_\_\_\_ ASTM A123
- B. BOLTS, FASTENERS AND HARDWARE \_\_\_\_\_ ASTM F2329

510.4 ALL BOLTED CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCS) "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS" (LATEST EDITION).

510.5 ALL BOLTS SHALL BE ASTM A325, TYPE 1, 3/4" DIAMETER MINIMUM, UNLESS OTHERWISE NOTED. WHERE NECESSARY DUE TO CONNECTION REQUIREMENTS THE CONTRACTOR MAY UTILIZE ASTM A490, TYPE 1 BOLTS. THE USE OF BOLTS WITH DIFFERENT ASTM DESIGNATIONS AND THE SAME DIAMETER IS PROHIBITED.

510.6 PROVIDE THE FOLLOWING BOLTED JOINT TYPES UNLESS OTHERWISE INDICATED OR NOTED ON DRAWINGS:

A. SNUG-TIGHTENED JOINTS: ALL SIMPLE SHEAR CONNECTIONS.

510.7 ALL WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE, AWS D1.1, LATEST EDITION, OF THE AMERICAN WELDING SOCIETY. ELECTRODES SHALL BE E70XX FOR MANUAL ARC WELDING AND F7X-EXXX FOR SUBMERGED ARC WELDING.

510.8 BOLT AND WELD TESTING:

- A. ALL SHOP AND FIELD BOLTS SHALL BE TESTED PER AISC REQUIREMENTS.
- B. ALL WELDS SHOULD BE VISUALLY INSPECTED.

510.9 ALL EXTERIOR STRUCTURAL STEEL SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH THE GENERAL NOTES. CLEAN AREAS WHERE GALVANIZING IS DAMAGED OR MISSING AND REPAIR GALVANIZING TO COMPLY WITH ASTM A780.

510.10 LEVELING GROUT SHALL BE NON-SHRINK, NON-METALLIC TYPE, FACTORY PRE-MIXED GROUT TESTED IN ACCORDANCE WITH CE-CRD-C621 OR ASTM C109, WITH  $f'_c$  OF NOT LESS THAN 5000 PSI.

510.11 ALL ANCHOR BOLTS SHALL BE ASTM A36 OR ASTM F1554, GRADE 36 AND A MINIMUM 3/4" DIAMETER WITH A MINIMUM CONCRETE EMBEDMENT OF 16" UNLESS NOTED OTHERWISE.

610. STRUCTURAL LUMBER

610.1 ALL STRUCTURAL LUMBER WORK SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS - LATEST EDITION) PUBLISHED BY THE AMERICAN WOOD COUNCIL.

610.2 ALL STRUCTURAL LUMBER SHALL BE AS A MINIMUM NO. 2 GRADE SOUTHERN PINE AND SHALL HAVE AT LEAST THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES (NOT INCORPORATING THE SIZE ADJUSTMENT FACTOR (CF)) AND MODULUS OF ELASTICITY AT A MAXIMUM MOISTURE CONTENT OF 19%:

A. $F_b$ (BENDING)	750 PSI
B. $F_v$ (SHEAR)	175 PSI
C. $F_c$ (COMPRESSION)	1,250 PSI
D. $F_t$ (TENSION)	450 PSI
E. $E$	1,400,000 PSI

610.3 ALL LUMBER SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH THE APPLICABLE RULE OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARD. FACTORY-MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF INSPECTION AGENCY EVIDENCING COMPLIANCE WITH GRADING RULE REQUIREMENTS.

610.4 NO CUTS, HOLES, OR COPES REQUIRED FOR OTHER TRADES IN STRUCTURAL WOOD FRAMING WILL BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL OF ENGINEER AND ARCHITECT.

610.5 PRESSURE TREAT WITH WATER-BORNE PRESERVATIVES ALL LUMBER THAT MAY BE EXPOSED TO WEATHER OR EARTH. PRESSURE TREATMENT SHALL COMPLY WITH REQUIREMENTS OF AWPA STANDARDS C2 AND LP-22.

610.6 ALL "PARALLAM PSL" LUMBER SHALL BE CONFORM TO THE MOST CURRENT SPECIFICATION OF THE AMERICAN PLYWOOD ASSOCIATION WITH AT LEAST THE FOLLOWING MINIMUM DESIGN STRESSES:

BEAM ORIENTATION:

A. $F_b$ (BENDING)	2,900 PSI
B. $F_v$ (SHEAR)	290 PSI
C. $E$	2,000,000 PSI
D. $F_c$ (COMPRESSION PARALLEL TO GRAIN)	2,900 PSI
E. $F_c$ (COMPRESSION PERPENDICULAR TO GRAIN)	750 PSI
F. $F_t$ (TENSION)	2,400 PSI

610.7 ALL MEMBERS SHOWN ON PLAN WITH DESIGNATION "PSL" SHALL BE PARALLAM PSL MEMBERS. ALL PARALLAM STRUCTURAL LUMBER SHALL BE APA RATED, EXPOSURE I, ALL ADHESIVES SHALL COMPLY WITH ANSI/AITC A190.1 "WET-USE" TYPE.

610.8 ALL SIDE LOADED PARALLAM BEAMS OR COLUMNS SHALL BE SOLID AND SHALL NOT BE COMPOSED OF MULTIPLE PILES. TOP LOADED PARALLAM BEAMS MAY BE COMPOSED OF MULTIPLE PILES OF 1 3/4" THICK MEMBERS AND SHALL BE NAILED BY MINIMUM OF TWO ROWS OF 16d NAILS AT 12" ON CENTER AND GLUED TOGETHER WITH AN EXTERIOR TYPE ADHESIVE.

610.9 ALL PARALLAM BEAM ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH HANGERS AS MANUFACTURED BY KANT-SAG OR WITH APPROVED SUBSTITUTES WITH WORKING LOAD CAPACITIES EQUIVALENT TO THE "HD" OR "HDD" SERIES HANGERS.

610.10 PROVIDE END-COAT SEALING TO END AND CROSS CUTS AFTER CUTTING TO FINAL LENGTH FOR ALL PARALLAM BEAMS.

610.11 ALL WOOD JOISTS BEARING ENDS SHALL BE ANCHORED TO SUPPORT IN WOOD FRAMING WITH A TYPE A34 FRAMING ANCHOR, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.

610.12 ALL WOOD JOIST ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH THE FOLLOWING STAINLESS STEEL JOISTS HANGERS WITH STAINLESS STEEL NAILS, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC., OR WITH APPROVED SUBSTITUTES WITH THE FOLLOWING MINIMUM ALLOWABLE LOAD CAPACITIES:

JOIST SIZE	SIMPSON HANGER	UPLIFT CAPACITY (160)	DOWNWARD CAPACITY (160)
2X6	LUS26 SS	394 LBS.	528 LBS.
2X10	LUS28 SS	596 LBS.	798 LBS.
2-2X6	LUS26-2 SS	548 LBS.	734 LBS.
2-2X10	HUC0210-2-SDS SS184B	1848 LBS.	1953 LBS.
2-2X12	LUS210-2 SS	1127 LBS.	

610.13 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS SHOWN ON THE DRAWINGS THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.

620. STRUCTURAL WOOD PANELS/WOOD SHEATHING

620.1 FURNISH PANELS THAT ARE EACH FACTORY MARKED WITH A CERTIFICATION STAMP EVIDENCING COMPLIANCE WITH GRADE AND SPAN RATING REQUIREMENTS. THE CENTER-TO-CENTER SPACING IN INCHES SHALL NOT EXCEED THE SPAN RATING STAMPED ON THE PANELS. INSTALLATION OF THE PANELS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE APA.

620.2 PANELS SHALL COMPLY WITH USDOC PS-1 OR PS-2 AND APA PRP-108 AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- A. ROOF SHEATHING:
  1. MIN. THICKNESS = 3/4"
  2. BOND CLASSIFICATION = EXTERIOR
  3. GRADE = APA RATED STRUCTURAL I
  4. SPAN RATING = AS REQUIRED TO SUIT JOIST/TRUSS SPACING

620.3 ALL PANELS SHALL HAVE THE END JOINTS LOCATED OVER SUPPORTS AND SHALL HAVE THE ROWS STAGGERED ONE HALF PANEL LENGTH FROM ADJACENT PANELS. PROVIDE 1/8" SPACE AT PANEL ENDS AND EDGES.

620.4 ALL ROOF STRUCTURAL PANELS SHALL BE NAILED WITH 10d SPIRAL OR RING SHANK NAILS AT 6" OC AT ALL ENDS AND INTERMEDIATE SUPPORTS.

620.5 ALL PLYWOOD PANELS SHALL COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF NM519 FOR FULLY-WIND-RESISTIVE ROOF ASSEMBLIES COMPLYING WITH UL CLASS 90 CLASSIFICATION.

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Florida License AAC002022

Bender & Associates  
ARCHITECTS  
P.A.

Project No: 1533  
SURVEY  
Date: 07/15/19

S1

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:30 p.m., August 27, 2019 at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**REPLACEMENT OF EXISTING ROOF AND STRUCTURAL SUPPORTS. DEMOLITION OF NON-HISTORIC ROOF AND STRUCTURAL COMPONENTS.**

**#801 CAROLINE STREET**

**Applicant – Bert Bender, Architect    Application #H2019-0029**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared BERT BENDER, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

801 CAROLINE ST. on the 14<sup>TH</sup> day of AUGUST, 2019.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on AUGUST 27<sup>TH</sup>, 2019.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is \_\_\_\_\_.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:**

BERT BENDER  
**Date:** 14 AUGUST, 2019  
**Address:** 410 ANGELA  
**City:** KEY WEST  
**State, Zip:** FL 33040

The forgoing instrument was acknowledged before me on this 14<sup>TH</sup> day of AUGUST, 2019.

By (Print name of Affiant) BERT BENDER who is personally known to me, or has produced \_\_\_\_\_ as identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: Ayn Lewis  
Print Name: Ayn Lewis

Notary Public - State of Florida (seal)  
My Commission Expires: 5-2-2021







# PROPERTY APPRAISER INFORMATION



**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

**Parcel ID** 00072082-004201  
**Account#** 9073835  
**Property ID** 9073835  
**Millage Group** 12KW  
**Location Address** 800 BLK CAROLINE St, KEY WEST  
**Legal Description** KW PT LOT 2 SQR 10 (B O'S FISH WAGON LEASE) G42-467/68 OR427-17/18 OR572-126E OR656-645/46 OR1424-992/99(LG)  
*(Note: Not to be used on legal documents.)*  
**Neighborhood** 32120  
**Property Class** RESTAURANT (2100)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



9073835 800 BLK OF CAROLINE ST 07/31/12

**Owner**

CITY OF KEY WEST  
 PO BOX 1409  
 KEY WEST FL 33041

**Valuation**

	2018	2017	2016	2015
+ Market Improvement Value	\$23,457	\$24,179	\$26,702	\$26,702
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$269,696	\$269,696	\$268,709	\$268,709
<b>= Just Market Value</b>	<b>\$293,153</b>	<b>\$293,875</b>	<b>\$295,411</b>	<b>\$295,411</b>
<b>= Total Assessed Value</b>	<b>\$293,153</b>	<b>\$293,875</b>	<b>\$295,411</b>	<b>\$295,411</b>
- School Exempt Value	\$0	\$0	\$0	\$0
<b>= School Taxable Value</b>	<b>\$293,153</b>	<b>\$293,875</b>	<b>\$295,411</b>	<b>\$295,411</b>

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	1,720.00	Square Foot	0	0

**Commercial Buildings**

**Style** RESTRNT/CAFETR-D- / 21D  
**Gross Sq Ft** 1,144  
**Finished Sq Ft** 160  
**Perimeter** 0  
**Stories** 1  
**Interior Walls**  
**Exterior Walls** MIN WOOD SIDING  
**Quality** 200 ()  
**Roof Type**  
**Roof Material**  
**Exterior Wall1** MIN WOOD SIDING  
**Exterior Wall2**  
**Foundation**  
**Interior Finish**  
**Ground Floor Area**  
**Floor Cover**  
**Full Bathrooms** 2  
**Half Bathrooms** 0  
**Heating Type**  
**Year Built** 1995  
**Year Remodeled**  
**Effective Year Built** 1991  
**Condition**

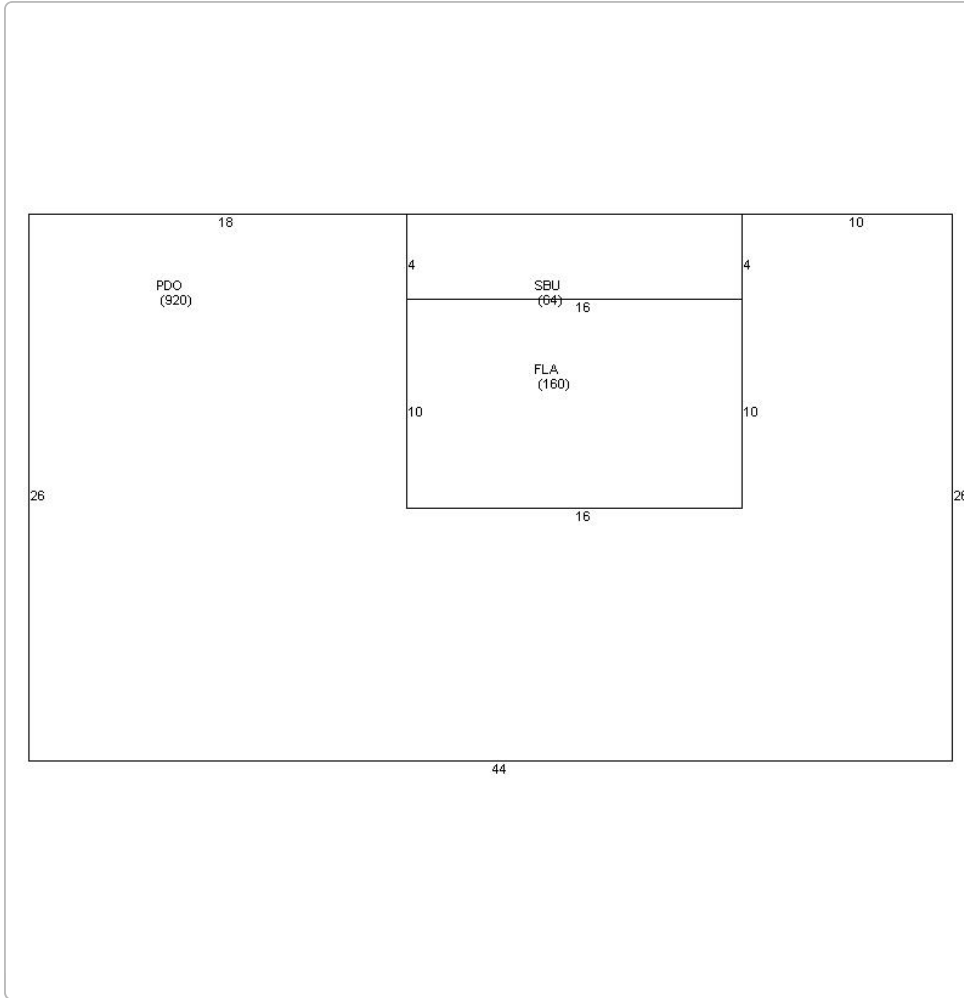
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	160	160	0
PDO	PATIO DIN OPEN	920	0	0
SBU	UTIL UNFIN BLK	64	0	0

Code	Description	Sketch Area	Finished Area	Perimeter
TOTAL		1,144	160	0

**View Tax Info**

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**Sketches (click to enlarge)**



**Photos**



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Yard Items, Exemptions, Sales, Permits.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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Version 2.2.37

**2019 / 2020  
MONROE COUNTY BUSINESS TAX RECEIPT  
EXPIRES SEPTEMBER 30, 2020**

Business Name: BO'S FISH WAGON

RECEIPT# 29140-10376

Owner Name: WAYNE M OWEN  
Mailing Address: 801 CAROLINE ST  
KEY WEST, FL 33040

Business Location: 801 CAROLINE ST  
KEY WEST, FL 33040  
Business Phone: 305-294-9272  
Business Type: CAFE RESTAURANT (RESTAURANT)

Seats 30

STATE LICENSE: SEA5402396

Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
30.00	0.00	30.00	0.00	0.00	0.00	30.00

**Paid 107-18-00005706 07/02/2019 30.00**

THIS BECOMES A TAX RECEIPT  
WHEN VALIDATED

**Danise D. Henriquez, CFC, Tax Collector  
PO Box 1129, Key West, FL 33041**

THIS IS ONLY A TAX.  
YOU MUST MEET ALL  
COUNTY AND/OR  
MUNICIPALITY PLANNING  
AND ZONING REQUIREMENTS.

**MONROE COUNTY BUSINESS TAX RECEIPT  
P.O. Box 1129, Key West, FL 33041-1129  
EXPIRES SEPTEMBER 30, 2020**

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**Paid 107-18-00005706 07/02/2019 30.00**



2020 Details — Business Tax Account BO'S FISH WAGON

Print this page

Business Tax Account #10376 Account details Account history

	2020	2019	2018	2017	...	2003
<b>Get Bills by Email</b>	Paid	Paid	Paid	Paid		Paid
<b>Account number:</b>	10376		<b>Mailing address:</b> WAYNE M OWEN 801 CAROLINE ST KEY WEST, FL 33040			
<b>Business start date:</b>	06/28/2007					
<b>Physical business location:</b>	CITY OF KEY WEST		<b>Owner(s)</b>		WAYNE M OWEN 801 CAROLINE ST KEY WEST, FL 33040	
<b>Business address:</b>	BO'S FISH WAGON 801 CAROLINE ST KEY WEST, FL 33040					

Receipts And Occupations

Receipt 29140-10376

Print Business Tax Receipt

RESTAURANT 10/01/2019-09/30/2020 Units: 30  
CAFE RESTAURANT

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