

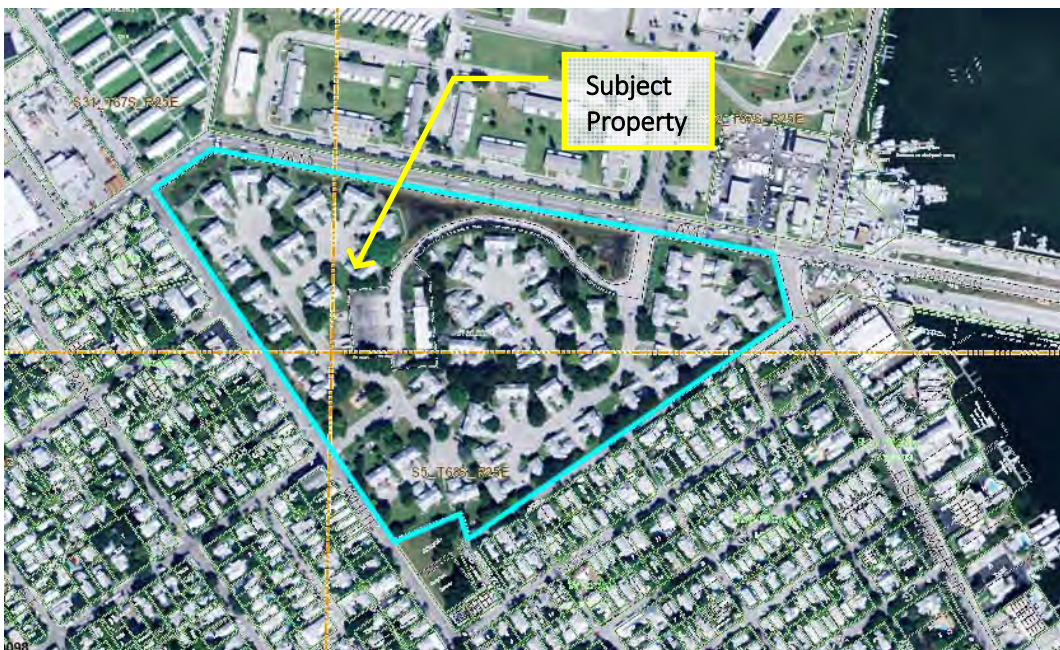
Staff Report

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board members
From: Patrick Wright, Planner II
Through: Thaddeus Cohen, Planning Director
Meeting Date: October 15, 2015
Agenda Item: **Major Development Plan – 541 White Street (RE # 00006730-000200; AK # 9100458)** - A request for major development plan approval for the construction of 48 new affordable residential units on property located within Historic Special Medium Density Residential (HSMDR) zoning district pursuant to Section 108-91.A.2.(a) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Request: Major development plan approval and landscape modifications / waivers for the construction of 48 new affordable residential units.
Applicant: Donna M. Bosold
Property Owners: Peary Court Holdings, LP
Location: 541 White Street
(RE # 00006730-000200; AK # 9100458)
Zoning: Historic Special Medium Density Residential District (HSMDR)



Background / Proposed Development:

The subject property is bound by Palm Avenue, Eaton Street, White Street, Eisenhower Drive and Angela Street within the HMSDR Zoning District. It consists of one 24 acre parcel under single ownership. The property has historically been utilized as army barracks dating as far back as the mid nineteenth century and redeveloped in the early 1990s to 160 Navy housing units. Three of those units were destroyed by fire leaving the 157 units that currently exist on the site today. The property also housed a 10,000 square foot bank building occupied by Keys Federal Credit Union that was demolished in 2013. The site of the bank building, together with other currently vacant land within the property, is now proposed for the development of 48 affordable housing units.

In 2012 the Navy sold the property to a non-governmental entity thus making it and its 160 units subject to local zoning control. The City Commission adopted Ordinance 12-33 in September of 2012 which established the HSMDR zoning district for Peary Court as well as set aside 48 affordable building permit allocation (BPAS) units by recommendation of the State Department of Economic Opportunity to satisfy the 30% affordable housing requirements.

This request for Major Development Plan approval along with the requested Development Agreement pursuant to Section 122-611(e) seek to construct the 48 affordable units as allocated by the city and as set forth-in City Ordinance 12-33. If approved the development would result in a total of 205 units on the parcel with buildback rights of three additional units totaling 208 potential units.

In order to allow the proposed development, the following development approvals would be necessary or are requested by the applicant:

- Major Development Plan review to include modifications or waivers to reduce landscaping requirements is required due to the reconstruction of five or more residential units, pursuant to Section 108-91.A.2.(a) and 108-517 of the Land Development Regulations (LDRs) of the Code of Ordinances (the “Code”) of the City of Key West (the “City”)

Surrounding Zoning and Uses:

Surrounding properties are located within the Historic Residential Commercial Core – Key West Bight (HRCC-2), Historic Neighborhood Commercial (HNC-2), Historic Medium Density Residential (HMDR), Historic Public and Semi Public Services (HPS-2), General Commercial (CG), Public Services (PS) and Military (M) zoning districts. Surrounding uses include military housing to the north, commercial and public uses including the City’s transportation building to the east, a residential neighborhood to the southeast, residential and small scale commercial uses to the south and west. Zoning districts within 300 feet of the property are HRCC-2, HNC-2, HMDR, HPS-2, CG, PS and M.

Process:

Development Review Committee (DRC): June 25, 2015

Development Review Committee (DRC):	August 27, 2015
Preliminary Tree Commission:	October 13, 2015
Planning Board:	October 15, 2015
HARC:	pending
Final Tree Commission:	pending
City Commission:	pending
DEO review	Up to 45 days, following local appeal period

Evaluation for Compliance with the Land Development Regulations (LDRs) and Comprehensive Plan

City Code Section 108-91.A.2.(a) requires the reconstruction of five or more transient residential units to be reviewed as a Major Development Plan. City Code Section 108-196(a) states after reviewing a Major Development Plan or a Minor Development Plan for a property and staff recommendations therefor, the Planning Board shall act by resolution to approve, approve with conditions, or disapprove it based on specific development review criteria contained in the LDRs and the intent of the LDRs and comprehensive plan. The Planning Board resolution shall provide written comments documenting any conditions of approval that the Planning Board finds necessary to effectuate the purpose of Development Plan review and carry out the spirit and purpose of the Comprehensive Plan and the LDRs. If the Development Plan is recommended for disapproval, the Planning Board resolution shall specify in writing the reasons for recommending such denial. The Planning Board’s decision on a Major Development Plan in the historic district shall be advisory to the City Commission.

Planning staff, as required by Chapter 108 of the City LDRs, has reviewed the following for compliance with the City's LDRs and Comprehensive Plan as summarized in the following table.

Project Data Summary				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Zoning District	HSMDR			
Flood Zone	AE-6/AE-7			
Site size	24.18 acres			
Maximum density	8.6 du/acre	157 units = 6.49 du/acre	208 units = 8.6 du/acre	In Compliance
Maximum height	30 feet	Not indicated; existing 2-story bldgs.	29.7 feet	In compliance
Maximum building coverage	40%	16.8% (176,951 Sq ft)	20% (210,656 Sq ft)	In compliance
Maximum impervious surface	60%	50.8% (534,795 Sq ft)	48.6% (512,057 Sq ft)	In compliance
Minimum lot size	5,000 SF	24.18 acres	24.18 acres	In compliance
Minimum front setback (White)	10 feet	Not indicated	10 feet	In compliance

Project Data Summary				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Minimum side setback (Palm, Angela and Eaton)	7.5 feet	Not indicated	7.5 feet	In compliance
Minimum rear setback (Eisenhower)	15 feet	Not indicated	15 feet	In compliance
Minimum vehicular parking (single-family)	1 space per dwelling unit (48 spaces)	0 spaces (New Construction)	66 off-street spaces	In compliance
Minimum open space	35%	Not indicated	51%	In compliance
Landscaping	Code Ch 108, Arts V & VI	See analysis	See analysis	Nonconforming / waivers requested

Concurrency Facilities and Other Utilities or Services (City Code Section 108-233)

Comprehensive Plan Objective 9-1.5 directs the City to ensure that public facilities and services needed to support development are available concurrent with the impacts of new development. The analysis considers potable water, sanitary sewer, solid waste, drainage, vehicle trip generation and recreation. City Code Section 94-36 requires a concurrency review determination to be made concerning the proposed development. The Applicant provided a concurrency analysis as part of the Major Development Plan application. Staff reviewed the provided concurrency analysis following the criteria in City Code Section 94-36 and determines that public facilities are expected to accommodate the proposed development at the adopted level of service (LOS) standards. This portion of the report shall serve as the required written determination of compliance.

1. Potable water supply

The potable water LOS standard for residential uses is 93 gallons per capita per day, pursuant to City Code Section 94-68. Utilizing this LOS standard, potable water demand is estimated as follows:

Based on per capita residential: 93 gal/capita/day x 120 persons (2.5 per unit) = 11,160 gal/day

Therefore, the adopted potable water LOS standard is anticipated to be adequate to serve the proposed development. The property is currently serviced with potable water by the Florida Keys Aqueduct Authority (FKAA), which has been notified of the upcoming development and has available capacity to service the proposed development with the existing infrastructure currently in place.

2. Wastewater management

The sanitary sewer LOS standard for residential uses is 100 gallons per capita per day, pursuant to City Code Section 94-67. Utilizing this LOS standard, sanitary sewer capacity demand is estimated as follows:

Based on per capita residential: $100 \text{ gal/capita/day} \times 120 \text{ persons (2.5 per unit)} = 12,000 \text{ gal/day}$

Therefore, the adopted sanitary sewer capacity LOS standard is anticipated to be adequate to serve the proposed development.

3. Water quality

The property is served by the City’s central sewer system. The property is not adjacent to any bodies of water. Therefore, no adverse impacts to water quality are anticipated.

4. Stormwater management / drainage

The stormwater management or drainage LOS standard pursuant to City Code Section 94-69 is: i) post-development runoff shall not exceed predevelopment runoff for a 25-year storm event, up to and including an event with a 24-hour duration; ii) onsite treatment of the first one inch of rainfall must be provided to meet water quality standards; and iii) storm water facilities must be designed so as to not degrade any receiving water body.

A drainage plan was submitted indicating that a full stormwater management system would be installed. Stormwater would be retained on-site through exfiltration trenches and vegetated swales. Therefore, no adverse impacts to stormwater management or drainage facilities are anticipated.

5. Solid waste

The solid waste LOS standard for residential uses is 2.66 pounds per capita per day, pursuant to City Code Section 94-71. The proposed development is anticipated to accommodate 120 persons. Utilizing this LOS standard, the demand for solid waste collection and disposal capacity is estimated as follows:

Proposed development: $2.66 \text{ lb/capita/day} \times 120 \text{ persons} = 319.2 \text{ lbs/day}$

According to the City’s General Services Division, the contract with Waste Management (WM) accounts for a 20 year “window” for waste processing at the Wheelabrator Waste-to-Energy site. There are other facilities in South Florida also owned by WM for continued use into the future. Therefore, the adopted solid waste LOS standard is anticipated to be adequate to serve the proposed development.

6. Roadways

The roadway LOS standard is set forth in City Code Section 94-72. A traffic study was done by the applicant’s traffic engineer Joaquin E. Vargas, P.E. of Traffic Tech. This applicants report was reviewed by the City’s consultant Eric Czerniejewski, P.E. of Calvin Giordano and Associates. Overall the traffic impact from the development has been determined to be

minimal, however due to existing underperforming roadways and intersections the City's engineer has suggested some improvements that are outlined in the conditions for approval.

7. Recreation

The recreation LOS standard is five acres of recreation and open space per 1,000 permanent residents pursuant to City Code Section 94-70. According to the 2013 Comprehensive Plan Data and Analysis, the City is currently providing ample recreation and open space.

8. Fire Protection

The proposed development shall comply with the life safety requirements per the Fire Marshall's direction.

9. Reclaimed water system

The new development will utilize cisterns per the BPAS prerequisite requirements of Section 108-997(b)(1)(c).

10. Other public facilities

Based on comments received from the DRC members, and based on the Applicant's concurrency analysis, all public facilities would be expected to accommodate the proposed development at the adopted LOS standards.

Appearance, design and compatibility (City Code Section 108-234)

The development plan shall satisfy criteria established in:

City Code Chapter 102 (historic preservation)

The property is located within the Key West Historic District and the proposed development would need to obtain Certificates of Appropriateness from the Historic Architectural Review Commission (HARC) for the construction of the new residential buildings.

Articles III (site plan), IV (traffic impacts) and V (open space, screening and buffers) of City Code Chapter 108 (planning and development)

The proposed site plan is analyzed in greater detail below. A traffic study was submitted and reviewed by the City's consultant, the results of the study have necessitated some required improvements that are outlined in the conditions of approval. The proposed open space provided on site would be sufficient and new landscaping is proposed, although landscape modifications and waivers are requested as part of the development plan review.

City Code Section 108-956 (potable water and wastewater)

Potable water and wastewater were found to be in compliance in the concurrency determination above.

Article II (archaeological resources) of City Code Chapter 110 (resource protection)

There are no known archaeological resources on the property. If any archeological resources are discovered during construction, the Applicant would be required to comply with this article of the LDRs.

Site location and character of use (City Code Section 108-235)

- (a) *Compliance.* The submitted development plan has been reviewed for compliance with all applicable performance criteria set forth in Code Chapter 94 (concurrency management), Code Chapter 102 (historic preservation), Code Chapter 106 (performance standards), Articles I and III through IX of Code Chapter 108 (planning and development), Code Chapter 110 (resource protection) and Code Chapter 114 (signs).
- (b) *Vicinity map.* The property is bound Palm Avenue, Eaton Street, White Street, Eisenhower Drive and Angela Street. A location map is indicated on the survey.
- (c) *Land use compatibility.* Properties within 100 feet are located within the HRCC-2, HNC-2, HMDR, HPS-2, CG and PS Zoning Districts. Adjacent land uses within 300 feet include residential, professional offices and other professional services, restaurants, military housing and city facilities. No unincorporated parts of the county are located nearby, nor would any be impacted by the proposed development.
- (d) *Historic and archeological resource protection.* The project's impact on archaeological and historic resources is being coordinated through the DRC and would be reviewed by the HARC through a Certificate of Appropriateness.
- (e) *Subdivision of land.* No subdivision of land is proposed at this time.

Appearance of site and structures (City Code Section 108-236)

The Applicant submitted a development plan that generally exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in Code Sections 108-278 through 108-288, as analyzed and reflected in the staff recommendation below.

Site plan (City Code Section 108-237)

The Applicant submitted a site plan pursuant to City Code Section 108-237, which is analyzed in greater detail below.

Architectural drawings (City Code Section 108-238)

The Applicant submitted architectural drawings prepared by a professional architect registered in Florida pursuant to City Code Section 108-238.

Site amenities (City Code Section 108-239)

Proposed site amenities include 66 off-street parking spaces, a new road and sidewalk infrastructure, a new stormwater drainage system, cisterns and removal of harmful invasive plants from the entire site. This project also qualifies for the 1% set-aside for public art.

Site survey (City Code Section 108-240)

The Applicant submitted a site survey pursuant to City Code Section 108-240.

Soil survey (City Code Section 108-241)

Not applicable.

Environmentally sensitive areas (City Code Section 108-242)

No environmentally sensitive areas are located on or near the property, which is located within the AE-6 and AE-7 flood zones.

Land clearing, excavation and fill, tree protection, landscaping and irrigation plan (City Code Section 108-243)

- (a) *Land clearing, excavation and fill.* The land for the proposed new units is currently vacant.
- (b) *Tree protection.* The City's Urban Forestry Manager and the Tree Commission are reviewing the proposed tree removal and landscape plans. Conceptual approval was granted on October 13, 2015.
- (c) *Landscaping plan.* The submitted plan indicates landscaping throughout the site. The tree commission has given conceptual landscape plan approval at their October 13, 2015 Tree Commission meeting. However, full compliance with all landscape buffer requirements of the LDRs is not proposed. Modifications and waivers are requested as part of this application to reduce the required landscaping. No environmentally sensitive areas exist.
- (d) *Irrigation plan.* None provided, but an irrigation plan is a recommended condition.

On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (City Code Section 108-244)

Currently the majority of off street parking spaces on the site are utilized by driveways with carports for the individual existing dwelling units. The LDRs call for one space per dwelling unit which would bring the parking requirement to 48 additional spaces, the proposed development will provide 66 off street parking spaces. Although single family use does not require bicycle parking per the LDRs, the applicant is providing a total of 30 bicycle parking spaces spread throughout the proposed development.

Vehicular and bicycle circulation would be provided by an internal sidewalk connection as well as a new road connecting the Palm Avenue entrance with the White street entrance through the proposed development. Pedestrian and bicycle circulation would be improved by the proposed new sidewalk.

Housing (City Code Section 108-245)

There are currently 157 existing non-transient residential units on the property. Three units were destroyed by fire and have the rights to be rebuilt for a total of 160 units potentially on site. 48 of these existing residential units have affordable housing deed restrictions. When the new 48 residential units are constructed the deed restrictions will come off of the existing units and be transferred to the new units to maintain the 30% affordable agreed to in Ordinance 12-33. The total units on site post development will be 205 units with the buildback rights of three additional units destroyed by fire. The total amount of units permitted to be built on site would be 208 units as allowed by the HSMDR density of 8.6 units per acre.

Economic resources (City Code Section 108-246)

An analysis of estimated average ad valorem tax yield from the proposed project was submitted by the applicant and can be found in the applicant's narrative attached. The estimated cost of construction is \$4,000,000.

Special considerations (City Code Section 108-247)

- (a) The relationship of the proposed development to the City's land use plans, objectives and policies is being evaluated as part of this analysis. The relationship of the proposed development to public facilities was evaluated above and no conflicts were identified.
- (b) The project located within the historic district and the AE-6 and AE-7 flood zones.
- (c) No unincorporated portions of the county would be impacted by the proposed development.
- (d) The project does not front a shoreline, so shoreline access would not be impeded.
- (e) No special facilities are proposed to accommodate bus ridership, although the property is served by several bus routes running along Palm Avenue and White Streets.
- (f) Cisterns for the new units will reduce water demands and energy by providing for onsite irrigation as well as other uses.
- (g) The property is located within the AE-6 and AE-7 flood zones and would not have any usable area below the bottom floor. The elevation plans indicate the first floor at +1.5' above base flood elevation.
- (h) Currently the site maintains open space as well as some small recreation areas.
- (i) Coordination with applicable agencies is being facilitated through the DRC.
- (j) No wetlands or submerged land would be impacted.

Construction management plan and inspection schedule (City Code Section 108-248)

The project would be completed in one phase. The applicant intends to initiate construction after all other level of city approvals are in place. Temporary construction fencing and erosion barrier shall be installed and maintained during all phases of demolition and construction. All City streets and sidewalks shall be kept clean and safe during all phases of demolition and construction.

Truman Waterfront Port facilities (City Code Section 108-249)

Not applicable.

Site plan (City Code Chapter 108, Article III)

The City shall not approve a site plan unless a finding is made that such site plan conforms to all applicable sections of the LDRs, pursuant to City Code Section 108-276, as analyzed below.

Site location and character of use (City Code Section 108-277)

The HSMDR zoning designation for this parcel was crafted to ensure this type of affordable development with existing open space, impervious surface and building coverage able to accommodate the proposed development.

Appearance of site and structures (City Code Section 108-278)

The proposed buildings are required to be approved by HARC and in keeping with their standards and guidelines.

Location and screening of mechanical equipment, utility hardware and waste storage areas (City Code Section 108-279)

Mechanical equipment utility hardware and waste storage areas screening and location will be provided be depicted sheet C-2 of the plans.

Front-end loaded refuse container location requirements (City Code Section 108-280)

The City will coordinate the location and type of refuse containers through the DRC and with Waste Management to ensure adequate service access.

Roll-off compactor container location requirements (City Code Section 108-281)

None proposed.

Utility lines (City Code Section 108-282)

The applicant has coordinated closely with KEYS Energy and a plan of the proposed utility lines and upgrades have been submitted. At time of building permit review KEYS Energy will do a full project review.

Commercial and manufacturing activities conducted in enclosed buildings (City Code Section 108-283)

No commercial activities are proposed.

Exterior lighting (City Code Section 108-284)

No exterior lighting information was provided. Staff recommends an outdoor lighting plan be submitted prior to the City Commission hearing.

Signs (City Code Section 108-285)

Any new signage would have to obtain HARC approval and building permits.

Pedestrian sidewalks (City Code Section 108-286)

The plans indicate a new sidewalk and pedestrian circulation throughout the proposed development. The new sidewalks will connect to existing pedestrian access throughout the site.

Loading docks (City Code Section 108-287)

No loading docks are proposed and no loading/unloading area is indicated.

Storage areas (City Code Section 108-288)

No exterior storage areas are proposed.

Land clearing, excavation or fill (City Code Section 108-289)

No work would impact a floodplain or a conservation area. A proposed stormwater management would address drainage and runoff from the site. Vegetation removal is being reviewed by the Urban Forestry Manager and the Tree Commission. Temporary fencing and silt barriers shall be in place during demolition and construction to prevent soil and debris from running into City streets and sidewalks.

Landscaping (Code Chapter 108, Article VI)

A landscape plan is required as part of development plan review, pursuant to City Code Section 108-411. The submitted plan indicates landscaping incorporated along the perimeters of the property, as well as within the proposed development area. Many improvements to current landscaping including the removal of invasive exotic species from the entire property are

proposed. Nonetheless, full compliance with all landscape buffer requirements of the LDRs is not proposed. The Applicant is requesting modifications and waivers, pursuant to City Code Section 108-517, as outlined in the table on the following page.

Landscaping Modification / Waiver Summary				
Landscaping Type	Minimum Required	Existing	Proposed	Change/Waiver
Street frontage (Sec. 108-413) White Street, Angela Street and Eisenhower Drive	40 foot right-of-way buffer	Wall and existing screening	Wall and existing screening to remain	Waiver requested
Street frontage (Sec. 108-413) Palm Avenue	40 foot right-of-way buffer	Wall and existing hedge	Wall and existing hedge increased. Varies as shown on sheet L-1	Modification requested

Pursuant to City Code Section 108-517(b), the Planning Board may approve or grant the waiver or modification only if it determines that the waivers or modifications are not contrary to the intent of City Code Chapter 108, Article VI, Division 4, Subdivision II and that a literal enforcement of the standards of this subdivision would be impracticable and would not violate the following criteria:

- (1) *Public interest; adjacent property.* The waiver or modification would not have a significant adverse impact on the public interest, or on adjacent property.
- (2) *Not discriminatory.* The waiver or modification is not discriminatory, considering similar situations in the general area.
- (3) *Superior alternatives.* The development will provide an alternative landscape solution which will achieve the purposes of the requirement through clearly superior design.
- (4) *Protection of significant features.* The waiver or modification is necessary to preserve or enhance significant existing environmental or cultural features, such as trees, scenic areas, historic sites or public facilities, related to the development site.
- (5) *Deprivation of reasonable use.* Strict application of the requirement would effectively deprive the owner of reasonable use of the land due to its unusual size, shape, topography, natural conditions, or location, provided that:
 - a. Such effect upon the owner is not outweighed by a valid public purpose in imposing the requirement in this case; and
 - b. The unusual conditions involved are not the result of actions of the developer or property owner which occurred after the effective date of the ordinance from which this section derives.
- (6) *Technical impracticality.* Strict application of the requirement would be technically impractical.

Given the challenges and trade-offs of fully complying with all of the various landscaping requirements of the LDRs, staff recommends approval of the requested landscape modifications and waivers.

Off-street parking and loading (Code Chapter 108, Article VII)

The code requires one space per single family dwelling unit, this would create an off-street parking requirements of 48 spaces. The applicant is currently proposing 66 off street spaces as well as 30 bicycle parking spaces.

Being a residential development no deliveries are anticipated.

Stormwater and surface water management (Code Chapter 108, Article VIII)

A stormwater management plan was submitted indicating that surface water management is designed for the 25-year/72-hour storm event, as required. Stormwater would be retained on-site through an exfiltration trench and maintain existing vegetated swales. The utilities department has requested the applicant obtain a SFWMD permit prior to receiving building department permits.

Utilities (Code Chapter 108, Article IX)

Access to potable water, access to wastewater disposal systems and conservation of potable water supply were analyzed in the above concurrency management determination and were found in compliance.

Art in Public Places (City Code Section 2-487)

The proposed development, being a Major Development Plan, qualifies for the City's Art in Public Places (AIPP) program, pursuant to City Code Section 2-487. The AIPP program requires 1% of construction costs to be set-aside for the acquisition, commission and installation of artwork on the subject property. The program applies to new construction projects exceeding \$500,000 and renovation projects exceeding \$100,000. The estimated construction cost submitted by the applicant is \$4,000,000. A full public art plan would be required to be approved by the AIPP Board prior to building permit issuance.

RECOMMENDATION

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends to the Planning Board that the request for Major Development Plan and Landscape Modifications / Waivers be **APPROVED** with the following conditions:

General conditions:

1. The proposed development shall be consistent with the plans dated September 14, 2015 by Allen E. Perez, P.E., and the landscape plans dated October 9, 2015 by Ladd Roberts, Landscape Architect; notwithstanding any revisions requested and recommended by staff.

2. During all phases of construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.

Conditions prior to the City Commission hearing:

3. The applicant shall obtain final landscape plan approval from the Tree Commission.
4. The applicant shall submit an outdoor lighting plan pursuant to City Code Section 108-284.

Conditions prior to issuance of a building permit:

5. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee.
6. Per the recommendation of the City's Traffic Consultant and the City's Engineering Department, the property owner shall pay the sum of \$3,000 to extend the striping for the turning lane at the White and Eaton intersection due to it being recognized as an underperforming intersection.
7. The applicant shall obtain a SFWMD permit as requested by the Utilities Department.

Draft Resolution

**PLANNING BOARD
RESOLUTION NO. 2015-**

**A RESOLUTION OF THE KEY WEST PLANNING BOARD
GRANTING MAJOR DEVELOPMENT PLAN AND
LANDSCAPE MODIFICATION / WAIVER APPROVALS
PURSUANT TO SECTIONS 108-91.A.2.(A) AND 108-517 OF
THE LAND DEVELOPMENT REGULATIONS OF THE CODE
OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA
FOR THE CONSTRUCTION OF 48 NEW AFFORDABLE
RESIDENTIAL UNITS ON PROPERTY LOCATED AT 541
WHITE STREET (RE # 00000470-000000; AK # 1000469)
WITHIN THE HISTORIC SPECIAL MEDIUM DENSITY
RESIDENTIAL (HSMDR) ZONING DISTRICT; PROVIDING
FOR AN EFFECTIVE DATE**

WHEREAS, Section 108-91 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that within the Historic District, a Major Development Plan is required for the addition of permanent residential development addition or reconstruction of five or more units; and

WHEREAS, modifications and waivers to reduce the City’s landscaping requirements are requested pursuant to City Code Section 108-517; and

WHEREAS, Code Sections 108-196(a) the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

WHEREAS, Code Section 108-517(a) requires the Planning Board to consider the landscape modification / waiver request and render the final action; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on

_____Chairman

_____ Planning Director

October 15, 2015; and

WHEREAS, the granting of a Major Development Plan and Landscape Modification / Waiver application is consistent with the criteria of the Code of Ordinances; and

WHEREAS, the Planning Board finds that the granting of a Major Development Plan and Landscape Modification / Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. The Major Development Plan and Landscape Modification / Waiver for the construction of 48 new affordable residential units on property located at 541 white street (RE # 00000470-000000; AK # 1000469) within the Historic Special Medium Density Residential (HSMDR) zoning district pursuant to Sections 108-91.A.2.(a) and 108-517 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached plans, is hereby approved with the following conditions:

General conditions:

1. The proposed development shall be consistent with the plans dated September 14, 2015 by Allen E. Perez, P.E., and the landscape plans dated October 9, 2015 by Ladd Roberts, Landscape Architect; notwithstanding any revisions requested and recommended by

_____Chairman

_____ Planning Director

staff.

2. During all phases of demolition and construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.

Conditions prior to the City Commission hearing:

3. The applicant shall obtain final landscape plan approval from the Tree Commission.

4. The applicant shall obtain an outdoor lighting plan pursuant to City Code Section 108-284.

Conditions prior to issuance of a building permit:

5. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee

6. Per the recommendation of the City's Traffic Consultant and the City's Engineering Department, the property owner shall pay the sum of \$3,000 to extend the striping for the turning lane at the White and Eaton intersection due to it being recognized as an underperforming intersection.

7. The applicant shall obtain a SFWMD permit as requested by the Utilities Department.

Section 3. Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This Major Development Plan and Landscape Modification / Waiver application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this ____ day of _____, 2015.

Authenticated by the Chairman of the Planning Board and the Planning Director.

Richard Klitenick, Planning Board Chairman

Date

_____ Chairman

_____ Planning Director

Attest:

Thaddeus Cohen, Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____Chairman

_____ Planning Director

Application

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
 City of Key West Planning Department
 3140 Flagler Avenue, Key West, FL 33040
 (305) 809-3720



Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan
 Major
 Minor

Conditional Use

Historic District
 Yes
 No

Please print or type:

- 1) Site Address 541 White Street
- 2) Name of Applicant Donna M. Bosold
- 3) Applicant is: Owner Authorized Representative
 (attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant P.O. Box 1553
Key West FL 33041-1553
- 5) Applicant's Phone # 305-942-1064 Email donna.bosold@aatt.net
- 6) Email Address: _____
- 7) Name of Owner, if different than above Peary Court Holdings, LP
- 8) Address of Owner 2828 Coral Way ste 303 Coral Gables, FL 33145
- 9) Owner Phone # 863-607-9496 Email catwell@tampabay.rr.com
- 10) Zoning District of Parcel HSM DR RE# 00006730-000200
- 11) Is Subject Property located within the Historic District? Yes No
 If Yes: Date of approval _____ HARC approval # _____
 OR: Date of meeting _____
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Amended Major Development application
for the addition of 48 units of
affordable housing.
Please see attached documentation

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



13) Has subject Property received any variance(s)? Yes _____ No X

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes _____ No X (other than utility easements)

If Yes, describe and attach relevant documents.

-
- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans MUST be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

Peary Court Affordable Housing Plan (“Southard Park”)

Overview

The historic military site known as Peary Court (“the Property”) was first used by the United States Army as barracks and a Parade Ground commencing in the 1830’s, and later utilized for United States Navy housing during the period from World War II to the 1970s. In the early 1990s, that historic housing area was redeveloped by the U.S. Navy with the construction of 160 dwelling units, 3 of which were subsequently destroyed by fire, leaving 157 housing units currently occupied. Until its recent demolition, a 10,000 sq. ft. bank building with drive-thru (formerly occupied by Keys Federal Credit Union) also was located on the property. The site of the bank building, together with other currently vacant land within the Property, is now proposed for development of 48 affordable housing units to be known as Southard Park.

This affordable housing development is governed by the Key West Comprehensive Plan and corresponding LDRs, which created the Historic Special Medium Density Residential (HSMDR) district and designated Peary Court for inclusion in that district). Pursuant to recommendation of the State Land Planning Agency (DEO), the City Commission adopted Ordinance 12-33, specifically authorizing 48 new affordable work force housing units to be constructed within Peary Court. This Application is filed for the sole purpose of effectuating that directive.

Applicant proposes to add 48 new workforce housing units, for a total of 208 dwelling units on the Property. This new residential project within the Property is identified on the attached site plan as “Southard Park”. General site information pertaining to the entire Property (including density, setbacks, building coverage, impervious area, open space ratio, floor area ratio, and flood zone boundaries) is set forth on the Site Plan (Sheets C-1 and C-2, attached). The locations and numbers of automobile parking spaces and bicycle racks that will

serve Southard Park are also depicted on the Site Plan. The stormwater drainage plan and utility plan for Southard Park are attached as, respectively, Sheets C-3 and C-4.

Adjacent land uses include the Trumbo military housing compound to the North, commercial uses to the East, and residential neighborhoods to the South and West. The 48 newly constructed units will not exceed 30 feet in height, measured from crown of road (+6.09 feet NGVD). When completed, the new affordable housing units will be integrated into the existing Peary Court residential community and will be compatible with nearby predominantly residential areas in the historic district. Traffic circulation will be enhanced by internally linking the two unconnected entrances to Peary Court, which as presently configured do not accommodate the flow of vehicular traffic between the Palm Avenue and Southard Street entrances to Peary Court. Residents of the new affordable housing units will have easy bicycle access to Old town via the bike lane loop between the downtown commercial core and White Street. Two convenient bus stops, including a major bus stop/bus shelter adjacent to the Palm Avenue/N. Roosevelt Blvd. bicycle route between New Town and Old Town, provide ready access to public transportation for residents of these 48 new units of affordable housing. The site is serviced by existing pedestrian walkways along Palm Avenue, White Street, and Eisenhower Drive, and additional internal pedestrian circulation is depicted on the Site Plan.

Occupancy of the 48 new units will be restricted to residents whose family income does not exceed the maximum income limits stated in the City's promulgated Work Force Housing Income, Sale and Rent Limits. The new 48 units of workforce housing to be constructed on the Property will comply with, and will serve clients who meet, the eligibility requirements for affordable housing set forth in Section 122-1469, City of Key West Code. Continuing compliance with those eligibility requirements will be determined by the Housing Authority of City of Key West. The Florida Department of Economic Opportunity specifically designated Peary Court as the recipient of 48 affordable BPAS units

for the City of Key West, and the City has allocated those BPAS units to the Property.

The Applicant

The Owner of the Property is Peary Court Holdings, LP (“Owner”), a Delaware limited partnership registered with the Florida Secretary of State to do business in Florida. Peary Court Advisors, LLC, the general partner of Owner, is a Delaware limited liability company whose Manager is Wexford Capital LP. Peary Court Manager LLC, a Florida limited liability company, is a partner in Peary Court Holdings, LP, and is owned by its members, White St Partners, LLC, a Florida limited liability company whose members are IVG1 LLC , a Florida limited liability company (Everett M. Atwell, Jr. and James Landers, Managers) and Integra Real Estate, LLC , a Florida limited liability company (Paulo de Melo and Nelson Stabile, Managers). Critical Concern Consultants (James T. Hendrick and Donna Bosold) is Applicant’s authorized agent in connection with this development application.

Site suitability/Solutions

Peary Court is located in close proximity to the City’s urban core, which renders it a suitable site for the medium density Southard Park housing proposed by Applicant. Access to the site is currently provided by two signalized intersections, convenient public transportation, pedestrian walkways, the main bicycle route between Old Town and New Town, and the above-referenced bicycle lane loop. Peary Court is located within walking/biking distance of a K-8 school with playing fields, a government service center at the Harvey Government Center, and convenience stores. Other nearby services include gas stations, art galleries, performance space, small professional offices, restaurants, two bakeries, retail, and hardware stores. Conveniently located recreational facilities include the Bayview Park tennis courts and ball fields. Emergency services are provided by the fire and police stations located at the Eisenhower

Drive/Truman Ave. intersection. A fraternal club and marina are located adjacent to the site. Passive open green space is designated on the site plan. The recreational facilities provided onsite for residents' use are as depicted on the site plan. The City's franchisee, Waste Management, will continue to provide garbage pick-up; enclosed corrals for trash and recycling receptacles or dumpster pick-up will be provided. Perimeter landscaping buffers will be retained and enhanced to comply with current Code requirements. Because literal application of the right-of-way buffer requirements set forth in *City Code* §108-413 ("Requirements along street frontages") is inapposite to the limited scope of the proposed Southard Park project and would be impracticable, this Major Development application is accompanied by a request for waiver/modification of those requirements. The proposed Southard Park development has been sited on the Property so as not to encroach on the historic military cemetery adjacent to Peary Court.

Housing quality will be enhanced by the proposed redevelopment, which will provide 48 units of new workforce housing. Pursuant to the provisions of the Development Agreement being processed simultaneously with Major Development review, Owner will continue to provide 48 units of existing housing, now occupied by tenants who pay affordable rents, as interim affordable housing pending their replacement by the 48 new units of deed-restricted affordable housing in Southard Park.

Sustainability

Pursuant to *City Code* Section 108-995, the 48 housing units in Southard Park shall meet the prerequisite standards for obtaining BPAS awards, i.e.:

- (a) All new units will be constructed in compliance with and obtain a baseline green building certification. Compliance with this standard is addressed in Paragraph 8 I of the Development Agreement.
- (b) Each of the new residential buildings will be constructed so as to have the first habitable floor no less than 1.5 feet above the required base flood elevation.

Compliance with this standard is addressed in Paragraphs 8 j and 11 of the Development Agreement. Finished floor elevations of each building are indicated on the Site Plan.

(c) Each of the new residential buildings will be constructed with a rainwater catchment system that will hold a minimum of 1,000 gallons of water or an amount equivalent to 100% of the new roof area in gallons, whichever is greater. The building plans submitted at time of building permit application will include this construction detail.

Art in Public Places (“AIPP”)

Pursuant to City Code Section 2-487, the Southard Park project is subject to the City’s 1% set-aside for public art. As noted below, construction costs (labor and material) are estimated to be approximately \$4 million. Owner intends to contract with a professional artist or artists to create on-site artwork, rather than paying an in-lieu fee. Before contracting with the artist and prior to issuance of a building permit for the project, Owner will submit for review and approval by the AIPP board a public art plan as set forth in City Code section 2-487, and following approval of the public art plan, will contract with the artist(s).

Economic resources

(a) An analysis of the estimated average ad valorem tax yield from the proposed project is set forth below, together with statements of assumptions and standards utilized (including assessed value, exemption and millage rate).

Ad valorem tax yield on buildout: Estimated annual ad valorem tax yield from the Property upon buildout is estimated at \$345,000, including est. \$42,000 in additional tax revenue attributable to the 48 new affordable housing units, based on the following assumptions and standards:

Assessed valuation on buildout: The market value of the Property, as determined by the Monroe County Property Appraiser, is currently \$29,250,000, which at current millage rate generates over \$300,000 in ad valorem tax revenues. Construction of 48 additional units, all rent-restricted, will increase the total value of the buildings on the Property but not land value. Affordable housing rent restrictions limit the market value of these new units as rental housing. Therefore, assume assessed value of these new units not exceeding the estimated \$4,000,000 cost of construction.

Exemption. Assume that the units will be rented and therefore not eligible for homestead exemption.

Millage rate. Assume total millage of 10.4 mills, including City of Key West millage of 3 mills.

Phasing. Assume one phase consisting of 48 new affordable housing units.

(b) Applicant has estimated its average construction expenditure by type (labor, materials) and the percentage of this expenditure that will occur within the City, based on currently prevailing costs of labor and materials, and assuming (1) use of cost-effective construction methodologies, and (2) non-occurrence of natural disasters, emergencies, or other acts of God causing an unanticipated adverse effect on labor availability, construction progress, cost/availability of materials, and the like. Applicant estimates total expenditures for labor and materials at \$4,000,000. The percentage of these expenditures to be incurred by category and location will vary depending on the method of construction selected, which has not yet been determined.

Project Phasing and Construction Management

This is not a phased construction project, because it is anticipated that

construction of all 48 new units will occur simultaneously. Construction management will conform to the provisions of the Development Agreement. Additionally, issuance of a building permit for construction of the new dwellings will be preceded by (1) submission to and approval by HARC of an application submitted in compliance with Sec. 122-615 of the Code; (2) submission to the City Planning Dept. of coordination letters from each of the public utilities providing service to the site, confirming that satisfactory arrangements have been made for the provision of utility service to the 48 new dwelling units; (3) City Tree Commission approval of removal, relocation or other disposition of any trees to be displaced by construction activities; (4) issuance of requisite permits for construction of infrastructure improvements, including the road improvement noted on the site plan as well as utility lines adequate to serve the new units; and (5) modification of the existing SFWMD stormwater management permit. To the extent that any outdoor lighting additional to the existing lighting may be required, lighting specifications will be submitted together with the building permit application, in sufficient detail to ensure compliance with City Code Sections 108-284, 108-610 and 108-643. Additionally, if construction occurs on land that is designated on a FWS Species Focus Area as the potential habitat of a listed species such as *strombus gigas*, Applicant shall comply with the provisions of Code Sec. Sec. 110-467 pertaining to habitat protection.

Applicant acknowledges that a new building permit must be obtained whenever:

1. Construction is not commenced within 90 days from the time the permit was released,

2. Construction activity is dormant for a period of six months or more, or
3. The developer fails to call for and achieve approved inspections within planned 120-day intervals as shall be evidenced in the construction schedule.

Applicant further acknowledges: (a) that it shall bear the burden of demonstrating that the construction activity is consistent with this development plan and has occurred in a timely manner consistent with the approved construction management plan and inspection schedule.; and (b) that, upon failure to meet the inspection schedule, the building permit shall expire unless extended pursuant to law or ordinance. A new building permit shall be required in order to undertake construction activity on a site where a building permit has expired.

Intergovernmental coordination/concurrency.

Extensive intergovernmental coordination efforts were undertaken in connection with review and adoption of the HSMDR Comprehensive Plan Amendment. Based on those efforts, the City of Key West determined that Peary Court is served by adequate public facilities. Letters of coordination with public utilities, provided in connection with review of the HSMDR Plan Amendment, are incorporated by reference herein. Staff analysis¹ upon which that approval was based states that the Data and Analysis Report prepared in connection with that Amendment “serves as the concurrency determination for existing development”, but that a concurrency analysis must be performed for future development that creates more intense development impacts than those associated with existing site conditions.

¹ “At the January 26, 2012 and February 23, 2012 Development Review Committee (DRC) meetings, the consideration of a Future Land Use Element and Future Land Use Map amendment for the subject property was considered. Based on information provided at both meetings, it has been determined that adequate public facilities are available to provide the development”. p. 7, “Data and Analysis; Peary Court Future Land Use Amendment April 19, 2012”

Applicant has coordinated its planning efforts with utility providers, and in response to comments received from Keys Energy System relocated one of the proposed buildings (as now depicted on attached site plan) to resolve a concern regarding proximity to an underground electric cable². The existing Peary Court development is served by the City's wastewater collection and treatment facilities, which have adequate capacity for the proposed additional 48 residential units. Solid waste collection and disposal service is provided to the existing development by the City's solid waste franchisee, which has adequate capacity to collect and dispose of the solid waste anticipated to be produced by the additional 48 residential units. The developer has utilized standard impact assessment methodology as provided by Code and based on an average occupancy rate of 2.2 residents per unit in calculating wastewater and solid waste utility demands associated with the proposed additional 48 units,

Development of the 48 new units will require that the following utility demands be met:

Potable Water: 48 units @ 204.6 gals per day per unit = 9,821 gpd.

Wastewater: 48 units @ 198 gals per day per unit = 9,504 gpd.

Solid Waste: 48 units @ 5.85lbs per day per unit = 280.9 lbs per day.
The sufficiency of existing solid waste facilities is documented in the above-referenced data and analysis report (fn 2).

Stormwater: Stormwater will be retained on-site by use of facilities constructed as required by SFWMD permit. A detailed stormwater management plan, including landscape enhancement and revegetation, will be submitted for SFWMD approval prior to the issuance of a building permit for these units.

² Additionally, KES will be replacing some existing transformers with larger transformers to accommodate service to the new residential units. See attached electric distribution layout, "KES distribution grid".

Transportation: No adverse traffic impacts are anticipated. The project is directly served by two bus stops; one located on Palm Avenue, across from the signalized entrance, and one located on the corner of White and Southard Streets, also directly across from the signalized entrance. Bicycle and scooter parking will be provided in addition to automobile parking, as depicted on the Site Plan.

Recreation facilities: The adequacy of existing recreational facilities to serve the development is documented in the above-referenced data and analysis. Reference is had to the service area maps published as part of the City's EAR, approved by the City Commission at first reading Oct. 2, 2012, incorporated by reference herein.

Site Compatibility

The designation of HSMDR was based on to the historical use of the Property as military residential, and its proximity to Old Town Key West Historic District. Existing buildings are non-contributing, construction having commenced in 1992. Adjacent to the property is a decommissioned military cemetery. The new units will be constructed at a distance from the cemetery that greatly exceeds the applicable setback, thereby minimizing the possibility of discovery of remains during construction activities. Confirmation that no archeological findings are anticipated was confirmed by State Archaeologist Len Winter based on an examination of prior studies.

Sec. 122-611 recitations:

The proposed development complies with Chapter 122, Article IV, Division 6 of the Land Development Regulations as follows:

(a) The proposed development is intended to accommodate residential development for permanent residents, and specifically affordable housing.

(b) The development does not encompass any transient residential lodging uses including guest homes, motels or hotels, time-shares, transient apartment, vacation rental, or gated transient community.

(c) No freestanding commercial offices, retail or other commercial or industrial uses are being proposed. The 10,000 square foot commercial space rendered non-conforming with the adoption of the Land Development Regulations for HSMDR has been demolished.

(d) An application for review for mass, scale, proportion and screening by the Historic Preservation Planner is being submitted concurrently with the applications for Development Agreement and Major Development Plan approval. A previously-filed application, contemplating Property-wide redevelopment, was withdrawn prior to approval or denial by HARC.

(e) Applications for Development Agreement and Major Development Plan are being submitted concurrently for review by City Staff.

No conditional uses are contemplated by this application. No prohibited uses are contemplated by this application.

Landscape Waiver/Modification Request

**Application for Waiver/Modification of Right of Way Buffer Requirement,
Peary Court Affordable Housing Project**

Applicant, PEARY COURT HOLDINGS, L.P., seeks waiver or modification of the right-of-way buffering requirement of *Code* §108-413 (“Requirements along street frontages”). This application is filed pursuant to *Code* § 108-517, which provides that waivers or modifications may be granted where they are not contrary to the intent of the landscaping code, literal enforcement of the landscaping code would be impracticable, and the requested waiver or modification would not violate the criteria specified in *Code* § 108-517 (b) (1-6).

Applicant has filed an application for Major Development Plan approval pursuant to Ch. 108 of the LDRs. In connection with the proposed Major Development Plan, waiver of the 40’ right-of-way buffer and corresponding landscape density requirements is sought for the White St., Angela St. and Eisenhower Drive perimeters in order to utilize existing screening features that provide adequate buffering, and to enable the development to retain existing housing that would otherwise encroach into the 40’ buffer contemplated in *Code* §108-413. Modification of the 40’ buffer and corresponding landscape density requirements is sought with respect to the Palm Avenue perimeter because existing screening features are adequate to achieve the only applicable purpose of the street-frontage landscaping requirement.

1. The requested waiver and modification are not contrary to the intent of the landscaping code.

A. Waiver: Angela St., Eisenhower Dr. and White St. perimeters.

The portion of Peary Court that is designated as the site of the “Southard Park” affordable housing development is remote from the Eisenhower Drive and Angela St. rights-of-way, and is screened from view of properties on the opposite side of the White St. right-of-way by an existing residential housing development that features a continuous perimeter fence, internal roads, buildings, landscaping and mature trees. Because Peary Court’s existing hardscape, landscaping and mature trees provide much more than a 40’ buffer between the proposed Southard Park housing site and properties on White St., Angela St. and Eisenhower Dr., there is no rational nexus linking the Southard Park development to creation of a 40’ landscaped buffer along those three rights-of-way.

The stated intent and applicability of the buffering requirement is to provide “screening and beautification of all *storage, parking, display or sales areas*” (LDR §108-381, “Purpose, intent and applicability”). Because no storage, display or sales areas are proposed for the Southard Park affordable housing development, the only proposed use that could fall within the intended scope of the 40’ right-of-way buffer is parking within designated common parking areas. The parking areas designated for these affordable housing units are located several hundred feet from Angela St. and Eisenhower Drive, and will be entirely screened visually from adjacent properties on those streets by buildings within Peary Court. Parking areas that are screened from neighbors’ view by buildings are excluded

from the landscaping requirement¹. Likewise, the parking spaces serving the new homes to be built nearest White St. will be screened by existing Peary Court buildings located opposite adjacent homes on the W'ly side of White St. (the closest being over 200' distant from those parking spaces), as well as the Peary Court perimeter fence, landscaping, and mature trees. There is no need to create a 40' buffer where a larger buffer already exists.

B. Modification: Palm Avenue perimeter.

The only abutting or adjacent land use along the Palm Avenue right-of-way opposite Peary Court consists of military housing that will be separated from the new affordable housing units by a busy traffic artery, a sidewalk and landscaped fence on each side of the roadway, towering electric transmission poles and lines, and a swale (collectively, the "existing Palm Ave. buffer"). Moreover, as noted above, the sole purpose of the street buffering requirement that applies to the proposed development is screening parking areas from neighbors' view. On the Palm Ave. perimeter, those parking areas consist of parallel parking spaces along the side of an existing internal street. Any possible view of those parking spaces from the Trumbo housing complex across Palm Ave. would be through the Navy's landscaped fence, across two lanes of traffic and two sidewalks, through KES' massive transmission lines and poles, then through Peary Court's landscaped fence and across the Peary Court drainage swale. Even if the parking spaces could be seen through that maze, they would appear only as a

¹ "A landscape strip is required along the entire perimeter of all storage, parking, display, sales or accessory vehicular use areas except along the portion of the perimeter which is entirely screened visually from adjacent property by buildings on the property being improved." Sec. 108-450, *Code*.

minor detail of a kinetic urban street vista. Accordingly, modification or waiver of the 40' buffer along Palm Ave. should cause no "negative impact on existing or proposed abutting designated land uses."

When a development plan is submitted for review pursuant to Ch. 108 of the LDRs, the *Code* specifically provides a non-variance mechanism for "Reducing landscape and/or bufferyard requirements", "upon review of the development plan." The bufferyard provisions that Applicant seeks to reduce along the Palm Avenue street frontage are "Width of required landscaping" and the corresponding landscape density requirement. Applicant seeks to modify the Palm Ave. right-of-way buffer requirement to allow utilization of the existing Palm Ave. buffer. Authorization for reducing the bufferyard along Palm Avenue is provided by *Code* §108-352, which lists the following as "sound reasons for reducing the general requirements for bufferyard and/or landscape requirements": "(1) Credit may be given for existing native vegetation located within the bufferyard. (2) Credit may be given for existing landscape screens, walls or fences installed by abutting development." As noted above, the existing fence and tall hedge along the Palm Avenue right-of-way are of sufficient size to be entitled to such credit. Because the landscaping code expressly authorizes and provides a mechanism for reducing bufferyard and landscape requirements under the above-referenced circumstances, the requested modification is not contrary to the intent of the landscaping code.

2. Literal enforcement of the landscaping code would be impracticable.

It would be impracticable to apply the 40' bufferyard requirement to Peary Court, for two reasons. First, the landscape buffering strip is intended to be located inside the property "*within the building setback* as established by the land development regulations." Code §108-413 (a). The LDRs for HSMDR district established setbacks ranging from 5 feet (side yard setback) to 15 feet (rear yard). Code §122-615. Obviously, a 40' buffer could not be accommodated in a 5' or 15' setback. More importantly, many existing buildings along the Peary Court perimeter are located closer than 40' from the street, and would therefore have to be demolished to create a dense 40' buffer.

3. The requested waiver or modification would not violate the criteria specified in Code § 108-517 (b) (1-6).

(1) *Public interest; adjacent property.* For the reasons set forth above, the requested waiver or modification is consistent with the public interest because adjacent properties are well screened from the proposed development by existing buildings, vegetation and fencing.

(2) *Not discriminatory.* The waiver or modification is not discriminatory. Peary Court's existing hardscape and landscaping features will buffer the view of the new affordable housing units from abutting and adjacent properties to an extent that exceeds buffering requirements applicable to parcels in the contiguous area.

(3) *Superior alternatives.* Development of Southard Park as proposed on the development plan provides an alternative landscape solution that utilizes a combination of new and existing vegetation, fencing, and existing hardscape screening that achieves the purposes of the buffering requirement through superior design.

(4) *Protection of significant features.* The site of the proposed Southard Park development was carefully chosen to preserve significant existing environmental features, including exceptional trees, and to avoid adverse visual impacts on the historic architectural aesthetics of White and Angela Streets or the existing urban fabric. There will be no impact on the historic Navy cemetery. Most of the new units will be built on scarified land formerly occupied by commercial (bank) buildings and paved parking; the other units will be built on vacant land.

(5) *Deprivation of reasonable use.* Strict application of the buffering requirement would effectively deprive the owner of reasonable use of the land due to its unusual size, shape, and location. Due to the unique size and shape of the Peary Court parcel, and particularly the fact that it abuts four public streets, imposing a 40' buffer on all street perimeters of the property would be unduly burdensome and would interfere with continued residential use of long-established homesites. That harmful effect on the owner's property rights is not outweighed by a valid public purpose because, as demonstrated above, the intent of the landscaping code is met by other screening features that equal or exceed the buffering effect of a 40' perimeter buffer. The unusual conditions

involved are not the result of actions occurring after the effective date of the landscape ordinance, but are inherent in the historic configuration of Peary Court itself.

(6) *Technical impracticality.* As demonstrated in paragraph 2, above, strict application of the 40' buffering requirement would be technically impractical.

Verification

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, JAMES T. HENDRICK, in my capacity as Principal
(print name) (print position; president, managing member)

of CRITICAL CONCERN CONSULTANTS (James Hendrick & Donna Rosold)
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

541 White St. (commonly known as Peary Court)
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this May 29, 2015 by
date

JAMES T. HENDRICK
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Mary Henkel
Notary's Signature and Seal



Name of Notary known, typed, printed or stamped

Commission Number, if any

Authorization

**City of Key West
Planning Department**



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Arthur Amron, as Vice Pres. and Ass't Secretary of Peary Court Advisors LLC, the as
Please Print Name of person with authority to execute documents on behalf of entity

General Partner of Peary Court Holdings LP
Name of office (President, Managing Member) Name of owner from deed

authorize Critical Concern Consultants (James Hendrick, Donna Bosold)
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

A handwritten signature in blue ink, appearing to read "Arthur Amron".

Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 27th day of July 2015
Date

by Arthur Amron
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

A handwritten signature in black ink, appearing to read "Jacquelyn M. Werner".

Notary's Signature and Seal

JACQUELYN M. WERNER
Notary Public, State of Connecticut
My Commission Expires June 30, 2020

Name of Acknowledger typed, printed or stamped

Commission Number, if any

PEARY COURT HOLDINGS LP

The undersigned, Peary Court Advisors LLC, in its capacity as the general partner (the "*General Partner*") of Peary Court Holdings LP (the "*Partnership*"), a Delaware limited partnership, does hereby adopt the following preambles and resolutions, all in accordance with the Delaware Revised Uniform Limited Partnership Act:

WHEREAS, pursuant to Section 4.3(a) the General Partner may delegate authority and duties to particular individuals as it deems appropriate; and

WHEREAS, the General Partner believes it would be in the best interest of the Partnership to appoint James Hendrick and Donna Bosold of Critical Concern Consultants as authorized person to execute and file development applications and/or planning applications with the City of Key West, Florida by the General Partner for and on behalf of the Partnership ("*Limited Authority*"); and

WHEREAS, the Authorized Person's authority shall not exceed the Limited Authority.

NOW THEREFORE BE IT

RESOLVED, effective as of July 27, 2015 and pursuant to Section 4.3(a), the General Partner does hereby appoints James Hendrick and Donna Bosold of Critical Concern Consultants as authorized person ("*Authorized Persons*") to execute and file development applications and/or planning applications with the City of Key West, Florida by the General Partner for and on behalf of the Partnership ("*Limited Authority*");

RESOLVED, that the Authorized Persons or any officer of the General Partner be, and each hereby is, authorized to take such action from time to time on behalf of the Partnership or on behalf of the General Partner as he/she may deem necessary, advisable or proper in order to carry out and perform the obligations of the Partnership, and executed and delivered any documents or certificate within the scope of their Limited Authority by the General Partner for and on behalf of the Partnership; and it is further

RESOLVED, that any and all action taken by the Authorized Person or any officer of the General Partner prior to the date hereof on behalf of the Partnership and in furtherance of the transactions contemplated by the foregoing resolutions are in all respects ratified, confirmed, and approved by the General Partner as the acts and deeds of the Partnership, and shall be conclusively deemed

to be such acts and deeds for all purposes.

[SIGNATURE PAGE TO FOLLOW]

IN WITNESS WHEREOF, the undersigned has executed this written consent as of the
24th day of June 2013.

GENERAL PARTNER

PEARY COURT ADVISORS LLC
a Delaware limited liability company

By: 

Name: Arthur Amron


Titles: Vice President and Assistant Secretary

Prepared by : J. Werner
Reviewed by: Phil Braunstein

Document Number: 308755

Version: 1

Deed

Return To: 
Commonwealth Land Title
2400 Maitland Center Parkway STE-200
Maitland, FL 32751
Attention: Myrna H. Small
File No. 411300230TS

Doc# 1948646 09/04/2013 1:03PM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

09/04/2013 1:03PM
DEED DOC STAMP CL: Krys \$245,000.00

~~PREPARED BY AND RETURN TO:~~

Doc# 1948646
Bk# 2648 Pg# 155

McKenna Long & Aldridge LLP
303 Peachtree Street, N.E., Suite 5300
Atlanta, Georgia 30308
Attention: Peter M. Yoxall, Esq.
Phone: (404) 527-4971

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, made the 30TH day of AUGUST, 2013, between **SOUTHEAST HOUSING LLC**, a Delaware limited liability company (“**Grantor**”), with an address at c/o BBC Military Housing - Navy Southeast LLC, 10 Campus Boulevard, Newton Square, PA 19073, and **PEARY COURT HOLDINGS, LP**, a Delaware limited partnership (“**Grantee**”), with an address of 2828 Coral Way, Suite 303, Miami, Florida 33145.

WITNESSETH:

That Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey, and confirm unto the Grantee, all that certain land, together with the buildings and improvements thereon erected, situate, lying and being in the City of Key West, County of Monroe, State of Florida, and more particularly described on Exhibit A attached hereto (the “**Property**”).

TOGETHER with all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND, Grantor hereby covenants with Grantee that Grantor is lawfully seized of the Property in fee simple, and except for those matters described in Exhibit B attached hereto and made a part hereof (the “**Permitted Exceptions**”), the Property is free and clear of all encumbrances, and that, subject to and except for the Permitted Exceptions, Grantor hereby warrants and will defend the title

to the Property against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

Notwithstanding the foregoing, Grantor does not warrant either expressly or impliedly the conditions or fitness of the Property and Grantee hereby acknowledges that the Property conveyed hereunder is conveyed by Grantor **AS IS, WHERE IS, AND WITH ALL FAULTS** as set forth in Section 4.1 of that certain Sales Contract, effective as of April 18, 2012, by and between Grantor and White St Partners, LLC, a Florida limited liability company ("**WSP**"), as amended by that certain First Amendment to Sales Contract, effective as of August 15, 2012, that certain Second Amendment to Sales Contract, effective as of December 27, 2012, that certain Third Amendment to Sales Contract, effective as of January 30, 2013, that certain Fourth Amendment to Sales Contract, effective as of May 15, 2013, that certain Fifth Amendment to Sales Contract, dated June 27, 2013, that certain Sixth Amendment to Sales Contract, dated as of July 19, 2013, that certain Seventh Amendment to Sales Contract, dated effective as of August 1, 2013, and that certain Eighth Amendment to Sales Contract, dated as of August 8, 2013, and as assigned by WSP and assumed by Grantee pursuant to that certain Assignment of Contract, Acceptance of Assignment and Consent to Assignment, dated on June 22, 2013, by and among WSP, Grantee and Grantor.

The Property is not now nor ever has been the homestead property of the Grantor.

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

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IN WITNESS WHEREOF, Grantor and Grantee have caused this Special Warranty Deed to be executed and delivered under seal effective as of the date and year first stated above.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:

GRANTOR:

SOUTHEAST HOUSING LLC, a Delaware limited liability company

By: BBC Military Housing – Navy Southeast LLC, a Delaware limited liability company, its managing member

By: Balfour Beatty Military Housing Investments LLC, a Delaware limited liability company, its manager

By: [Signature]
Name: Leslie Cohn
Title: Executive Vice President

WITNESS

[Signature]
Print Name: David Yoon

WITNESS

[Signature]
Print Name: Sharon Marcone

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF DELAWARE

THE FOREGOING INSTRUMENT was acknowledged before me this 22nd day of August, 2013, by Leslie S. Cohn, as the Executive Vice President of Balfour Beatty Military Housing Investments LLC, a Delaware limited liability company, the manager of BBC Military Housing - Navy Southeast LLC, a Delaware limited liability company, the managing member of Southeast Housing LLC, a Delaware limited liability company, who is personally known to me.

[Signature]
NOTARY PUBLIC [Signature Above]
State of Pennsylvania
Print Name: Jessica Chambers

My Commission Expires: 5/20/14

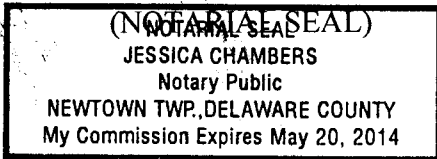


Exhibit "A"

Legal Description of Property

(see attached survey legal description)

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Legal Description; Peary Court:

Prepared by undersigner:

Note: Legal based on Physical properties:

A parcel of land situated in the City of Key West, Monroe County, Florida and being more particularly described as follows: COMMENCING at the intersection of the Northwesterly Right-of-Way Line of Newton Street and the Northeasterly Right-of-Way Line of White Street (Florida State Plane Coordinates East Zone NAD 83/90, Northing = 82591.01, Easting = 392639.41): thence N 34°08'30" W along the said Northeasterly Right-of-Way Line of White Street for 310.39 feet; thence N 55°51'30" W for a distance of 0.05 feet to the back edge (Northeast side) of a concrete sidewalk and the Point of Beginning; thence N.34°08'00"W., and along the Northeast edge of a concrete sidewalk a distance of 289.66 feet; thence S 55°51'30" W for a distance of 0.10 feet to the Northeasterly Right-of-Way Line of White Street; thence N 34°08'30" W along the said Northeasterly Right-of-Way Line of White Street for a distance of 31.83 feet; thence N 55°51'30" E for a distance of 0.10 feet to the said back of the sidewalk of White Street; thence N 34°08'00" W along the said Northeasterly edge of a sidewalk for a distance of 853.03 feet to an existing fence; thence N.55°36'56"E., and along the said fence, which lies on Eaton Street a distance of 194.19 feet to a point lying 0.5 feet (6 inches) Northeast of a fence corner; thence S.79°06'43"E., and along a line lying 0.5 feet (6 inches) Northeasterly of a existing fence and wall a distance of 1206.74 feet; thence N 10°44'48" E for a distance of 8.75 feet to the Southeasterly Right-of-Way Line of Palm Avenue; thence S 79°15'12" E along the said Southeasterly Right-of-Way Line of Palm Avenue for a distance of 55.00 feet; thence S 10°44'48" W for a distance of 8.88 feet to the extension of a line lying 0.5 feet (6 inches) Northeasterly of the existing fence and wall; thence S 79°06'43" E and along a line lying 0.5 feet (6 inches) Northeasterly of the existing fence and wall for a distance of 325.66 feet to a point lying 0.5 feet (6") from the corner of the fence on Eisenhower Drive; thence S 40°23'08" E along the fence on Eisenhower for a distance of 20.90 feet; thence S 14°07'44" E and being partially along a fence line for 167.37 feet to Angela Street; thence S.56°24'46"W., and along a line lying 0.5 feet (6 inches) Southeasterly of the fence line of Angela Street a distance of 1080.22 feet; thence N.19°36'43"W., and along the edge of an existing fence a distance of 72.01 feet; thence S.68°44'44"W., and along the edge of an existing fence a distance of 204.28 feet to the Northeast side of a concrete sidewalk and the Point of Beginning.

Parcel contains 1053433.77 square feet or 24.1835 acres, more or less.

Permitted Exceptions

1. Rights of tenants or persons in possession.
2. Taxes and assessments for the year 2013 and subsequent years, which are not yet due and payable.
3. Any claim that any portion of the Property is sovereign lands of the State of Florida, including submerged, filled or artificially exposed lands accreted to such land.
4. Easement granted the City of Key West, Florida, recorded in Deed Book G-56, Page 449, of the Monroe County, Florida records (the "Records"), and shown on the Survey (hereinafter defined).
5. Grant of Easement to BellSouth Telecommunications, Inc., dated July 2, 1998, N 62467-98-RP-00114, and shown on the Survey.
6. Grant of Easement for overhead power lines to the City of Key West, Florida 9/3/1963, NOy(R) 66502.
7. Matters shown on that certain ALTA/ACSM Land Title Survey prepared by Island Surveying Inc., January 31, 2012, updated July 18, 2013, and last revised August 1, 2013, Drawing No. 13-278 (the "Survey"), including:
 - a. Encroachments, if any, lying in the 20' wide Easement to the Florida Keys Aqueduct Authority by unrecorded no. N69450-08-Rp-00011, in Deed Book 2368, Page 2062 of the Records; and
 - b. Fences lying along and across the Property lines.
8. Terms, covenants, conditions and other matters contained in any unrecorded leases and all rights thereunder of the lessee and any person claiming by, through or under the lessees.
9. 20' wide Easement from the United States of America, acting by and through the Department of the Navy, Naval Facilities Engineering Command Southeast to the Florida Keys Aqueduct Authority, Deed no. N69450-08-Rp-00011, recorded June 27, 2008 in Official Records Book 2368, Page 2062, of the Records.
10. All easements, notices, covenants, restrictions, reservations and conditions set forth in that certain Quitclaim Deed, dated as of the date hereof, by and between Grantor and the United States of America, by and through the Department of the Navy, and recorded in the Records, a copy of which is attached hereto as Schedule "1" and incorporated herein by this reference.

**Schedule "1"
to
Exhibit "B"**

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Return Recorded Document to:

Southeast Housing LLC
c/o BBC Military Housing – Navy Southeast LLC
10 Campus Boulevard
Newtown Square, PA 19073

Prepared by:

John R. Campbell, Esq.
Naval Facilities Engineering
Command Southeast
Office of Counsel, Code 09C
P.O. Box 30, Building 903
Jacksonville, FL 32212-0030

QUITCLAIM DEED

THIS QUITCLAIM DEED, made this ____ day of August, 2013, by and between

the **UNITED STATES OF AMERICA, ACTING BY AND THROUGH THE DEPARTMENT OF THE NAVY**, whose address is c/o Naval Facilities Engineering Command Southeast, P.O. Box 30, Building 903, Naval Air Station Jacksonville, Jacksonville, Florida 32212-0030, hereinafter called the **GRANTOR**,

and

SOUTHEAST HOUSING LLC, a Delaware limited liability company, with an address at c/o BBC Military Housing - Navy Southeast LLC, 10 Campus Boulevard, Newtown Square, Pennsylvania 19073, hereinafter called the **GRANTEE**.

WITNESSETH:

WHEREAS, GRANTOR, under the authority contained in 10 U.S.C. § 2878, has determined that the conveyance of the Property, as defined below, on the terms set forth herein,

will be in the public interest and has otherwise satisfied and complied with all reporting requirements, notification periods, the applicable award and letting procedure and other statutory limitations prescribed in the solicitation documents and the authorizing legislation, and all required findings and determinations have been made and other conditions satisfied; and

WHEREAS, GRANTOR shall grant and convey, without warranty, either express or implied, to GRANTEE certain real property under the custody and control of the GRANTOR situated in the County of Monroe, State of Florida, all as more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference, and all buildings and improvements located thereon, and all and singular rights, tenements, hereditaments, easements and appurtenances belonging, or in any way appertaining thereto, including fixtures, structures, and facilities, alleys, roads, streets, ways, strips, and any equipment, utilities and utilities infrastructure, alterations, additions, infrastructure, all tangible and intangible personal property located thereon or used in connection with the ownership and operation thereof, and attached fixtures located in, on and under the real property, and any means of ingress and egress appurtenant thereto (collectively, the "Property"); and

WHEREAS, GRANTOR has found and determined that the Property is suitable for conveyance pursuant to that certain Memorandum for Record dated 18 June 2013 regarding that certain Environmental Condition of Property Checklist dated 27 July 2010 and that certain Environmental Condition of Property Checklist dated 7 September 2010 (the "ECP Checklist Memo"), a copy of which is attached hereto as Exhibit "B" and made a part hereof.

NOW THEREFORE, GRANTOR, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, does hereby grant, convey, transfer, remise, and release without warranty to the GRANTEE, its successors and assigns, all of GRANTOR'S right, title and interest in and to the Property:

I SUBJECT TO THE FOLLOWING NOTICES, COVENANTS, RESTRICTIONS, AND CONDITIONS, which shall be binding upon and enforceable against the GRANTEE, its successors and assigns, in perpetuity:

A. COVENANTS, RESTRICTIONS AND EASEMENTS. GRANTEE agrees to accept conveyance of the Property subject to all existing covenants, conditions, restrictions, easements, rights-of-way, reservations, rights, agreements, and encumbrances recorded and unrecorded.

B. PROPERTY CONVEYED "AS IS" "WHERE IS." Except as otherwise provided herein, or as otherwise provided by law, the GRANTEE acknowledges that it has inspected, is aware of, and accepts the condition and state of repair of the Property, and that the Property is conveyed "as is" and "where is" without any representation, promise, agreement, or warranty on the part of the GRANTOR regarding such condition and state of repair, or regarding the making of any alterations, improvements, repairs or additions. The GRANTEE further acknowledges that the GRANTOR shall not be liable for any latent or patent defects in the Property, except to the extent required by applicable law.

C. **FLOODPLAIN.** To the extent that any portion of the Property lies within a floodplain as defined in Section 6(c) of Executive Order No. 11988, dated May 24, 1977, the use of that portion of the Property may be subject to the National Flood Insurance Program.

D. **PROPERTY COVERED BY NOTICE, DESCRIPTION, ACCESS RIGHTS, AND COVENANTS MADE PURSUANT TO SECTION 120(h)(3)(A) OF THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION AND LIABILITY ACT OF 1980 (CERCLA) (42 U.S.C. § 9620(h)(3)(A)).** For the Property, the GRANTOR provides the following notice, description, and covenants and retains the following access rights:

1. **Notices Pursuant to Section 120(h)(3)(A)(i)(I) and (II) of CERCLA (42 U.S.C. § 9620(h)(3)(A)(i)(I) and (II)).** Pursuant to section 120(h)(3)(A)(i)(I) and (II) of CERCLA, available information regarding the type, quantity, and location of hazardous substances and the time at which such substances were stored, released, or disposed of, as defined in section 120(h) is provided to GRANTEE in Exhibit "B", attached hereto and made a part hereof.

2. **Description of Remedial Action Taken, if Any, Pursuant to Section 120(h)(3)(A)(i)(III) of CERCLA (42 U.S.C. § 9620(h)(3)(A)(i)(III)):** Pursuant to section 120(h)(3)(A)(i)(III) of CERCLA, a description of the remedial action taken, if any, on the Property is provided in the ECP Checklist Memo.

3. **Covenant Pursuant to Section 120(h)(3)(A)(ii) and (B) of CERCLA (42 U.S.C. § 9620(h)(3)(A)(ii) and (B)):** Pursuant to section 120(h)(3)(A)(ii) and (B) of CERCLA, the GRANTOR warrants that—

a. all remedial action necessary to protect human health and the environment with respect to any hazardous substance identified pursuant to section 120(h)(3)(A)(i)(I) of CERCLA remaining on the Property has been taken before the date of this Quitclaim Deed; and

b. any additional remedial action found to be necessary after the date of this Quitclaim Deed shall be conducted by the GRANTOR.

4. **Access Rights Pursuant to Section 120(h)(3)(A)(iii) of CERCLA (42 U.S.C. § 9620 (h)(3)(A)(iii)):**

a. The GRANTOR retains and reserves a perpetual and assignable easement and right of access on, over, and through the Property, to enter upon the Property in any case in which a remedial action or corrective action is found to be necessary on the part of the GRANTOR upon, over or under the Property. Such easement and right of access includes, without limitation, the right to perform any environmental investigation, survey, monitoring, sampling, testing, drilling, boring, coring, test-pitting, installing monitoring or pumping wells or other treatment facilities, response action, corrective action, or any other action necessary for the GRANTOR to meet its responsibilities under applicable laws and as provided for in this instrument. Such easement and right of access shall be binding on the GRANTEE and its successors and assigns and shall run with the land.

b. In exercising such easement and right of access, the GRANTOR shall provide the GRANTEE or its successor(s) or assigns, as the case may be, with reasonable notice of its intent to enter upon the Property and exercise its rights under this clause, which notice may be severely curtailed or even eliminated in emergency situations. The GRANTOR shall use reasonable means to avoid and to minimize interference with the GRANTEE's and the GRANTEE's successors' and assigns' quiet enjoyment of the Property. At the completion of work, the work site shall be reasonably restored. Such easement and right of access includes the right to obtain and use utility services, including water, gas, electricity, sewer, and communications services available on the Property at a reasonable charge to the GRANTOR to the extent such utilities are available for such purposes and do not unreasonably interfere with the need for such utilities by GRANTEE, its successors and assigns. Excluding the reasonable charges for such utility services, no fee, charge, or compensation will be due the GRANTEE, nor its successors or assigns, for the exercise of the easement and right of access hereby retained and reserved by the GRANTOR.

c. In exercising such easement and right of access, neither the GRANTEE nor its successors or assigns, as the case may be, shall have any claim at law or equity against the GRANTOR or any officer or employee of the GRANTOR based on actions taken by the GRANTOR or its officers, employees, agents, contractors of any tier, or servants pursuant to and in accordance with this clause: Provided, however, that nothing in this paragraph shall be considered as a waiver by the GRANTEE and its successors and assigns of any remedy available to them under the Federal Tort Claims Act.

E. LEAD BASED PAINT (LBP).

1. The Property may include improvements that are presumed to contain LBP because they are thought to have been constructed prior to 1978. Lead from paint, paint chips, and dust can pose health hazards if not managed properly. Pursuant to 40 CFR Section 745.113, the following notice is provided; "Every purchaser of any interest in residential real property on which a residential dwelling was built prior to 1978 is notified that such property may present exposure to lead from lead-based paint that may place young children at risk of developing lead poisoning. Lead poisoning in young children may produce permanent neurological damage, including learning disabilities, reduced intelligence quotient, behavioral problems, and impaired memory. Lead poisoning also poses a particular risk to pregnant women. The seller of any interest in residential real property is required to provide the buyer with any information on lead-based paint hazards from risk assessments or inspections in the seller's possession and notify the buyer of any known lead-based paint hazards. A risk assessment or inspection for possible lead-based paint hazards is recommended prior to purchase." The GRANTEE will be responsible for managing all lead-based paint and potential lead based paint in compliance with all applicable federal, state and local laws and regulations.

2. The GRANTEE hereby acknowledges the required disclosure of the presence of any known LBP and/or LBP hazards in target housing constructed prior to 1978 in accordance with the Residential Lead-Based Paint Hazard Reduction Act of 1992, 42 U.S.C. Section 4852d (Title X). The GRANTOR agrees that it has provided to GRANTEE, and GRANTEE acknowledges the receipt of, available records and reports pertaining to LBP and/or LBP hazards and receipt of the Environmental Protection Agency (EPA) approved pamphlet Renovate Right:

Important Lead Hazard Information for Families, Child Care Providers and Schools. Furthermore, the GRANTEE acknowledges that it has read and understood the EPA pamphlet.

3. The GRANTEE covenants and agrees that, in any improvements on the Property defined as target housing by Title X and constructed prior to 1978, LBP hazards will be disclosed to potential occupants in accordance with Title X before use of such improvements as a residential dwelling (as defined in Title X). Further, the GRANTEE covenants and agrees that it shall, or it shall require future transferees of the Property to, abate LBP hazards in any applicable target housing in accordance with the requirements of Title X, to the extent applicable, before re-occupancy of the residential dwelling, in accordance with applicable laws. "Target housing" means any housing constructed prior to 1978, except housing for the elderly or persons with disabilities (unless any child who is less than six (6) years of age resides, or is expected to reside, in such housing) or any zero-bedroom dwelling.

4. The GRANTEE acknowledges that the GRANTOR assumes no liability for costs or any damages for personal injury, illness, disability, or death to the GRANTEE, or to any other person, including members of the general public, arising from or incident to the purchase, transportation, removal, handling, use, disposition, or other activity causing or leading to contact of any kind whatsoever with LBP on the Property, arising after the conveyance of the Property from the GRANTOR to the GRANTEE, whether the GRANTEE has properly warned, or failed to properly warn, the persons injured.

5. Upon execution of this Quitclaim Deed, the GRANTEE covenants and agrees that it shall, and it shall require future transferees of the Property to, be responsible at its own cost and expense for the maintenance and management of LBP and LBP hazards located in the improvements on the Property and that GRANTEE shall comply with Title X and all applicable Federal, state, and local laws relating to LBP.

F. ASBESTOS CONTAINING MATERIALS.

1. The GRANTEE is hereby informed and does acknowledge that asbestos or asbestos containing materials ("ACM") have been found and are otherwise presumed to exist in buildings and structures on the Property. GRANTOR covenants that it has provided to the GRANTEE all documentation regarding the presence of any known ACM, and the GRANTEE acknowledges receipt of documentation disclosing the presence of any known ACM in the buildings and structures on the Property. The GRANTEE covenants that it will, and it will require future transferees of the Property to, prohibit use or occupancy of buildings and structures, or portions thereof, containing known friable and accessible, or damaged ACM prior to abatement of the friable and accessible, or damaged ACM or demolition of the building or structure, to the extent required by applicable law.

2. The GRANTEE covenants and agrees that it shall require, and it shall require future transferees of the Property, in its use and occupancy of the Property, including but not limited to demolition of buildings containing ACM, to comply with all applicable Federal, State and local laws relating to ACM. The GRANTEE acknowledges that the GRANTOR assumes no liability for costs or any damages for personal injury, illness, disability, or death to the GRANTEE, or to any other person, including members of the general public, arising from or incident to the purchase,

transportation, removal, handling, use, disposition, or activity causing or leading to contact of any kind whatsoever with ACM in the improvements on the Property, arising after the conveyance of the Property from the GRANTOR to the GRANTEE, whether the GRANTEE has properly warned, or failed to properly warn the persons injured.

3. The GRANTEE covenants and agrees that it shall, and it shall require future transferees of the Property, upon demolition of the improvements located on the Property, remove all ACM in accordance with the EPA National Emission Standard for Hazardous Air Pollutants (NESHAP), 40 C.F.R. Section 61, Subpart M and applicable state laws and regulations

G. RADON. The GRANTEE covenants and agrees to (i) conduct or ensure future transferees conduct radon screening on the Property and (ii) provide any building or structure on the Property with and maintain or require future transferees of the Property to provide and maintain an active radon mitigation unit if the amount of radon in any such building or structure is greater than 4 picoCuries per liter of air. Further, the GRANTEE covenants and agrees to comply with, or require future transferees of the Property to comply with, EPA recommendations regarding the maintenance of active radon mitigation units.

H. GRANTEE INDEMNITY FOR SUBSEQUENT RELEASES. The GRANTEE releases and holds harmless the GRANTOR from any response action or corrective action necessary for any release or threatened release of hazardous substances which first occurred in or on the Property following the date of transfer and during the GRANTEE's period of ownership that is determined to be the result of the GRANTEE's actions or of the actions of a third party, which actions are not related to United States Department of Defense activities. The GRANTEE indemnifies the GRANTOR for damages and response actions resulting from the GRANTEE's actions or the actions of a third party during GRANTEE's period of ownership. The GRANTEE specifically covenants and agrees that, simultaneously with any subsequent transfer of any or all of the Property by the GRANTEE, the GRANTEE shall notify such transferee or transferees that the provisions of this subsection H shall apply to such transferee or transferees and their respective successors and assigns for so long as they shall own any or all of the Property.

I. NON-DISCRIMINATION. GRANTEE covenants not to discriminate upon the basis of race, color, religion, disability, sex, age or national origin in the use, occupancy, sale, or lease of the Property, or in its employment practices conducted thereon. The UNITED STATES OF AMERICA shall be deemed a beneficiary of this covenant without regard to whether it remains the owner of any land or interest therein in the locality of the Property hereby conveyed and shall have the sole right to enforce this covenant in any court of competent jurisdiction.

J. GRANTOR IS BENEFICIARY OF NOTICES, COVENANTS, RESTRICTIONS, RESERVATIONS AND CONDITIONS. The GRANTOR shall be deemed a beneficiary of the notices, covenants, restrictions, reservations and conditions set forth in this Section I without regard to whether it remains the owner of any land or interest therein in the locality of the Property hereby conveyed and shall have the right to enforce the notices, covenants, restrictions, reservations and conditions in any court of competent jurisdiction.

K. NOTICES, COVENANTS, RESTRICTIONS, RESERVATIONS AND CONDITIONS set forth in this Quitclaim Deed, unless subsequently released or expressly limited

or conditioned, are a binding servitude on the Property, shall inure to the benefit of and be binding upon the GRANTOR and GRANTEE, their successors and assigns, and will be deemed to run with the Property in perpetuity.

L. ANTI-DEFICIENCY ACT. Nothing in this Quitclaim Deed shall be interpreted to require obligations of any payment by GRANTOR that is in violation of the Anti Deficiency Act, 31 U.S.C. § 1341.

M. WATER AND SEWER ALLOCATIONS. Nothing in this Quitclaim Deed shall be interpreted as a conveyance to GRANTEE of GRANTOR's allocations and/or reservations of water and sewer capacity.

II THE CONDITIONS, RESTRICTIONS, RESERVATIONS, AND COVENANTS set forth in this deed, unless subsequently released, are a binding servitude on the Property; shall inure to the benefit of and be binding upon the GRANTOR and GRANTEE, their successors and assigns, and will be deemed to run with the land in perpetuity.

III HEADINGS. The headings, titles and captions in this Quitclaim Deed have been inserted only for convenience and in no way define, limit, extend, or describe the scope or intent of this Quitclaim Deed.

IV TERMINATION OF GROUND LEASE. As of the date first written above, that certain Real Estate Ground Lease and Conveyance of Facilities, dated as of October 1, 2007 (the "Original Lease"), by and between GRANTOR and GMH Military Housing - Navy Southeast LLC ("GMH"), as predecessor in interest to GRANTEE, as evidenced by those five (5) certain Memoranda of Real Estate Ground Lease and Conveyance of Facilities (collectively, the "Lease Memoranda"), memorializing the execution of the Original Lease, one of which was recorded in official Records Book 2334, Page 531, in the office of the Monroe County Clerk of Courts, State of Florida (the "Monroe Records"), as assigned by that certain Omnibus Assignment, Assumption, Consent and Release Agreement, dated as of October 1, 2007, by and among GMH, GRANTEE and GRANTOR, recorded in official Records Book 2334, Page 619 of the Monroe Records, and as subsequently amended (the Original Lease, as subsequently assigned and amended, is hereinafter referred to as the "Ground Lease"), shall terminate with respect to the Property and all the related personal property and improvements as provided in Section 1.7.1 therein, and all references to the "Leased Premises" as defined in the Ground Lease shall be deemed to exclude the Property and any improvements located thereon, and the Ground Lease shall continue in full force and effect with respect to the remaining Leased Premises. Neither GRANTOR nor GRANTEE shall have any further obligation under the Ground Lease with respect to the Property (other than any obligations which are expressly stated to survive termination of the Ground Lease).

[SIGNATURE PAGE FOLLOWS]

Exhibit "A"

Peary Court Legal Description

(see attached survey legal description)

**Doc# 1948646
Bk# 2648 Pg# 171**

A parcel of land situated in the City of Key West, Monroe County, Florida and being more particularly described as follows: COMMENCING at the intersection of the Northwestern Right-of-Way Line of Newton Street and the Northeasterly Right-of-Way Line of White Street (Florida State Plane Coordinates East Zone NAD 83/90, Northing = 82591.01, Easting = 392639.41): thence N 34°08'30" W along the said Northeasterly Right-of-Way Line of White Street for 310.39 feet; thence N 55°51'30" W for a distance of 0.05 feet to the back edge (Northeast side) of a concrete sidewalk and the Point of Beginning; thence N.34°08'00"W., and along the Northeast edge of a concrete sidewalk a distance of 289.66 feet; thence S 55°51'30" W for a distance of 0.10 feet to the Northeasterly Right-of-Way Line of White Street; thence N 34°08'30" W along the said Northeasterly Right-of-Way Line of White Street for a distance of 31.83 feet; thence N 55°51'30" E for a distance of 0.10 feet to the said back of the sidewalk of White Street; thence N 34°08'00" W along the said Northeasterly edge of a sidewalk for a distance of 853.03 feet to an existing fence; thence N.55°36'56"E., and along the said fence, which lies on Eaton Street a distance of 194.19 feet to a point lying 0.5 feet (6 inches) Northeast of a fence corner; thence S.79°06'43"E., and along a line lying 0.5 feet (6 inches) Northeasterly of a existing fence and wall a distance of 1206.74 feet; thence N 10°44'48" E for a distance of 8.75 feet to the Southeasterly Right-of-Way Line of Palm Avenue; thence S 79°15'12" E along the said Southeasterly Right-of-Way Line of Palm Avenue for a distance of 55.00 feet; thence S 10°44'48" W for a distance of 8.88 feet to the extension of a line lying 0.5 feet (6 inches) Northeasterly of the existing fence and wall; thence S 79°06'43" E and along a line lying 0.5 feet (6 inches) Northeasterly of the existing fence and wall for a distance of 325.66 feet to a point lying 0.5 feet (6") from the corner of the fence on Eisenhower Drive; thence S 40°23'08" E along the fence on Eisenhower for a distance of 20.90 feet; thence S 14°07'44" E and being partially along a fence line for 167.37 feet to Angela Street; thence S.56°24'46"W., and along a line lying 0.5 feet (6 inches) Southeasterly of the fence line of Angela Street a distance of 1080.22 feet; thence N.19°36'43"W., and along the edge of an existing fence a distance of 72.01 feet; thence S.68°44'44"W., and along the edge of an existing fence a distance of 204.28 feet to the Northeast side of a concrete sidewalk and the Point of Beginning.
Parcel contains 1053433.77 square feet or 24.1835 acres, more or less.

Exhibit "B"

ENVIRONMENTAL CONDITION OF PROPERTY CHECKLIST

(see attached)

Doc# 1948646
Bk# 2648 Pg# 173

ENVIRONMENTAL CONDITION OF PROPERTY (ECP) CHECKLIST

Installation: NAVAL AIR STATION KEY WEST, FLORIDA
Parcel/Site Location and Description: Peary Court Housing, Key West, Florida
Proposed Real Estate Action Description: Divestiture

SITE SUMMARY INFORMATION

1. Information regarding site uses and any hazardous materials, contamination, or conditions. All available and pertinent files, records, reports and aerial photographs were reviewed and, where necessary, a site inspection and/or personal interviews were conducted to document the environmental conditions of the property to support the proposed real estate action. A summary of the conditions, sources of information (including location), and any required use restrictions are provided for each environmental condition.

A. Parcel/Site Uses:
Prior Uses: Prior to 1900 the area was used as an Army post. After acquisition by the Navy, the land was vacant until licensed to the City of Key West for recreational use.
Current Uses: The 26-acre parcel contains 157 housing units.
Future Uses: Future use is anticipated to be residential.

B. Contaminants: Yes No Unknown
If yes, identify contaminant and media: _____
Source of information: Site visit 29 June 2010, Environmental Baseline Survey 2006. These sources of information pertain to the entire checklist unless otherwise noted.
Restrictions or Land Use Controls: Yes No
If yes, please identify and explain in detail in Section 2 below.

C. Hazardous Materials Use: Yes No Unknown
Hazardous Materials Storage: Yes No Unknown
Type of HM: _____
Type of Use and/or Storage: _____
Source of information: See above
Restrictions or Land Use Controls: Yes No
If yes, please identify and explain in detail in Section 2 below.

D. Treatment, Storage, Disposal of Hazardous Waste: Yes No Unknown
Source of information: _____
Restrictions or Land Use Controls: Yes No
If yes, please identify and explain in detail in Section 2 below.

E. Underground Storage Tanks: Yes No Unknown
UST No. _____ Gals. _____
Source of information: _____
Restrictions or Land Use Controls: Yes No
If yes, please identify and explain in detail in Section 2 below.

ENVIRONMENTAL CONDITION OF PROPERTY (ECP) CHECKLIST

F. Above-Ground Storage Tanks: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No AST No. _____ Gals. _____ Source of information: _____ Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
G. Presence of Polychlorinated Biphenyl's (PCB's): <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Source of information: _____ Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
H. Asbestos: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If yes: <input type="checkbox"/> Friable <input type="checkbox"/> Non-friable <input type="checkbox"/> Unknown Source of information: <u>Date of construction was 1993.</u> Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
I. Lead Paint: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Source of information: <u>Date of construction was 1993.</u> Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
J. Radon: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Source of information: <u>Generalized Geologic Radon Potential of the United States, USGS.</u> Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
K. Radiological Materials: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Source of information: _____ Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
L. Solid/Bio-Hazardous Waste: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Source of information: _____ Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
M. Munitions and Explosives of Concern: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Source of information: _____ Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.
N. Threatened or Endangered Species: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Source of information: _____ Restrictions or Land Use Controls: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please identify and explain in detail in Section 2 below.

Attachment 3

Doc# 1948646
Bk# 2648 Pg# 175

ENVIRONMENTAL CONDITION OF PROPERTY (ECP) CHECKLIST

O. Natural or Cultural Resources: Yes No Unknown

Source of information: _____

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

P. Use of Adjacent Property:

Current Use: Adjacent use is residential, partially historic.

Past Use: Same as above

Source of information: _____

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

Q. Has the site had any Notices of Violation? Yes No.

If yes, please explain: _____

Source of information: _____

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

R. Additional information or comments regarding questions shown above (attach sheet(s) if additional room is needed):

Source of information: _____

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

2. List of Land Use Controls required for Real Estate Action:

None

Doc# 1948646
Bk# 2648 Pg# 176

ENVIRONMENTAL CONDITION OF PROPERTY (ECP) CHECKLIST

3. Signature:

Based on records reviews, site inspections, and interviews, the environmental professional(s) certify that the environmental conditions of the property are as stated in this document and this property is suitable for described action.

Environmental Professional:



Signature

ROBBIE DARBY, P.E.

Print Name

Head, Environmental Restoration

Title

7/27/10

Date

The real estate professional(s) acknowledge these restrictions and/or LUCs identified above and will ensure they are made a part of the appropriate document.

Real Estate Professional:



Signature

TIMOTHY YANCE

Print Name

Asset Management/Real Estate

Title

7/27/10

Date

Property Owner (Activity or Region) acknowledges and accepts the foregoing statement of environmental conditions and the land use controls (if any) that will be required for this real estate action:



Signature

CAMILLE DESTAFNEY, P.E.

Print Name

N45/NAVFACSE EVBLC

Title

7/27/10

Date

Doc# 1948646
Bk# 2648 Pg# 177

ENVIRONMENTAL CONDITION OF PROPERTY (ECP) CHECKLIST

Installation: NAVAL AIR STATION KEY WEST, FLORIDA

Parcel/Site Location and Description: Keys Federal Credit Union, Peary Court, Key West, FL

Proposed Real Estate Action Description: Lease Termination and divestiture

Summary of Environmental Findings: The ECP site visit of 29 June 2010 was conducted by Karen Snodgrass, Environmental Protection Specialist, Environmental Assessment Section, NAVFAC SE (EV42) in accordance with the Assistant Secretary of the Navy Memorandum, Conducting Environmental Conditions of Property for Outgrants, Out Leases and Transfer of 2006. Subject property is the interior section of Peary Court Housing, Key West, Florida and has been leased to the Keys Federal Credit Union since 1985. Based on a review of available Navy documents and personnel interviews, it is unlikely environmental conditions have impacted the subject property.

SITE SUMMARY INFORMATION

1. Information regarding site uses and any hazardous materials, contamination, or conditions. All available and pertinent files, records, reports and aerial photographs were reviewed and, where necessary, a site inspection and/or personal interviews were conducted to document the environmental conditions of the property to support the proposed real estate action. A summary of the conditions, sources of information (including location), and any required use restrictions are provided for each environmental condition.

A. Parcel/Site Uses:

Prior Uses: Prior to 1900 the area was used as an Army post. After acquisition by the Navy, the land was vacant until licensed to the City of Key West for recreational use.

Current Uses: The parcel contains one building and one trailer and is outleased to Keys Federal Credit Union. The trailer was moved to the site from Truman Annex. The existing building was built in 1960. At the time of the lease in 1985, the building was gutted and roofless. Roofing and general repair was performed by the Credit Union.

Future Uses: Future use is anticipated to be residential.

B. Contaminants: Yes No Unknown

If yes, identify contaminant and media:

Source of information: Site visit 29 June 2010, Environmental Baseline Survey 2006. These sources of information pertain to the entire checklist unless otherwise noted.

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

C. Hazardous Materials Use: Yes No Unknown

Hazardous Materials Storage: Yes No Unknown

Type of HM:

Type of Use and/or Storage:

Source of information: See above

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

ENVIRONMENTAL CONDITION OF PROPERTY (ECP) CHECKLIST

D. Treatment, Storage, Disposal of Hazardous Waste: Yes No Unknown
 Source of information: See above

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

E. Underground Storage Tanks: Yes No Unknown
 UST No. _____ Gals. _____
 Source of information: See above

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

F. Above-Ground Storage Tanks: Yes No
 AST No. one Gals. 500
 Source of information: AST holds fuel oil for an emergency generator.
 See above for source information.

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

G. Presence of Polychlorinated Biphenyl's (PCB's): Yes No Unknown
 Source of information: See above

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

H. Asbestos: Yes No Unknown
 If yes: Friable Non-friable Unknown
 Source of information: Date of construction was circa 1960s. An extensive rehab was performed approx. 1985. No ACM Survey has been performed.

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

I. Lead Paint: Yes No Unknown
 Source of information: Date of construction was circa 1960s. An extensive rehab was performed approx. 1985. No LBP Survey has been performed.

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

J. Radon: Yes No Unknown
 Source of information: Generalized Geologic Radon Potential of the United States, USGS.

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

K. Radiological Materials: Yes No Unknown
 Source of information: See above

Restrictions or Land Use Controls: Yes No
 If yes, please identify and explain in detail in Section 2 below.

ENVIRONMENTAL CONDITION OF PROPERTY (ECP) CHECKLIST

L. Solid/Bio-Hazardous Waste: Yes No Unknown

Source of information: See above

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

M. Munitions and Explosives of Concern: Yes No Unknown

Source of information: See above

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

N. Threatened or Endangered Species: Yes No Unknown

Source of information: See above

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

O. Natural or Cultural Resources: Yes No Unknown

Source of information: See above

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

P. Use of Adjacent Property:

Current Use: Adjacent use is residential.

Past Use: Same as above

Source of information: See above

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

Q. Has the site had any Notices of Violation? Yes No.

If yes, please explain:

Source of information: See above

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

R. Additional information or comments regarding questions shown above (attach sheet(s) if additional room is needed):

Source of information:

Restrictions or Land Use Controls: Yes No

If yes, please identify and explain in detail in Section 2 below.

2. List of Land Use Controls required for Real Estate Action:

None

18 June 2013

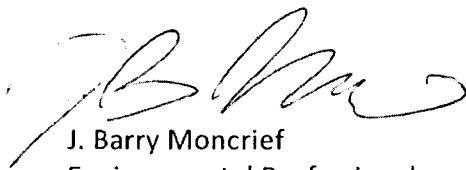
MEMORANDUM FOR THE RECORD

Subj: ENVIRONMENTAL CONDITION OF THE PROPERTY UPDATE FOR NAVFAC SE PPV
DIVESTITURE OF PEARY COURT HOUSING COMPLEX AND FORMER KEYS FEDERAL CREDIT
UNION, NAVAL AIR STATION KEY WEST, FL

Ref: (a) ASN (I&E) Memorandum, DON Environmental Policy Memorandum 06-06: Streamlined
Environmental Procedures Applicable to Non-BRAC Real Estate Actions of 2006

Encl: (1) NAVFAC SE ECP checklist dtd 27 Jul 2010, Peary Court Housing, Key West, FL (2)
NAVFAC SE ECP checklist dtd 7 Sep 2010, Keys Federal Credit Union, Key West, FL

1. The Navy through its Public Private Venture (PPV) military housing program is planning divestiture (through sale) of the subject properties located in Key West Florida. During July and Sep of 2010, respectively, NAVFAC SE performed Environmental Condition of Property assessments at Peary Court and the former Keys Federal Credit Union sites, per enclosures (1) and (2). Both assessments found the properties suitable for the proposed real estate action.
2. A follow on visual site inspection (17 Jun 2013) and general knowledge of current and past use of both sites provides no reason to suspect any change to the environmental conditions (as described in enclosure (1) and (2)), that is inconsistent with the properties' continued suitability for the proposed real estate action.
3. Based upon these findings and in accordance with reference (a), it has been determined that no further action must be taken to document the environmental condition of the subject properties or their suitability for divestiture through the NAVFAC SE PPV program. The risk to the Government for the continuation of this real estate action is minimal.

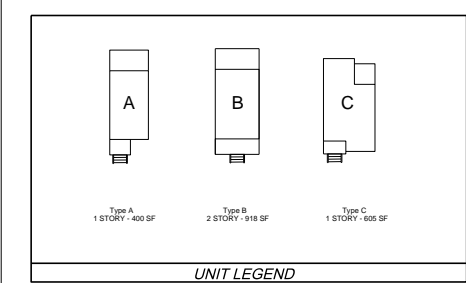
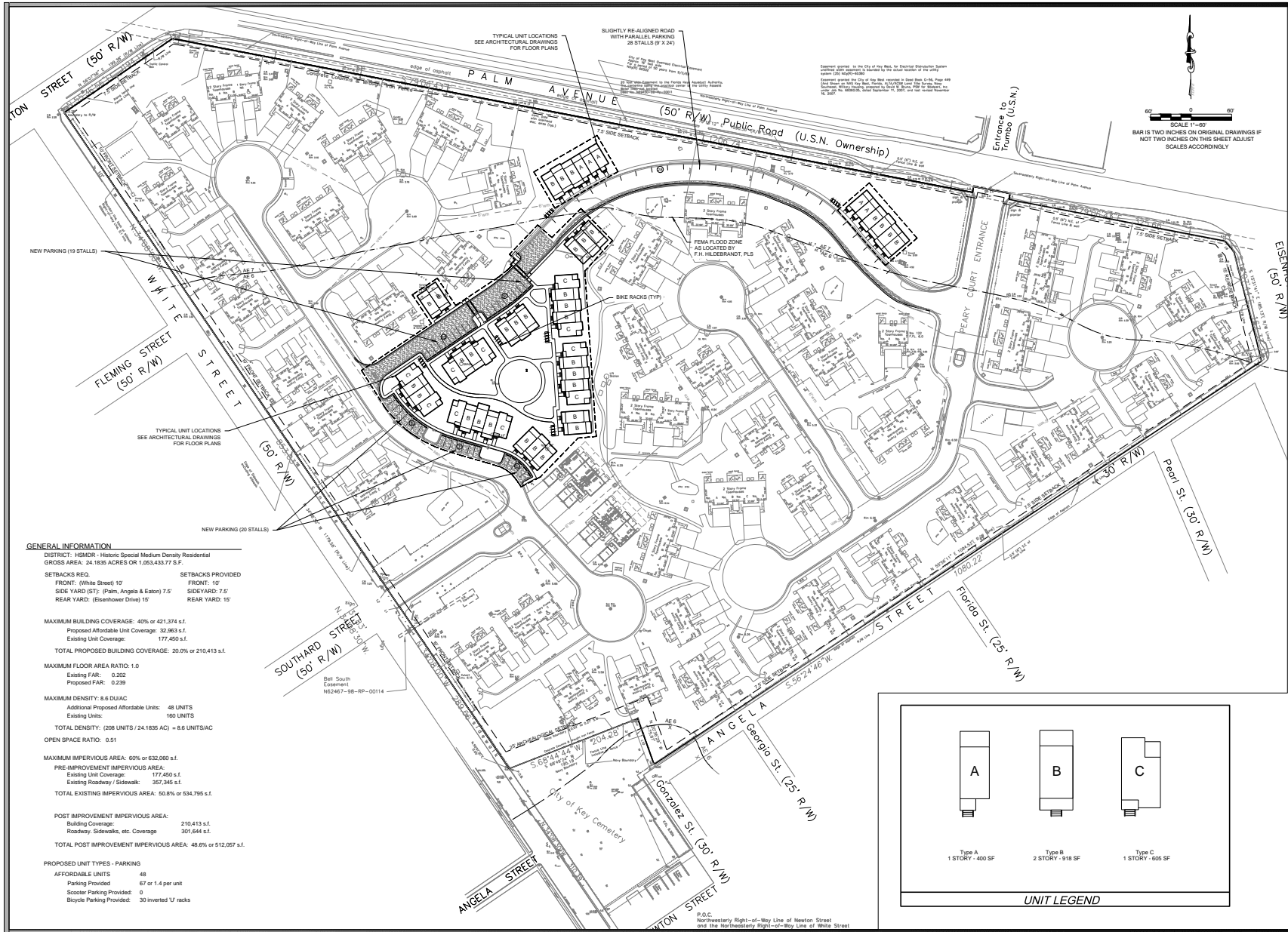


J. Barry Moncrief
Environmental Professional
NAVFAC SE, EV42
NAS Jacksonville, FL32212

Real Estate Professional
NAVFAC SE
NAS Jacksonville, FL32212

Survey

Site Plans



SCALE 1"=60'
 BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET ADJUST SCALES ACCORDINGLY

PEREZ ENGINEERING & DEVELOPMENT, INC.
 150 SE 2ND AVENUE, SUITE 800
 MIAMI, FL 33131

ALBINE PEREZ, P.E.
 Project No. 2019-001
 July 23, 2019

REVISIONS:

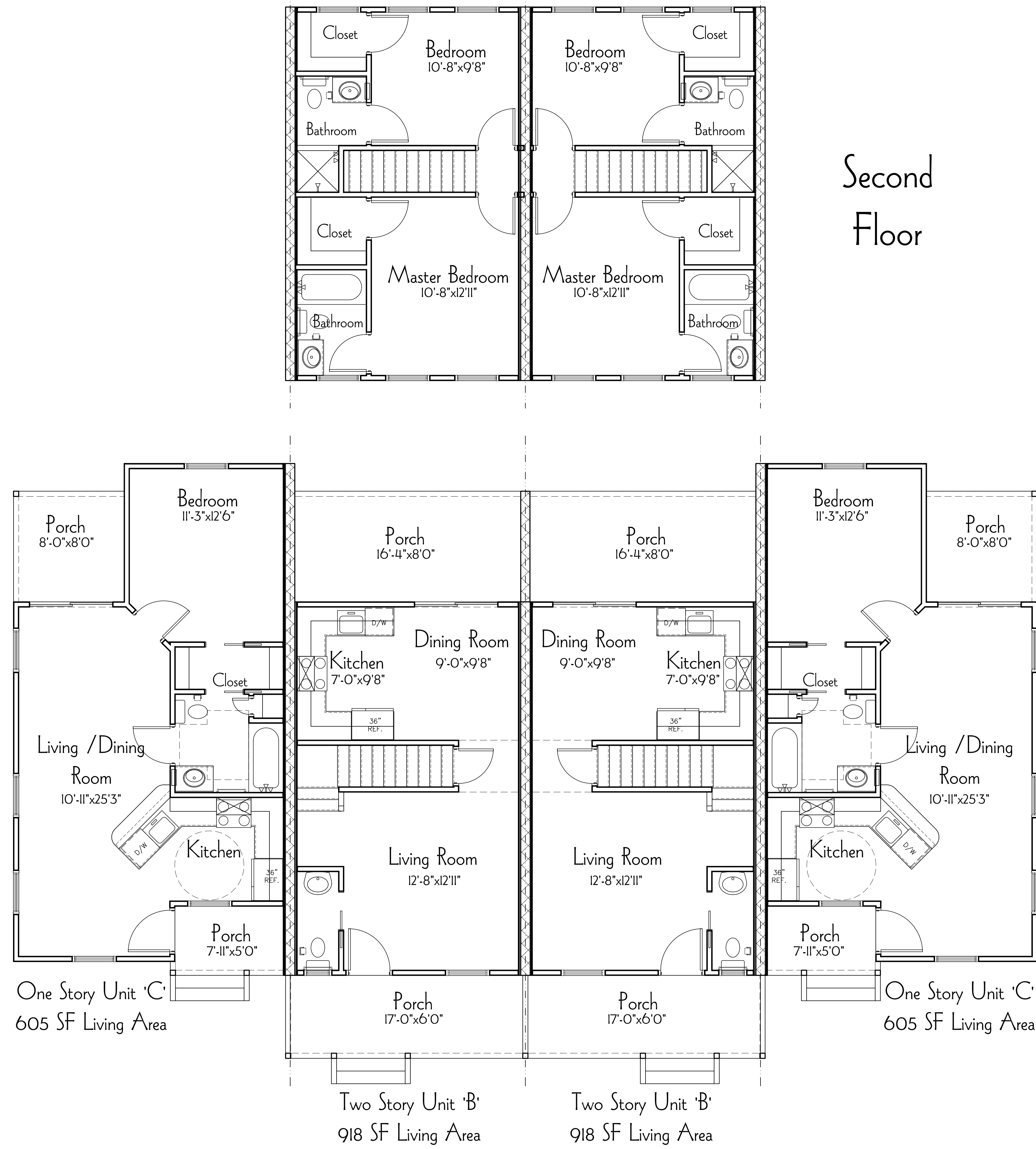
1	ORIGINAL	JANUARY 2020
2		
3		
4		
5		
6		

SOUTHARD PARK
 SITE PLAN

PEARY COURT HOLDING, LP
 150 SE 2ND AVENUE, SUITE 800
 MIAMI, FL 33131

JOB NO. 151007
 DRAWN: BGO
 DESIGNED: AEP
 CHECKED: AEP
 QC SHEET

Floor Plans and Elevations



Second
Floor

First
Floor

Project No. APC-1512 - Scale: 1/4"=1'-0"

Southard Park
Affordable Units
Key Weest, Florida

Date Issued: 04-27-15

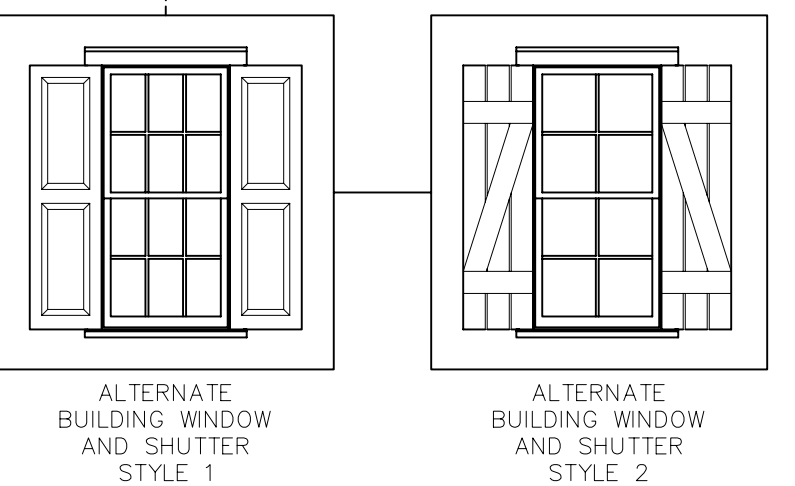
No.	Date	Revision

Building A Floor Plan

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

Sheet
A.1.1

- FACIA: ALUMINUM WRAPPED 2X (TYP.)
- SOFFIT: PAINTED HARDIESOFFIT PANELS VENTED SMOOTH (TYP.)
- FRIEZE: PAINTED HARDIETRIM 5/4 SMOOTH 1"x7.25" (TYP.)



Rear Elevation



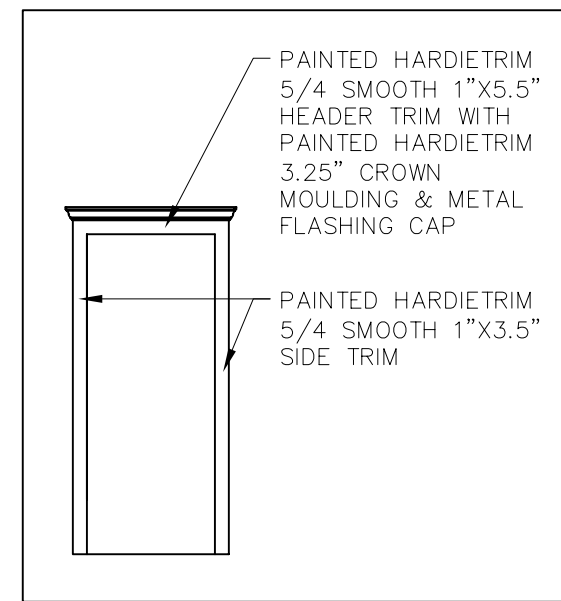
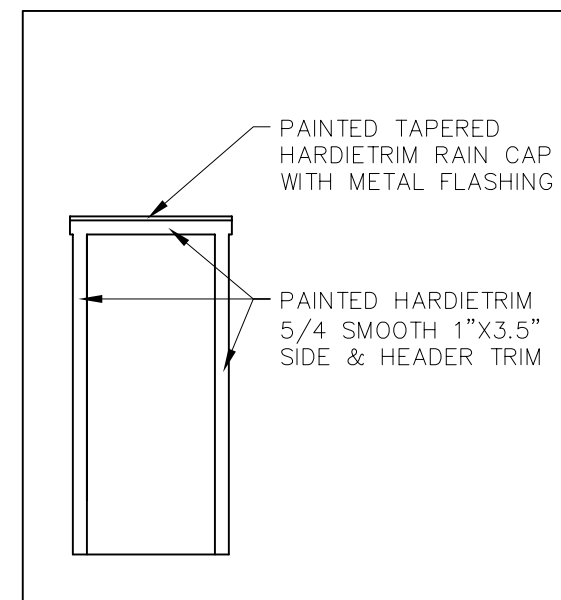
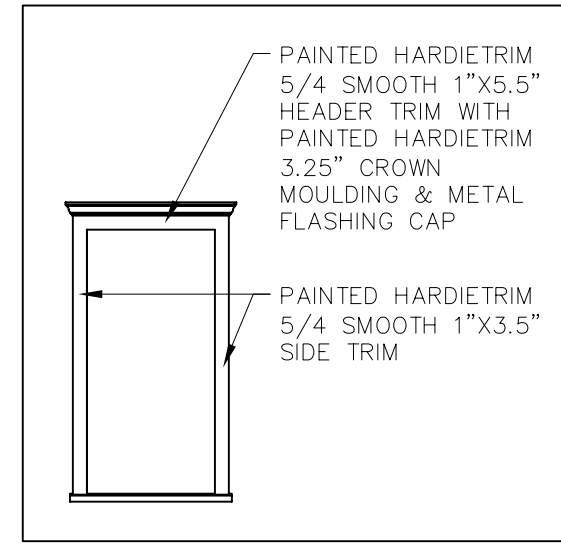
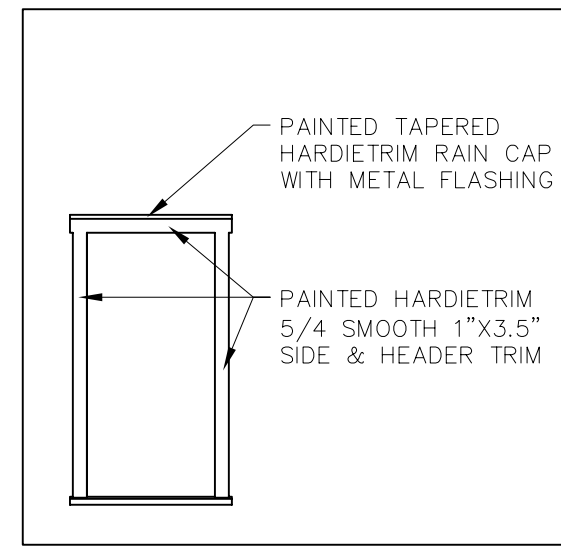
Front Elevation

Project No. APC-1512 - Scale: 1/4"=1'-0"
 Date Issued: 04-27-15
 No.: _____ Date: _____
 Revision: _____

Southern Park
 Affordable Units
 Key West, Florida

Building A Elevations
ALDERMAN Planning
 COMPANY
 Phone: 813.833.5161
 PO Box 55755 St. Petersburg FL, 33732

Sheet
A.2.1



Project No. APC-1512 - Scale: 1/4"=1'-0"

Southern Park
Affordable Units
Key West, Florida

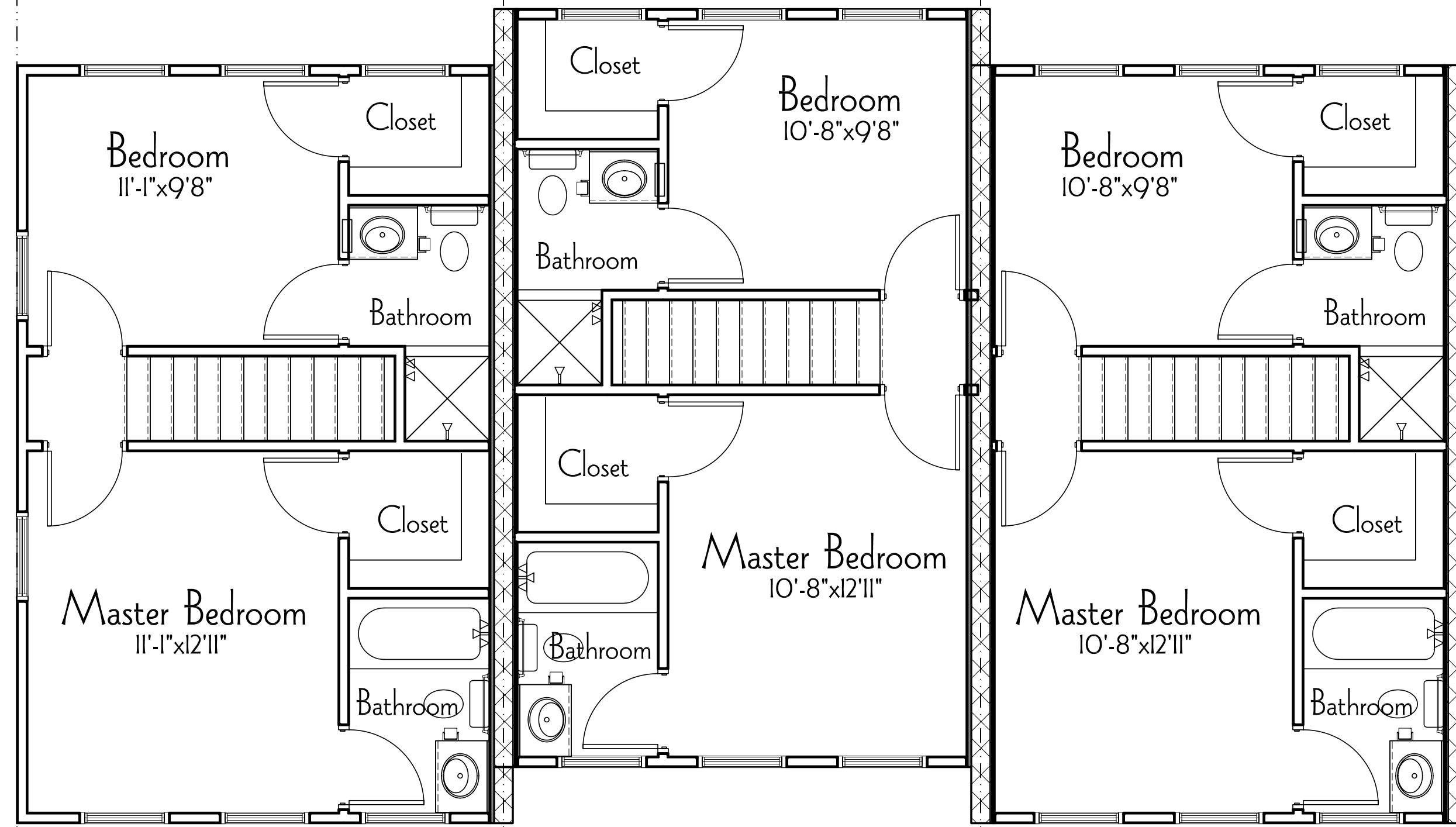
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No.	Date	Revision

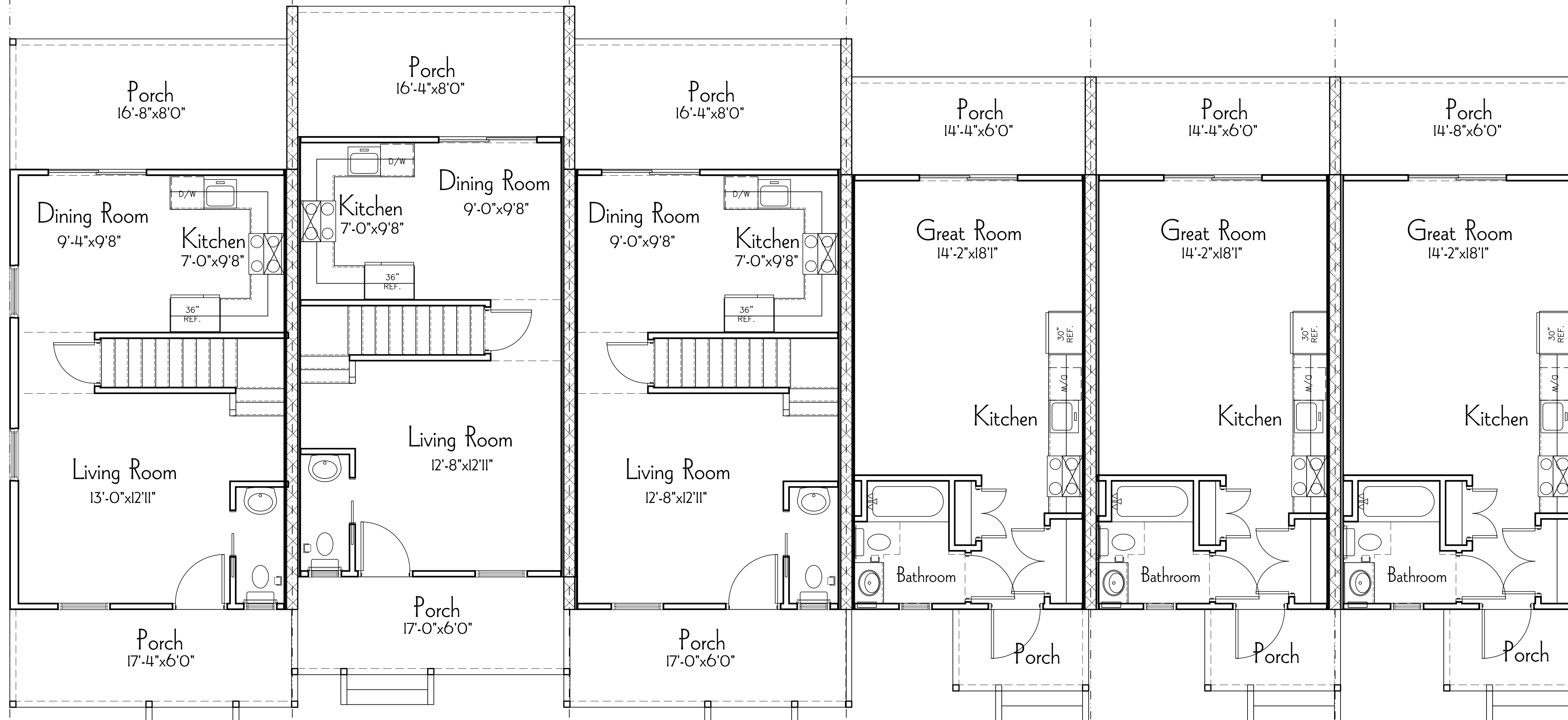
Building A Elevations

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

Sheet
A.2.2



Second Floor



First Floor

Two Story Unit 'B'
918 SF Living Area

Two Story Unit 'B'
918 SF Living Area

Two Story Unit 'B'
918 SF Living Area

One Story Unit 'A'
400 SF Living Area

One Story Unit 'A'
400 SF Living Area

One Story Unit 'A'
400 SF Living Area

Project No. APC-1512 - Scale: 1/4"=1'-0"

Southard Park
Affordable Units
Key West, Florida

Date Issued: 04-27-15

No.	Date	Revision

Building B Floor Plan

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

Sheet

B.1.1



Front Elevation



Rear Elevation

Project No. APC-1512 - Scale: 1/4"=1'-0"

Southern Park
Affordable Units
Key West, Florida

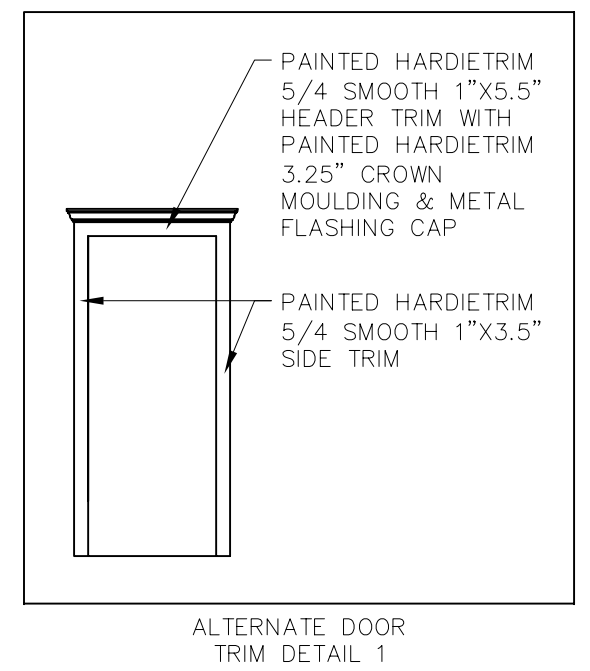
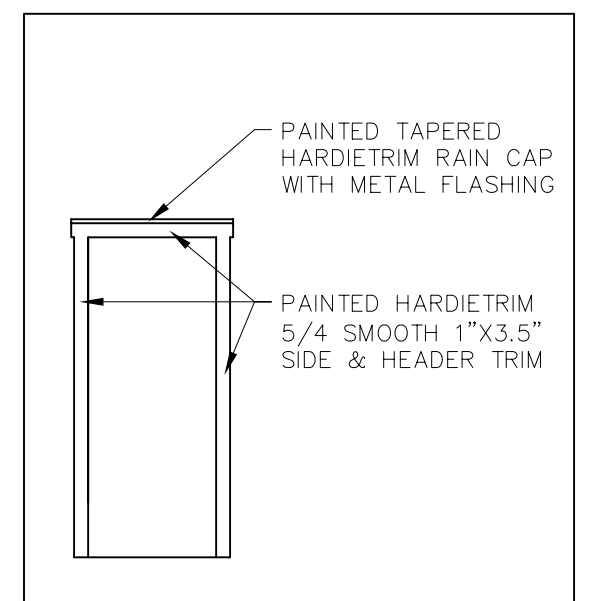
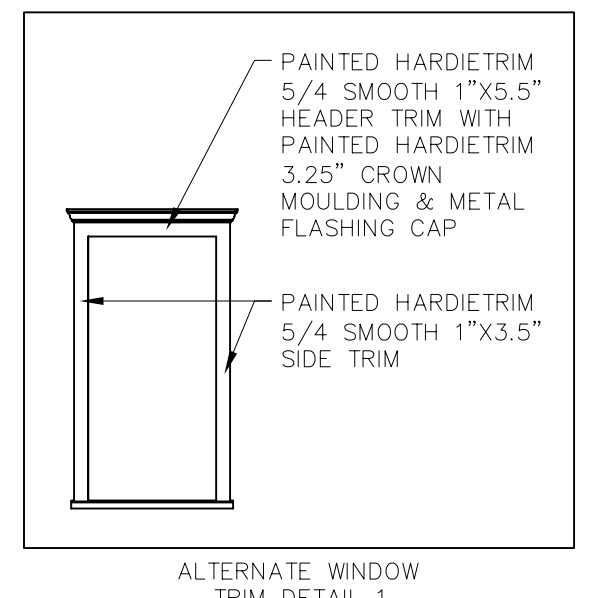
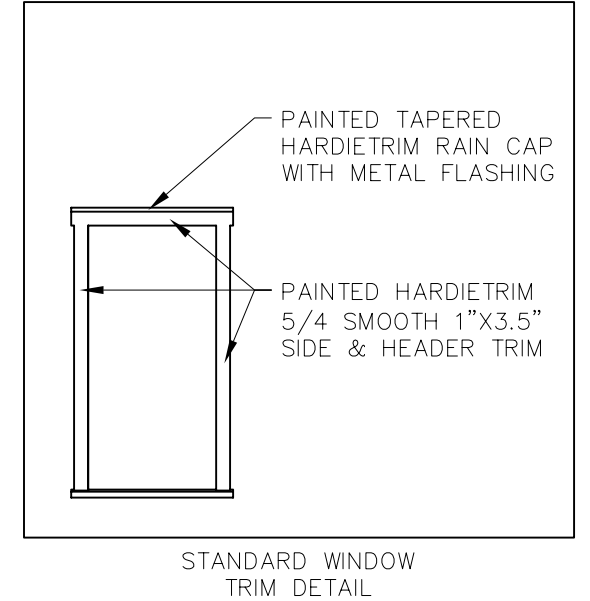
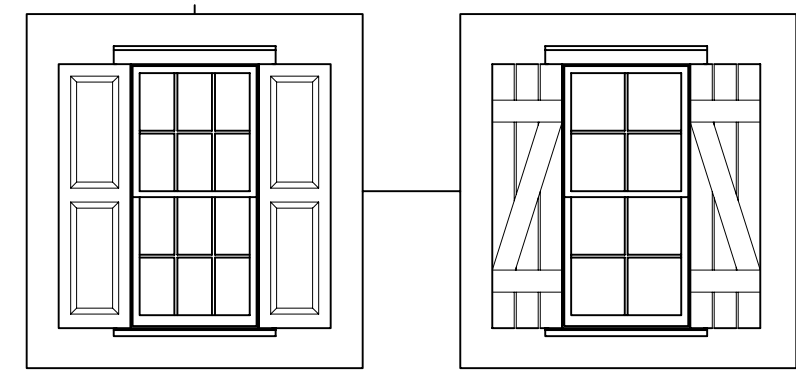
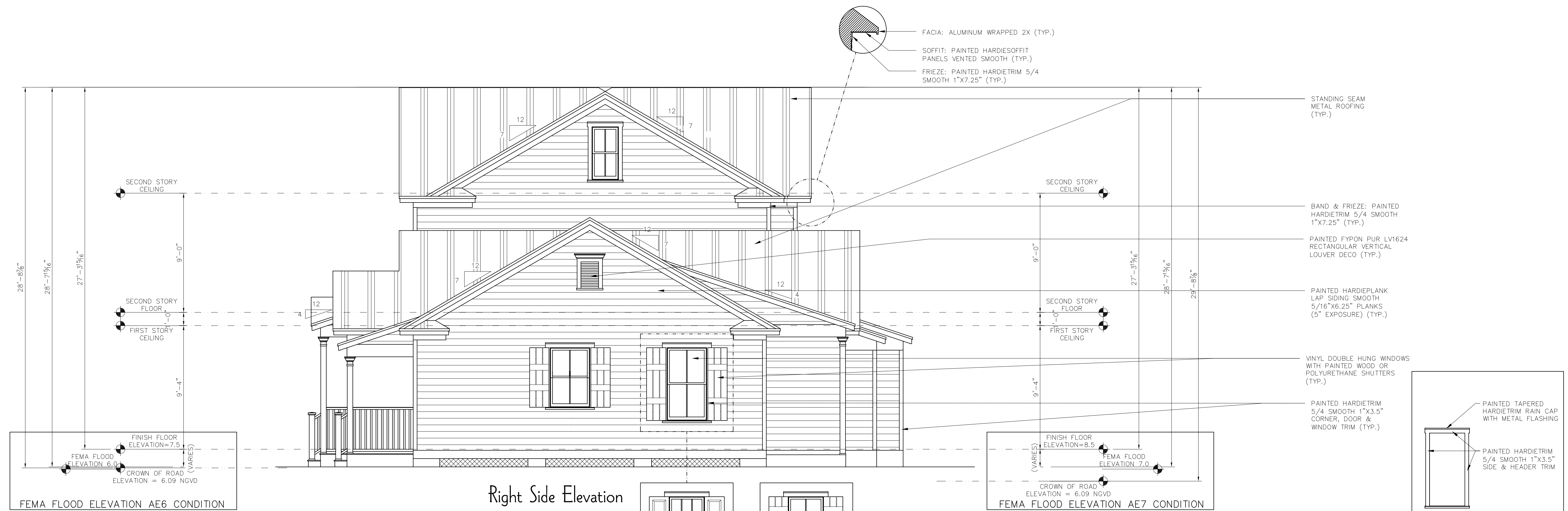
Date Issued: 04-27-15

No.	Date	Revision

Building B Elevations

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

Sheet
B.2.1



Project No. APC-1512 - Scale: 1/4"=1'-0"

Southern Park
Affordable Units
Key West, Florida

Date Issued: 04-27-15

No.: Date: Revision:

Building B Elevations





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Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

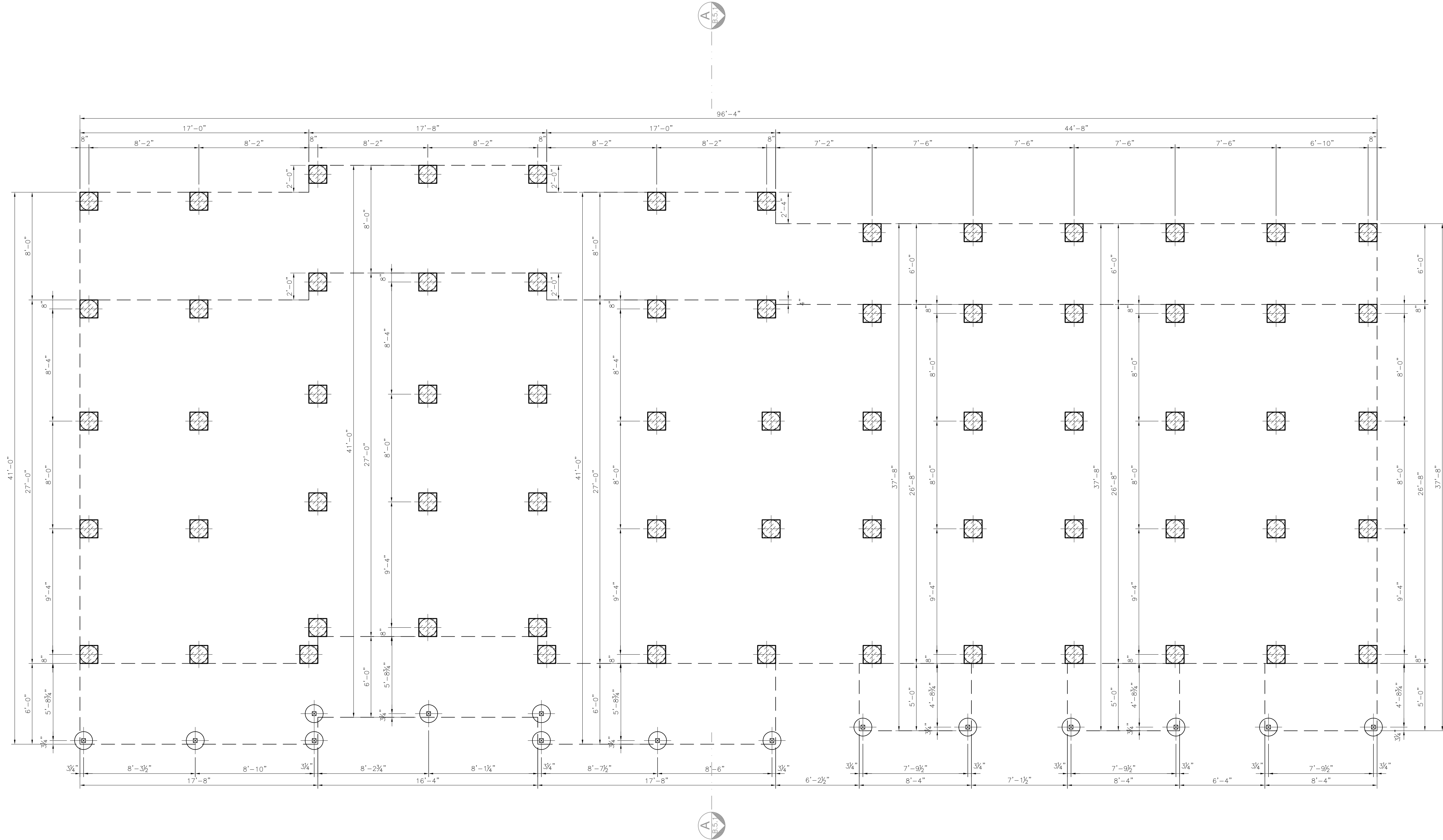
Sheet
B.2.2

Foundation Notes

- 1.) FOOTER SPECIFICATIONS: ALL FOOTER BOTTOMS TO BE A MINIMUM 12" BELOW NATURAL GRADE IN CLEAN TERMITE POISONED AND COMPACTED SOIL. (COMPACTED TO 98% MODIFIED PROCTOR, ASTM D1557).
- 2.) MAXIMUM DESIGN SOIL BEARING PRESSURE OF 2000 PSF.

Foundation Legend

- LOCATION OF VERTICAL
POURED CELL WITH REBAR
SHOWN THUS: 
- 16"x16" MASONRY COLUMN BLOCK
FILLED SOLID WITH CONCRETE
OVER PILE SHOWN THUS: 
- TOP OF MASONRY COLUMNS
@ - 8" A.F.F. SHOWN THUS: 
- 16" DIAMETER PILE 3' INTO CAP
ROCK (APPROXIMATELY 6' DEEP)
SHOWN THUS: 



Project No. APC-1512 - Scale: 1/4"=1'-0"

Southard Park
Affordable Units
Key West, Florida

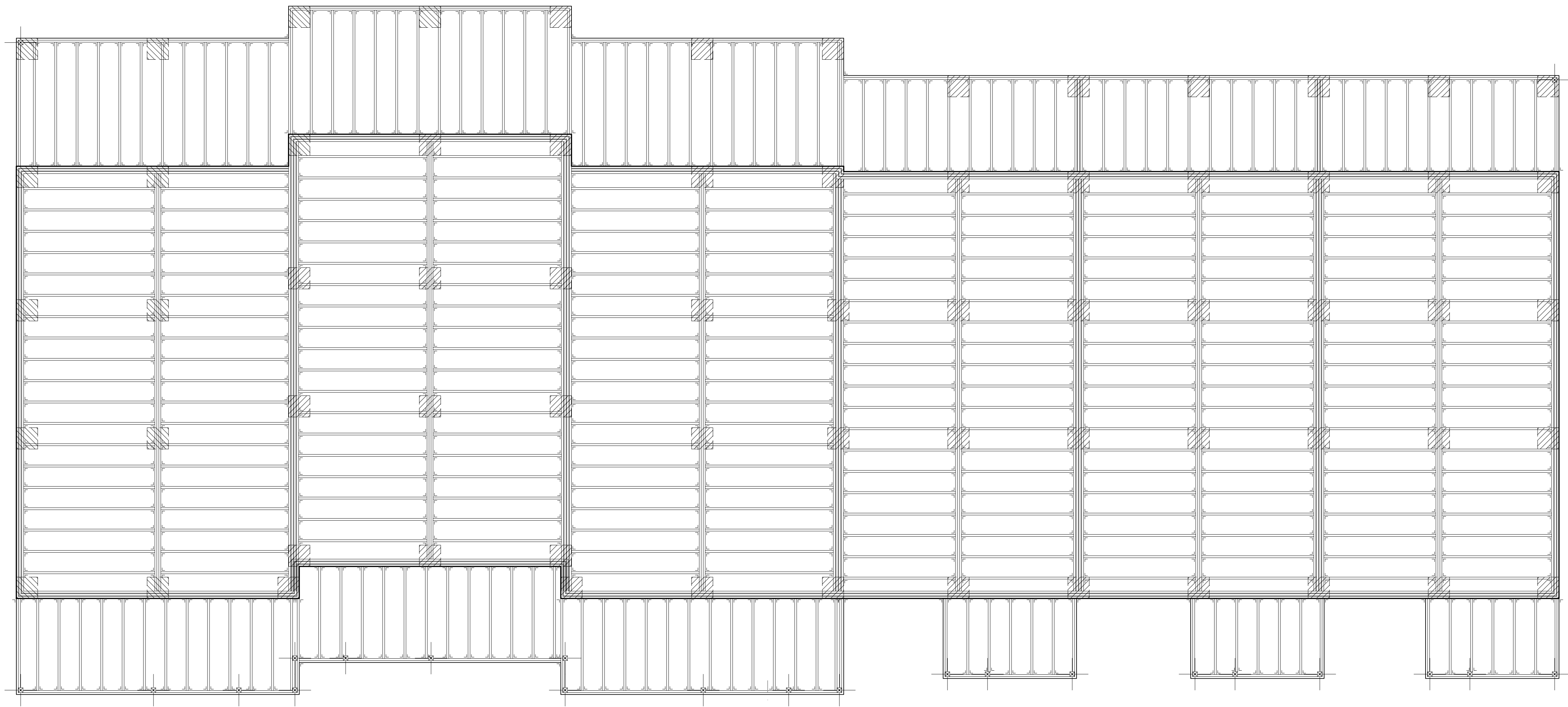
Date Issued: 04-27-15

No.	Date	Revision

Building B Foundation Plan

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

Sheet
B.3.1



Legend/Key	
MASONRY COLUMN OVER FOUNDATION PIER SHOWN THUS:	
SOLID SAWN LUMBER SHOWN THUS:	
4"x4" P.T. LOAD BEARING POST A.F.F. SHOWN THUS:	
JOIST/TRUSS HANGER LOCATION SHOWN THUS:	

Project No. APC-1512 - Scale: 1/4"=1'-0"

Souhard Park
Affordable Units
Key Weest, Florida

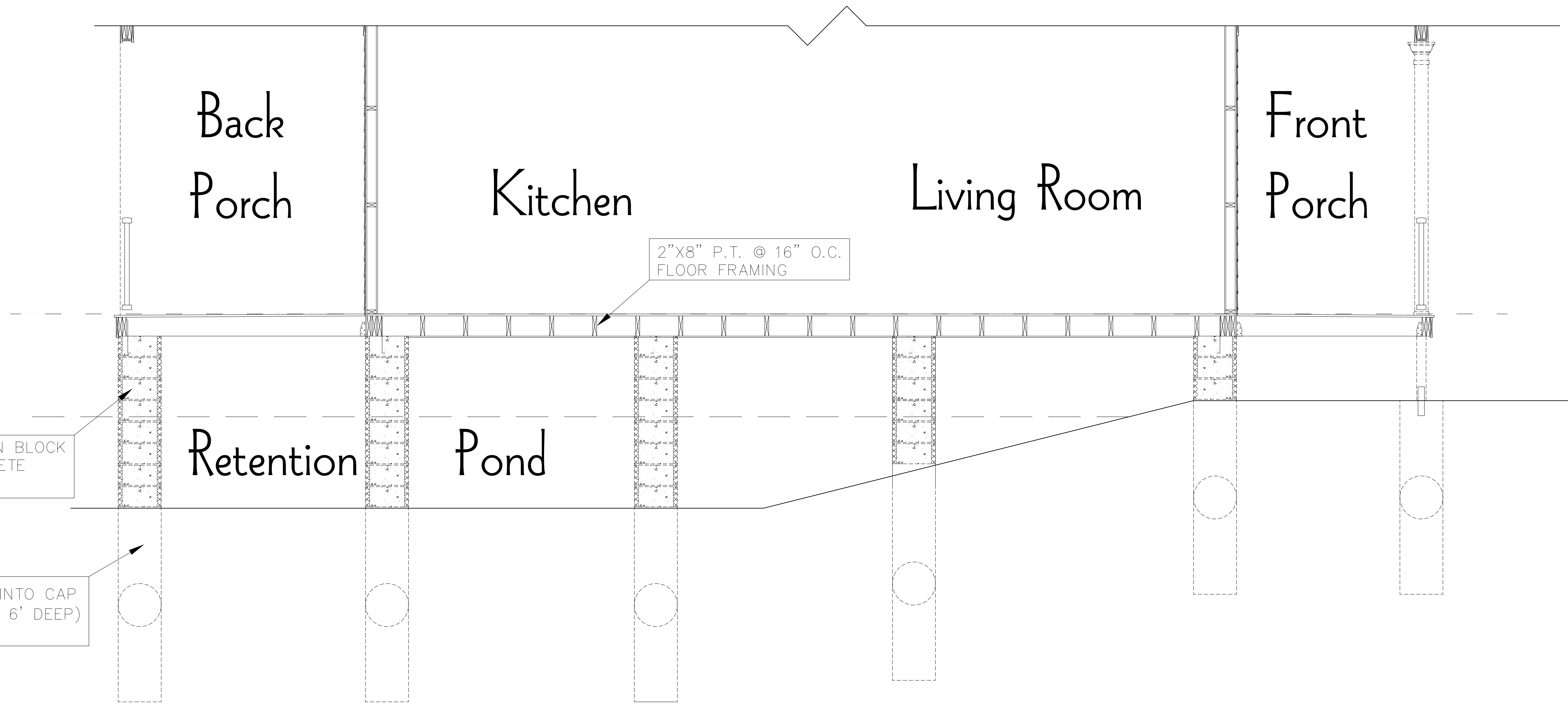
Date Issued: 04-27-15

No.	Date	Revision

Building B Floor Framing Plan

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

Sheet
B.4.1



16"X16" MASONRY COLUMN BLOCK
 FILLED SOLID WITH CONCRETE
 OVER PILE (TYPICAL)

16" DIAMETER PILE 3' INTO CAP
 ROCK (APPROXIMATELY 6' DEEP)
 (TYPICAL)

2"X8" P.T. @ 16" O.C.
 FLOOR FRAMING

Section 'A'-A'

Project No. APC-1512 - Scale: 1/2"=1'-0"

Southard Park
 Affordable Units
 Key Weest, Florida

Date Issued: 09-12-15

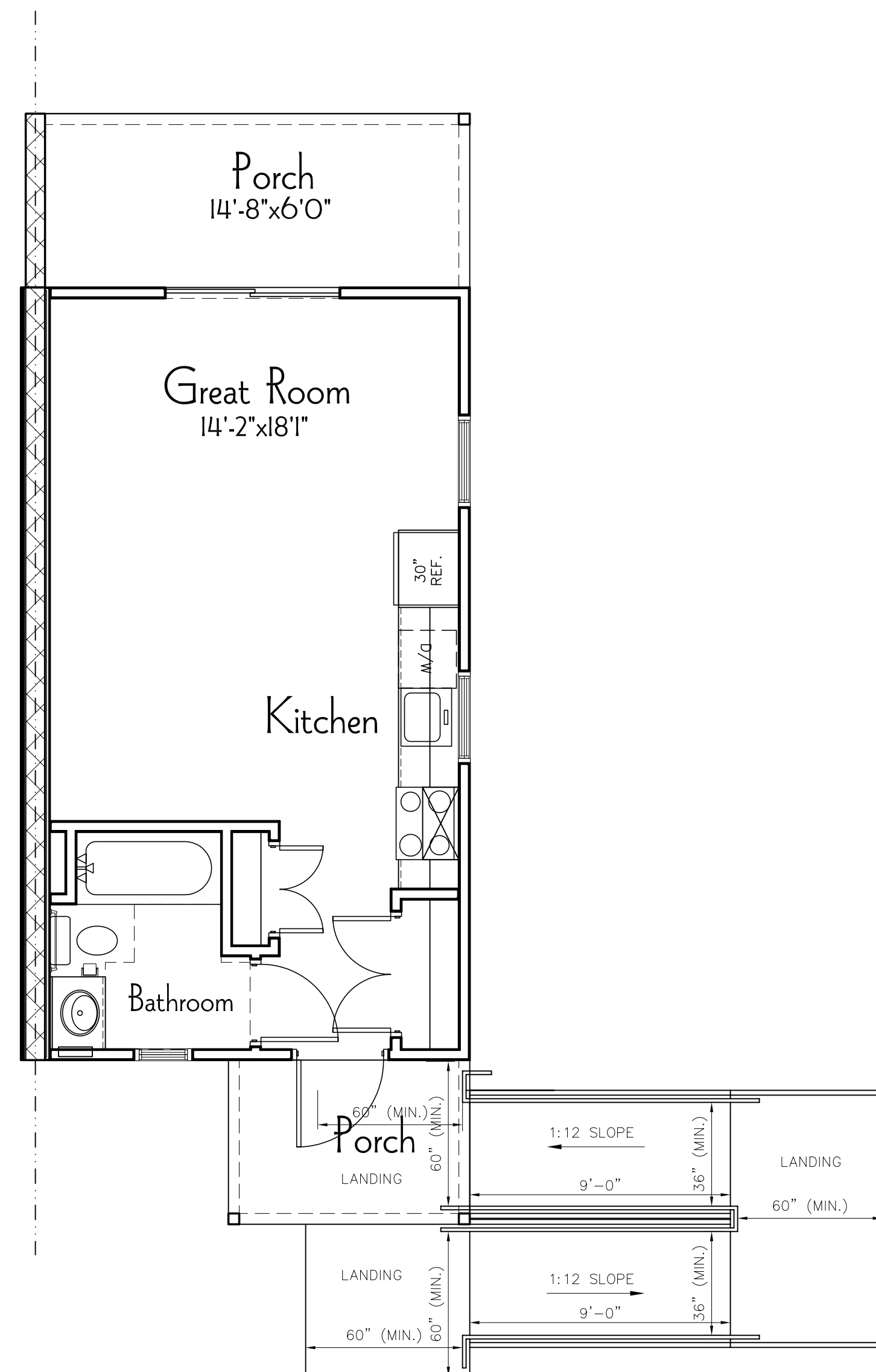
No.	Date	Revision

Building B Foundation Section

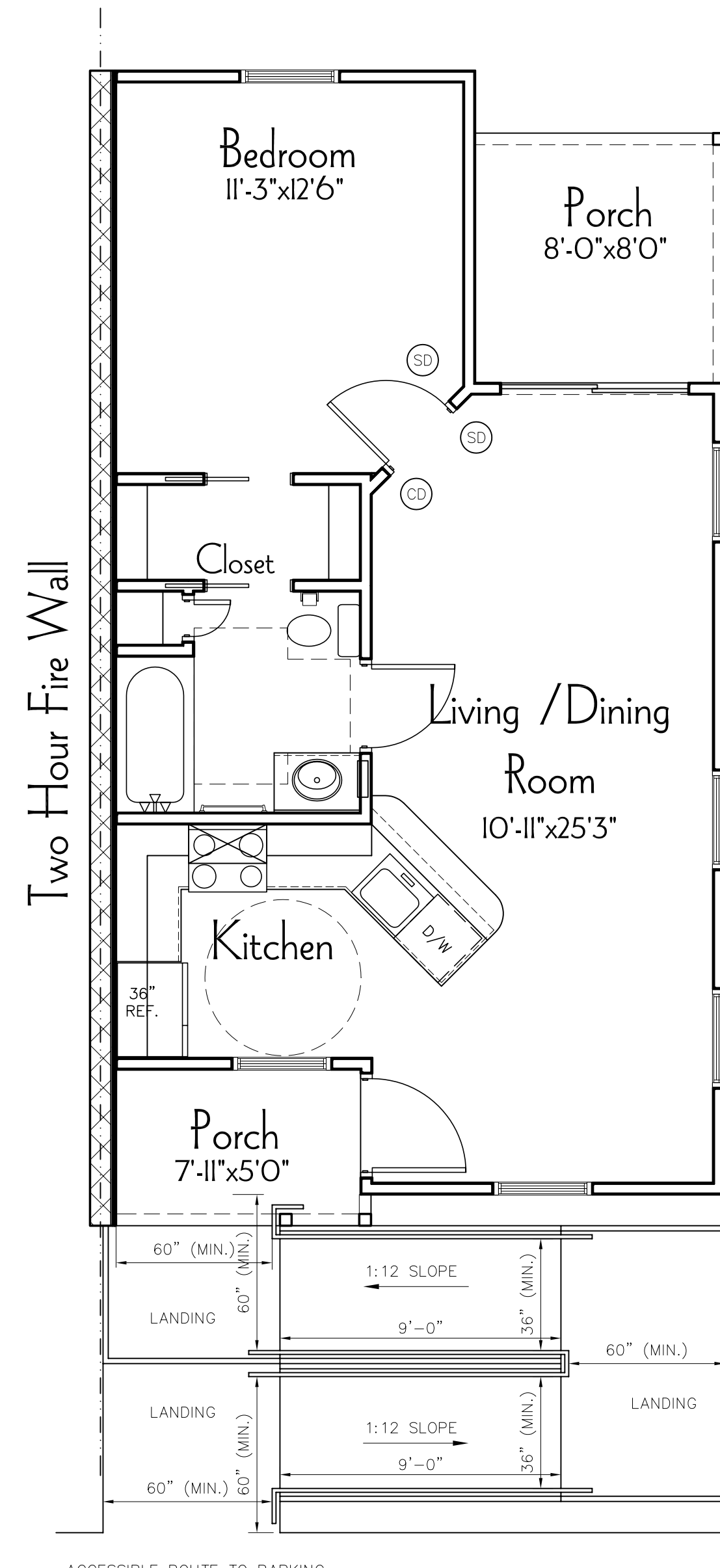
ALDERMAN Planning
 COMPANY
 Phone: 813.833.5161
 PO Box 55755 St. Petersburg FL, 33732

Sheet

B.5.1



One Story Unit 'A'
400 SF Living Area



One Story Unit 'C'
605 SF Living Area

Project No. APC-1512 - Scale: 1/4"=1'-0"

Southard Park
Affordable Units
Key Weest, Florida

Date Issued: 04-27-15

No.	Date	Revision

Accessible Units

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
PO Box 55755 St. Petersburg FL, 33732

Sheet
A.6.1

Life Safety Plan

Life Safety Legend

SYMBOL	DESCRIPTION
	DIRECTION AND PATH OF EGRESS TO EXIT LOCATION
	CABINET MOUNTED FIRE EXTINGUISHER AND TYPE
	SMOKE DETECTOR MOUNTED ON CEILING
	CARBON MONOXIDE DETECTOR MOUNTED ON CEILING
	2 HOUR FIRE SEPARATION

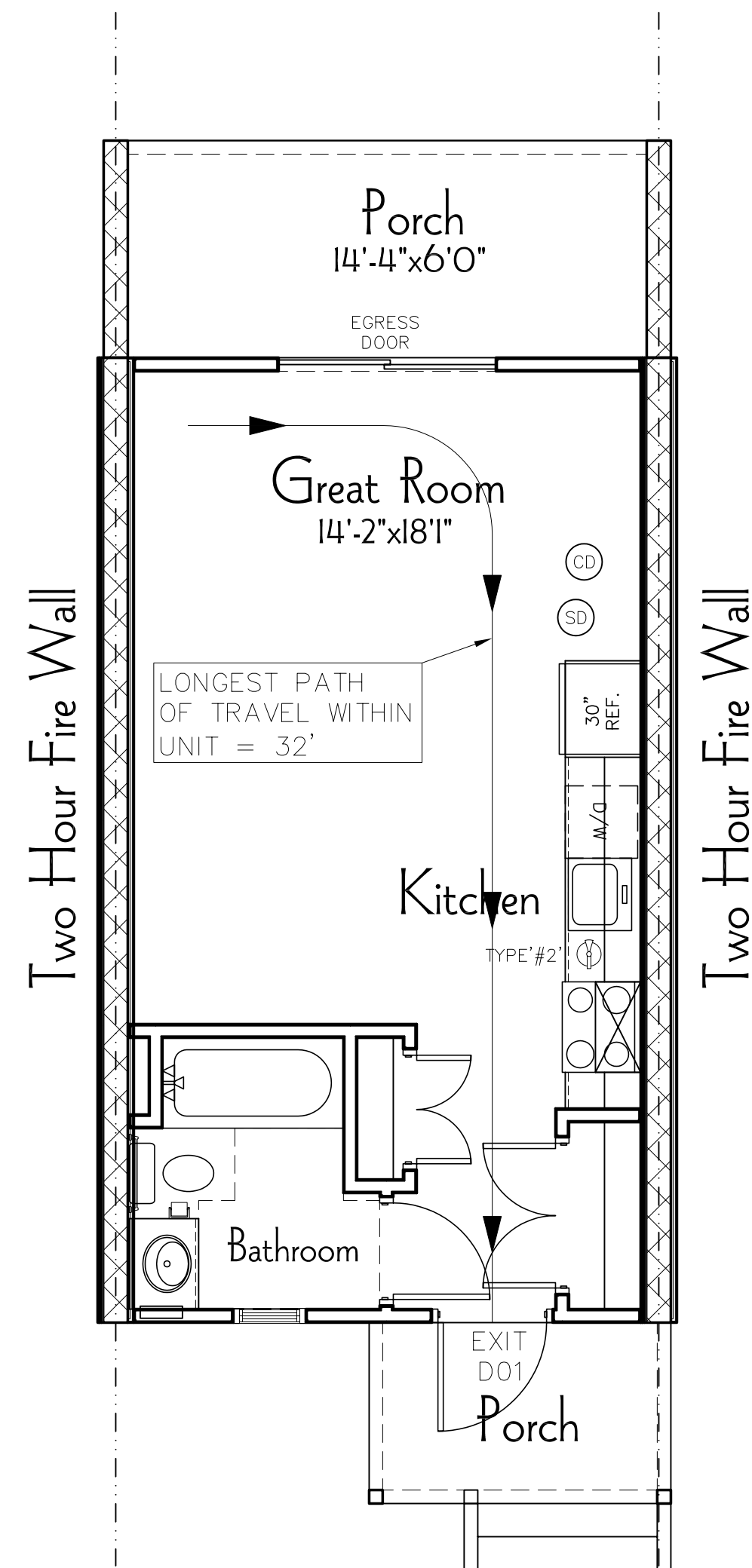
ABBREVIATIONS:
 F.E. = FIRE EXTINGUISHER
 L.F. = LINEAL FEET

Fire Extinguisher Notes

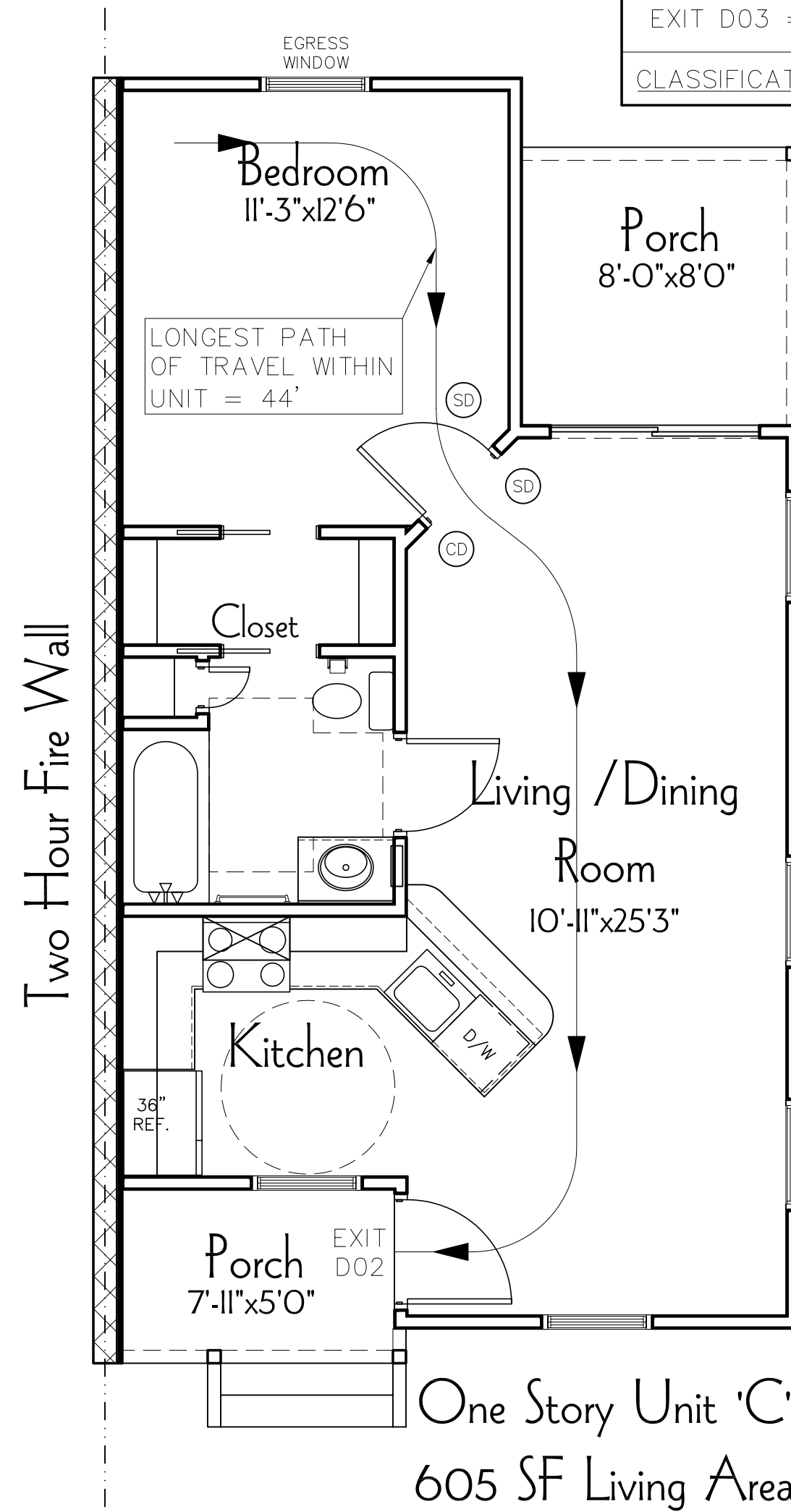
BUILDING HAZARD OCCUPANCY: LIGHT (LOW)
 FIRE EXTINGUISHER TYPE#2 MINIMUM RATING: 2-A 10BC

Life Safety Data:

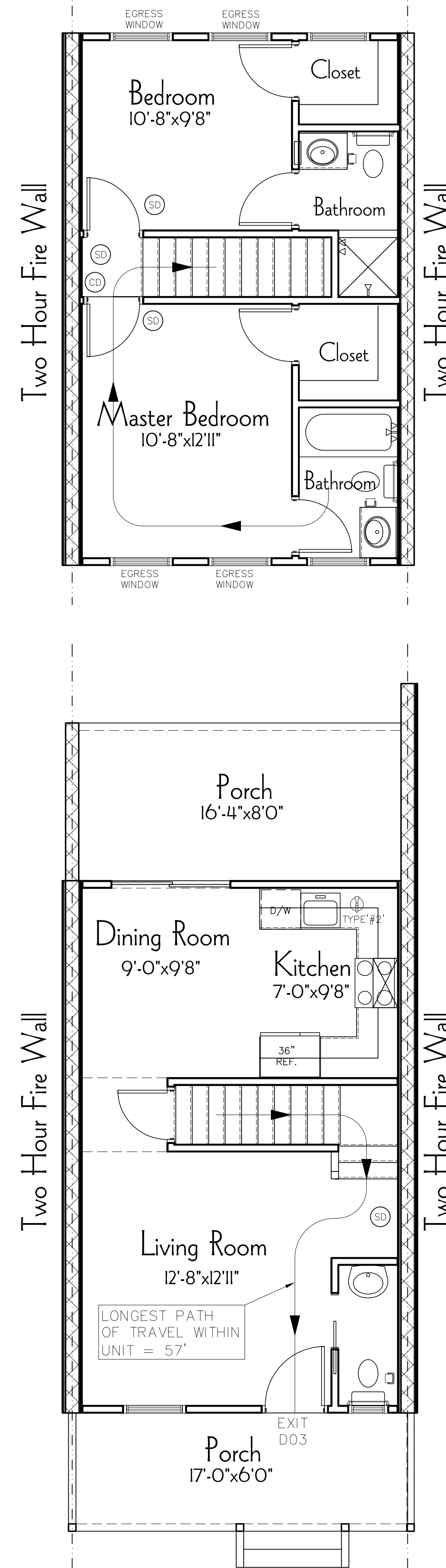
BUILDING AREA TABULATION:		
UNIT:		SQUARE FEET:
'A':		400
'B':		605
'C':		918
TYPE OF CONSTRUCTION: TYPE V-B-SPRINKLED		
HEIGHT: 28'-8" TO PEAK OF ROOF		
BUILDING OCCUPANCY: RESIDENTIAL GROUP R, R-2, APARTMENT HOUSES		
NUMBER OF STORIES:	ALLOWED	ACTUAL
	2	1 & 2
FLOOR AREA:	7,000 SF	PER BUILDING
TRAVEL DISTANCE TO EXITS:	125 FT	LONGEST PATH OF TRAVEL:
(NFPA101-30.2.6.2)		UNIT 'A' = 32'
		UNIT 'B' = 44'
		UNIT 'C' = 57'
EGRESS CAPACITY:		
OCCUPANT LOAD:		
UNIT 'A': 400 SF/200 SF GROSS =		PERSONS
UNIT 'B': 605 SF/200 SF GROSS =		4
UNIT 'C': 918 SF/200 SF GROSS =		5
SINGLE EXIT TOTAL REQUIRED:		
UNIT 'A' = 2 PERSONS X 0.2 INCHES PER PERSON =		
0.4 INCHES MINIMUM REQUIRED WIDTH.		
UNIT 'B' = 4 PERSONS X 0.2 INCHES PER PERSON =		
0.8 INCHES MINIMUM REQUIRED WIDTH.		
UNIT 'C' = 5 PERSONS X 0.2 INCHES PER PERSON =		
1.0 INCHES MINIMUM REQUIRED WIDTH.		
EGRESS CAPACITY PER EXIT PROVIDED:		
EXIT D01 = 34" CLEAR WIDTH (170 OCCUPANT CAPACITY)		
EXIT D02 = 34" CLEAR WIDTH (170 OCCUPANT CAPACITY)		
EXIT D03 = 34" CLEAR WIDTH (170 OCCUPANT CAPACITY)		
CLASSIFICATION OF HAZARD OF CONTENTS: LOW		



One Story Unit 'A'
 400 SF Living Area



One Story Unit 'C'
 605 SF Living Area



Two Story Unit 'B'
 918 SF Living Area

Project No. APC-1512 - Scale: 1/4"=1'-0"
 No.: _____ Date: _____
 Revision: _____

Southard Park
 Affordable Units
 Key Weest, Florida

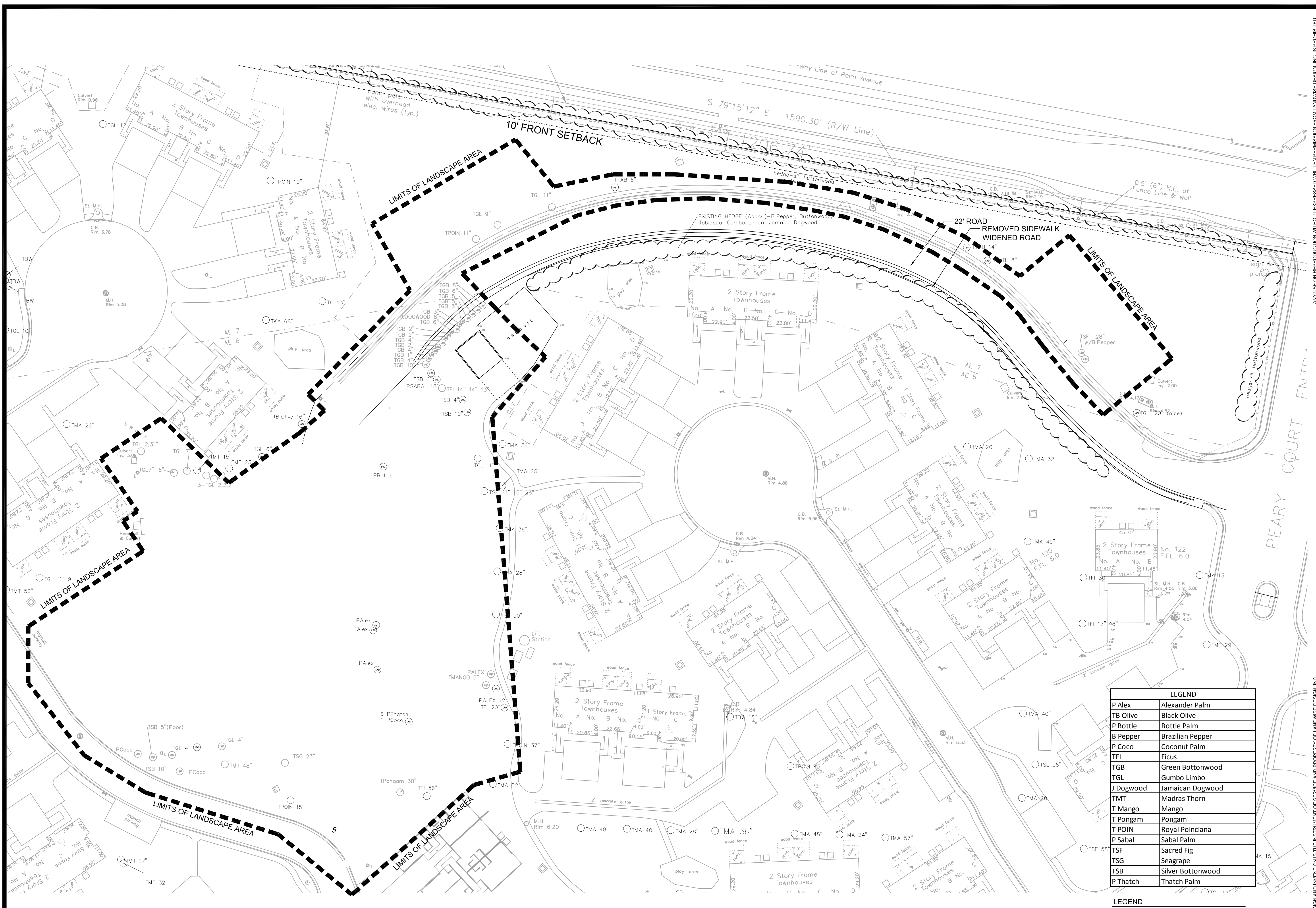
Life Safety Plans

ALDERMAN Planning
 COMPANY
 Phone: 813.833.5161
 PO Box 55755 St. Petersburg FL, 33732

Sheet

L.1.1

Landscape and Civil Plans

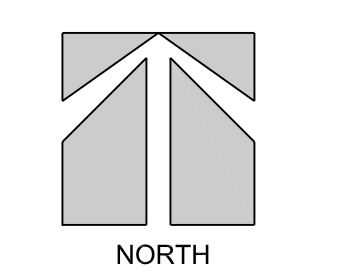


ALL TREES TO REMAIN WITHIN THE LIMITS OF LANDSCAPE AREA AND 15' ADJACENT SHALL BE PROTECTED WITH TREE PROTECTION FENCING PER DETAIL ON SHEET L-5 FOR THE DURATION OF CONSTRUCTION.

LEGEND	
P Alex	Alexander Palm
TB Olive	Black Olive
P Bottle	Bottle Palm
B Pepper	Brazilian Pepper
P Coco	Coconut Palm
TFI	Ficus
TGB	Green Bottomwood
TGL	Gumbo Limbo
J Dogwood	Jamaican Dogwood
TMT	Madras Thorn
T Mango	Mango
T Pongam	Pongam
T POIN	Royal Poinciana
P Sabal	Sabal Palm
TSF	Sacred Fig
TSG	Seagrape
TSB	Silver Bottomwood
P Thatch	Thatch Palm

LEGEND	
01 X	TREES TO BE REMOVED
02 Δ	TREES TO BE RELOCATED

PEARY COURT
KEY WEST, FLORIDA



SCALE: 1" = 30'-0"



LANDSCAPE PLANS

DATE: 10.27.15

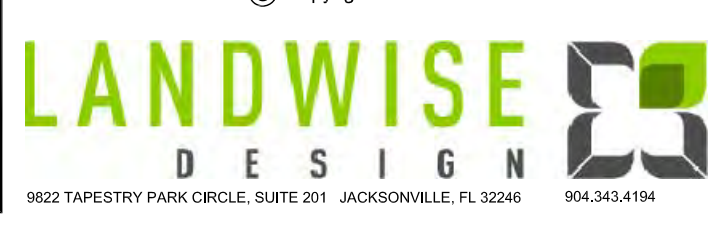
REVISIONS:		
No.	Date	Notes
1.		

TREE INVENTORY PLAN

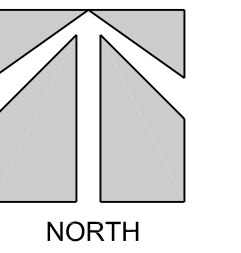
SHEET NUMBER:

L-1

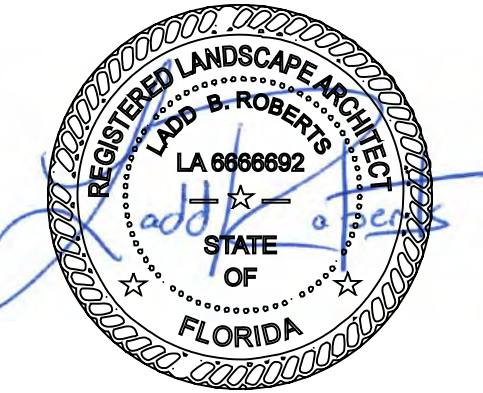
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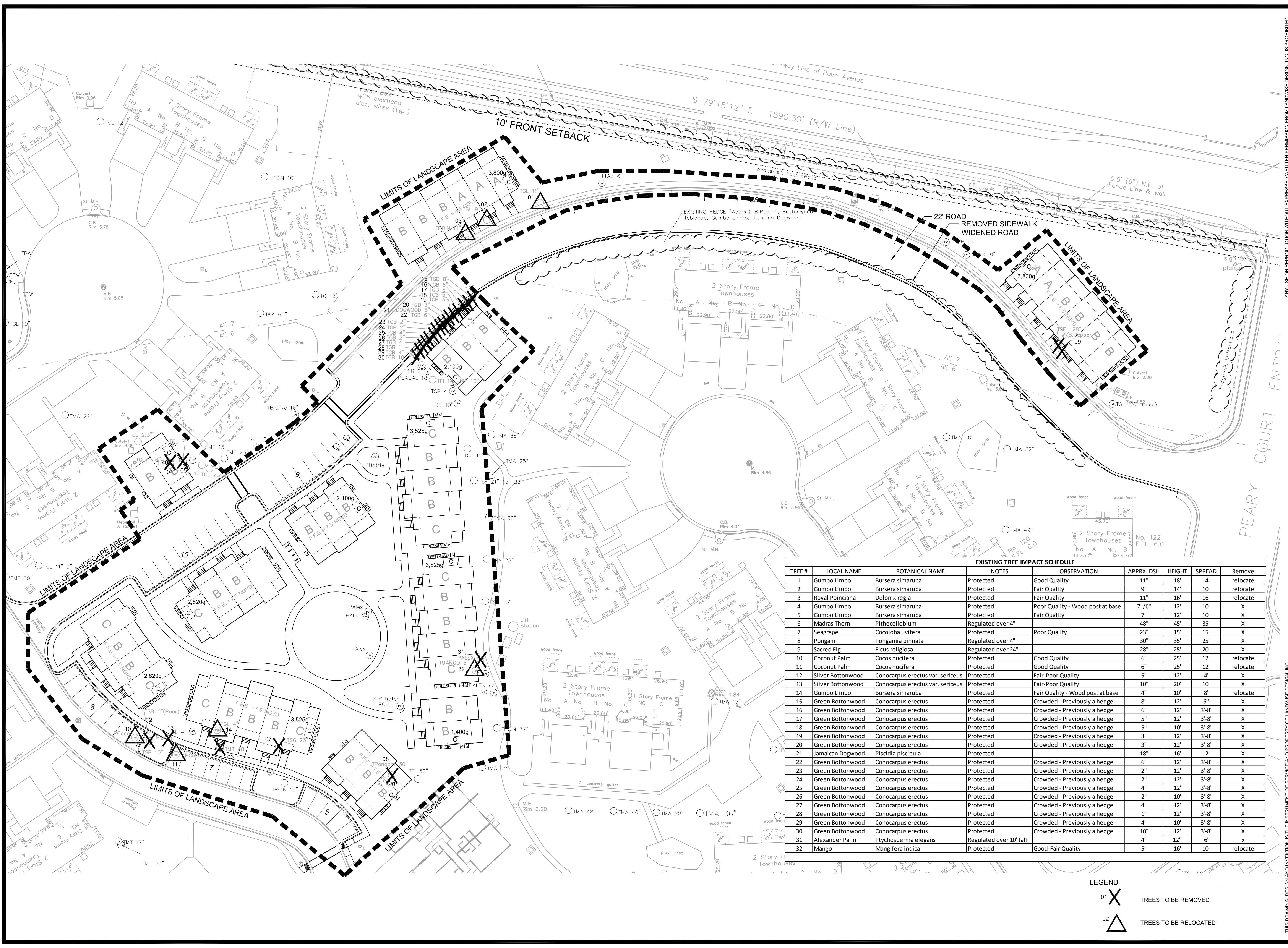
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SCALE: 1" = 30'-0"



LANDSCAPE PLANS



EXISTING TREE IMPACT SCHEDULE								
TREE #	LOCAL NAME	BOTANICAL NAME	NOTES	OBSERVATION	APPR. DSH	HEIGHT	SPREAD	Remove
1	Gumbo Limbo	Bursera simaruba	Protected	Good Quality	11"	18'	14'	relocate
2	Gumbo Limbo	Bursera simaruba	Protected	Fair Quality	9"	14'	10'	relocate
3	Royal Poinciana	Delonix regia	Protected	Fair Quality	11"	16'	16'	relocate
4	Gumbo Limbo	Bursera simaruba	Protected	Poor Quality - Wood post at base	7"/6"	12'	10'	X
5	Gumbo Limbo	Bursera simaruba	Protected	Fair Quality	7"	12'	10'	X
6	Madras Thorn	Pithecellobium	Regulated over 4"		48"	45'	35'	X
7	Seagrape	Cocoloba uvifera	Protected	Poor Quality	23"	15'	15'	X
8	Pongam	Pongamia pinnata	Regulated over 4"		30"	35'	25'	X
9	Sacred Fig	Ficus religiosa	Regulated over 24"		28"	25'	20'	X
10	Coconut Palm	Cocos nucifera	Protected	Good Quality	6"	25'	12'	relocate
11	Coconut Palm	Cocos nucifera	Protected	Good Quality	6"	25'	12'	relocate
12	Silver Bottonwood	Conocarpus erectus var. sericeus	Protected	Fair-Poor Quality	5"	12'	4'	X
13	Silver Bottonwood	Conocarpus erectus var. sericeus	Protected	Fair-Poor Quality	10"	20'	10'	X
14	Gumbo Limbo	Bursera simaruba	Protected	Fair Quality - Wood post at base	4"	10'	8'	relocate
15	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	8"	12'	6"	X
16	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	6"	12'	3'-8"	X
17	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	5"	12'	3'-8"	X
18	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	5"	10'	3'-8"	X
19	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	3"	12'	3'-8"	X
20	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	3"	12'	3'-8"	X
21	Jamaican Dogwood	Piscidia piscipula	Protected		18"	16'	12'	X
22	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	6"	12'	3'-8"	X
23	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	2"	12'	3'-8"	X
24	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	2"	12'	3'-8"	X
25	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	4"	12'	3'-8"	X
26	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	2"	10'	3'-8"	X
27	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	4"	12'	3'-8"	X
28	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	1"	12'	3'-8"	X
29	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	4"	10'	3'-8"	X
30	Green Bottonwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	10"	12'	3'-8"	X
31	Alexander Palm	Ptychosperma elegans	Regulated over 10' tall		4"	12"	6"	X
32	Mango	Mangifera indica	Protected	Good-Fair Quality	5"	16'	10'	relocate

LEGEND
01 X TREES TO BE REMOVED
02 Δ TREES TO BE RELOCATED

DATE: 10.27.15

REVISIONS:

No.	Date	Notes
1.		

TREE IMPACT PLAN

SHEET NUMBER:

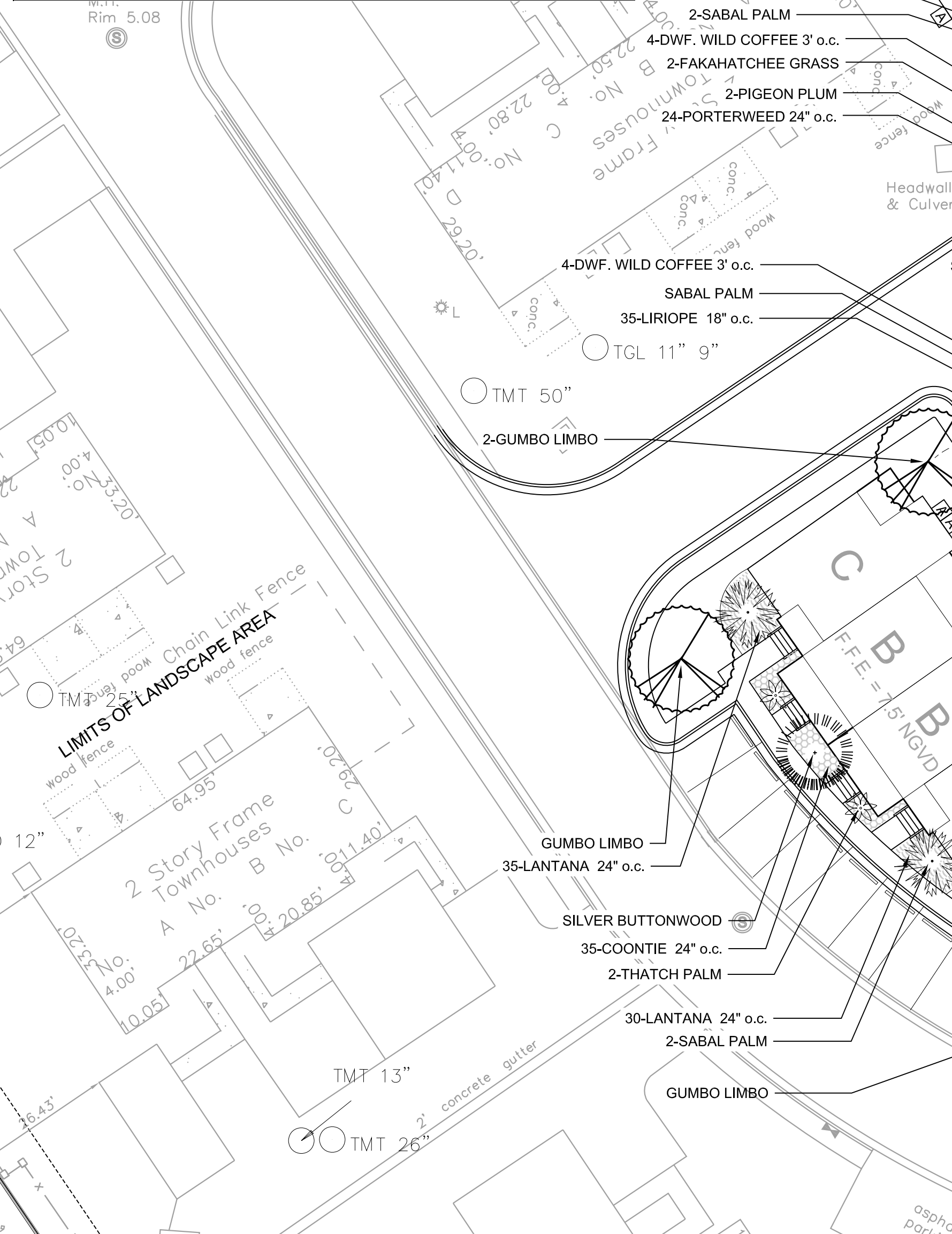
L-2

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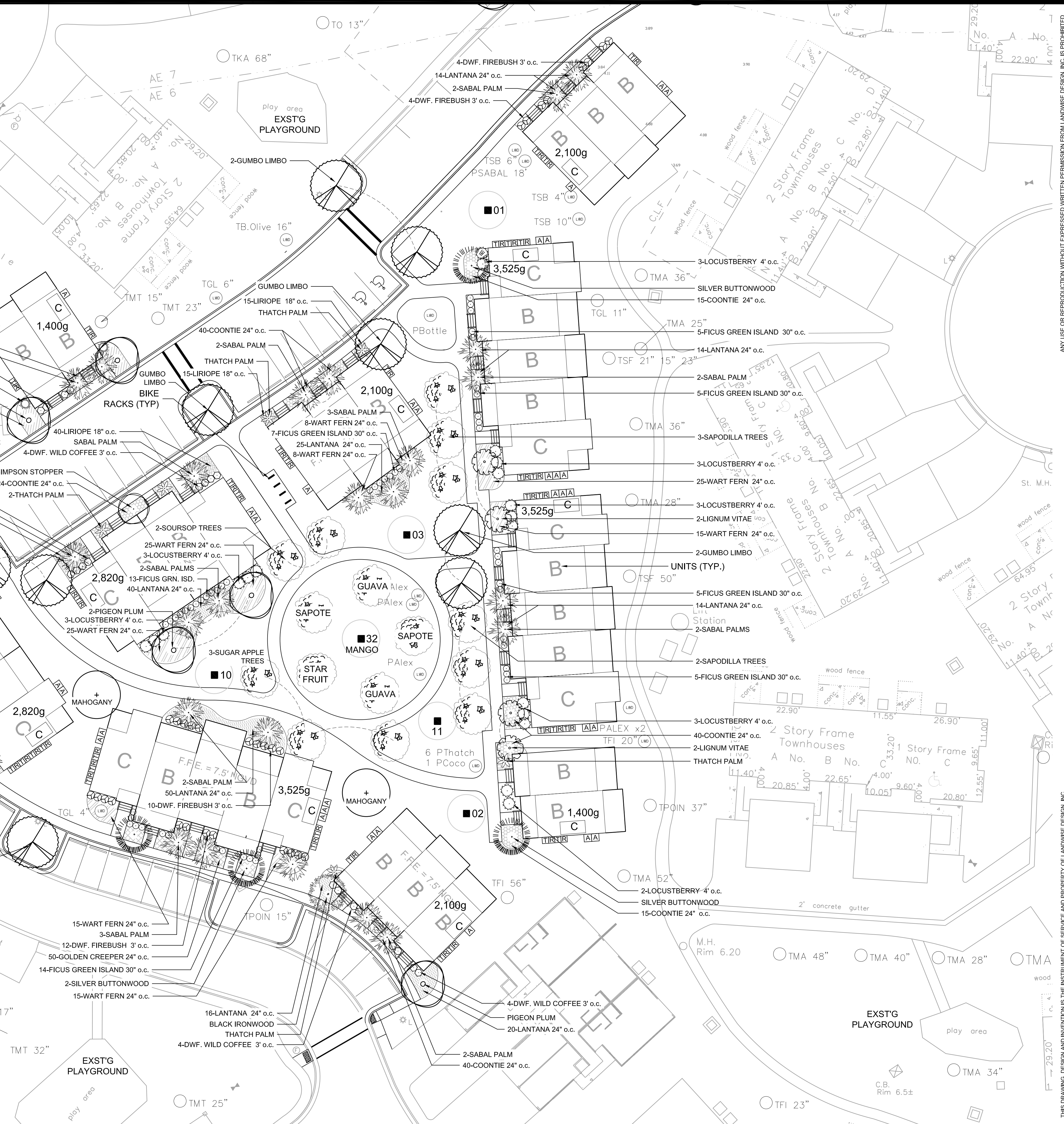


LANDSCAPE CALCULATIONS - Chapter 108.412 to 108.416			
108.412(a) MINIMUM LANDSCAPE AREA	REQUIRED	PROVIDED	
MINIMUM LANDSCAPE 20% OF BLDG. SITE AREA (Limits of Landscape Area - 106,375)	20% / 21,275 SF	40.4% / 41,850 SF	
108.412(b) MINIMUM NATIVE PLANT REQUIREMENT 70%	PROVIDED	PERCENTAGE	
NATIVE PLANTS (70% Minimum)	32	70%+	***Plus 45 Native Palms
EXOTIC PLANTS (30% Maximum)	0	30% or less	
FRUIT TREES	16		
108.413 MINIMUM STREET FRONTAGE LANDSCAPING ALONG ROW			
Not Applicable - Interior Improvements / Private Drives			
108.414 INTERIOR LANDSCAPE REQUIREMENT			
Not Applicable			
108.415 PERIMETER LANDSCAPE REQUIREMENT			
Not Applicable - Interior Improvements / Private Drives			
108.416 NON-VEHICULAR OPEN SPACE (NOS) TREE REQUIREMENT			
Not Applicable - Interior Improvements / Private Drives			

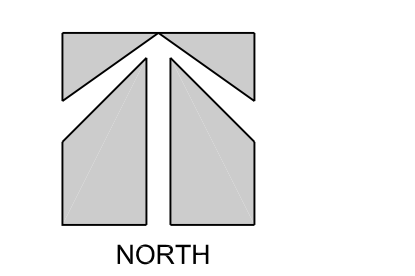
GENERAL INFORMATION & TREE MITIGATION	
ZONING	HSMR
GROSS SITE AREA	24.18 ACRES OR 1,053,433 SF
BUILDING COVERAGE	20.0% or 210,412 SF
IMPERVIOUS SURFACE AREA	SEE CIVIL
TREE MITIGATION CALCULATIONS	
TREES IMPACTED	DSH INCHES REMOVED
PROTECTED TREES IMPACTED	252"
MITIGATION REQUIRED (% per staff)	160.9"
DSH INCHES PROVIDED (see planting schedule)	174"



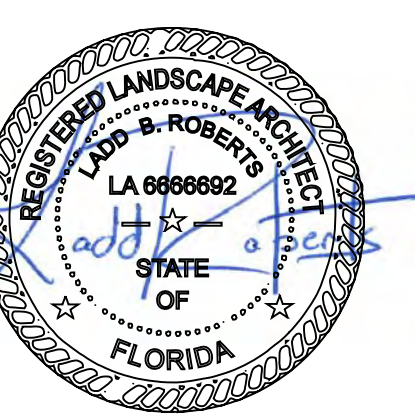
LANDSCAPE CALCULATIONS - Chapter 108.346 to 108.347		
108.346 OPEN SPACE	REQUIRED	PROVIDED
RESIDENTIAL USE = 35% REQ. OF TOTAL SITE AREA (103,375 SF) (Limits of Landscape Area)	35% / 37,231 SF	40.4% / 41,850 SF
108.347 REQUIRED SCREENING		
NORTH ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		
SOUTH ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		
EAST ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		
WEST ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		



PEARY COURT
KEY WEST, FLORIDA



SCALE: 1" = 20'-0"



LANDSCAPE PLANS

DATE: 10.27.15

REVISIONS:		
No.	Date	Notes
1.		

LANDSCAPE PLAN

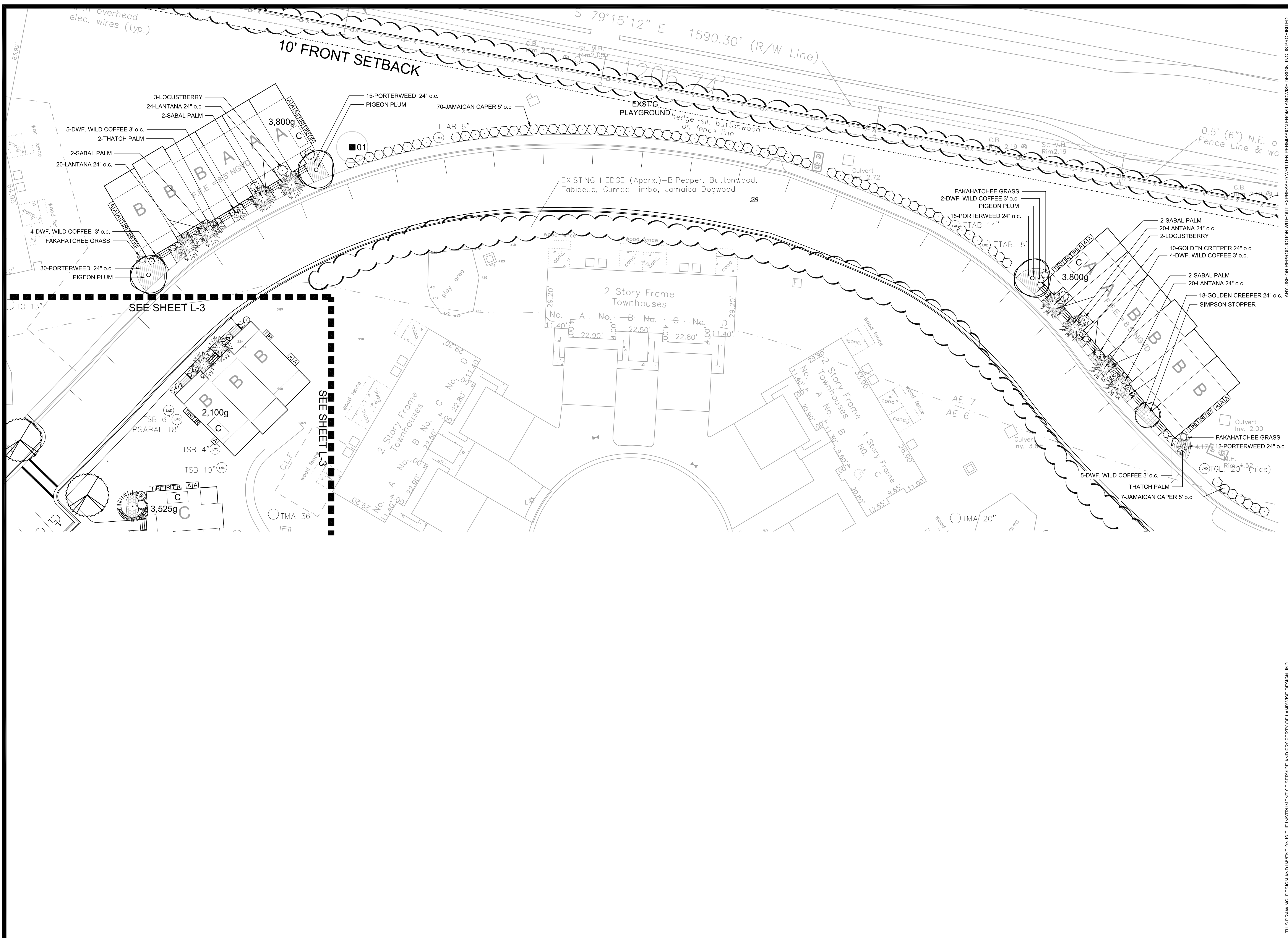
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L-3

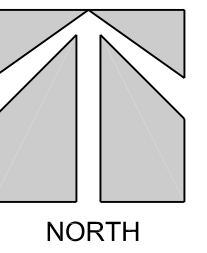
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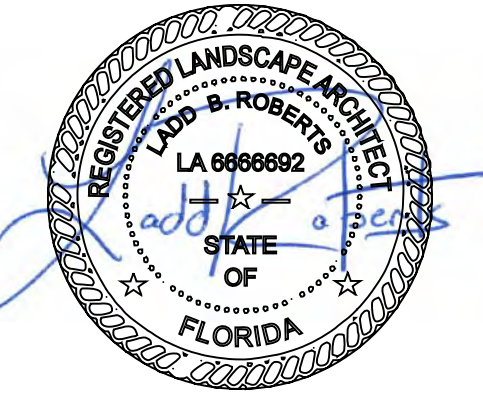
1822 TAPESTRY PARK CIRCLE, SUITE 201 JACKSONVILLE, FL 32246 904.343.4194



PEARY COURT
KEY WEST, FLORIDA



SCALE: 1" = 20'-0"



LANDSCAPE PLANS

DATE: 10.27.15

REVISIONS:

No.	Date	Notes
1.		

LANDSCAPE PLAN

SHEET NUMBER:
L-4

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GENERAL NOTES:

AT LEAST 70% OF THE SPECIFIED SPECIES FOR REQUIRED MATERIAL WILL BE NATIVE AS STIPULATED IN THE MINIMUM NATIVE PLANT REQUIREMENT.

100% OF THE REQUIRED REPLACEMENT TREES SHALL BE NATIVE.

ALL SHADE TREES TO BE 4' MIN. FROM ALL SIDEWALKS, CURBS OR HARD SURFACES.

CONTRACTOR RESPONSIBLE TO PROVIDE ON SITE TOTAL CALIPER INCHES SHOWN ON PLANTING SCHEDULE.

CONTRACTOR TO VERIFY ALL PLANT QUANTITIES AND SQUARE FOOTAGES.

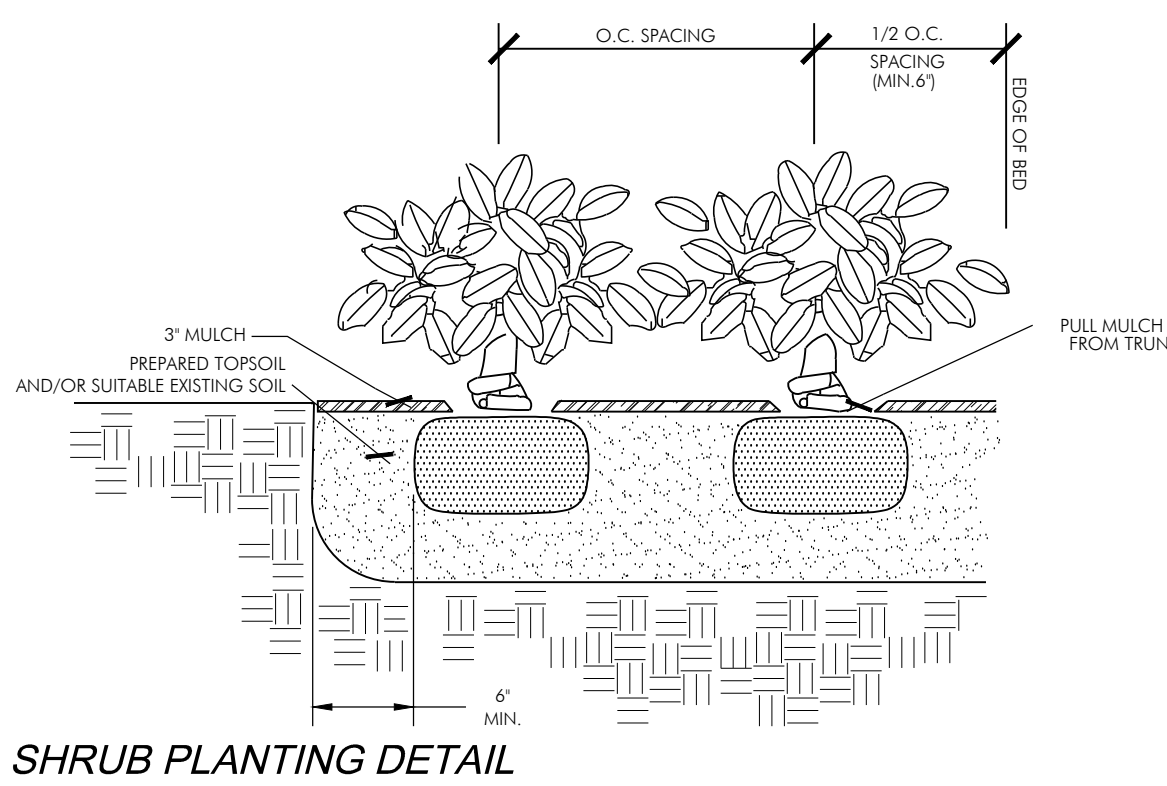
CONTRACTOR RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE APPROVAL LETTER RELEASES LANDSCAPE TO OWNERS.

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGN TO MAXIMIZE WATER CONSERVATION AND SHALL CONFORM TO SECTION 3-13.12: 'C' OF THE CITY OF KEY WEST CODE. AS BUILT DRAWING REQUIRED.

ALL LARGE CANOPY AND RELOCATED TREES SHALL UTILIZE IRRIGATION BUBBLERS AT BASE OF TREE.

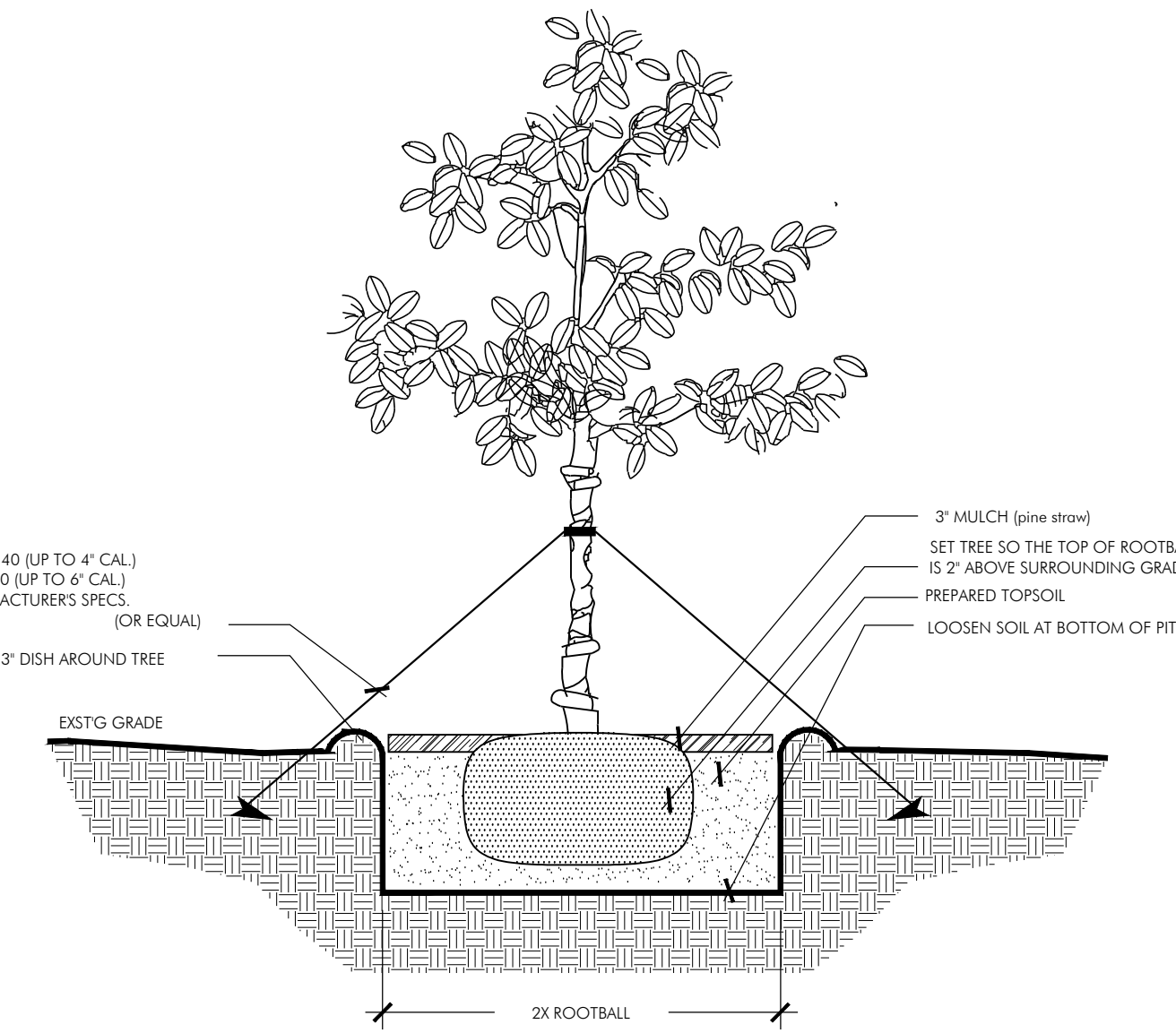
ALL TREES TO REMAIN WITHIN THE LIMITS OF LANDSCAPE AREA DURING CONSTRUCTION SHALL BE PROVIDED WITH A PROTECTION BARRIER COMPLIANT WITH SECTION 110-366, CITY OF KEY WEST CODE.

ALL BRAZILIAN PEPPER TREES / PLANTS SHALL BE REMOVED AND DESTROYED WITHIN THE PEARY COURT PROPERTY.



SHRUB PLANTING DETAIL

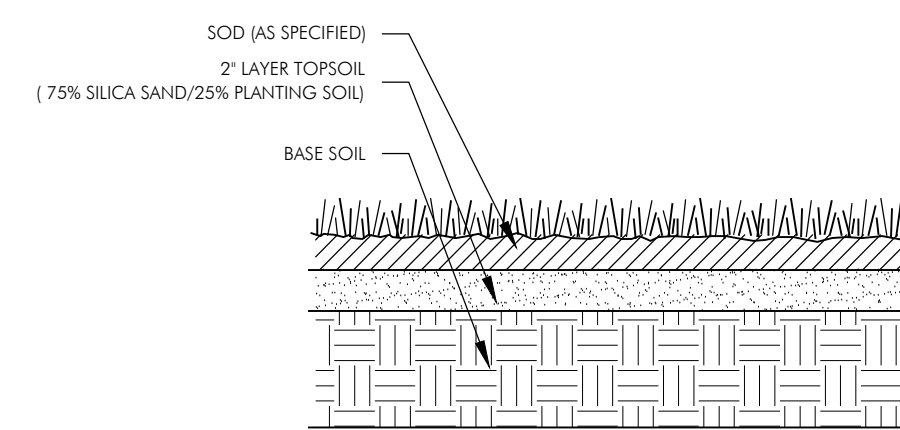
ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



TREE PLANTING DETAIL

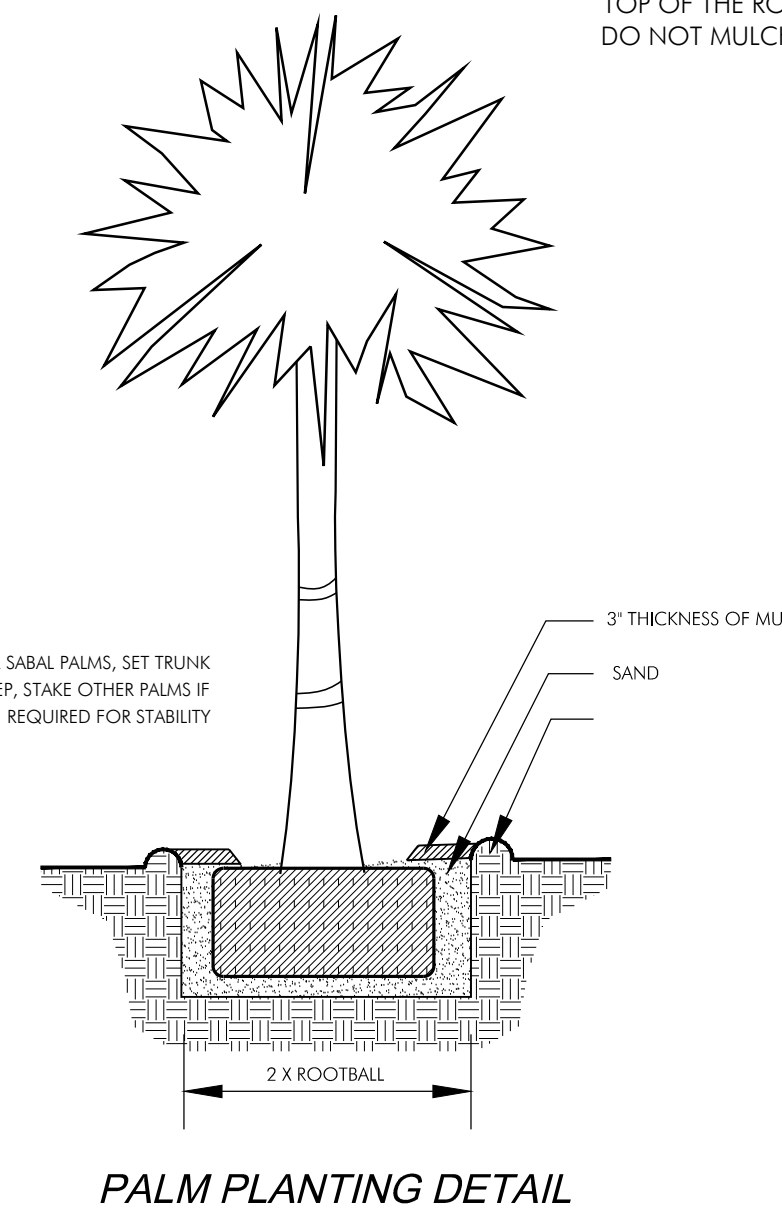
ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

THE ROOTBALL OF THE TREE SHOULD BE POSITIONED IN THE HOLE SO THAT THE FINISH GRADE OF THE BACKFILL SOIL AND LANDSCAPE SOIL IS 2\"/>

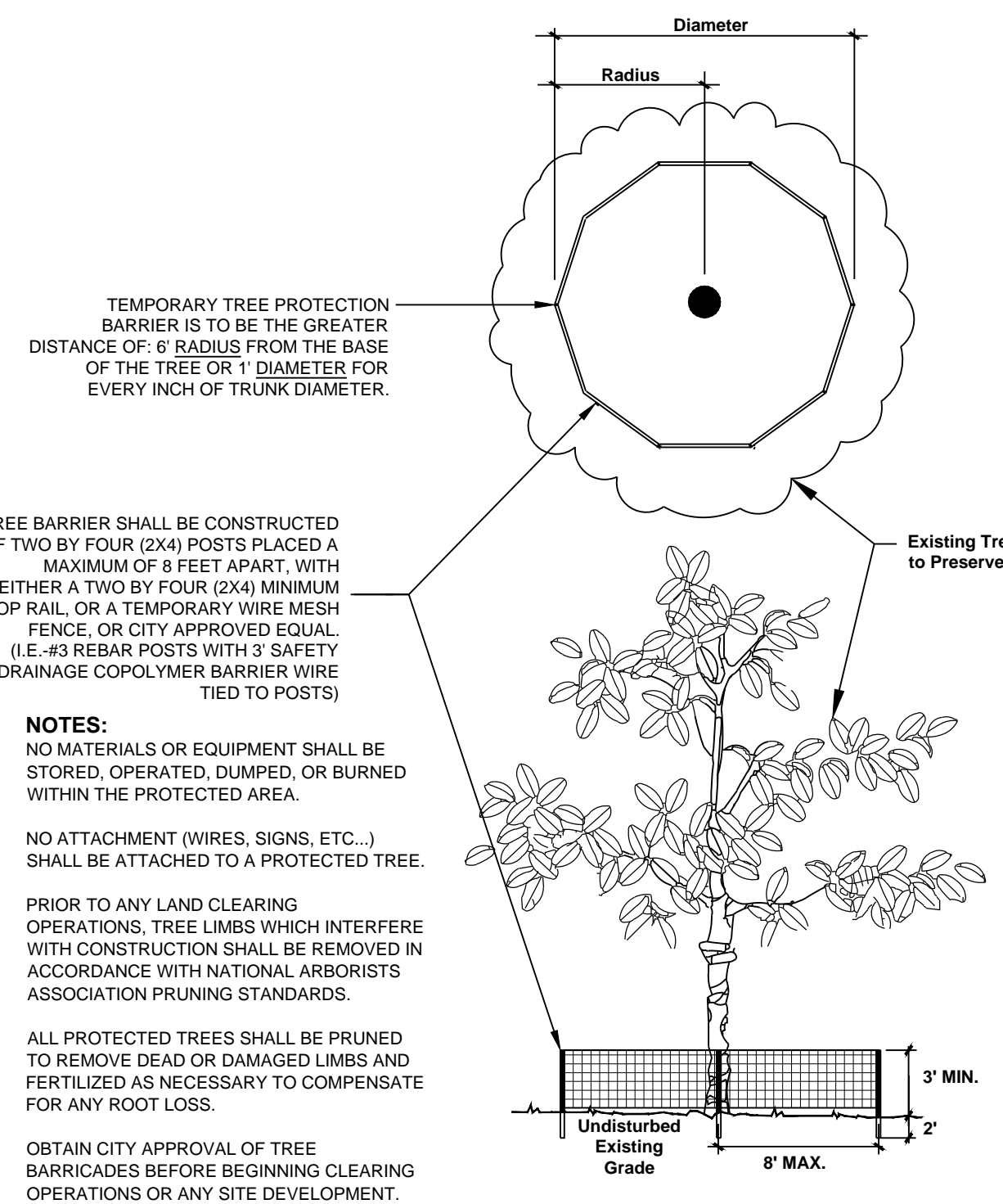


SODDING DETAIL

ALL AREAS TO BE SODDED TO RECEIVE 2\"/>



PALM PLANTING DETAIL



TREE PROTECTION BARRIER DETAIL

NO SCALE

Planting Palette

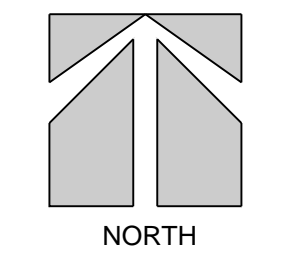
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	MITIGATION INCHES	NOTE	NATIVE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE
PALMS							SHRUBS					
34	SABAL PALM	Sabal palmetto	12-18 clr. trnk.				40	DWF. WILD COFFEE	Psychotria ligustrifolia	3 gal., 24\"/>		
11	KEY THATCH PALM	Thrinax morrisii	4-6' o.h.		FL #1	NATIVE	49	FICUS 'GREEN ISLAND'	Ficus 'Green Island'	3 gal., 14\"/>		
TREES							52	LOCUSTBERRY	Brysonima lucida	7 gal., 36\"/>		
CANOPY							77	JAMAICAN CAPER	Capparis cynophallophora	7 gal., 36\"/>		
2	MAHOGANY	Sweitenia mahogany	4\"/>									
8	PIGEON PLUM	Coccoloba diversifolia	4\"/>									
10	GUMBO LIMBO	Bursera simaruba	4\"/>									
UNDERSTORY							30	DWF. FIREBUSH	Hamelia patens 'compacta'	3 gal., full	FL #1	NATIVE
4	LIGNUM VITAE	Guaiacum sanctum	2\"/>									
2	SIMPSON STOPPER	Myrianthes fragrans	3\"/>									
1	BLACK IRONWOOD	Krugiodendron ferreum	3\"/>									
5	SILVER BUTTONWOOD	Conocarpus erectus 'sericeus'	3\"/>									
FRUIT TREES							5	FAKAHATCHEE GRASS	Tripsacum dactyloides	7 gal., full	FL #1	NATIVE
6	SAPODILLA	Manilkara zapota	3\"/>									
2	SOURSOP	Annona muricata	3\"/>									
3	SUGAR APPLE	Annona squamosa	3\"/>									
2	SAPOTE	Pouteria sapota 'mamey'	3\"/>									
2	GUAVA	Psidium guajava	3\"/>									
1	STAR FRUIT	Averrhoa carambola	3\"/>									
				TOTAL MITIGATION INCHES	174\"/>							

GROUND COVER (3,900 SF)

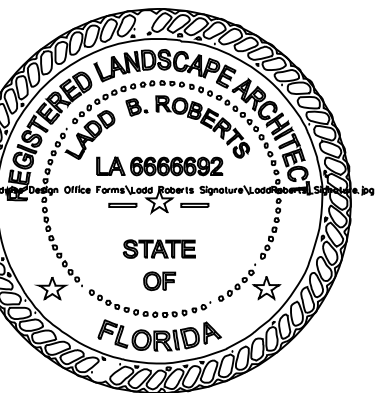
135	LIRIOPE	Liriope muscari 'super blue'	1 gal., full	FL #1	NATIVE
136	WART FERN	Microsorium scolopendrum	3 gal., full	FL #1	NATIVE
78	GOLDEN CREEPER	Ernodea littoralis	1 gal., full	FL #1	NATIVE
106	PORTERWEED	Ernodea littoralis	1 gal., full	FL #1	NATIVE
209	COONTIE	Zamia pumila	7 gal., full	FL #1	NATIVE
292	LANTANA	Lantana depressa	3 gal., full	FL #1	NATIVE

BAHIA SOD (to replace damage existing bahia sod during construction)

PEARY COURT
KEY WEST, FLORIDA



SCALE: 1\"/>



LANDSCAPE PLANS

DATE: 10.27.15

REVISIONS:

No.	Date	Notes
1.		

SCHEDULE & DETAILS

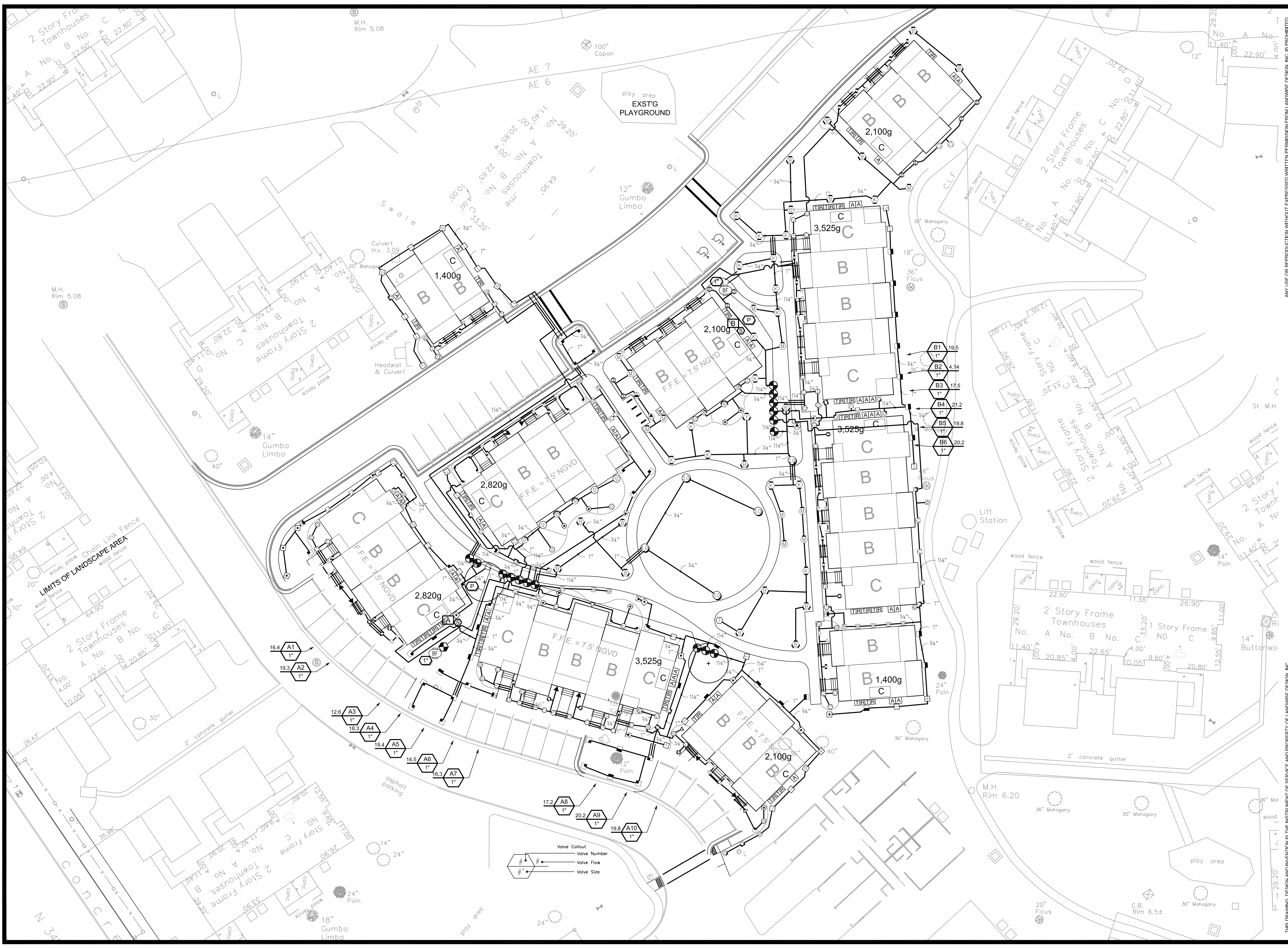
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L-5

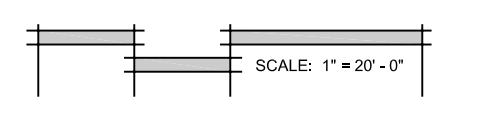
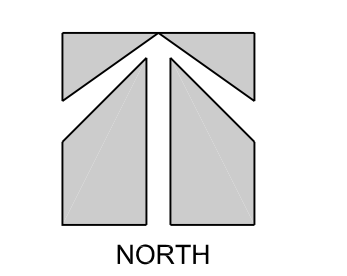
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PEARY COURT
KEY WEST, FLORIDA



IRRIGATION PLANS

DATE: 10.9.15

REVISIONS:

No.	Date	Notes
1.		

IRRIGATION PLAN

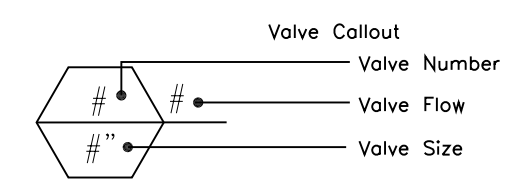
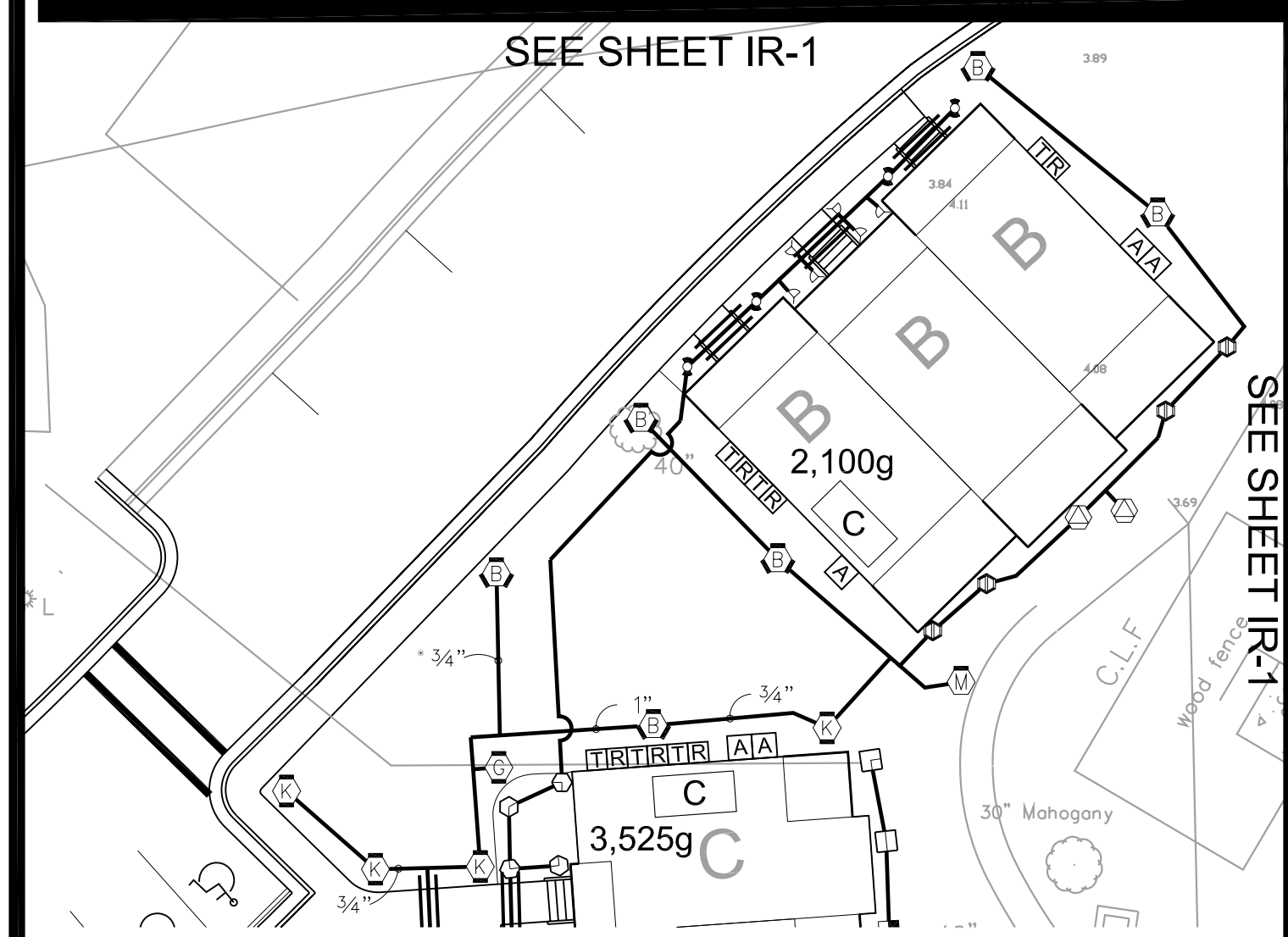
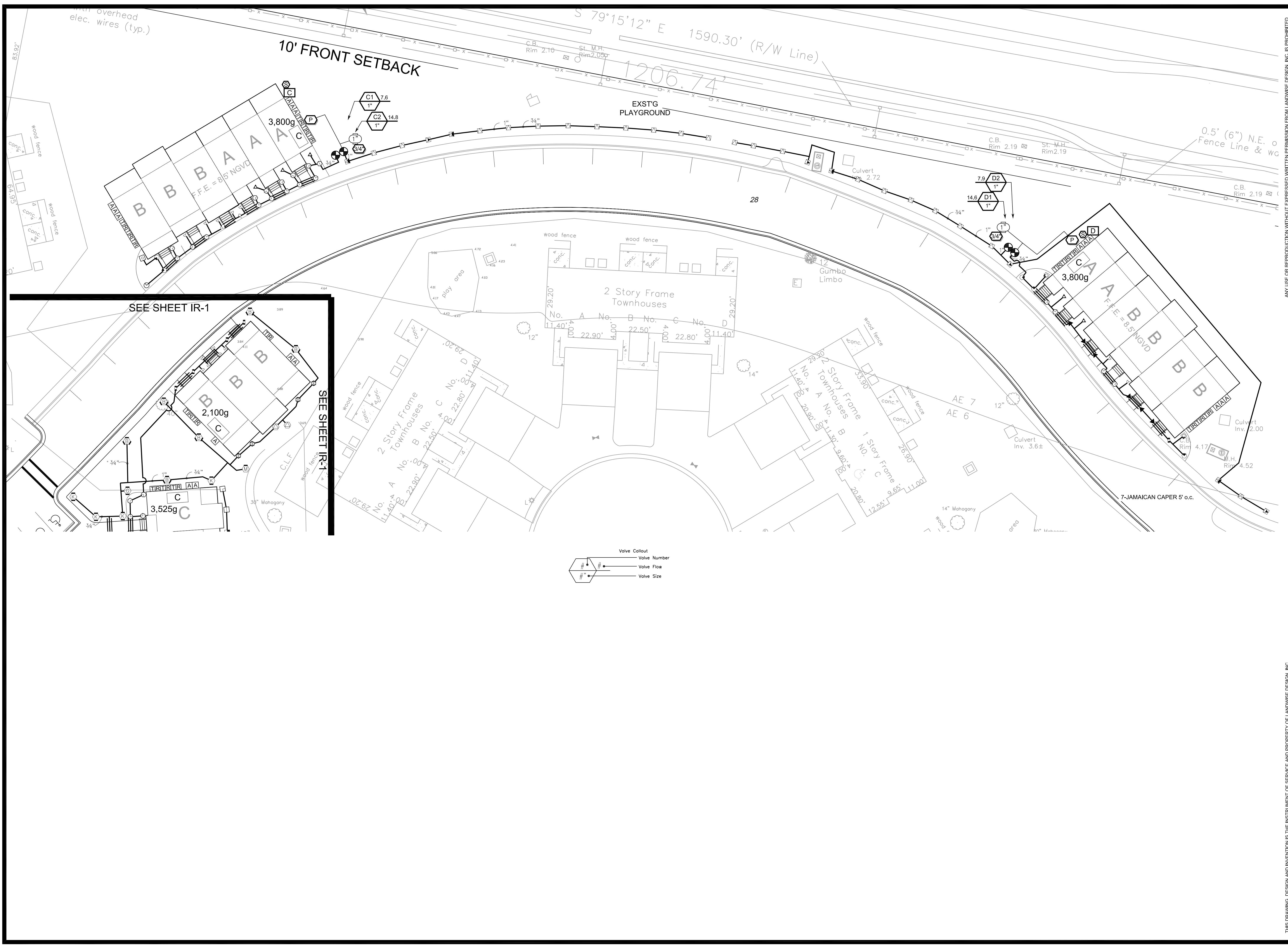
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IR-1

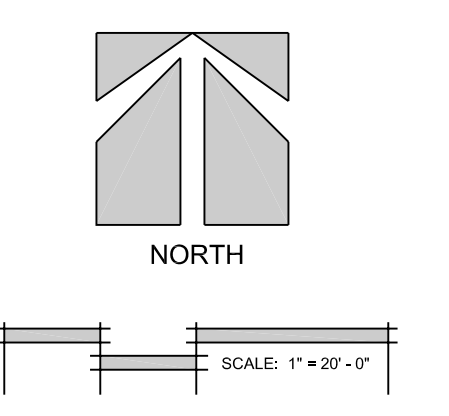
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PEARY COURT
 KEY WEST, FLORIDA



IRRIGATION PLANS

DATE: 10.9.15

REVISIONS:

No.	Date	Notes
1.		

IRRIGATION PLAN

SHEET NUMBER:
IR-2

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
☐	Rain Bird 180G-NS1 1.5 Strp Series	9	LCS	30	0.49	4x15'
☐	Rain Bird 180G-NS1 1.5 Strp Series	8	RCS	30	0.49	4x15'
☐	Rain Bird 180G-NS1 1.5 Strp Series	31	SST	30	1.21	4x30'
→	Rain Bird 180G-NS1 5 Series MPR	1	90	30	0.10	5'
⊗	Rain Bird 180G-NS1 8 Series MPR	12	180	30	0.52	8'
⊗	Rain Bird 180G-NS1 8 Series MPR	6	90	30	0.26	8'
⊗	Rain Bird 180G-NS1 8 Series MPR	2	120	30	0.35	8'
⊗	Rain Bird 180G-NS1 10 Series MPR	8	180	30	0.79	10'
⊗	Rain Bird 180G-NS1 10 Series MPR	9	90	30	0.39	10'
⊗	Rain Bird 180G-NS1 12 Series MPR	14	180	30	1.30	12'
⊗	Rain Bird 180G-NS1 12 Series MPR	8	90	30	0.65	12'
⊗	Rain Bird 180G-NS1 12 Series MPR	3	120	30	0.87	12'
⊗	Rain Bird 180G-NS1 12 Series MPR	2	270	30	1.95	12'
⊗	Rain Bird 180G-NS1 15 Series MPR	22	180	30	1.85	15'
⊗	Rain Bird 180G-NS1 15 Series MPR	21	90	30	0.92	15'
⊗	Rain Bird 180G-NS1 15 Series MPR	1	120	30	1.23	15'
⊗	Rain Bird 180G-NS1 8 Series VAN	2	Adj	30	8'	
⊗	Rain Bird 180G-NS1 10 Series VAN	2	Adj	30	10'	
⊗	Rain Bird 180G-NS1 12 Series VAN	6	Adj	30	12'	
⊗	Rain Bird 180G-NS1 15 Series VAN	9	Adj	30	15'	
⊗	Rain Bird 1812-NS1 1.5 Strp Series	14	EST	30	0.61	4x15'
⊗	Rain Bird 1812-NS1 1.5 Strp Series	2	LCS	30	0.49	4x15'
⊗	Rain Bird 1812-NS1 1.5 Strp Series	1	RCS	30	0.49	4x15'
⊗	Rain Bird 1812-NS1 1.5 Strp Series	1	SST	30	1.21	4x30'
⊗	Rain Bird 1812-NS1 5 Series MPR	3	180	30	0.20	5'
⊗	Rain Bird 1812-NS1 5 Series MPR	58	90	30	0.10	5'
⊗	Rain Bird 1812-NS1 8 Series MPR	8	180	30	0.52	8'
⊗	Rain Bird 1812-NS1 8 Series MPR	53	90	30	0.26	8'
⊗	Rain Bird 1812-NS1 8 Series MPR	2	120	30	0.35	8'
⊗	Rain Bird 1812-NS1 10 Series MPR	17	90	30	0.39	10'
⊗	Rain Bird 1812-NS1 12 Series MPR	1	90	30	0.65	12'
⊗	Rain Bird 1812-NS1 12 Series HE VAN	2	Adj	30	12'	
⊗	Rain Bird 1812-NS1 6 Series VAN	8	Adj	30	6'	
⊗	Rain Bird 1812-NS1 8 Series VAN	8	Adj	30	8'	
⊗	Rain Bird 1812-NS1 10 Series VAN	8	Adj	30	10'	
⊗	Rain Bird 1812-NS1 8 Series MPR	2	90	30	0.26	8'
⊗	Rain Bird 1812-NS1 10 Series MPR	3	180	30	0.79	10'
⊗	Rain Bird 1812-NS1 12 Series MPR	1	90	30	0.65	12'
⊗	Rain Bird 1812-NS1 12 Series HE VAN	3	Adj	30	12'	
⊗	Rain Bird 180G-NS1 MP1000	11	90-210	40	14'	
⊗	Rain Bird 180G-NS1 MP2000	1	210-270	40	19'	
⊗	Rain Bird 180G-NS1 MP2000	16	90-210	40	19'	
⊗	Rain Bird 180G-NS1 MP3000	16	90-210	40	30'	
⊗	Rain Bird 180G-NS1 MP3000	1	210-270	40	30'	
⊗	Rain Bird 180G-NS1 MP800SR	9	Adj	40	10'	
⊗	Rain Bird 180G-NS1 MP Corner	1	Adj	40	13'	
⊗	Rain Bird 180G-NS1 MP Strp	1	LCS	40	0.22	5x15'
⊗	Rain Bird 180G-NS1 MP Strp	2	RCS	40	0.22	5x15'
⊗	Rain Bird 180G-NS1 MP Strp	2	SST	40	0.44	5x30'
⊗	Rain Bird 180G-5 Series Stream	22	180	30	0.50	1x10'
⊗	Rain Bird 1800-1400 Flood	6	360	30	0.25	1'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
⊗	Rain Bird 5004-FC, FC	1	45	2.07	37'
⊗	Rain Bird 5004-FC, FC	4	45	3.09	40'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊗	Rain Bird 100HFV in 10" Valve Box	20
⊗	Rain Bird 100FESB master valve in 10" valve box	1
⊗	Wilks 975XL 1" Backflow Preventer	2
⊗	Wilks 975XL 1-1/2" Backflow Preventer	2
⊗	Rain Bird ESP16LUME and Munro BRAINBOX Pump Control	1
⊗	Rain Bird ESP8LUME and Munro BRAINBOX Pump Control	3
⊗	Rain Bird R5D-BEx	4
⊗	Water Meter 1"	2
⊗	Water Meter 3/4"	2
⊗	Stante HNE jet pump see note	4
⊗	Irrigation Lateral Line: PVC Class 160	6,200 l.f.
⊗	Irrigation Mainline: PVC 1-1/2" Schedule 40	400 l.f.
⊗	Pipe Sleeve: PVC Schedule 40	
⊗	Extend sleeves 18 inches beyond edges of paving or construction.	

UNDERGROUND IRRIGATION SPECIFICATIONS

- 1.0 GENERAL**
- 1.1 SUMMARY:** Includes but not limited to:
 A. Furnishing and installing sprinkler system as described in Contract Documents complete with accessories necessary for proper functioning.
- 1.2 SYSTEM DESCRIPTION:**
 A. Design Requirements:
 1. Layout of Irrigation Heads:
 a. Location of heads shown on Drawings is approximate. Actual placement may vary slightly as is required to achieve full, even coverage without spraying onto buildings, sidewalks, fences, etc.
 b. During layout, consult with Landscape Architect to verify proper placement and make recommendations, where revisions are advisable.
- 1.3 QUALITY ASSURANCE:**
 A. Regulatory Requirements:
 1. Work and materials shall be in accordance with latest rules and regulations, and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes.
 B. Pre-Installation Conference:
 1. Meet with Owner and Landscape Architect to discuss and clarify all aspects of job requirements prior to commencing work of this Section.
 C. System Adjustments:
 1. Minor adjustments in system will be permitted to avoid existing fixed obstructions.
 2. Mainline, laterals, and valves are shown for clarity purposes only. All irrigation equipment to be with landscape area. Mainline, laterals and valves to be installed as far away from existing and new specimen trees as possible.
 D. 1. Documentation and submittal of actual water supply performance prior to commencing installation.
- 1.4 SUBMITTALS:**
 A. Record Drawings:
 1. Prepare an accurate as-built drawing as installation proceeds to be submitted prior to final inspection. Drawing shall include:
 a. Detail and dimension changes made during construction.
 b. Significant details and dimensions not shown in original Bidding Documents.
 2. Maintain, at job site, one copy of Contract Documents (as defined in General Conditions) and relevant shop drawings.
 3. Clearly mark each document "PROJECT RECORD COPY" and maintain in good condition for use of the Landscape Architect and Owner.
 4. As-built drawing shall be provided in pdf format.
 5. Submit product literature for all sprinklers, valves, pipe, wire, wire connectors and controller.
 6. Final payment for system will not be authorized until accurate and complete submittals are delivered to the Landscape Architect.
 B. Instruction Manual:
 1. Provide instruction manual which lists complete instructions for system operation and maintenance.
- 1.5 PRODUCT STORAGE:**
 A. During construction and storage, protect materials from damage and prolonged exposure to sunlight.
- 1.6 WARRANTY:**
 A. Standard one (1) year warranty stipulated in General Conditions shall include:
 1. Completed system including parts and labor.
 2. Filling and repairing depressions and replacing plantings due to settlement of irrigation trenches for one (1) year following final acceptance.
 3. System adjustment to supply proper coverage to areas to receive water.
- 1.7 MAINTENANCE:**
 A. Extra Materials:
 1. In addition to installed system, furnish Owner with the following items at close-out:
 a. Two sprinkler head bodies of each size and type.
 b. Two nozzles for each size and type.
 c. Two adjusting keys for each sprinkler head cover type.
- 2.0 PRODUCTS:**
- 2.1 PIPE, PIPE FITTINGS, AND CONNECTIONS:**
 A. Pipe shall be continuously and permanently marked with Manufacturer's name, size, schedule, type, and working pressure.
 B. Pipes:
 1. Pressure Lines: as indicated on plans.
 2. Lateral Lines: as indicated on plans.
 3. Risers: sch. 80 PVC, gray
 C. Fittings:
 1. Schedule 40 PVC.
 D. Sleeving:
 1. Schedule 40 PVC.
- 2.2 SPRINKLER HEADS:**
 A. Conform to requirements shown on Drawings as to type, radius of throw, pressure, and discharge.
- 2.3 AUTOMATIC SPRINKLER SYSTEM:**
 A. Control valves shall be of size and type indicated on Drawings.
 B. Control wire shall be UL listed, color coded copper conductor direct burial size 14. Use 3M-DBY waterproof wire connectors at splices and locate all splices within valve boxes. Use white or gray color for common wire and other colors for all other wire. Each common wire may serve only one controller.
 C. Add two extra control wires from panel to valves for use if a wire fails and mark it in the control box as extra wires. These wires shall be of a different color than the others.
- 2.4 VALVES:**
 A. Electric Valves:
 1. Make and model shown on Drawings.
 B. Gate valves:
 1. Bronze construction, angle type, 150 pound class, threaded connections, with cross-type operating handle designed to receive operating key.
 C. Automatic Controller:
 1. Make and model shown on Drawings.
 D. Backflow Preventer:
 1. Make and model shown on Drawings.
- 2.5 VALVE ACCESSORIES:**
 A. Valve Boxes:
 1. Ametek or Brooks rectangular heavy duty valve box with locking lid or Landscape Architect approved equal.
 2. Do not install more than one (1) valve in a single box.
 3. Valve boxes shall be large enough for easy removal or maintenance of valves.

- 3.0 EXECUTION:**
- 3.1 PREPARATION:**
 A. Protection:
 1. Work of others damaged by this Section during course of its work shall be replaced or repaired by original installer at this Section's expense.
- 3.2 INSTALLATION:**
 A. Trenching and Backfilling:
 1. Over-excavate trenches by two (2") inches and bring back to indicated depth by filling with fine, rock-free soil or sand.
 2. Cover pipe both top and sides with two (2") inches of material specified in paragraph above. In no case shall there be less than two (2") inches of rock-free soil or sand surrounding pipe.

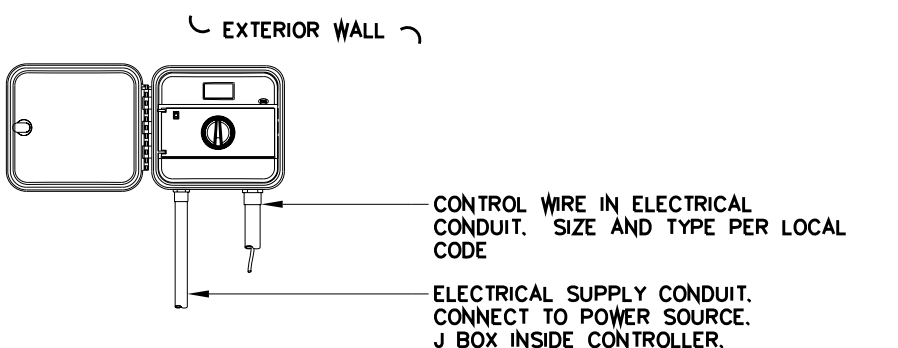
3. Do not cover pressure main, sprinkler pipe, or fittings until the Landscape Architect has inspected and approved system.
 B. Installation of Plastic Pipe:
 1. Install plastic pipe in a manner to provide for expansion and contraction as recommended by Manufacturer.
 2. Unless otherwise indicated on Drawings, install main lines with a minimum cover of eighteen (18") inches based on finish grade. Install lateral lines with a minimum cover of twelve (12") inches based on finish grade.
 3. Install pipe and wires under driveways or parking areas in specified sleeves a minimum of eighteen (18") inches below finish grade or as shown on Drawings.
 4. Locate no sprinkler head closer than twelve (12") inches from building foundation. Heads immediately adjacent to mowing strips, walks or curbs shall be one (1") inch below top of mowing strip, walk or curb and have a minimum of one (1") inch clearance between head and mowing strip, walk or curb.
 5. Drawings show arrangement of piping. Should local conditions necessitate rearrangement, obtain approval of Landscape Architect prior to proceeding with work.
 6. Cut plastic pipe square. Remove burrs at cut ends prior to installation so unobstructed flow will result.
 7. Make solvent weld joints in the following manner:
 a. Clean mating pipe and fitting with clean, dry cloth and apply one (1) coat of P-70 primer to each.
 b. Apply uniform coat of 711 solvent to outside of pipe.
 c. Apply solvent to fitting in similar manner.
 d. Reapply a light coat of solvent to pipe and quickly insert into fitting.
 e. Give pipe or fitting a quarter turn to insure even distribution of solvent and make sure pipe is inserted to full depth of fitting socket.
 f. Hold in position for fifteen (15) seconds minimum or long enough to secure joint.
 g. Wipe off solvent appearing on outer shoulder of fitting.
 h. Do not use an excessive amount of solvent thereby causing an obstruction to form on the inside of pipe.
 i. Allow joints to set at least 24 hours before applying pressure to PVC pipe.
 8. Tape threaded connection with teflon tape.
 9. Install concrete thrust blocks wherever change of direction occurs a PVC main pressure lines unless otherwise detailed on Drawings.
 C. Control Valves and Controller:
 1. Install controller, control wires, and valves in accordance with Manufacturer's recommendations and according to applicable electrical code.
 2. Install valves in plastic boxes with reinforced heavy duty plastic covers. Locate valve box tops at finish grade.
 3. Install remote control valves in valve boxes positioned over valve so all parts of valve can be reached for service. Set cover of valve box even with finish grade.
 4. Install all valve boxes over nine (9") inches of gravel for drainage.
 D. Sprinkler Heads:
 1. Prior to the installation of sprinkler heads, open control valves and use full head of water to flush out system.
 2. Set sprinkler heads perpendicular to finish grade.
 3. Set lawn sprinkler heads adjacent to existing walks, curbs, and other paved areas to grade.

- 3.3 FIELD QUALITY CONTROL:**
 A. Flushing and Testing:
 1. Test pressure lines at a minimum sustained pressure of 100 psi for two (2) hours. Pressure shall not drop below 95 psi during the two hour test. Notify Landscape Architect 24 hours prior to test. Do not backfill lines until approved by Landscape Architect.
- 3.4 ADJUSTMENT AND CLEANING:**
 A. Adjust heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering or raising of heads shall be part of the original contract with no additional charge to the Owner.
 B. Adjust sprinkler heads for proper distribution and trim to ensure spray does not fall on building.
 C. Adjust watering time of valves to provide proper amounts of water to all plants.
- 3.5 DEMONSTRATION:**
 A. After system is installed and approved, instruct Owners Representative in complete operation and maintenance.

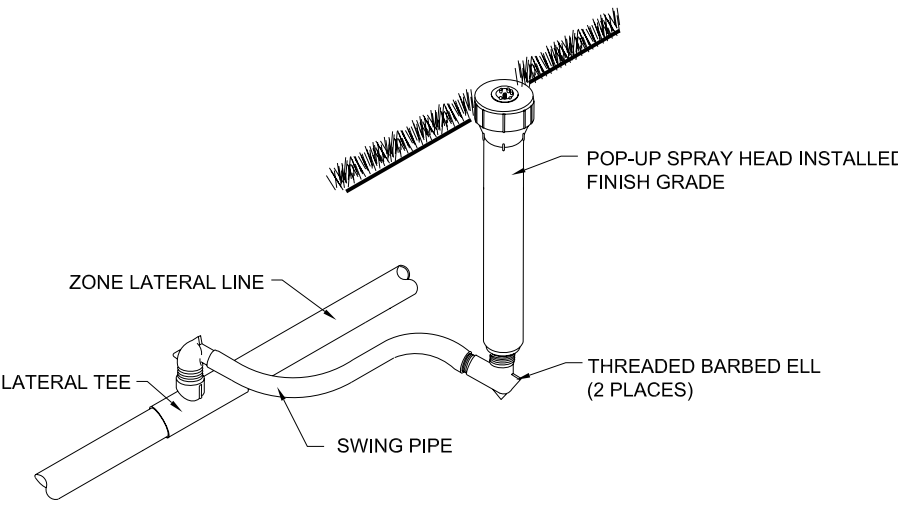
END OF SECTION

CISTERN CONNECTION NOTES:

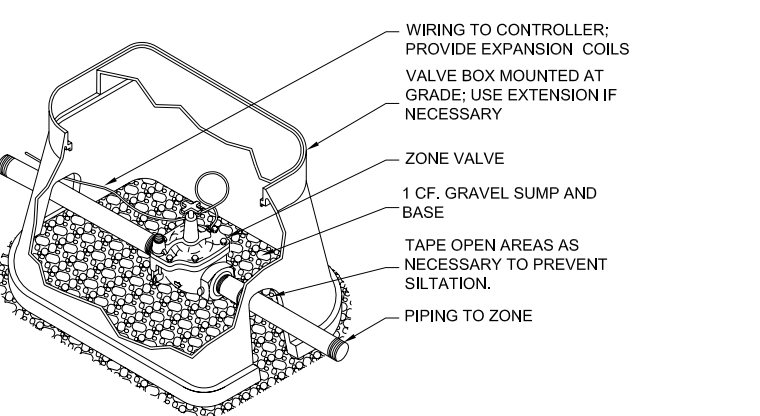
- IRRIGATION SYSTEM TO OPERATE FROM CISTERN AS PRIMARY SOURCE AND SWITCH TO POTABLE WATER WHEN CISTERN WATER LEVEL IS LOW.
- INSTALL MASTER VALVE OFF MAINLINE FROM METER TO CONTROL VALVES. CONNECT IRRIGATION MAIN FROM CISTERN PUMP TO ZONE BETWEEN CONTROL VALVES AND MASTER VALVES.
- CONNECT WIRES FROM ZONE WATER VALVE ON THE CONTROLLER SO THEY OPERATE MUNRO BRAIN BOX RAIN HARVESTER PUMP CONTROL SYSTEM TO BE INSTALLED BY THE IRRIGATION CONTRACTOR.
- CONNECT THE PUMP START RELAY TO THE MUNRO BRAINBOX TERMINAL THAT WILL ALLOW THE PUMP TO OPERATE WHEN CISTERN WATER IS ABOVE THE LOW WATER LEVEL IN THE TANK AND TURNS THE PUMP OFF WHEN THE CISTERN WATER IS BELOW THE LOW WATER LEVEL IN THE TANK.
- CONNECT THE MASTER VALVE WIRES TO THE MUNRO BRAIN BOX TERMINAL SO THE MASTER VALVE IS OFF WHEN THE WATER IN THE CISTERN IS ABOVE THE LOW WATER LEVEL AND OPENS WHEN THE WATER IN THE CISTERN IS BELOW THE LOW WATER LEVEL.
- INSTALL STARITE PUMP DOWN FLOAT SWITCH IN TANK AND CONNECT TO MUNRO BRAIN BOX.
- INSTALL PRESSURE RELIEF VALVE ON PUMP DISCHARGE WITH 1" RUN BACK INTO CISTERN TANK. INSTALL TORO T-ALFD10150-L DISC FILTER PRIOR TO CONTROL VALVES.



CONTROLLER INSTALLATION DETAIL
 SCALE: NTS

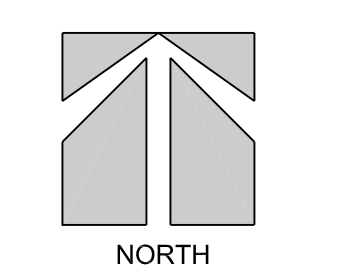


SPRAY HEAD INSTALLATION DETAIL
 SCALE: NTS

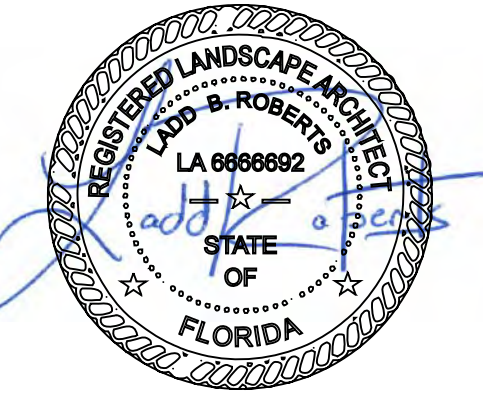


INSTALL TOP OF VALVE A MAXIMUM OF 15" FROM FINISHED GRADE.
ZONE VALVE INSTALLATION DETAIL
 SCALE: NTS

PEARY COURT
 KEY WEST, FLORIDA



SCALE: 1" = 30'-0"



IRRIGATION PLANS

DATE: 10.9.15

REVISIONS:

No.	Date	Notes
1.		

SCHEDULE & DETAILS

SHEET NUMBER:

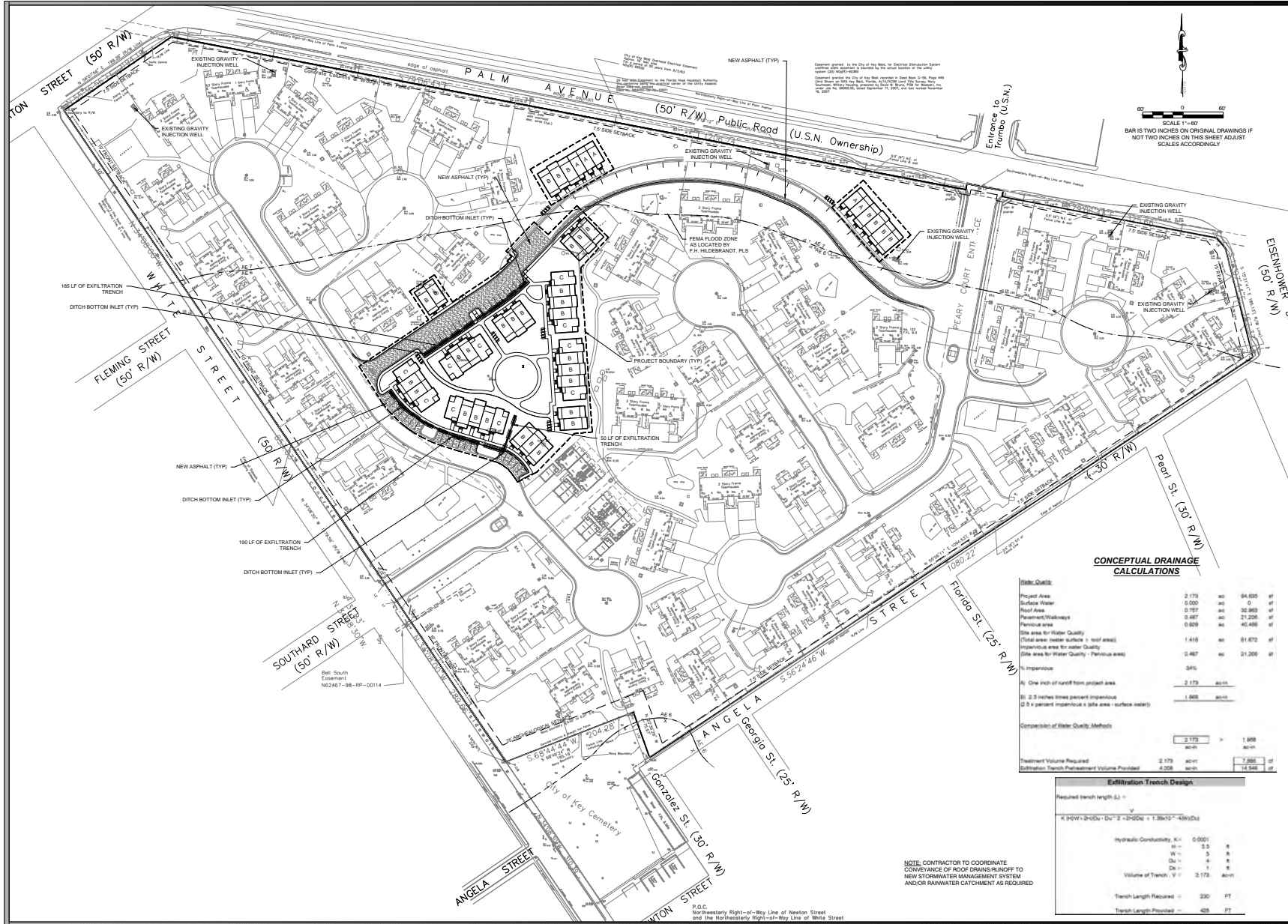
IR-3

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1822 TAPESTRY PARK CIRQUE, SUITE 201 JACKSONVILLE, FL 32246 904.345.4154

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CONCEPTUAL DRAINAGE CALCULATIONS

Water Quality			
Project Area	2.173	ac	94,833
Surface Water	0.000	ac	0
Roof Area	0.167	ac	35,963
Pavement/Walkways	0.487	ac	21,206
Permeable area	0.808	ac	40,456
Site area for Water Quality			
Total area (total surface + roof area)	1.418	ac	61,672
Impervious area for water Quality			
Site area for Water Quality - Permeable area	0.487	ac	21,206
% Impervious	34%		
A) One inch of runoff from project area	2.173	ac-in	
B) 2.5 inches times percent impervious	0.666	ac-in	
C) 2 x percent impervious x (site area - surface water)			
Conservation of Water Quality Methods			
	2.173	ac-in	1.688
Treatment Volume Required	2.173	ac-in	7,888
Substation Trench Treatment Volume Provided	4.326	ac-in	14,544

Exfiltration Trench Design

Required trench length (L) =

$$L = \frac{V}{K \left(\frac{H}{12} \right) \left(2 + \frac{D}{12} \right) \left(2 + \frac{D}{12} \right) \left(1.5 \times 10^{-10} \right) \left(48 \text{ in} / D \right)}$$

Hydraulic Conductivity, K =	0.0001
H =	3.5
D =	4
Volume of Trench, V =	3.173
Trench Length Required =	230
Trench Length Provided =	425

SCALE 1"=40'
 BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET ADJUST SCALES ACCORDINGLY

PEREZ ENGINEERING & DEVELOPMENT, INC.
 150 SE 2ND AVENUE, SUITE 800
 MIAMI, FL 33131

ALLENE PEREZ, P.E.
 Permit No. 16033188
 Job No. 1616

CONCEPTUAL DRAINAGE PLAN

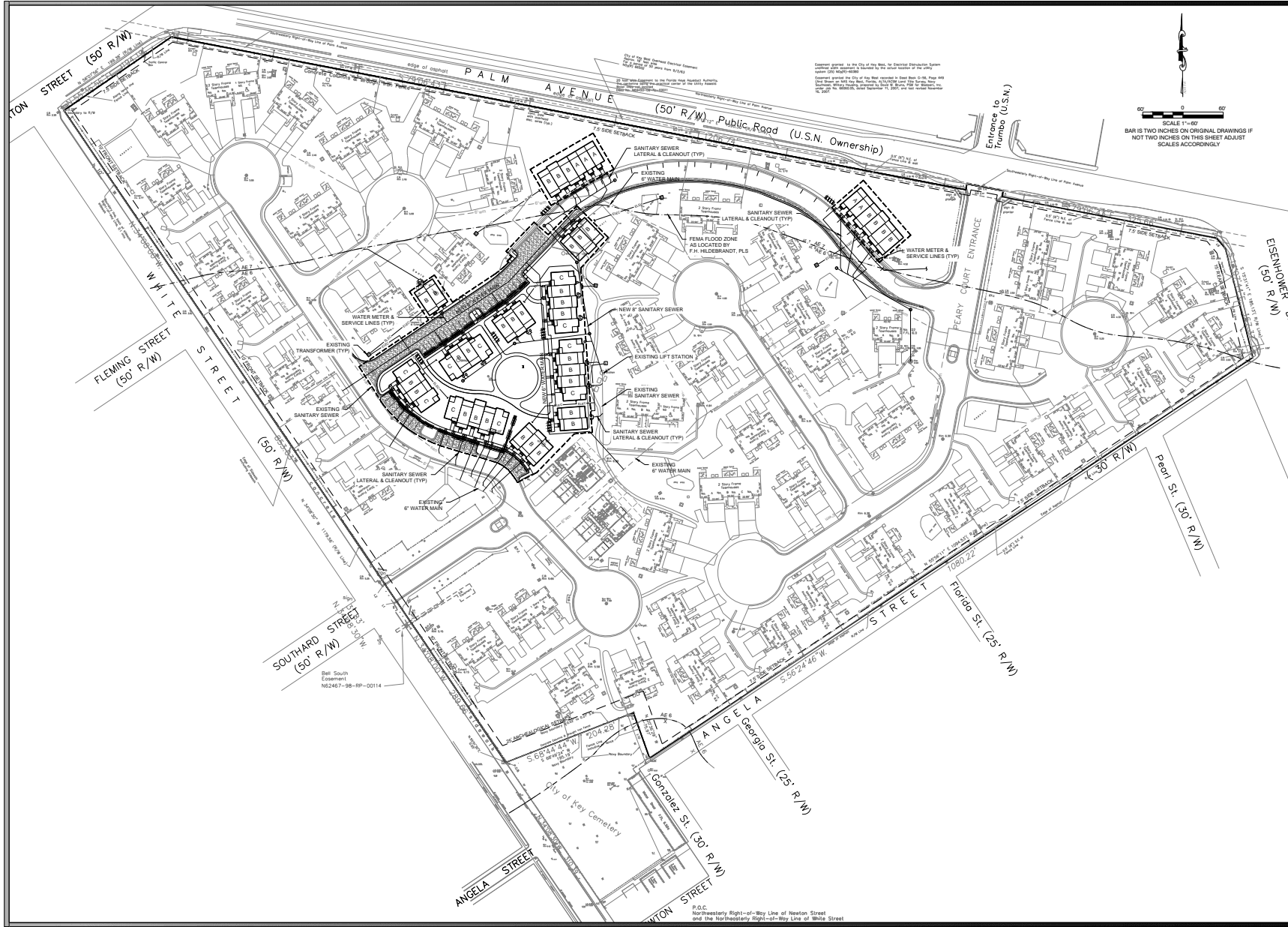
REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

PEARY COURT HOLDING, LP
 150 SE 2ND AVENUE, SUITE 800
 MIAMI, FL 33131

JOB NO. 151071
 DRAWN: BCC
 DESIGNED: AEP
 CHECKED: AEP
 DATE: 08/14/16

C-3



SCALE 1"=60'
BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF
NOT TWO INCHES ON THIS SHEET ADJUST
SCALES ACCORDINGLY

N

PEARZ ENGINEERING
& DEVELOPMENT, INC.
150 SE 2ND AVENUE, SUITE 800
MIAMI, FL 33131
TEL: (305) 251-2222 FAX: (305) 251-2222

ALLENE PEREZ P.E.
Project No. 0313188
Job No. 1016

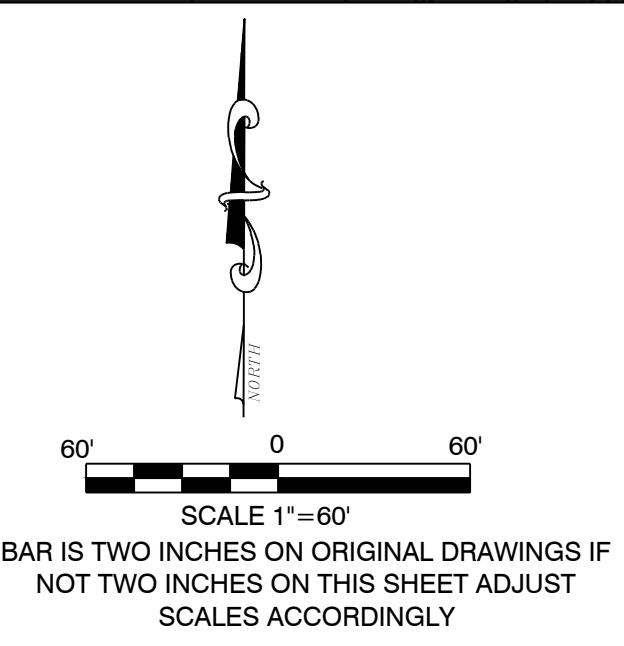
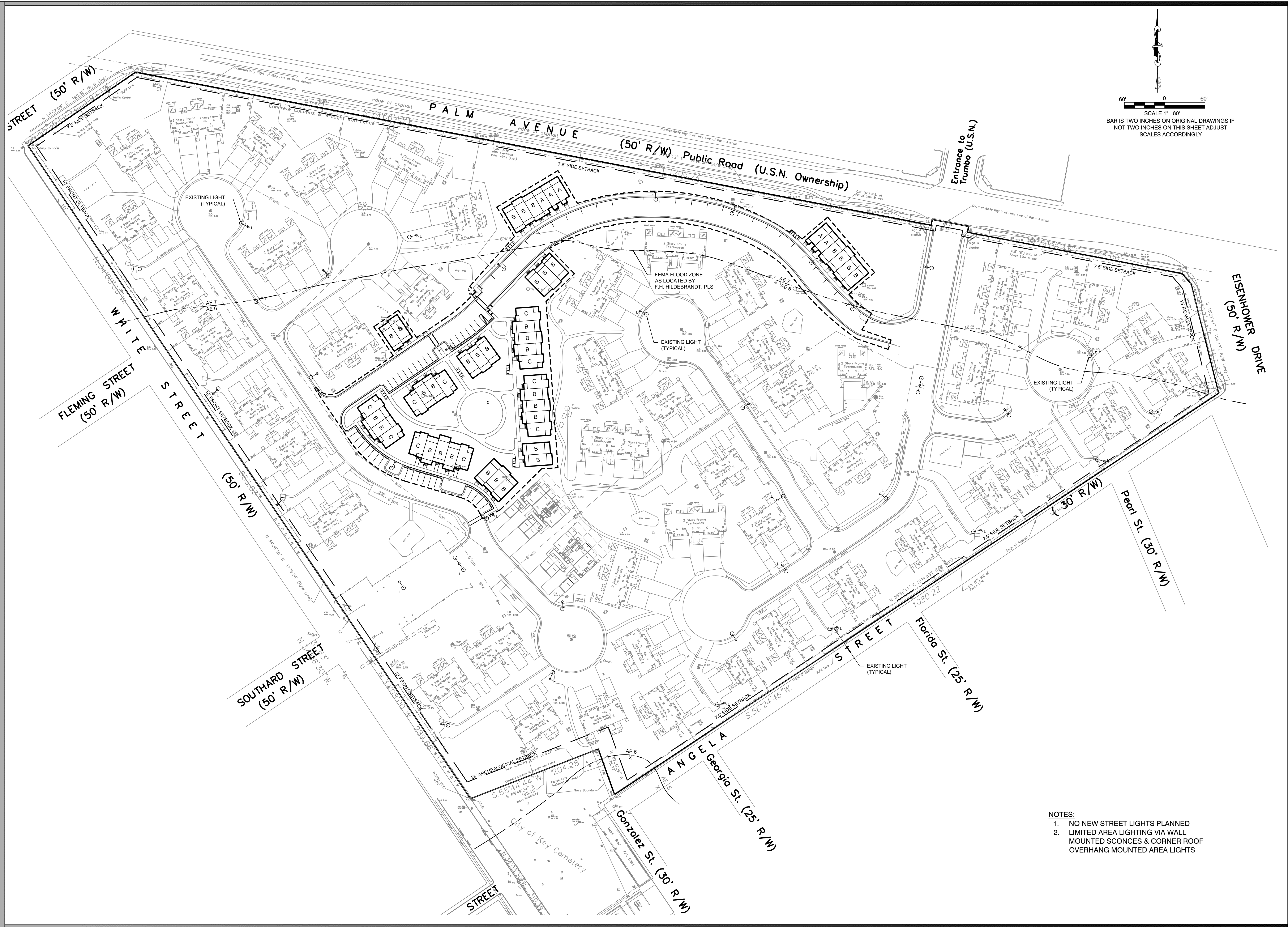
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SOUTHARD PARK
CONCEPTUAL UTILITY PLAN

PEARZ COURT HOLDING, LP
150 SE 2ND AVENUE, SUITE 800
MIAMI, FL 33131

JOB NO.	151001
DRAWN	BOC
DESIGNED	AEP
CHECKED	AEP
DC	
SHEET	C-4

P.O.C.
Northerly Right-of-Way Line of Nepton Street
and the Northerly Right-of-Way Line of White Street



- NOTES:
1. NO NEW STREET LIGHTS PLANNED
 2. LIMITED AREA LIGHTING VIA WALL MOUNTED SCONES & CORNER ROOF OVERHANG MOUNTED AREA LIGHTS

CIVIL ENGINEERING - REGULATORY PERMITTING - CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC.

KEY WEST OFFICE
 1010 E. 6th Street, Suite 201
 KEY WEST, FLORIDA 33045
 TEL: (305) 293-9440 FAX: (305) 296-0243

ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 December 18, 2015

ORIGINAL: JANUARY 2015

REVISIONS:

1	
2	
3	
4	
5	
6	



SOUTHARD PARK

PEARY COURT HOLDING, LP
 150 SE 2ND AVENUE, SUITE 800
 MIAMI, FL 33131

LIGHTING PLAN

JOB NO. 151001
 DRAWN BGO
 DESIGNED AEP
 CHECKED AEP
 QC
 SHEET

L-1

-  - Lighting Fixtures
-  - Sconces on front porches



Applicant's Traffic impact Analysis

July 15, 2015

Mr. James Hendricks
Critical Concern Consultants
Key West, Florida 33040

Re: Southard Park - Traffic Impact Statement

Dear Mr. Hendricks:

Per your request, Traf Tech Engineering, Inc. conducted a traffic impact evaluation associated with a Major Conditional Use application for redevelopment of the former US Navy housing compound at Peary Court in the City of Key West in Monroe County, Florida. Figure 1 on the following page depicts the location of the subject parcel and the adjacent transportation network near the site. This traffic evaluation addresses the following two tasks:

1. Trip Generation Comparison Analysis
2. Driveway Impacts

Trip Generation Comparison Analysis

The trip generation comparison analysis was performed using the trip generation equations/rates published in the Institute of Transportation Engineer's (ITE) *Trip Generation* manual (9th Edition). The trip generation comparison analysis was undertaken for daily, AM peak hour, and PM peak hour conditions. The analysis was based on the following assumptions:

EXISTING LAND USES

- o 160 multi-family residential units
- o 10,000 square-foot drive-through bank

PROPOSED LAND USES

- o 208 multi-family residential units

According to ITE's *Trip Generation* manual (9th Edition), the trip generation equations/rates used for the existing and proposed land uses are:

APARTMENT (ITE Land Use 220)

Daily Trip Generation

$$T = 6.06 (X) + 123.56$$

Where T = number of daily trips

X = number of dwelling units



Traf Tech
ENGINEERING, INC.

PROJECT LOCATION MAP

FIGURE 1
Southard Park
Monroe County, Florida

AM Peak Hour

$$T = 0.49 (X) + 3.73 \text{ (20\% inbound and 80\% outbound)}$$

Where T = number of AM peak hour trips

X = number of dwelling units

PM Peak Hour

$$T = 0.55 (X) + 17.65 \text{ (65\% inbound and 35\% outbound)}$$

Where T = number of PM peak hour trips

X = number of dwelling units

DRIVE-IN BANK (ITE Land Use 912)

Daily Trip Generation

$$T = 148.15 (X)$$

Where T = number of daily trips

X = gross floor area

AM Peak Hour

$$T = 12.08 (X) \text{ (57\% inbound and 43\% outbound)}$$

Where T = number of AM peak hour trips

X = gross floor area

PM Peak Hour

$$T = 24.30 (X) \text{ (50\% inbound and 50\% outbound)}$$

Where T = number of PM peak hour trips

X = gross floor area

Using the above-listed equations from the ITE document, a trip generation comparison analysis was undertaken between the existing and proposed land uses. The results of this effort are documented in Table 1. As indicated in Table 1, the elimination of the existing drive-through bank and the addition of 48 multi-family residential units will result in an overall decrease in daily trips (119 less trips), 11 less AM peak hour trips, and approximately 56 less trips during the typical afternoon peak hour. Therefore, the proposed land use will benefit the transportation network located in the vicinity of the project site.

Driveway Impacts

As indicated in Table 1, during the critical PM peak hour the total driveway trips associated with the existing land uses include approximately 279 vehicles per hour. However, the proposed redevelopment and new 48 affordable housing units will only generate approximately 132 driveway trips. Based on the existing and proposed layout of the site, the impacts at the existing and future access driveways are described below:

Existing Conditions

- o Palm Avenue Driveway: = 210 PM peak hour trips

- White Street Driveway: = 69 PM peak hour trips

Future (Proposed) Conditions (Refer to Attached Site Plan)

- Palm Avenue Driveway: = 100 PM peak hour trips
- Existing White Street Driveway: = 32 PM peak hour trips

TABLE 1				
Trip Generation Comparison Analysis				
Southard Park				
Land Use	Size	Number of Trips		
		Daily	AM Peak	PM Peak
EXISTING LAND USE				
Multi-Family	160 units	1,093	82	106
Drive-in Bank	10,000 sf	1,480	120	243
Subtotal	-	2,573	202	349
Internal Trips ¹	-	-514	-40	-70
Driveway Trips		2,059	162	279
Passer-by (Bank) ²		-556	-45	-91
External Trips		1,503	117	188
PROPOSED LAND USE				
Multi-Family	208 units	1,384	106	132
External Trips		1,384	106	132
Driveway Trip Difference		-675	-56	-147
External Trip Difference		-119	-11	-56

Source: ITE Trip Generation Manual (9th Edition)

Based on the existing and projected PM peak hour driveway volumes documented above, the two existing access driveways are projected to function adequately for the following reasons:

- The existing signalized access driveway located on Palm Avenue will benefit from the subject redevelopment project since the PM peak hour trips will be reduced from 210 vehicles to 100 vehicles (approximately 50% less traffic).
- The White Street/Southard Street signalized driveway is projected to process 32 vehicles, which is approximately 50% less traffic that are currently using this driveway). Moreover, according to FDOT (traffic count station 8110), White Street is currently carrying approximately 5,500 vehicles per day. Therefore, the 32 driveway trips will have to enter/exit to and from a roadway that carries 5,500 vehicles. In contrast, Palm Avenue currently processes approximately 16,200

¹ Assumed to be approximately 20 percent

² Per ITE, assumed to be approximately 47%

vehicles per day and the current Palm Avenue signalized driveway currently allows 210 vehicles to enter/exit to and from Palm Avenue. Based on this comparison, the White Street/Southard Street signalized access driveway is projected to function adequately.

Additionally, the proposed Peary Court redevelopment project will not have any traffic impacts to the section of Angela Street located immediately south of the proposed redevelopment project since the existing access driveways to and from the site will remain unchanged.

In summary, the proposed redevelopment of the former US Navy housing compound will benefit the area street system and the two existing access driveways are projected to function adequately. No traffic impacts are anticipated on the Angela Street between Eisenhower Drive and Gonzalez Street as a result of the proposed project.

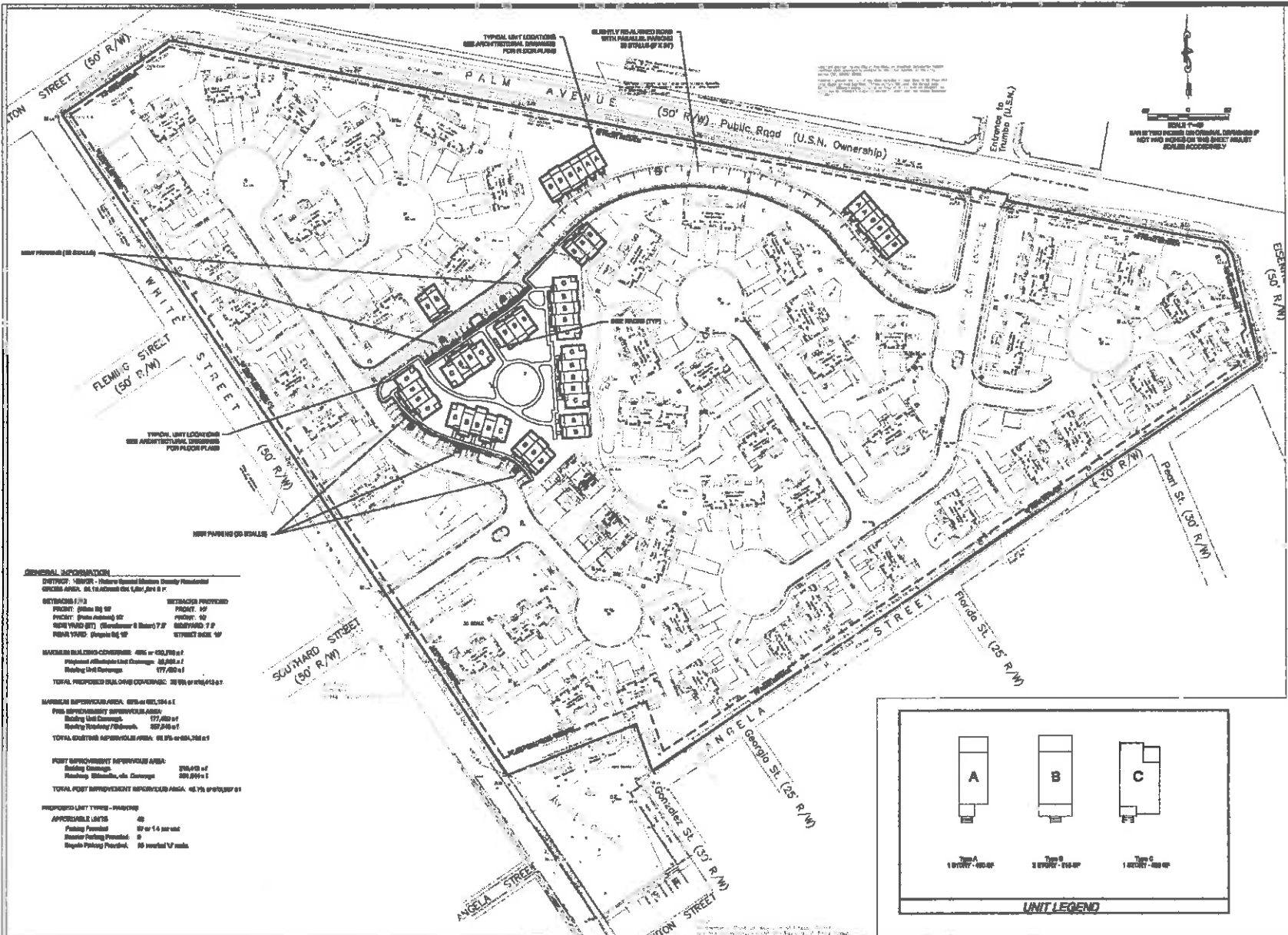
Please give me a call if you have any questions.

Sincerely,

TRAF TECH ENGINEERING, INC.



Joaquin E. Vargas, P.E.
Senior Transportation Engineer



SCALE 1"=40'
 THIS IS A PRELIMINARY DRAWING. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT.

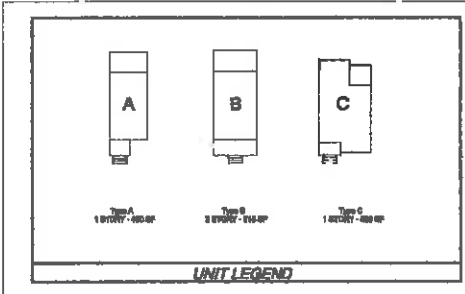
PEREZ ENGINEERING & DEVELOPMENT, INC.
 1000 W. WASHINGTON ST., SUITE 200
 TAMPA, FL 33606
 TEL: 813-288-1111
 FAX: 813-288-1112
 WWW.PEREZENGINEERING.COM

REVISIONS

NO.	DATE	DESCRIPTION

SOUTHWARD PARK

UNIT LEGEND



PROPERTY COUNTY HOLDINGS, LP
 1000 W. WASHINGTON ST., SUITE 200
 TAMPA, FL 33606

JOB NO.	DATE

DESIGNED: ASP
CHECKED: REP
DATE: 02/11/11
SHEET: C-1

City's Traffic impact Analysis



Building Code Services
Coastal Engineering
Code Enforcement
Construction Engineering
and Inspection
Construction Services
Contract Government
Data Technologies
and Development
Emergency Management
Services
Engineering
Environmental Services
Facilities Management
Indoor Air Quality
Landscape Architecture
Municipal Engineering
Planning
Public Administration
Redevelopment
and Urban Design
Surveying and Mapping
Traffic Engineering
Transportation Planning

GSA Contract Holder

1800 Eller Drive
Suite 600
Fort Lauderdale, FL
33316
954.921.7781 phone
954.921.8807 fax

www.cgasolutions.com

DATE: September 18, 2015

TO: James Bouquet
City Engineer
City of Key West
3132 Flagler Avenue
Key West, FL 33040

FROM: Eric S. Czerniejewski, P.E.
Calvin, Giordano & Associates, Inc.
1800 Eller Drive, Suite 600
Fort Lauderdale, FL 33316

SUBJECT: CGA Review of Peary Court Traffic Impact Statement

1.0 INTRODUCTION

Calvin, Giordano & Associates, Inc. was retained to review the traffic impact statement provided by Traf Tech Engineering, Inc. which evaluated the potential traffic impacts generated by the redevelopment of the *Peary Court* U.S. Navy Housing complex in the City of Key West, Florida. The existing land use consists of a 160 multi-family residential apartment units and an abandoned 10,000 square foot drive-through bank; and the proposed land use will consist of 208 multi-family residential apartment units.

2.0 EXISTING AND PROPOSED TRIP GENERATION

Based on trip generation rates obtained from the Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition), vehicular trips were calculated for the existing and proposed land uses during the morning and evening peak periods and for an average weekday. It should be noted that the bank is currently and has been vacant for some time; therefore, no reductions to net traffic volumes should be taken for existing trips generated by the bank. It was confirmed by City Planning staff that there are no vested rights for the bank previously on-site.

The existing development was shown to generate 1,093 daily trips, 82 morning peak-hour trips and 106 PM peak-hour trips; the proposed development was shown to generate an additional 291 daily trips, 24 morning peak-hour trips and 26 afternoon peak-hour trips. The proposed 208-unit residential development was shown to generate more traffic than the existing land-use based on the increase of 48 multifamily residential units during the morning peak period, afternoon peak period and during an average weekday. The trip generation characteristics and the results of the trip generation analysis are presented in **Table 1** and **Table 2** respectively.

Table 1: Trip Generation Characteristics

ITE Land Use Code	Description	Equation	Directional Distribution	
			Entering	Exiting
Daily				
220	Apartment	$T = 6.06(X) + 123.56$	50%	50%
912	Drive-in Bank	$T = 148.15 (X)$	50%	50%
AM PEAK				
220	Apartment	$T = 0.49 (X) + 3.73$	20%	80%
912	Drive-in Bank	$T = 12.08 (X)$	57%	43%
PM PEAK				
220	Apartment	$T = 0.55 (X) + 17.65$	65%	35%
912	Drive-in Bank	$T = 24.3 (X)$	50%	50%

The traffic impact statement provided by Traf Tech Engineering, Inc. included internal and passer by trips for the commercial bank use which does not apply due to the bank site being vacant and abandoned.

Table 2: Trip Generation Analysis

**Unit represents the (X) variable from equations in Table 1*

ITE Land Use Code	Description	Unit*	Total Units	Total Trips			Entering			Exiting		
				AM Peak	PM Peak	Daily	AM Peak	PM Peak	Daily	AM Peak	PM Peak	Daily
Existing												
220	Apartment	Dwelling Units	160	82	106	1093	16	69	547	66	37	546
912	Drive-in Bank (Abandoned)*	1,000 SF	10	121	243	1482	69	122	741	52	121	741
Total				82	106	1093	16	69	547	66	37	546
Proposed												
220	Apartment	Dwelling Units	208	106	132	1384	21	86	692	85	46	692
<i>Total Proposed Traffic</i>				106	132	1384	21	86	692	85	46	692
Net Traffic				24	26	291	5	17	145	19	9	146

*The trips generated from the Drive-in Bank do not factor into the net traffic due to the bank being abandoned

3.0 DRIVEWAY IMPACTS

Based on the proposed land use and the site plan sheet C-1 provided by Traf Tech Engineering, Inc., the site ingress and egress will be remaining the same and the driveways on to Palm Avenue and to White Street will continue to be the main points of access. Traffic distribution surrounding the project site was derived based on daily traffic volumes at adjacent FDOT Traffic Count Stations. The total area daily traffic surrounding the project site was derived by adding the respective daily volumes from the adjacent traffic count stations; the distribution of project traffic at the access driveways were calculated based on the volume ratio between the individual count stations and the total area traffic. The traffic data from the FDOT traffic count stations are presented in **Attachment A** and the distribution of traffic surrounding the project site is presented in **Table 3**.

Table 3: Area Traffic Distribution

Station	Description	Daily Traffic	Percent of Total Area Traffic
90-0103	Palm Avenue, 200 ft North of US-1 (2014 count)	16,200	73%
90-0025	White Street, 200 ft North of US-1 (2014 count)	6,000	27%
Total Area Traffic		22,200	

Based on the distribution of traffic along the adjacent roadways, the traffic distribution at the project driveways was derived and is presented in the figures showing the existing and proposed traffic distributions and volumes and can be found as **Attachment B**.

The additional net trips generated in the morning peak hour (5 entering and 19 exiting) and in the evening peak hour (17 entering and 9 exiting) do not present a major increase in traffic at the two existing access points. A traffic operations analysis including a queuing analysis at the existing signalized driveway locations at Palm Avenue and White Street is recommended.

4.0 CONCLUSIONS AND RECOMMENDATIONS

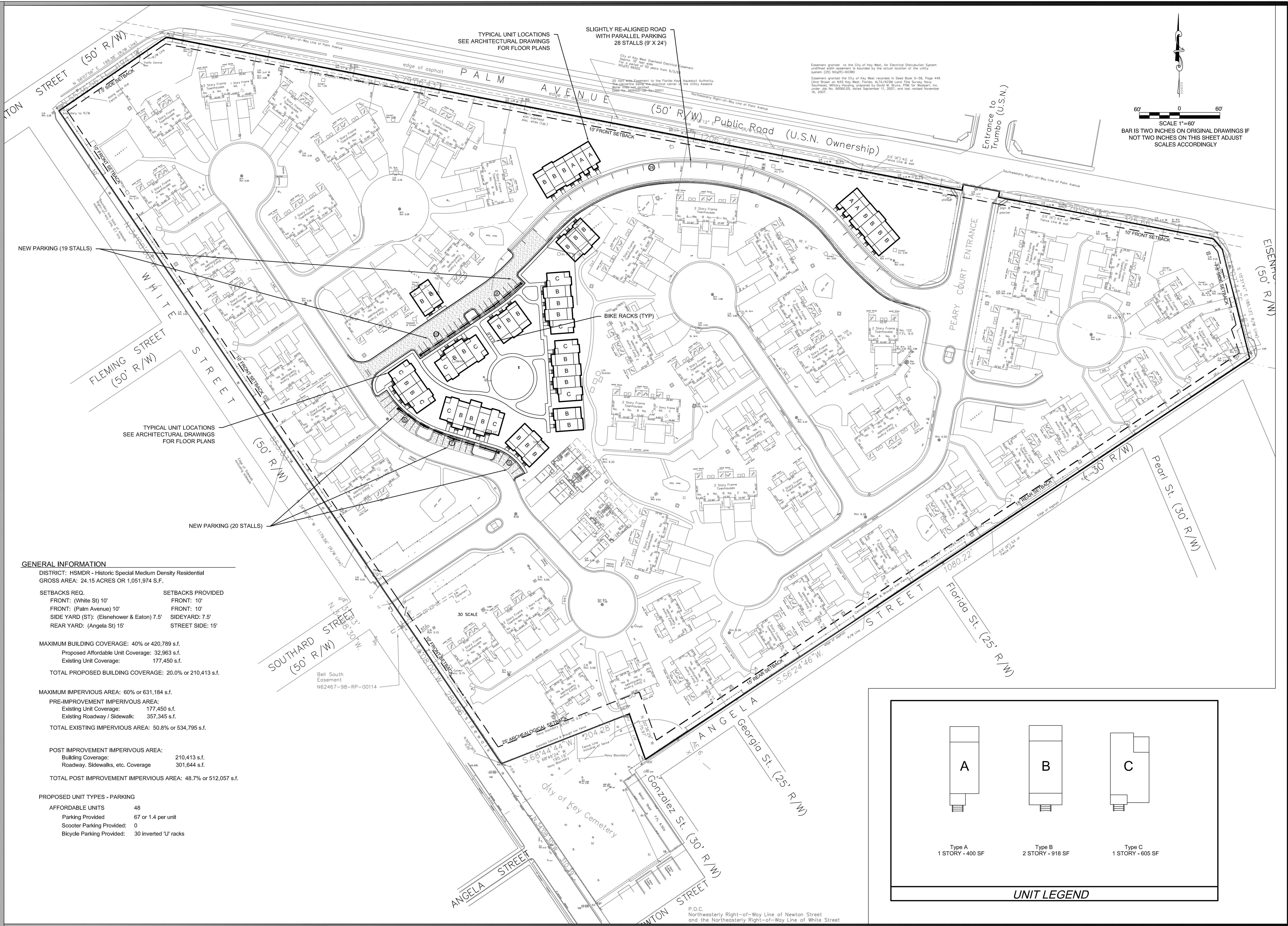
Calvin, Giordano & Associates, Inc. was retained to review the traffic impact statement provided by Traf Tech Engineering, Inc. which evaluated the potential traffic impacts generated by the redevelopment of the *Peary Court* U.S. Navy Housing complex in the City of Key West, Florida. The existing land use consists of a 160 multi-family residential apartment units and an abandoned 10,000 square foot drive-through bank; and the proposed land use will consist of 208 multi-family residential apartment units.

The traffic impact statement was reviewed and determined to show a minimal net increase in traffic at the two existing signalized intersections. It is recommended that a traffic operations analysis including a queuing analysis at the existing signalized driveway locations at Palm Avenue and White Street be performed by the Traf Tech Engineering, Inc. and included in an amended traffic statement. The traffic impact statement should be updated to include a revised trip generation analysis that does not include the bank land use or internal capture and pass by trip reductions since the bank has been abandoned and is vacant.

CGA also reviewed the recently completed City of Key West Roadway/Traffic Analysis to determine if any of the traffic qualitative assessments were in proximity to this redevelopment site. The qualitative assessments included the following recommendations at the signalized intersections of Eaton Street/Palm Avenue and White Street which can be found in **Attachment C**.

- Increase the left turn storage lane from the current 60 feet to approximately 120 feet to better delineate the West bound travel lines after the horizontal curve for vehicles traveling on Palm Avenue. This will improve the geometric layout for vehicular traffic, and will improve vehicle distribution as they approach the horizontal curve. This also should alleviate some of the excessive delays due to the left turn traffic movement.
- Perform a signal timing analysis to evaluate the addition of protected permissive left turn and the possibilities of upgrading and converting the current span-wire phase and strain poles to a mast arm supported intersection which would withstand the 150 MPH wind load required by FDOT.

Traf Tech Engineering, Inc. should also evaluate the above two recommendations in their amended traffic statement for Southard Park.



ORIGINAL: JANUARY 2015

REVISIONS:	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

ATTACHMENT A

FDOT

TRAFFIC

DATA

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2014 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0103 - CR 5A/PALM AV, 200' N SR 5/US-1

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR	
2014	15100	C	N	7300	S	7800	9.00	55.20	3.80
2013	16200	C	N	8500	S	7700	9.00	54.80	7.30
2012	17500	C	N	9300	S	8200	9.00	55.00	8.20
2011	16700	C	N	7700	S	9000	9.00	55.10	8.30
2010	17200	C	N	8100	S	9100	10.26	56.84	10.30
2009	18300	C	N	9800	S	8500	10.23	56.56	8.40
2008	16200	C	N	8200	S	8000	10.45	54.98	8.60
2007	17800	C	N	8500	S	9300	10.00	55.10	9.80
2006	18200	C	N	8800	S	9400	10.08	55.69	12.30
2005	19500	C	N	9500	S	10000	10.40	55.70	2.40
2004	19700	C	N	10500	S	9200	10.00	56.00	3.10
2003	22500	C	N		S		10.10	56.30	4.40
2002	18300	C	N	8800	S	9500	10.00	54.20	5.60
2001	18000	C	N		S		10.00	55.90	6.80
2000	15500	C	N	7500	S	8000	9.90	54.80	6.60
1999	19900	C	N	9400	S	10500	9.50	56.70	4.80

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; F = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2014 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0025 - WHITE ST, 200' NW SR 5/US-1/TRUMAN AV

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2014	6000 C	N 3000	S 3000	9.00	55.20	3.80
2013	5300 C	N 2800	S 2500	9.00	54.80	7.30
2012	6000 C	N 2700	S 3300	9.00	55.00	8.20
2011	6100 C	N 3000	S 3100	9.00	55.10	8.30
2010	5400 C	N 2600	S 2800	10.26	56.84	10.30
2009	5000 C	N 2600	S 2400	10.23	56.56	8.40
2008	5600 C	N 2700	S 2900	10.45	54.98	8.60
2007	4700 C	N 2500	S 2200	10.00	99.99	9.80
2006	5300 C	N 2800	S 2500	10.08	99.99	12.30
2005	7100 C	N 3400	S 3700	10.40	99.90	4.20
2004	7400 C	N 4200	S 3200	10.00	99.90	3.10
2003	6700 C	N	S	10.10	99.90	4.40
2002	7600 C	N 4300	S 3300	10.00	99.90	5.60
2001	5900 C	N	S	10.00	99.90	6.80
2000	7400 F	N	S	9.90	99.90	6.60
1999	7200 C	N	S	9.50	56.70	4.80

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; F = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

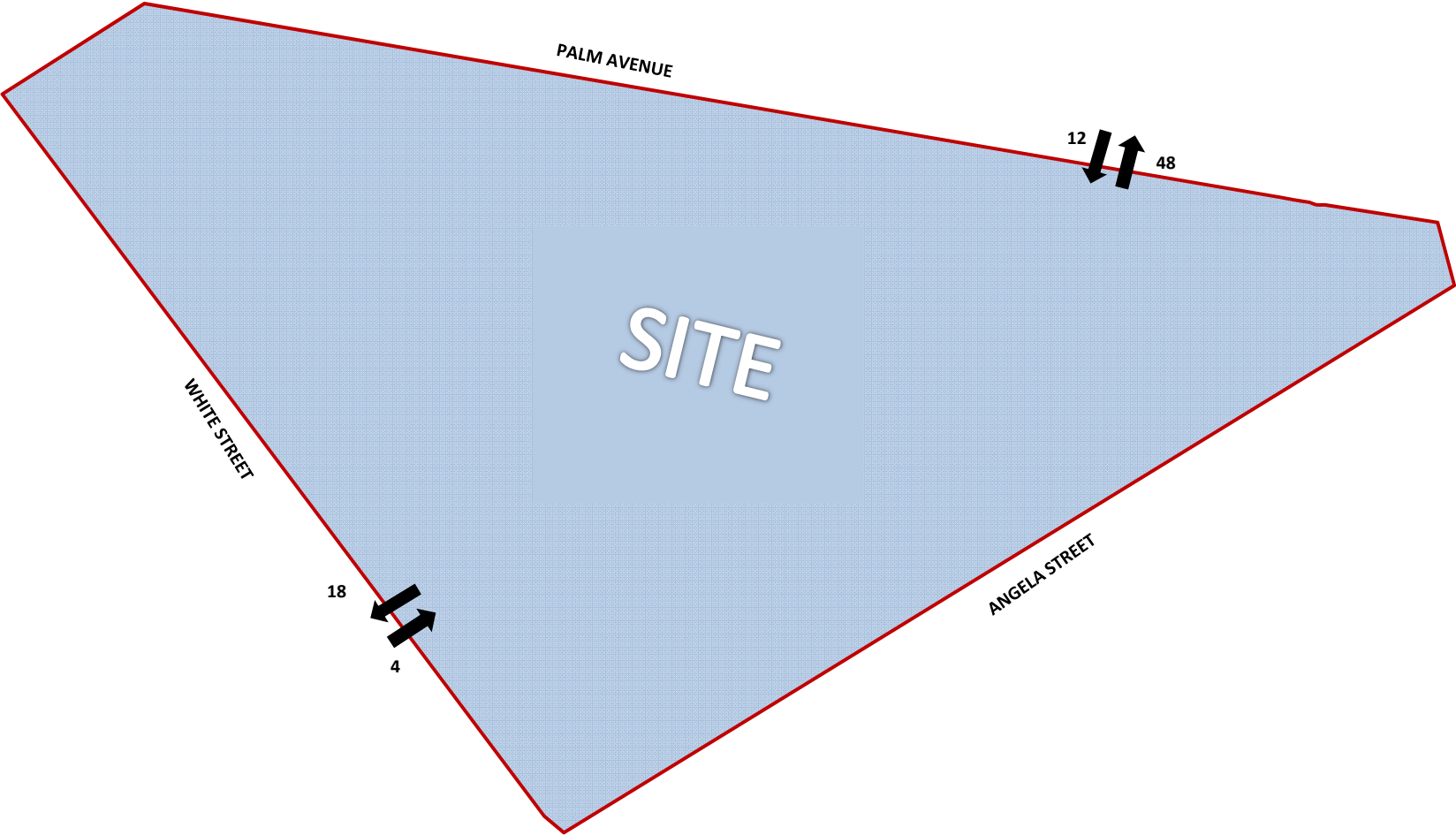
*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

ATTACHMENT B

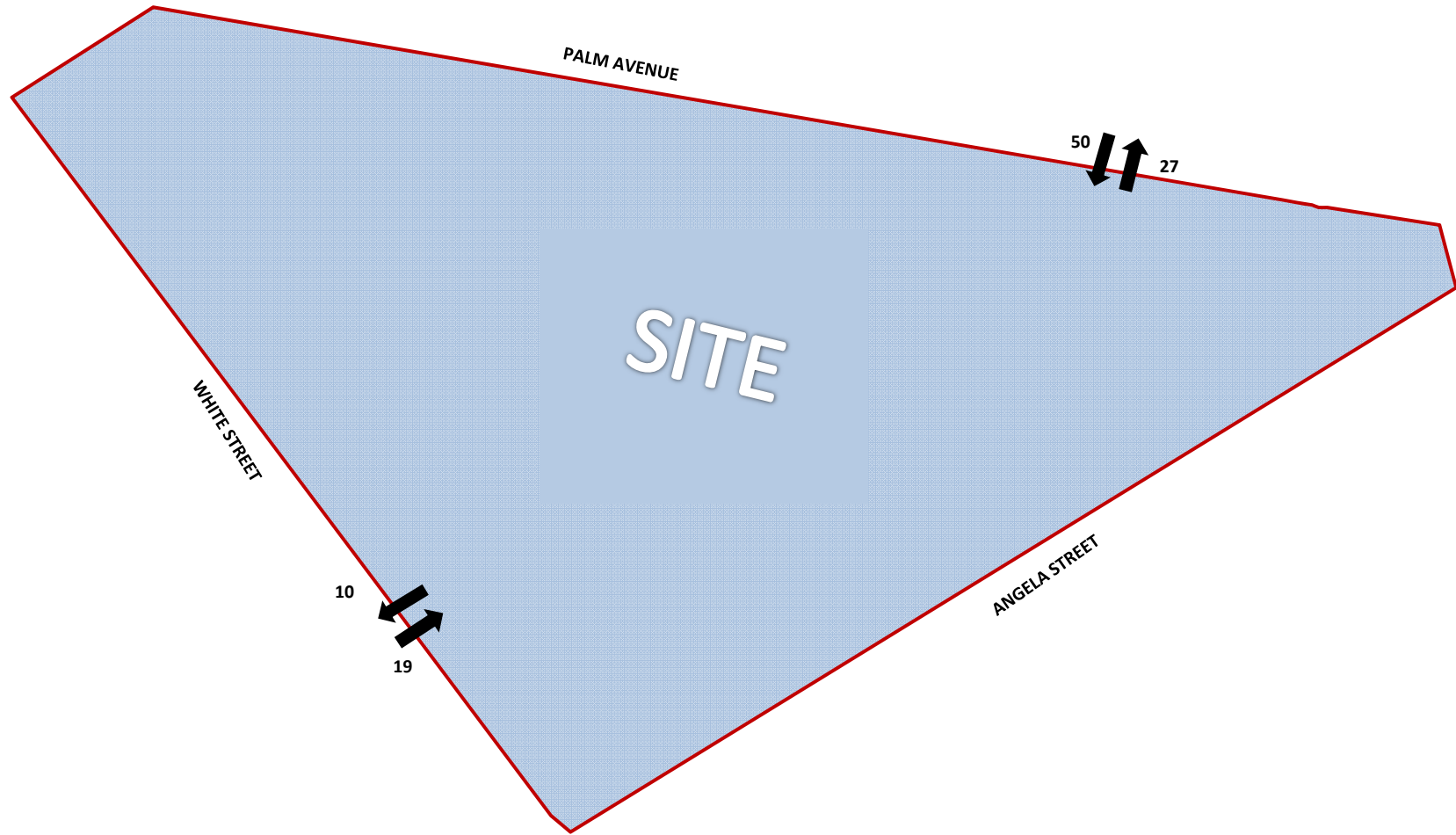
TRAFFIC

DISTRIBUTION/ASSIGNMENT

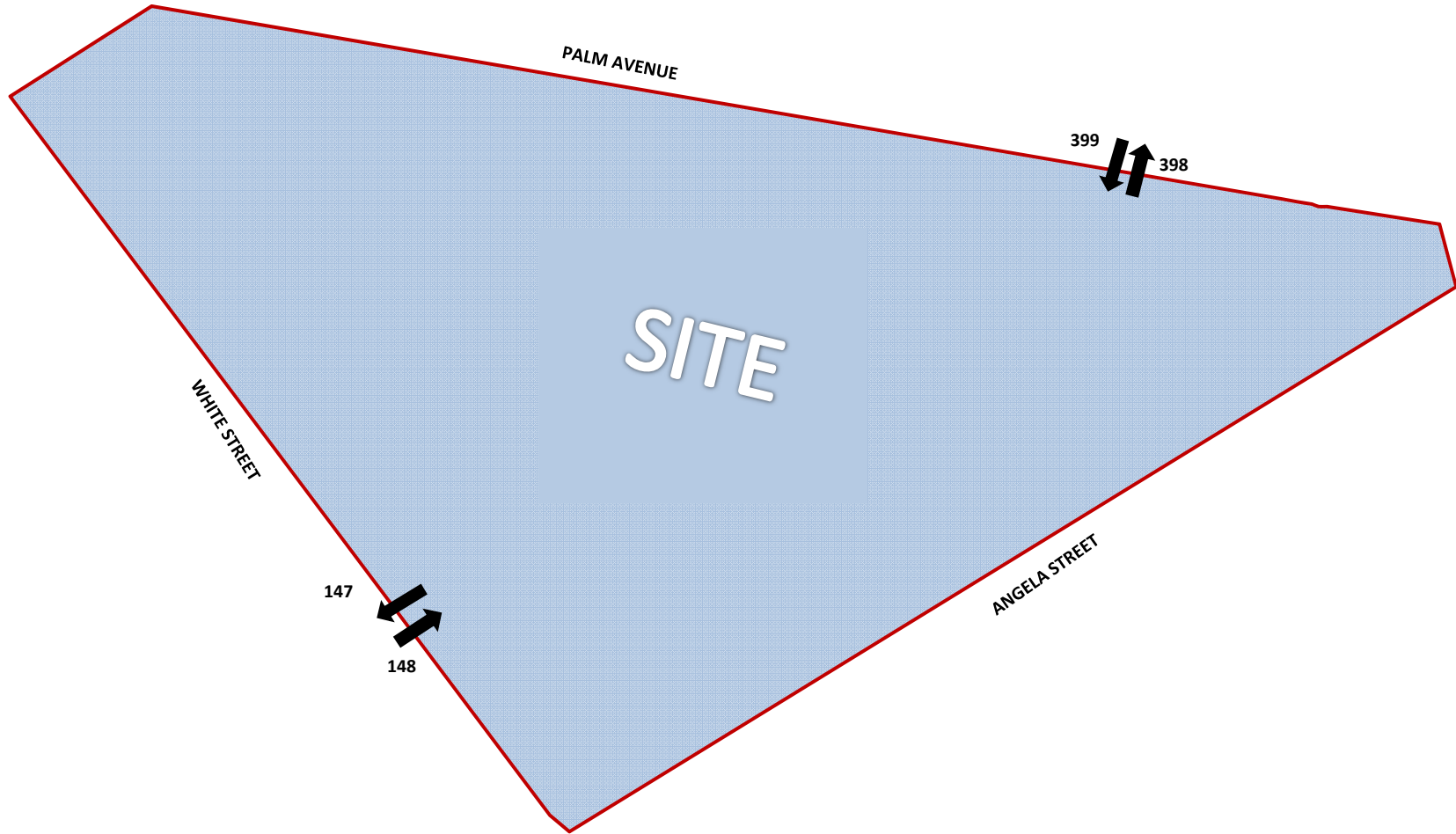
Existing AM Peak Hour Driveway Traffic



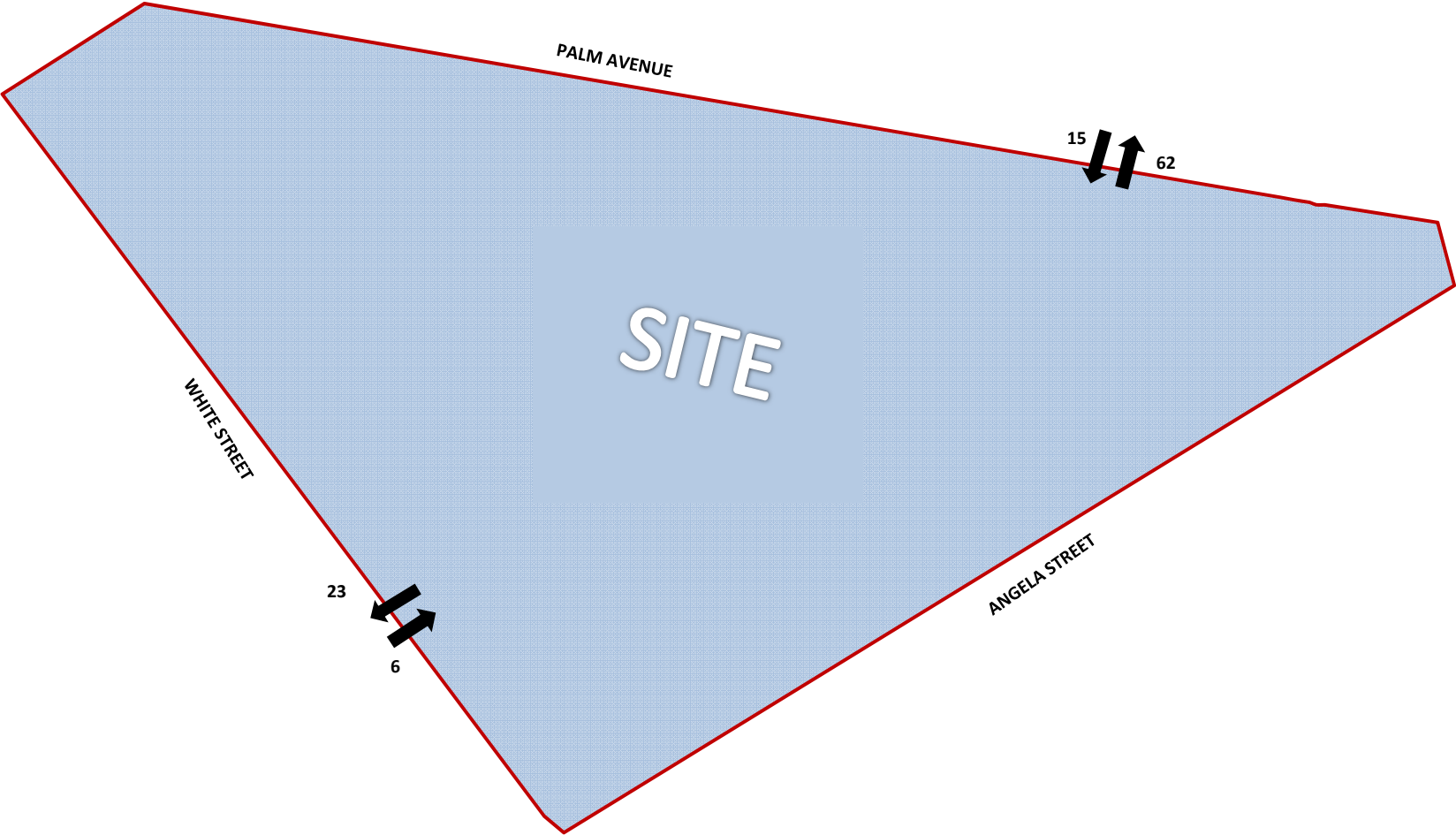
Existing PM Peak Hour Driveway Traffic



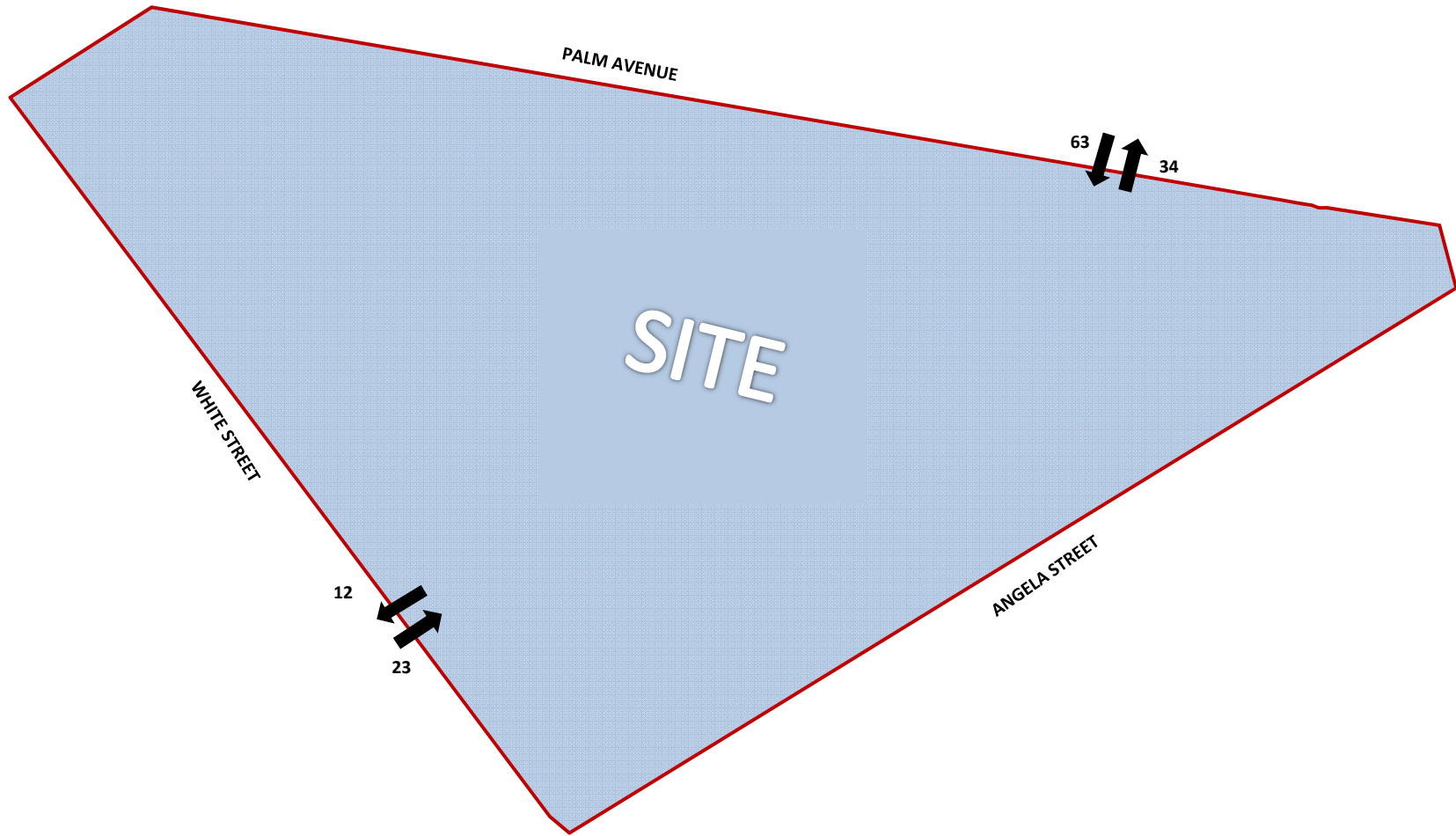
Existing Daily Driveway Traffic



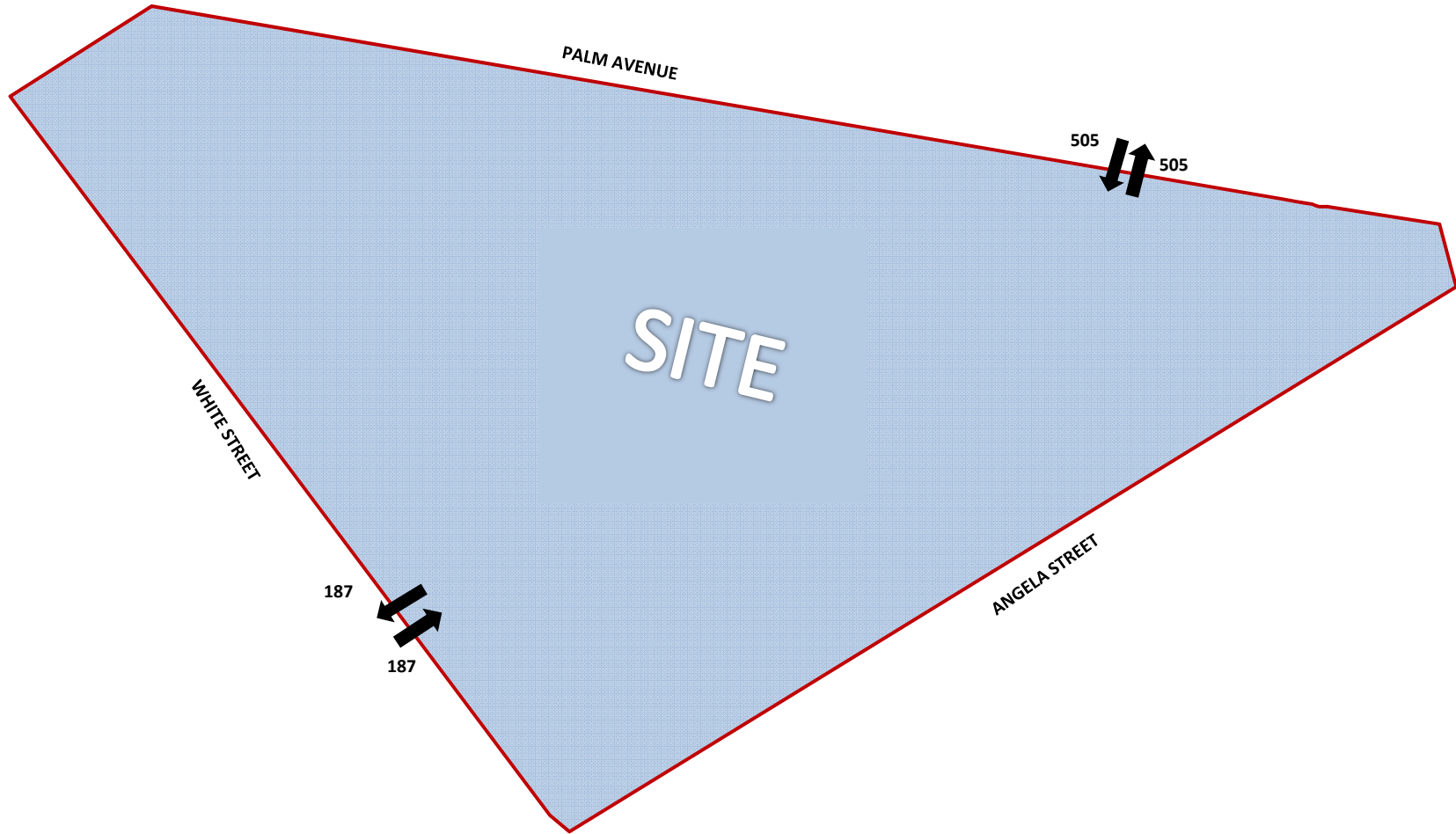
Existing AM Peak Hour Driveway Traffic



Existing PM Peak Hour Driveway Traffic



Existing Daily Driveway Traffic



ATTACHMENT C

CITY OF KEY WEST

ROADWAY/TRAFFIC ANALYSIS

CITY OF KEY WEST ROADWAY / TRAFFIC ANALYSES



Prepared for:

CITY OF KEY WEST



By:

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS™

SIGNALIZED INTERSECTIONS

Prepared for:
City of Key West



EATON STREET AND WHITE STREET

1.0 INTRODUCTION

Calvin, Giordano and Associates Inc. was retained by the City of Key West to complete a Qualitative Assessment of Traffic conditions at the intersection of Eaton Street/Palm Avenue and White Street. The assessment was initiated as a result of numerous citizens' complaints regarding the lack of left turn storage and excessive queuing and vehicle back-up. The City has asked Calvin, Giordano and Associates to evaluate the current intersection geometry and operating conditions to increase the storage of the current left turn movement. This report summarizes the field observations and potential alternatives to alleviate the community's concerns.

2.0 EXISTING CONDITIONS

The intersection at Eaton Street/Palm Avenue and White Street is controlled by an existing span wire traffic signal that is supported by strain poles. This current signal head configuration and timing plan does not provide for a dedicated left-turn movement. The signal timing plan for the left turn is permissive only and does not provide for a protected left turn phase.



Looking West on Eaton Street



Looking East on Eaton Street

3.0 FIELD OBSERVATION



A field review was conducted at the signalized intersection on Monday, May 11, 2015. During the field review it was observed that vehicles driving westbound on Palm Avenue after traveling around the horizontal curve tend to occupy the entire 19' 6" undivided west bound travel lanes. Pavement measurements of the roadway width were taken at three different locations and are summarized in tables 1 and 2 below.

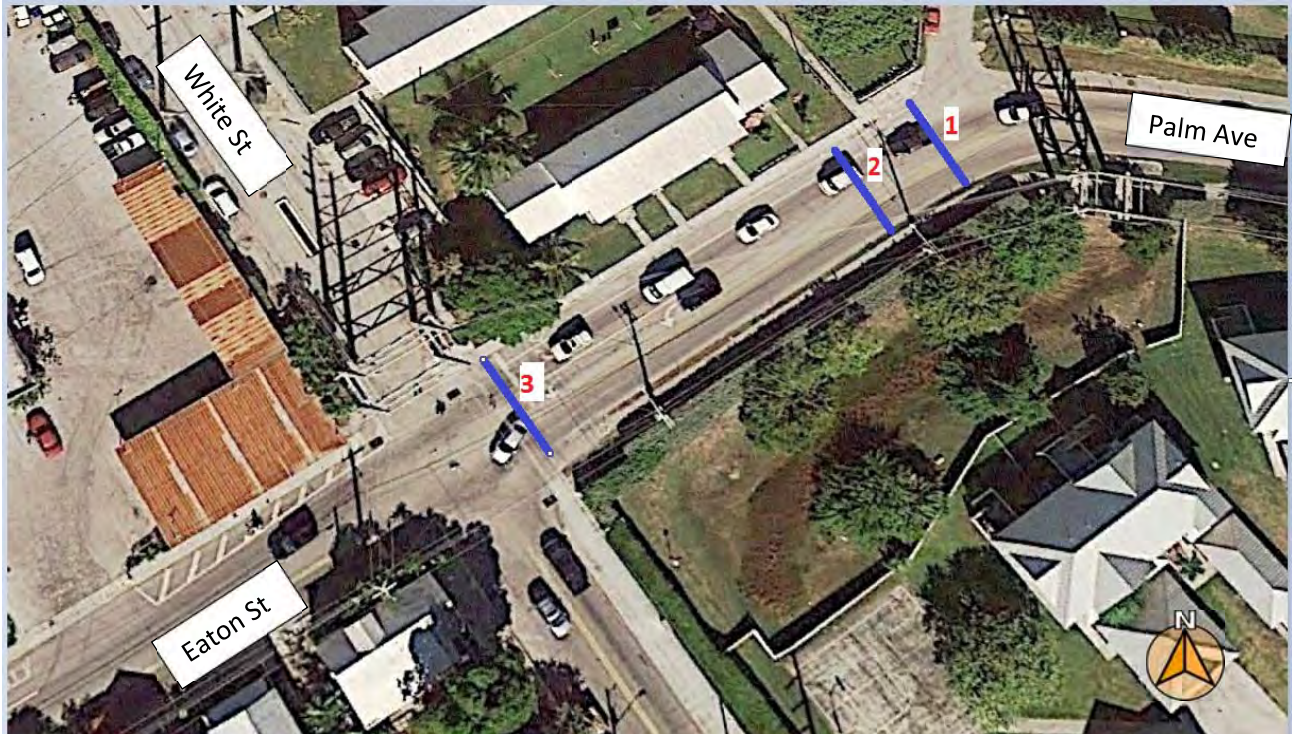


Table 1. Pavement Width

White St and Eaton St / Palm Ave			
<i>Measurement #</i>	<i>From</i>	<i>To</i>	<i>Pavement Width</i>
1	Edge of Pavement	Edge of Pavement	37'9"
2	Edge of Pavement	Edge of Pavement	37'9"
3	Edge of Pavement	Edge of Pavement	38'

Table 2. Lane Width and Assignment

<i>Lane Assignment</i>	<i>Width</i>
Bike Lane	6'
West Bound Through Lane	10'
West Bound Left Turn Lane	9'6"
East Bound Through Lane	12'5"

4.0 CONCLUSIONS AND RECOMMENDATIONS

Calvin, Giordano and Associates Inc. was retained by the City of Key West to complete a qualitative assessment of traffic conditions at the intersection of Eaton Street/Palm Avenue and White Street. The assessment was initiated as a result of numerous citizens' complaints regarding the lack of left turn storage and excessive queuing and back-up traffic.

Based on the measurements and observations made in the field the following recommendations are made:

- Increase the left turn storage lane from the current 60 feet to approximately 120 feet to better delineate the West bound travel lines after the horizontal curve for vehicles traveling on Palm Avenue. This will improve the geometric layout for vehicular traffic, and will improve vehicle distribution as they approach the horizontal curve. This also should alleviate some of the excessive delays due to the left turn traffic movement.
- Perform a signal timing analysis to evaluate the addition of protected permissive left turn and the possibilities of upgrading and converting the current span-wire phase and strain poles to a mast arm supported intersection which would withstand the 150 MPH wind load required by FDOT.



TRUMAN AVENUE AND WHITE STREET

1.0 INTRODUCTION

Calvin, Giordano and Associates Inc. was retained by the City of Key West to complete an evaluation of traffic conditions at the intersection of Truman Avenue/US-1 and White Street. The assessment was initiated as a result of reports of increased traffic congestion for southbound traffic on Truman Avenue. This report summarizes the analysis and potential alternatives to mitigate any identified traffic operational issues.

2.0 EXISTING CONDITIONS

White Street is a two-lane undivided local road with sidewalk on both sides and a posted speed limit of 30 MPH. Truman Avenue/US-1 is a two-lane roadway with sidewalk on both sides and a posted speed limit of 25 MPH. The State of Florida owns and maintains the Truman Avenue/US-1 right-of-way. The intersection's existing configuration is as follows:

Northbound

- One (1) shared left-turn/through/right-turn lane

Southbound

- One (1) shared left-turn/through/right-turn lane

Eastbound

- One (1) dedicated left-turn lane
- One (1) shared through/right-turn lane

Westbound

- One (1) dedicated left-turn lane
- One (1) shared through/right-turn lane

An aerial of the study intersection is presented in **Figure 1**.

Figure 1: Truman Avenue/US-1 and White Street



3.0 DATA COLLECTION

No data was collected as part of this effort; the data utilized as part of this study was collected as part of a previous study completed in 2011 for the City of Key West. As part of the previous study, six-hour Turning Movement Counts (TMCs) were collected at the study intersection on

Thursday March 10, 2011 during the morning, midday and afternoon peak periods. The results of the data collection are summarized in **Table 1**.

Table 2: Turning Movement Count Summary (2011)

Intersection	Eastbound			Westbound			Northbound			Southbound			Intersection Total
	L	T	R	L	T	R	L	T	R	L	T	R	
White Street & Truman Avenue (US-1)	AM PEAK (8:00 AM-9:00 AM)												
	54	113	11	68	181	86	15	323	47	44	330	50	1322
	MIDDAY PEAK (12:00 PM-1:00 PM)												
	119	191	31	75	192	151	22	515	64	48	487	37	1932
	PM PEAK (4:30 PM-5:30 PM)												
	91	228	16	90	165	135	15	521	49	46	480	34	1870

4.0 OPERATIONAL ANALYSIS

An analysis of existing conditions was performed for the study intersection using *Synchro* Traffic Analysis software (version 9.0) based on methodologies outlined in the 2010 Highway Capacity Manual. In addition, an additional analysis was completed using *SIMTRAFFIC* Traffic Simulation software (version 9.0) to evaluate queuing conditions on the approaches to the intersection. The results of the Synchro and SimTraffic analyses are summarized in **Table 2** and **Table 3** respectively. It should be noted that the daily traffic volume peak occurs during midday; therefore, the analysis was completed using the midday traffic volumes.

Table 3: LOS Summary

Intersection	Eastbound (LOS/Delay)	Westbound (LOS/Delay)	Northbound (LOS/Delay)	Southbound (LOS/Delay)	Overall (LOS/Delay)
MIDDAY PEAK (12:00 PM-1:00 PM)					
White Street & Truman Avenue (US-1)	B/16.5	B/19.3	D/49.0	E/61.7	D/40.6

Table 4: SimTraffic Queuing Summary

	Eastbound		Westbound		Northbound	Southbound
	Left Turn	Through/Right Turn	Left Turn	Through/Right Turn	Left Turn /Through/Right Turn	Left Turn /Through/Right Turn
MIDDAY PEAK (12:00 PM-1:00 PM)						
Average Queue (feet)	61	110	43	126	528	582
Maximum Queue (feet)	64	118	98	164	701	906

5.0 CONCLUSIONS AND RECOMMENDATIONS

Calvin, Giordano and Associates Inc. was retained by the City of Key West to complete an evaluation of traffic conditions at the intersection of Truman Avenue and White Street. The assessment was initiated as a result of reports of excessive congestion for southbound traffic on Truman Avenue. An analysis of existing conditions was performed for the study intersection using *Synchro* Traffic Analysis software (version 9.0) and *SIMTRAFFIC* Traffic Simulation software (version 9.0). The analysis showed that the southbound approach of the intersection does not operate at an acceptable Level-of-Service (LOS D or better); in addition, the queue on the southbound approach seems to be comparatively excessive. Based on the results of the analysis, the following recommendation is made

- Consider providing a lead phase for southbound traffic to alleviate some of the identified traffic operational issues. Based on the intended scope of this study, the specifics of the lead phase and the effects of the proposed timing changes on the surrounding roadway network were not evaluated. It is therefore also recommended that a more comprehensive traffic analysis be completed to evaluate the effects of the signal timing changes on the adjacent intersections.

As previously mentioned, Truman Avenue (US-1) is a State of Florida owned and maintained roadway; therefore, close coordination with the Florida Department of Transportation District 6 Traffic Operations Office will be required to implement any signal timing changes.

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 1669 SW College St., (772) 221-7971

Manual Traffic Count
 31 and White St
 Key West, FL
 Intersection counted: 3/10/2011

File Name : F-USWH
 Site Code : 11-503
 Start Date : 3/10/2011
 Page No : 1

Groups Printed- Cars/Trucks - Bicycles - Mopeds/Scooters - Delivery Trucks/Buses - Electric Cars - Train Tour - 3 Wheel Bicycles - Tour
 Vehicles(Trolleys,Ghost tours,etc)

Start Time	US1 SB				White St WB				US1 NB				White St EB				Int. Total
	Right	Thru	Left	Peds	Right	Thru	Left	Peds	Right	Thru	Left	Peds	Right	Thru	Left	Peds	
07:00 AM	5	55	7	3	11	11	7	1	7	52	1	4	5	11	8	0	188
07:15 AM	9	61	18	5	12	17	5	3	6	60	1	4	2	13	8	9	233
07:30 AM	7	79	11	2	23	23	11	3	11	71	2	3	3	24	10	5	288
07:45 AM	8	74	6	0	17	36	25	4	19	93	8	1	2	25	17	6	341
Total	29	269	42	10	63	87	48	11	43	276	12	12	12	73	43	20	1050
08:00 AM	14	80	6	3	18	50	21	6	18	92	8	4	1	37	17	5	380
08:15 AM	16	83	17	4	19	48	17	6	13	65	5	8	1	25	11	6	344
08:30 AM	9	59	11	8	32	39	8	4	7	76	1	0	2	16	8	1	281
08:45 AM	11	108	10	2	17	44	22	4	9	90	1	5	7	35	18	5	388
Total	50	330	44	17	86	181	68	20	47	323	15	17	11	113	54	17	1393
*** BREAK ***																	
12:00 PM	14	142	13	8	34	44	20	4	16	142	8	0	4	43	30	7	529
12:15 PM	4	104	11	3	31	54	22	2	17	115	5	2	8	50	27	4	459
12:30 PM	13	125	5	0	44	51	14	0	19	134	7	1	13	51	28	5	510
12:45 PM	6	116	19	0	42	43	19	0	12	124	2	0	6	47	34	0	470
Total	37	487	48	11	151	192	75	6	64	515	22	3	31	191	119	16	1968
*** BREAK ***																	
03:45 PM	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	1
Total	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	1
04:00 PM	7	120	17	0	33	46	15	0	21	110	5	2	7	47	23	1	454
04:15 PM	15	115	4	9	26	44	23	3	18	102	4	4	5	41	25	3	441
04:30 PM	13	124	16	4	43	33	28	2	21	114	1	1	10	60	19	11	500
04:45 PM	6	109	7	3	30	42	20	4	10	123	6	15	2	49	20	5	451
Total	41	468	44	16	132	165	86	9	70	449	16	22	24	197	87	20	1846
05:00 PM	6	126	12	13	32	39	24	7	6	147	6	1	1	73	22	7	522
05:15 PM	9	121	11	3	30	51	18	2	12	137	2	2	3	46	30	9	486
05:30 PM	12	103	18	4	28	33	13	6	26	128	2	7	9	41	17	3	450
05:45 PM	12	94	5	4	24	42	22	3	29	80	3	15	2	26	16	4	381
Total	39	444	46	24	114	165	77	18	73	492	13	25	15	186	85	23	1839
Grand Total	196	1998	224	78	546	790	354	64	297	2056	78	79	93	760	388	96	8097
Approch %	7.9	80	9	3.1	31.1	45	20.2	3.6	11.8	81.9	3.1	3.1	7	56.8	29	7.2	
Total %	2.4	24.7	2.8	1	6.7	9.8	4.4	0.8	3.7	25.4	1	1	1.1	9.4	4.8	1.2	
Cars/Trucks	176	1844	220	78	515	643	311	64	283	1950	61	79	78	637	363	95	7397
% Cars/Trucks	89.8	92.3	98.2	100	94.3	81.4	87.9	100	95.3	94.8	78.2	100	83.9	83.8	93.6	99	91.4
Bicycles	11	74	0	0	13	86	15	0	1	42	3	0	0	63	1	1	310
% Bicycles	5.6	3.7	0	0	2.4	10.9	4.2	0	0.3	2	3.8	0	0	8.3	0.3	1	3.8
Mopeds/Scooters	6	66	2	0	12	56	24	0	11	49	13	0	14	48	9	0	310
% Mopeds/Scooters	3.1	3.3	0.9	0	2.2	7.1	6.8	0	3.7	2.4	16.7	0	15.1	6.3	2.3	0	3.8
Delivery Trucks/Buses	3	7	2	0	5	3	2	0	0	6	0	0	1	2	14	0	45
% Delivery Trucks/Buses	1.5	0.4	0.9	0	0.9	0.4	0.6	0	0	0.3	0	0	1.1	0.3	3.6	0	0.6
Electric Cars	0	6	0	0	1	1	2	0	1	2	0	0	0	4	1	0	18
% Electric Cars	0	0.3	0	0	0.2	0.1	0.6	0	0.3	0.1	0	0	0	0.5	0.3	0	0.2
Train Tour	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	1
% Train Tour	0	0	0	0	0	0	0	0	0	0	1.3	0	0	0	0	0	0
3 Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% 3 Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Tow Vehicles(Trolleys/Ghost tours,etc)	0	1	0	0	0	1	0	0	1	7	0	0	0	6	0	0	16
% Tow Vehicles(Trolleys/Ghost tours,etc)	0	0.1	0	0	0	0.1	0	0	0.3	0.3	0	0	0	0.8	0	0	0.2

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1669 SW College St., (772) 221-7971

Manual Traffic Count

S1 and White St

Key West, FL

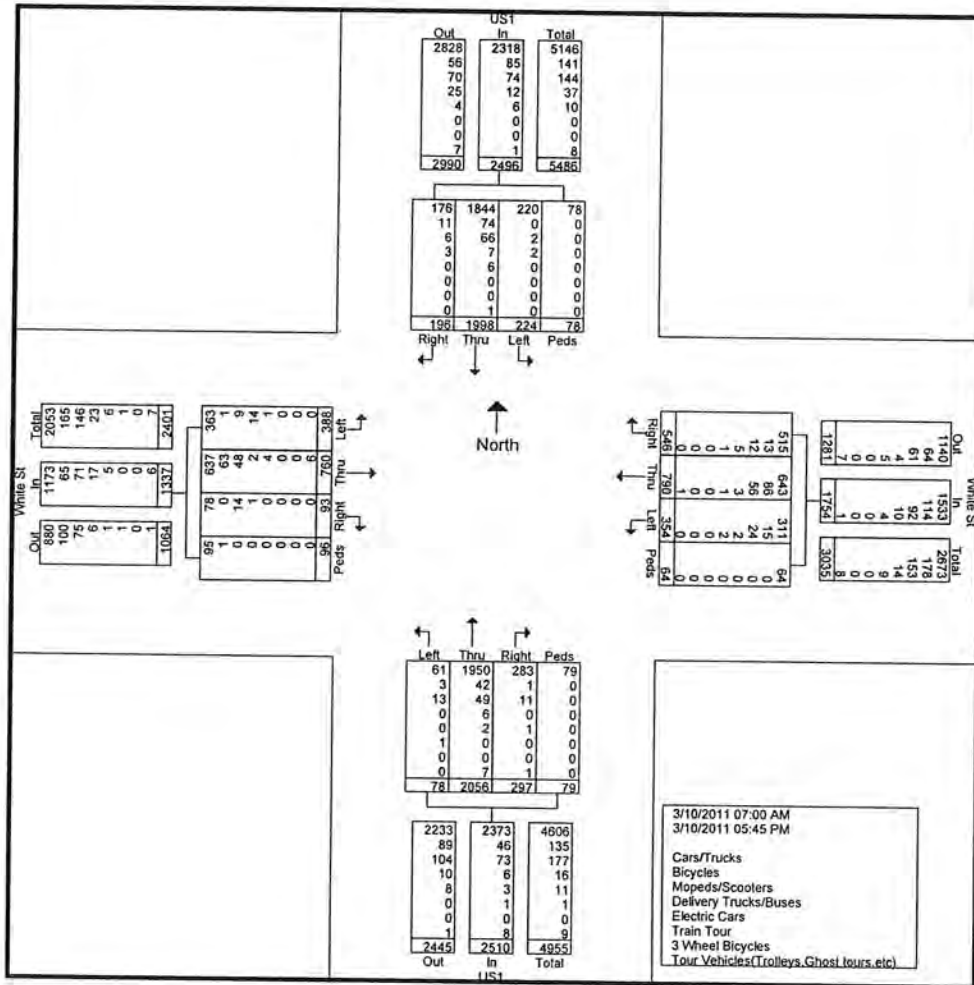
Intersection counted: 3/10/2011

File Name : F-USWH

Site Code : 11-503

Start Date : 3/10/2011

Page No : 2



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1669 SW College St., (772) 221-7971

Manual Traffic Count

31 and White St

Key West, FL

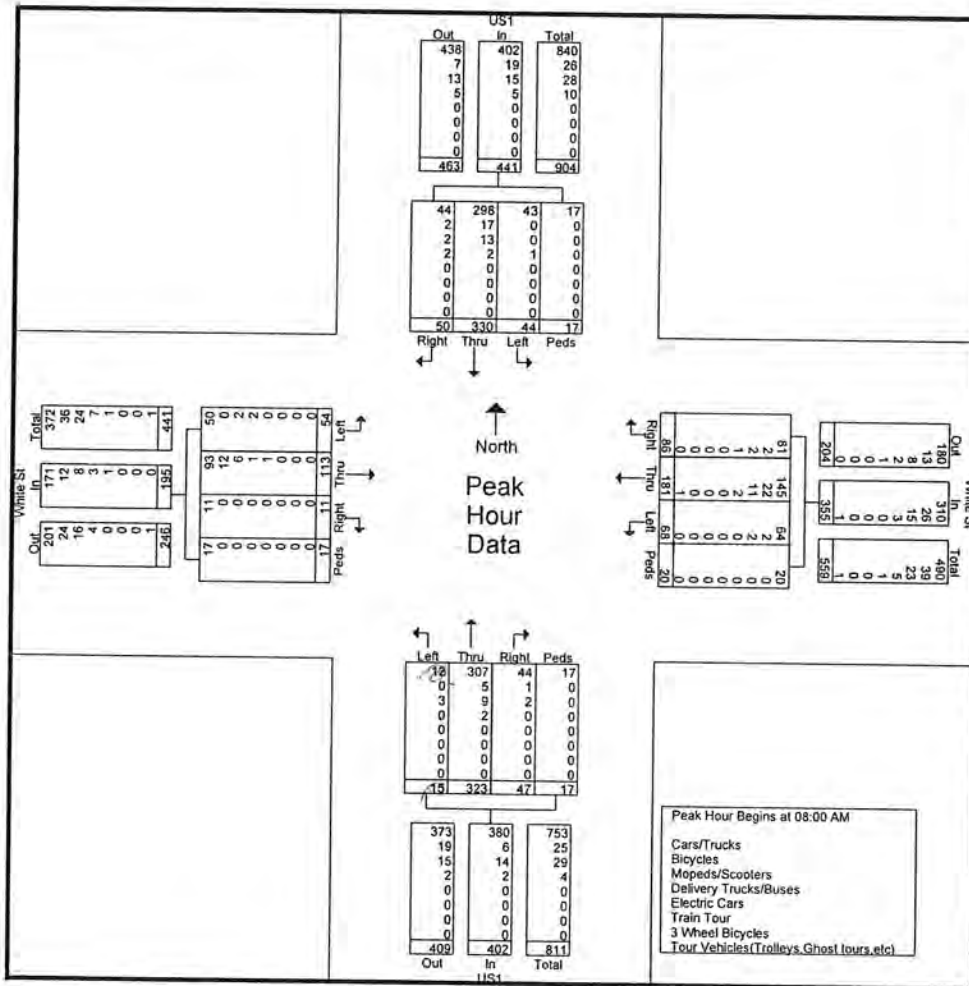
Intersection counted: 3/10/2011

File Name : F-USWH

Site Code : 11-503

Start Date : 3/10/2011

Page No : 4



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Manual Traffic Count
 31 and White St
 Key West, FL
 Intersection counted: 3/10/2011

File Name : F-USWH
 Site Code : 11-503
 Start Date : 3/10/2011
 Page No : 5

Start Time	US1 SB					White St WB					US1 NB					White St EB					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 12:00 PM to 12:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 12:00 PM																					
12:00 PM	14	142	13	8	177	34	44	20	4	102	16	142	8	0	166	4	43	30	7	84	529
12:15 PM	4	104	11	3	122	31	54	22	2	109	17	115	5	2	139	8	50	27	4	89	459
12:30 PM	13	125	5	0	143	44	51	14	0	109	19	134	7	1	161	13	51	28	5	97	510
12:45 PM	6	116	19	0	141	42	43	19	0	104	12	124	2	0	138	6	47	34	0	87	470
Total Volume	37	487	48	11	583	151	192	75	6	424	64	515	22	3	604	31	191	119	16	357	1968
% App. Total	6.3	83.5	8.2	1.9		35.6	45.3	17.7	1.4		10.6	85.3	3.6	0.5		8.7	53.5	33.3	4.5		
PHF	.661	.857	.632	.344	.823	.858	.889	.852	.375	.972	.842	.907	.688	.375	.910	.596	.936	.875	.571	.920	.930
Cars/Trucks																					
% Cars/Trucks	94.6	93.2	97.9	100	93.8	94.0	83.3	82.7	100	87.3	92.2	96.3	59.1	100	94.5	90.3	86.4	95.0	100	90.2	92.0
Bicycles	2	11	0	0	13	5	24	5	0	34	0	6	3	0	9	0	11	1	0	12	68
% Bicycles	5.4	2.3	0	0	2.2	3.3	12.5	6.7	0	8.0	0	1.2	13.6	0	1.5	0	5.8	0.8	0	3.4	3.5
Mopeds/Scooters	0	19	0	0	19	1	7	5	0	13	4	7	6	0	17	2	11	1	0	14	63
% Mopeds/Scooters	0	3.9	0	0	3.3	0.7	3.6	6.7	0	3.1	6.3	1.4	27.3	0	2.8	6.5	5.8	0.8	0	3.9	3.2
Delivery Trucks/Buses	0	1	1	0	2	2	1	2	0	5	0	3	0	0	3	1	0	3	0	4	14
% Delivery Trucks/Buses	0	0.2	2.1	0	0.3	1.3	0.5	2.7	0	1.2	0	0.6	0	0	0.5	3.2	0	2.5	0	1.1	0.7
Electric Cars	0	1	0	0	1	1	0	1	0	2	1	0	0	0	1	0	1	1	0	2	6
% Electric Cars	0	0.2	0	0	0.2	0.7	0	1.3	0	0.5	1.6	0	0	0	0.2	0	0.5	0.8	0	0.6	0.3
Train Tour	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Train Tour	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3 Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% 3 Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Tour Vehicles (cruisers, motorbikes)	0	1	0	0	1	0	0	0	0	0	0	3	0	0	3	0	3	0	0	3	7
% Tour Vehicles (cruisers, motorbikes)	0	0.2	0	0	0.2	0	0	0	0	0	0	0.6	0	0	0.5	0	1.6	0	0	0.8	0.4

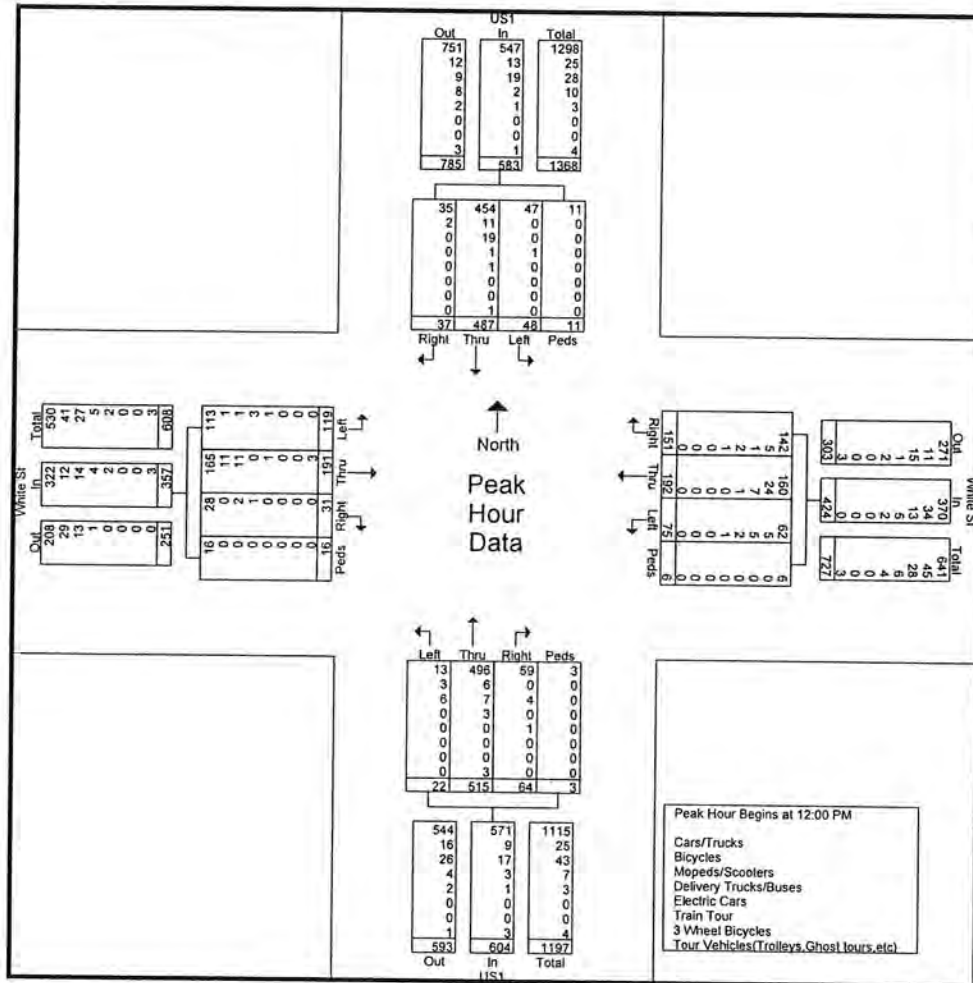
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1669 SW College St., (772) 221-7971

Manual Traffic Count
 31 and White St
 Key West, FL
 Intersection counted: 3/10/2011

File Name : F-USWH
 Site Code : 11-503
 Start Date : 3/10/2011
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Manual Traffic Count
 31 and White St
 Key West, FL
 Intersection counted: 3/10/2011

File Name : F-USWH
 Site Code : 11-503
 Start Date : 3/10/2011
 Page No : 7

Start Time	US1 SB					White St WB					US1 NB					White St EB					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:30 PM																					
04:30 PM	13	124	16	4	157	43	33	28	2	106	21	114	1	1	137	10	60	19	11	100	500
04:45 PM	6	109	7	3	125	30	42	20	4	96	10	123	6	15	154	2	49	20	5	76	451
05:00 PM	6	126	12	13	157	32	39	24	7	102	6	147	6	1	160	1	73	22	7	103	522
05:15 PM	9	121	11	3	144	30	51	18	2	101	12	137	2	2	153	3	46	30	9	88	486
Total Volume	34	480	46	23	583	135	165	90	15	405	49	521	15	19	604	16	228	91	32	367	1959
% App. Total	5.8	82.3	7.9	3.9		33.3	40.7	22.2	3.7		8.1	86.3	2.5	3.1		4.4	62.1	24.8	8.7		
PHF	.654	.952	.719	.442	.928	.785	.809	.804	.536	.955	.583	.886	.625	.317	.944	.400	.781	.758	.727	.891	.938
Cars/Trucks																					
% Cars/Trucks	88.2	90.4	100	100	91.4	94.8	83.6	90.0	100	89.4	98.0	95.6	80.0	100	95.5	68.8	82.0	92.3	96.9	85.3	91.1
Bicycles	3	25	0	0	28	4	15	4	0	23	0	8	0	0	8	0	16	0	1	17	76
% Bicycles	8.8	5.2	0	0	4.8	3.0	9.1	4.4	0	5.7	0	1.5	0	0	1.3	0	7.0	0	3.1	4.6	3.9
Mopeds/Scooters	1	18	0	0	19	2	12	4	0	18	1	13	2	0	16	5	20	4	0	29	82
% Mopeds/Scooters	2.9	3.8	0	0	3.3	1.5	7.3	4.4	0	4.4	2.0	2.5	13.3	0	2.6	31.3	8.8	4.4	0	7.9	4.2
Delivery Trucks/Buses	0	2	0	0	2	1	0	0	0	1	0	0	0	0	0	0	1	3	0	4	7
% Delivery Trucks/Buses	0	0.4	0	0	0.3	0.7	0	0	0	0.2	0	0	0	0	0	0	0.4	3.3	0	1.1	0.4
Electric Cars	0	1	0	0	1	0	0	1	0	1	0	0	0	0	0	0	2	0	0	2	4
% Electric Cars	0	0.2	0	0	0.2	0	0	1.1	0	0.2	0	0	0	0	0	0	0.9	0	0	0.5	0.2
Train Tour	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	1
% Train Tour	0	0	0	0	0	0	0	0	0	0	0	0	6.7	0	0.2	0	0	0	0	0	0.1
3 Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% 3 Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Four Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Four Wheel Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Motorcycles	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	2	0	0	2	4
% Motorcycles	0	0	0	0	0	0	0	0	0	0	0	0.4	0	0	0.3	0	0.9	0	0	0.5	0.2

Coordination with Keys Energy

----- Forwarded Message

From: Everett Atwell <EATWELL@TAMPABAY.RR.COM>

Date: Mon, 31 Aug 2015 14:47:04 -0400

To: "James K. Scholl" <jscholl@cityofkeywest-fl.gov>, "Thaddeus L. Cohen" <tcohen@cityofkeywest-fl.gov>, Greg Veliz <gveliz@cityofkeywest-fl.gov>

Cc: Donna Bosold <donna.bosold@att.net>

Conversation: Peary Court Tentative Approval Schedule

Subject: Re: Peary Court Tentative Approval Schedule

RECEIVED

SEP 14 2015

CITY OF KEY WEST
PLANNING DEPT.

Mr. Cohen,

I've heard that there was some confusion with the Keys Energy comments in the DRC meeting last week that I'd like to clarify for you. I've attached a copy of those comments with corresponding numbers to each particular item they brought up.

It is our position that Items 1, 2, 3, 4, 5 & 9 are "utility customer/utility provider" issues and not related to our application in front of the DRC or in the purview of your review. I'm not sure why they'd provide such comments in this venue, but any event, I'm providing a brief explanation below of each. Items 6, 7 & 8 have already been addressed by us.

Item 1 – Pursuant to an agreement we have with KES for the existing electrical system on our property, we have previously provided them with easement documents which they've declined to execute. KES attorneys are in discussion with ours to resolve language issues. Again, unrelated to the proceedings at hand.

Item 2- This comment is completely inaccurate.

Item 3 – See #1 above. Please note that this easement is unrelated to the proposed development and is a completely separate issue.

Item 4 – See #1 above.

Item 5 – KES has taken over ownership of the primary electrical system at Peary Ct. This 3 phase service being part of that system. We have agreed to convert to a single phase system in the future. This is an unrelated item and not within the limited scope of work here.

Item 6 – This was coordinated with KES engineering department months ago to the extent KES physically located the lines in question, provided us with that drawing and we relocated one building to provide adequate clearance from it.

Item 7/8 – We discussed the access with KES engineering department and have subsequently cleared the areas in question of any vegetation that would prevent access to the pad mount transformer in question. Again, this is outside the limited scope of work.

Item 9 – This is straight out of their service manual and applies to anyone looking for new service from KES. Its required when when actually applying for service.

I have personally been in contact with and met with KES' Manager of Engineering on the new

plans on several occasions. We've had extensive dialogue and preliminary agreements on exactly how KES would provide service to the new buildings. There will be no new transformer locations needed. All buildings will be served by existing locations. KES limit of service/responsibility is at these transformer locations. The secondary electrical cables from that point to each building service location is the responsibility of the property owner.

I hope this explains the issues for you. If you have further questions regarding any of this please advise.

Regards,

Everett Atwell
White St Partners LLC
Peary Court Holdings LLC

From: Everett Atwell [<mailto:eatwell@tampabay.rr.com>]
Sent: Tuesday, June 09, 2015 10:23 AM
To: Finigan, Dale
Cc: Allen Perez
Subject: Re: Perry Court Comments

Dale,

Thanks for the info. We are planning on replacing the existing lift station anyway so using a single phase system should be no problem.

You already have a blanket easement across the entire property for electrical service/access, as well KES has accepted ownership of the entire ug system. I don't see a need for additional overlaid easements. We can make whatever access accommodation you need for the lift station transformer et al. The common areas (outside bldg footprints) will always be owned by the overall property owner or by an HOA in the event units are sold individually. No individuals or otherwise would be able to plant new materials, etc.

I'll have Allen overlay your ug locates to make any adjustments on bldg locations.

Take a look at the attached, would like to suggest a little different service layout to limit secondary run lengths and potential service voltage issues.

Just a note, these are rental units...will not be sold to individual owners.

If we're in agreement, I would like to get a letter of coordination from KES for the proposed new development.

ev

----- Forwarded Message

From: "Finigan, Dale" <Dale.Finigan@KeysEnergy.com>
Date: Mon, 1 Jun 2015 15:19:55 -0400
To: Everett Atwell <EATWELL@TAMPABAY.RR.COM>
Subject: Perry Ct

Everett

Attached is the drawing I obtained from Allen. I modified it to show the proposed transformers to feed the new Buildings.

It appears that we will only need to upgrade the Transformers to a higher KVA capacity. I am still unsure on the "lift station", and if this is one phase or 3. You or Allen will need to let me know.

Overall your project appear to be straight forward.

----- Forwarded Message

From: "Finigan, Dale" <Dale.Finigan@KeysEnergy.com>

Date: Tue, 9 Jun 2015 11:25:57 -0400

To: Everett Atwell <EATWELL@TAMPABAY.RR.COM>

Subject: RE: Perry Court Comments

No problem on modifying the secondary runs. We are flexible on that to help out on long runs. Makes sense.

I will work on getting you a Letter of coordination.

Can you send me the exact name and address to send letter to.

The Easement is something I need to look into. I maybe wrong, so I apologize if so.

But was a "general easement ever done? I recall an "agreement" that was executed with the understanding that an official easement was to be provided and executed at a later date.

Again, I may be wrong. Lots of other projects going on. I just need to follow up on this.

Dale Z. Finigan

Dale Z. Finigan
KEYS Energy

----- Forwarded Message

From: "Finigan, Dale" <Dale.Finigan@KeysEnergy.com>

Date: Tue, 9 Jun 2015 10:28:48 -0400

To: Everett Atwell <EATWELL@TAMPABAY.RR.COM>

Cc: Allen Perez <aperez@Perezeng.com>

Subject: RE: Perry Court Comments

Sounds good.

I'm sure we can work it all out.

That is good to hear that all the common areas will remain part of the HOA. The concern is if you try to sell the units off individually.

Still we have customers that say they did not know.

Thanks for all the coordination

Do you want us to write a letter of coordination now?

We can.

All the issues do not have to be worked out, for KEYS to write a letter of Coordination.

Let me know

Dale Z. Finigan

Dale Z. Finigan
KEYS Energy

The only concern that was raised at KEYS is the impact of any new building to the UG High voltage cables.

A portion of the UG appears to be very close to just one of the buildings.

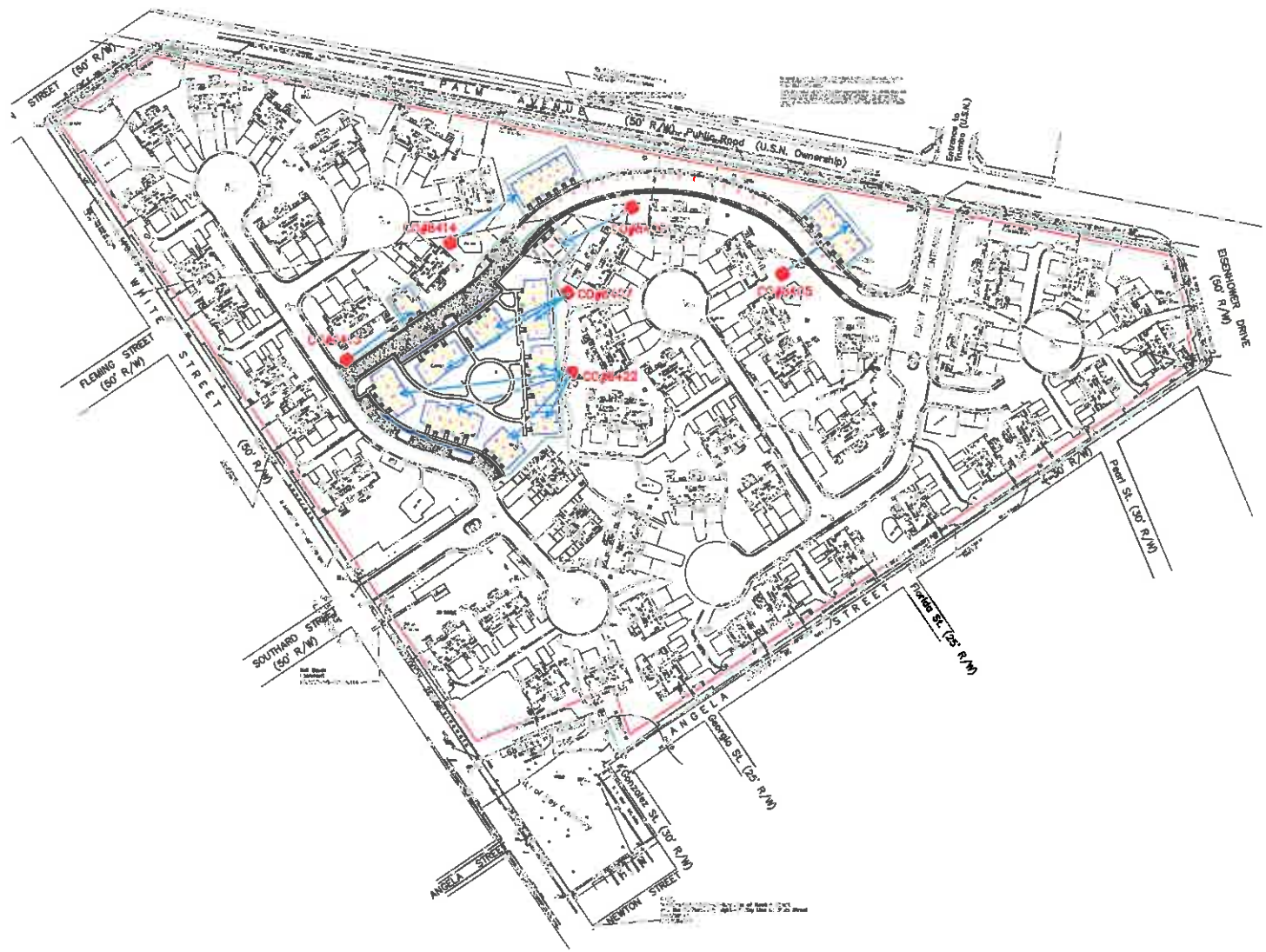
Since you are keeping the system in place, our plan is to now field check the UG routing of the cables, compared to the as-built the Navy provided.

This should be done over the next 3-4 months.

Take care.

Dale Z. Finigan

Dale Z. Finigan
KEYS Energy





Partner Software, Inc. <http://www.partnersoft.com> 2015/06/04 04:57:27 robinj

A 10'6"	D 22'	G 16'8"
B 8'10"	E 25'10"	H 5'9"
C 15'4"	F 27'	

All measurements taken from back edge of sidewalk.

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Website tested on IE8, IE9, & Firefox.
Requires Adobe Flash 10.3 or higher

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: **9100458** Parcel ID: **00006730-000200**

Ownership Details

Mailing Address:
PEARY COURT HOLDINGS LP
2828 CORAL WAY STE 303
CORAL GABLES, FL 33145-3214

Property Details

PC Code: 03 - MULTI FAMILY (10 UNITS OR MORE)
Millage Group: 10KW
Affordable Housing: Yes
Section-Township-Range: 32-67-25
Property Location: 541 WHITE ST KEY WEST
Legal Description: SQRS 30 AND 43 PER WM WHITEHEAD MAP OF 1829 AND PARCEL IDENTIFIED AS UNITED STATE CANTONMENT (24.1835 AC) (A/K/A PEARY COURT) B47-183-396 G6-277/278 A4-446 RR-94 OR432-317/318 OR2334-531/618(LEASE W/CONVEYANCE) OR2648-126/133(PARTIAL TERMINATION OF LEASE) OR2648-134/154Q/C OR2648-155/181 OR2648-182/189(REST) OR2657-648/650(AMD REST)

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY			24.18 AC

Building Summary

Number of Buildings: 8
Number of Commercial Buildings: 0
Total Living Area: 33007
Year Built: 1996

Building 1 Details

Building Type R3	Condition A	Quality Grade 550
Effective Age 18	Perimeter 428	Depreciation % 24
Year Built 1996	Special Arch 0	Grnd Floor Area 3,853
Functional Obs 0	Economic Obs 0	

Inclusions: R3 includes 3 3-fixture baths and 3 kitchens.

Roof Type Heat 1 Heat Src 1	Roof Cover Heat 2 Heat Src 2	Foundation Bedrooms 0
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Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	OPF		1	1996				55
0	OPF		1	1996				28
0	OPF		1	1996				28

0	OPF	1	1996			55
0	OPF	1	1996			55
0	OPF	1	1996			28
0	SBF	1	1996			131
0	CPX	1	1996			577
0	SBF	1	1996			65
0	CPX	1	1996			286
0	FLA	11:VINYL SIDING	1	1996	N Y	1,844
0	FLA	11:VINYL SIDING	1	1996	N Y	2,009

Building 2 Details

Building Type R3
 Effective Age 18
 Year Built 1996
 Functional Obs 0

Condition A
 Perimeter 428
 Special Arch 0
 Economic Obs 0

Quality Grade 550
 Depreciation % 24
 Grnd Floor Area 3,853

Inclusions: R3 includes 3 3-fixture baths and 3 kitchens.

Roof Type
 Heat 1
 Heat Src 1

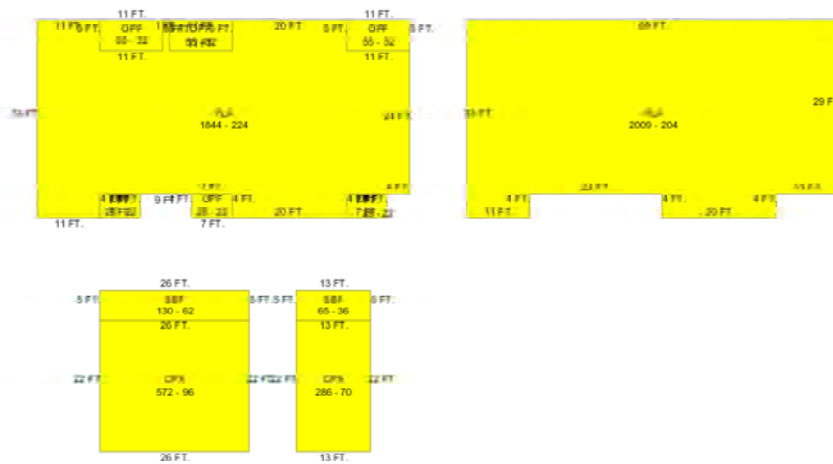
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	SBF		1	1996					130
0	CPX		1	1996					572

0	SBF		1	1996					65
0	CPX		1	1996					286
0	OPF		1	1996					55
0	OPF		1	1996					28
0	OPF		1	1996					55
0	OPF		1	1996					55
0	OPF		1	1996					28
0	OPF		1	1996					28
0	FLA	11:VINYL SIDING	1	1996	N	Y			1,844
0	FLA	11:VINYL SIDING	1	1996	N	Y			2,009

Building 3 Details

Building Type R2
 Effective Age 18
 Year Built 1996
 Functional Obs 0

Condition A
 Perimeter 304
 Special Arch 0
 Economic Obs 0

Quality Grade 550
 Depreciation % 24
 Grnd Floor Area 2,552

Inclusions: R2 includes 2 3-fixture baths and 2 kitchens.

Roof Type
 Heat 1
 Heat Src 1

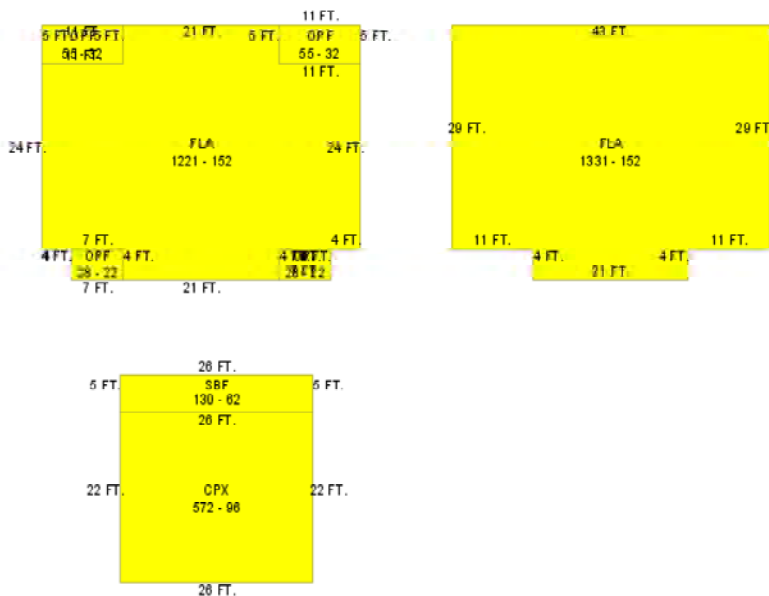
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	OPF		1	1996				55

0	OPF		1	1996					28
0	OPF		1	1996					28
0	OPF		1	1996					28
0	OPF		1	1996					28
0	SBF		1	1996					130
0	CPX		1	1996					572
0	SBF		1	1996					131
0	CPX		1	1996					575
0	FLA	11:VINYL SIDING	1	1996	N	Y			2,471
0	FLA	11:VINYL SIDING	1	1996	N	Y			2,691

Building 5 Details

Building Type R4
Effective Age 18
Year Built 1996
Functional Obs 0

Condition A
Perimeter 526
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 24
Grnd Floor Area 5,155

Inclusions: R4 includes 4 3-fixture baths and 4 kitchens.

Roof Type
Heat 1
Heat Src 1

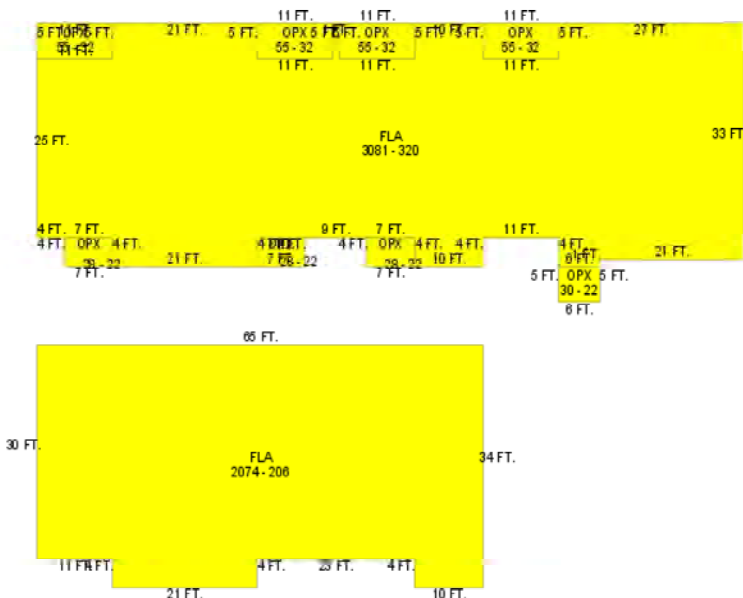
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	OPX		1	1996					55

0	OPX		1	1996					55
0	OPX		1	1996					55
0	OPX		1	1996					55
0	OPX		1	1996					30
0	OPX		1	1996					28
0	OPX		1	1996					28
0	OPX		1	1996					28
0	FLA	11:VINYL SIDING	1	1996	N	Y			3,081
0	FLA	11:VINYL SIDING	1	1996	N	Y			2,074

Building 6 Details

Building Type R4
Effective Age 18
Year Built 1996
Functional Obs 0

Condition A
Perimeter 526
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 24
Grnd Floor Area 5,156

Inclusions: R4 includes 4 3-fixture baths and 4 kitchens.

Roof Type
Heat 1
Heat Src 1

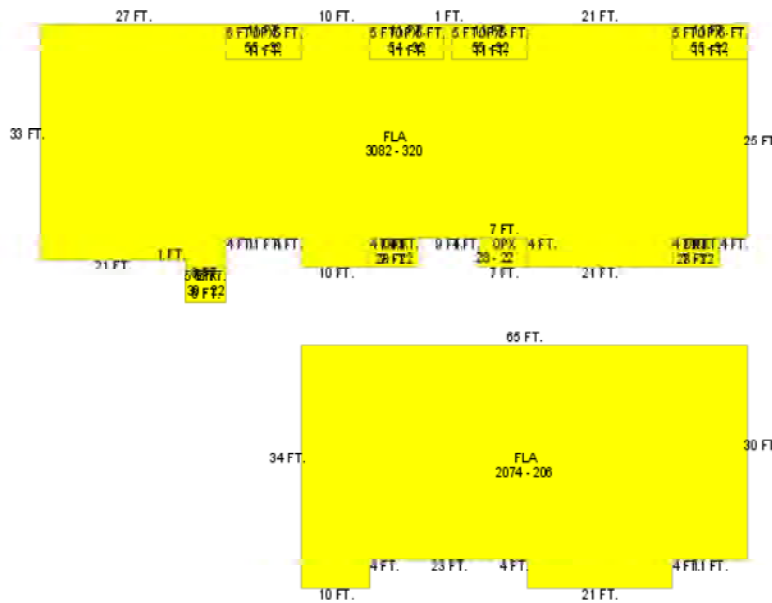
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	OPX		1	1996					30
0	OPX		1	1996					28

0	OPX		1	1996			28
0	OPX		1	1996			28
0	OPX		1	1996			55
0	OPX		1	1996			55
0	OPX		1	1996			54
0	OPX		1	1996			55
0	FLA	11:VINYL SIDING	1	1996	N	Y	3,082
0	FLA	11:VINYL SIDING	1	1996	N	Y	2,074

Building 7 Details

Building Type R3
 Effective Age 18
 Year Built 1996
 Functional Obs 0

Condition A
 Perimeter 404
 Special Arch 0
 Economic Obs 0

Quality Grade 550
 Depreciation % 24
 Grnd Floor Area 3,639

Inclusions: R3 includes 3 3-fixture baths and 3 kitchens.

Roof Type
 Heat 1
 Heat Src 1

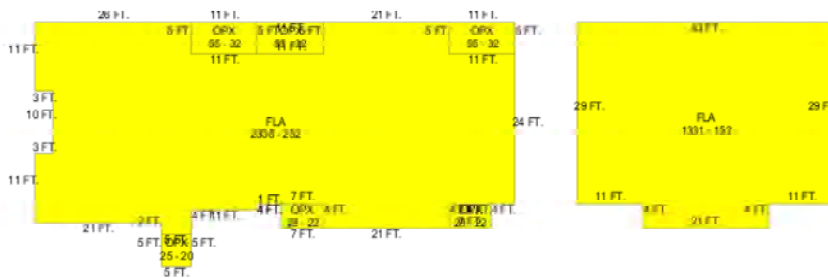
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	OPX		1	1996				25
0	OPX		1	1996				28
0	OPX		1	1996				28

0	FLA	11:VINYL SIDING	1	1996	N	Y	2,307
0	FLA	11:VINYL SIDING	1	1996	N	Y	1,330

Appraiser Notes

PER AMENDMENT TO AFFORDABLE HOUSING DEED RESTRICTIONS FILED IN OR2657-648/650, THE FOLLOWING 48 UNITS HAVE BEEN IDENTIFIED AND CLASSIFIED AS AFFORDABLE HOUSING (MODERATE INCOME) RESTRICTED: UNITS A-B IN BLDG 107 UNITS A-B-C IN BLDG 108 UNITS A-B-C IN BLDG 110 UNITS A-B-C IN BLDG 111 UNITS A-B-C-D IN BLDG 112 UNITS A-B-C IN BLDG 113 UNITS A-B-C-D IN BLDG 114 UNITS A-B IN BLDG 115 UNITS A-B-C IN BLDG 116 UNITS A-B-C IN BLDG 117 UNITS A-B-C IN BLDG 144 UNITS A-B-C IN BLDG 145 UNITS A-B-C IN BLDG 146 UNITS A-B-C IN BLDG 147 UNITS A-B-C IN BLDG 148 UNITS A-B-C IN BLDG 149

2014-03-04 FIELD CHECK CONFIRMED ALL ASPHALT PARKING LOT AND COMMERCIAL BANK BUILDING HAS BEEN DEMOLISHED AND REMOVED.DKRAUSE

AFFORDABLE HOUSING RESTRICTIONS RECORDED IN OR2648-182/189. APPLIES TO 48 OF THE 157 RENTAL UNITS FOR A PERIOD OF 50 YEARS FROM EFFECTIVE DATE OF DECLARATION AND THE CITY OF KEY WEST MAY ACT BY RESOLUTION TO RENEW DECLARATION FOR ADDITIONAL 50 YEAR TERM. THE DEVELOPER WILL IDENTIFY THE 48 UNITS WITHIN 30 DAYS OF THE DATE OF THIS DECLARATION.

PER THE SECRETARY OF STATE OF THE STATE OF DELAWARE A COPY OF THE NAME CHANGE FROM GMH MILITARY HOUSING-NAVY SOUTHEAST LLC TO THE CURRENT NAME OF BBC MILITARY HOUSING-NAVY SOUTHEAST LLC HAS BEEN SCANNED INTO LASERFICHE FOR REVIEW.

FOR THE 2014 TAX ROLL THIS PARCEL NOW INCLUDES ALL LANDS WHICH WERE PREVIOUSLY ASSESSED UNDER RE 00006730-000000 AK 1006963.

CONVEYANCE OF RESIDENTIAL UNITS PER OR2334-531/618 WHICH INCLUDES A 50 YEAR GROUND LEASE WITH USA, DEPARTMENT OF NAVY.

PARTIAL TERMINATION OF REAL ESTATE GROUND LEASE RECORDED IN OR2648-126/133, RELEASING PEARY COURT PARCEL.

PROPERTY RECORD CARD IS REFLECTING 8 BUILDING SKETCHES. THIS PARCEL HAS A TOTAL OF 49 BUILDINGS, THE 8 SKETCHES REPRESENT THE VARIOUS SHAPES AND SIZES OF THE BUILDINGS ON THIS PROPERTY. THERE ARE 17 BUILDINGS THAT ARE EXACTLY THE SAME AS BLDG NO 5258 WITH A FINISHED LIVING AREA OF 3,853 SQ FT. THERE ARE 11 BUILDINGS THAT ARE EXACTLY THE SAME AS BLDG NO 5259 WITH A FINISHED LIVING AREA OF 3,853 SQ FT. THERE ARE 3 BUILDINGS THAT ARE EXACTLY THE SAME AS BLDG NO 5260 WITH A FINISHED LIVING AREA OF 2,552 SQ FT. THERE ARE 10 BUILDINGS THAT ARE EXACTLY THE SAME AS BLDG NO 5261 WITH A FINISHED LIVING AREA OF 5,162 SQ FT. THERE ARE 2 BUILDINGS THAT ARE EXACTLY THE SAME AS BLDG NO 5262 WITH A FINISHED LIVING AREA OF 5,155 SQ FT. THERE IS ONE BUILDING FOR SKETCHES THAT REPRESENT BLDG NO'S 5263 AND 5264. THERE ARE 4 BUILDINGS THAT ARE EXACTLY THE SAME AS BLDG NO 5265 WITH A FINISHED LIVING AREA OF 3,637 SQ FT.

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
13-4725	11/05/2013		2,000	Commercial	LANDSCAPE SPRINKLERS ON ENTRANCE WAYS, TIMER AND RAINSWITCH- COMMON AREAS.
13-4726	11/05/2013		750	Commercial	INSTALL PVC BACKFLOWS FOR ENTRANCE WAYS INTO PEARY COURT FOR LANDSCAPE SPRINKLERS.
13-5282-135283	12/12/2013		2,500	Commercial	CHANGE OUT A 2 TON A/C SYSTEM USING EXISTING ELECTRICAL WITH NEW STANDS.
13-5252	12/12/2013		2,500	Commercial	CHANGE OUT A 2 TON A/C SYSTEM USING EXISTING ELECTRICAL WITH NEW STANDS.
13-4309-4357	10/08/2013		1,700	Commercial	INSTALL FLOOD VENTS. SEAL AROUND AIR HANDLERS WITH DRYWALL AND FOAM.
13-4565-4598	10/23/2013		4,560	Commercial	INSTALL FABRIC SHUTTER SYSTEM ON ALL EXTERIOR DOORS AND WINDOWS.
13-4551-4564	10/23/2013		190,000	Commercial	INSTALL FABRIC SHUTTER SYSTEM ON ALL EXTERIOR DOORS AND WINDOWS.
13-4467	10/23/2013		190,000	Commercial	INSTALL FABRIC SHUTTER SYSTEM ON ALL EXTERIOR DOORS AND WINDOWS.
13-4006-4055	09/27/2013		200	Commercial	INSTALLATION OF NEW GROUNDING ELECTRODES AND NEW GROUNDING ELECTRODE CONDUCTOR WITH ASSOCIATED CONDUIT, FITTINGS AND SUPPORT.
13-5253-5276	12/12/2013		200	Commercial	ELEVATE CONDENSOR PER DRAWING.
13-3823-3871	02/14/2014		0	Commercial	BUILDING CONVERSION FROM MILITARY TO RESIDENTIAL HOUSING.
13-5150	01/02/2014		0		

DEMOLITION OF FORMER BANK, ADJACENT RAILER BLDG., CONCRETE CURBS, ASPHALT AND FENCE, GRADE ENTIRE AREA AND PLANT GRASS.

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	3,482,435	0	27,850,142	29,250,000	29,250,000	0	29,250,000
2013	3,661,022	0	0	22,565,521	22,565,521	0	22,565,521
2012	3,750,314	0	0	23,115,897	23,115,897	0	23,115,897
2011	3,750,314	0	0	23,115,897	23,115,897	0	23,115,897
2010	3,839,607	0	0	23,666,266	23,666,266	0	23,666,266
2009	3,884,255	0	0	23,941,473	23,941,473	0	23,941,473
2008	3,928,900	0	0	24,216,644	24,216,644	0	24,216,644

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/30/2013	2648 / 155	35,000,000	WD	01

This page has been visited 40,012 times.

Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176