McCarthy and Associates
A Division of Pennoni

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May 11, 2017

Mr. Andrew M. Hayes, AIA Leed AP
Hayes Cumming Architects
2210 Central Avenue, Suite 100
St. Petersburg, FL 33712

Re: Frederick Douglas Gym
Structural Repairs
111 Olivia Street
Key West, FL
McCarthy Project No. M13178

Dear Andrew,

At your request, I visited the site on April 26 and 27, 2017 to investigate and document various types of damage to the existing concrete tie beams, columns, window header beams and window sills. The damage can be classified into three categories:

1) Previously unforeseen conditions that were discovered during construction. For example, some of the column corner reinforcing bars were found to be severely corroded.
2) Damage that occurred during normal demolition/ deconstruction that revealed previously unforeseen weakness in structural members. For example, concrete in the roof tie beams crumbled during demolition and removal of the existing roof.
3) There are numerous places throughout the building where small sections of concrete were recently removed by a subcontractor in order to look for hidden damage. These areas can easily be seen in the columns, window headers, and tie beams.

Repair details for these conditions are provided in pages SK1, 2, 3, 4, 5, 6, 7, 8, 9 and 10 (attached). A Schedule of Values including estimated quantities and an estimate of probable construction costs are also attached. It is estimated that between 15% to 25% of the total costs can be attributed to the 3rd category of damage listed above.

This letter will supersede the previous letter issued by our office on May 8, 2017.

Sincerely,
McCarthy and Associates
A Division of Pennoni

James Vincent Barnes, III, PE
FL # 77754

JAMES VINCENT BARNES III
LICENSE
No. 77754
STATE OF FLORIDA
PROFESSIONAL ENGINEER

MAY 11 2017

Exhibits:

- Exhibit A - Detailed Schedule of Values (SOV) dated May 10, 2017
- Exhibit B - Repair Details SK 1-10
- Exhibit C - Field Notes from Site Visit on April 26-27, 2017

EXHIBIT "A"

Detailed Schedule of Values for Fredrick Douglas

	BASE BID	Detail	Est. Qty.	Unit	Unit Cost	Total
1	**General Conditions:**					
	a. Mobilize		1	LS	LS	$2,500.00
	b. Permits		1	LS	LS	N/A
	c. Equipment Supports Lift/Scaffolding		1	LS	LS	$5,000.00
	d. Supervision		1	LS	LS	$1,500.00
	e. Temporary Shoring		1	LS	LS	$10,000.00
	(Shoring design to be by Florida Registered Engineer)					
2	**Demolition: (Concrete repair in each category below)**					
3	**Concrete Repair:**					
	a. Repair of Top of Wall Tie Beam West and East Elevations	SK-1	60	CF	$275	$16,500.00
	a. Repair of Top of Wall Tie Beam North and South Elevations	SK-2	10	CF	$275	$2,750.00
	c. Removal and Replacement of Window Sill w/New Rebar and 3000 psi Concrete	SK-3	20	CF	$275	$5,500.00
	d. Infill of Cut Block Wall w/3000 psi Concrete	SK-9	10	CF	$275	$2,750.00
	e. Concrete Repairs at Window Header Beam (BASF S440)	SK-4,5,6	50	CF	$325	$16,250.00
	f. Concrete Repairs at Window Header Beam (BASF N425)	SK-4,5,6	10	CF	$325	$3,250.00
	g. Concrete Repairs at Mid Wall Tie Beam (BASF S440)	SK-4,5,6	20	CF	$325	$6,500.00
	h. Concrete Repairs at Mid Wall Tie Beam (BASF N425)	SK-4,5,6	10	CF	$325	$3,250.00
	i. Concrete Repairs at Columns (BASF S440)	SK-4,5,6	110	CF	$325	$35,750.00
4	**Miscellaneous:**					
	a. Epoxy Injection of Cracking a Columns and Tie Beams	SK-7	350	LF	$50	$17,500.00
	b. Heli-Fix Anchors for Masonry Not Tied in to Wall	SK-8	50	LF	$30	$1,500.00
	c. #3 Rebar for Concrete Repairs		150	LF	$1.5	$225.00
	d. #4 Rebar for Concrete Repairs		150	LF	$1.5	$225.00
	e. #5 Rebar for Concrete Repairs		150	LF	$1.5	$225.00
	f. Rebar Splice		50	EA	$10	$500.00
	g. Vector XP/XPT Anodes		50	EA	$28	$1,400.00
	g. Joist Seat Repair	SK-10	5	EA	$200	$1,000.00
5	**Cleanup and Demobilization**		1	LS	LS	$2,000.00
6	**P&P Bond**		1	LS	LS	
7	**Owner Contingency (10%)**		1	LS	LS	$11,507.50
	TOTAL					**$147,482.50**

Notes:

- Lump Sum (LS) quantities are for information only. Contractor to verify all LS quantities.
- Unit price pay items will require owner approval of contractor.
- If hidden conditions are identified during the construction/ repair efforts McCarthy shall be notified via a written RFI.
- **All above estimated quantities listed in the Schedule of Values (SOV) were based on visual limited-intrusive inspections completed by McCarthy and Associates April 25-26, 2017. The inspections/survey were conducted through site access from ground level or readily accessible areas viewed from a provided onsite lift. The listed quantities shall not be considered an ultimate guarantee of all required repair work. The quantities required to repair actual damaged conditions will be determined after the completion of demolition by the contractor.**
- Refer to the primary report from Hayes Cummings Architects PA dated July 15, 2013 for additional information regarding the existing structure identified during our previous survey of the structure.
- Due extensive overlap of the new roofing material at the top perimeter wall and roof deck, there was limited visual access to survey the entire roof perimeter. Quantities of repair at the top of wall tie beam were based on onsite discussions with the contractor and a review of isolated areas open for review during our site visit.

EXHIBIT "B"

Repair Details SK 1 – 10

Frederick Douglas Gym

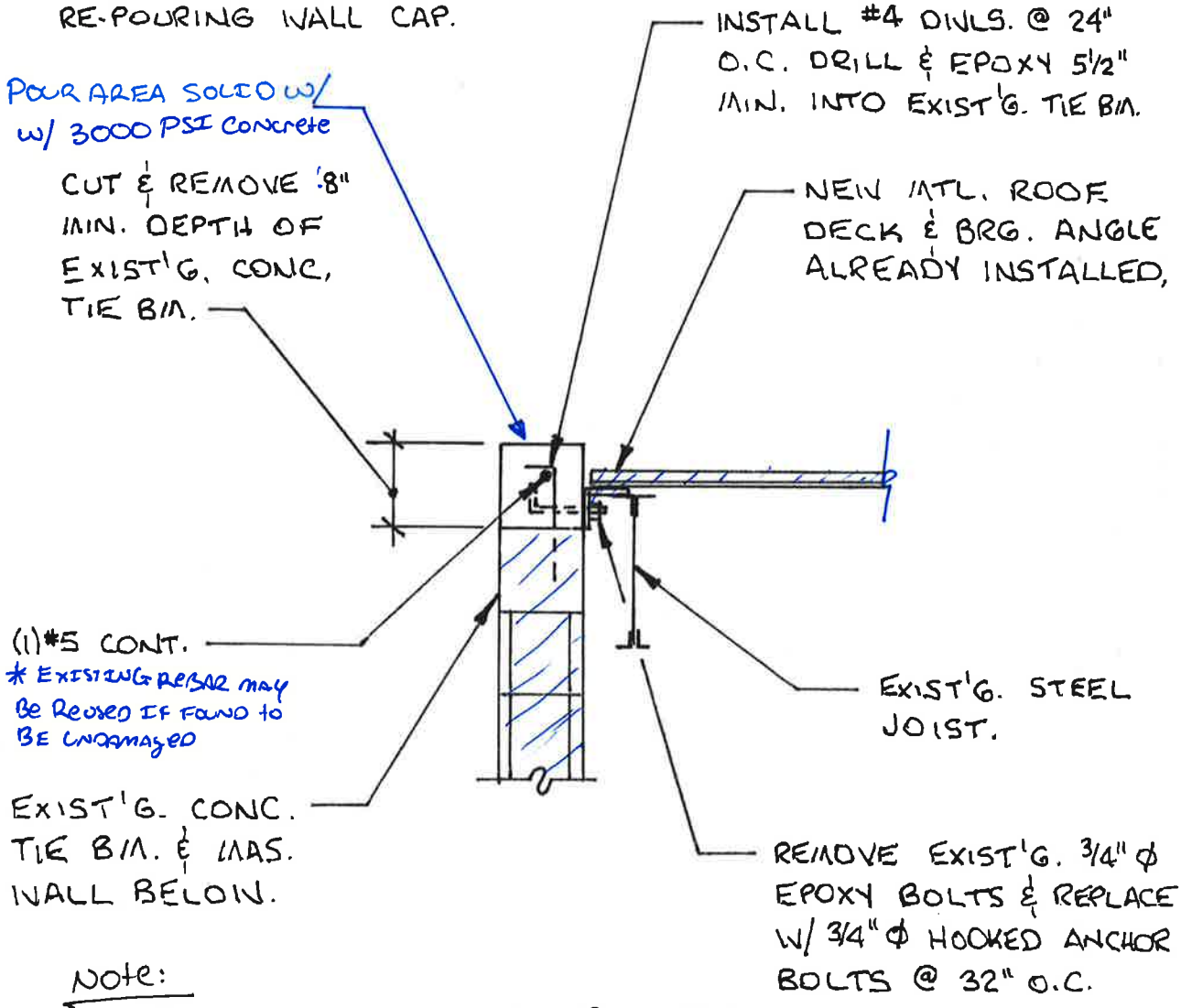
Structural Repairs

McCarthy Project No. M13178

McCarthy and Associates
A Division of Fennoni

PROJECT FREDERICK DOUGLASS	JOB NO. 1413178
SUBJECT TOP OF WALL TIE BEAM REPAIR	SHEET OF DATE 4-6-2017
	BY:
	CHK'D

NOTE:
TREAT TOP OF EXIST'G. TIE BM. WITH A CHEMICAL BONDING AGENT PRIOR TO RE-POURING WALL CAP.



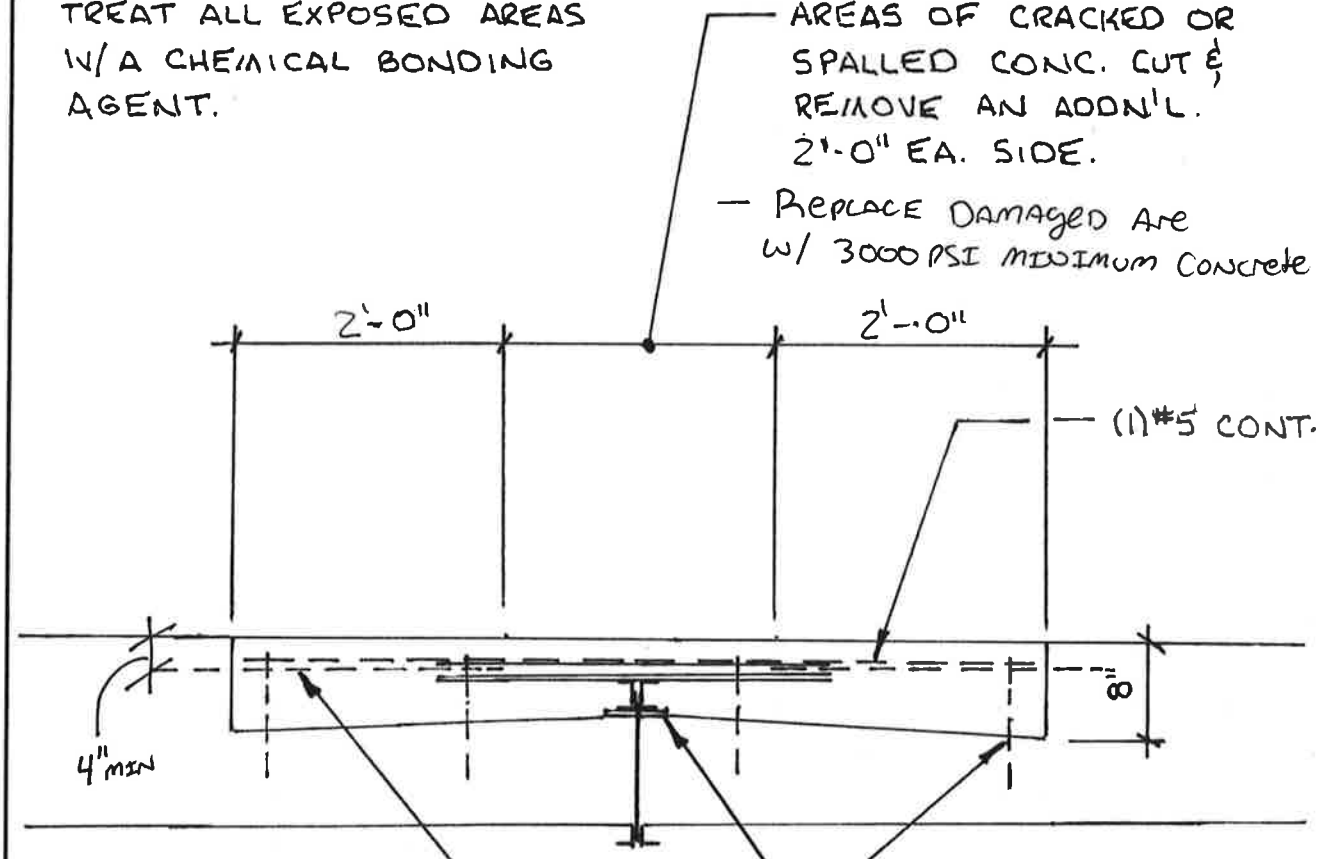
Note:
1. BONDING AGENT TO BE BASF P124 CORROSION INHIBITOR AND BONDING AGENT OR APPROVED EQUAL

TOP/WALL REPAIR DTL.
(EAST & WEST WALLS)

Sk-1

FORM NO. 42

NOTE:
TREAT ALL EXPOSED AREAS W/ A CHEMICAL BONDING AGENT.



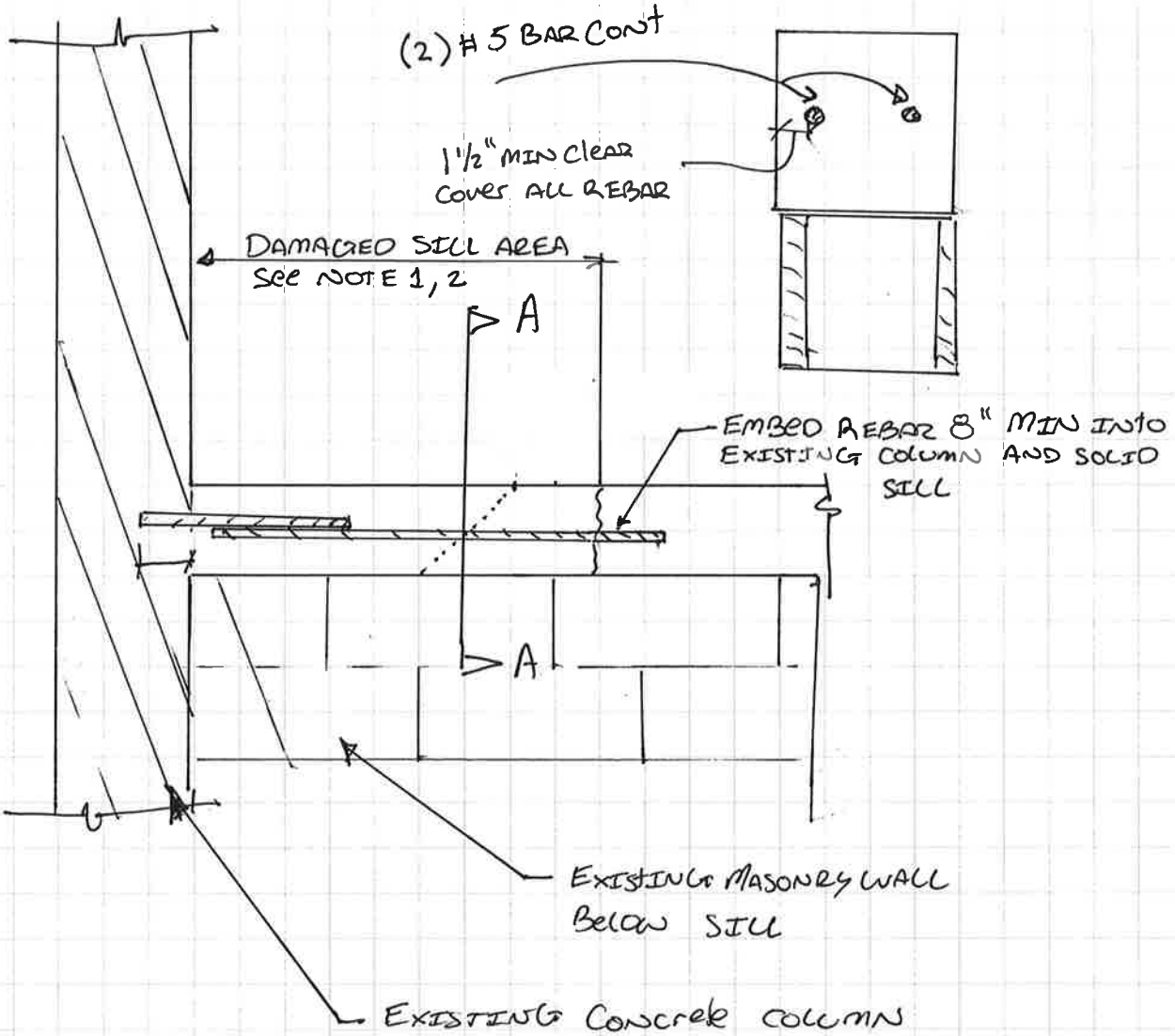
DRILL & EPOXY #5 DWL. x 2'-6" INTO EXIST'G. TIE BM. 6" EMBED.

#4 HOOK DWLS @ 24" O.C. SEE SHEET 1.

GC NOTE:
DO NOT DISTURB CONC. BELOW EXIST'G. JST. BRG. LOCATIONS.

TIE BEAM REPAIR DTL.
(NORTH & SOUTH WALLS)

SK-2

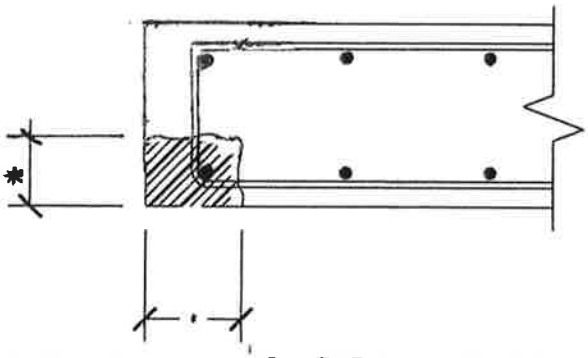


NOTE

1. REMOVE DAMAGED, LOOSE OR DELETERIOUS CONCRETE TO SOLID CONCRETE.
2. IF DAMAGED AREA EXTENDS GREATER THEN 75% SILL LENGTH REMOVE AND REPLACE ENTIRE SILL.
3. CLEAN AND PREPARE AREA FOR REPLACEMENT SIM SK-4

WINDOW SILL REPAIR DTL.

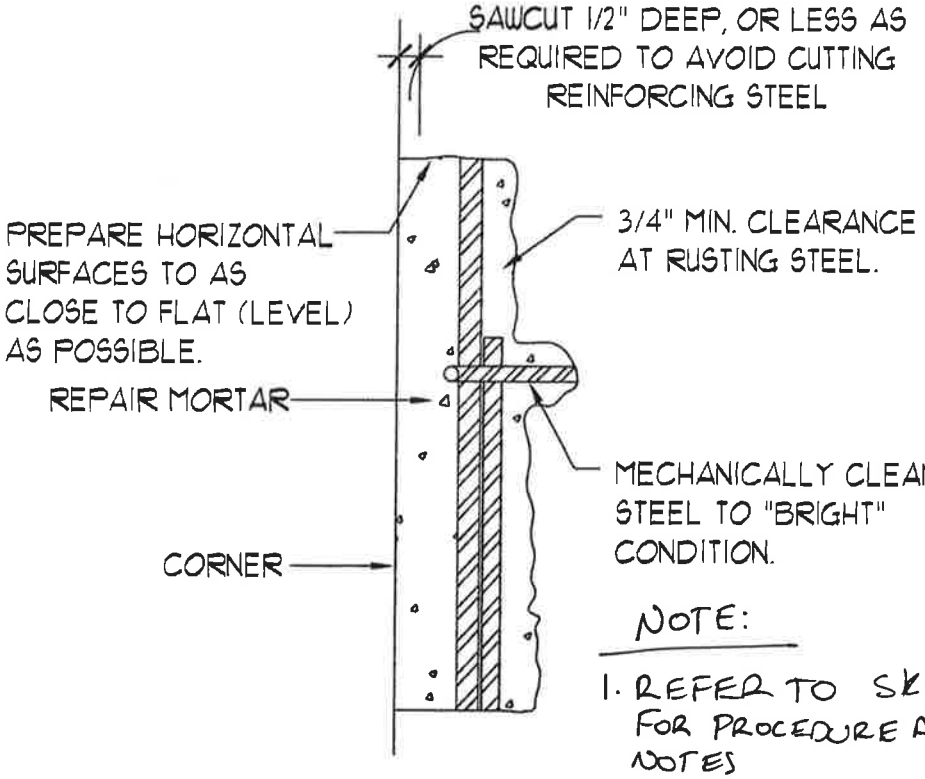
SK-3



COLUMN OR BEAM REPAIR

NOT TO SCALE

* UNLESS TEMPORARILY SHORED, REPAIR AREA SHALL NOT EXCEED 20% OF THE CROSS SECTIONAL AREA OF THE COLUMN.



NOTE:

1. REFER TO SK-5 & SK.6 FOR PROCEDURE AND ADDITIONAL NOTES

SK-4

DEMOLITION PROCEDURE:

1. CONTRACTOR TO READ, UNDERSTAND AND FOLLOW ALL OF THE MANUFACTURES RECOMMENDATIONS FOR THE INSTALLATION OF REPAIR MATERIALS LISTED HEREIN.
2. INSTALL ANY REQUIRED SHORING PRIOR TO THE START OF ANY DEMOLITION. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
3. CONTRACTOR TO INSPECT/ SOUND THE SUSPECTED DAMAGED CONCRETE AND REVIEW THE POTENTIAL REPAIRS LOCATIONS PRIOR TO DEMO.
4. PREPARE REPAIR AREA PER ICRI GUIDELINES # 310.R. SAWCUT THE PERIMETER OF THE PROPOSED REPAIR AREA TO A MINIMUM DEPTH OF ¾"" WITHOUT DAMAGING THE REINFORCEMENT. THE SAWCUT AREA SHOULD BE GEOMETRICALLY EQUAL, IE. SQUARE.
5. REMOVE ALL LOOSE AND DELETERIOUS CONCRETE MATERIAL THAT ENCOMPASSES THE DAMAGED AREA WITHIN THE CONCRETE BEAM/COLUMN.
6. THE CONCRETE WITHIN THE REPAIR AREA SHALL BE PREPARED TO A MINIMUM OF C SP-6 SURFACE ROUGHNESS OR GREATER THAN THE REPAIR MORTAR SPECIFICATIONS.

REPAIR PROCEDURE:

1. IF NECESSARY, THE CONTRACTOR SHALL CHIP UNDER THE EXISTING REINFORCEMENT AND POSITIVELY HOLD DOWN THOUGH MECHANICAL MEANS TO ACHIEVE MINIMUM 1-½" COVER.
2. PRESSURE WASH REPAIR AREA (1500PSI MINIMUM) TO REMOVE ALL DUST OR LOOSE MATERIAL AND ALLOW TO DRY. OIL FREE COMPRESSED AIR MAY BE USED TO ACCELERATE THE DRYING PROCESS.
3. REPAIR SURFACE SHALL BE PREPARED TO BE SATURATED SURFACE DRY (SSD) WITH NO STANDING WATER.
4. AT MINOR LOCATIONS INSTALL BASF N425 (GEL PATCH) OR APPROVED EQUAL AT REPAIR AREA PER MANUFACTURER SPECIFICATIONS. REPAIR MATERIAL SHALL BE INSTALLED IN MAXIMUM LIFTS OF 2 INCHES.
5. AT FULL DEPTH REPAIR LOCATIONS COAT REPAIR AREA AND ALL EXPOSED STEEL REINFORCEMENT WITH BASF P-124 CORROSION INHIBITOR AND BONDING AGENT. FORM AND POUR REPAIR AREA WITH BASF S 440 MC POURABLE AND PUMPABLE PRE-EXTENDED SELF-CONSOLIDATING REPAIR MORTAR OR APPROVED EQUAL.
6. ALL REPAIR WORK SHALL BE FINISHED TO MATCH THE SURFACE LEVEL OF EXISTING CONDITIONS.

SK-5

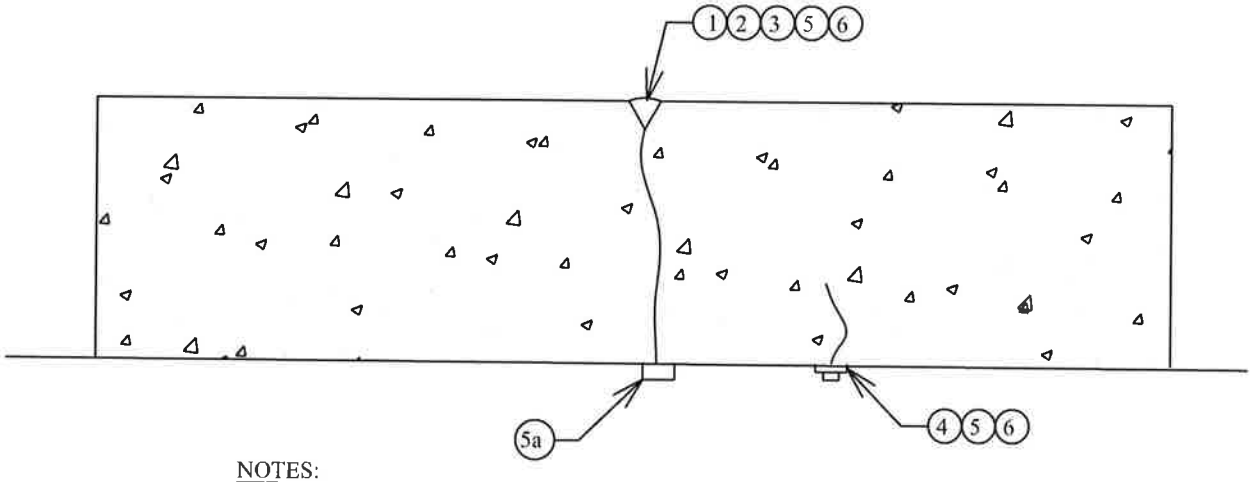
CONSTRUCTION NOTES:

1. REMOVE ALL LOOSE CONCRETE FROM EXISTING BEAM OR COLUMN LEAVING A ROUGHENED SURFACE.
2. CLEAN ALL EXISTING COLUMN STEEL TO A RUST FREE CONDITION.
3. APPLY BONDING AGENT/ANTI-CORROSION COATING TO ALL SURFACES OF EXISTING STEEL.
4. APPLY REPAIR MORTAR PER MANUFACTURE'S INSTRUCTIONS.

SK-6

McCarthy and Associates
A Division of Pennoni

PROJECT FREDRICK DOUGLASS	JOB NO.	M13178
	SHEET OF	DATE 5/10/17
SUBJECT CRACK EPOXY INJECTION	BY:	
	CHK'D	



NOTES:

1: FOR HORIZONTAL CRACKS, ROUT CRACK TO MINIMUM OF 1/4" X 1/4".

2: REMOVE ANY DELETERIOUS MATERIAL.

3: CLEAN CRACK SURFACES W/ OIL FREE COMPRESSED AIR.

4: FILL CRACKS W/ BASF MASTERINJECT 1500 EPOXY SYSTEM OR APPROVED EQUAL, PER MANUFACTURE SPECIFICATIONS.

5: FOR OVERHEAD / VERTICAL CRACKS INSTALL INJECTION PORT CAP SEAL ALONG CRACK LENGTH. EPOXY SYSTEM AND BASF MASTERINJECT 1500.

5a: CHEMCO SYSTEMS CC GROUT; STRAP SEAL MAY BE USED AS AN ALTERNATIVE PRODUCT TO CAP SEAL.

6: EPOXY INJECT MECHANICALLY, FINISH TO MATCH EXISTING SURFACE PROFILE AND REMOVE EXCESS EPOXY.

STRUCTURAL CONCRETE CRACK REPAIR 1/32" OR GREATER

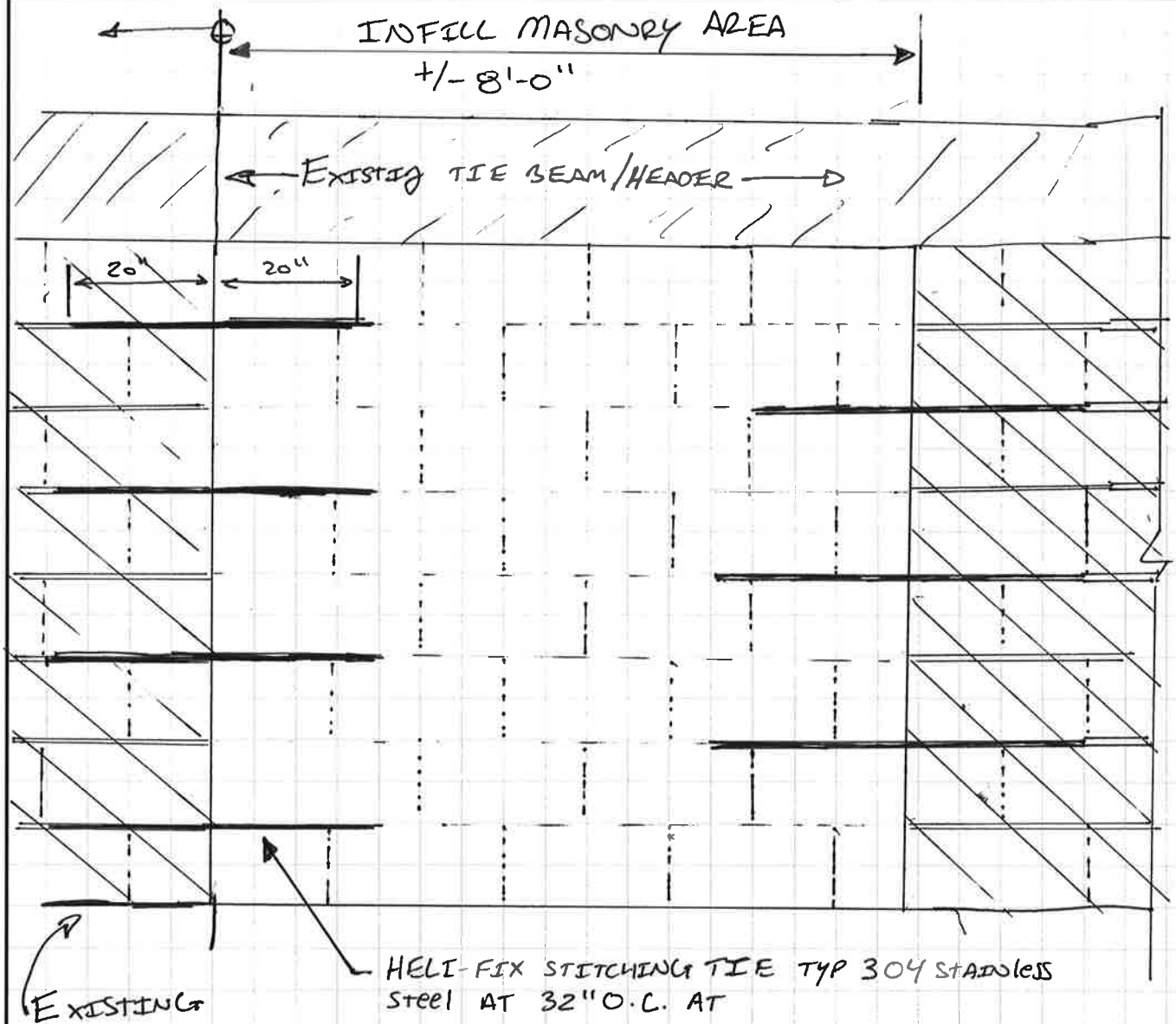
NOT TO SCALE

SK-7

FORM NO. 42

McCarthy and Associates
A Division of Pennoni

PROJECT FREDRICK DOUGLASS	JOB NO.	M13178
	SHEET OF	DATE
	BY:	
SUBJECT	CHK'D	



INFILL MASONRY WALL NOT TIED INTO EXISTING

NOTE:
THIS WALL IS LOCATED .BETWEEN COLUMNS 8B & 8C.
SEE PLAN S-101 DATED 6/29/16 FOR REFERENCE

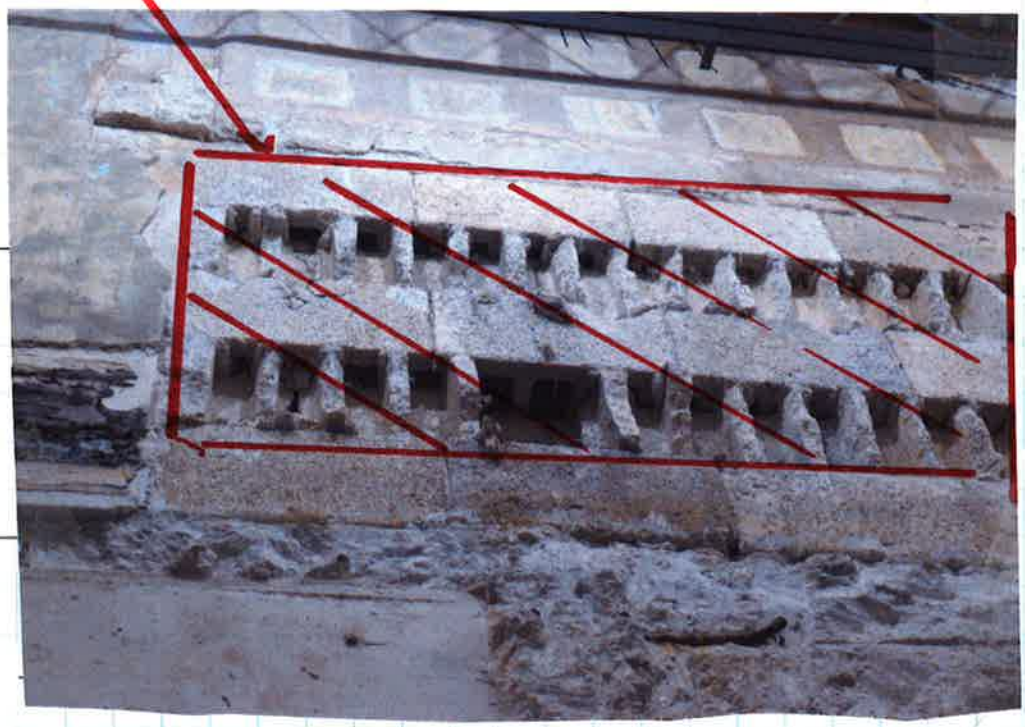
SK-8

FORM NO. 42

McCarthy and Associates
A Division of Pennoni

PROJECT FREDRICK DOUGLASS	JOB NO.	M13178
	SHEET OF	DATE
	BY:	5/10/17
SUBJECT	CHK'D	

FILL WALL SOLID W/ 3000 PSI CONCRETE.



* MASONRY WALL BETWEEN COLUMNS 4A & 5A
SEE ORG STRUCTURAL PLANS FOR COLUMN LAYOUT.

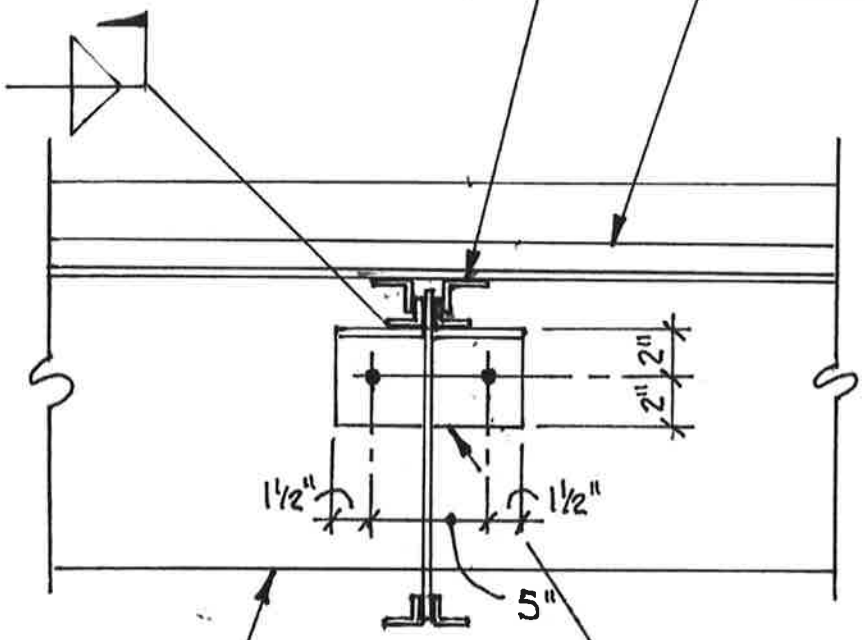
INFILL OF CUT MASONRY BLOCKS

SK-9

FORM NO. 42

McCarthy and Associates A Division of Pennant		JOB NO.	1A13178
		SHEET , OF	DATE
	PROJECT FREDERICK DOUGLASS	BY:	4-6-2017
	SUBJECT	CHK'D	

GC NOTE:
FIELD VERIFY CONDITION OF EXIST'G. JOIST SEAT. IF HEAVILY RUSTED CONTACT THIS OFFICE.



JOIST SEAT REPAIR

Sk-10

FORM NO. 42

EXHIBIT "C"

Field Notes from Site Visits

April 26 & 27, 2017

Frederick Douglas Gym

Structural Repairs

McCarthy Project No. M13178

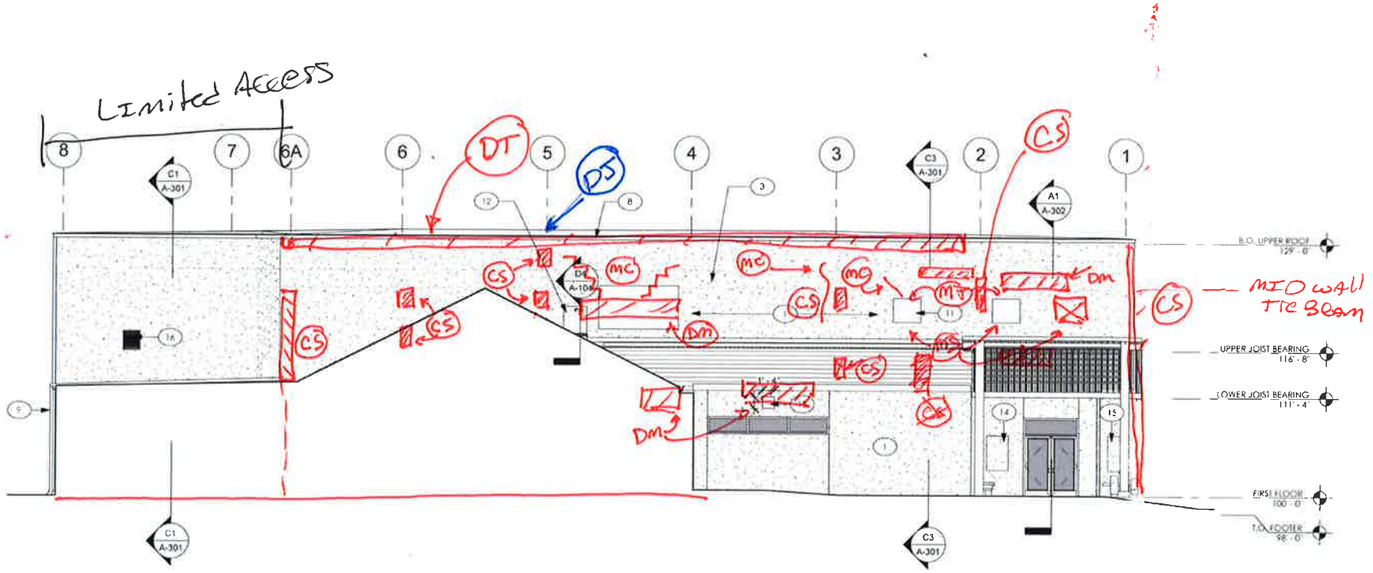
McCarthy and Associates
A Division of Pennoni

PROJECT FEDRICK DOUGLASS	JOB NO. M13178
SUBJECT FEILD NOTES SUMMARY TABLE	SHEET OF / DATE
	BY: VB / CHK'D

FREDRICK DOUGLAS SITE VISIT ON APRIL 26,27 2017 DAMAGE LEGEND

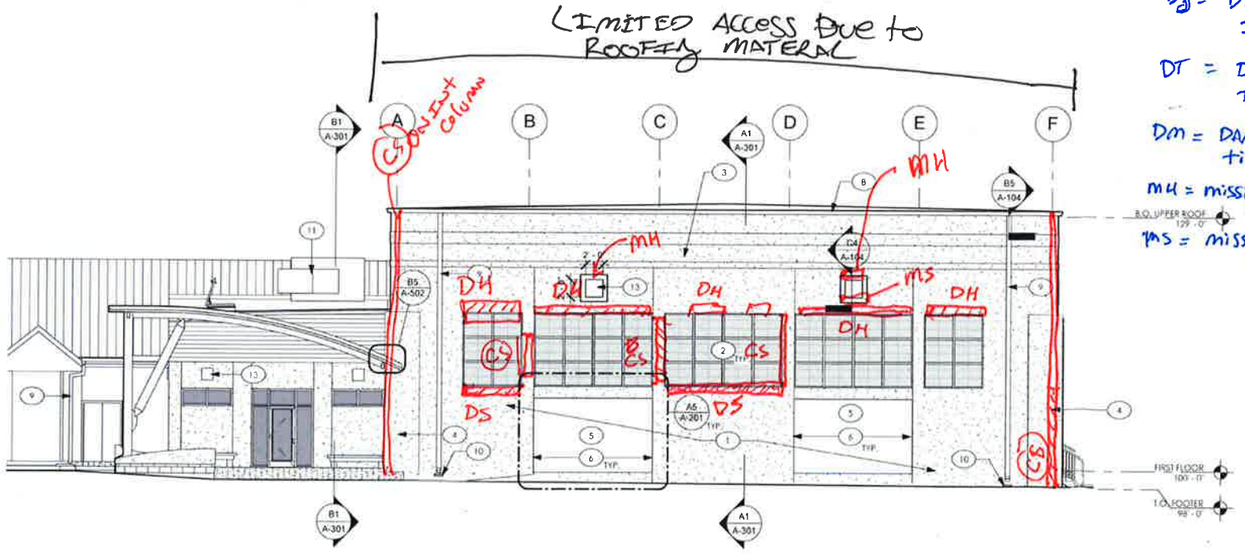
MARK	DESCRIPTION	REPAIR DETAIL
CS	CONCRETE SPALL AT COLUMN OR MISCLEANOUS LOCATION INCLUDING CEILINGS	SK: 4-6
DH	DAMAGED WINDOW HEADER	SK: 4-6
DS	DAMAGED WINDOW SILL	SK-3
MC	MASONRY CRACK	N/A
DJ	DAMAGED JOIST SEAT	SK-2&10
DT	DAMAGED TOP OF WALL TIE BEAM	SK-1
DM	DAMAGED MID WALL TIE BEAM	SK: 4-6
MH	MISSING HEADER	N/A
MD+ SD	MISCLEANOUS COSMETIC DAMAGE TO STUCCO NOT INCLUDED IN SURVEY	N/A
MI	MASONRY INFILL WALL NOT TIED IN TO SURROUNDING WALL	SK-9
CC	CONCRETE CRACK	SK-7
MH + MS	MISSING HEADER & SILL AT OPENING TO BE INFILLED	*SEE ORG PLANS DETAIL 2/S-302

FORM NO. 42

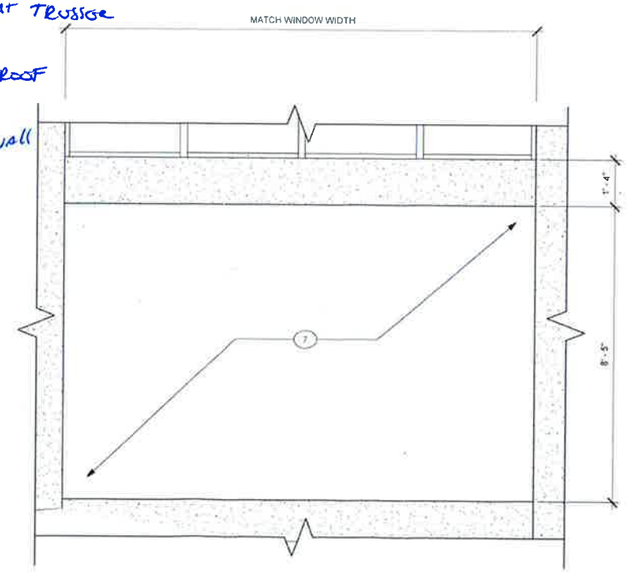


C1 WEST ELEVATION
1/8" = 1'-0"

CS = Concrete Spall
DH = Damaged Header
DS = Damaged Sill
MC = Masonry Crack
DJ = Damaged wall at Trussle Joist Seat
DT = Damage High Roof Tie Beam
DM = Damaged MID wall tie Beam
MH = missig Header
MS = missig Sill



A1 SOUTH ELEVATION
1/8" = 1'-0"



A5 MURAL PANEL
1/2" = 1'-0"

SHEET KEYNOTES

1	PAINT OVER EXISING STUCCO PLASTER
2	TRANSLUCENT GLAZING SYSTEM
3	DECORATIVE COLOR BAND SEE B4/A-202
4	RAISED PILASTER
5	MURAL PANEL SEE A4/A-201
6	NEW CONTROL JOINT
7	ONE COAT CEMENT PLASTER OVER CMU SMOOTH FINISH
8	GALVANIZED ALUMINUM GLITTER
9	GALVANIZED ALUMINUM DOWNSPOUT
10	CONCRETE SPLASH BLOCK
11	RELOCATED EXISTING RTU
12	ROOF ACCESS HATCH
13	DECORATIVE MEDALLION SEE DETAIL A5/A-202
14	INSTALL EXISTING HISTORICAL PLAQUE
15	INSTALL NEW PLAQUE SEE DETAIL A4/A-202
16	MECHANICAL LOUVER

EXTERIOR FINISH MATERIALS LEGEND

1. PAINTED COMPONENTS ARE TO BE DETERMINED WITH 4'-0" X 4'-0" TEST SWATCHES IN THE FIELD FROM THE FOLLOWING OPTIONS:

STUCCO PLASTER:

BUILDING FIELD COLOR OPTIONS:	SW6154 NACRE SW6168 MODERNE WHITE SW6161 NONCHALANT WHITE
RAISED PILASTER:	SW7052 GRAY AREA
RAISED CORNICE BAND TOP AND BOTTOM BAND:	SW7562 ROMAN COLUMN
ACCENT STRIP OPTIONS:	SW6176 LIVABLE GREEN SW6177 SOFTENED GREEN SW6192 COSTAL PLAIN SW6179 ARTICHOKE
METAL SIDING:	CENTRIA 9962 XL SILVER GRAY
HOLLOW METAL DOORS:	SW7052 GRAY AREA

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ANDREW M. HAYES
AR001616

andrew m. hayes, aia, leed bd+c

members of

AIA
American Institute of Architects

CONSULTANT:

CLIENT / PROJECT NAME:

CITY OF KEY WEST

RENOVATION TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

BID SET

Original drawing is 24 x36 Scale accordingly if reduced

SHEET TITLE:

EXTERIOR ELEVATIONS

REVISIONS:

CONTRACT DOCUMENTS 06.29.16

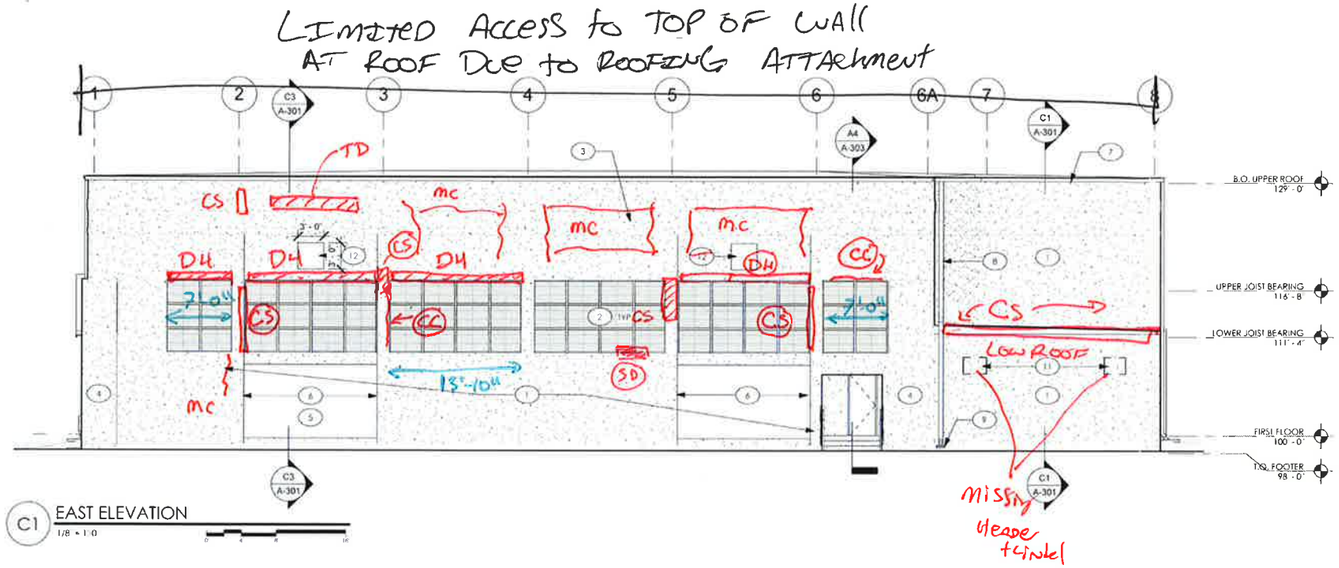
SITE VISIT
April 26-27, 2017
Field NOTES
P2/5

DATE ISSUED: 03/28/2016
PROJECT NO.: 12.0001

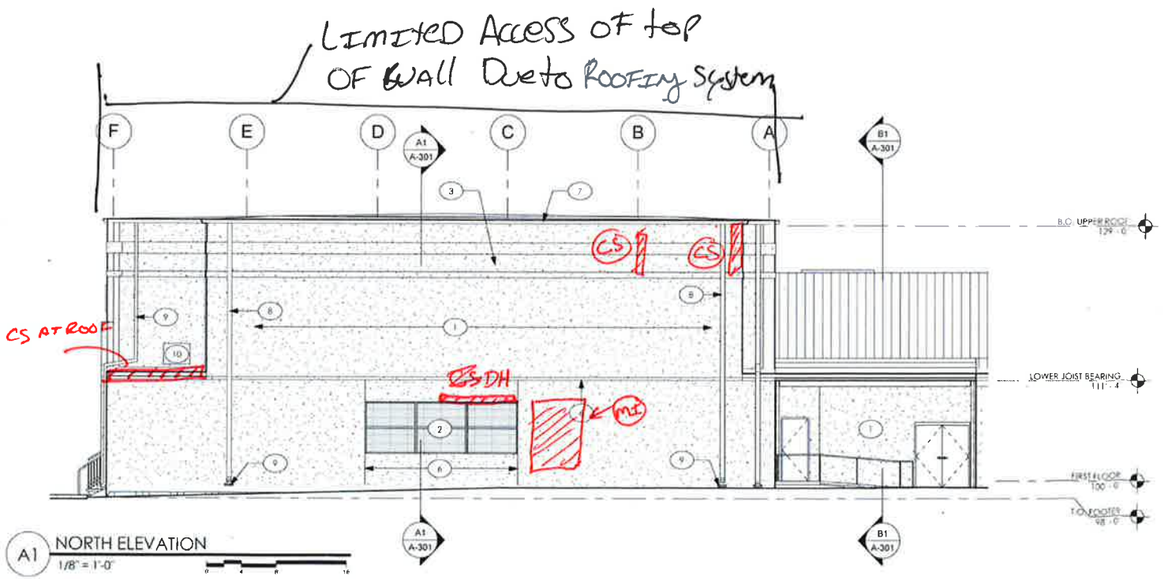
DRAWING NUMBER:

A-201 SHEET: 30 OF 68

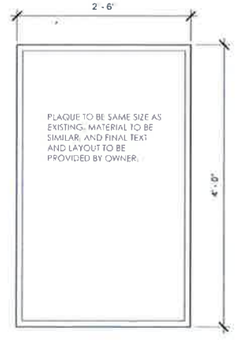
9/15/20 5:12:59 PM



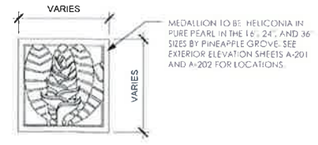
C1 EAST ELEVATION
1/8" = 1'-0"



A1 NORTH ELEVATION
1/8" = 1'-0"



A4 NEW PLAQUE
1" = 1'-0"



A5 DECORATIVE MEDALLION
1" = 1'-0"

SHEET KEYNOTES

1	PAINT OVER EXISTING STUCCO PLASTER
2	TRANSLUCENT GLAZING SYSTEM
3	RAISED CORNICE BAND
4	RAISED PILASTER
5	MURAL PANEL. SEE A4/A-201
6	NEW CONTROL JOINT
7	GALVANIZED ALUMINUM GUTTER
8	GALVANIZED ALUMINUM DOWNSPOUT
9	CONCRETE SPLASH BLOCK
10	RELOCATED EXISTING RTU
11	REMOVE EXISTING A/C UNIT
12	DECORATIVE MEDALLION. SEE DETAIL A5/A-202

EXTERIOR FINISH MATERIALS LEGEND

1. PAINTED COMPONENTS ARE TO BE DETERMINED WITH 4'-0" X 4'-0" TEST SWATCHES IN THE FIELD FROM THE FOLLOWING OPTIONS:

STUCCO PLASTER:

BUILDING FIELD COLOR OPTIONS:	SW6154 NACRE SW6168 MODERNE WHITE SW6161 NONCHALANT WHITE
RAISED PILASTER:	SW7052 GRAY AREA
RAISED CORNICE BAND TOP AND BOTTOM BAND:	SW7562 ROMAN COLUMN
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METAL SIDING:	CENTRIA 9962 XL SILVER GRAY
HOLLOW METAL DOORS:	SW7052 GRAY AREA

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members of
AIA
American Institute of Architects

CONSULTANT:

CLIENT / PROJECT NAME:
CITY OF KEY WEST

RENOVATION TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

BID SET

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:
EXTERIOR ELEVATIONS

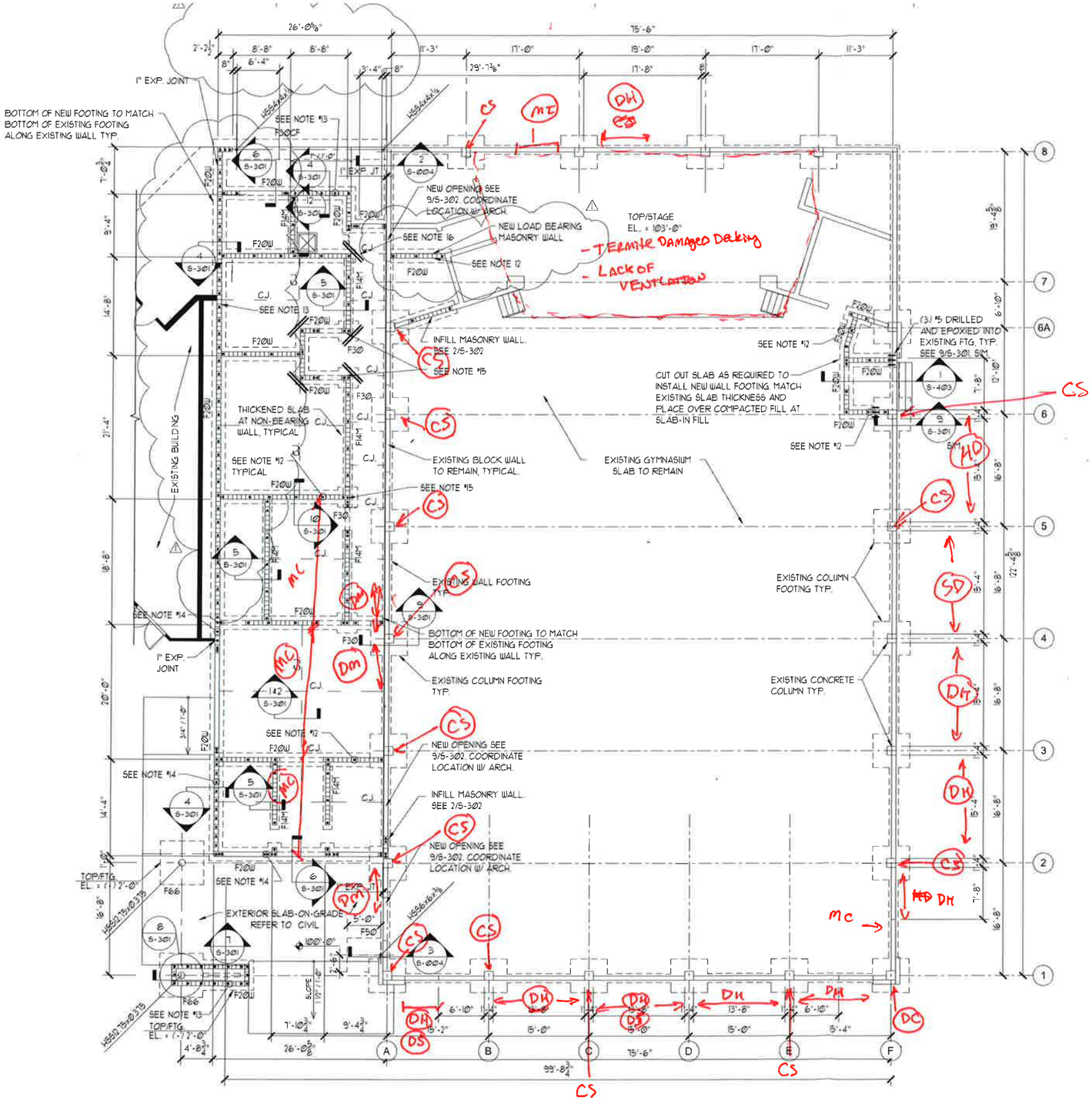
REVISIONS:

CONTRACT DOCUMENTS 06.29.16
SITE VISIT
APRIL 26-27, 2017
FEILD NOTES
P3/5

DATE ISSUED: 03/28/2017
PROJECT NO.: 1200D1

DRAWING NUMBER:
A-202 SHEET: 31 OF 68

9/15/2015 5:13:05 PM



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

SEE S-004 FOR PLAN NOTES

J 9-17-2015 CS

Cosmetic Damages

* MD = MISCELANOUS DAMAGE to INFILL MASONRY & STUCCO DAMAGE IS NOT SHOWN FOR CLARITY

*MC = FOUND to BE AN ISOLATED LOCATIONS AND APPEARS to BE REFLECTED through Stucco Cracks. this Damage IS Cosmetic

FOOTING SCHEDULE

MARK	SIZE	DEPTH	REINF. EA. WAY	REMARKS	DWL/A.B. EMBEDMENT
F14M	1'-4"	10"	(2) #5 CONT.	MONO FTG. SEE 5/S-301	7"
F20W	2'-0"	1'-0"	(3) #5 CONT. #4@24" TRANSV.	WALL FTG.	9"
*F30CF	3'-0"	1'-2"	(4) #6 TIE LONG #6@12" SHORT	COMBINED FOOTING	11"
F30	3'-0"x3'-0"	1'-0"	(3) #5 CONT.		9"
F50	5'-0"x5'-0"	MATCH EXISTING	(5) #5 TOP & BOT.		9"
F66	6'-6"x6'-6"	1'-4"	(8) #5 TOP & BOT.		1'-1"

*FIELD VERIFY ACTUAL LENGTH OF FOOTING WITH FIELD CONDITIONS. PROVIDE ½" ISOLATION JOINT BETWEEN NEW FOOTING AND EXISTING FOOTING

MASONRY REINF. LAP SCHEDULE

BAR SIZE	LAP LENGTH
#3 BAR	18"
#4 BAR	24"
#5 BAR	30"
#6 BAR	36"
#7 BAR	42"

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Florida P.E. 78524
Pennoni Project No. 13178

CLIENT / PROJECT NAME:
CITY OF KEY WEST
ALTERATIONS TO:

FREDERICK DOUGLASS RECREATION CENTER

KEY WEST, FLORIDA

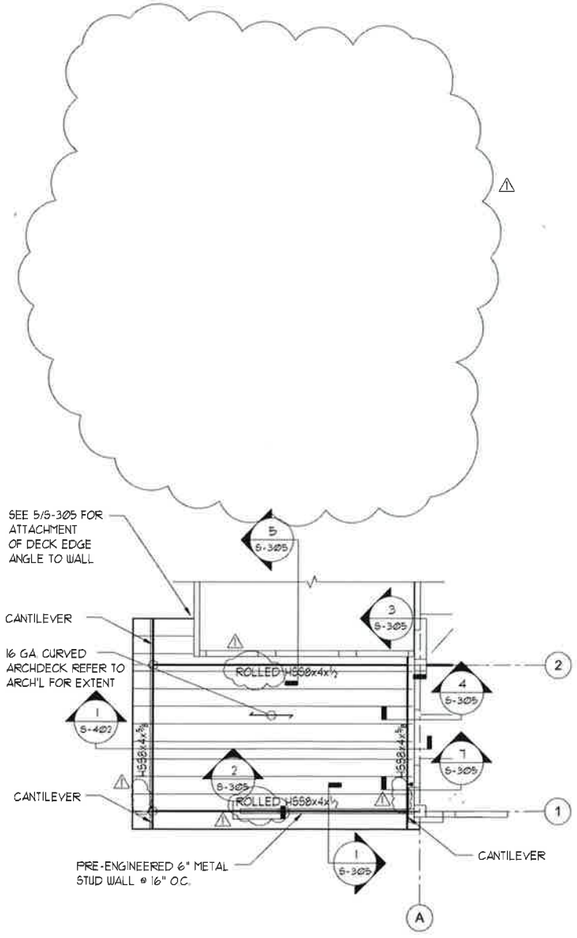
SHEET TITLE:
FOUNDATION PLAN

REVISIONS:
CONTRACT DOCUMENTS 06.29.16
OWNERS CHANGES/ UNFORESEEN COND. 10.07.16

SITE VISIT
April 26-27, 2017
FEILD NOTES
P 4/5

DATE ISSUED: 7-31-2015
PROJECT NO.: 12.0001

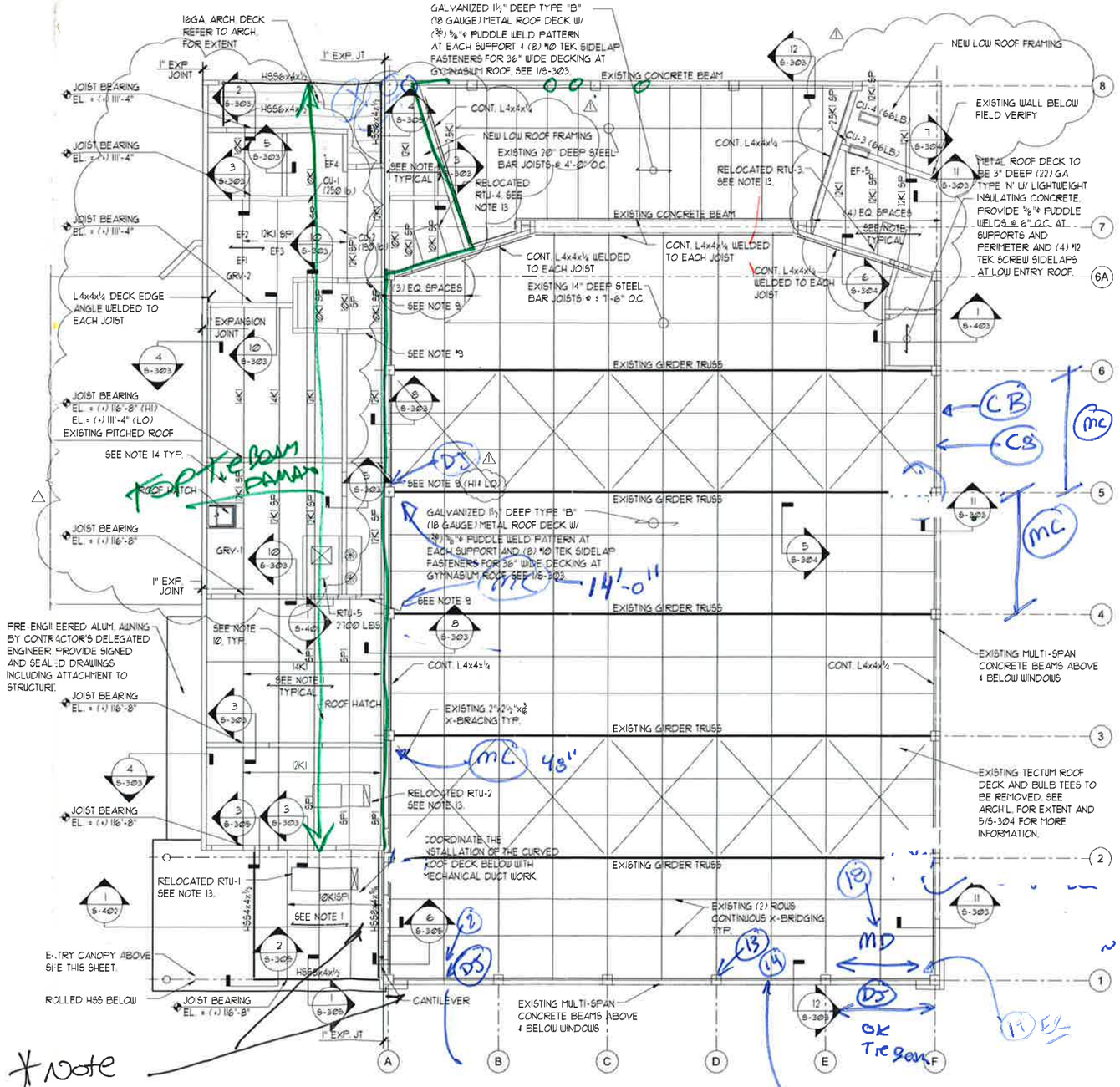
DRAWING NUMBER:
S-101 SHEET: 5 OF 14



ENTRY CANOPY ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

SEE S-004 FOR PLAN NOTES



ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

SEE S-004 FOR PLAN NOTES

*Note

Due to the installation of the New Roof system, there was LIMITED visual access to the top perimeter walls at the North, South & East Elevations

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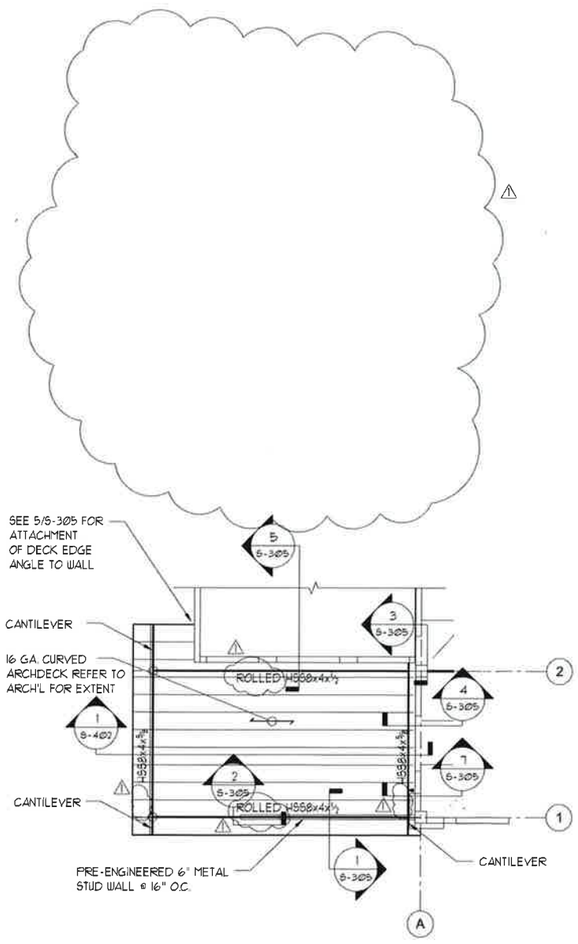
S-201 SHEET: 6 OF 14

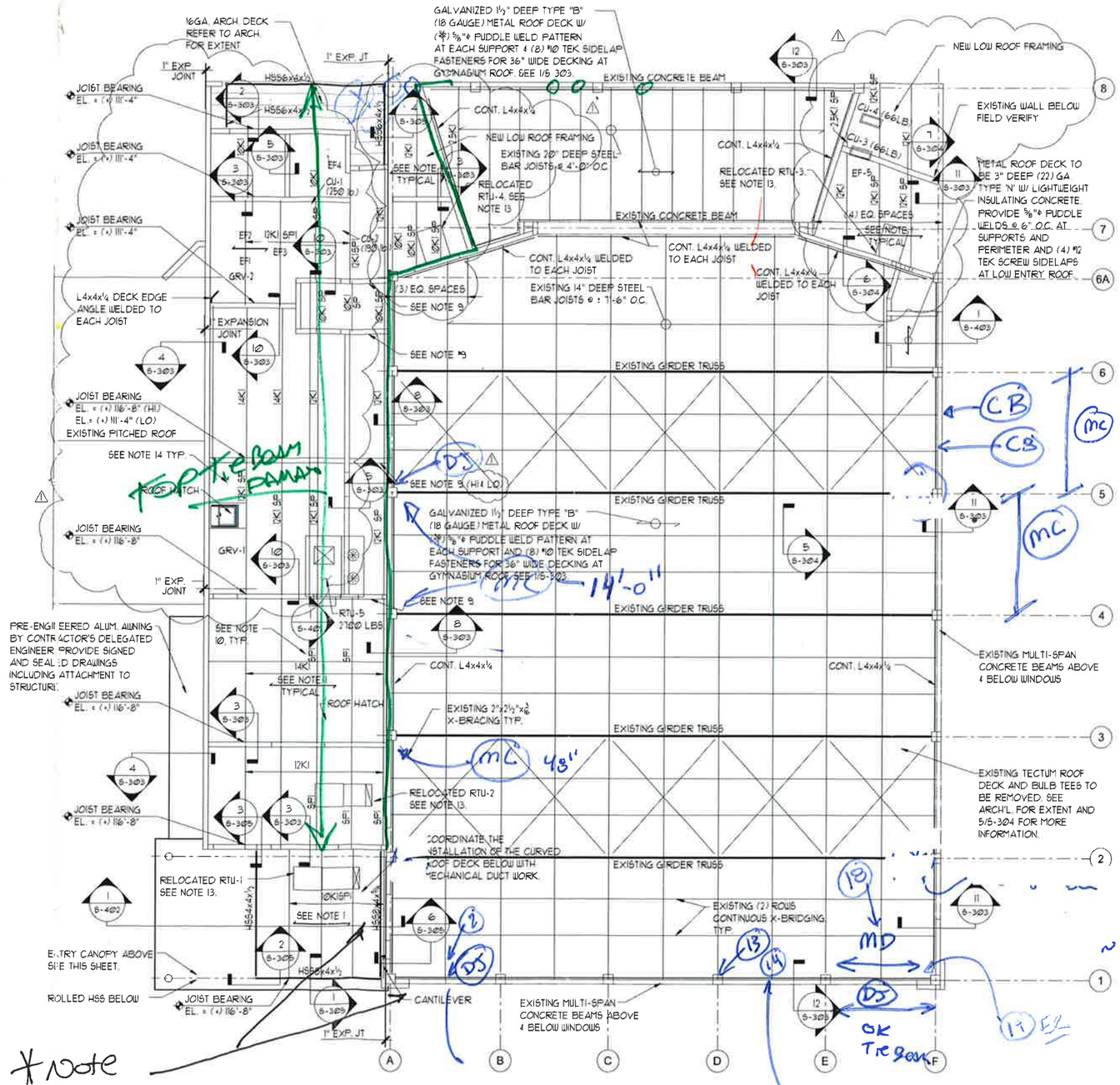
9-17-2015 CS



ENTRY CANOPY ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

SEE S-004 FOR PLAN NOTES



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

SEE S-004 FOR PLAN NOTES

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