

# **Application**



**CITY OF KEY WEST  
BUILDING DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # H11-01-223

OWNER'S NAME: NANCY FORESTER DATE: 2-18-11

OWNER'S ADDRESS: #1 FREE SCHOOL LANE  
518 EUZABETH STREET PHONE #: 3052940015

APPLICANT'S NAME: NANCY FORESTER PHONE #:

APPLICANT'S ADDRESS: 518 EUZABETH STREET

ADDRESS OF CONSTRUCTION: 518 EUZABETH STREET # OF UNITS:

**THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT**

**DETAILED DESCRIPTION OF WORK:**

INTERIOR RENOVATION. REMOVE ONE SET FRENCH DOORS ADD ONE SET FRENCH DOORS W/ SIDE LIGHTS. REMOVE ONE EXISTING WINDOW AND REPLACE WINDOW. ADD COVERED PORCH. COLOR TO MATCH EXISTING

*Chapter 837.06 F.S.-False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083*

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval

Date: 2-18-11

Applicant's Signature: Nancy Forester



**Required Submittals**

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

**Staff Use Only**

Date: \_\_\_\_\_

Staff Approval: \_\_\_\_\_

Fee Due: \$ \_\_\_\_\_



# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

\*\*\*\*\*

Approved

Denied

Deferred

\_\_\_\_\_

Reason for Deferral or Denial:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HARC Comments:

*listed as contributing frame vernacular built  
c. 1920. this house was moved to this location.  
Guidelines for additions (pages 34-38)*

Limit of Work Approved, Conditions of Approval and/or Suggested  
Changes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

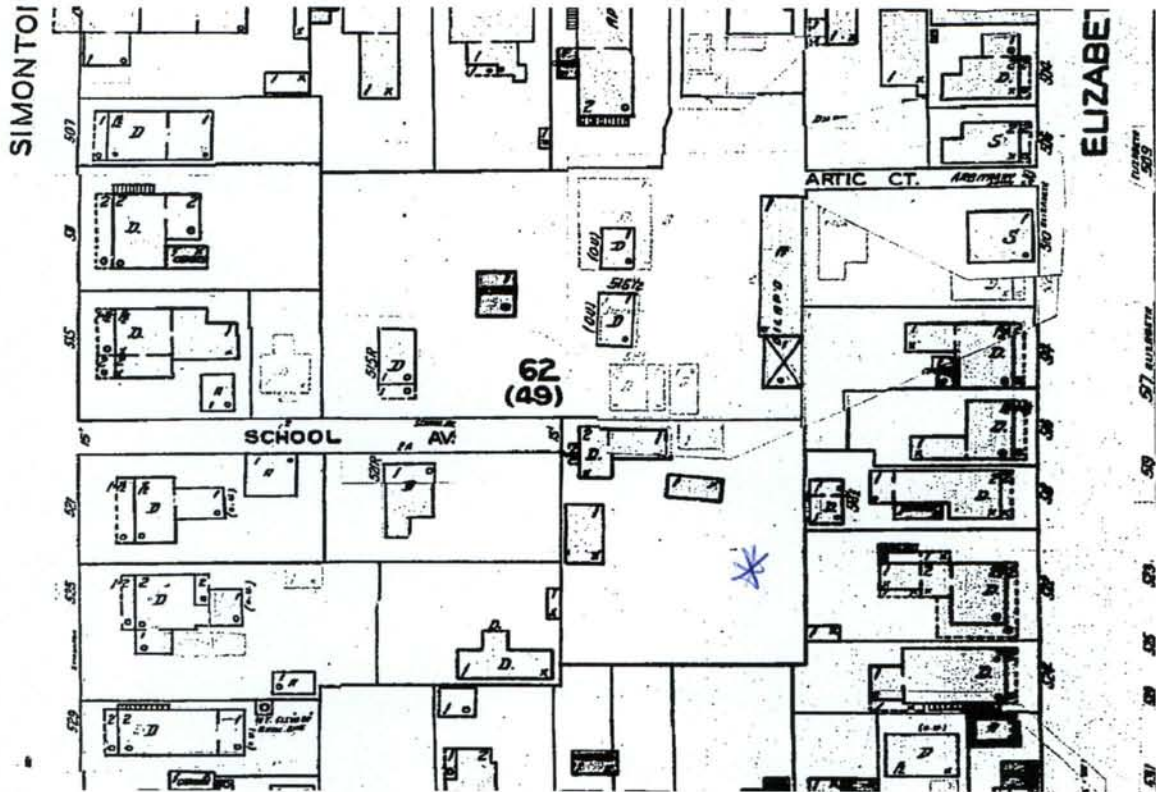
Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Historic Architectural  
Review Commission

# **Sanborn Maps**





#1 Free School Lane Sanborn map 1948 Copy

## **Project Photos**





PLANNING DEPT.  
22 '11  
COUNTY





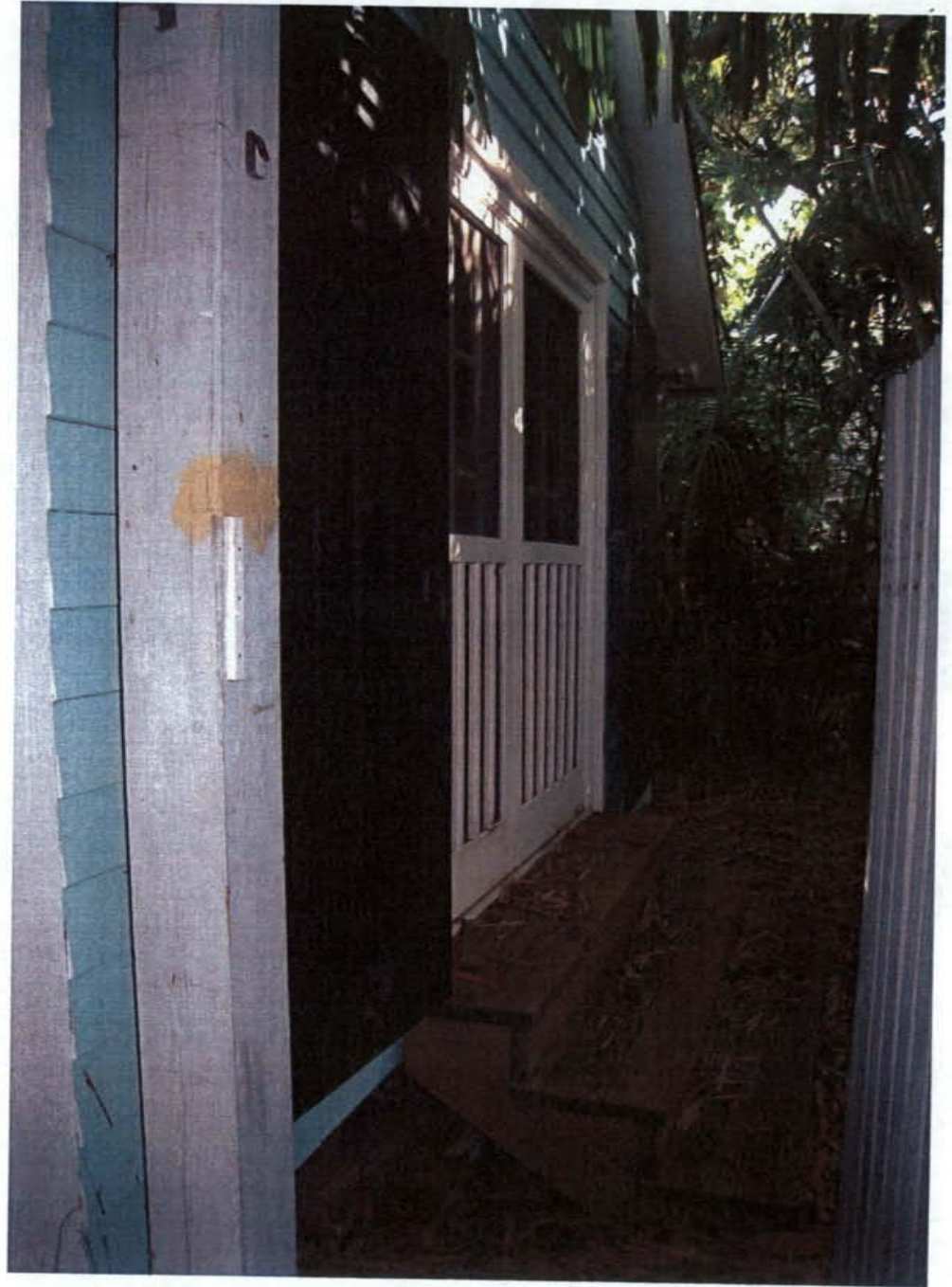
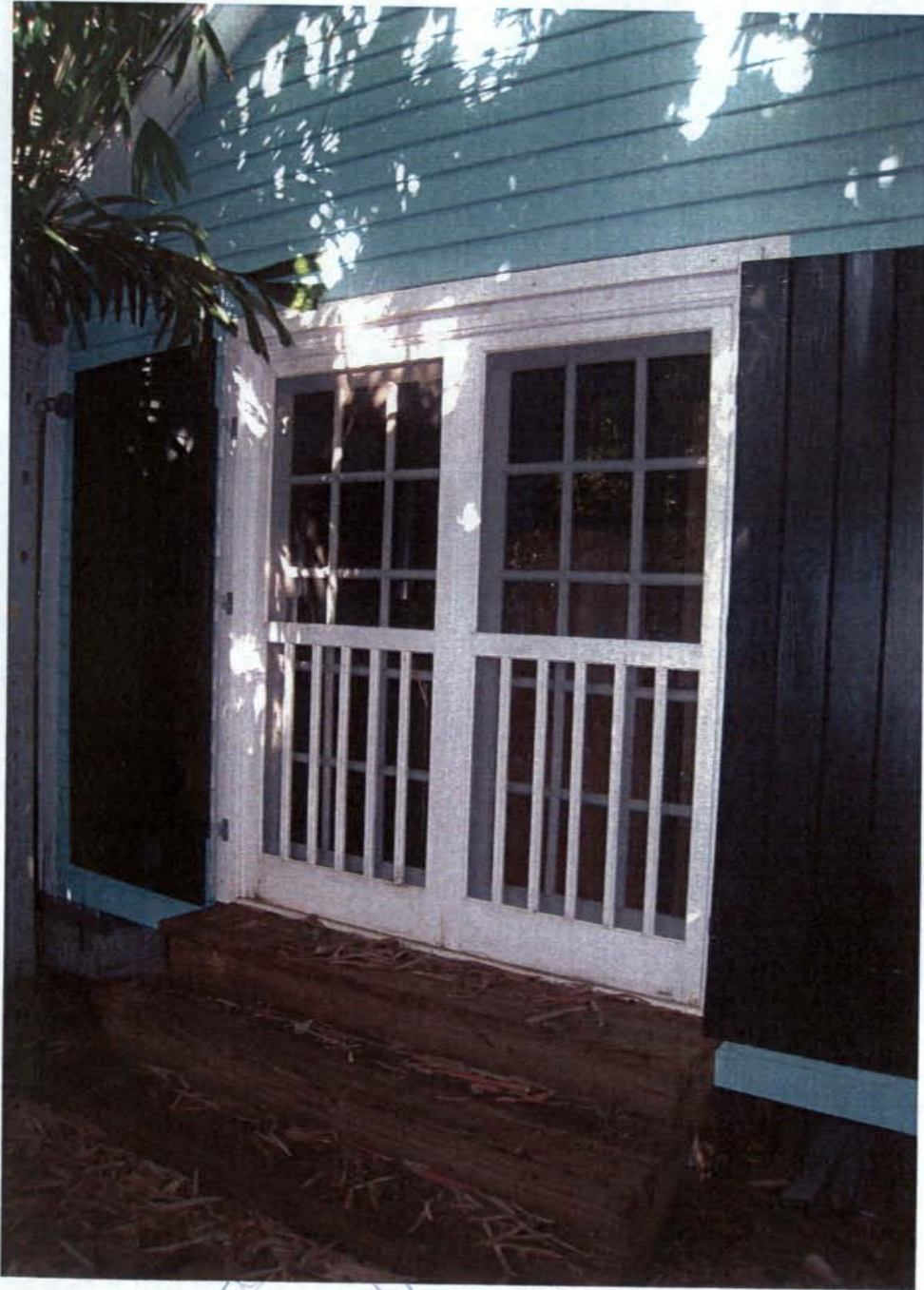
KEY WEST PLANNING  
FEB 22 2011  
COUNTY





KEY WEST  
FEB 22 2011





KEY WEST PLANNING DEPT  
FEB 22 2011





KEY WEST  
FEB 22 2011  
ING DEPT





KEY WEST PLANNING DEPT.  
FEB 22 2011





KEY WEST PLANNING DEPT  
FEB 22 2011





KEY WEST PLANNING DEPT.  
FEB 22 2011

## **Miscellaneous Information**





# HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 MO01800  
 Recorder # \_\_\_\_\_  
 Field Date \_\_\_\_\_  
 Form Date \_\_\_\_\_  
 FormNo 200402  
 FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? NO

## GENERAL INFORMATION

Site Name (address if none) NANCY'S SECRET GARDEN Multiple Listing (DHR only) \_\_\_\_\_  
 Other Names \_\_\_\_\_ >> \_\_\_\_\_  
 Survey or Project Name Key West Historic Resources Survey Survey# \_\_\_\_\_  
 National Register Category Building(s)

## LOCATION & IDENTIFICATION

### Address

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>1</u>		<u>FREE SCHOOL</u>	<u>Lane</u>	

Cross Streets (nearest/ between) SIMONTON  
 City / Town (within 3 miles) KEY WEST In Current City Limits? YES  
 County Monroe Tax Parcel #(s) RE-9000.000000  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 Ownership Private Individual  
 Name of Public Tract (e.g., park) \_\_\_\_\_  
 Route to (especially if no street address) N END OF FREE SCHOOL LANE N OF SIMONTON

## MAPPING

SGS 7.5' Map Name \_\_\_\_\_ Publication Date >> KEY WEST, 1971  
 Township: \_\_\_\_\_ Range: \_\_\_\_\_ Section: \_\_\_\_\_ 1/4 section: \_\_\_\_\_ >> 67S ; 25E ; 34 ; UNSP  
 Irregular Section Name: \_\_\_\_\_  
 Landgrant \_\_\_\_\_  
 UTM: Zone 0 Easting 0 Northing 0  
 Plat or Other Map (map's name, location) \_\_\_\_\_

## DESCRIPTION

Style Frame Vernacular Other Style \_\_\_\_\_  
 Exterior Plan Irregular Other Exterior Plan \_\_\_\_\_  
 Number of Stories 1  
 Structural System(s) >> Wood frame  
 Other Structural System(s) \_\_\_\_\_  
 Foundation Type(s) >> Piers  
 Other Foundation Types \_\_\_\_\_  
 Foundation Material(s) >> Concrete Block  
 Other Foundation Material(s) \_\_\_\_\_  
 Exterior Fabric(s) >> Weatherboard  
 Other Exterior Fabric(s) \_\_\_\_\_  
 Roof Type(s) >> Gable  
 Other Roof Type(s) \_\_\_\_\_  
 Roof Material(s) >> Metal shingles  
 Other Roof Material(s) \_\_\_\_\_  
 Roof Secondary Structure(s) (dormers etc) >> Other  
 Other Roof Secondary Structure(s) SHED  
 Number of Chimneys 0  
 Chimney Material Not applicable  
 Other Chimney Material(s) \_\_\_\_\_  
 Chimney Location(s) NOT APPLICABLE



# HISTORICAL STRUCTURE FORM

8MO01800

## DESCRIPTION (continued)

Window Descriptions 6/6 DHS, CASEMENT, FIXED

Main Entrance Description (stylistic details) \_\_\_\_\_

Porches: #open 1 #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) SCREENED ENTRY W

Porch Roof Types(s) \_\_\_\_\_

Exterior Ornament EXP RAFTERS, SHUTTERSInterior Plan Unspecified

Other Interior Plan \_\_\_\_\_

Condition Good

### Structure Surroundings

Commercial: NONE of this category Residential: ALL this categoryInstitutional: NONE of this category Undeveloped: NONE of this category

Ancillary Features (Number / type of outbuildings, major landscape features) \_\_\_\_\_

Archaeological Remains (describe): NONE OBSERVEDIf archaeological remains are present, was an Archaeological Site Form completed? NONarrative Description (optional) THERE ARE ELLIPTICAL WINDOWS IN THE LOFT

## HISTORY

Construction year C1930Architect (last name first): UNKNOWNBuilder (last name first): UNKNOWN

### Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
>> Moved;	1985;	6/30/1999;	

### Structure Use History

Use \_\_\_\_\_ Year Use Started \_\_\_\_\_ Year Use Ended \_\_\_\_\_ >> Private residence;;Other Structure Uses ORIG. USED AS COOKHOUSEOwnership History (especially original owner, dates, profession, etc.) UNSPECIFIED

## RESEARCH METHODS

Research Methods >> Examine local tax recordsOther research methods Sanborn Maps

## SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? YESName of Local Register if Eligible Key West Historic DistrictIndividually Eligible for National Register? NOPotential Contributor to NR District? YESArea(s) of historical significance >> Architecture

Other Historical Associations \_\_\_\_\_

Explanation of Evaluation (required) This is a contributing resource in the Key West Historic District, listed in the National Register



# HISTORICAL STRUCTURE FORM

8MO01800

## DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF, Including Field Notes, Plans, other Important Documents.

Document type: \_\_\_\_\_

Maintaining Organization: \_\_\_\_\_

File or Accession #: \_\_\_\_\_

Descriptive Information: \_\_\_\_\_

>> Photographs (Archived)

## RECORDER INFORMATION

Recorder Name (Last, First) Geoff Henry, Shelby Spillers, Heather Yost

Recorder Address / Phone 200 Orchard Ridge Dr, Suite 101, Gaithersburg, MD 20878 (301)258-9780

Recorder Affiliation Other Other Affiliation URS Corporation

Is a Text-Only Supplement File Attached (Surveyor Only)? NO

## \*\*\*\*\* MASTER SITE FILE USE ONLY \*\*\*\*\*

Cultural Resource Type: SS

Electronic Form Used: S110

Form Type Code: NORM

Form Quality Ranking: NEW

Form Status Code: SCAT

SHPO's Evaluation of Resource

\_\_\_\_\_ Date \_\_\_\_\_

Supplement Information Status: NO SUPPLEMENT

Supplement File Status: NO SUPPLEMENT FILE

FMSF Staffer: RECORDERS SMARTFORM

Computer Entry Date: 8/31/2004

Form Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"



# MO01800-200402

## Supplementary Printout

- > [Other name(s)]:
  
- > USGS map name/year of publication or revision:  
KEY WEST;1971
  
- > Township/Range/Section/Qtr:  
67S ;25E ;34;UNSP
  
- > Foundation types:  
Piers
  
- > Foundation materials:  
Concrete Block
  
- > Exterior fabrics:  
Weatherboard
  
- > Roof types:  
Gable
  
- > Roof materials:  
Metal shingles
  
- > Roof secondary structures (dormers etc):  
Other
  
- > Change status/year changed/date noted/nature:  
Moved;1985;6/30/1999;
  
- > Original, intermediate, present uses/year started/year ended:  
Private residence;;  
Other;C1930;
  
- > Research methods:  
Examine local tax records
  
- > Area(s) of historical significance:  
Architecture
  
- > Repositories: Collection/Housed/Accession#/Describe  
;;Photographs (Archived)
  
- > Structural system(s):  
Wood frame









M01800  
1 Free School Lane  
Key West  
Monroe  
Feb. 2004



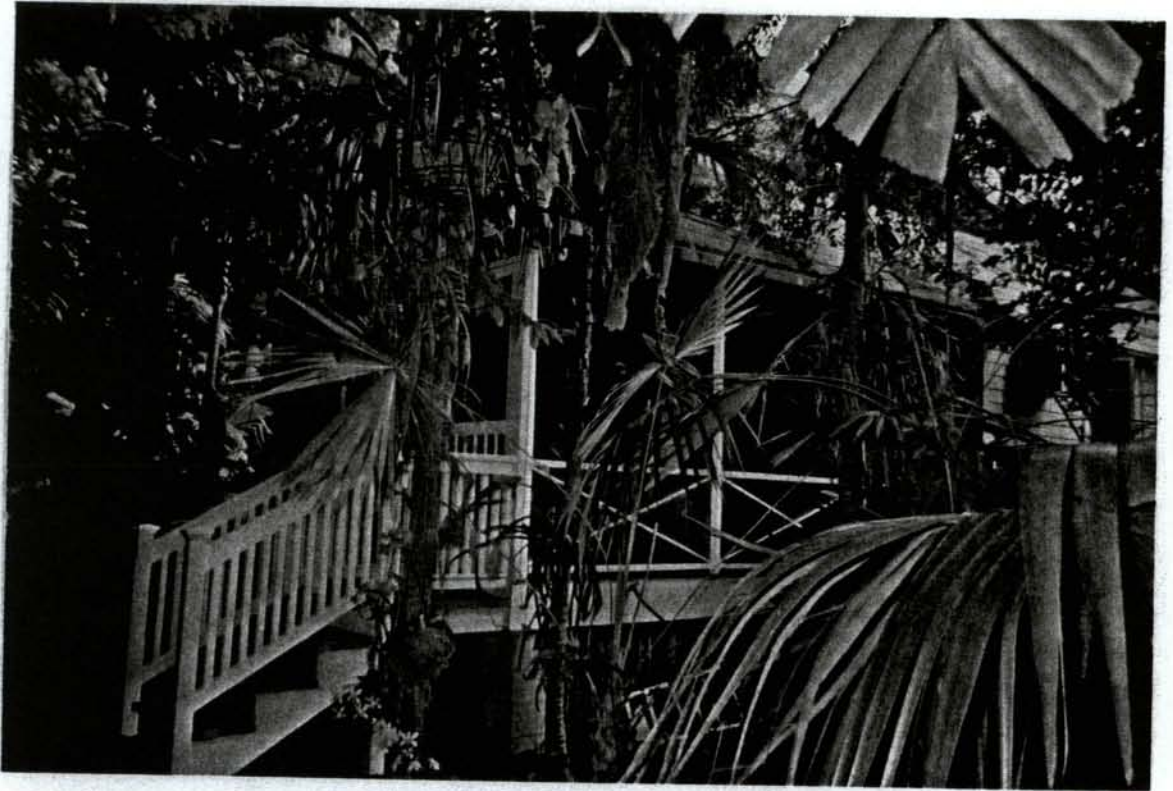
M01 800

1 Free School

Key West

Monroe

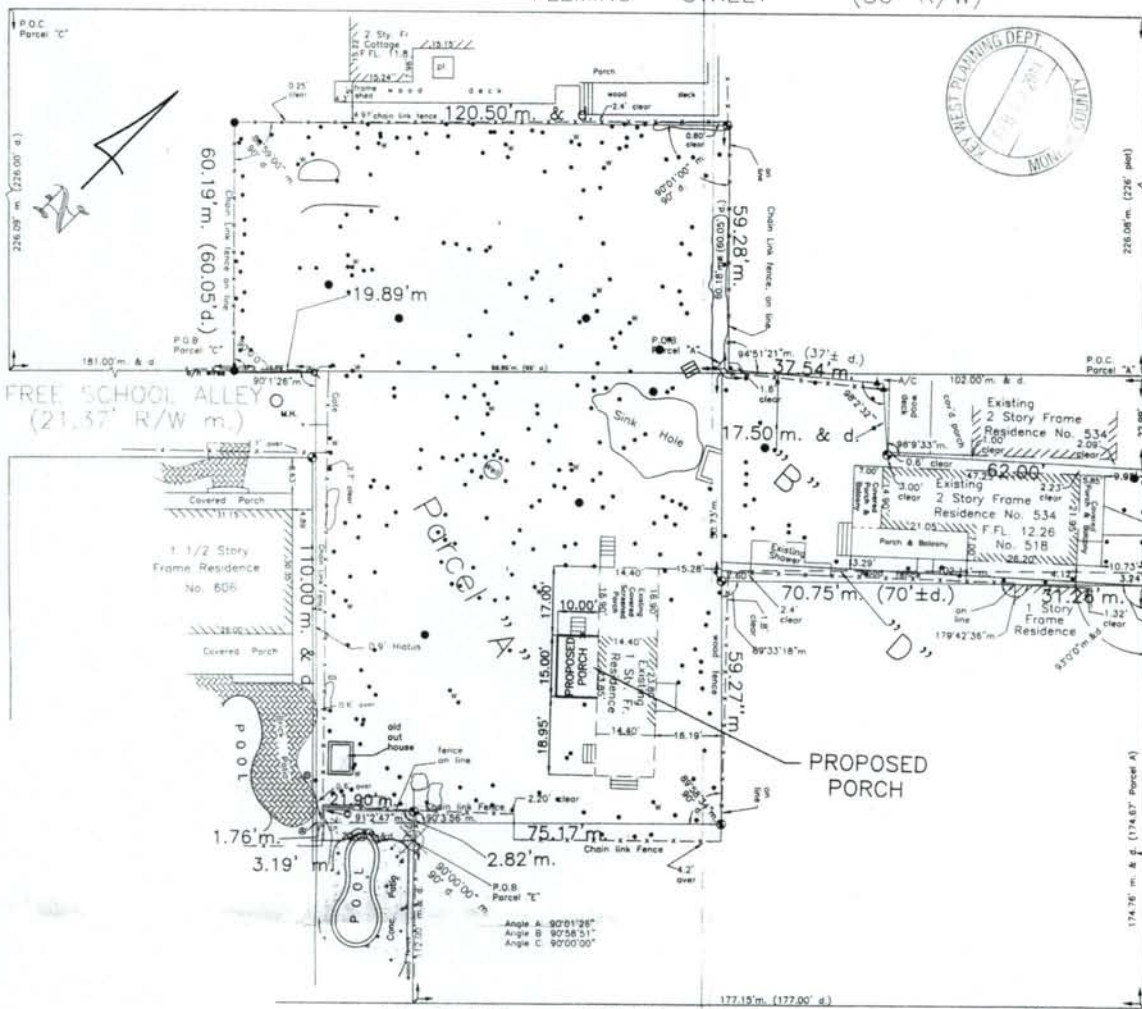
Nov. 2009





# Survey

FLEMING STREET (50' R/W)



ELIZABETH STREET (50' R/W)

SOUTHARD STREET (50' R/W)

LEGAL DESCRIPTION:

**PARCEL A:**  
In the City of Key West, being a part of Lot 1 in Square 49, according to Whitehead's plan of the City delineated in February 1829, and more fully described as follows: COMMENCING at the intersection of the dividing line between Lots 1 and 2 in Square 49 and running thence along said dividing line a distance of 102 feet for a point of beginning. Continue along said dividing line a distance of 99 feet to the dividing line between Lots 1 and 4, thence along said dividing line of Lots 1 and 4 a distance of 110 feet more or less; thence at right angles in a Northerly direction parallel with the dividing line of Lots 1 and 4 a distance of 99 feet; thence at right angles in a Northerly direction parallel with the dividing line of Lots 1 and 4 a distance of 110 feet more or less, to the Point of Beginning.

**AND PARCEL B:**  
COMMENCING at a point on the SWly side of Elizabeth Street, distant 174 feet and 8 inches NWly from the corner of Southard and Elizabeth Street. From said point run back in a SWly direction forming an obtuse angle of 93 degrees with Elizabeth Street, thence at right angles in a NWly direction 47 feet; thence at right angles in a NEly direction 36 feet; thence at right angles in a SEly direction 19 feet; thence in a NEly direction to Elizabeth Street to a point which is 28 feet and 4 inches NWly from the starting point, thence along Elizabeth Street 28 feet and 4 inches to the point of beginning. Said parcel of land being also described by its metes and bounds as actually occupied over the years AS FOLLOWS:

A tract of land in a part of Square 49, according to William A. Whitehead's Map of the Island of Key West, Florida and being more particularly described by its metes and bounds as follows: COMMENCING at the intersection of the Northerly property line of Southard Street and the Northerly property line of Elizabeth Street, bear North 33 degrees and 30 minutes West along the Northerly property line of Elizabeth Street 174.76 feet to the Point of Beginning, bear South 53 degrees and 30 minutes West for a distance of 100.78 feet to an Old Iron Pin, thence bear North 33 degrees and 30 minutes West along an old rock wall for a distance of 47.00 feet to a point, thence bear Northerly along an Old Wood Fence for a distance of 37.9 feet, more or less, to a point or corner of said wood fence, thence bear Southwesterly along an Old Wood Fence for a distance of 17.5 feet, more or less, to a point, thence bear North 59 degrees and 30 minutes East for a distance of 62 feet, more or less, to a point which is bearing North 33 degrees and 30 minutes West from the Point of Beginning. Thence, bear South 33 degrees and 30 minutes East for a distance of 28.35 feet, back to the Point of Beginning.

21912 Square Feet  
(0.50 Acres, ±)

LEGEND

- EXISTING TREES
- ✱ EXISTING TREE TO BE REMOVED/RELOCATED (1)
- FLOOD ZONE = "X" EL= N/A

AND PARCEL C:

A part of lots 2 and 3, Square 49, on the Island of Key West, according to William A. Whitehead's Map of said Island delineated in February 1829, and being more particularly described as follows:

Commencing at the intersection of the Southeastery property line of Fleming Street with the Northerly property line of Simonton Street, run thence Southeastery along the Northerly property line of Simonton Street for a distance of 226 feet to the point, said point being on the dividing line between Lots 3 and 4 in said Square 49; thence run Northerly along the said dividing line between Lots 3 and 4 for a distance of 181 feet to the Point of Beginning of the metes and bounds description of the parcel or strip of land herein described; from said point of beginning, continue Northerly along the said point of beginning of the metes and bounds description of the parcel or strip of land herein described, from said point of beginning, continue Northerly along the said dividing line between Lots 3 and 4 and Lots 1 and 2 for a distance of 120.50 feet to a point; thence Northwesterly at right angles 60.05 feet to a point, thence Southeastery at right angles 120.50 feet to a point; thence Southeastery at right angles 60.05 feet back to the Point of Beginning.

AND PARCEL D:

A parcel of land on the Island of Key West, Florida and known on the Map of said Island delineated in February A.D. 1829 by William A. Whitehead as a part of Lot 1 in Square 49, said parcel being more particularly described by its metes and bounds as follows: COMMENCING at the intersection of the NWly right of way line of Southard Street with the SWly right of way line of Elizabeth Street and run thence NWly along the NWly right of way line of said Elizabeth Street for a distance of 174.76 feet to the Point of Beginning, thence continue NWly along the SWly right of way line of said Elizabeth Street for a distance of 3.24 feet; thence SEly and at right angles for a distance of 102.00 feet; thence SEly and at right angles for a distance of 2.6 feet to an existing chain link fence, thence NEly and along said chain link fence for a distance of 72 feet to the SEly corner of an existing and story frame structure, thence continue NEly along the NWly face of said structure and prolongation thereof for a distance of 30 feet to the Point of Beginning.

LESS PARCEL E:

A parcel of land on the Island of Key West and known as a part of Lot 1, Square 49, according to W.A. Whitehead's Map delineated in February, A.D., 1829, said parcel being more particularly described as follows: COMMENCE at the intersection of the Southeastery right of way line of Elizabeth Street with the Northerly right of way line of Southard Street and run thence Southeastery along the Northerly right of way line of Southard Street for a distance of 177 feet; thence Northerly and at right angles for a distance of 112 feet to the Point of Beginning; thence continue Northerly along the previously described course for a distance of 7.1 feet to an existing chain link fence; thence Southwesterly with a deflection angle of 88°57'13" to the left and along said fence for a distance of 21.9 feet to a fence corner, thence Southeastery and at right angles and along said fence for a distance of 7.5 feet to a point, said point being 1-1/2 feet Northwesterly of the Northerly right of way line of Southard Street; thence Northerly for a distance of 22.00 feet back to the Point of Beginning.

FEB 17 2011

MICHAEL J. GIARDULLO, P.E. #70676

Revisions:

SITE PLAN FOR PORCH ADDITION  
FOR  
PARROT GARDEN

**WEC** THE WEILER ENGINEERING CORPORATION  
20020 VETERANS BLVD. - SUITE 7-9  
PORT CHARLOTTE, FLORIDA  
(941)764-6447 EB #6656

Design	Drawn	Checked
JJM	JJM	MJG
Approved by		MJG
Scale:		1" = 30'
Job No.		11066.001
Date Issued		02-09-11
Sheet No.		1 of 1

House Model:

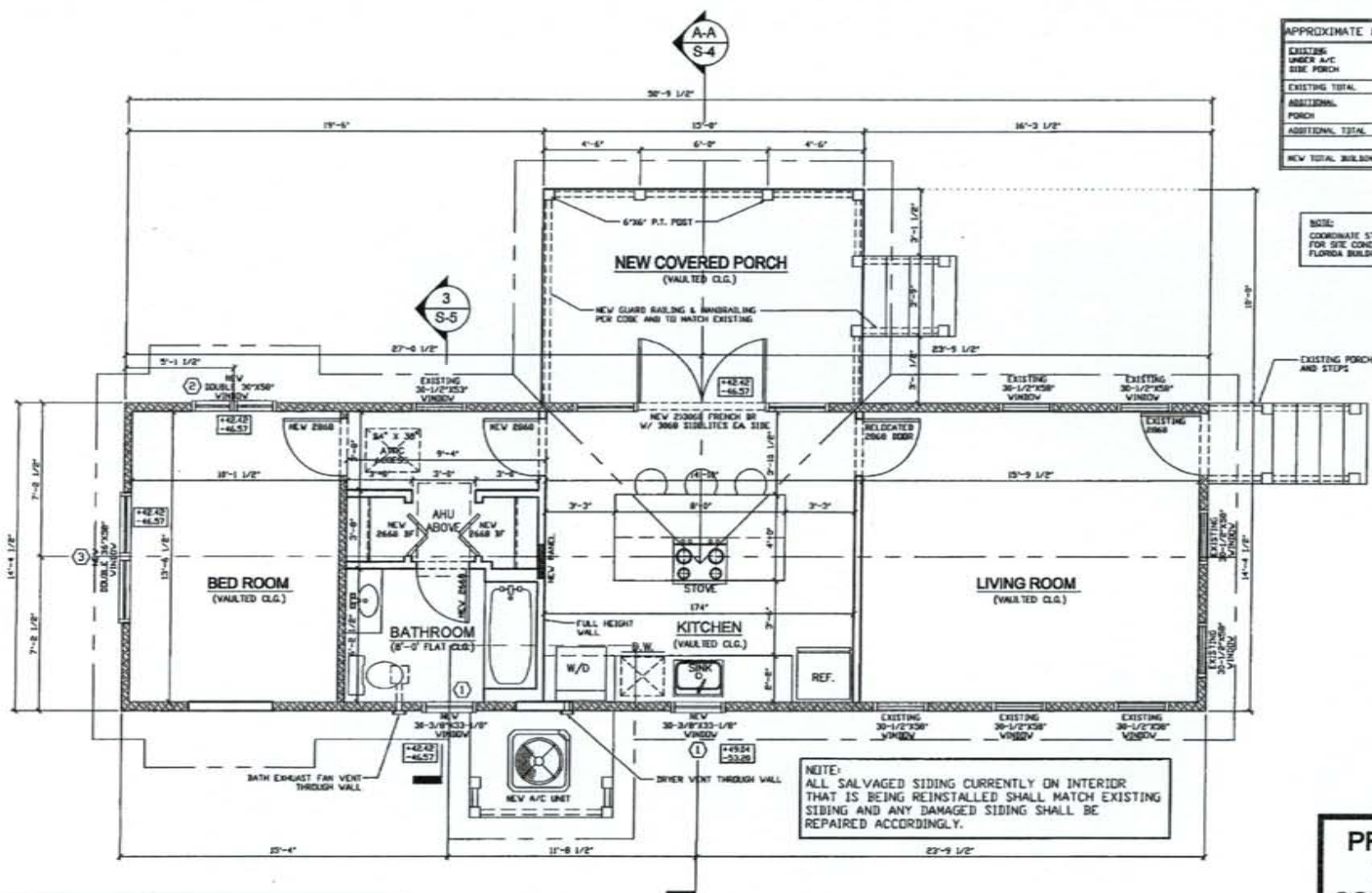




# Site Plans







**APPROXIMATE PROPOSED AREA TABULATION**

EXISTING UNDER A/C	728 SF.
EXISTING SIDE PORCH	34 SF.
EXISTING TOTAL	764 SF.
ADDITIONAL PORCH	100 SF.
ADDITIONAL TOTAL	108 SF.
NEW TOTAL BUILDING	964 SF.

**NOTE:**  
COORDINATE STAIR TREAD AND RISE LAYOUT FOR SITE CONVENIENCE IN ACCORDANCE WITH FLORIDA BUILDING CODE REQUIREMENTS.

**NOTE:**  
ALL SALVAGED SIDING CURRENTLY ON INTERIOR THAT IS BEING REINSTALLED SHALL MATCH EXISTING SIDING AND ANY DAMAGED SIDING SHALL BE REPAIRED ACCORDINGLY.

**WINDOW & DOOR SCHEDULE**

NO.	SYMBOL	TYPE	FINISH	GLASS TYPE	FINISH	REMARKS
1	10-0" x 10-0"	WOOD DOUBLE HUNG	CLEAR	OPQUE	WOOD FINISH	RETAIL FOR W/S SIZES
2	20-0" x 10-0"	WOOD DOUBLE HUNG	CLEAR	OPQUE	WOOD FINISH	RETAIL FOR W/S SIZES
3	20-0" x 10-0"	WOOD DOUBLE HUNG	CLEAR	OPQUE	WOOD FINISH	RETAIL FOR W/S SIZES

**DETAILS**

NO.	SYMBOL	REMARKS	LOCATION
1	10-0" x 10-0"	BLAZED BY SPRING WIND OUTDOOR DOUBLE PANE FOR 2000 SOLARIZED NON-PANIC	EXTERIOR

**WINDOW & DOOR NOTES**

- ALL WINDOWS TO BE PROVIDED WITH NECESSARY SCREENING AND/OR AIR CONDITIONING WALL ATTACHMENT.
- CHECK ALL EXISTING JOISTS BETWEEN TRIM AND WINDOW FRAME - REFER TO WINDOW WINDOW FRAME CLIP.
- WINDOW HEIGHT DIMENSION TO BOTTOM OF WINDOW FRAME STRUCTURE, INCLUDING FINISH.
- WINDOW FINISH TO FINISH.
- ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- IF CONFLICTS WITH ALL OTHER PROVISIONS REFERENCED BY THIS.

**REMODELED FLOOR PLAN**  
SCALE 3/8" = 1'-0"

**WALL LEGEND**

	INDICATES EXISTING EXTERIOR FRAMED WALL TO REMAIN
	INDICATES NEW 2"x4" SIPS #2 FRAMED WALL @ 16" O.C.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**WEC**  
THE WELER ENGINEERING CORPORATION

1000 N. W. 10th St., Ft. Lauderdale, FL 33304  
Tel: (954) 576-1111  
Fax: (954) 576-1112  
E-mail: wec@wec.com

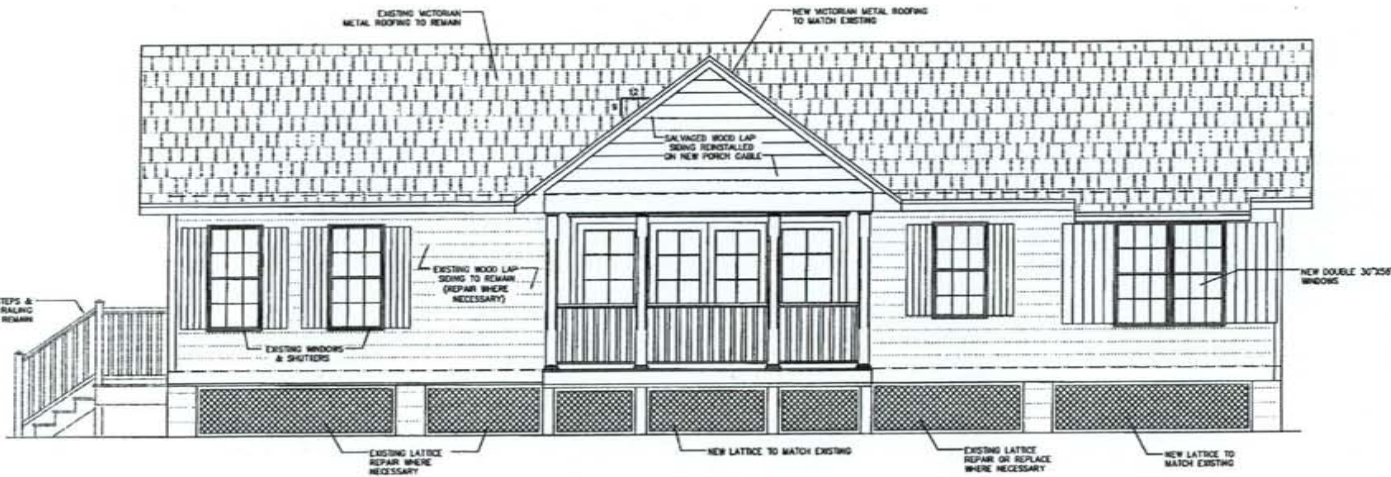
GARDEN COTTAGE REMODEL  
 518 ELIZABETH STREET  
 KEY WEST, FLORIDA  
 PROPOSED REMODELED FLOOR PLAN  
 WEC THE WELER ENGINEERING CORPORATION  
 A-1





**EAST ELEVATION**

SCALE: 3/8" = 1'-0"



**WEST ELEVATION**

SCALE: 3/8" = 1'-0"

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**WEC**

WEC THE WELER ENGINEERING CORPORATION  
1000 W. 1st Street, Suite 100, Key West, FL 33440  
Phone: 305-291-1111  
Fax: 305-291-1112  
www.wec-engineering.com

Michael J. Weller, P.E.  
P. Eng. No. 2024  
Professional Engineer  
The State of Florida License No. 14, Paul Dennis, R. 2024  
10/2024


GARDEN COTTAGE REMODEL  
518 ELIZABETH STREET  
KEY WEST, FLORIDA

REMODELED  
EAST & WEST ELEVATIONS

THE WELER ENGINEERING CORPORATION  
**WEC**

A-2







EB-0006656

*"Excellence in Engineering"*

20020 Veterans Boulevard, Suite 7  
Port Charlotte, FL 33954  
(941) 764-6447 ph  
(941) 764-8915 fax

### ENGINEERING INDEX SHEET

GARDEN COTTAGE REMODEL  
518 ELIZABETH STREET KEY WEST, FL  
WEC PROJECT NO. 11066.001

- |    |   |           |
|----|---|-----------|
| 1) | Wind 02 v2-18<br>Detailed Wind Load Design (Method 2) per ASCE 7-05   | 4 Sheets  |
| 2) | FL Approval No. FL13137.1– Rogue Valley Door<br>Glazed or Opaque Wood Door w/ Sidelites Inswing/Outswing Non-Impact | 21 Sheets |
| 3) | N.O.A. No – 07-0412.01 – Berridge Manufacturing Company<br>Victorian Classic Shingle                                | 5 Sheets  |

THIS IS TO CERTIFY THAT THE ENCLOSED ENGINEERING REPORT AND CALCULATIONS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THE SHOP DRAWINGS AND MANUFACTURER'S DESIGN AND SPECIFICATIONS HAVE BEEN REVIEWED BY ME OR UNDER MY RESPONSIBLE CHARGE AND ARE ACCEPTABLE FOR THIS PROJECT.

FEBRUARY 17, 2011  
DATE

MICHAEL J. GIARDULLO  
FL LICENSE NO. 70676  
PROFESSIONAL ENGINEER  
WEILER ENGINEERING CORPORATION

**WIND02 v2-18**

Detailed Wind Load Design (Method 2) per ASCE 7-05

**Analysis by:** SETH LIPPSON    **Company Name:** WEILER ENGINEERING  
**Description:** Cottage Remodel / 518 Elizabeth St. Key West, Fl

User Input Data		
Structure Type	Building	
Basic Wind Speed (V)	150	mph
Struc Category (I, II, III, or IV)	II	
Exposure (B, C, or D)	C	
Struc Nat Frequency (n1)	1	Hz
Slope of Roof	10.0	:12
Slope of Roof (Theta)	39.8	Deg
Type of Roof	Gabled	
Kd (Directonality Factor)	0.85	
Eave Height (Eht)	10.50	ft
Ridge Height (RHt)	17.50	ft
Mean Roof Height (Ht)	14.00	ft
Width Perp. To Wind Dir (B)	14.50	ft
Width Paral. To Wind Dir (L)	50.83	ft

Calculated Parameters	
Type of Structure	
Height/Least Horizontal Dim	0.97
Flexible Structure	No

Calculated Parameters	
Importance Factor	1
<i>Hurricane Prone Region (V&gt;100 mph)</i>	
Table 6-2 Values	
Alpha =	9.500
zg =	900.000
At =	0.105
Bt =	1.000
Bm =	0.650
Cc =	0.200
l =	500.00 ft
Epsilon =	0.200
Zmin =	15.00 ft

Gust Factor Category I: Rigid Structures - Simplified Method		
Gust1	For rigid structures (Nat Freq > 1 Hz) use 0.85	0.85
Gust Factor Category II: Rigid Structures - Complete Analysis		
Zm	Zmin	15.00 ft
lzm	$Cc * (33/z)^{0.167}$	0.2281
Lzm	$l * (zm/33)^{Epsilon}$	427.06 ft
Q	$(1/(1+0.63*((Min(B,L)+Ht)/Lzm)^{0.63}))^{0.5}$	0.9473
Gust2	$0.925 * ((1+1.7 * lzm * 3.4 * Q)/(1+1.7 * 3.4 * lzm))$	0.8973
Gust Factor Summary		
G	Since this is not a flexible structure the lessor of Gust1 or Gust2 are used	0.85

**Fig 6-5 Internal Pressure Coefficients for Buildings, Gcpi**

Condition	Gcpi	
	Max +	Max -
Open Buildings	0.00	0.00
Partially Enclosed Buildings	0.55	-0.55
Enclosed Buildings	0.18	-0.18
<b>Enclosed Buildings</b>	<b>0.18</b>	<b>-0.18</b>



### WIND02 v2-18

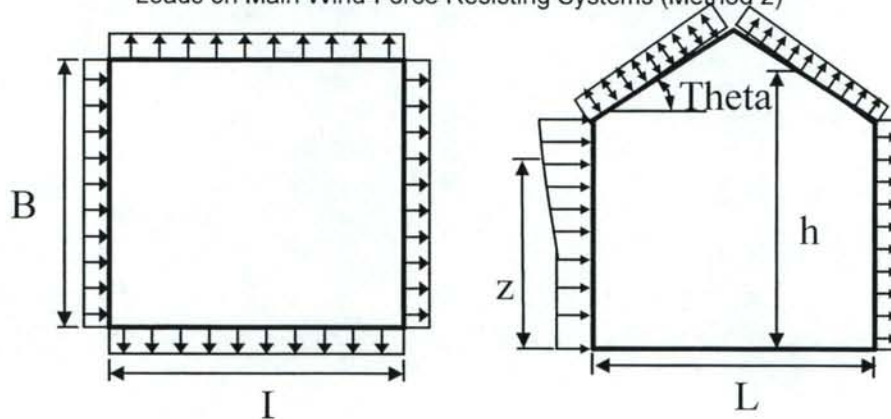
#### Detailed Wind Load Design (Method 2) per ASCE 7-05 6.5.12.2.1 Design Wind Pressure - Buildings of All Heights

Elev ft	Kz	Kzt	qz lb/ft <sup>2</sup>	Pressure (lb/ft <sup>2</sup> )					Shear (Kip)	Moment (Kip-ft)
				Windward Wall*		Leeward Wall		Total +/-Gcpi		
				+GCpi	-GCpi	+GCpi	-GCpi			
17.5	0.88	1.00	42.93	21.71	36.67	-15.42	-0.46	37.13	1.35	1.68
15	0.85	1.00	41.56	20.78	35.74	-15.42	-0.46	36.20	9.22	82.61

Note: 1) Positive forces act toward the face and Negative forces act away from the face.

**Figure 6-6 - External Pressure Coefficients, Cp**

Loads on Main Wind-Force Resisting Systems (Method 2)



Variable	Formula	Value	Units
Kh	$2.01 \cdot (15/z_g)^{2/\alpha}$	0.85	
Kht	Topographic factor (Fig 6-4)	1.00	
Qh	$.00256 \cdot (V)^2 \cdot I \cdot Kh \cdot Kht \cdot Kd$	41.56	psf
Khcc	Comp & Clad: Table 6-3 Case 1	0.85	
Qhcc	$.00256 \cdot V^2 \cdot I \cdot Khcc \cdot Kht \cdot Kd$	41.56	psf

Wall Pressure Coefficients, Cp	
Surface	Cp
Windward Wall (See Figure 6.5.12.2.1 for Pressures)	0.8

Roof Pressure Coefficients, Cp	
Roof Area (sq. ft.)	-
Reduction Factor	1.00

Calculations for Wind Normal to 14.5 ft Face	Cp	Pressure (psf)	
<i>Additional Runs may be req'd for other wind directions</i>		+GCpi	-GCpi
Leeward Walls (Wind Dir Normal to 14.5 ft wall)	-0.22	-15.42	-0.46
Leeward Walls (Wind Dir Normal to 50.83 ft wall)	-0.50	-25.14	-10.18
Side Walls	-0.70	-32.21	-17.25
Roof - Wind Normal to Ridge (Theta >= 10) - for Wind Normal to 14.5 ft face			
Windward - Min Cp	0.16	-1.76	13.20
Windward - Max Cp	0.39	6.46	21.43
Leeward Normal to Ridge	-0.60	-28.68	-13.72
Overhang Top (Windward)	0.16	5.72	5.72
Overhang Top (Leeward)	-0.60	-21.20	-21.20

### WIND02 v2-18

Detailed Wind Load Design (Method 2) per ASCE 7-05

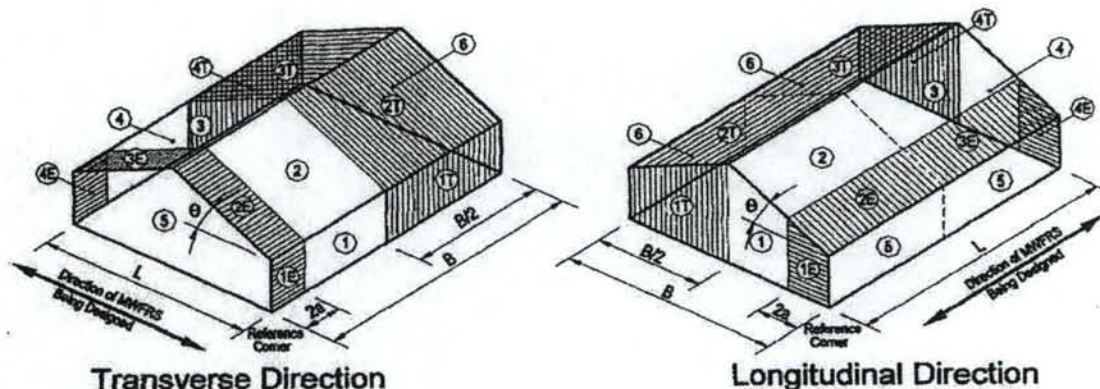
Overhang Bottom (Applicable on Windward only)	0.80	28.26	28.26
Roof - Wind Parallel to Ridge (All Theta) - for Wind Normal to 50.83 ft face			
Dist from Windward Edge: 0 ft to 28 ft - Max Cp	-0.18	-13.84	1.12
Dist from Windward Edge: 0 ft to 7 ft - Min Cp	-0.90	-39.28	-24.31
Dist from Windward Edge: 7 ft to 14 ft - Min Cp	-0.71	-32.70	-17.74
Dist from Windward Edge: 14 ft to 14.5 ft - Min Cp	-0.69	-31.72	-16.76

\* Horizontal distance from windward edge

### Figure 6-10 - External Pressure Coefficients, GCpf

Loads on Main Wind-Force Resisting Systems w/ Ht <= 60 ft

Kh =	2.01*(15/zg)^(2/Alpha)	=	0.85
Kht =	Topographic factor (Fig 6-2)	=	1.00
Qh =	0.00256*(V)^2*ImpFac*Kh*Kht*Kd	=	41.56
Theta =	Angle of Roof	=	39.8 Deg



### Torsional Load Cases

Wind Pressures on Main Wind Force Resisting System						
Surface	GCpf	+GCpi	-GCpi	qh (psf)	Min P (psf)	Max P (psf)
1	0.56	0.18	-0.18	41.56	15.79	30.76
2	0.21	0.18	-0.18	41.56	1.25	16.21
3	-0.43	0.18	-0.18	41.56	-25.35	-10.39
4	-0.37	0.18	-0.18	41.56	-22.86	-7.90
5	-0.45	0.18	-0.18	41.56	-26.18	-11.22
6	-0.45	0.18	-0.18	41.56	-26.18	-11.22
1E	0.69	0.18	-0.18	41.56	21.20	36.16
2E	0.27	0.18	-0.18	41.56	3.74	18.70
3E	-0.53	0.18	-0.18	41.56	-29.51	-14.55
4E	-0.48	0.18	-0.18	41.56	-27.43	-12.47

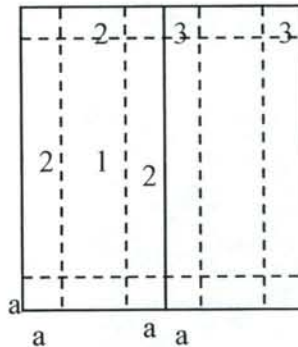
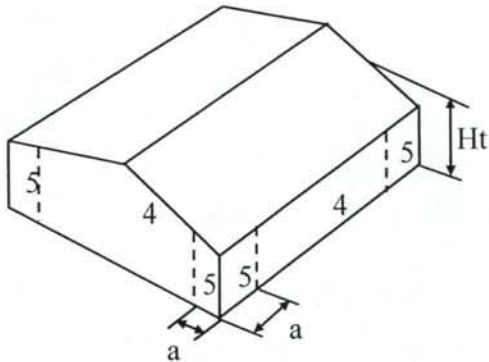
\* p = qh \* (GCpf - GCpi)

### Figure 6-11 - External Pressure Coefficients, GCp



### WIND02 v2-18

Detailed Wind Load Design (Method 2) per ASCE 7-05  
 Loads on Components and Cladding for Buildings w/ Ht <= 60 ft



Gabled Roof  
 $7 < \text{Theta} \leq 45$

a = 1.45 ==> 3.00 ft

*Double Click on any data entry line to receive a help Screen*

Component	Width (ft)	Span (ft)	Area (ft <sup>2</sup> )	Zone	GCp		Wind Press (lb/ft <sup>2</sup> )	
					Max	Min	Max	Min
DR-1	12	6.66	79.92	4	0.84	-0.94	42.42	-46.57
WD-1	2.5	2.5	6.25	4	1.00	-1.10	49.04	-53.20
			0.00					
			0.00					
			0.00					
			0.00					
			0.00					
			0.00					
			0.00					

Note: \* Enter Zone 1 through 5, or 1H through 3H for overhangs.



123 NE Beacon Dr  
Grants Pass, OR 97526

**GLAZED OR OPAQUE  
WOOD DOOR W / SIDELITES  
INSWING / OUTSWING**

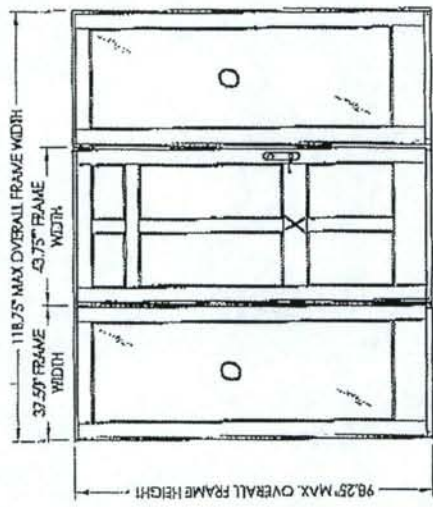
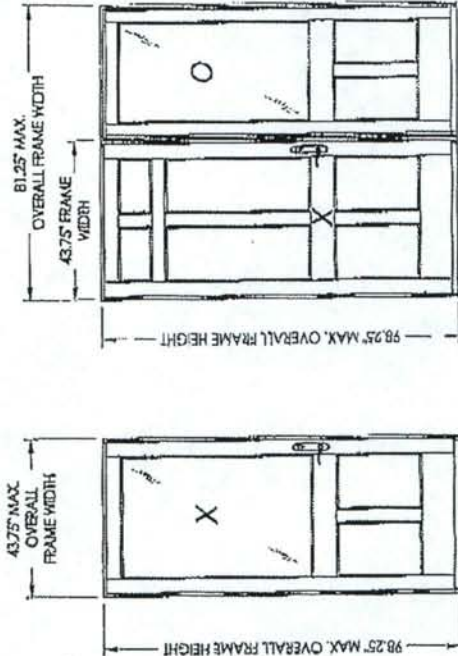
**"NON-IMPACT"**

**GENERAL NOTES**

1. This product has been evaluated and is in compliance with the 2007 Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on detail. Anchor embedment to base material shall be beyond wot dressing or stucco.
3. When used in areas requiring wind borne debris protection this product is required to be protected with an impact resistant covering that complies with Section 1609.1.2 of the 2007 FBC.
4. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x brick masonry construction.
5. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.

**TABLE OF CONTENTS**

SHEET#	DESCRIPTION
1	Typical elevations, design pressures and general notes
2	Door panel details (glazed)
3	Door panel details (opaque)
4	Sidelite panel details (3/4 lite)
5	Sidelite panel details (full lite)
6	Horizontal cross sections
7	Vertical cross sections
8	Buck and frame anchoring - (X)
9	Buck and frame anchoring - (KO)
10	Buck and frame anchoring - (OXO)
11	Lock details
12	Component
13	Component
14	Bit of materials, components and glazing detail



DOOR / WINDOW PANEL TYPE	OVERALL FRAME DIMENSION	GLASS / GLAZING TYPE	DESIGN PRESSURE (PSF)
OPAQUE	118.75" x 98.25"	N/A	+60.0 / -65.0
HALF LITE	118.75" x 98.25"	33.00" x 51.87"	+47.0 / -50.0

Documents Prepared by: **R.V. BUKRINK CONSULTANTS, INC.**  
 P.O. Box 230 Valrico FL 33590  
 Phone No. 813.889.0197  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 0513  
 License No. 11552

PRODUCT: **ROGUE VALLEY DOOR**

PART OR ASSEMBLY: **TYPICAL ELEVATIONS, DESIGN PRESSURES & GENERAL NOTES**

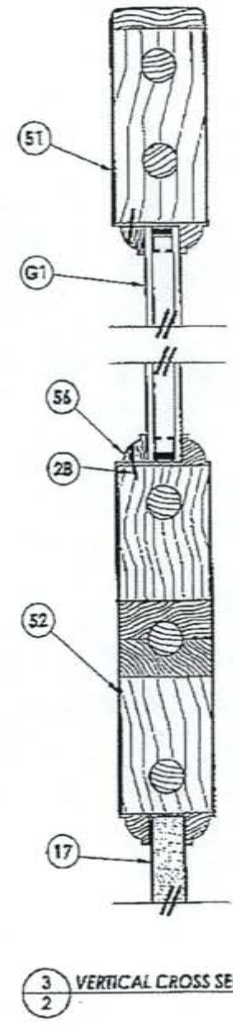
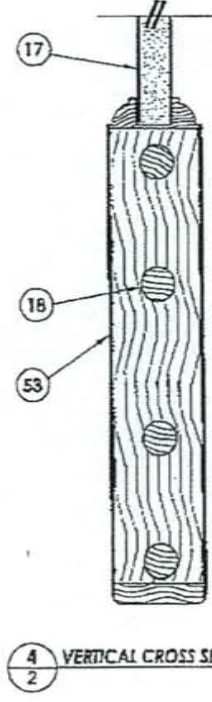
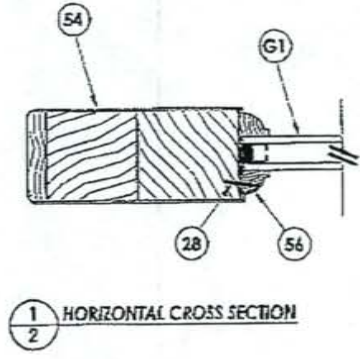
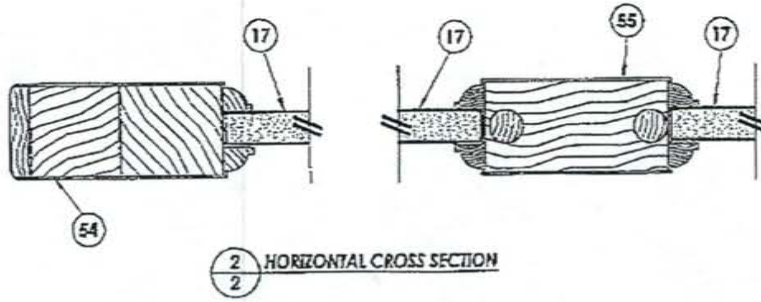
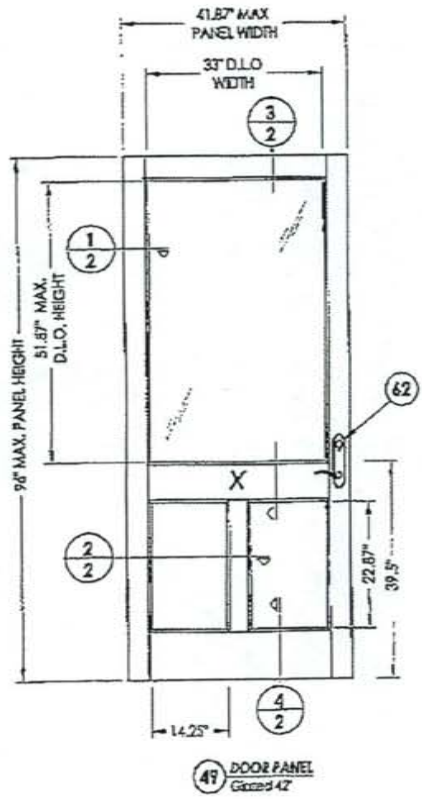
REVISIONS:

NO.	DATE	BY

DATE: 10/06/09  
 SCALE: N.T.S.  
 DWG. BY: JJK  
 C.K. BY: LFS  
 DRAWING NO.: **FL-13137.1**  
 SHEET **1** OF **7.4**

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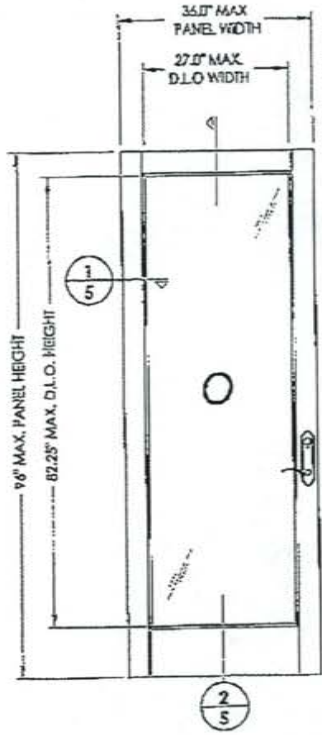


Documents Prepared By: <b>BW BUILDING CONSULTANTS, INC.</b> P.O. Box 10000, Fort Lauderdale, FL 33339 Phone No. 305.350.0127 Florida Board of Professional Engineers Certificate of Authorization No. 9013 LYNDA F. SCHMIDT, P.E. No. 03109	
PRODUCT: ROGUE VALLEY DOOR	PART OR ASSEMBLY: DOOR PANEL DETAILS (QUOTED)
DATE: 10/06/09 SCALE: N.T.S. DWG. BY: JK CHK. BY: LFS DRAWING NO.: FL-13137.1 SHEET 2 OF 14	REVISIONS NO. DATE BY

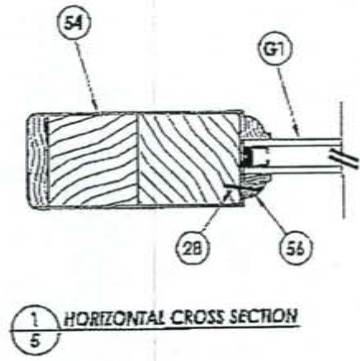




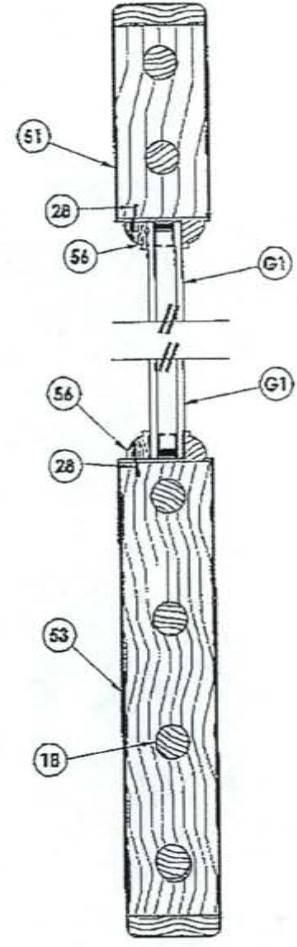




41 SIDELITE PANEL  
R8 E2



1 HORIZONTAL CROSS SECTION  
5



2 VERTICAL CROSS SECTION  
5

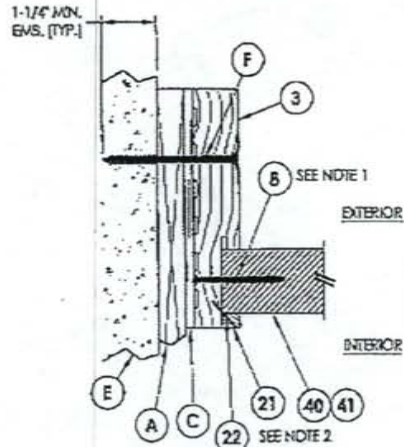
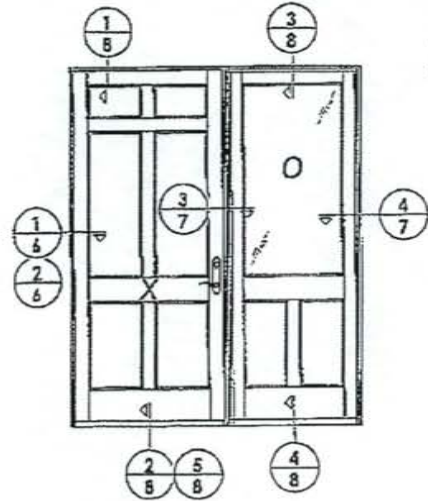
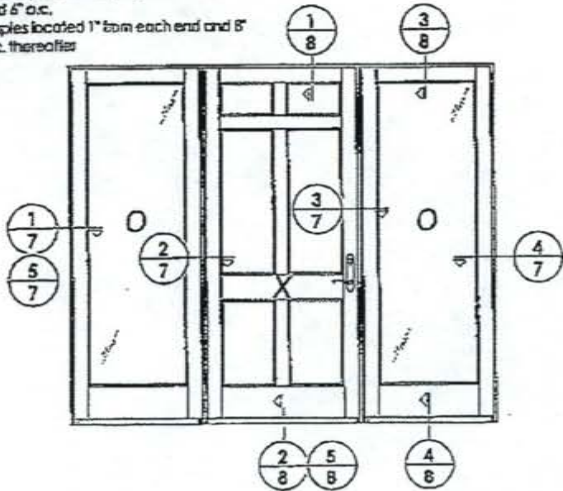
Document Prepared by: <b>RW</b> BUILDING CONSULTANTS, INC. Building Consultant, Inc. P.O. Box 23000 Phone No.: 813.885.8197 Florida Board of Professional Engineers Certificate of Authorization No. 9813 Lyndon F. Schmidt, P.E. No. 3800	
PRODUCT: ROGUE VALLEY DOOR	PART OR ASSEMBLY: SIDELITE PANEL DETAILS (FULL LITE)
NO.	DATE
REVISIONS	BY
DATE: 10/06/09	SCALE: N.T.S.
DWG. BY: JK	CHK. BY: LFS
DRAWING NO.: FL-13137.1	SHEET 5 OF 14

10111500\PL 1482\01\_KWOC Drawings\1482\13137.dwg, S.1

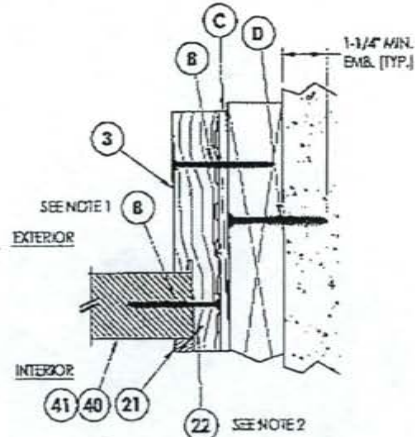




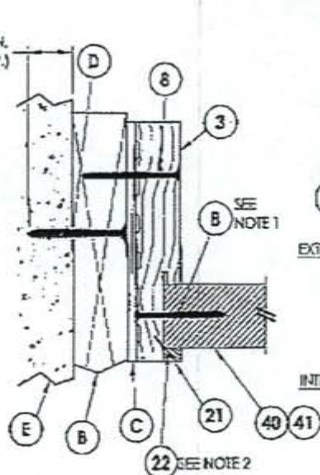
- NOTE**
1. Attach stile to panel to the frame with screws (#10 X 2-1/2" phi) 2" from each end and 6" o.c.
  2. Staples located 1" from each end and 8" o.c. thereafter



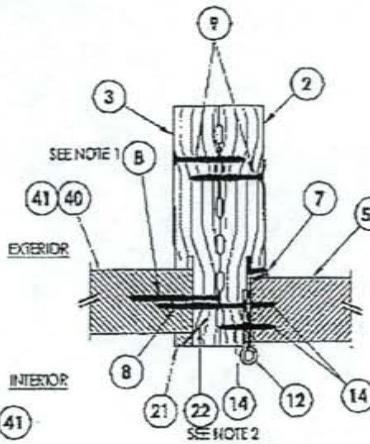
**5 HORIZONTAL CROSS SECTION**  
 Shown w/ 1X sub-buck substituting composite screws for wood screws per Section 1714.5.4.2 of the FBC



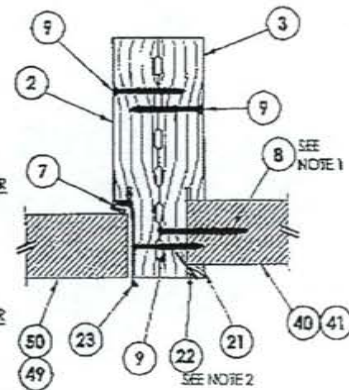
**4 HORIZONTAL CROSS SECTION**  
 Drawing shown - outswing also approved



**1 HORIZONTAL CROSS SECTION**  
 Drawing shown - outswing also approved



**2 HORIZONTAL CROSS SECTION**  
 Drawing shown - outswing also approved

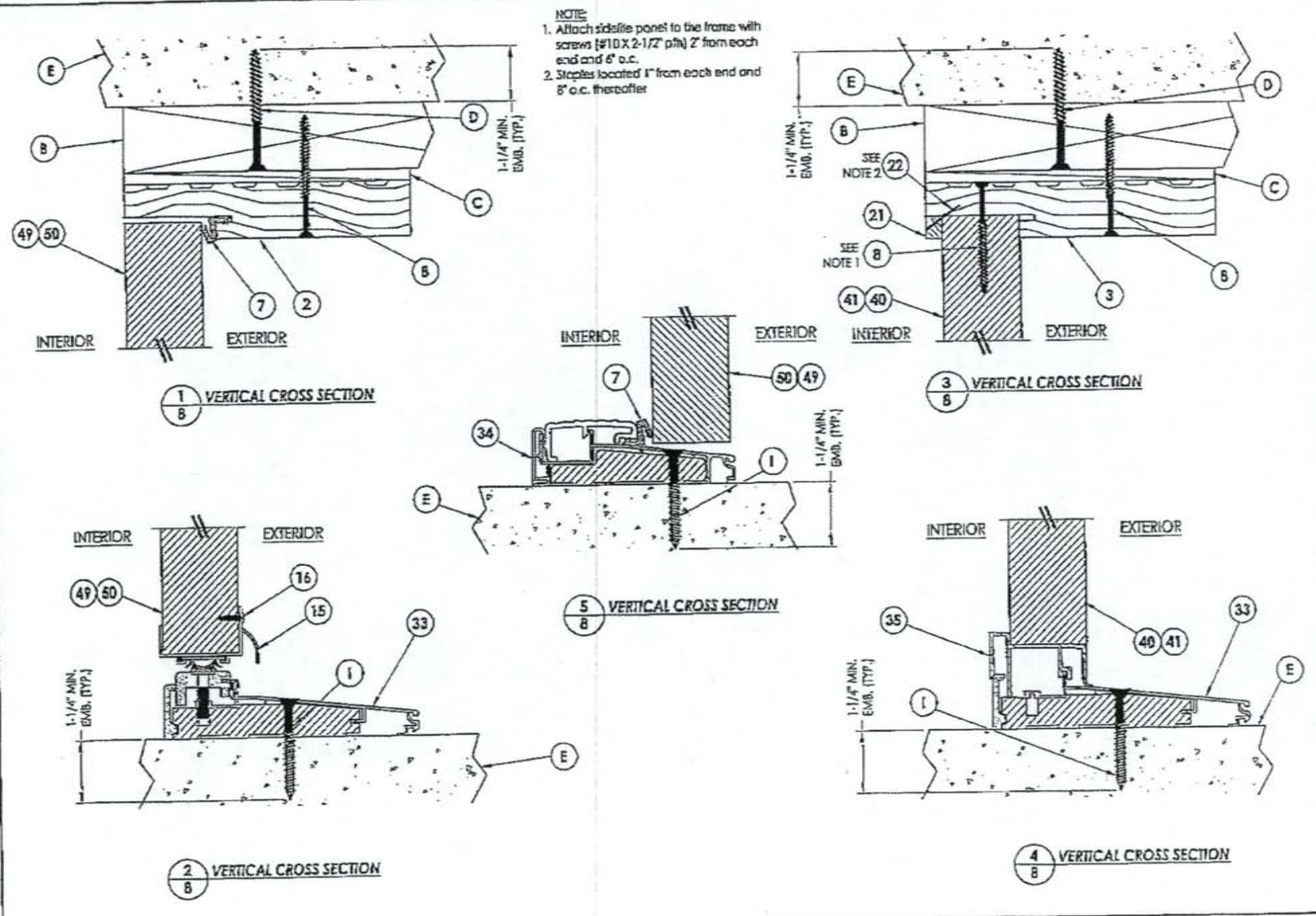


**3 HORIZONTAL CROSS SECTION**  
 Drawing shown - outswing also approved

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PRODUCT: ROGUE VALLEY DOOR	PART OR ASSEMBLY: HORIZONTAL CROSS SECTIONS
DATE: 10/06/09	SCALE: N.T.S.
DWD. BY: JK	CHK. BY: LFS
DRAWING NO.: FL-13137.1	SHEET 7 of 14
REVISIONS	
NO. DATE	BY



RVA - Project/Volvest Folders/Proj 1401-1500/PL 1402/15 - n.wac Drawing/156/FL-13137.dwg, B.1



**NOTE:**  
 1. Attach sidelite panel to the frame with screws (#10 X 2-1/2" p/n) 2" from each end and 6" o.c.  
 2. Staples located 1" from each end and 8" o.c. thereafter

Document prepared by: <b>RW</b> BUILDING CONSULTANTS, INC. P.O. Box 238 6150 Biscayne Blvd. Miami, FL 33147 Florida Board of Professional Engineers Certificate of Authorization No. 9013 Lyndon F. Schmidt, P.E. No. 43569	
PRODUCT: <b>ROGUE VALLEY DOOR</b>	PART OR ASSEMBLY: <b>VERTICAL CROSS SECTIONS</b>
NO. _____ DATE _____	BY _____ REVISIONS _____
DATE: 10/06/09 SCALE: N.T.S. DWG. BY: JK CHK. BY: LFS DRAWING NO.: <b>FL-13137.1</b> SHEET <b>B</b> OF 14	10/06/09 N.T.S. JK LFS FL-13137.1 B OF 14

FEB-17-2011 THU 03:10 PM

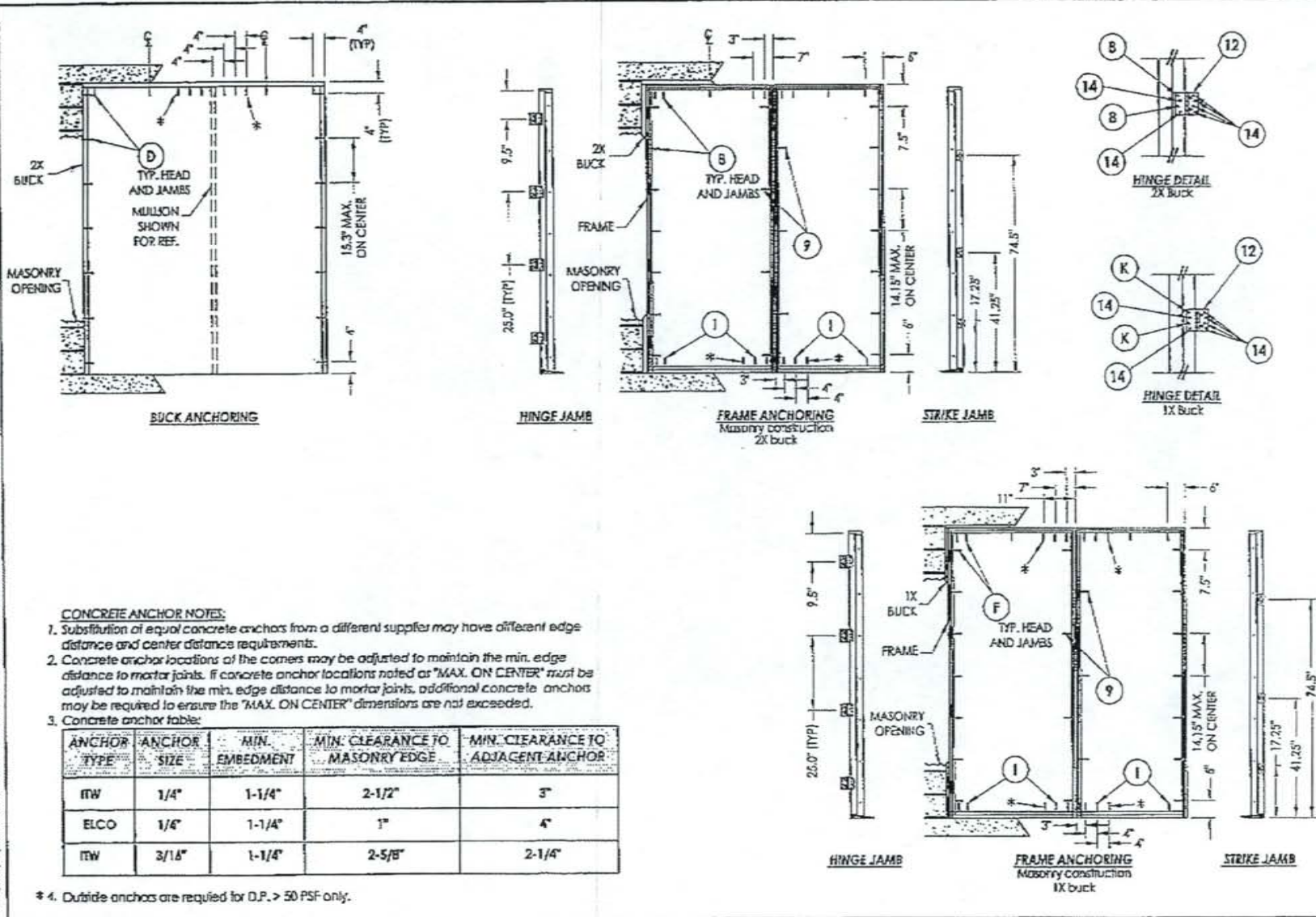
FAX NO.

P. 08





RVA - Projects/Project Folder/101-1500/01-149210 - RWBC Diering/01/13137.dwg, 101.



**CONCRETE ANCHOR NOTES:**

1. Substitution of equal concrete anchors from a different supplier may have different edge distance and center distance requirements.
2. Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints. If concrete anchor locations noted as "MAX. ON CENTER" must be adjusted to maintain the min. edge distance to mortar joints, additional concrete anchors may be required to ensure the "MAX. ON CENTER" dimensions are not exceeded.
3. Concrete anchor table:

ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW	1/4"	1-1/4"	2-1/2"	3"
ELCO	1/4"	1-1/4"	1"	4"
ITW	3/16"	1-1/4"	2-5/8"	2-1/4"

\* 4. Outside anchors are required for D.P. > 50 PSF only.

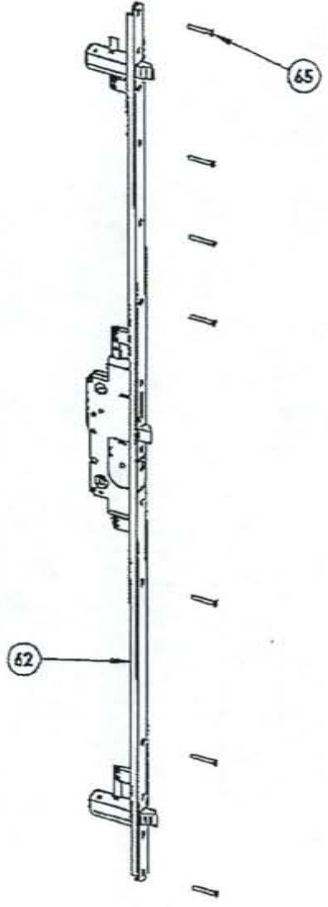
Documents Prepared by:  
**RWBC**  
 BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Volusia FL 32888  
 Phone No. 1-813-852-8197  
 Florida Board of Professional Engineers  
 Certificate of Approval No. 8913  
 Lynette F. Behmer, P.E. No. 43408

PRODUCT:	ROGUE VALLEY DOOR	
PART OR ASSEMBLY:	BUCK AND FRAME ANCHORING (20)	
NO.	DATE	BY
REVISIONS		
SCALE:	10/05/09	
SCALE:	N.T.S.	
CHK. BY:	JK	
CHK. BY:	LFS	
DRAWING NO.:	FL-13137.1	
SHEET:	10 OF 14	

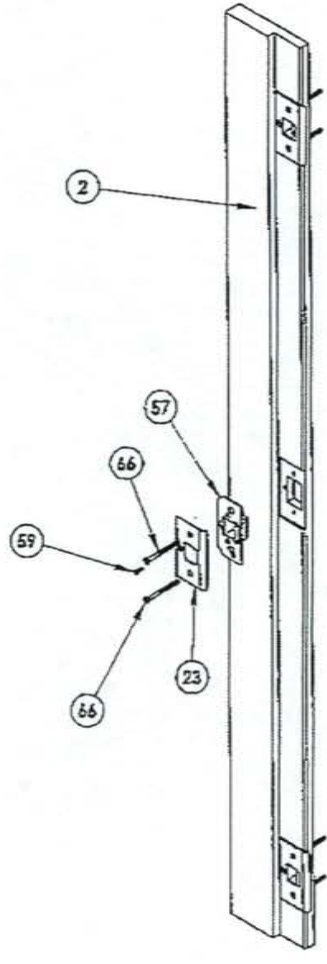
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**3 POINT LOCK DETAIL**  
W & F Überlapp

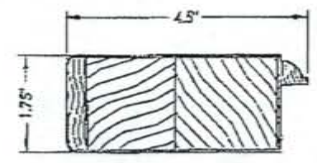


**STRIKE DETAIL**

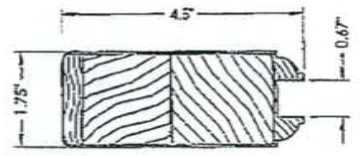
Documents prepared by: <b>RW</b> RW CONSULTANTS, INC. P.O. Box 29013 Phone No. 412.835.1474 Florida Board of Professional Engineers Certificate # 12572 License # 12572 Lyndon F. Reinhold, P.E. No. 43609		PRODUCT: ROGUE VALLEY DOOR PART OR ASSEMBLY: LOCK DETAILS
DATE: 10/06/09 SCALE: N.T.S. DWG. BY: JJK CHK. BY: LFS DRAWING NO.: FL-13137.1 SHEET 12 OF 14	NO. DATE REVISIONS	BY

DATE PLOTTED: 10/06/09 10:51:11 AM

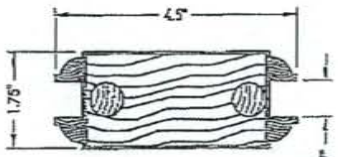
NOTE:  
 1. Pins are 5/8" x 5" centered half in the rail, hot in the stile.  
 2. Door panel wood SG. >= 0.42



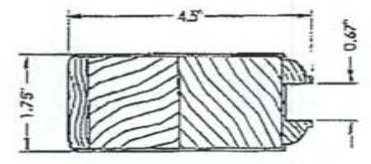
54 HINGE AND LATCH STILE  
Glazed



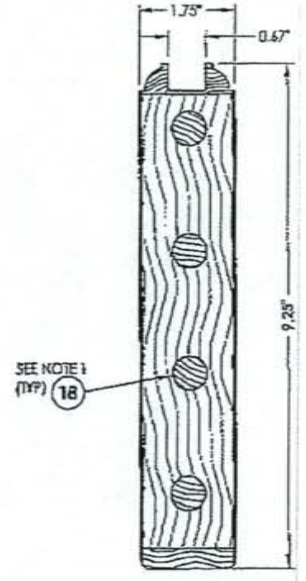
54 HINGE AND LATCH STILE  
Panel



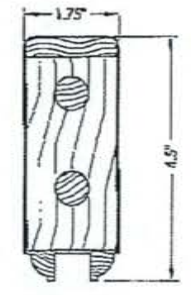
55 MID STILE



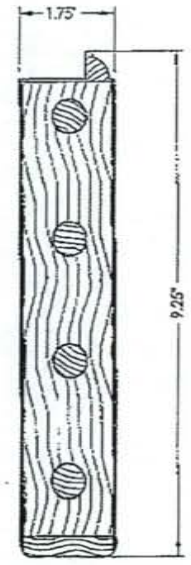
54 HINGE AND LATCH STILE  
Panel



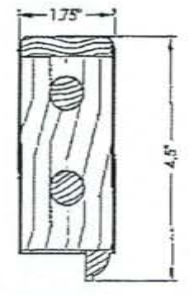
53 BOTTOM RAIL  
Panel



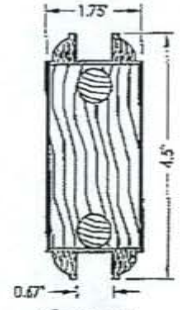
51 TOP RAIL  
Panel



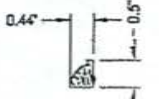
53 BOTTOM RAIL  
Glazed



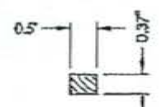
51 TOP RAIL  
Glazed



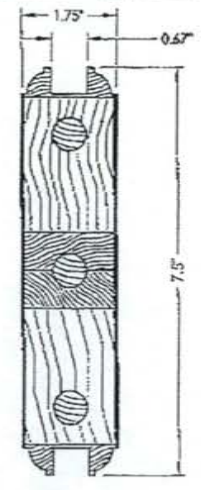
56 MID RAIL  
Panel



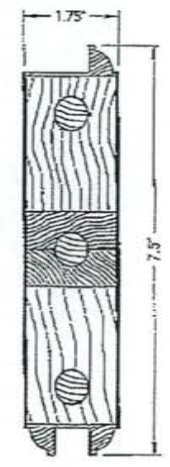
56 GLASS STOP



21 PANEL STOP



52 LOCK RAIL  
Panel



52 LOCK RAIL  
Glazed

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PRODUCT ROGUE VALLEY DOOR	PART OR ASSEMBLY COMPONENTS
NO.	DATE
DATE 10/06/09	SCALE: N.T.S.
DWG. BY: JK	CHK. BY: LFS
DRAWING NO.: FL-13137.1	SHEET 13 OF 14

FOR ENVIRONMENTAL DRAWING WITH ADOBE®







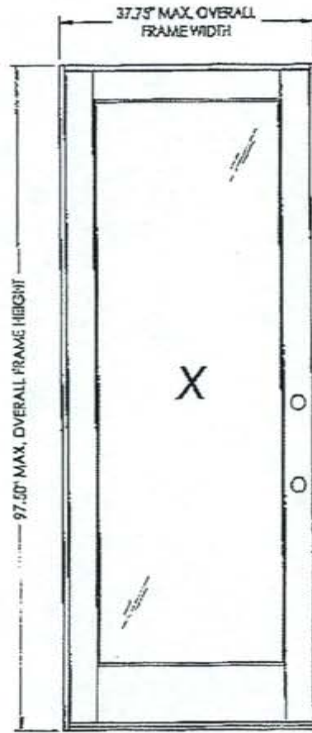
123 NE Beacon Dr.  
Grants Pass, OR 97526

**GLAZED WOOD DOOR  
IN SWING / OUT SWING  
"NON-IMPACT"**

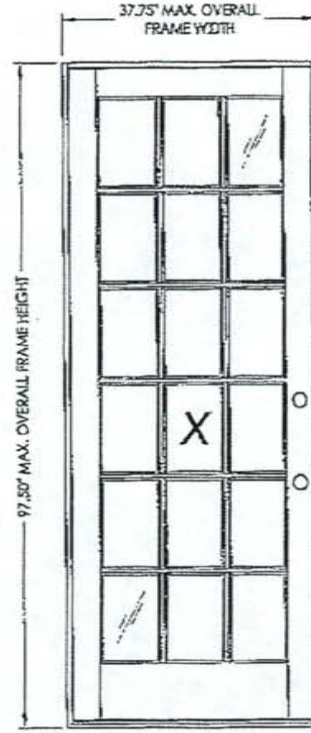
**GENERAL NOTES**

1. This product has been evaluated and is in compliance with the 2007 Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product is required to be protected with an impact resistant covering that complies with Section 1609.1.2 of the 2007 FBC.
4. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x brick masonry construction.
5. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.

TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	Typical elevations, design pressures & general notes
2	Door panel details
3	Horizontal cross sections
4	Vertical cross sections
5	Back & frame anchoring - 2x brick masonry construction
6	Frame anchoring - 1x brick masonry construction
7	Bill of materials, glazing detail & components



1501 FULL LITE



1518 TRUE DIVIDED LITE

SERIES	OVERALL FRAME DIMENSION	MAX DEO DIMENSION	GEAR TYPE	DESIGN PRESSURE (PSF)	
				POSITIVE	NEGATIVE
1501 FULL LITE	37.75" x 97.50"	27.00" x 81.38"	G1	+47.0	-47.0
1518 TRUE DIVIDED LITE	37.75" x 97.50"	8.17" x 12.52"		+47.0	-47.0

Approved/Prepared By:  
**RW**  
Rogue Valley Building Consultants, Inc.  
P.O. Box 230, Grants Pass, OR 97526  
Phone No. 531.258.9197  
Florida Board of Professional Engineers  
Certificate of Authorization No. 8813  
*RW*  
London F. Ashmish, P.E. No. 35148

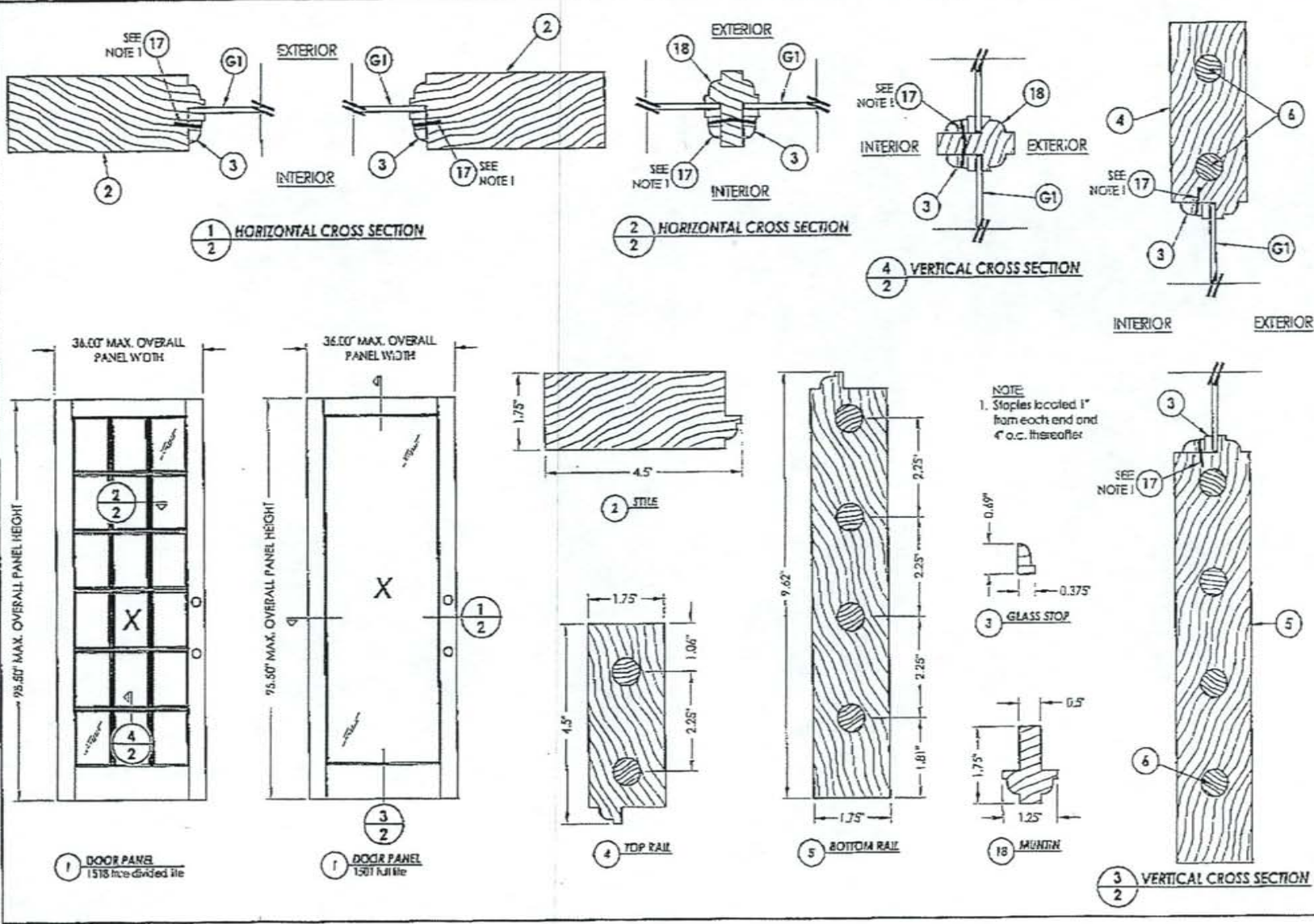
PRODUCT: ROGUE VALLEY DOOR GLAZED WOOD DOOR  
PART OR ASSEMBLY: TYPICAL ELEVATIONS, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	REVISIONS

DATE: 5/28/09  
SCALE: N.T.S.  
ENG. BY: AL  
CHK. BY: LFS  
DRAWING NO.: FL-12681.1  
SHEETS 1 OF 7

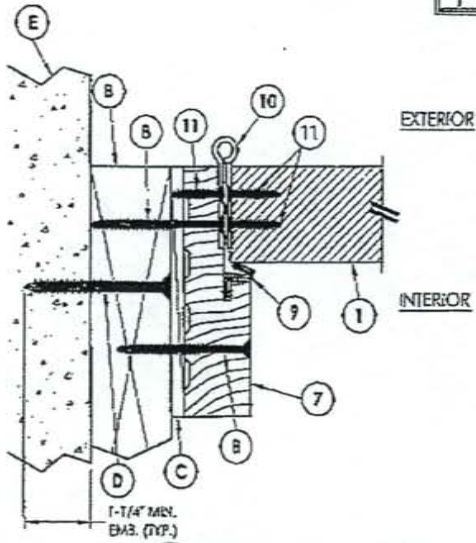


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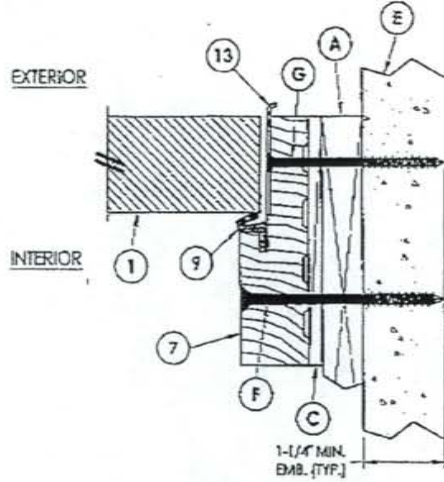
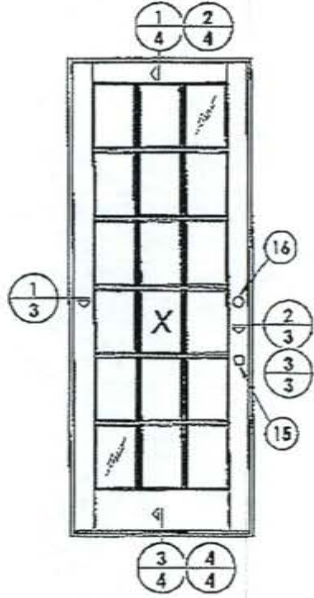


Documents Prepared For: <b>RW</b> BUILDING CONSULTANTS, INC. P.O. Box 200 Valrico FL 33598 Phone No.: 813-989-1414 Florida Board of Professional Engineers Certificate Registration No. 10113 Lyndon F. Schmidt, P.E. No. 43408	
PRODUCT: <b>ROQUE VALLEY DOOR</b> <b>GLAZED WOOD DOOR</b>	PART OR ASSEMBLY: <b>DOOR PANEL DETAILS</b>
DATE: 5/28/09 SCALE: N.T.S. DWG. BY: AL CHK. BY: LFS DRAWING NO.: FL-12681.1 SHEET 2 OF 7	REVISIONS NO. DATE BY

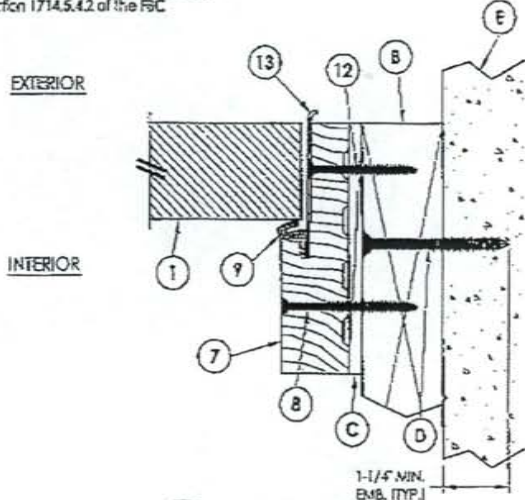
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**1**  
**3** HORIZONTAL CROSS SECTION  
Outswing shown - inswing also approved



**2**  
**3** HORIZONTAL CROSS SECTION  
Shown w/IX sub-buck substituting concrete screws for wood screws per Section 1714.5.4.2 of the BIC

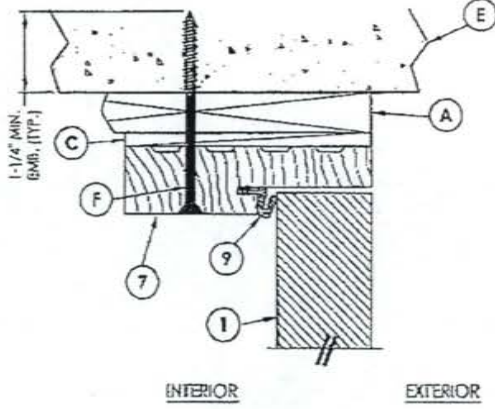
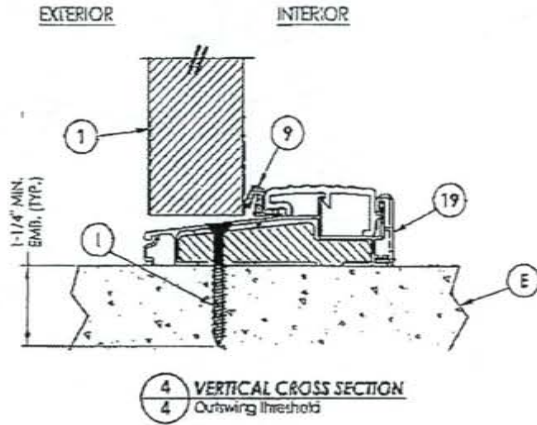
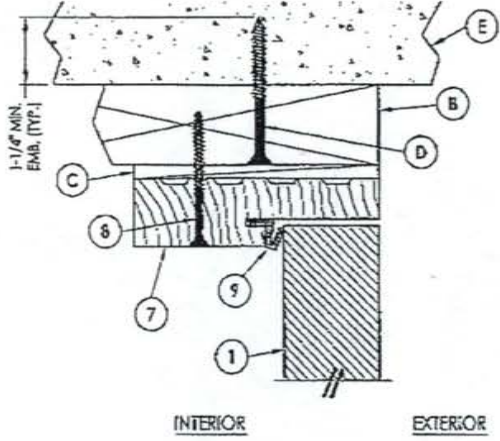
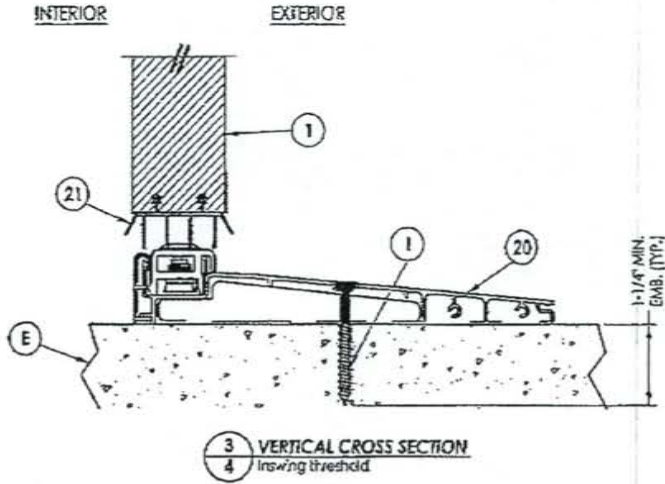


**3**  
**3** HORIZONTAL CROSS SECTION  
Outswing shown - inswing also approved

Documents Prepared By: <b>R.W.</b> BUILDING CONSULTANTS, INC. P.O. Box 330 Venice Fl., 33590 Phone No.: 813.869.8187 Florida Board of Professional Engineers Certificate of Authorization No. 9813 Lynden F. Schmitt, P.E. No. 43308 6-7-09	
PRODUCT: ROGUE VALLEY DOOR GLAZED WOOD DOOR	PAUL DRASSEMBLI HORIZONTAL CROSS SECTIONS
NO. DATE REVISIONS	BY
DATE: 5/28/09 SCALE: N.T.S. DWG. BY: AL CHK. BY: LFS DRAWING NO.: FL-12681.1 SHEET 3 of 7	Q: BODD B+W, BUILDING CONSULTANTS, INC.



RVA - ProjGate\Project Folder\proj 1401-1500\VF 140210.RVBC Drawing\VF-12681\FV-12681.dwg, 1-4



DATE	5/28/09
SCALE	N.T.S.
CHK. BY	AL
CHK. BY	LFS
DRAWING NO.	FL-12681.1
SHEET	4 OF 7

NO.	DATE	REVISIONS	BY

PRODUCT: RGV VALLEY DOOR GLAZED WOOD DOOR  
 PART: OIL ASSEMBLY  
 VERTICAL CROSS SECTIONS

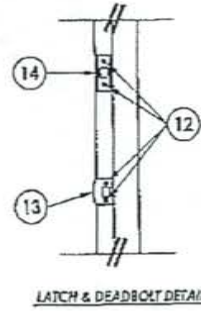
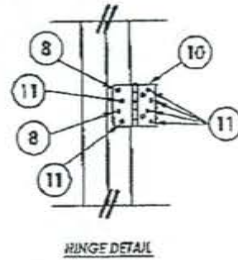
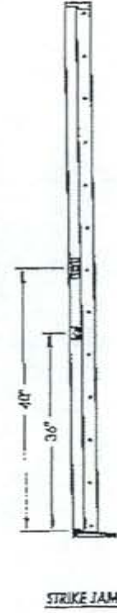
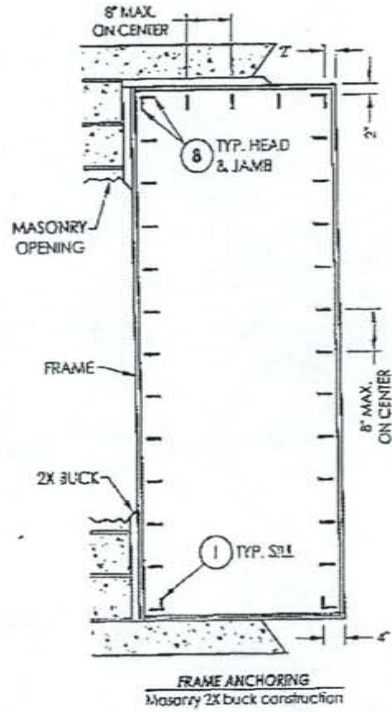
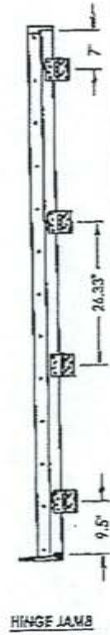
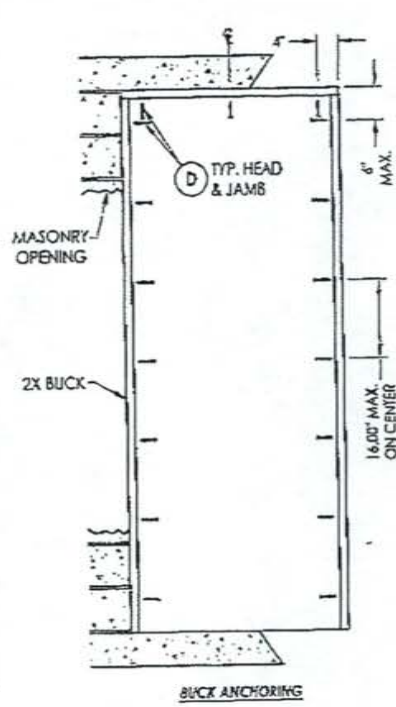
Documents Prepared By:  
**RVA** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Venice FL 33595  
 Phone No. 813.999.8197  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 0013  
 Lyndon F. Schwab, P.E. No. 42369

RCA - Projects\Project Folder\9401-1501\F - 1501\F-12681.dwg, 1'S

**CONCRETE ANCHOR NOTES:**

1. Substitution of equal concrete screws from a different supplier may have different edge distance and center distance requirements.
2. Concrete screw locations at the corners may be adjusted to maintain the minimum edge distance to mortar joints. If concrete screw locations noted as "MAX. ON CENTER" must be adjusted to maintain the minimum edge distance to mortar joints, additional concrete screws may be required to ensure the maximum on center dimension is not exceeded.
3. Concrete anchor table:

ANCHOR TYPE	ANCHOR SIZE	MINIMUM EMBEDMENT	MINIMUM CLEARANCE TO MASONRY EDGE	MINIMUM CLEARANCE TO ADJACENT ANCHOR
ITW	1/4"	1-1/4"	2-1/2"	3"
ELCO	1/4"	1-1/4"	1"	4"



Drawings Prepared By  
**RW BUILDING CONSULTANTS, INC.**  
 P.O. Box 230 Valrico Fl. 33590  
 Phone No.: 813.008.9197  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 8013  
 London F. Schmidt, P.E. No. 43400

PRODUCT: ROGUE VALLEY DOOR GLAZED WOOD DOOR  
 PART OR ASSEMBLY: BUCK & FRAME ANCHORING 2X BUCK MASONRY CONSTRUCTION

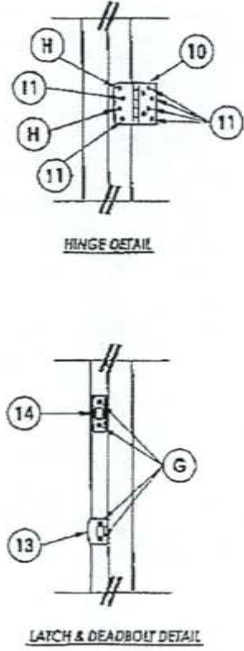
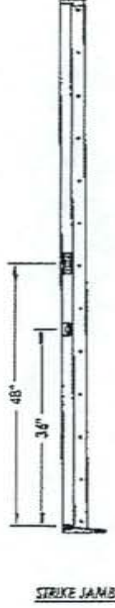
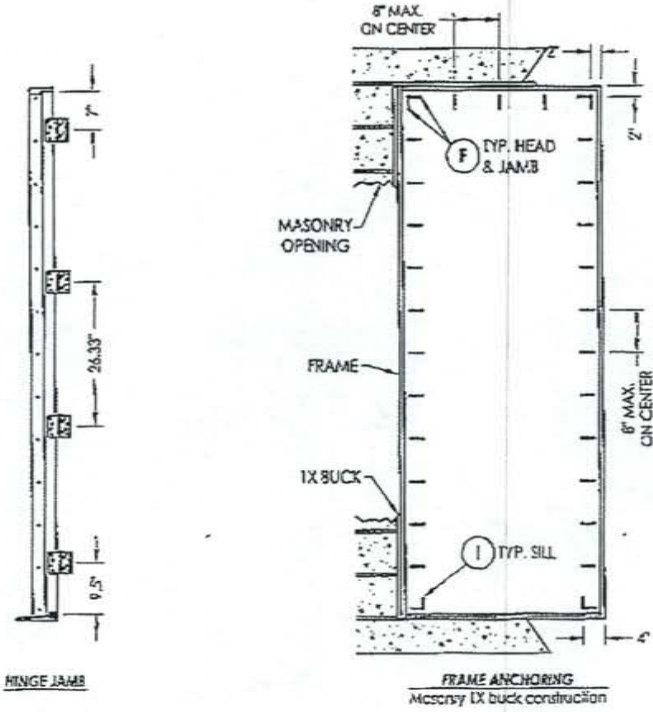
NO.	DATE	REVISIONS	BY

DATE: 5/28/09  
 SCALE: N.T.S.  
 DRAWN BY: AL  
 CHECK BY: LFS  
 DRAWING NO.: FL-12681.1  
 SHEET 5 OF 7

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R:\A - Projects\Project Folder\proj 1401-1 1500\RF-1401.DWG RWBPC Drawing\RF-12681\FR-12681.dwg, 1/6



**CONCRETE ANCHOR NOTES:**

1. Substitution of equal concrete screws from a different supplier may have different edge distance and center distance requirements.
2. Concrete screw locations at the corners may be adjusted to maintain the minimum edge distance to mortar joints. If concrete screw locations noted as "MAX. ON CENTER" must be adjusted to maintain the minimum edge distance to mortar joints, additional concrete screws may be required to ensure the maximum on center dimension is not exceeded.
3. Concrete anchor table:

ANCHOR TYPE	ANCHOR SIZE	MINIMUM EMBEDMENT	MINIMUM CLEARANCE TO MASONRY EDGE	MINIMUM CLEARANCE TO ADJACENT ANCHOR
HW	1/4"	1-1/4"	2-1/2"	3"
BLD	1/4"	1-1/4"	1"	4"

Documents Prepared By  
**RW** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Venice, FL 33590  
 Phone No: 813.989.1417  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 6613  
 Lynett T. Schmidt, P.E. No. 63406

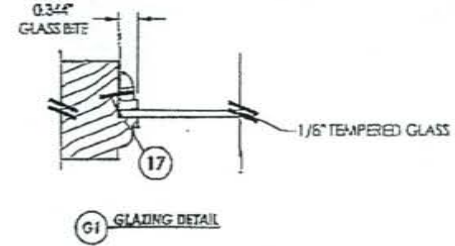
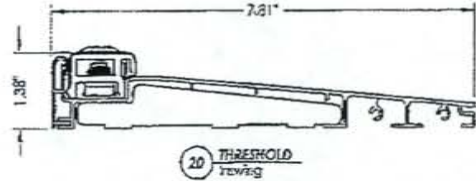
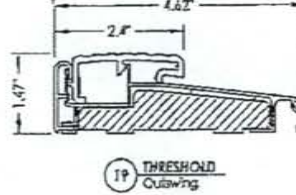
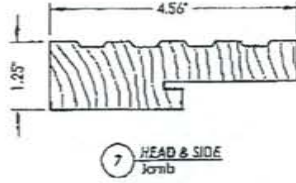
PRODUCT: ROGUE VALLEY DOOR  
 GLAZED WOOD DOOR  
 PART OR ASSEMBLY:  
 FRAME ANCHORING 1X BUCK  
 MASONRY CONSTRUCTION

NO.	DATE	BY	REVISIONS

DATE: 5/28/09  
 SCALE: N.T.S.  
 DWG. BY: AL  
 CHK. BY: LFS  
 DRAWING NO.:  
 FL-12681.1  
 SHEET 6 OF 7

\\PVA - Projects\Project Folders\Drawings 1401-1500\VF 1402.DWG (RWAC Drawings)\FL-12681\FL-12681.dwg, 17

BILL OF MATERIALS		
ITEM	DESCRIPTION	MATERIAL
A	1X BUCK	WOOD
B	2X BUCK (SG >= 0.55)	WOOD
C	3/4" MAX. SHIM SPACE	
D	1/4" X 2-3/4" ELCO OR ITW CONCRETE SCREW	STEEL
E	MASONRY - 3,192 PSI MIN. CONCRETE CONFORMING TO ACI 301 OR HOLLOW BLOCK CONFORMING TO ASTM C90	CONCRETE
F	1/4" X 3-3/4" ELCO OR ITW CONCRETE SCREW	STEEL
G	3/16" X 3-1/4" ELCO OR ITW CONCRETE SCREW	STEEL
H	1/4" X 3-1/4" ELCO OR ITW CONCRETE SCREW	STEEL
I	1/4" X 2-1/4" ELCO OR ITW CONCRETE SCREW	STEEL
1	DOOR PANEL - SEE DOOR PANEL DETAIL SHEET FOR DETAILS	
2	STILE (PINE SG >= 0.35)	WOOD
3	GLASS STOP (PINE SG >= 0.35)	WOOD
4	TOP RAIL (PINE SG >= 0.35)	WOOD
5	BOTTOM RAIL (PINE SG >= 0.35)	WOOD
6	DOWEL	WOOD
7	JAMB (PINE SG >= 0.35)	WOOD
8	#10 X 2-1/2" PFH WOOD SCREW	STEEL
9	WEATHERSTRIP	FOAM
10	HINGE	STEEL
11	#10 X 1" PFH WOOD SCREW	STEEL
12	#10 X 2" PFH WOOD SCREW	STEEL
13	LATCH STRIKE PLATE	STEEL
14	SECURITY STRIKE PLATE	STEEL
15	KWICKSET MODEL 400 LOCKSET	STEEL
16	KWICKSET MODEL 660 DEADBOLT	STEEL
17	22ga. X 3/16" CROWN X 5/8" LONG STAPLE	STEEL
18	MUNTIN (PINE SG >= 0.35)	WOOD
19	THRESHOLD (INSWING)	ALUM.
20	THRESHOLD (OUTSWING)	ALUM.
21	DOOR SWEEP	VINYL



Documents Prepared by  
**RW** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Venice FL 33580  
 Phone No.: 813.689.9197  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 9813  
 C.F. G.P.O.P.  
 Lyndon F. Zahm, P.E. No. 43400

PRODUCT:  
 ROGUE VALLEY DOOR  
 GLAZED WOOD DOOR  
 PART OR ASSEMBLY:  
 BILL OF MATERIALS, GLAZING  
 DETAIL & COMPONENTS

NO.	DATE	BY	REVISIONS

DATE: 5/28/09  
 SCALE: N.T.S.  
 DWG. BY: AL  
 CHK. BY: LFS  
 DRAWING NO.: FL-12681.1  
 SHEET 7 OF 7





**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Berridge Manufacturing Company  
1720 Maury  
Houston, TX. 77026**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Victorian Classic Shingle**

**LABELING:** Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 5.

The submitted documentation was reviewed by Alex Tigera.



**NOA No.: 07-0412.01  
Expiration Date: 10/18/12  
Approval Date: 10/18/07  
Page 1 of 5**

**ROOFING SYSTEM APPROVAL:**

**Category:** Roofing  
**Sub-Category:** Metal, Panels(Non-Structural)  
**Material:** Steel  
**Deck Type:** Wood  
**Maximum Design Pressure** -118.5 psf

**TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Berridge Victorian/Classic Shingle	l = 13-7/8" w = 11" Thickness = 24 ga.	TAS 125	G-90 galvanized or galvalume shingles coated with various approved coatings, Fluoroceram.

**TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS:**

<u>Product</u>	<u>Dimensions</u>	<u>Product Description</u>	<u>Manufacturer</u>
Fasteners	Min. #12 x 1"	Corrosion resistant, pan head screws	Generic

**EVIDENCE SUBMITTED**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
BASF	Lab Test Certification	ASTM B-117 ASTM G-23	06/05/06
Hurricane Test Laboratories, Inc.	0307-0127-04	TAS 125	03/09/04
Q.C. Metallurgical Laboratory, Inc.	1238-01	ASTM E8	09/06/07
PRI Asphalt Technologies, Inc.	BMC-004-02-01	TAS 100	04/04/07





## APPROVED ASSEMBLIES

<b>SYSTEM A-1:</b>	Victorian/Classic Shingle
<b>Deck Type:</b>	Wood, Non-insulated
<b>Deck Description:</b>	New Construction or Re-Roof $1\frac{5}{32}$ " or greater plywood or wood plank.
<b>Slope Range:</b>	3":12" or greater
<b>Maximum Uplift Pressure:</b>	<b>-118.5 psf (See System Limitation #1)</b>

---

<b>Deck Attachment:</b>	In accordance with applicable Building Code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than $1\frac{9}{32}$ " thick (Minimum $1\frac{5}{32}$ "") The above attachment method must be in addition to existing attachment.
<b>Underlayment:</b>	Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 $\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.
<b>Valleys:</b>	Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Berridge Manufacturing Company's current published installation instructions.
<b>Fire Barrier Board:</b>	Any approved fire barrier having a current NOA. Or for class A or B fire rating, install minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or $\frac{5}{8}$ " water resistant type X gypsum sheathing with treated core and facer.

---

### Metal Panels and Accessories:

Install the "Victorian/Classic Shingle" and accessories in compliance with Berridge Manufacturing's current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

1. Berridge Victorian/Classic Shingle shall be attached to the plywood substrate with a minimum of two #12 panhead, corrosion resistant screws of sufficient length to penetrate through the sheathing a minimum of  $\frac{3}{16}$ ". Fasteners shall be placed in accordance with fastener detail herein as follows:

Shingle shall be fastened with a minimum of two screws located preformed holes in the lock seam of each shingle. The male end of the next shingle is tucked in the female end of the previous shingle to form a lock. The shingles shall be placed in a staggered panel.

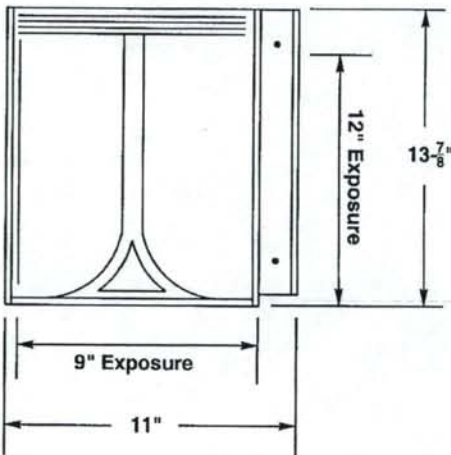


## SYSTEM LIMITATIONS

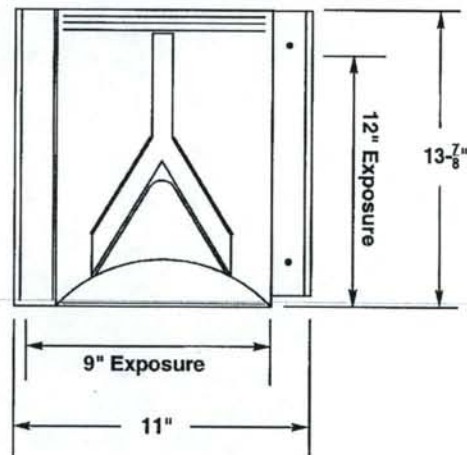
1. The maximum designed pressure listed herein shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners).
2. All panels shall be permanently labeled with the manufacturer's name or logo, and the following statement: "Miami-Dade County Product Control Approved."
3. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

## PROFILE DRAWINGS

### DETAIL A



**VICTORIAN SHINGLE**

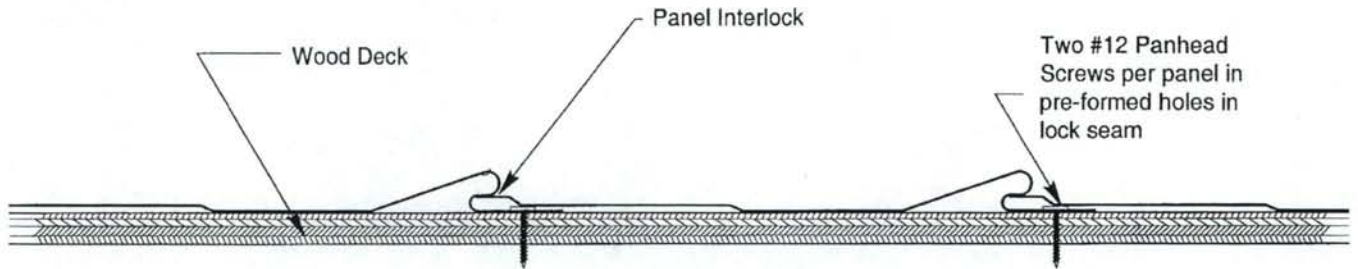


**CLASSIC SHINGLE**

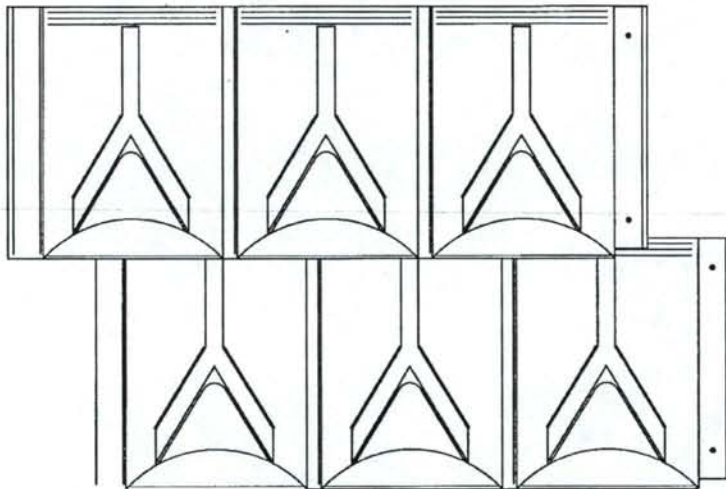




**DETAIL B**



**ASSEMBLY PROFILE (N.T.S.)**



**ASSEMBLY PLAN VIEW**

**END OF THIS ACCEPTANCE**



NOA No.: 07-0412.01  
Expiration Date: 10/18/12  
Approval Date: 10/18/07  
Page 5 of 5

## **Property Appraiser Information**



**Ervin A. Higgs, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501

---

## Property Record View

Alternate Key: 8697678 Parcel ID: 00009000-000100

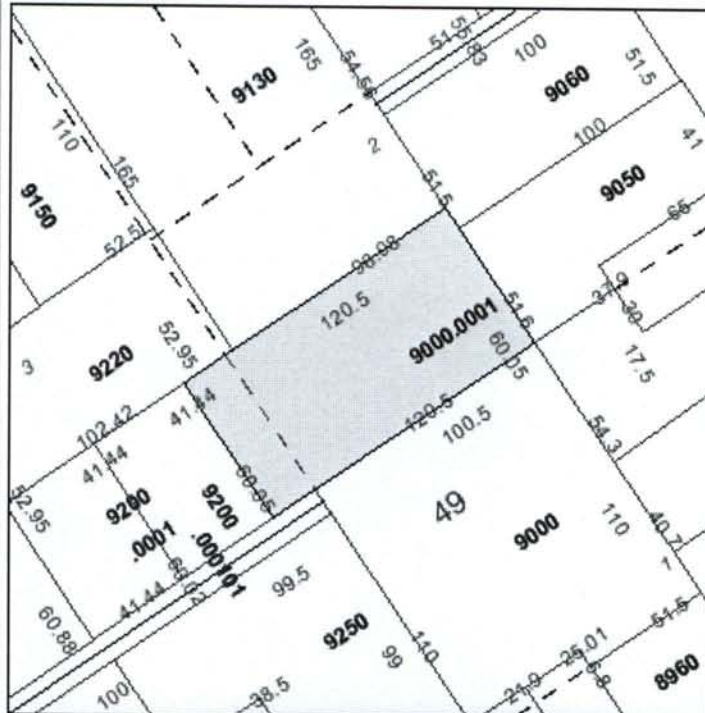
### Ownership Details

**Mailing Address:**  
FORRESTER NANCY  
518 ELIZABETH ST  
KEY WEST, FL 33040

### Property Details

**PC Code:** 00 - VACANT RESIDENTIAL  
**Millage Group:** 10KW  
**Affordable Housing:** No  
**Section-Township-Range:** 06-68-25  
**Property Location:** VACANT LAND 1 FREE SCHOOL LN KEY WEST  
**Legal Description:** KW PT LOTS 2 & 3 SQR 49 OR781-879 (F/J ON CASE #81-97-CA-04) OR1192-1573/4AFF(CSP)

**Parcel Map**



**Land Details**

Land Use Code	Frontage	Depth	Land Area
M10D - RESIDENTIAL DRY	52	121	7,236.00 SF

**Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
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1	WF2:WATER FEATURE	1 UT	0	0	1993	1994	1	20
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### Appraiser Notes

VACANT LOT

### Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
B933500	12/01/1993	11/01/1994	4,500		SMALL FISH POND/WATERFALL

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	0	1,400	405,788	407,188	407,188	0	407,188
2009	0	1,400	631,225	632,625	632,625	0	632,625
2008	0	1,400	854,933	856,333	856,333	0	856,333
2007	0	1,400	1,266,300	1,267,700	1,267,700	0	1,267,700
2006	0	1,400	687,420	688,820	688,820	0	688,820
2005	0	1,575	549,936	551,511	551,511	0	551,511
2004	0	1,750	513,756	515,506	515,506	0	515,506
2003	0	1,925	274,968	276,893	276,893	0	276,893
2002	0	2,100	202,608	204,708	204,708	0	204,708
2001	0	2,275	202,608	204,883	204,883	0	204,883
2000	0	1,400	146,529	147,929	147,929	0	147,929
1999	0	1,500	131,876	133,376	133,376	0	133,376
1998	0	1,600	131,876	133,476	133,476	0	133,476
1997	0	1,700	118,851	120,551	120,551	0	120,551
1996	0	1,800	118,851	120,651	120,651	0	120,651
1995	0	1,900	118,851	120,751	120,751	0	120,751
1994	0	0	118,851	118,851	118,851	0	118,851
1993	0	0	118,851	118,851	118,851	0	118,851
1992	0	0	118,851	118,851	118,851	0	118,851
1991	0	0	118,851	118,851	118,851	0	118,851
1990	0	0	109,083	109,083	109,083	0	109,083
1989	0	0	107,455	107,455	107,455	0	107,455
1988	0	0	104,198	104,198	104,198	0	104,198
1987	0	0	66,933	66,933	66,933	0	66,933
1986	0	0	30,499	30,499	30,499	0	30,499

### Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

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Monroe County Property Appraiser  
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