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## Staff Report for Item 8

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins  
HARC Assistant Planner

**Meeting Date:** February 23, 2016

**Applicant:** Halloran Construction

**Application Number:** H15-01-0355

**Address:** #700 Amelia Street

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### Description of Work:

New one-story frame addition to rear and side to non-historic house

### Site Facts:

Mistakenly listed as a contributing resource in the survey, the house at 700 Amelia Street was built in 2001. Located at the corner of Amelia Street and Calais Street, the two-story house was built in a traditional style on a very large and wooded lot.

### Guidelines Cited in Review:

Additions and Alterations/New Construction (pages 36-38a), specifically guidelines 2, 3, and 4 of additions and alterations and guidelines 4 through 7 of new construction.

### Staff Analysis

This Certificate of Appropriateness proposes constructing a new one-story porch and addition on the side and rear of a recently constructed building. Located on a large lot at the corner of Amelia Street and Calais Street, the house is located across the street from the Mary Immaculate school property.

The proposed addition will be approximately 13 feet tall with board and batten siding, windows, and roof materials to match the main house. The rear porch will be constructed around an existing tree, but the tree will be protected.

#### **Consistency with the Guidelines**

1. The guidelines state that additions and alterations may be reviewed more liberally on non-contributing buildings. This structure is barely 15 years old.
2. The addition design is compatible with the characteristics of the original structure, neighboring buildings, and streetscapes. The house is on a large property, neighboring a parking lot, and across the street from a very tall wall.

Staff feels that the proposed project is consistent with the guidelines in regards additions, alterations, and new construction.

# APPLICATION

# COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



## City of Key West

3140 FLAGLER AVENUE  
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

[www.cityofkeywest.fl.gov](http://www.cityofkeywest.fl.gov)

HARC PERMIT NUMBER <b>15-01-355</b>	BUILDING PERMIT NUMBER <b>15-901</b>	INITIAL & DATE
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %		

ADDRESS OF PROPOSED PROJECT:

**700 AMELIA ST. KEY WEST**

# OF UNITS

**2**

RE # OR ALTERNATE KEY:

NAME ON DEED:

**GEORGE + MARCIA HALLORAN**

PHONE NUMBER

**305 296-6108**

OWNER'S MAILING ADDRESS:

**16-B HILTON HAVEN RD.**

EMAIL

**GEOHALLORAN@GMAIL.COM**

CONTRACTOR COMPANY NAME:

**HALLORAN CONST.**

PHONE NUMBER

CONTRACTOR'S CONTACT PERSON:

**GEORGE HALLORAN**

EMAIL

**GEOHALLORAN@GMAIL.COM**

ARCHITECT / ENGINEER'S NAME:

PHONE NUMBER

**305 296-6108**

ARCHITECT / ENGINEER'S ADDRESS:

EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L, LABOR & PROFIT:

**\$ 18,500**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: <input type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> REMODEL
<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input type="checkbox"/> WITHIN FLOOD ZONE	
<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input checked="" type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC. **BUILD 200 SQ.FT. SHED IN S.E. CORNER OF PROPERTY. SEE ATTACHED DRAWINGS. REMODEL FIRST FLOOR OF EXISTING 2-STORY NOW USED FOR STORAGE, AS A ONE-BEDROOM APARTMENT. ADD 10'x12' REAR ADDITION. ADD 34' OF PORCH AT REAR.**

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME: <b>GEORGE HALLORAN</b>	QUALIFIER PRINT NAME:
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <b>11<sup>th</sup></b> DAY OF <b>march</b> , 20 <b>15</b>	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20 _____
<p>PERSONALLY KNOWN OR PRODUCED <b>FCI</b> AS IDENTIFICATION</p>	<p>Trans date: 3/12/15 Time: 14:27:01</p> <p>PERSONALLY KNOWN OR PRODUCED _____ AS IDENTIFICATION</p>

**H 465 316 43447-0**

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED **— (NEW)**

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC  
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW  
 SQ. FT. OF EACH SIGN FACE: \_\_\_\_\_

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A/C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE

**EXISTING 6** → SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE \_\_\_\_\_ AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS

RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**EXISTING**

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100  
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.  
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)  
 INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER

ADDITIONAL INFORMATION: \_\_\_\_\_

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
<b>POREH W/ SHED ROOF - REAR + SIDE</b>	<b>NOW OPEN SPACE</b>	

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION. **NO DEMOLITION**

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: **NO SIGNS**

BUSINESS LICENSE # \_\_\_\_\_ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:		INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION ___ TABLED FOR ADD'L. INFO.			
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

**PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS**

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:	
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:		
				DATE:	

# PROJECT PHOTOS











Cela's St

SLOW  
CHILDREN  
AT PLAY

A street scene featuring a large, mature tree with a thick trunk and dense green foliage in the foreground. The tree is positioned in front of a house with light-colored vertical siding and several windows. A wooden fence runs along the property line. A street sign on a metal pole reads "Calais St". The ground is covered with fallen leaves, and shadows from the trees are cast onto the pavement. The sky is clear and blue.

Calais St





Property Across the Street



Property Across the Street

# SURVEY



# MAP OF BOUNDARY SURVEY

BEARING BASE:  
ALL BEARINGS ARE BASED  
ON N51°18'07"E ASSUMED  
ALONG THE CENTERLINE OF  
AMELIA STREET.

ALL ANGLES DEPICTED  
ARE 90 DEGREES UNLESS  
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN  
U.S. SURVEY FEET

ADDRESS:  
700 AMELIA STREET  
KEY WEST, FL 33040

COMMUNITY NO.: 120168  
MAP NO.: 12087C-1516K  
MAP DATE: 02-18-05  
FLOOD ZONE: X

## LEGEND

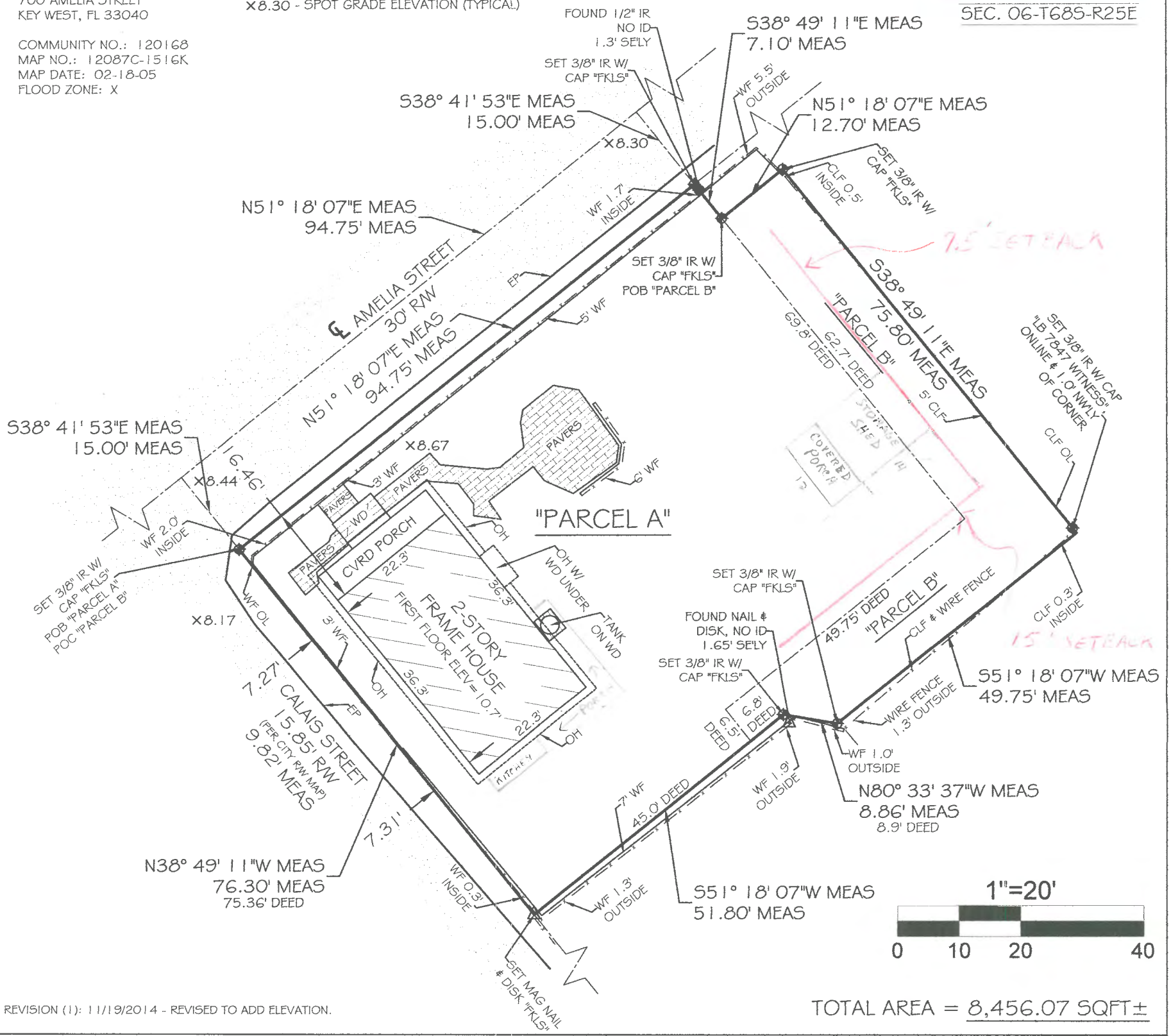
- WATER METER
  - SANITARY SEWER CLEAN OUT
  - MAILBOX
  - WOOD POWER POLE
  - CONCRETE POWER POLE
- X8.30 - SPOT GRADE ELEVATION (TYPICAL)

NOTE: ELEVATIONS SHOWN  
HEREON ARE IN FEET AND BASED  
ON THE NATIONAL GEODETIC  
VERTICAL DATUM OF 1929  
(NGVD 1929).

BENCHMARK DESCRIPTION:  
NATIONAL GEODETIC SURVEY  
BENCHMARK #872 4580 TIDAL  
BASIC (P.I.D. A40008),  
ELEVATION=14.32' (NGVD 1929).



LOCATION MAP - NTS  
SEC. 06-T685-R25E



REVISION (1): 11/19/2014 - REVISED TO ADD ELEVATION.

TOTAL AREA = 8,456.07 SQFT ±

THE SURVEY MAP (SHEET 1 OF 2) IS NOT COMPLETE  
AND VALID WITHOUT THE ATTACHED SURVEY REPORT  
(SHEET 2 OF 2)

CERTIFIED TO -

George & Marcia Halloran;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL  
PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

- THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.
- |                                   |  |                                      |
|-----------------------------------|--|--------------------------------------|
| BFP = BACK-FLOW PREVENTER         | GUY = GUY WIRE                                 | POC = POINT OF COMMENCEMENT          |
| BO = BLOW OUT                     | HB = HOSE BID                                  | PRC = POINT OF REVERSE CURVE         |
| C & G = 2" CONCRETE CURB & GUTTER | IP = IRON PIPE                                 | PRM = PERMANENT REFERENCE MONUMENT   |
| CB = CONCRETE BLOCK               | IR = IRON ROD                                  | PT = POINT OF TANGENT                |
| CBW = CONCRETE BLOCK WALL         | L = ARC LENGTH                                 | R = RADIUS                           |
| CL = CENTERLINE                   | LS = LANDSCAPING                               | RAW = RIGHT OF WAY LINE              |
| CLF = CHAINLINK FENCE             | MB = MAILBOX                                   | SSCO = SANITARY SEWER CLEAN-OUT      |
| CM = CONCRETE MONUMENT            | MEAS = MEASURED                                | SW = SIDE WALK                       |
| CONC = CONCRETE                   | MF = METAL FENCE                               | TBM = TEMPORARY BENCHMARK            |
| CPP = CONCRETE POWER POLE         | MHWL = MEAN HIGH WATER LINE                    | TOB = TOP OF BANK                    |
| CVRD = COVERED                    | NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929) | TOS = TOE OF SLOPE                   |
| DELT = CENTRAL ANGLE              | NTS = NOT TO SCALE                             | TS = TRAFFIC SIGN                    |
| DEASE = DRAINAGE EASEMENT         | OH = ROOF OVERHANG                             | TYP = TYPICAL                        |
| EL = ELEVATION                    | OHW = OVERHEAD WIRES                           | UNR = UNREADABLE                     |
| ENCL = ENCLOSURE                  | PC = POINT OF CURVE                            | U/E = UTILITY EASEMENT               |
| EP = EDGE OF PAVEMENT             | PM = PARKING METER                             | WD = WOOD DECK                       |
| FF = FINISHED FLOOR ELEVATION     | PCC = POINT OF COMPOUND CURVE                  | WF = WOOD FENCE                      |
| FH = FIRE HYDRANT                 | PCP = PERMANENT CONTROL POINT                  | WL = WOOD LANDING                    |
| FI = FENCE INSIDE                 | PK = PARKER KALON NAIL                         | WM = WATER METER                     |
| FND = FOUND                       | POB = POINT OF BEGINNING                       | WPP = WOOD POWER POLE                |
| FO = FENCE OUTSIDE                | PI = POINT OF INTERSECTION                     | WRACK LINE = LINE OF DEBRIS ON SHORE |
| FOL = FENCE ON LINE               |  | WV = WATER VALVE                     |

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE, PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY, THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE	03/03/2014
REVISION DATE	11/19/2014
SHEET	1 OF 2
DRAWN BY:	MPB
CHECKED BY:	-----
INVOICE NO.:	-----

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 2014-147 & 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

SIGNED  
  
ERIC A. ISAACS, F.S.M. #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



**FLORIDA KEYS  
LAND SURVEYING**

19960 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
FAX: (305) 509-7373  
EMAIL: FKLSEmail@Gmail.com

# REPORT OF BOUNDARY SURVEY



LOCATION MAP - NTS  
SEC. 06-T685-R25E

## LEGAL DESCRIPTION -

### "PARCEL A"

On the Island of Key West, Monroe County, Florida and being part of Tract 12, according to William A. Whitehead's map of said Island delineated in February, A.D. 1829, more particularly described as follows:

Beginning at the point of the intersection of the easterly line of Calais Street (Lane) and the southerly right of way line of Amelia Street; thence northeasterly along the said line of Amelia Street for a distance of 94.75 feet; thence southeasterly at right angles parallel to the easterly line of Calais Street (Lane) a distance of 69.8 feet; thence southwesterly at right angles parallel to the southerly right of way line of Amelia Street 49.75 feet; thence southeasterly and parallel to the easterly line of Calais Street (Lane) a distance of 6.5 feet; thence southwesterly at right angles parallel to the southerly right of way line of Amelia Street a distance of 45.0 feet to a point on the easterly line of Calais Street (Lane); thence northwesterly along said easterly line of Calais Street (Lane) 75.36 feet to the Point of Beginning.

### "PARCEL B"

On the Island of Key West, Monroe County, Florida and being part of Tract 12, according to William A. Whitehead's map of said Island delineated in February, A.D. 1829, more particularly described as follows:

Commencing at the point on the southerly side of Amelia Street 94.75 feet from the easterly edge of Calais Street (Lane); thence at right angles southeasterly a distance of 7.1 feet to a point of beginning; thence parallel to the southerly line of Amelia Street a distance of 12.7 feet; thence at right angles in a southeasterly direction parallel to the easterly edge of Calais Street (Lane) a distance of 75.8 feet; thence southwesterly at right angles parallel to the southerly side of Amelia Street a distance of 49.75 feet; thence northwesterly at a deflection angle of 60.52° to the right 8.9 feet; thence southwesterly at a deflection angle of 60.52° to the left and parallel to the southerly side of Amelia Street a distance of 6.8 feet; thence northwesterly at right angles parallel to the east line of Calais Street (Lane) a distance of 6.5 feet; thence northeasterly at right angles parallel to the southerly line of Amelia Street a distance of 49.75 feet; thence northwesterly at right angles and parallel to the east line of Calais Street (Lane) a distance of 62.7 feet to the point of beginning.

REVISION (1): 11/19/2014 - REVISED TO ADD ELEVATION.

THE SURVEY REPORT (SHEET 2 OF 2) IS NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY MAP (SHEET 1 OF 2)

CERTIFIED TO -

George & Marcia Halloran;

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CM = CONCRETE MONUMENT	MEAS = MEASURED	SW = SIDE WALK
CONC = CONCRETE	MF = METAL FENCE	TBM = TEMPORARY BENCHMARK
CPP = CONCRETE POWER POLE	MHWL = MEAN HIGH WATER LINE	TOD = TOP OF BANK
CVRD = COVERED	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	TOS = TOE OF SLOPE
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DEASE = DRAINAGE EASEMENT	OH = ROOF OVERHANG	TYP = TYPICAL
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FI = FENCE INSIDE	PK = PARKER KALON NAIL	WM = WATER METER
FND = FOUND	POB = POINT OF BEGINNING	WPP = WOOD POWER POLE
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FOL = FENCE ON LINE		WV = WATER VALVE

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SCALE:	1"=20'
FIELD WORK DATE	03/03/2014
REVISION DATE	11/19/2014
SHEET	2 OF 2
DRAWN BY:	MPB
CHECKED BY:	-----
INVOICE NO.:	-----

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 2014-147 & 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

SIGNED

ERIC A. ISAACS, FSM #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



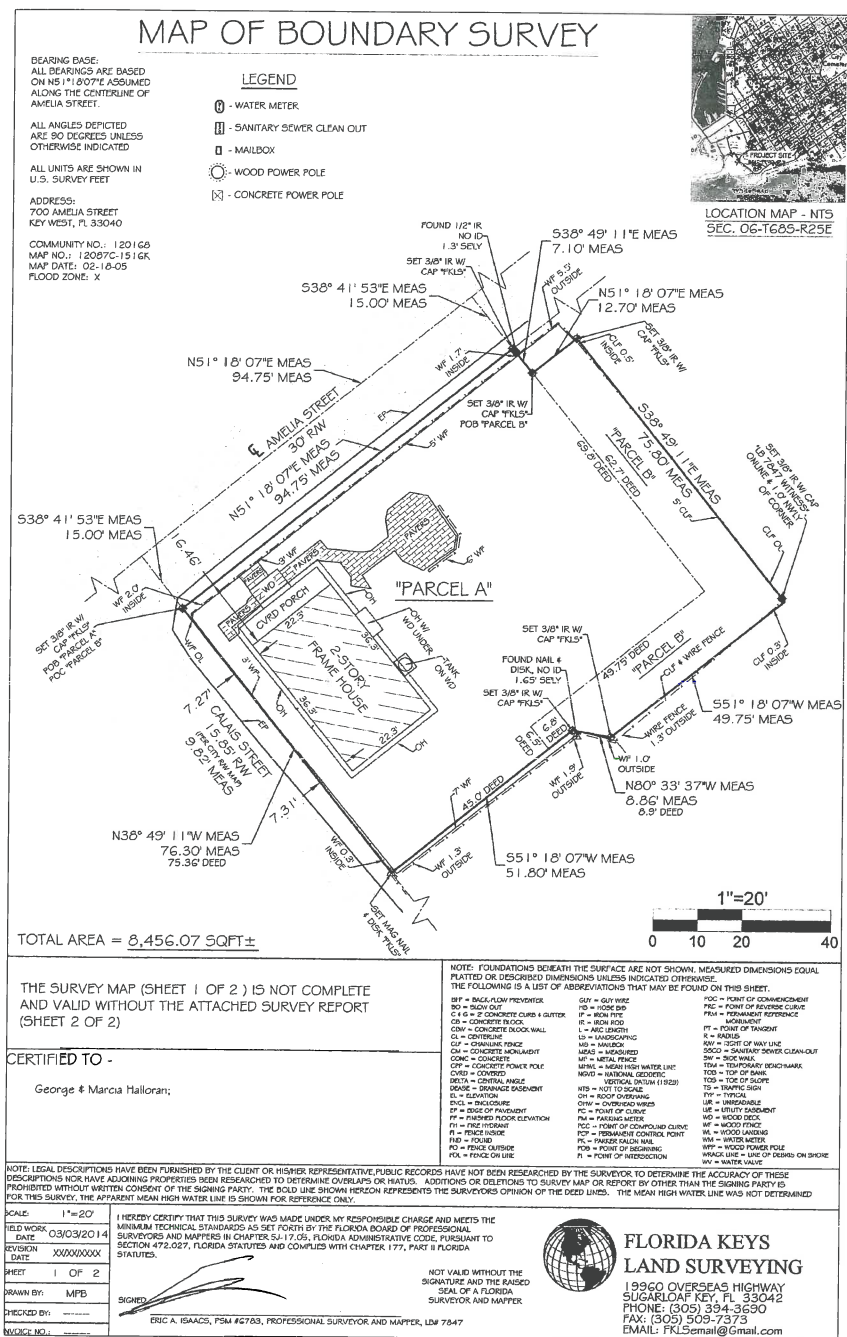
**FLORIDA KEYS  
LAND SURVEYING**

19960 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
FAX: (305) 509-7373  
EMAIL: FKL5email@Gmail.com

# PROPOSED DESIGN

# HALLORAN RESIDENCE KITCHEN ADDITION (PHASE I ONLY)

700 AMELIA STREET KEY WEST, FLORIDA 33040



SITE LOCATION



EAST SIDE FROM AMELIA STREET

SHEET INDEX		DESCRIPTION
NO.		
1	C	COVER SHEET - LOCATION MAP, GENERAL NOTES, SURVEY
2	A-1	FLOOR PLAN, SITE PLAN (EXISTING)
3	A-2	FLOOR PLAN, SITE PLAN (PROPOSED)
4	A-3	ELEVATIONS (EXISTING / PROPOSED)
5	S-1	STRUCTURAL DETAILS
6	M-1	MEP

SCOPE:

CONSTRUCT NEW KITCHEN AND COVERED DECK AT REAR OF HOUSE

SITE DATA			
	Allowed	Existing	Proposed
Zoning	HMDR		
Flood	AE-7		
Lot Size		6,906 S.F.	
Building Coverage	40% (2,762 S.F.)	15% (1,037 S.F.)	20% (1,392.8 S.F.)
Impervious Ratio	50% (3,453 S.F.)	21% (1,425.8 S.F.)	26% (1,781.6 S.F.)
Open Space / Landscape		79% (5,480.2 S.F.)	74% (5,124 S.F.)
Setbacks			
Front	10'	10.5'	10.5'
St. Side	7.5'	6.4'	6.4'
Side	5'	62.9'	52.6'
Rear	15'	22.6'	15.0'

**GENERAL NOTES**

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida.

In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

- BUILDING: Florida Building Code, 2014
- ELECTRICAL: National Electrical Code, 2014
- PLUMBING: Florida Building Code (Plumbing), 2014
- MECHANICAL: Florida Building Code (Mech.), 2014
- GAS: LP Gas Code, 2014 edition (NFPA 58)

This project is designed in accordance with A.S.C.E 7-10 to resist wind loads of 180 mph (gusts) (Exposure C)

HALLORAN RESIDENCE  
KITCHEN ADDITION (PHASE I ONLY)  
700 AMELIA STREET KEY WEST, FLORIDA 33040

*[Handwritten Signature]*  
1/5/16

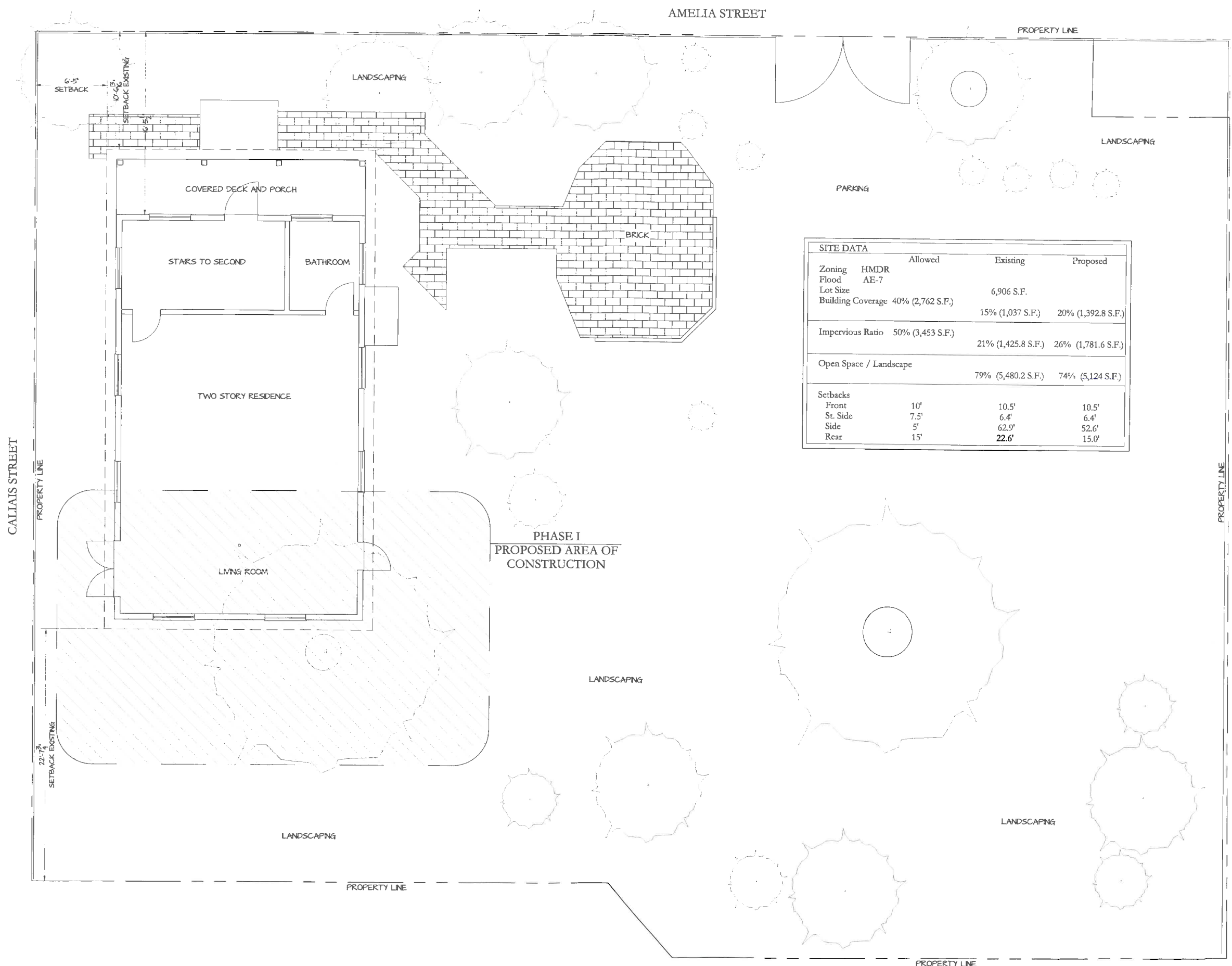
WILLIAM ROWAN  
ARCHITECTURE  
KEY WEST, FLORIDA  
FLORIDA LICENSE AR-001751  
321 BEACON LANE  
305 296 3764

PROJECT NO.

DATE: 12/28/2015

C  
1 OF 6

SURVEY



SITE DATA			
	Allowed	Existing	Proposed
Zoning	HMDR		
Flood	AE-7		
Lot Size		6,906 S.F.	
Building Coverage	40% (2,762 S.F.)	15% (1,037 S.F.)	20% (1,392.8 S.F.)
Impervious Ratio	50% (3,453 S.F.)	21% (1,425.8 S.F.)	26% (1,781.6 S.F.)
Open Space / Landscape		79% (5,480.2 S.F.)	74% (5,124 S.F.)
Setbacks			
Front	10'	10.5'	10.5'
St. Side	7.5'	6.4'	6.4'
Side	5'	62.9'	52.6'
Rear	15'	22.6'	15.0'

PHASE I  
PROPOSED AREA OF  
CONSTRUCTION

**SITE PLAN**  
1/8" = 1'-0"

HALLORAN RESIDENCE  
KITCHEN ADDITION (PHASE I ONLY)  
700 AMELIA STREET KEY WEST, FLORIDA 33040

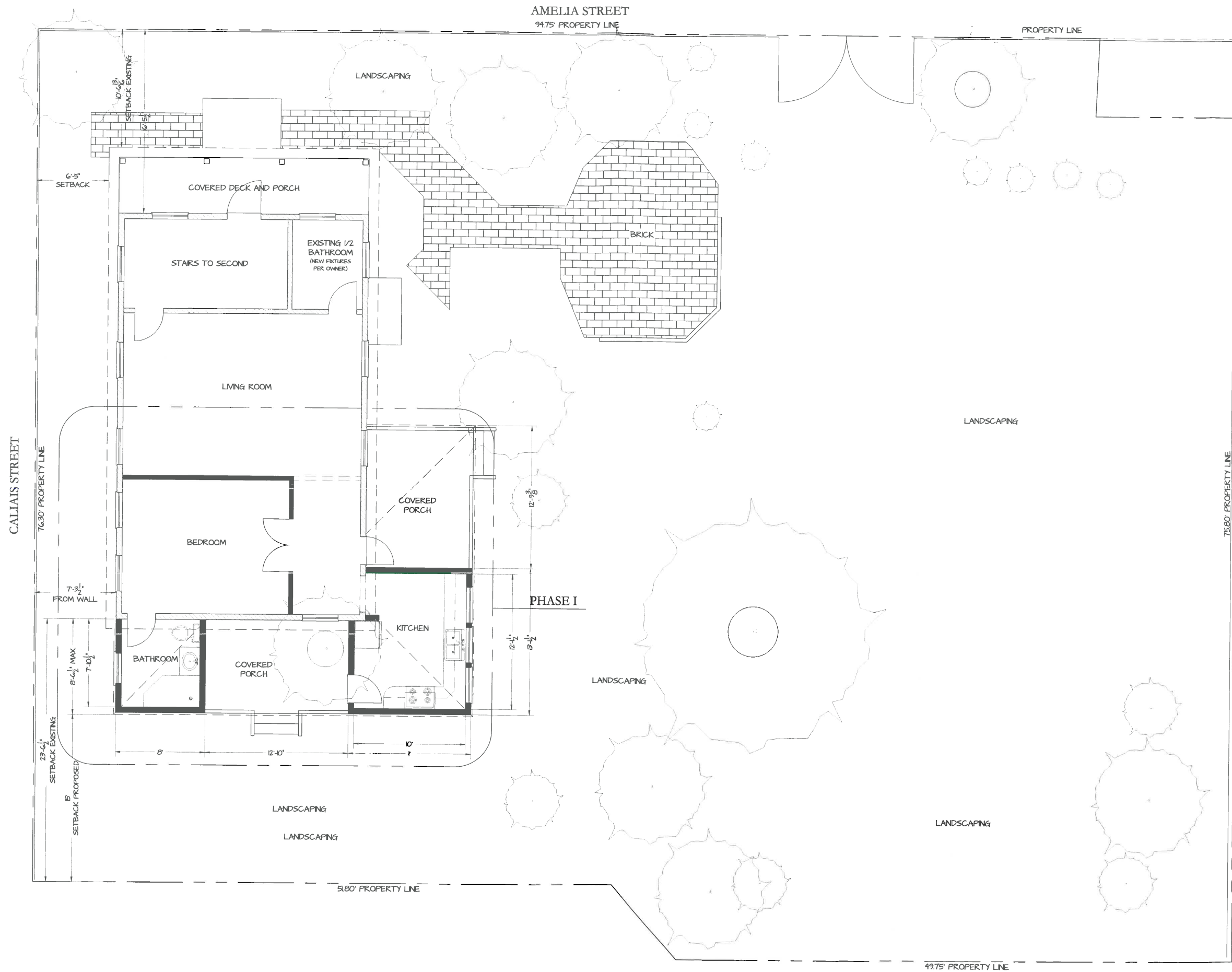
*[Signature]*  
1/16/16

**WILLIAM ROWAN N**  
ARCHITECTURE  
321 PEACOCK LANE  
305.296.3784  
KEY WEST, FLORIDA  
FLORIDA LICENSE AR-001751

PROJECT NO:

DATE: 12/18/2015

**A-1**  
2 OF 6



**SITE PLAN**  
 1/8" = 1'-0"

HALLORAN RESIDENCE  
 KITCHEN ADDITION (PHASE I ONLY)  
 700 AMELIA STREET KEY WEST, FLORIDA 33040

*[Signature]*  
 1/5/16

**WILLIAM ROWAN N**  
 ARCHITECTURE  
 KEY WEST, FLORIDA  
 FLORIDA LICENSE #AE-001751  
 531 BEACON LANE  
 305.296.3784

PROJECT NO.:

DATE: 12/30/2015

**A-2**  
 3 OF 6



NORTH ELEVATION (EXISTING)

1/4" = 1'-0"



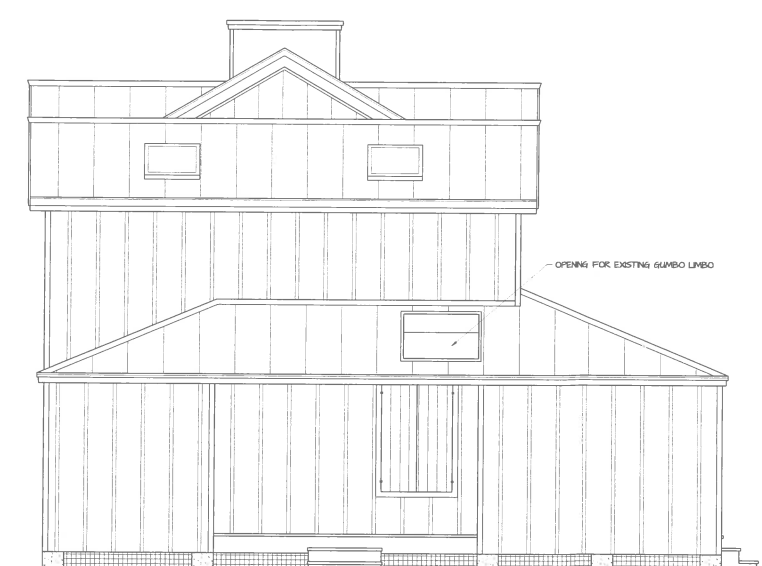
NORTH ELEVATION (PROPOSED)

1/4" = 1'-0"



SOUTH ELEVATION (EXISTING)

1/4" = 1'-0"



SOUTH ELEVATION (PROPOSED)

1/4" = 1'-0"



EAST ELEVATION (EXISTING)

1/4" = 1'-0"



EAST ELEVATION (PROPOSED)

1/4" = 1'-0"



WEST ELEVATION (EXISTING)

1/4" = 1'-0"



WEST ELEVATION (PROPOSED)

1/4" = 1'-0"

HALLORAN RESIDENCE  
KITCHEN ADDITION (PHASE I ONLY)  
700 AMELIA STREET KEY WEST, FLORIDA 33040

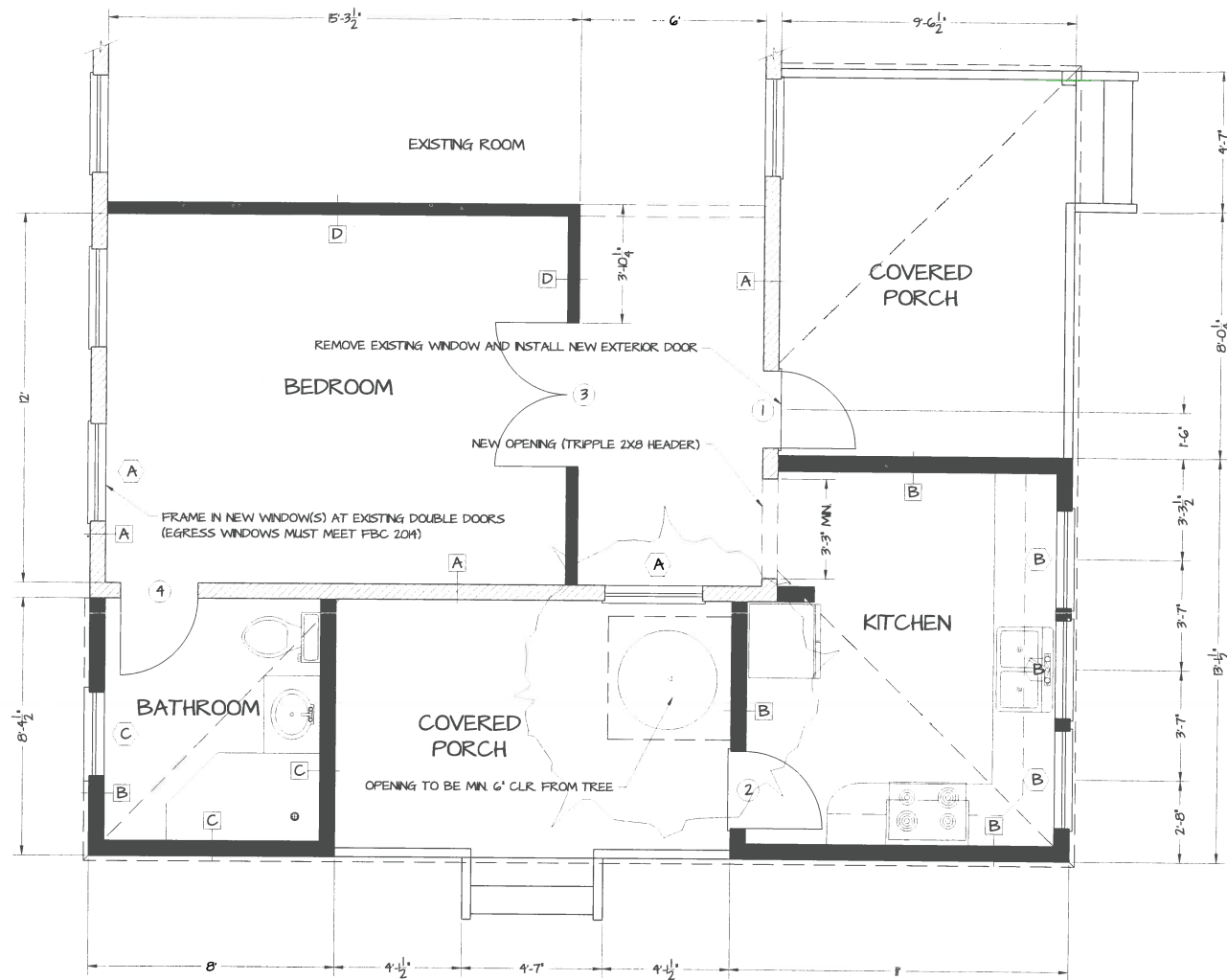
WILLIAM ROWAN  
ARCHITECTURE  
331 BEACON LANE  
KEY WEST, FLORIDA  
FLORIDA LICENSE #A601751  
305.296.3784

PROJECT NO :

DATE : 12/28/2015

A-3

4 OF 6



FLOOR PLAN PARTIAL

3/8" = 1'-0"

WALL SCHEDULE

MK.	WALL TYPE / DETAILS	NOTES
A	EXISTING EXTERIOR FRAMED WALL (SISTER AS NEEDED) 1/2" GYPSUM INTERIOR, EXISTING EXTERIOR W/ SIDING	STUDS PLACED 16" O.C., DOUBLE TOP PLATE WHERE NEEDED
B	NEW 2X6 WALL, 3/4" PLY EXTERIOR AND 1/2" GYPSUM BOARD INTERIOR	STUDS PLACED 12" O.C.
C	NEW 2X6 WALL, 3/4" PLY EXTERIOR AND 5/8" MOISTURE RESISTANT BOARD INTERIOR	STUDS PLACED 12" O.C.
D	NEW 2X4 WALL, 1/2" GYPSUM BOARD EACH SIDE	STUDS PLACED 16" O.C.

DOOR SCHEDULE

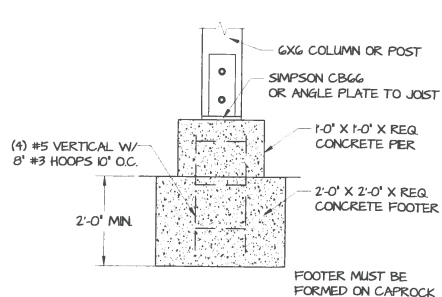
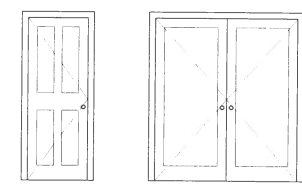
MARK	QTY.	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	NOTES
1	1	I	3'-0"	6'-8"	TBD	TBD	EXTERIOR ENTRY
2	1	I	3'-0"	6'-8"	TBD	TBD	EXTERIOR ENTRY
3	1	II	5'-0"	6'-8"	TBD	TBD	INTERIOR FRENCH
4	1	I	2'-6"	6'-8"	TBD	TBD	INTERIOR SWING

WINDOW SCHEDULE

MARK	QTY.	WIDTH	HEIGHT	MANUFACTURER	MATERIAL	NOTES	EGRESS SQ. FT.
A	2	3'-2" MATCH EX	5'-2" MATCH EX	TBD	WOOD	SINGLE HUNG	82 SQ. FT.
B	3	3'-2"	3'-2"	TBD	WOOD	SINGLE HUNG	N/A KITCHEN
C	1	3'-0"	3'-0"	TBD	WOOD	SINGLE HUNG	N/A KITCHEN

CONSTRUCTION PLAN GENERAL NOTES

- Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
- All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
- All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "Clear" or "cl" shall be maintained and shall allow for thicknesses of all wall finishes, UNO.
- Dimensions noted "clear" or "cl" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
- Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension, UNO, verify field dimensions exceeding tolerance with architect or owner.
- All dimensions to the exterior window wall are to the inside face of sill, UNO, verify field dimensions exceeding tolerance with architect or owner.
- Notify architect or owner of any discrepancies or conflicts in the locations of the new construction.
- All exposed gypsum board edges to have metal edge trim work or equivalent.
- All work shall be directed and installed, plumb, level, square, and true and in proper alignment.
- Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
- Refer to electrical power plans for locations of switched, outlets and the like.
- Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
- All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
- Trim the bottoms of the doors to clear the top of finished floor, as applicable, by 1/2" maximum, UNO. Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom site sized to accommodate these undercut conditions.
- Dimensions locating doors are to the inside of edge of jamb, UNO.
- All "wet walls" to receive concrete board or green board.

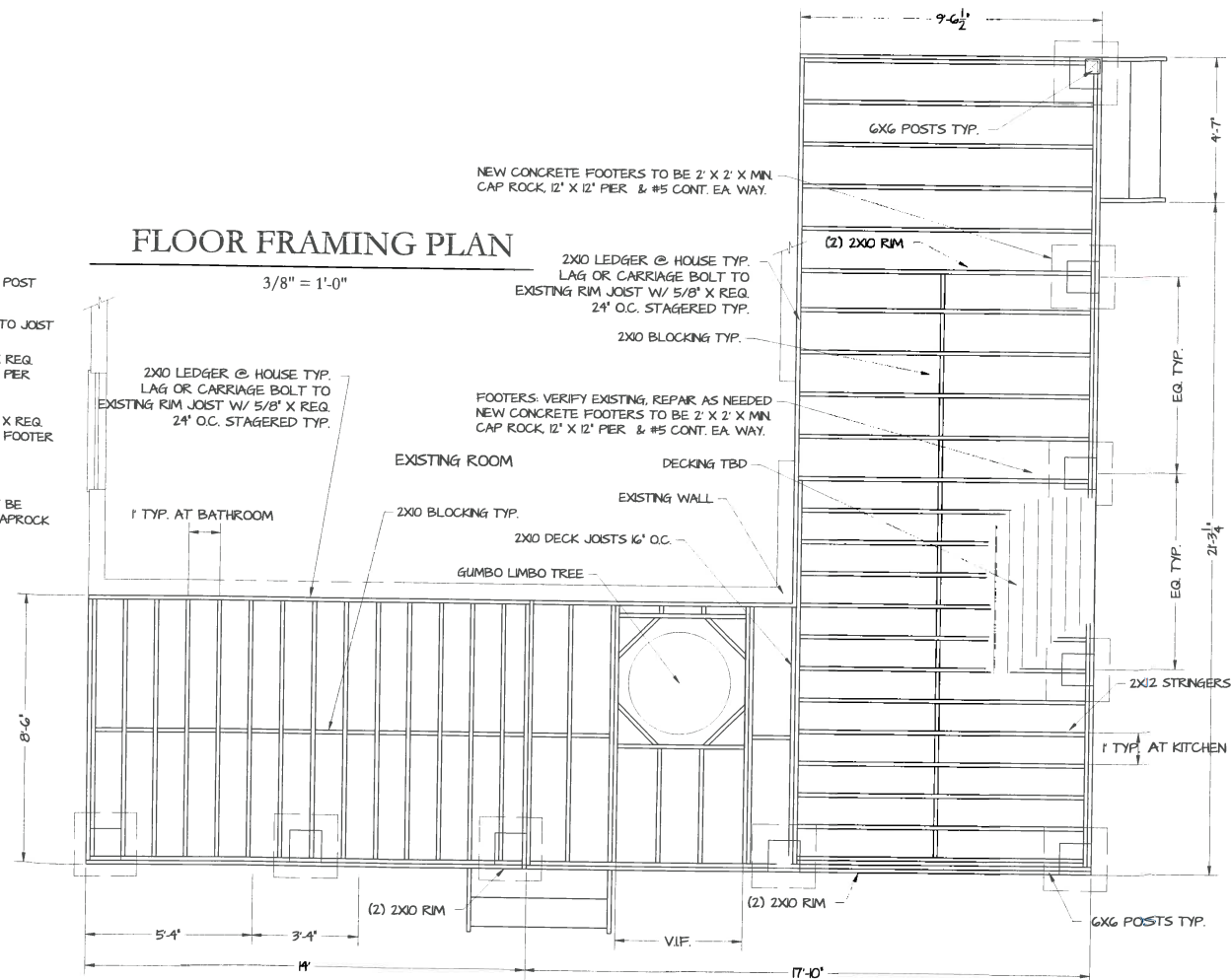


FOOTER DETAIL

1" = 1'-0"

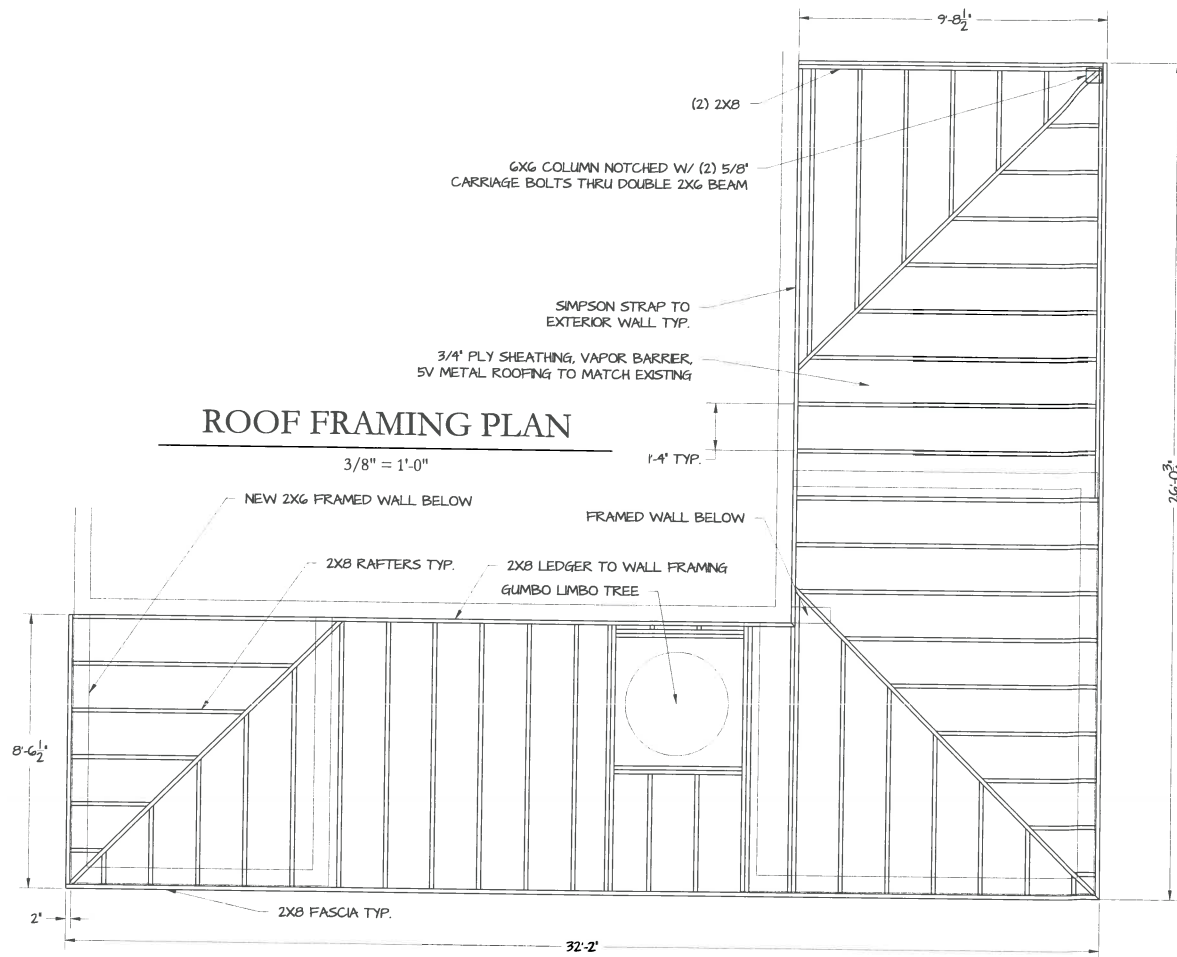
FLOOR FRAMING PLAN

3/8" = 1'-0"



ROOF FRAMING PLAN

3/8" = 1'-0"



HALLORAN RESIDENCE  
KITCHEN ADDITION (PHASE I ONLY)  
700 AMELIA STREET KEY WEST, FLORIDA 33040

WILLIAM ROWAN N  
ARCHITECTURE  
KEY WEST, FLORIDA  
FLORIDA LICENSE #A0007751

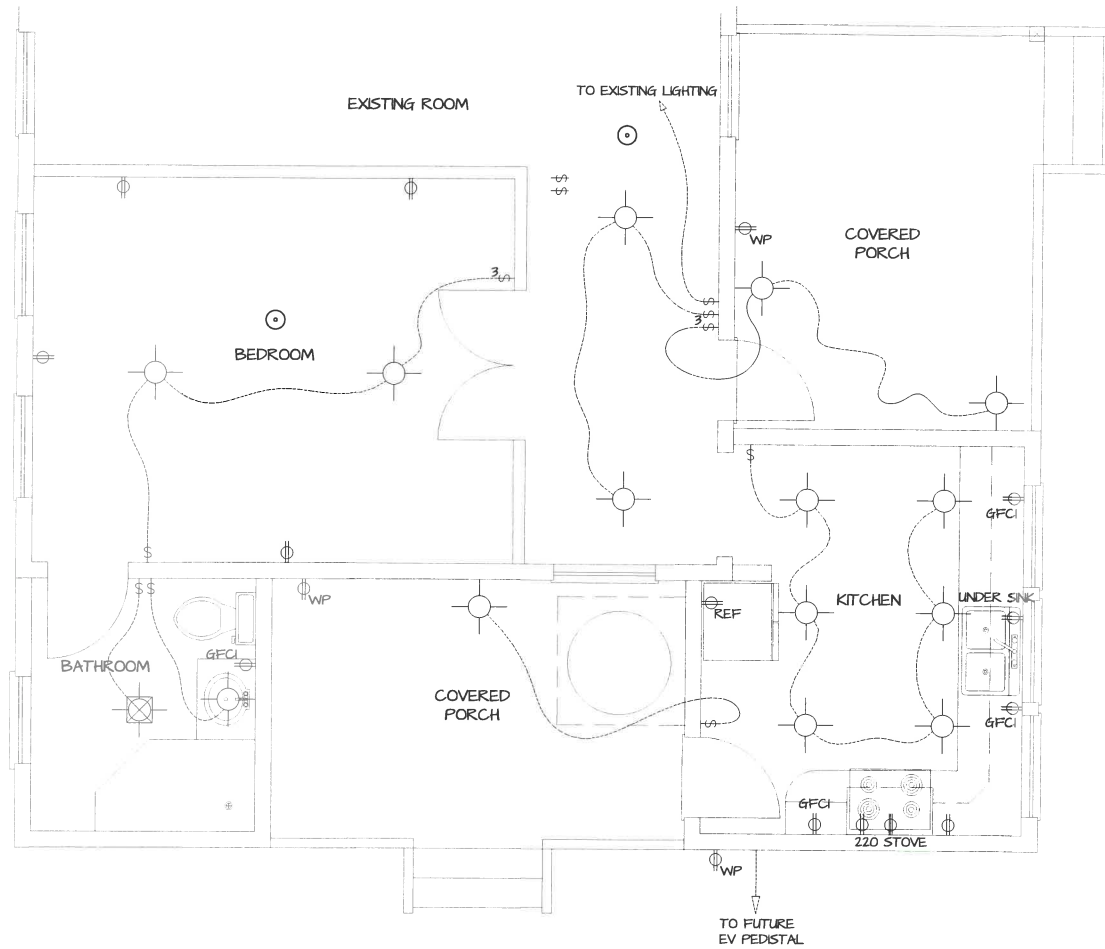
PROJECT NO.:

DATE: 12/28/2015

SI  
5 OF 6

*[Signature]*  
1/5/16





**ELECTRICAL PLAN**

3/8" = 1'-0"

**FIRE SAFETY NOTES**

- Existing smoke detectors to be tested or replaced
- Install new smoke detectors per plans UNO

**ELECTRICAL NOTES**

- All switches and dimmers shall be located 42" above finished floor to center of switch, UNO. Multiple switches at one location shall be ganged together and finished with one cover plate, UNO.
- All wet location outlets are to be GFCI type
- All exterior switches and outlets are to be or have weather proof covers.

**MECHANICAL NOTES**

- Note to Contractor on Existing Conditions:
- Contractor shall visit the site prior to bid and survey all existing conditions and equipment prior to submitting bid for work required by these documents. This includes above the ceiling and on the top of the roof.
  - If at any time, there is discrepancy between the plans & specs, or confusion/concern over required work, contractor shall immediately notify architect, engineer, or owner and get direction before proceeding with work in question.
  - For all existing equipment to be re-located &/or re-used, contractor shall be responsible for disconnection, safe storage and re-connection of said equipment completely.
  - For all existing equipment to be demolished, contractor shall be responsible for disconnection, removal and disposal off site per code of said equipment.
  - Refer to manufacturer's specifications for mounting details on A/C air handlers.

**MECHANICAL SPECIFICATIONS**

Scope: The contractor shall visit the site and examine the drawing and specifications before submitting a proposal. All work shall be in accordance with the 2014 FBC and with all amendments, and local codes and ordinances. Installation shall comply with the standards set by the NFPA, ASHRAE, ASPE, SMACNA, NEC and UL. The systems, equipment, devices, and accessories shall be installed, finished, tested and adjusted for continuous and proper operation. The contractor shall be responsible for his work, fitting in place and shall coordinate with the other trades to avoid interference with their work. The information given herein and on the drawings is as exact as could be secured, but its extreme accuracy is not guaranteed. The drawings are diagrammatic, intended to show general arrangement, capacity and location of various components, equipment, and devices, if work is required in a manner to make it impossible to produce first class work, or should discrepancies appear among the contract documents or between the contract documents and manufacturer's recommendations, the contractor shall request interpretation from the owner or architect before proceeding with work. Contractor shall furnish all minor items which are obviously and reasonably necessary to complete the installation whether or not specific in the documents.

Required Coordination: All work shall be coordinated with all trades involved. Offsets in ducts and piping (including divided ducts) and transitions around obstructions shall be included in the bid price.

Construction Plans: In general plans and diagrams are schematic only and should not be scaled.

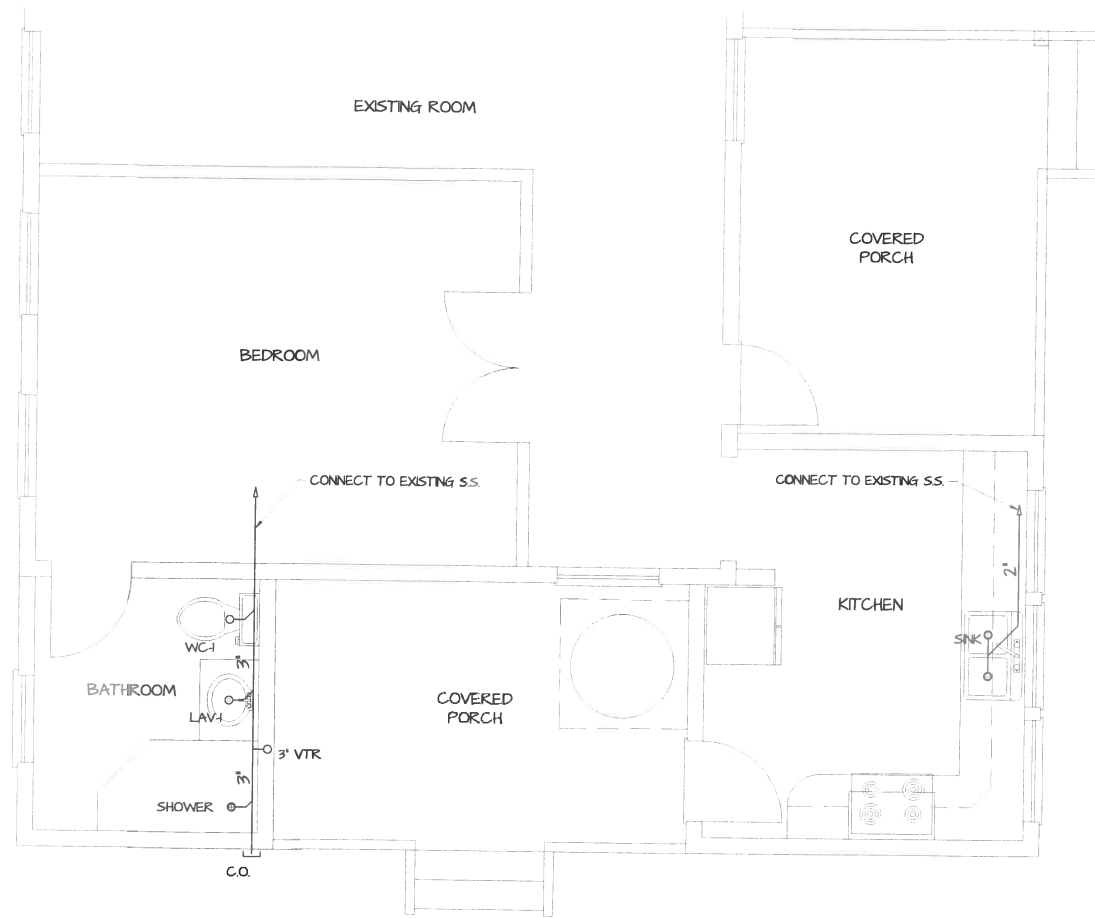
Required Access: Contractor shall ensure that all equipment and devices that require replacement, servicing, adjusting or maintenance shall be located to allow access and space. For removal of internal assemblies, if required, Contractor shall provide access panels where required to allow access, even if not indicated on the drawings and these shall be included in the bid price.

Wind Resistance: All equipment, appliance and supports located exterior of the facility shall be installed to resist 130mph wind loads as detailed in FBC.

Cutting and Patching: All openings around duct or pipe penetrations through smoke or fire rated floors, ceiling or walls shall be sealed airtight with materials having a rating equal to the material of the ceiling, wall, or floor penetrated.

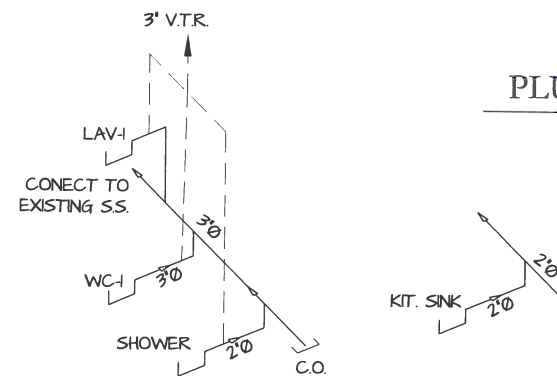
Fire Stopping: UL approved materials and methods shall protect the penetrations of fire and/or smoke rated walls, ceiling or floors. The rating of fire stopping shall equal the rating of the rated assembly. All insulation shall have composite fire and smoke hazard ratings as tested by procedure ASTM E-81, NFPA-225, UL-723, not exceeding: Flame spread - 25, Smoke developed - 50, Fuel distributed - 50.

Condensate and Drain Piping: Condensate drain piping shall be PVC-type DWV. Drains shall be pitched not less than 1/8" Run shall be as short as possible without any dips to trap water and interfere with proper drainage. Provide traps and cleanouts at drain pan connections.



**PLUMBING PLAN**

3/8" = 1'-0"



**PLUMBING RISER DIAGRAM**

N.T.S.

**PLUMBING NOTES**

Dielectric Unions: Provide dielectric unions or flanges at connections or contact between pipes of dissimilar metals.

Water Hammer Arrestors: Install water hammer arrestors at fixture hot and cold supplies (at all lavatories and sinks and other quick acting fixtures).

Exposed Piping: Exposed piping shall be polished chromium on either brass or bronze.

Valves: All valves shall have a minimum of 125 psig working pressure. Valves and cocks may not be indicated in every instance on the drawings but whether or not shown, all valves, cocks and check valves necessary for the proper operation of the system shall be furnished and installed. Install isolation/shut-off valves at all main risers. Install isolation/shut-off on sinks, toilets and washer inlet of each piece of equipment. Provide a flange or union between the valve and the equipment to permit disconnection, removal and service.

Venting: The stacks shall be extended through roof of building to points not less than 12" above roof. Vents shall be offset as required to penetrate roofs at least 3 feet from the ridge or edge of building and 10 feet from any fresh air intake or operable window or door.

Sanitary, Waste, Grease, and Vent Piping: All below ground piping and fittings shall be sch 40 PVC-DWV (solid core). Slope of sanitary or drainage piping 2 1/2" and smaller shall be a minimum of 1/8" per foot; piping 3" and larger shall be sloped a minimum of 1/8" per foot. Cleanouts will be located not more than 100 feet apart and at each change of direction greater than 45° along the horizontal drain. Cleanouts shall be installed at base of each stack.

Plumbing Fixtures and Trim: Plumbing fixtures shall be furnished and installed in a neat and workmanlike manner with proper connections to supply and drainage piping. All fixtures shall be free of flaws and defects of any sort in material and workmanship and shall operate perfectly when installed in accordance with manufacturer's directions. Contractor shall provide rough-in and shall connect all fixtures to the plumbing systems. All fixtures to be provided with chrome plated supplies and stops. Provide 17 gauge chrome plated brass traps for all fixtures without integral traps. Provide concealed arm corners and supports for all fixtures requiring same.

Pipe Insulation: Install insulation products in accordance with the manufacturer's instructions and in accordance with recognized industry practices. Seal all joints, breaks, tears, and penetrations with rife retardant, vapor barrier mastic. Cover valves, fittings and similar items in each piping systems. Insulate all domestic hot water with 1" thick fiberglass sectional pipe covering with canvas jacket or Armaflex AP pipe insulation kits or equivalent.

Testing: Test all waste and vent piping for a period of not less than 8 hours by capping or plugging all joints to a level of the highest fixture or fittings. Fill the system with water and observe for leaks. Test water piping at 100 psig for a period of 8 hours, observing for any visible leaks. Test piping again with fixtures installed. Repair any leaks found by remaking joint. Do not use caulking or similar methods.

Substitutions: Unless as otherwise agreed, plumbing contractor shall pay for added costs associated with any substitution. Provide full blocking around all floor penetrations. Hide saw through 2x8 floor joists when required.

HALLORAN RESIDENCE  
KITCHEN ADDITION (PHASE I ONLY)

700 AMELIA STREET KEY WEST, FLORIDA 33040

*Handwritten signature and date: R/1/15*

**WILLIAM ROWAN N**  
ARCHITECTURE

521 BEACON LANE  
KEY WEST, FLORIDA  
330 296 5184  
FLORIDA LICENSE AC601751

PROJECT NO :

DATE : 12/28/2015

**MI**

6 OF 6

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., February 23, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW ONE-STORY FRAME ADDITION TO REAR AND  
SIDE TO NON-HISTORIC HOUSE.**

**FOR- #700 AMELIA STREET**

**Applicant – Halloran Construction**

**Application #H15-01-0355**

**If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).**

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Public Meeting Notice

# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

## Property Record Card -

**Maps are now launching the new map application version.**

Alternate Key: 1031453 Parcel ID: 00030670-000000

### Ownership Details

**Mailing Address:**

HALLORAN GEORGE AND MARCIA  
16 HILTON HAVEN RD APT B  
KEY WEST, FL 33040-3827

### Property Details

**PC Code:** 01 - SINGLE FAMILY

**Millage Group:** 10KW

**Affordable Housing:** No

**Section-**

**Township-** 06-68-25

**Range:**

**Property Location:** 700 AMELIA ST KEY WEST

**Legal** KW FOGARTY-HARRIS SUB PB1-57 PT OF TR 12 C2-564 F1-358 E1-131/132 H3-113 OR514-769 OR514-770

**Description:** OR900-2396D/C OR1080-2397/2398Q/C OR1080-2399/2400 OR1094-1865/1866Q/C OR1610-2373/74-C OR1610-2375/76-C OR1672-1598/99 OR1672-1600/01Q/C

**Click Map Image to open interactive viewer**



### Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY			6,906.05 SF

### Building Summary

**Number of Buildings:** 1  
**Number of Commercial Buildings:** 0  
**Total Living Area:** 792  
**Year Built:** 1938

## Building 1 Details

**Building Type** R1  
**Effective Age** 12  
**Year Built** 1938  
**Functional Obs** 0

**Condition** A  
**Perimeter** 116  
**Special Arch** 0  
**Economic Obs** 0

**Quality Grade** 550  
**Depreciation %** 12  
**Grnd Floor Area** 792

**Inclusions:** R1 includes 1 3-fixture bath and 1 kitchen.

**Roof Type** GABLE/HIP  
**Heat 1** FCD/AIR DUCTED  
**Heat Src 1** ELECTRIC

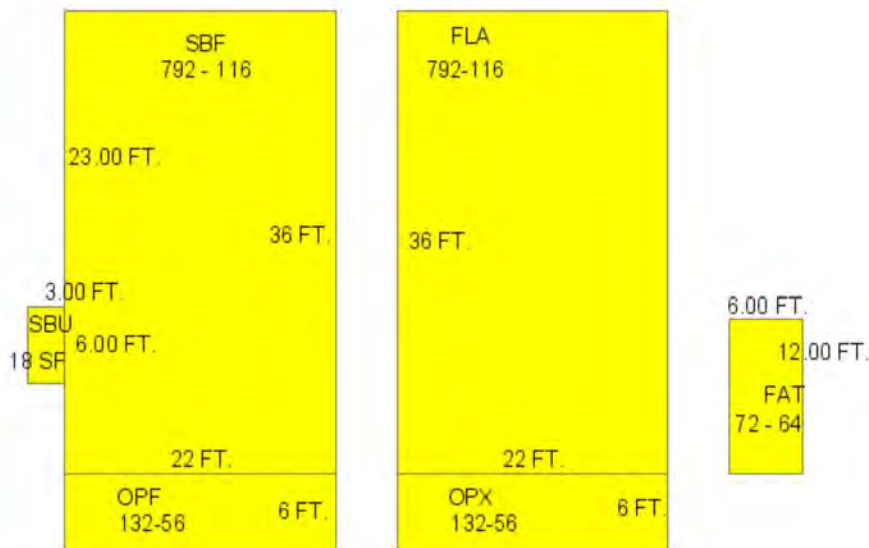
**Roof Cover** METAL  
**Heat 2** NONE  
**Heat Src 2** NONE

**Foundation** WD CONC PADS  
**Bedrooms** 2

**Extra Features:**

**2 Fix Bath** 0  
**3 Fix Bath** 0  
**4 Fix Bath** 0  
**5 Fix Bath** 0  
**6 Fix Bath** 0  
**7 Fix Bath** 0  
**Extra Fix** 0

**Vacuum** 0  
**Garbage Disposal** 0  
**Compactor** 0  
**Security** 0  
**Intercom** 0  
**Fireplaces** 0  
**Dishwasher** 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	SBF	2:B & B	1	2003		N			792
2	OPF		1	2003	N	Y	0.00	0.00	132
3	OPX		1	2003	N	Y	0.00	0.00	132
4	FLA	2:B & B	1	2003	N	Y	0.00	0.00	792
5	FAT	2:B & B	1	2003	N	Y	0.00	0.00	72
6	SBU		1	2005					18



## Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	CL2:CH LINK FENCE	1,400 SF	280	5	1964	1965	1	30
2	FN2:FENCES	390 SF	78	5	2005	2006	2	30
3	FN2:FENCES	162 SF	54	3	2005	2006	2	30
3	FN2:FENCES	245 SF	35	7	2005	2006	2	30
5	PT5:TILE PATIO	96 SF	24	4	1965	1966	1	50
6	PT2:BRICK PATIO	274 SF	15	14	1965	1966	2	50

## Appraiser Notes

2007-04-20 VALUE INCREASE IS DUE TO ERRORS IN PRIOR YEARS APPRAISAL. EFF AGE WAS AS 56 YRS FOR A NEW SFR BUILT IN 2003. ALSO FUNCTIONAL WAS AT 60%. PARCEL HAS NOW BEEN APPRAISED ACCORDINGLY.DKRAUSE

2007-09-14 AT PO REQUEST FIELD CHECK CONFIRMED THE FIRST FLOOR FLA IS BEING USED AS A WORKSHOP SEE PICS. AREA IS UNFINISHED. DESIGNATED AT SBF. DKRAUSE

## Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
1 01-2028	05/22/2001	11/06/2003	97,000	Residential	NEW SFR & GARAGE APT
2 03-2305	07/28/2003	11/06/2003	3,000	Residential	CENT A/C 2.5-TON
3 01-2028	04/02/2003	11/06/2003	97,000	Residential	PERMIT REVISION
4 01-2028	02/27/2002	11/06/2003	3,000	Residential	ROOFING-V CRIMP
5 99-0656	12/21/1999	12/31/1999	7,000	Residential	V-CRIMP ROOFING
6 03-2499	07/21/2003	09/22/2005	3,000	Residential	INSTALL 2.5 TON A/C
7 05-0503	03/08/2005	09/22/2005	2,500	Residential	BUILD PICKET FENCE
8 05-5521	12/05/2005	12/19/2005	97,000	Residential	EXTEND PERMIT #01-2028 FOR FINAL INSPECTION

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	121,162	4,408	587,746	713,316	586,206	0	713,316
2014	122,230	4,088	407,871	534,189	532,915	0	534,189
2013	123,559	4,200	476,546	604,305	484,469	0	604,305
2012	109,277	4,284	326,866	440,427	440,427	0	440,427
2011	109,277	4,368	352,300	465,945	457,086	0	465,945
2010	110,439	4,479	300,615	415,533	415,533	0	415,533
2009	122,639	4,563	384,703	511,905	511,905	0	511,905
2008	113,778	4,645	613,029	731,452	731,452	0	731,452
2007	206,286	4,652	574,583	785,521	785,521	0	785,521

2006	164,162	4,736	234,806	387,288	387,288	0	387,288
2005	117,503	874	249,481	367,858	367,858	0	367,858
2004	67,003	874	203,038	270,915	270,915	0	270,915
2003	0	874	158,839	159,713	159,713	0	159,713
2002	0	874	158,839	159,713	159,713	0	159,713
2001	0	874	79,420	80,294	80,294	0	80,294
2000	0	357	56,933	57,290	57,290	0	57,290
1999	0	357	56,933	57,290	57,290	0	57,290
1998	0	357	56,933	57,290	57,290	0	57,290
1997	0	357	50,235	50,592	50,592	0	50,592
1996	0	357	50,235	50,592	50,592	0	50,592
1995	0	0	50,235	50,235	50,235	0	50,235
1994	0	0	50,235	50,235	50,235	0	50,235
1993	0	0	50,235	50,235	50,235	0	50,235
1992	0	0	50,235	50,235	50,235	0	50,235
1991	0	0	50,235	50,235	50,235	0	50,235
1990	0	0	34,327	34,327	34,327	0	34,327
1989	0	0	33,490	33,490	33,490	0	33,490
1988	0	0	26,792	26,792	26,792	0	26,792
1987	0	0	18,838	18,838	18,838	0	18,838
1986	0	0	18,085	18,085	18,085	0	18,085
1985	0	0	12,096	12,096	12,096	0	12,096
1984	0	0	12,096	12,096	12,096	0	12,096
1983	0	0	12,096	12,096	12,096	0	12,096
1982	0	0	10,483	10,483	10,483	0	10,483

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
1/17/2001	1672 / 1598	41,600	<u>WD</u>	<u>J</u>
2/1/1989	1080 / 2399	1	<u>WD</u>	<u>M</u>

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Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176