

Historic Architectural Review Commission

Staff Report

Item 7b

Meeting Date:	August 27, 2014
Applicant:	Bender and Associates, Architects
Application Number:	H14-01-1259
Address:	#1001 James Street
Description of Work:	Major Development Plan- Demolition of side and back additions. Removal of metal shed and metal elements. Remove fence from Grinnell Street and portion on James Street with no built back.
Building Facts:	The Key's Energy Building is not listed in the actual surveys. The reinforced concrete has experience several alterations and additions though its life. The modern style building was built in 1954. Of simple architectural details the historic building has a unique design. The exterior concrete cantilever canopies, aluminum metal shades, proportions of window fenestrations and the east side stairs are character defining elements to the building. The building is located on the north east corner of James and Grinnell Streets.
Guidelines and Ordinance Cited in Review:	Ordinance for demolition; Land Development Regulations Sec. 102-217, (2) for non-historic or non-contributing structures.

Staff Analysis

The Certificate of Appropriateness proposes the removal of non-historic elements that were added at some point in time in the back portion of the building. The plan also includes the partial removal of portions of a metal fence on James and Grinnell Streets. An existing metal shed on the east side of the lot is also proposed to be demolished. None of the structures mentioned are

historic nor can be designated contributing to the historic building in a near future.

Consistency with the Ordinance

1. The proposed demolition of non-historic elements will bring back the building to its accurate historic period. Character defining elements of the building as well as the original form of the building have been compromised due to insensible additions and alterations.

It is staff's opinion that the proposed demolitions are consistent with the Ordinance for demolitions for non-historic structures. If the demolition is approved this will constitute the only review for this request.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

08-04-2014 011259

APPLICATION # - _____

OWNER'S NAME: **KEYS ENERGY SERVICES** DATE: **07/31/14**

OWNER'S ADDRESS: **1001 JAMES STREET** PHONE #: _____

APPLICANT'S NAME: **BENDER & ASSOCIATES** PHONE #: **(305)296-1347**

APPLICANT'S ADDRESS: **410 ANGELA STREET**

ADDRESS OF CONSTRUCTION: **1001 JAMES STREET** # OF UNITS: **1**

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:
RENOVATION OF EXISTING THREE STORY CONCRETE BUILDING AND METAL ACCESSORY STRUCTURE.

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and, either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: **07/31/14**
 Applicant's Signature: _____

Required Submittals

<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
<input checked="" type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Order: **KEYW100** Type: **OC** Drawer: **1**
 Date: **8/05/14** Receipt no: **3217**

PT 2014 1001259 * **REMAINING USER ONLY**

Trans number: **1.00** \$50.00
 CK CHECK Date: **12008** 301433
 Trans date: **8/05/14** Time: **14:40:20**

Staff Approval: _____
 Fee Due: \$ _____

Drawing Fee: \$50.00
 Permit Fee: \$50.00
 Application Fee: \$50.00
 Total: \$150.00
 Date: 07/31/14
 Applicant: BENDER & ASSOCIATES
 Address: 410 ANGELA STREET
 Key West, FL 33401
 Phone: (305) 296-1347

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

Building is not listed in the survey.

Reinforce concrete structure built 1954

Guidelines for alterations (page 36-38a)

*Ordinance for demolition of non contributing
or not historic structures*

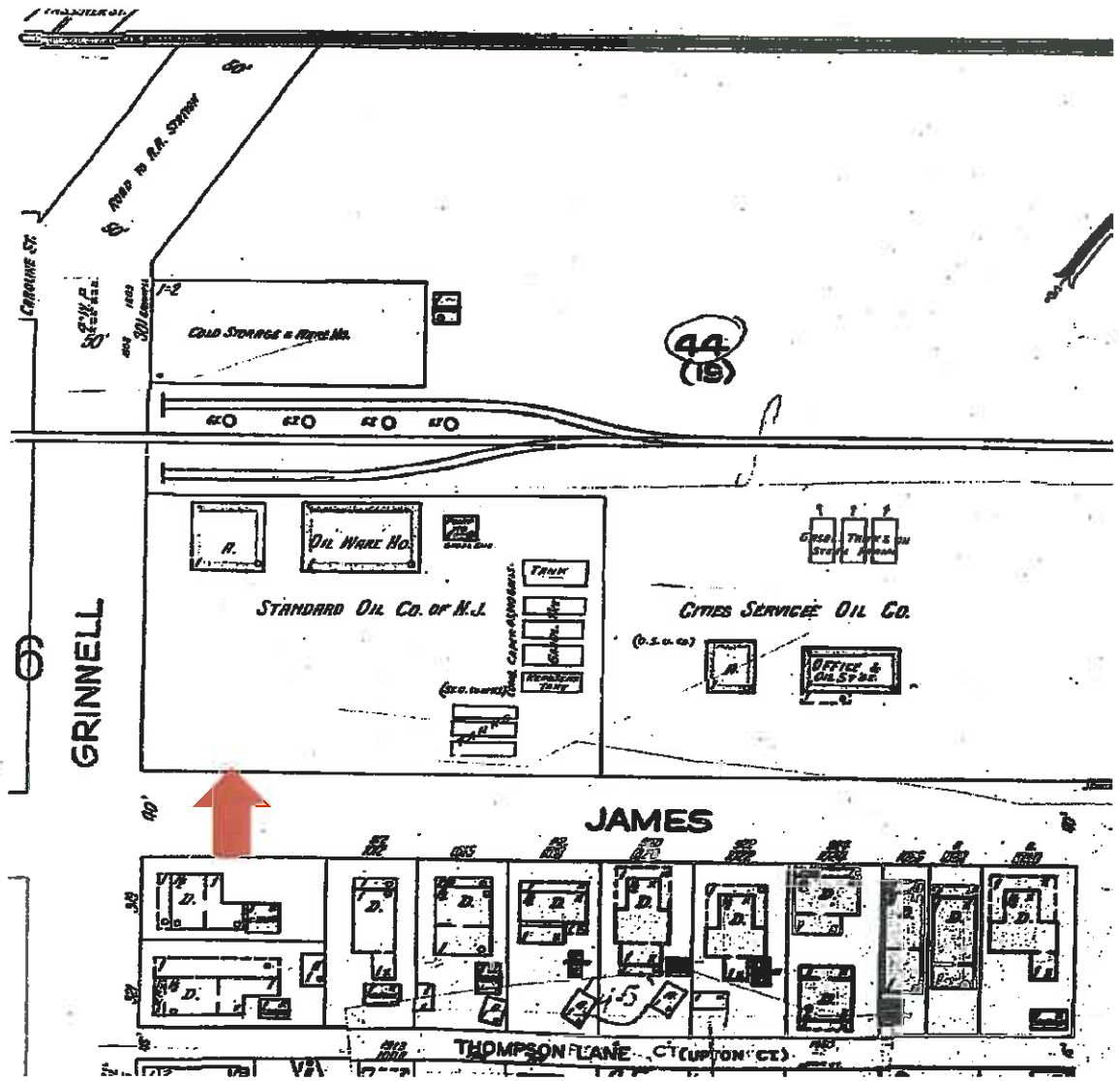
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

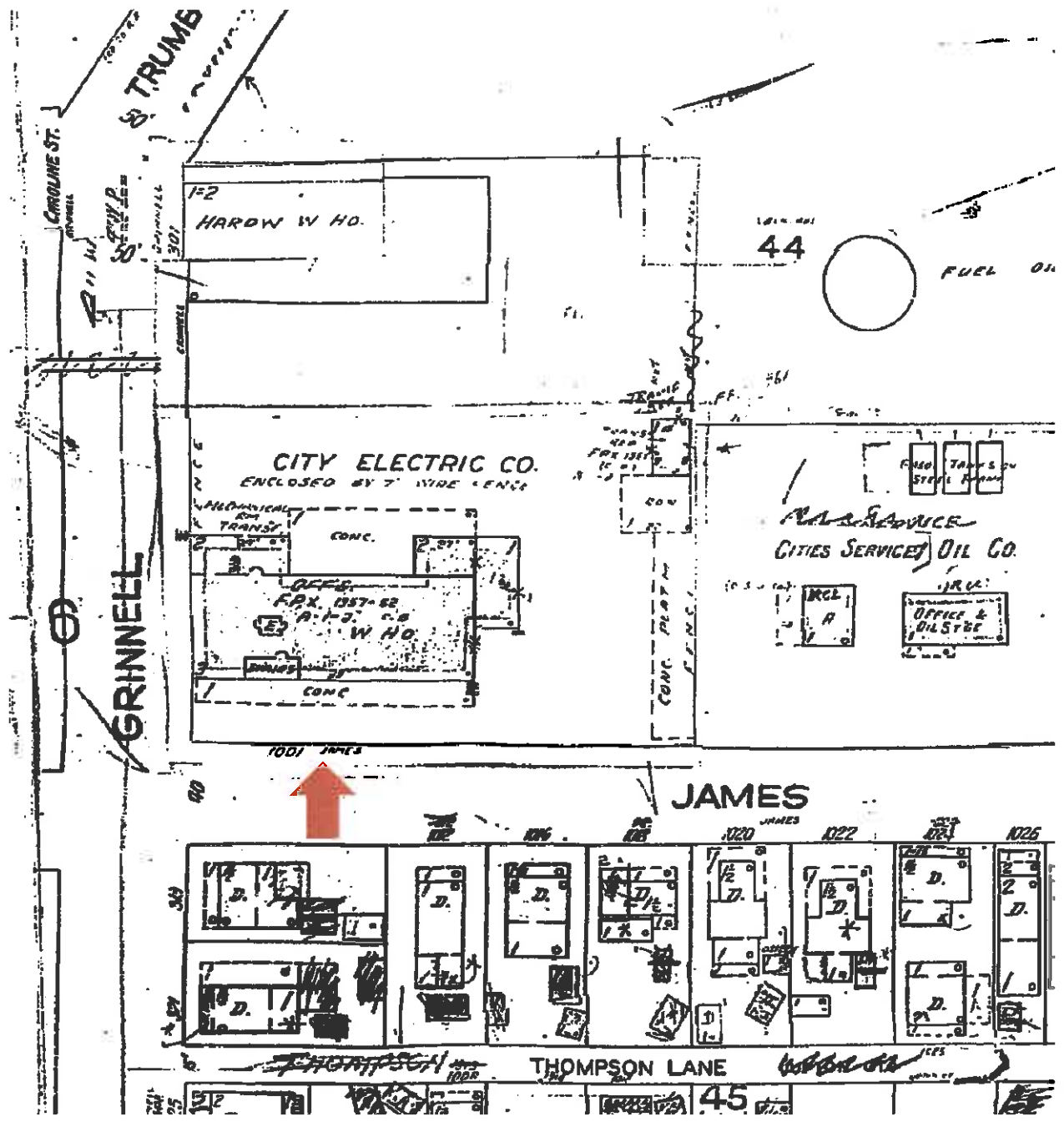
Signature: _____

Historic Architectural
Review Commission

Sanborn Maps



#1001 James Street Sanborn map 1948



#1001 James Street Sanborn map 1962

Project Photos



Photo taken by Property Appraiser's office c1965; 1001 James St.; City Electric System. Monroe County Library



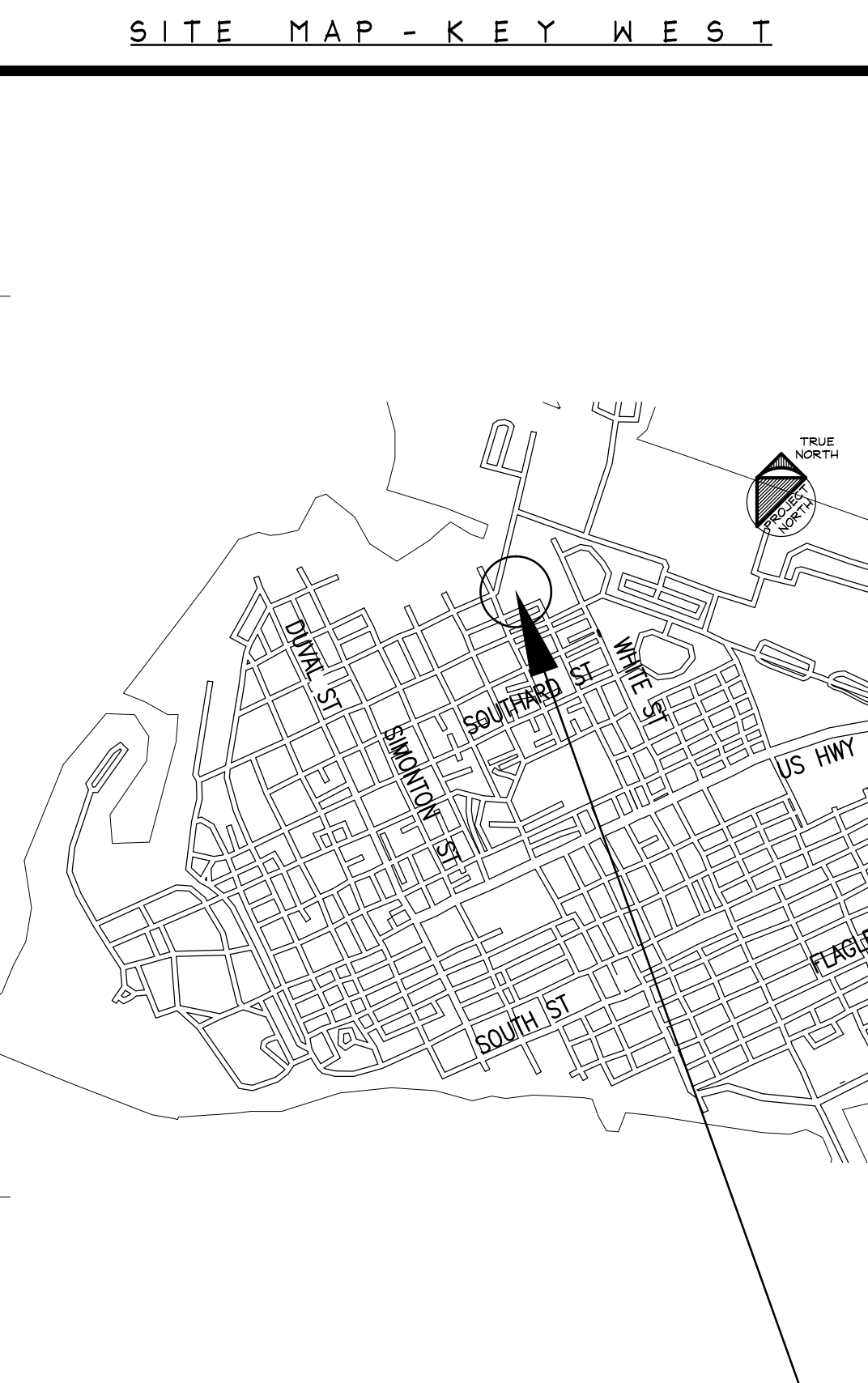
Proposed design

Keys Energy Services

1001 JAMES STREET

HARC SUBMITTAL - AUGUST 1, 2014

HARC SUBMITTAL

SITE MAP - KEY WEST	GENERAL NOTES	PROJECT DIRECTORY	SHEET INDEX																																																																							
 <p style="text-align: center;">Not to Scale</p>	<p>1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:</p> <p style="font-size: small;">FLORIDA BUILDING CODE - Building 2010 EDITION FLORIDA BUILDING CODE - Existing 2010 EDITION FLORIDA BUILDING CODE - Residential 2010 EDITION FLORIDA BUILDING CODE - Plumbing 2010 FLORIDA BUILDING CODE - Fuel Gas 2010 EDITION FLORIDA BUILDING CODE - Mechanical 2010 EDITION NATIONAL ELECTRICAL CODE 2008 EDITION NFPA 101 LIFE SAFETY CODE w/ Florida Modifications 2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION NFPA 1 2006 EDITION</p> <p>This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (gusts).</p> <p>2. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</p> <p>3. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</p> <p>4. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</p> <p>5. Dimensions shall take precedence over scale.</p> <p>6. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</p> <p>7. After completion of construction remove all debris and construction equipment. Restore site to original condition.</p> <p>8. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</p> <p>9. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</p> <p>10. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</p> <p style="font-size: x-small;">6(G)-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 6(G)-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.</p> <p style="font-size: x-small;">Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.03, Amended 11-21-94, 4-18-00.</p>	<p>PROJECT: KEYS ENERGY SERVICES 1001 JAMES STREET ARCHITECT'S PROJECT No.: 1310</p> <p>OWNER: Keys Energy Services 1001 James Street Key West, FL 33040 E-mail: ----- Phone: ----- Representative: -----</p> <p>ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 296-1347 Fax: (305) 296-2737 E-mail: bbender@bellsouth.net Project Manager: Bert L. Bender (Principal-in-Charge) Project Architect: Haven Burke</p> <p>ENGINEERING CONSULTANTS: STRUCTURAL: H.J. KEISTER ASSOCIATES Address: 2027 University Boulevard, North, Jacksonville, FL 32211 Tel: (904) 743-4633 Fax: (904) 744-6485 Representative: Mark J. Keister, P.E.</p> <p>MEP: INGS ENGINEERS Address: 4800 SW 74th Court, Miami, FL 33155 Tel: 305-270-9935 Fax: 305-665-5841 E-mail: ings@ingsengineers.com Representative: Enrique J. Suarez, Jr. P.E.</p> <p>CIVIL: Perez Engineering and Development, Inc. 1010 Kennedy Dr., Suite 400, Key West Tel: (305) 293-9440 Email: perzezengineering@bellsouth.net Representative: Allen Perez</p>	<p>A0.0 COVERSHEET, NOTES, PROJECT DESCRIPTION (HARC SUBMITTAL) A0.1 PROPERTY SURVEY(HARC SUBMITTAL)</p> <p>LANDSCAPE: L-1 LANDSCAPE PLAN (HARC SUBMITTAL)</p> <p>CIVIL: C-1 CIVIL PLAN</p> <p>ARCHITECTURAL: A1.1 SITE PLAN (HARC SUBMITTAL) A2.1 DEMOLITION SITE PLAN (HARC SUBMITTAL) A2.2 DEMOLITION 1ST FLOOR (HARC SUBMITTAL) A2.3 DEMOLITION 2ND FLOOR (HARC SUBMITTAL) A2.4 DEMOLITION 3RD FLOOR (HARC SUBMITTAL) A2.5 DEMOLITION ELEVATIONS (HARC SUBMITTAL) A2.6 DEMOLITION ELEVATIONS (HARC SUBMITTAL) A3.1 FIRST FLOOR PLAN (HARC SUBMITTAL) A3.2 SECOND FLOOR PLAN (HARC SUBMITTAL) A3.3 THIRD FLOOR PLAN (HARC SUBMITTAL) A3.4a ENLARGED FIRST FLOOR PLAN - WEST A3.4b ENLARGED FIRST FLOOR PLAN - EAST A3.5a ENLARGED SECOND FLOOR PLAN - WEST A3.5b ENLARGED SECOND FLOOR PLAN - EAST A3.6a ENLARGED THIRD FLOOR PLAN - WEST A3.6b ENLARGED THIRD FLOOR PLAN - EAST A4.1 ROOF PLAN, DETAILS A5.1 REFLECTED CEILING PLAN 1ST FLOOR A5.2 REFLECTED CEILING PLAN 2ND FLOOR A5.3 REFLECTED CEILING PLAN 3RD FLOOR A6.1 EXTERIOR ELEVATIONS (HARC SUBMITTAL) A6.2 EXTERIOR ELEVATIONS (HARC SUBMITTAL) A6.3 EXTERIOR ELEVATIONS - ACCESSORY STRUCTURE (HARC SUBMITTAL) A7.1 SECTIONS A7.2 SECTIONS A8.1 INTERIOR ELEVATIONS A8.2 INTERIOR ELEVATIONS A9.1 WALL SECTIONS A10.1 DOOR AND WINDOW SCHEDULE, DOOR/WINDOW TYPES A10.2 DOOR AND WINDOW DETAILS A11.1 CONSTRUCTION DETAILS A11.2 CONSTRUCTION DETAILS A12.1 1ST FLOOR FURNITURE PLAN A12.2 2ND FLOOR FURNITURE PLAN A12.3 3RD FLOOR FURNITURE PLAN A13.1 1ST FLOOR LIFE SAFETY PLAN A13.2 2ND FLOOR LIFE SAFETY PLAN A13.3 3RD FLOOR LIFE SAFETY PLAN</p> <p>STRUCTURAL: S0.1 S0.2 S1.1 S1.2 S1.3 S1.4 S2.1 S2.2 S2.3 S2.4 S3.1 S3.2 S5.1 S5.2</p> <p>ELECTRICAL (DEMOLITION): DE-1 DE-2 DE-3</p> <p>MECHANICAL (DEMOLITION): DM-1 DM-2 DM-3 DM-4</p> <p>ELECTRICAL: E-0 E-0P E-1 E-2 E-3 E-4 E-5 E-6 E-7 E-8 E-9 E-10 E-11 E-12 E-13 E-14</p> <p>FIRE PROTECTION: FP-1 FP-2 FP-3 FP-4 FP-5 FP-6</p> <p>DESCRIPTION OF WORK: RENOVATION OF EXISTING THREE STORY CONCRETE BUILDING.</p>																																																																							
<p>ABBREVIATIONS</p> <table border="0" style="width:100%; font-size: x-small;"> <tr> <td>AB ANCHOR BOLT</td> <td>MIN MINIMUM</td> </tr> <tr> <td>ABC AGGREGATE BASE COURSE</td> <td>NTS NOT TO SCALE</td> </tr> <tr> <td>A/C AIR CONDITIONING</td> <td>OA OVERALL</td> </tr> <tr> <td>BLKG BLOCKING</td> <td>OC ON CENTER</td> </tr> <tr> <td>BUR BILT UP ROOF</td> <td>OD OUTSIDE DIAMETER</td> </tr> <tr> <td>CAB CABINET</td> <td>PCF POUNDS PER CUBIC FOOT</td> </tr> <tr> <td>CER CERAMIC</td> <td>PL PROPETRY LINE</td> </tr> <tr> <td>CL CENTER LINE</td> <td>PLAM PLASTIC LAMINATE</td> </tr> <tr> <td>CLG CEILING</td> <td>PLF POUNDS PER LINEAL FOOT</td> </tr> <tr> <td>CMU CONCRETE MASONRY UNIT</td> <td>PNL PANEL</td> </tr> <tr> <td>COL COLUMN</td> <td>PT CCA PRESSURE TREATED</td> </tr> <tr> <td>CONC CONCRETE</td> <td>PT POINT</td> </tr> <tr> <td>DBL DOUBLE</td> <td>PVC POLYVINYLCHLORIDE</td> </tr> <tr> <td>DIAG DIAGONAL</td> <td>R RADIUS (OR) RISER</td> </tr> <tr> <td>DS DOWNSPOUT</td> <td>R/A RETURN AIR</td> </tr> <tr> <td>DTL DETAIL</td> <td>REBAR STEEL REINF. BAR</td> </tr> <tr> <td>DWR DRAWER</td> <td>REFR. REFRIGERATOR</td> </tr> <tr> <td>EJ EXPANSION JOINT</td> <td>SF SQUARE FOOT (FEET)</td> </tr> <tr> <td>EL ELEVATION</td> <td>SS STAINLESS STEEL</td> </tr> <tr> <td>ELEC ELECTRIC</td> <td>SPEC SPECIFICATION</td> </tr> <tr> <td>EQ EQUAL</td> <td>T TREAD(S)</td> </tr> <tr> <td>EXH EXHAUST</td> <td>TYP TYPICAL</td> </tr> <tr> <td>FV FIELD VERIFY</td> <td>UNO UNLESS NOTED OTHERWISE</td> </tr> <tr> <td>GALV GALVANIZED</td> <td>VCT VINYL COMPOSITION TILE</td> </tr> <tr> <td>GI GALVANIZED IRON</td> <td>VERT VERTICAL</td> </tr> <tr> <td>HORZ HORIZONTAL</td> <td>WD WOOD</td> </tr> <tr> <td>HDW HARDWARE</td> <td>WFW WELDED WIRE FABRIC</td> </tr> <tr> <td>HVAC HEATING VENTILATING & AIR CONDITIONING</td> <td>WH WATER HEATER</td> </tr> <tr> <td>FCC FACE OF CONCRETE</td> <td>W/O WITHOUT</td> </tr> <tr> <td>FOS FACE OF STUD</td> <td></td> </tr> <tr> <td>FIN FINISH</td> <td></td> </tr> <tr> <td>FE FIRE EXTINGUISHER</td> <td></td> </tr> <tr> <td>FND FOUNDATION</td> <td></td> </tr> <tr> <td>FTG FOOTING</td> <td></td> </tr> <tr> <td>ID INSIDE DIAMETER</td> <td></td> </tr> <tr> <td>MAX MAXIMUM</td> <td></td> </tr> </table>	AB ANCHOR BOLT	MIN MINIMUM	ABC AGGREGATE BASE COURSE	NTS NOT TO SCALE	A/C AIR CONDITIONING	OA OVERALL	BLKG BLOCKING	OC ON CENTER	BUR BILT UP ROOF	OD OUTSIDE DIAMETER	CAB CABINET	PCF POUNDS PER CUBIC FOOT	CER CERAMIC	PL PROPETRY LINE	CL CENTER LINE	PLAM PLASTIC LAMINATE	CLG CEILING	PLF POUNDS PER LINEAL FOOT	CMU CONCRETE MASONRY UNIT	PNL PANEL	COL COLUMN	PT CCA PRESSURE TREATED	CONC CONCRETE	PT POINT	DBL DOUBLE	PVC POLYVINYLCHLORIDE	DIAG DIAGONAL	R RADIUS (OR) RISER	DS DOWNSPOUT	R/A RETURN AIR	DTL DETAIL	REBAR STEEL REINF. 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A8</p> <p>INDICATES # OF ELEVATION</p> <p style="text-align: center;">WALL ELEVATION INDICATOR</p> <p>(SHOWN WITHIN ROOM ON PLAN)</p> <p>FIRST # INDICATES FLOOR</p> <p style="text-align: center;">ROOM NUMBER INDICATOR</p> <p>(SHOWN BESIDE OR UNDER ROOM NAME)</p> <p>NUMBERS → 23 LETTERS → A</p> <p style="text-align: center;">DOOR OPENING INDICATOR</p> <p>(EACH OPENING SCHEDULED SEPARATELY)</p> <p style="text-align: center;">WINDOW INDICATOR</p> <p>(EACH WINDOW TYPE & SIZE SCHEDULED)</p> <p>NUMBER FOR DETAIL DESIGNATION SHEET WHERE DETAIL IS SHOWN</p> <p>LETTERS → E</p> <p style="text-align: center;">PARTITION/WALL TYPE INDICATOR</p> <p>(COMMERCIAL & INSTITUTIONAL PROJECTS)</p> <p style="text-align: center;">STOREFRONT DETAIL INDICATOR</p> <p>(EACH STOREFRONT TYPE & SIZE DETAILED)</p>	<p style="text-align: center;">MATERIAL DESIGNATIONS</p> <p>CONCRETE MASONRY UNITS IN PLAN</p> <p>CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN</p> <p>METAL IN ELEVATION</p> <p>METAL IN SECTION</p> <p>FINISH WOOD IN ELEV. & IN SECTION</p> <p>DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p>WOOD BLOCKING IN SECTION (DISCONTINUOUS)</p> <p>GYPSON WALL BOARD IN SECTION (LARGE SCALE)</p> <p>EARTH, NATURAL SUBSTRATE</p> <p>GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p>FIBERGLASS BATT INSULATION</p> <p>RIGID INSULATION</p> <p style="text-align: center;">PARTITIONS & WALLS</p> <p>CONCRETE MASONRY UNITS</p> <p>POURED CONCRETE</p> <p>WOOD FRAME</p> <p>METAL STUDS</p> <p>EXISTING CONSTRUCTION TO REMAIN</p> <p>EXISTING CONSTRUCTION TO BE DEMOLISHED</p>
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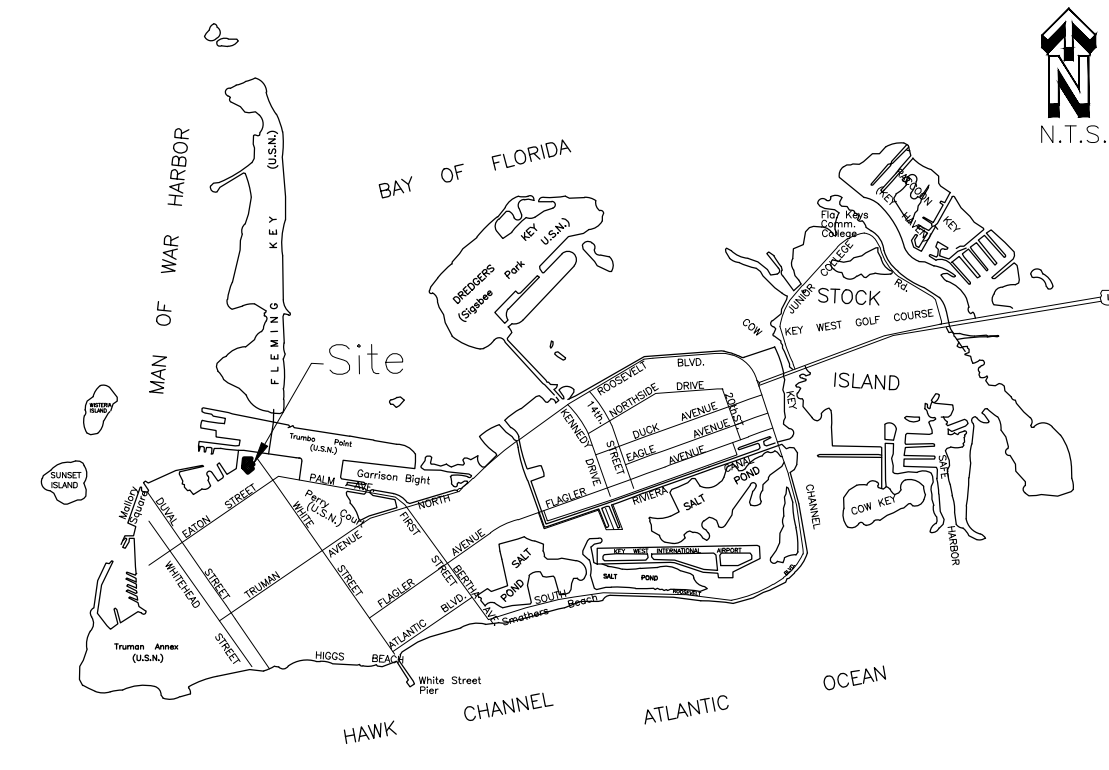
KEYS ENERGY SERVICES
 1001 JAMES STREET
 Key West, Florida 33040

410 Angela Street
 Key West, Florida 33040
 Telephone (305) 296-1347
 Facsimile (305) 296-2737
 Florida License AAC002022

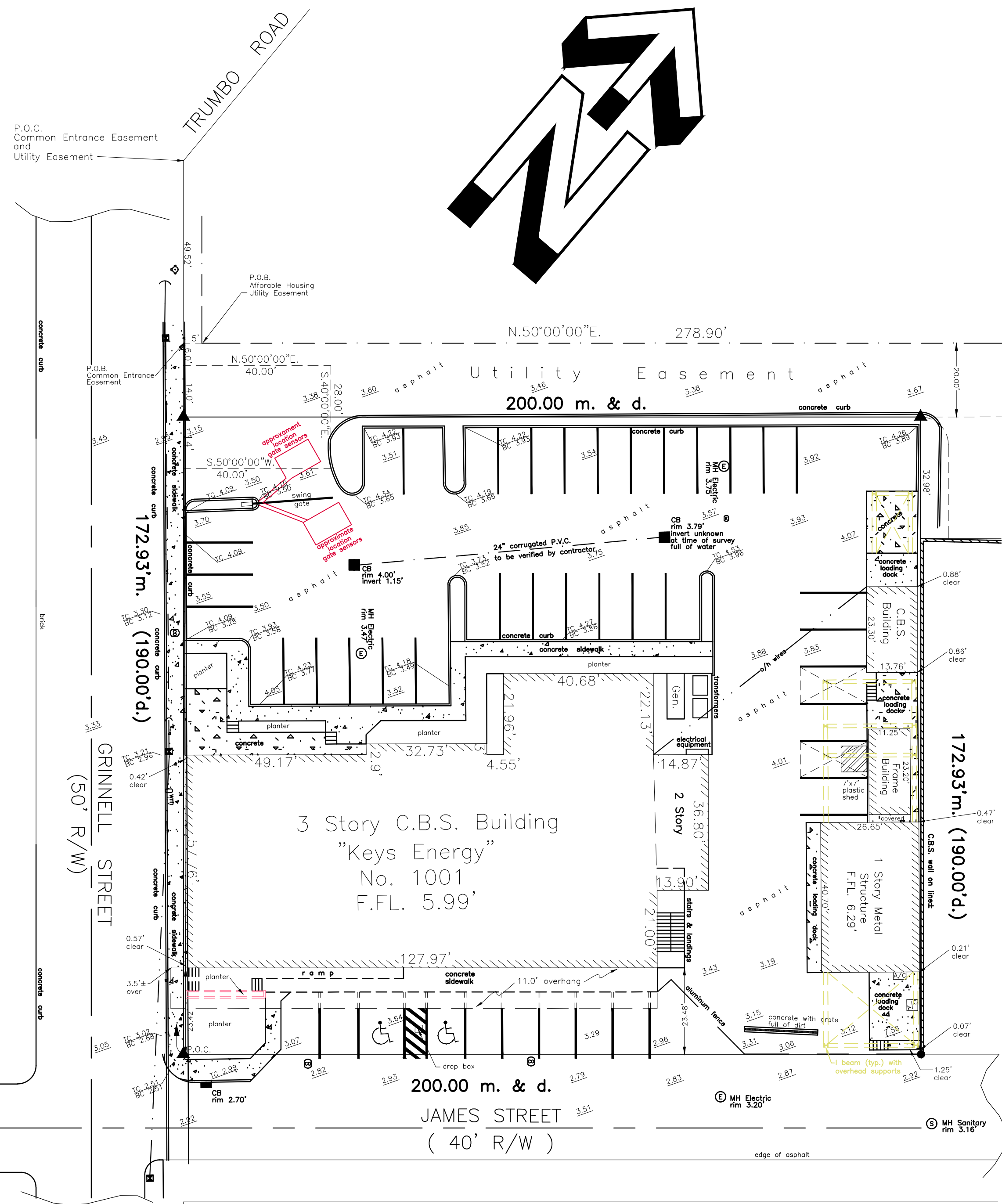
Bender & Associates
 ARCHITECTS
 p.c.

Project No: 1310
 SITE MAP
 PROJECT DIRECTORY
 GENERAL NOTES
 ABBREVIATIONS
 SHEET INDEX
 SYMBOL LEGEND
 Date: 8/01/14

A.0



LOCATION MAP
City of Key West and Stock Island



LEGAL DESCRIPTION:

A parcel of land in Square 19 and/or in the filled land contiguous to the Northerly and Northwesterly boundary of said Square 19, on the Island of Key West, Florida according to the William A. Whitehead's map of said Island and being more particularly described by metes and bounds as follows:
Commencing at the intersection of the Northwesterly property line of James Street and the Northeasterly property line of Grinnell Street, said intersection also to be known as the Point of Beginning of the parcel of land hereinafter described, bear Northwesterly along the Northeasterly property line of Grinnell Street for a distance of 190 feet to a point; thence at right angles and Northeasterly and parallel with the Northwesterly property line of James Street for a distance of 200 feet to a point; thence at right angles and Southeasterly and parallel with the Northeasterly property line of Grinnell Street for a distance of 190 feet to a point on the Northwesterly property line of James Street; thence at right angles and Southwesterly along the Northwesterly property line of James Street for a distance of 200 feet, back to the Point of Beginning; subject to an encroachment of 9 inches along the Northwesterly boundary of this Parcel No.1.

LEGAL DESCRIPTION: (Utility Easement)

On the Island of Key West, Monroe County, Florida and being more particularly described as follows:
Commencing at the intersection of the Easterly Right-of-Way Line of Trumbo Road and the Northeasterly Right-of-Way Line of Grinnell Street; thence S.40°00'00"E., along the said Northeasterly Right-of-Way line of Grinnell Street a distance of 49.52 feet to the Point of Beginning; thence N.50°00'00"E., a distance of 283.90 feet to a point on a curve to the left, having: a radius of 7.15 feet, a central angle of 84°24'47", a chord bearing of S.83°08'39"E., and a chord length of 9.61 feet; thence along the arc of said curve, an arc length of 10.53 feet to the point of tangency of said curve; thence N.54°38'57"E., a distance of 71.76 feet; thence N.65°38'21"E., a distance of 52.30 feet to the point of curvature of a curve to the left, having: a radius of 25.00 feet, a central angle of 15°40'21", a chord bearing of N.57°48'10"E., and a chord length of 6.82 feet; thence along the arc of said curve, an arc length of 6.84 feet to the point of tangency of said curve; thence N.49°58'00"E., a distance of 159.26 feet to a point on a curve to the right, having: a radius of 25.00 feet, a central angle of 90°00'00", a chord bearing of S.04°58'00"W, and a chord length of 35.36 feet; thence along the arc of said curve, an arc length of 39.27 feet to the point of tangency of said curve; thence S.49°58'00"W., a distance of 126.60 feet to the point of curvature of a curve to the right, having: a radius of 25.00 feet, a central angle of 15°40'21", a chord bearing of S.57°48'10"W, and a chord length of 6.82 feet; thence along the arc of said curve, an arc length of 6.84 feet to the point of tangency of said curve; thence S.65°38'21"W., a distance of 64.32 feet; thence S.54°38'57"W., a distance of 14.99 feet to the point of curvature of a curve to the left, having: a radius of 7.50 feet, a central angle of 94°40'57", a chord bearing of S.07°18'29"W, and a chord length of 11.03 feet; thence along the arc of said curve, an arc length of 12.39 feet to the point of tangency of said curve; thence S.40°02'00"E., a distance of 12.05 feet; thence S.49°58'00"W., a distance of 127.50 feet; thence N.40°02'00"W., a distance of 25.48 feet to the point of curvature of a curve to the left, having: a radius of 7.50 feet, a central angle of 89°58'00", a chord bearing of N.85°01'00"W, and a chord length of 10.60 feet; thence along the arc of said curve, an arc length of 11.78 feet to the point of tangency of said curve; thence S.50°00'00"W., a distance of 200.04 feet to the said Northeasterly Right-of-Way Line of Grinnell Street; thence N.40°00'00"W., along the said Northeasterly Right-of-Way Line of Grinnell Street a distance of 20.00 feet to the Point of Beginning.
Parcel contains 16247 square feet or 0.37 acres, more or less.

LEGAL DESCRIPTION: (Common Entrance Easement):

On the Island of Key West, Monroe County, Florida and being more particularly described as follows:
Commencing at the intersection of the Easterly Right-of-Way Line of Trumbo Road and the Northeasterly Right-of-Way Line of Grinnell Street; thence S.40°00'00"E., along the said Northeasterly Right-of-Way Line of Grinnell Street a distance of 55.52 feet to the Point of Beginning; thence N.50°00'00"E., a distance of 40.00 feet; thence S.40°00'00"E., a distance of 28.00 feet; thence S.50°00'00"W., a distance of 40.00 feet to the said Northeasterly Right-of-Way Line of Grinnell Street; thence N.40°00'00"W., a distance of 28.00 feet to the Point of Beginning.
Parcel contains 1120 square feet or 0.03 acres, more or less.

LEGEND			
A/C	Air Conditioner	LB	Licensed Business Number
BAL	Balcony	M	Measured
BM	Bench Mark	N.T.S.	Not To Scale
CB	Catch Basin	O.R.	Official Records
C	Center Line	OH	Over Head
CO	Clean Out	P	Plat
CONC	Concrete	PB	Plat Book
C.B.S.	Concrete Block Stucco	P.O.B.	Point Of Beginning
CUP	Concrete Utility Pole	P.O.C.	Point Of Commence
COVD	Covered	R/W	Right Of Way
D	Deed	SIB	Set Iron Bar
ELEV	Elevation	SIP	Set Iron Pipe
F.F.L.	Finished Floor Elevation	SPK	Set Nail And Disc
FD	Found	STY	Story
FIB	Found Iron Bar	UP	Utility Pole
FIP	Found Iron Pipe	WM	Water Meter
INV	Invert	WV	Water Valve
IRR	Irregular		
SYMBOLS			
■	Concrete Utility Pole	☆	Street Light
⊙	Sanitary Sewer Clean Out	⊙	Wood Utility Pole
⊕	Fire Hydrant	⊕	Electric Junction Box

- Monumentation:
- ◆ = set 1/2" Iron Pipe, P.L.S. No. 2749
 - = Found 1/2" Iron Pipe
 - ⊙ = Found 1/2" Iron Bar
 - ⊕ = Set P.K. Nail, P.L.S. No. 2749
 - ▲ = Found P.K. Nail

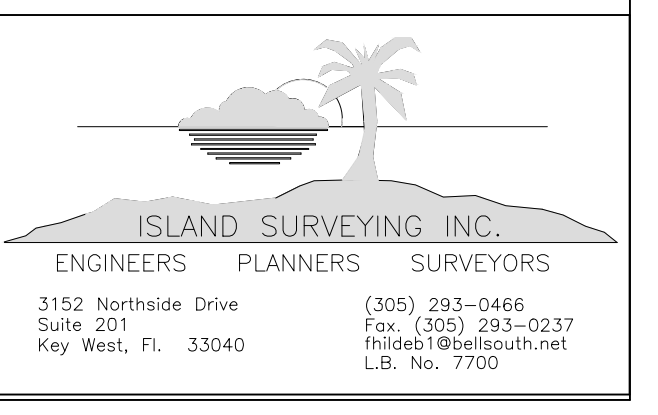
SURVEYOR'S NOTES:
North arrow based on plat assumed median
Reference Bearing: R/W Grinnell Street
3.4 denotes existing elevation
Elevations based on N.G.V.D., 1929 Datum
Bench Mark No.: D-121 Elevation: 3.914
Field Work performed on: 1/23/14
All angles 90°00'00" unless otherwise described
TC = top of curve
BC = bottom of curve

CERTIFICATION:
I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

Utility Board of the City of Key West 1001 James Streets, Key West, Fl.			
BOUNDARY SURVEY		Dwn No.: 14-211	
Scale: 1"=20'	Ref. File: 120-22	Flood panel No.: 1516.2	Den. By: F.H.H.
Date: 4/29/14	File: AE	Flood Zone:	Flood Elev.:
REVISIONS AND/OR ADDITIONS			
ISLAND SURVEYING INC. ENGINEERS PLANNERS SURVEYORS 3152 Northside Drive Suite 201 Key West, Fl. 33040 (305) 293-0466 Fax: (305) 293-0237 hildeb1@earthlink.net L.B. No. 7700			



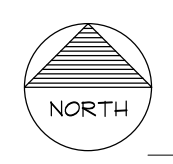
KEYS ENERGY SERVICES
1001 JAMES STREET
Key West, Florida 33040

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Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.c.

Project No: 1810
SURVEY
Date: 8/01/14

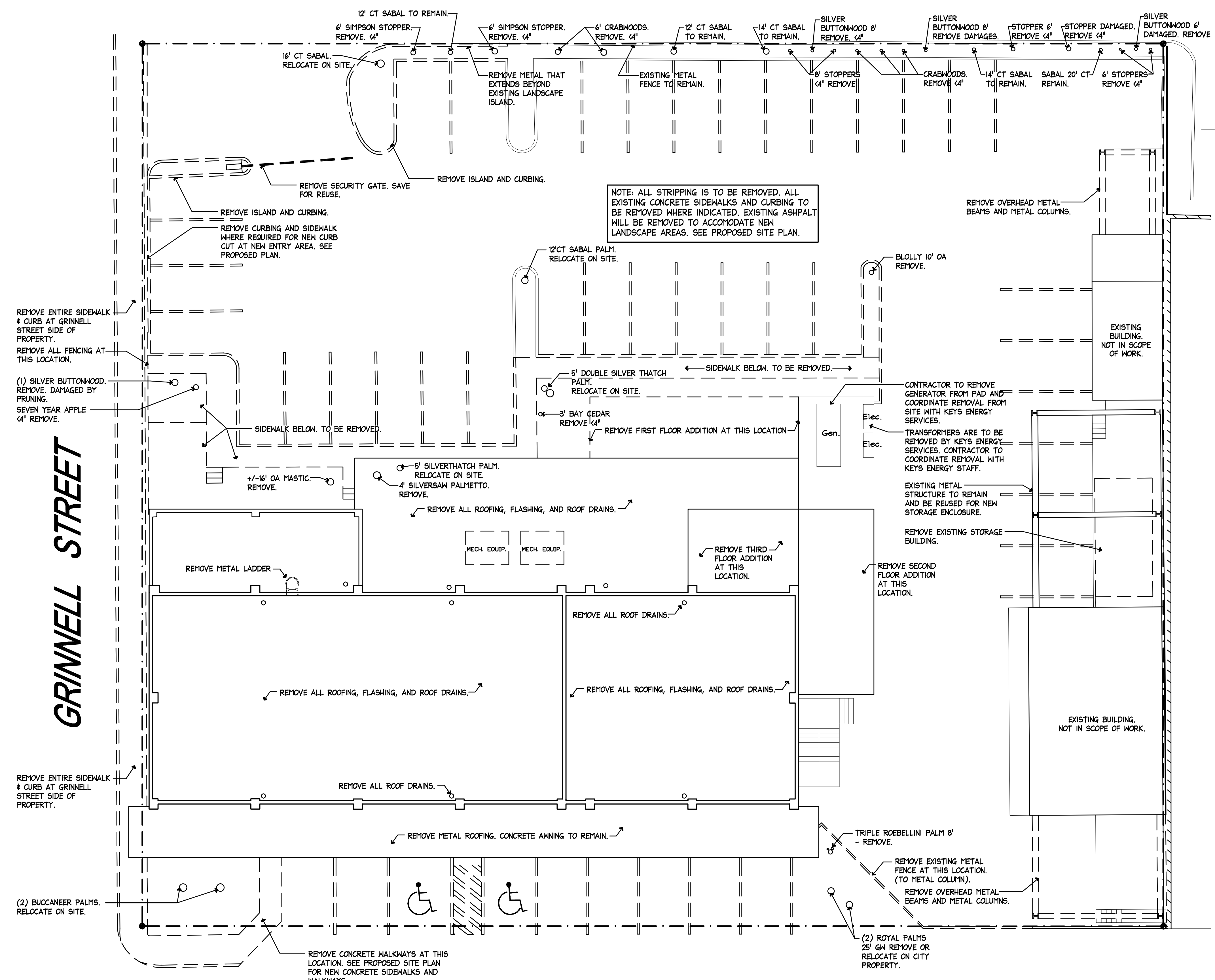
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 6. ASBESTOS ABATEMENT WILL BE REQUIRED FOR THIS PROJECT. REFER TO THE SPECIFICATIONS FOR 'EE&G ENVIRONMENTAL SERVICES' LIMITED ASBESTOS PRE-RENOVATION INSPECTION REPORT.

DEMOLITION NOTES

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- Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.



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 p.a.

Project No: 1910
 DEMOLITION PLANS
 Date: 8/01/14

A2.1

1 DEMOLITION SITE PLAN
 A2.1 SCALE: 1/8"=1'-0"



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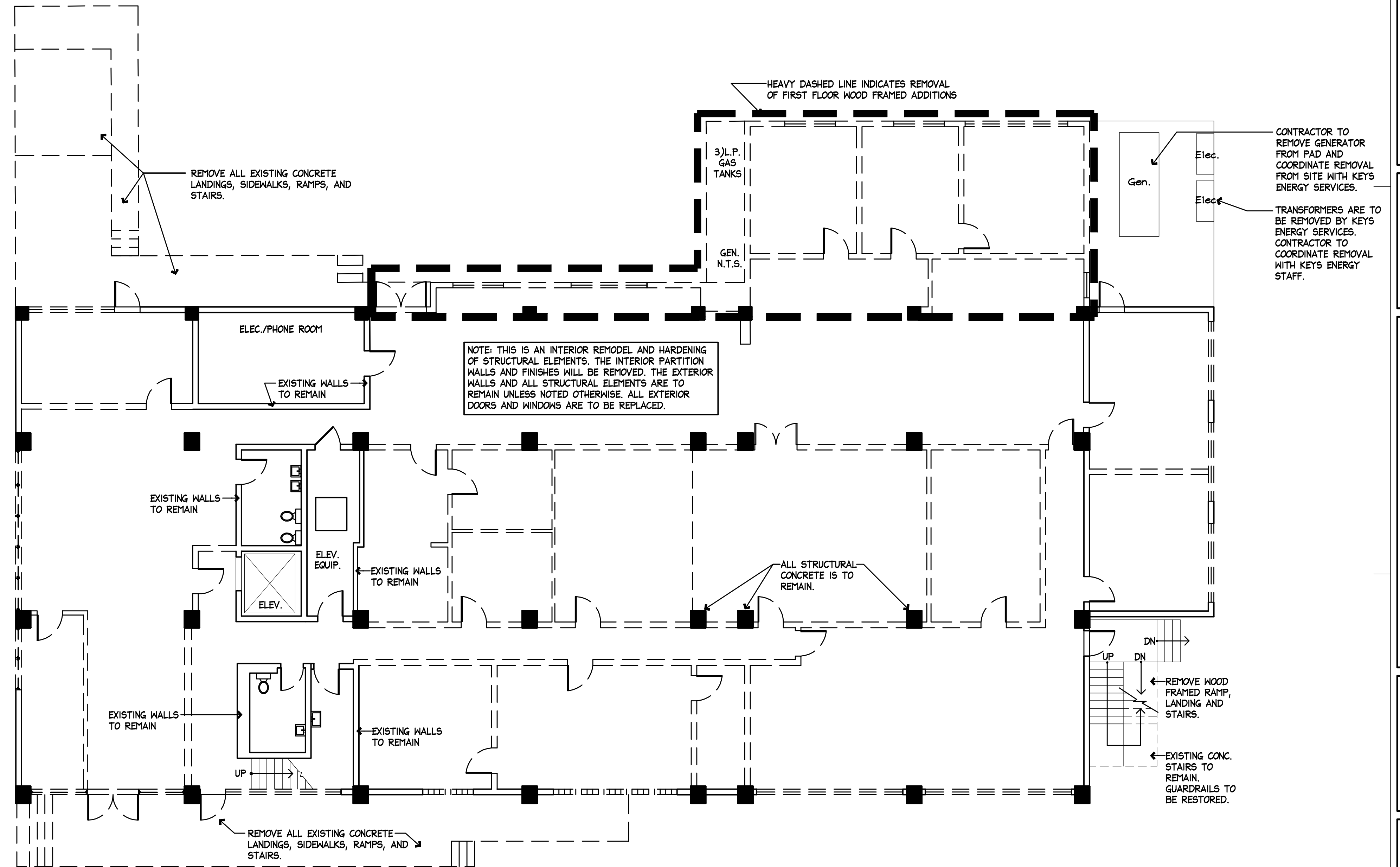
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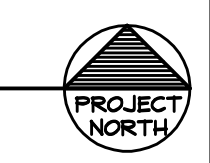
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 p.a.

Project No: 1310
 DEMOLITION PLAN
 Date: 8/01/14

A2.2



1 DEMOLITION PLAN: FIRST FLOOR
 A2.2 SCALE: 1/8"=1'-0"

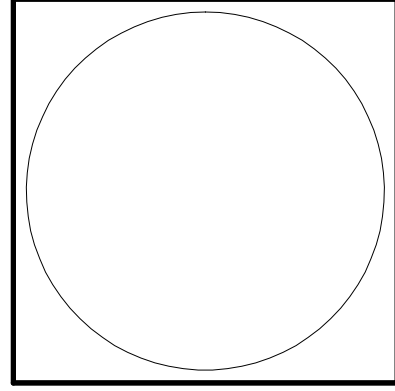


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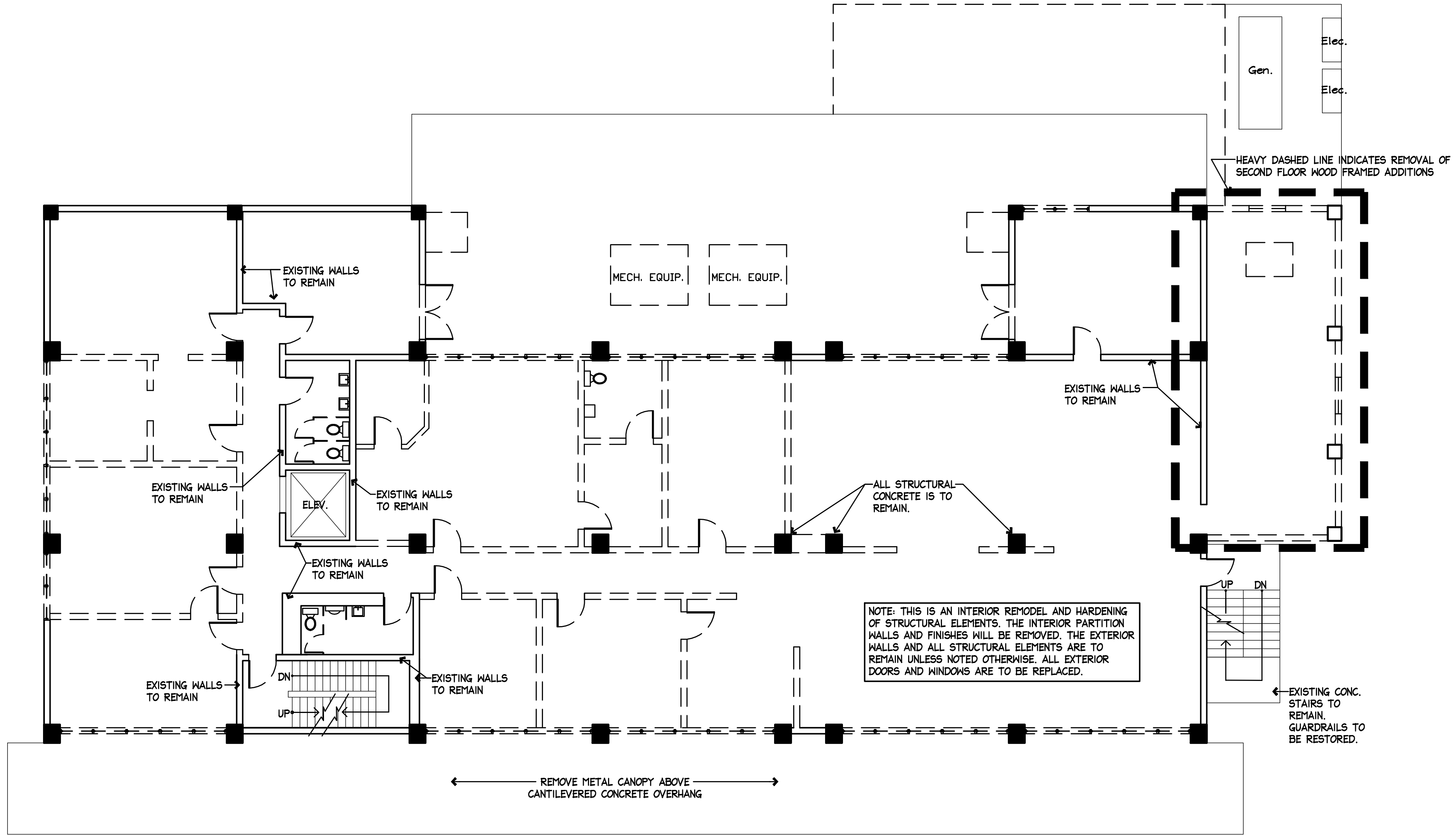


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Project No: 1310
 DEMOLITION PLANS
 Date: 8/01/14

A2.3



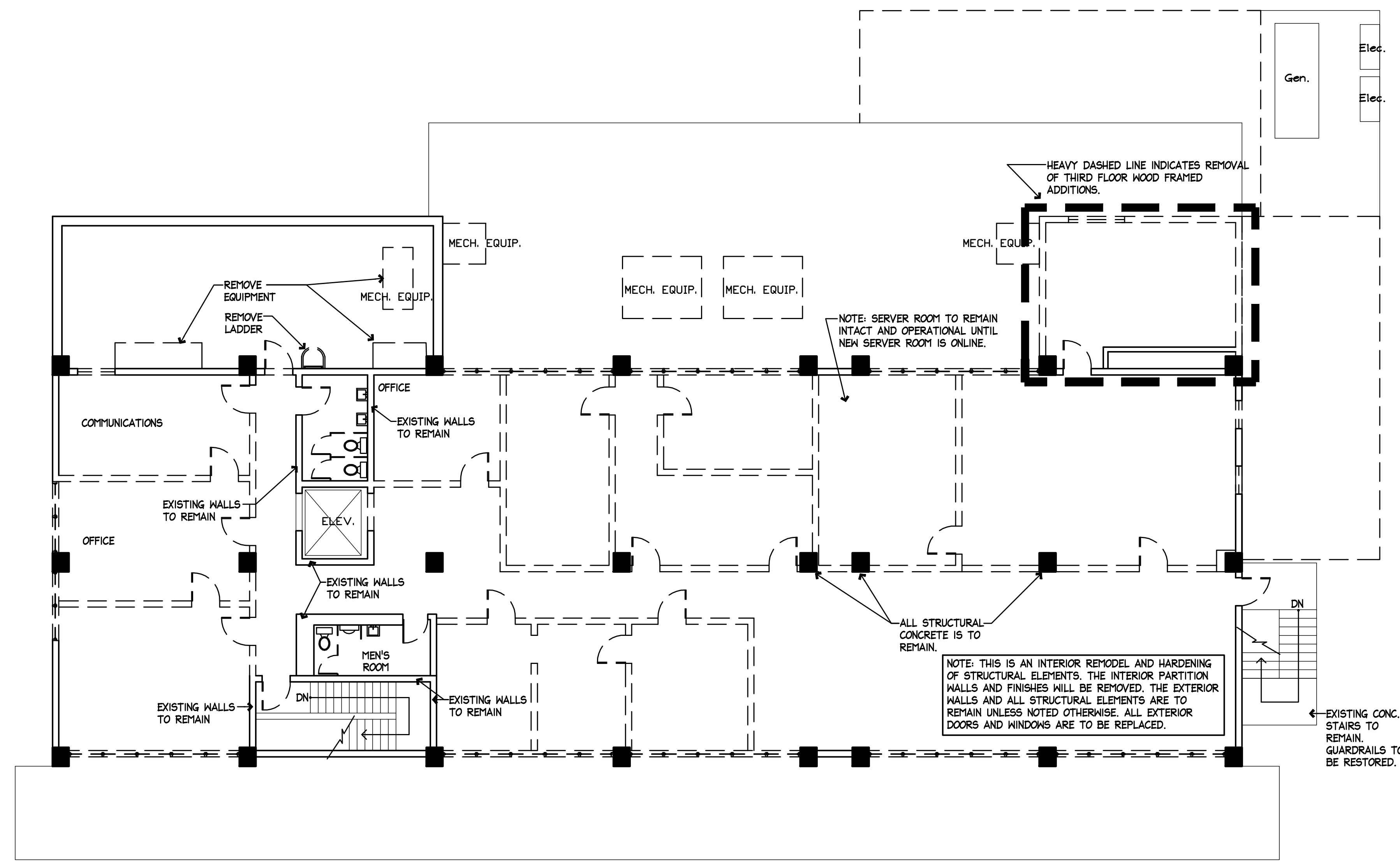
1 DEMOLITION PLAN: SECOND FLOOR
 A2.3 SCALE: 1/8"=1'-0"



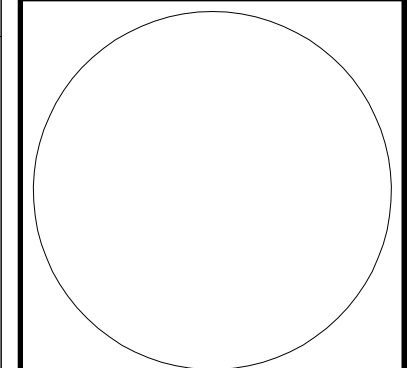
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Project No: 1310
 DEMOLITION PLANS
 Date: 8/01/14

A2.4

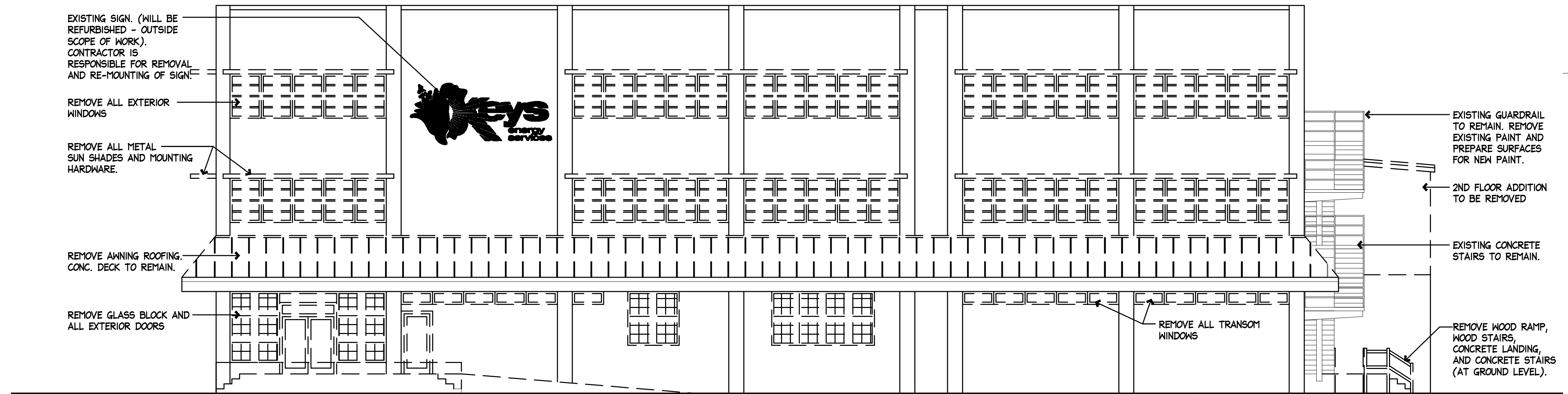
1 DEMOLITION PLAN: THIRD FLOOR
 A2.4 SCALE: 1/8"=1'-0"



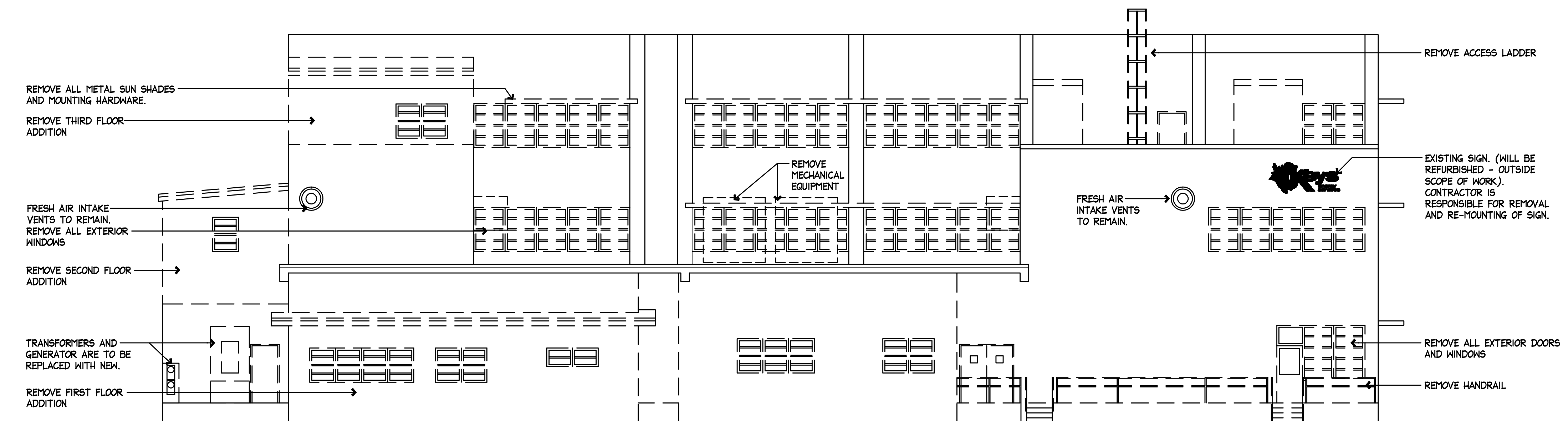
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1 DEMOLITION PLAN: SOUTH ELEVATION
 A2.5 SCALE: 1/8"=1'-0"



2 DEMOLITION PLAN: NORTH ELEVATION
 A2.5 SCALE: 1/8"=1'-0"

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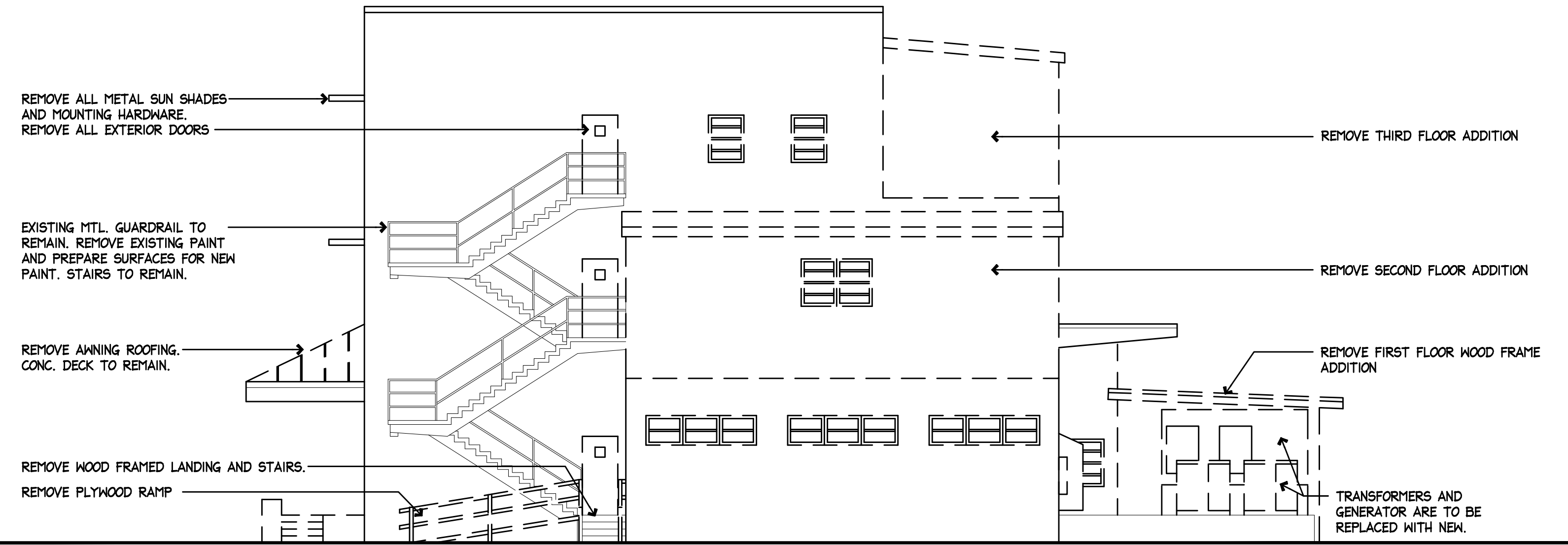
Project No: 1310
 DEMOLITION ELEVATIONS
 Date: 8/01/14

A2.5

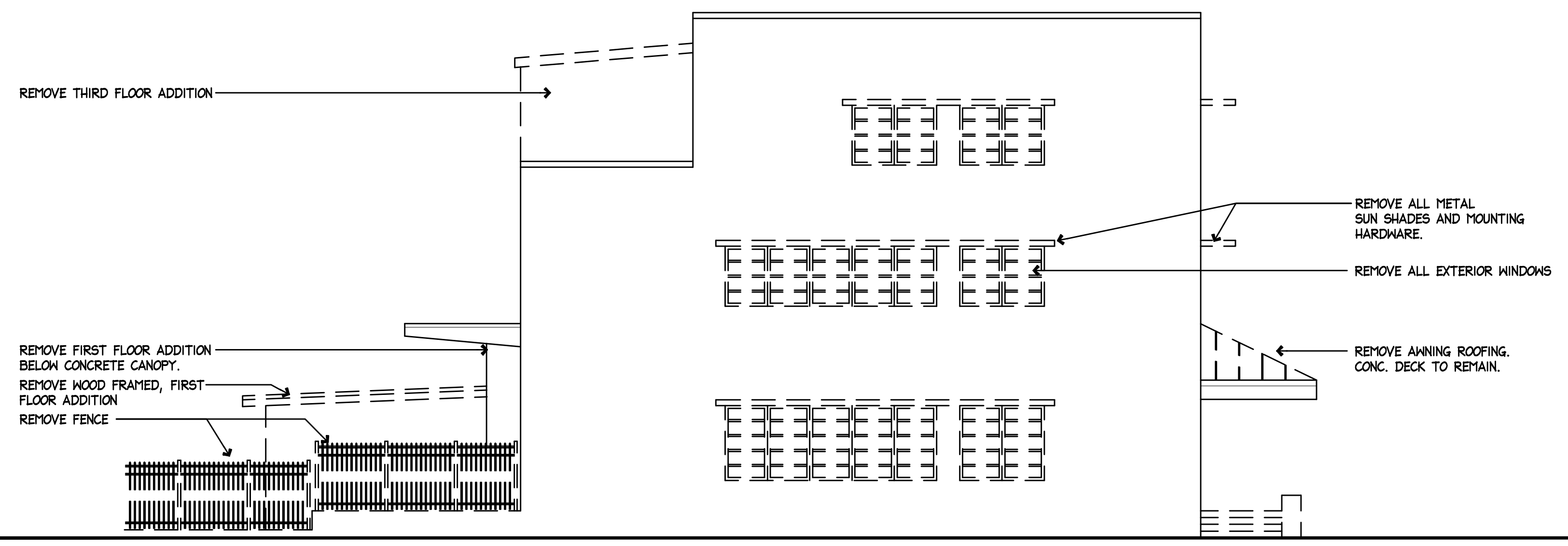
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2 DEMOLITION PLAN: EAST ELEVATION
 A2.6 SCALE: 1/8"=1'-0"



2 DEMOLITION PLAN: WEST ELEVATION
 A2.6 SCALE: 1/8"=1'-0"

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Project No: 1310
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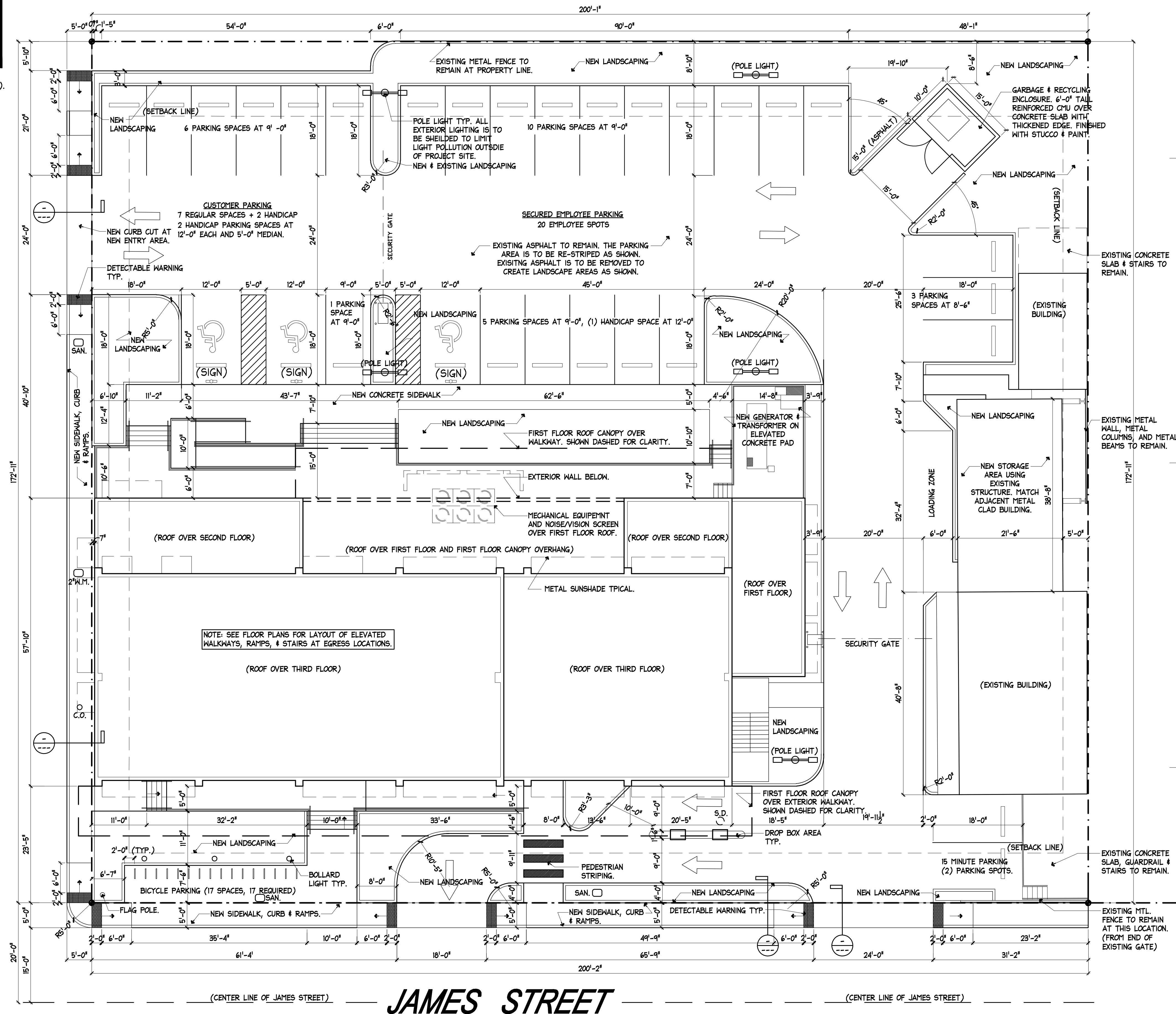
A2.6

PROJECT STATISTICS			
FEMA FLOOD ZONE	ZONE 'AE(7)' EXISTING FINISHED FLOOR: 6'-0" ABV. MSL.		
ZONING DESIGNATION	HRCC-2		
LOT SIZE	34,600 S.F.		
NO. OF UNITS	1 BUILDING UNDER SCOPE, 3 BUILDINGS ON SITE		
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE	17,300 S.F. MAX.	13,600 S.F.	13,725 S.F.
34,600 S.F. X 50%			
BUILDING HEIGHT	35'-0" MAX.	43'-11" (EXISTING)	43'-11" (EXISTING)
IMPERVIOUS SURFACE	20,760 S.F. MAX.	33,215 S.F.	30,050 S.F.
34,600 S.F. X 60%			
FLOOR AREA	17,300 S.F. (FAR)	21,400 S.F.	20,490 S.F.
FRONT SETBACK	10'-0" MIN.	12'-6"	12'-6"
STREET SIDE SETBACK	7'-6" MIN.	0'-5" (3'-4" OVER AT ROOF CANOPY & SHADE STRUCTURES)	0'-5" (3'-4" OVER AT ROOF CANOPY & SHADE STRUCTURES)
SIDE SETBACK	5'-0" MIN.	2'-1/2" TO ACCESSORY STRUCTURE 56'-10" TO MAIN BUILDING	2'-1/2" TO ACCESSORY STRUCTURE 56'-10" TO MAIN BUILDING
REAR SETBACK	15'-0" MIN.	68'-8"	68'-8"
PARKING SPACES	65	44 PLUS 50 AT ADJACENT PARKING GARAGE	30 PLUS 50 AT ADJACENT PARKING GARAGE
FLOOR AREA & RATIO	.50	.62	.56
OPEN SPACE AREA & RATIO	6,920 S.F. (20%)	1,380 S.F. (4%)	4,600 S.F. (14%)

NOTE: EXISTING FINISH FLOOR ELEVATION IS AT 6'-0" ABOVE MEAN SEA LEVEL. THE PROPOSED RENOVATION OF THE BUILDING INCLUDES FLOOD PROOFING MEASURES TO 10'-6" ABOVE MEAN SEA LEVEL (3'-6" ABOVE BASE FLOOD ELEVATION).

HARC SUBMITTAL

GRINNELL STREET



JAMES STREET

KEYS ENERGY SERVICES
1001 JAMES STREET
Key West, Florida 33040

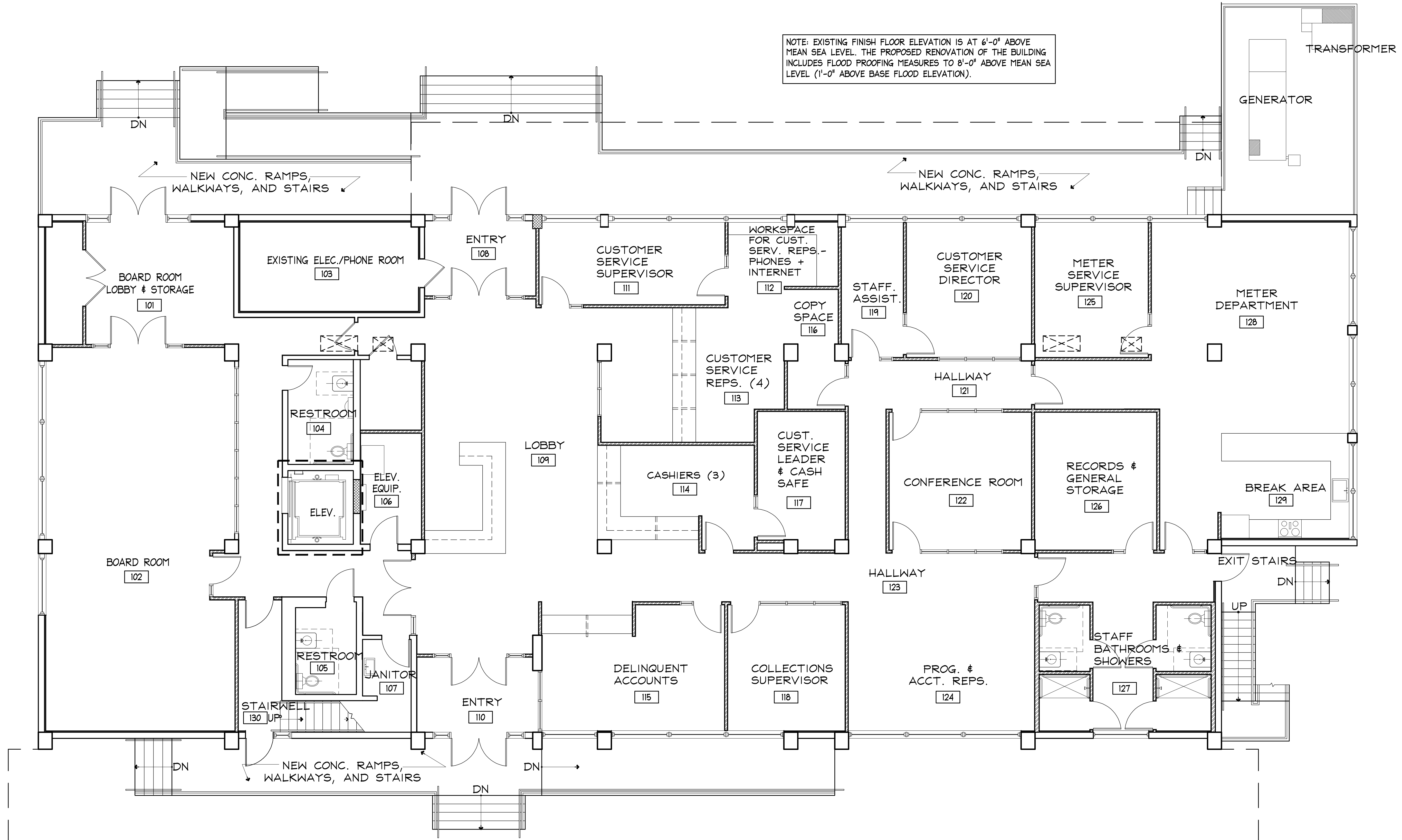
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Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
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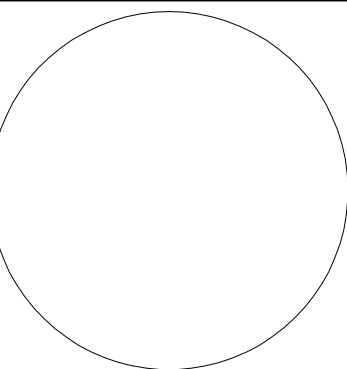
Project No: 1310
SITEPLAN
Date: 8/01/14

A1.1

NOTE: EXISTING FINISH FLOOR ELEVATION IS AT 6'-0" ABOVE MEAN SEA LEVEL. THE PROPOSED RENOVATION OF THE BUILDING INCLUDES FLOOD PROOFING MEASURES TO 8'-0" ABOVE MEAN SEA LEVEL (1'-0" ABOVE BASE FLOOD ELEVATION).



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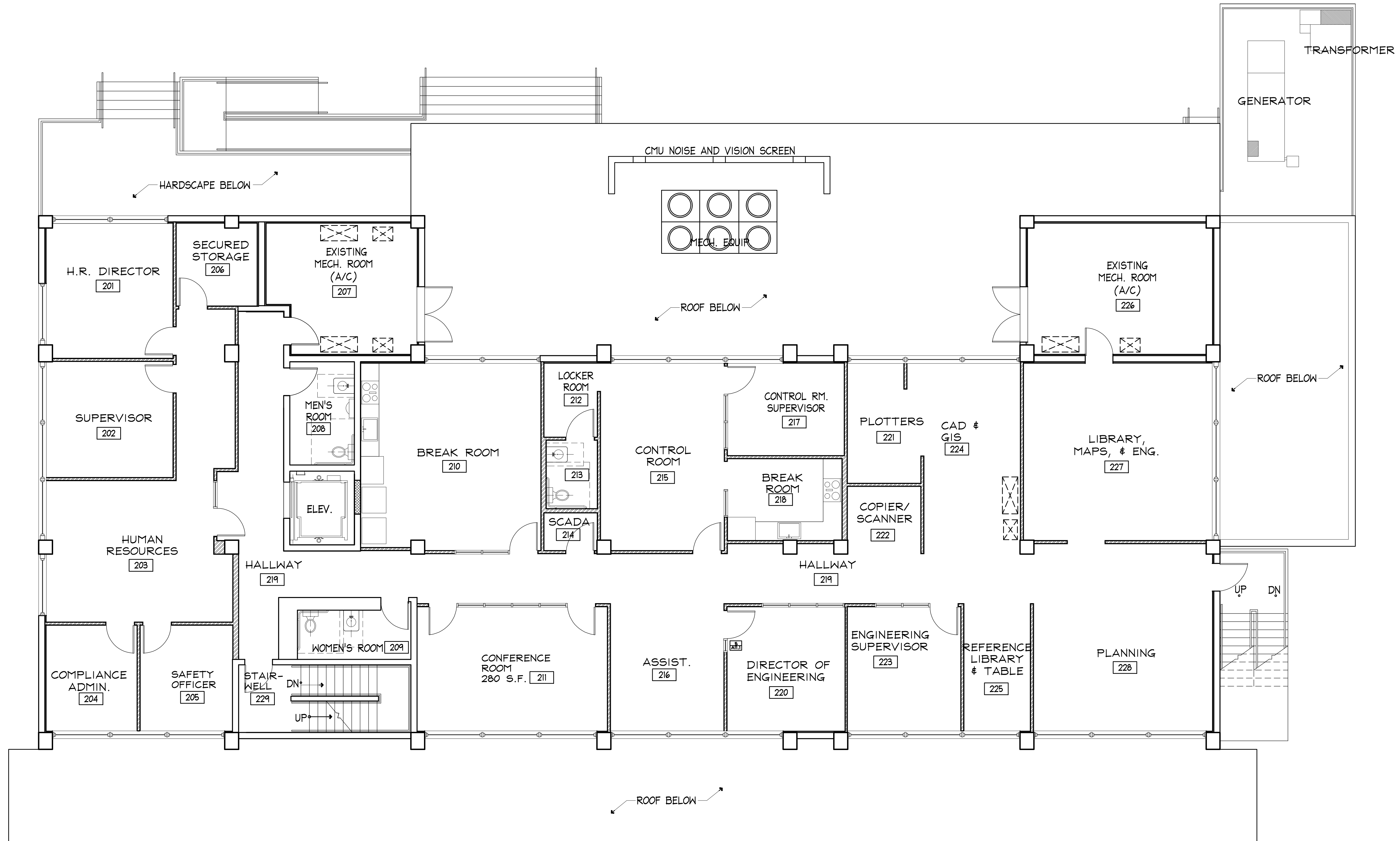
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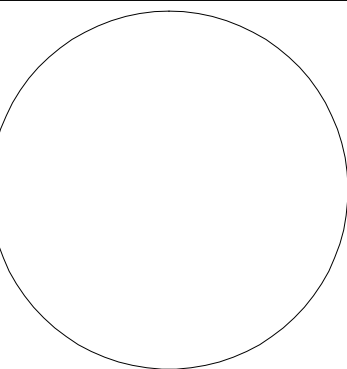
Project No: 1310
FIRST FLOOR PLAN
Date: 8/01/14

A3.1





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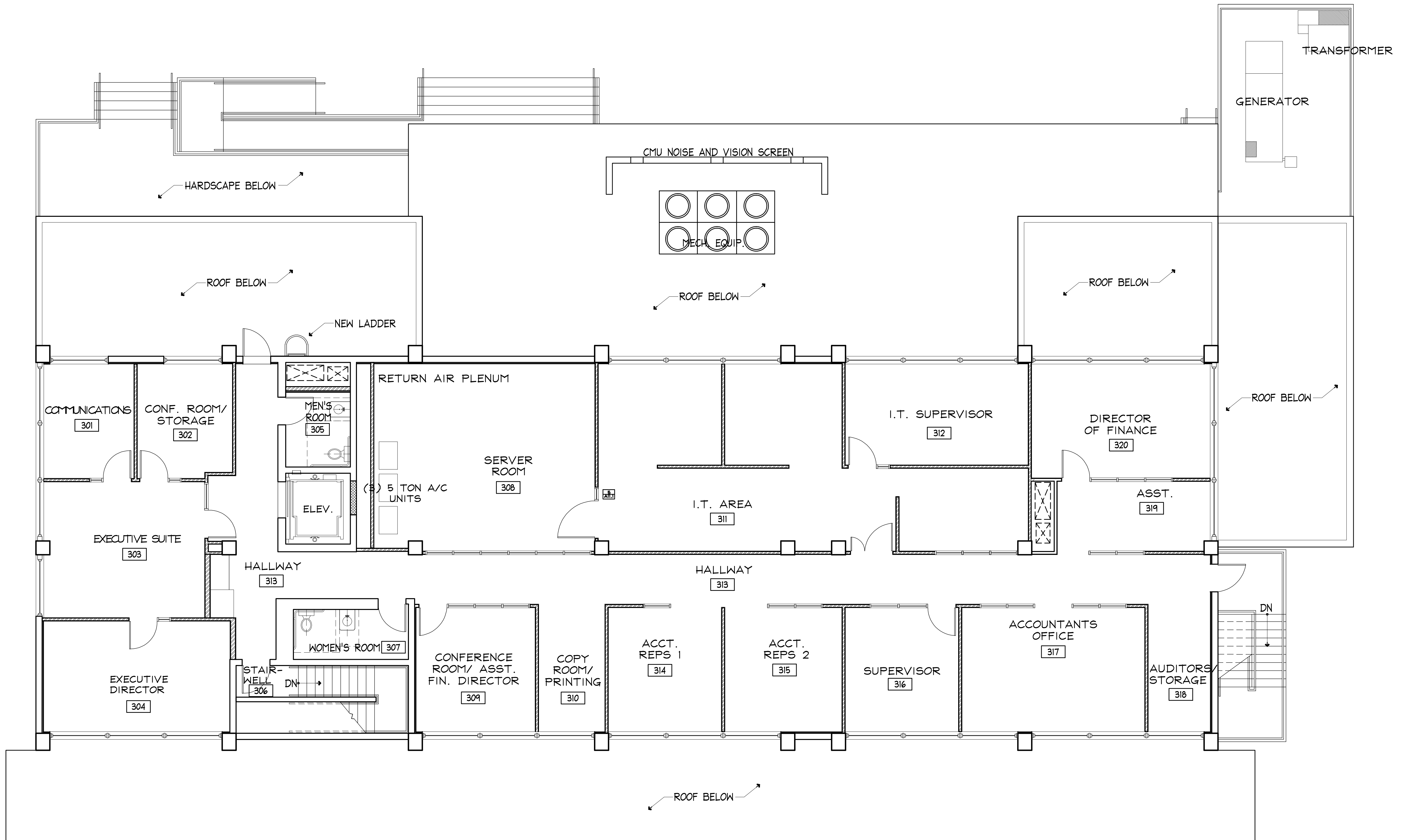
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Project No: 1310
 SECOND FLOOR PLAN
 Date: 8/01/14

A3.2





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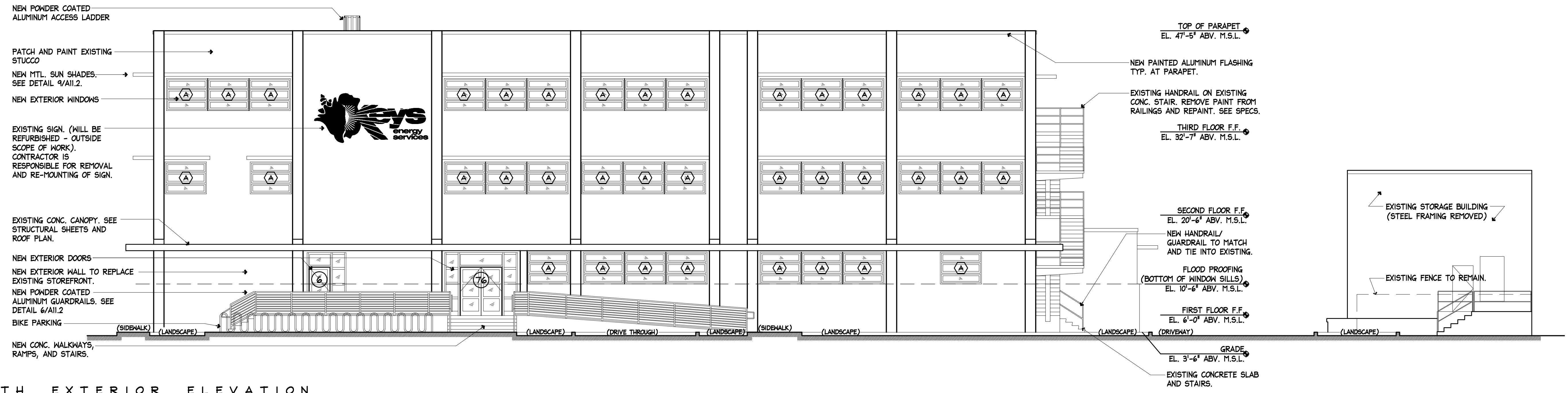
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Project No: 1310
 THIRD FLOOR PLAN
 Date: 8/01/14

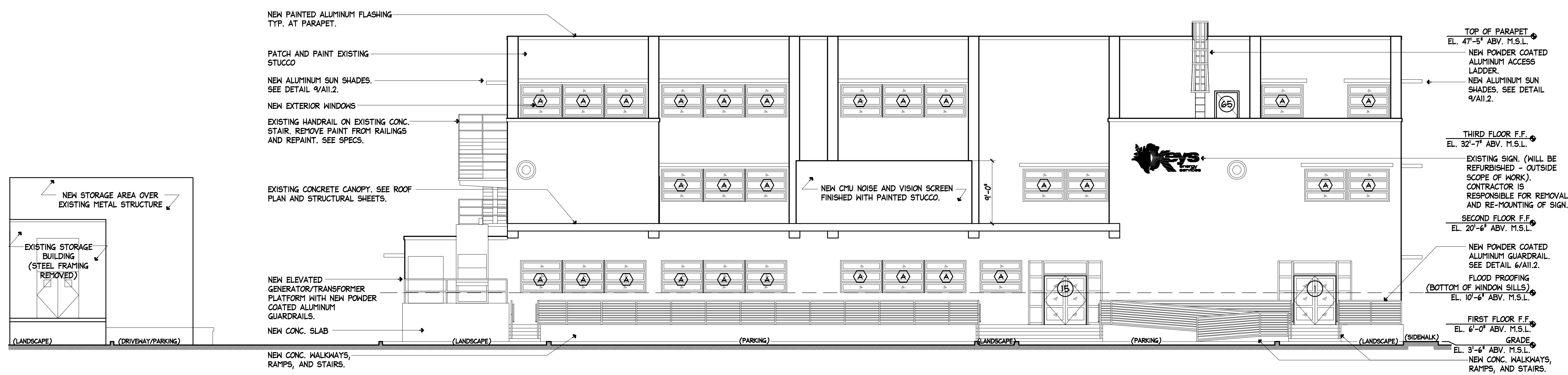
A3.3



GENERAL EXTERIOR ELEVATION NOTE:
 - THE EXTERIOR WALLS OF THE EXISTING BUILDING ARE TO BE REINFORCED. SEE STRUCTURAL PLANS. ALL LOOSE AND DAMAGED STUCCO IS TO BE REMOVED. AFTER REINFORCING WORK IS COMPLETE THE EXTERIOR IS TO RECEIVE NEW STUCCO WHERE REQUIRED AND EXISTING STUCCO IS TO BE PATCHED WHERE REQUIRED. PREPARE ALL SURFACES, INCLUDING EXISTING STUCCO WHICH HAS NOT BEEN REMOVED, TO RECEIVE NEW STUCCO. AFTER STUCCO INSTALLATION THE BUILDING WILL RECEIVE NEW PAINT. SEE PAINT SPECIFICATIONS FOR APPROVED PRODUCTS. ALL RAILING, SUN SHADES, EXTERIOR WALLS, DOORS AND WINDOWS ARE TO BE PAINTED WHITE. ALL NEW DOORS AND WINDOWS ARE TO BE ALUMINUM IMPACT RESISTANT PRODUCTS MANUFACTURED BY CGI.



2 SOUTH EXTERIOR ELEVATION
 A6.1 SCALE: 1/8"=1'-0"



1 NORTH EXTERIOR ELEVATION
 A6.1 SCALE: 1/8"=1'-0"

KEYS ENERGY SERVICES
 1001 JAMES STREET
 Key West, Florida 33040

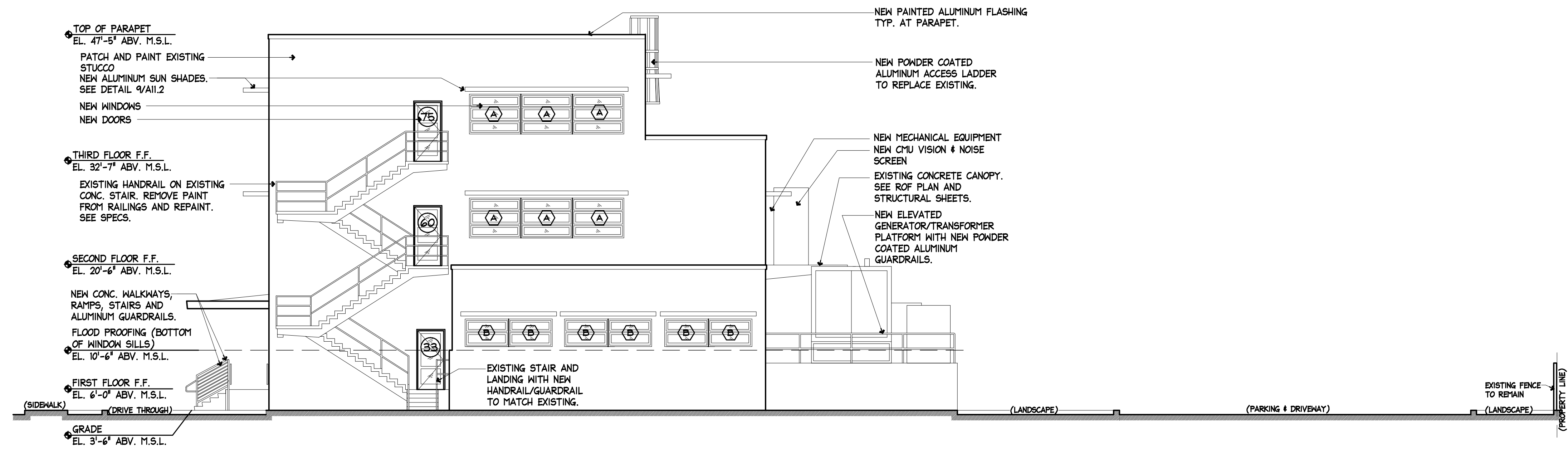
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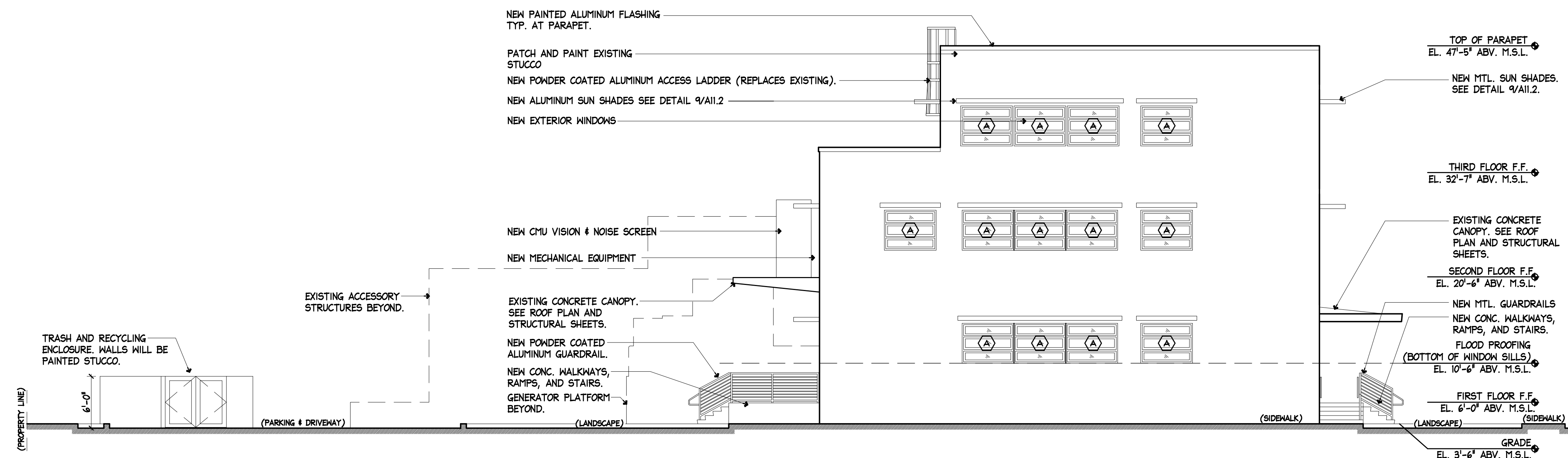
Project No: 1310
 EXTERIOR ELEVATIONS
 Date: 8/01/14

A6.1

GENERAL EXTERIOR ELEVATION NOTE:
 - THE EXTERIOR WALLS OF THE EXISTING BUILDING ARE TO BE REINFORCED, SEE STRUCTURAL PLANS. ALL LOOSE AND DAMAGED STUCCO IS TO BE REMOVED. AFTER REINFORCING WORK IS COMPLETE THE EXTERIOR IS TO RECEIVE NEW STUCCO WHERE REQUIRED AND EXISTING STUCCO IS TO BE PATCHED WHERE REQUIRED. PREPARE ALL SURFACES, INCLUDING EXISTING STUCCO WHICH HAS NOT BEEN REMOVED, TO RECEIVE NEW STUCCO. AFTER STUCCO INSTALLATION THE BUILDING WILL RECEIVE NEW PAINT. SEE PAINT SPECIFICATIONS FOR APPROVED PRODUCTS. ALL RAILING, SUN SHADES, EXTERIOR WALLS, DOORS, AND WINDOWS ARE TO BE PAINTED WHITE. ALL NEW DOORS AND WINDOWS ARE TO BE ALUMINUM IMPACT RESISTANT PRODUCTS MANUFACTURED BY CGI.



2 EAST EXTERIOR ELEVATION
 A6.2 SCALE: 1/8"=1'-0"



1 WEST EXTERIOR ELEVATION
 A6.2 SCALE: 1/8"=1'-0"

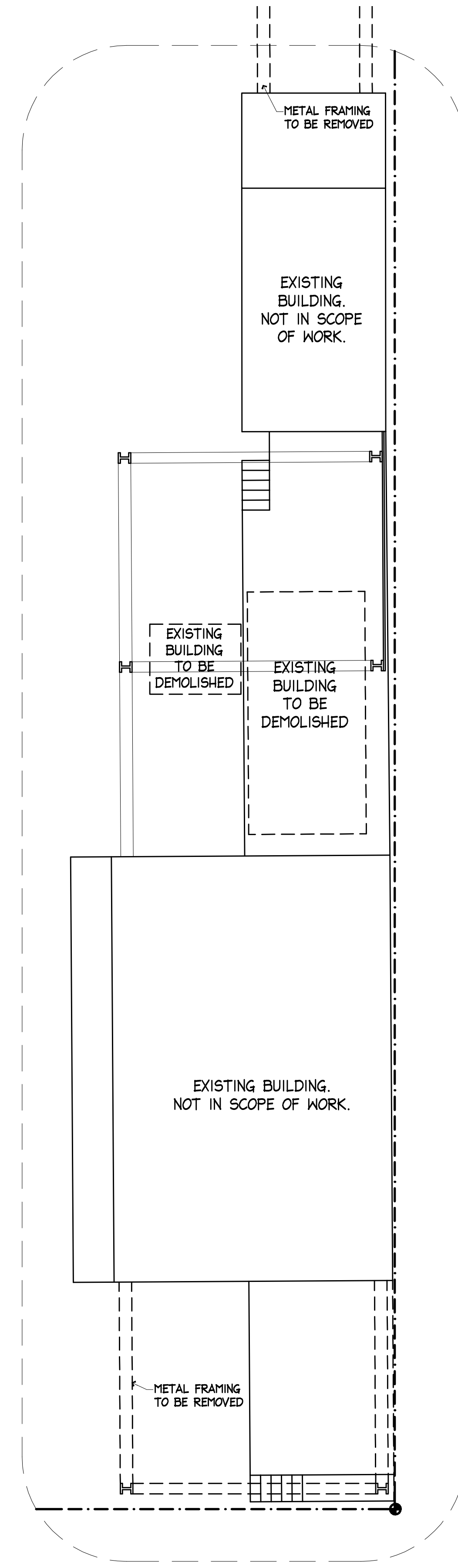
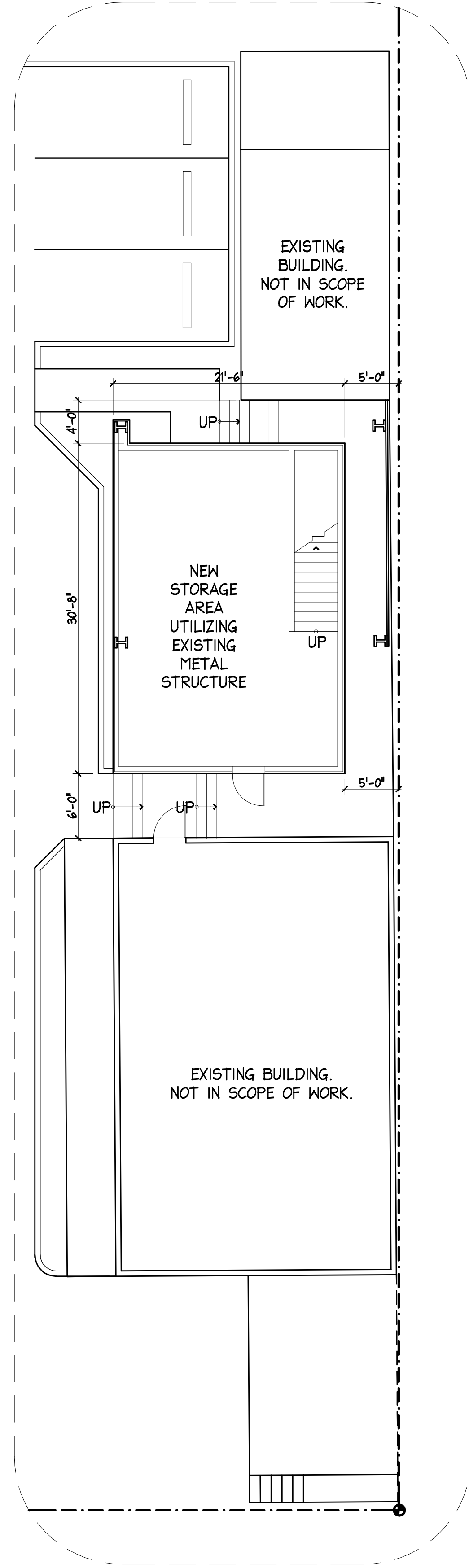
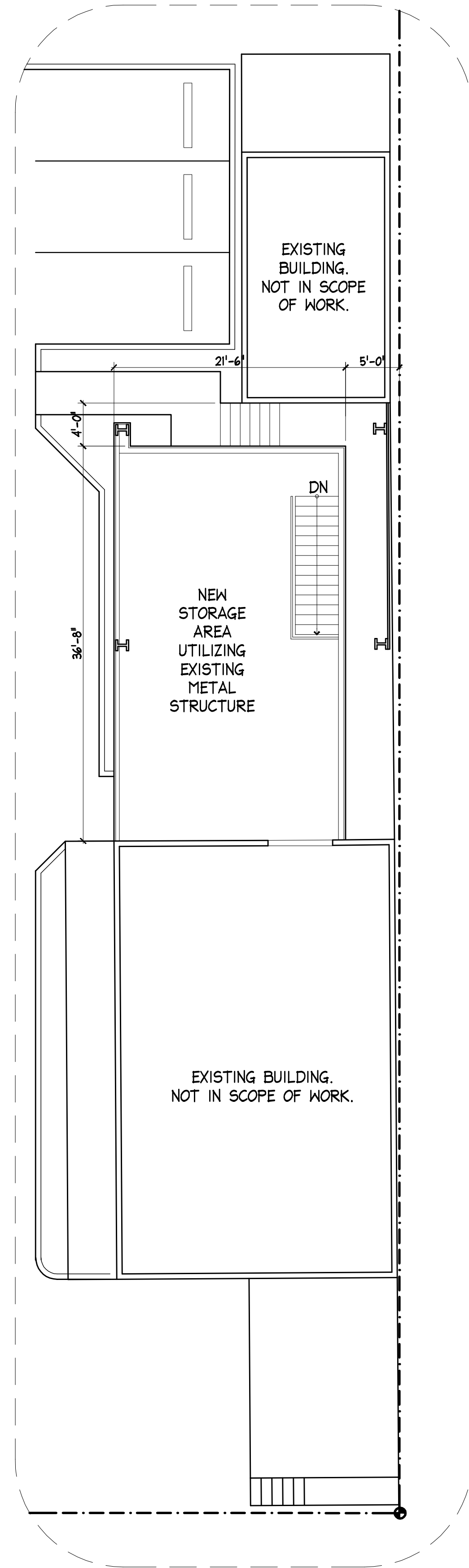
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Project No: 1310
 EXTERIOR ELEVATIONS
 Date: 8/01/14

A6.2



3 PROPOSED PLAN: STORAGE SECOND FLOOR
A3.7 SCALE: 1/8"=1'-0"

2 PROPOSED PLAN: STORAGE FIRST FLOOR
A3.7 SCALE: 1/8"=1'-0"

1 EXISTING PLAN: STORAGE FIRST FLOOR
A3.7 SCALE: 1/8"=1'-0"



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Project No: 1310

Date: 8/01/14

A3.7



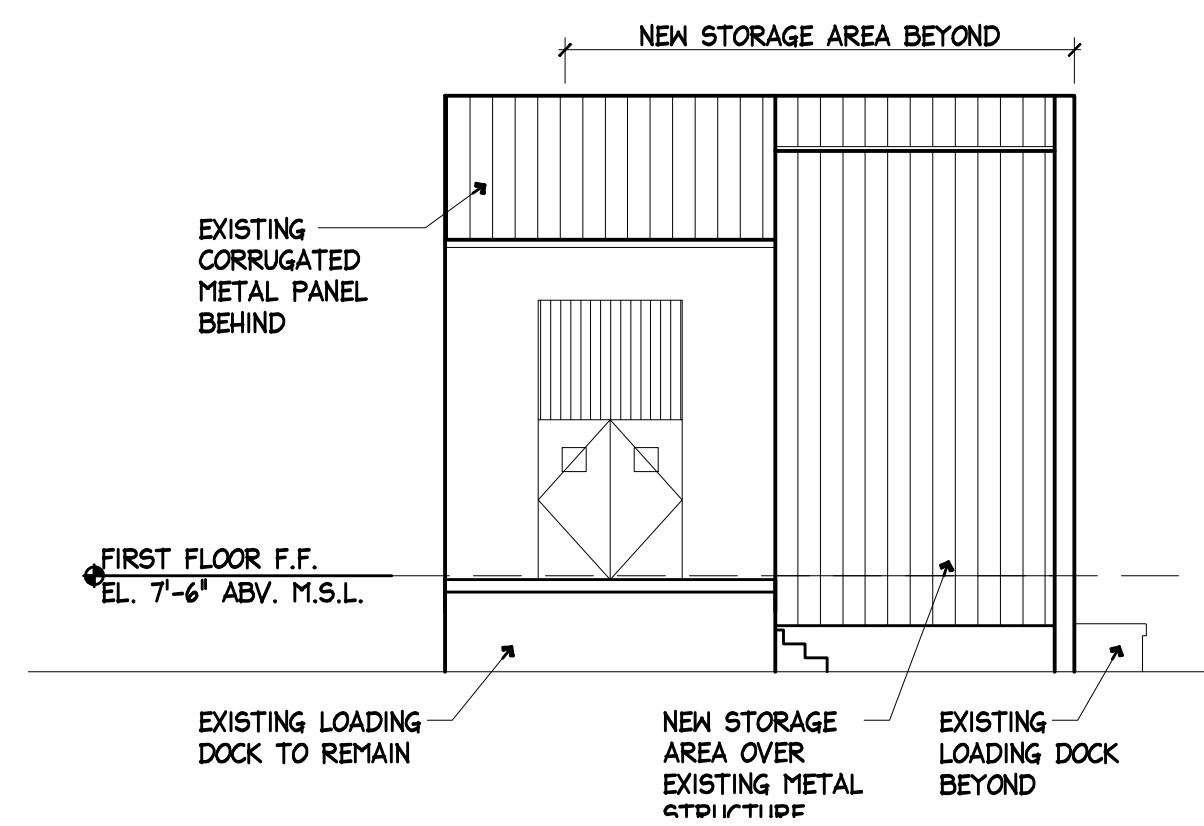
8 PHOTO OF EXISTING STRUCTURE
A6.3 N.T.S.



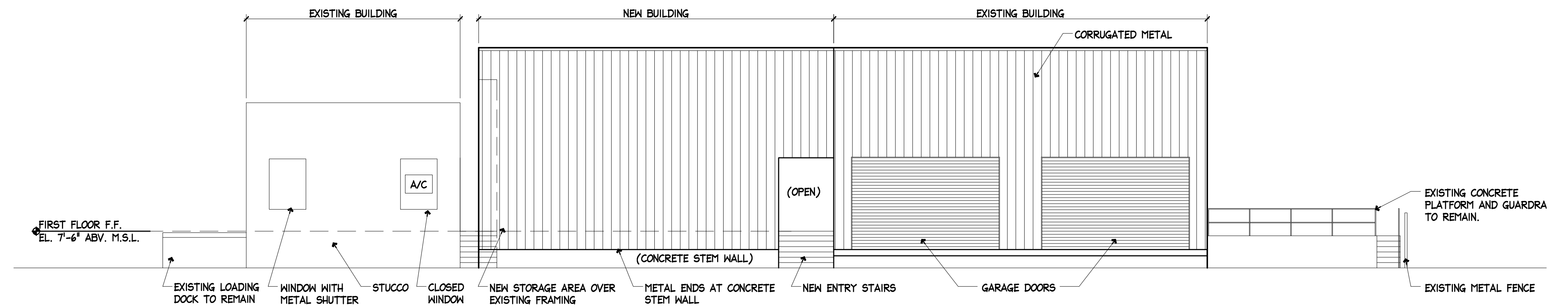
7 PHOTO OF EXISTING STRUCTURE
A6.3 N.T.S.



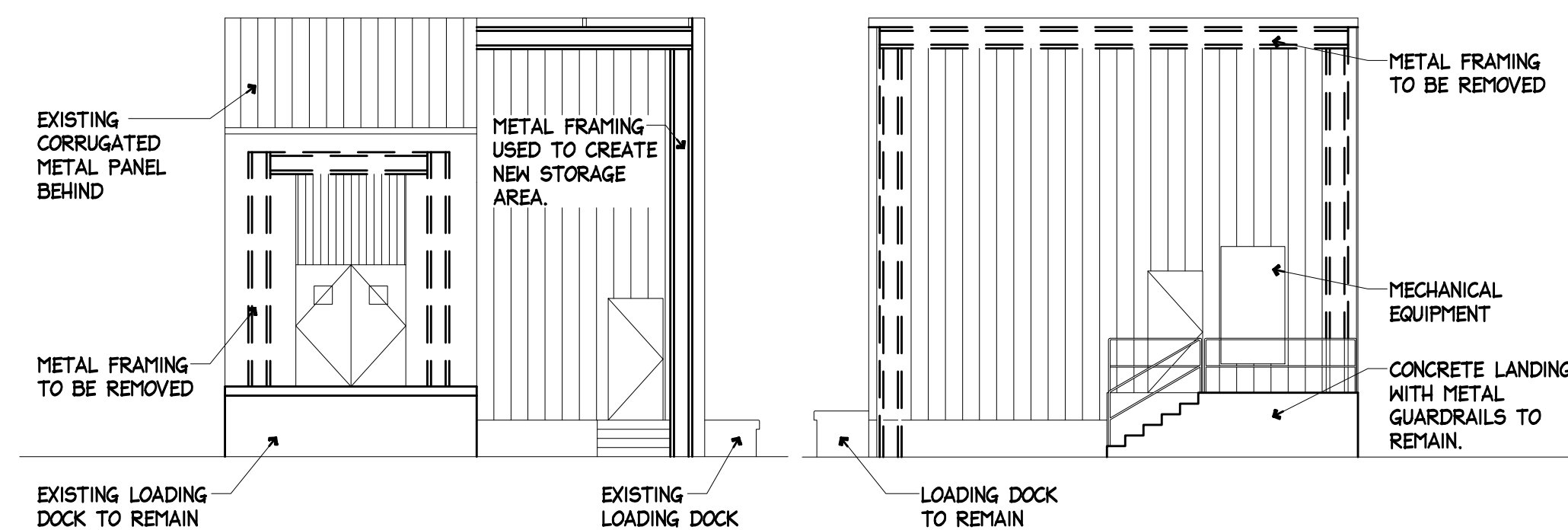
6 PHOTO OF EXISTING STRUCTURE
A6.3 N.T.S.



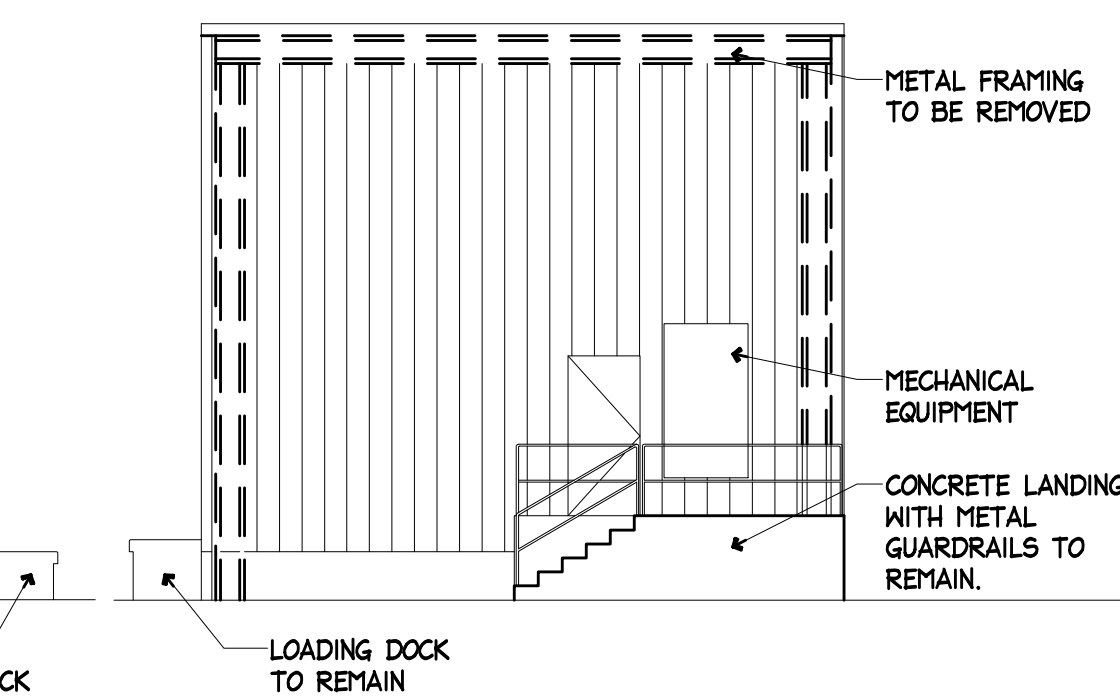
5 PROPOSED NORTH ELEVATION
A6.3 SCALE: 1/8"=1'-0"



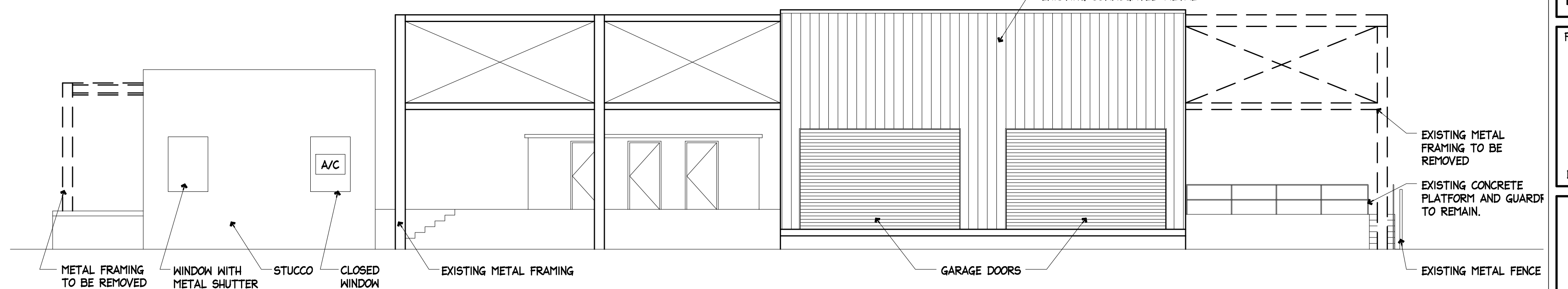
4 PROPOSED WEST ELEVATION
A6.3 SCALE: 1/8"=1'-0"



2 EXISTING NORTH ELEVATION
A6.3 SCALE: 1/8"=1'-0"



3 EXISTING SOUTH ELEVATION
A6.3 SCALE: 1/8"=1'-0"



1 EXISTING WEST ELEVATION
A6.3 SCALE: 1/8"=1'-0"

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Project No: 1910
EXTERIOR ELEVATIONS
OF ACCESSORY
STRUCTURE

Date: 8/01/14

A6.3



4 HI HISTORIC PHOTOGRAPH OF THE NORTH EXTERIOR ELEVATION BEFORE EAST ADDITION



3 HI HISTORIC PHOTOGRAPH OF THE SOUTH EXTERIOR ELEVATION BEFORE EAST ADDITION



- ALL WINDOWS WILL BE REPLACED WITH IMPACT RESISTANT WINDOWS.
- ADDITIONS TO BE REMOVED.
- CONDENSING UNITS TO BE REPLACED. A NOISE AND VISION SCREEN WILL BE ADDED.
- ADDITION TO BE REMOVED.
- GENERATOR TO BE REPLACED.

2 HI NORTH ELEVATION



- ALL WINDOWS WILL BE REPLACED WITH IMPACT RESISTANT WINDOWS.
- METAL SUN SHADES TO BE REPLACED.
- SLOPED ROOF TO BE REMOVED. ORIGINAL AWNING STRUCTURE TO REMAIN.
- PARKING SPACES WILL BECOME A DRIVE THROUGH.
- EXTERIOR DOORS WILL BE REPLACED AND ALL GLASS BLOCK WILL BE REMOVED.
- WALL TO BE REMOVED. LANDSCAPING WILL ALSO BE REDONE IN THIS AREA.

1 HI SOUTH ELEVATION

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Project No: 1310
 IMAGES OF 1001 JAMES STREET
 Date: 8/01/14

H1



3 HISTORIC PHOTOGRAPH OF THE WEST EXTERIOR ELEVATION BEFORE EAST ADDITION



ADDITIONS TO BE REMOVED.

ALL WINDOWS TO BE REPLACED.

2 EAST ELEVATION



METAL SUN SHADES TO BE REPLACED.

ALL WINDOWS WILL BE REPLACED WITH IMPACT RESISTANT WINDOWS.

SLOPED ROOF TO BE REMOVED, ORIGINAL AWNING STRUCTURE TO REMAIN.

1 WEST ELEVATION

KEYS ENERGY SERVICES
1001 JAMES STREET
Key West, Florida 33040

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Project No: 1310
IMAGES OF NEIGHBORING BUILDINGS

Date: 8/01/14

H2



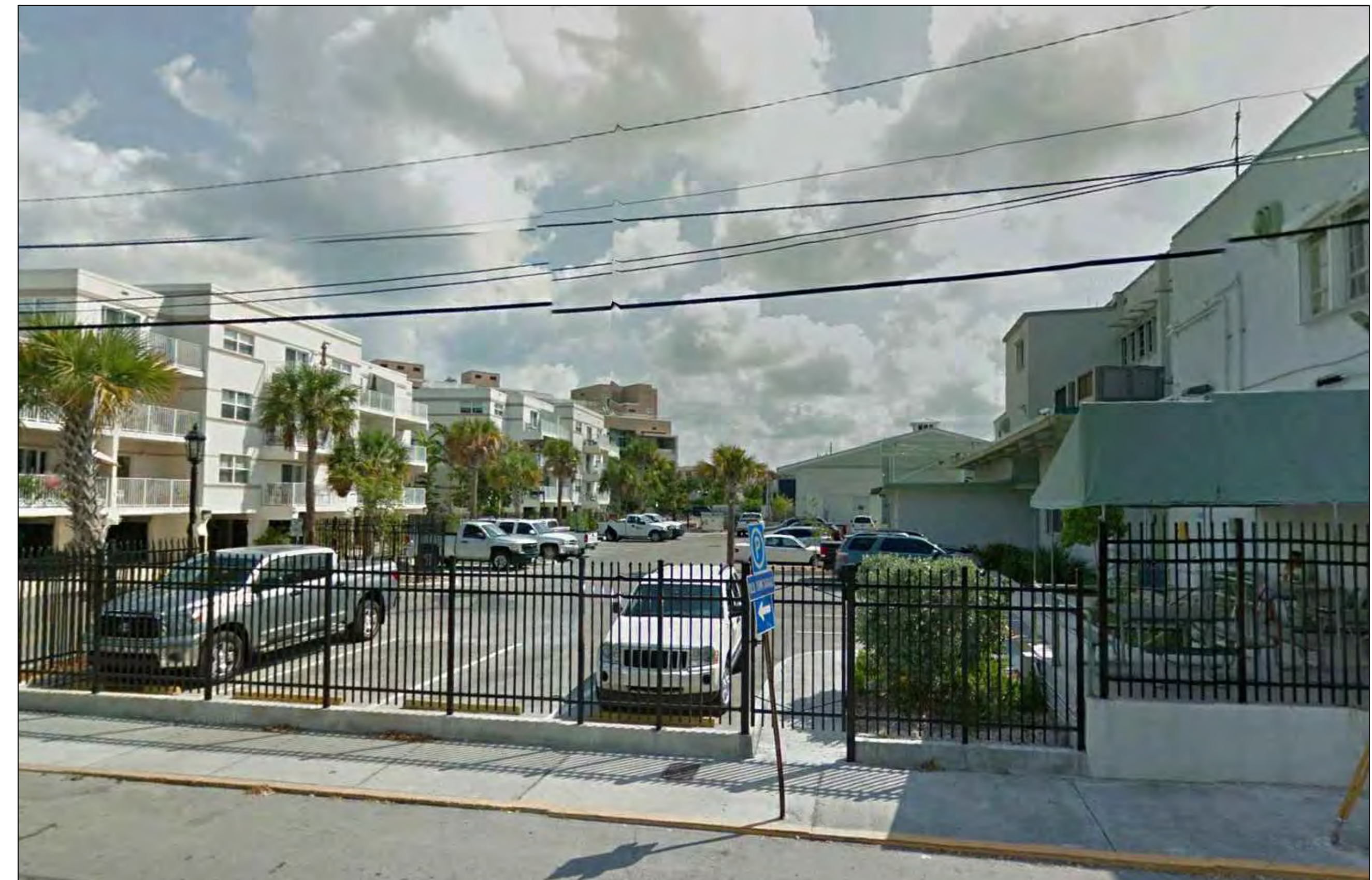
4 H3 STRUNK HARDWARE - NEIGHBOR ON EAST SIDE OF BUILDING



3 H3 PARKING GARAGE ACROSS JAMES STREET



2 H3 STORAGE SHEDS ON EAST SIDE OF SITE



1 H3 KES PARKING LOT AND STEAMPLANT CONDOMINIUMS ADJACENT

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Project No: 1310
IMAGES OF
NEIGHBORING
BUILDINGS
Date: 6/30/14

H3

TREE BRACING NOTES:

2" and larger caliper trees braced by guying:

1. Choose the correct size and number of stakes and size of hose and wire. Guying shall be completed within 48 hours of planting the tree.
2. Cut lengths of staking hose to extend 2 inches past tree trunk when wrapping around.
3. Space stakes evenly on outside of water ring and drive each firmly into ground. Stakes should be driven at a 30 degree angle with the point of the stake toward the tree until 4 to 5 inches are left showing.
4. Place the hose around the trunk just above the lowest branch.
5. Thread the wire through the hose and past the stake, allowing approximately 2 feet of each of the two ends beyond the stake before cutting the wire.
6. Twist wire at rubber hose to keep it in place.
7. Pull wire down and wind both ends around stake twice. Twist wire back onto itself to secure it before cutting off the excess.
8. The above procedures are to be followed for each stake, keeping the tree straight at all times. There should be a 1 to 3 inch sway in the tree (the wires should not be pulled tight) for best establishment.
9. Flag the guy wires with surveyor's flagging or approved equal for safety.
10. Guys are not to be removed until approved by landscape contractor.

Specimen trees and tall palms braced with props:

11. Choose the correct size, length, and number of props to be used (pressure treated (PT) 2"x4", 4"x4").
12. Wrap at least 5 layers of burlap around trunk of the palm at least 4 inches wider than the battens being used. Battens should be mounted at a point 1/3 of the distance from ground to the clear trunk of the tree or palm, but not less than 4 feet, whichever is greater.
13. Select the proper length and size of battens (PT 2"x4"x12"-16").
14. Use the same number of battens as props being used.
15. Place the battens vertically and evenly spaced against the burlap.
16. Secure the battens in place with metal or plastic banding straps. DO NOT NAIL INTO TREE.
17. Wedge lower end of prop into soil and secure with a 2"x4"x30" stake. Props should be installed at a 30 to 40 degree angle from the battens and of sufficient length to reach the ground. NOTE: ON STRAIGHT TREES OR PALMS OR TREES, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM.
18. Cut a smooth angle at the end of the props. Align with and nail into battens. DO NOT PENETRATE TREE OR PALM WITH NAILS.
19. If it appears that additional construction work will take place near to or in the vicinity of the newly braced trees or palms, then props are to be clearly labeled with the statement, "DO NOT REMOVE."
20. Props are not to be removed until approved by the landscape contractor.

END

GENERAL LANDSCAPE NOTES:

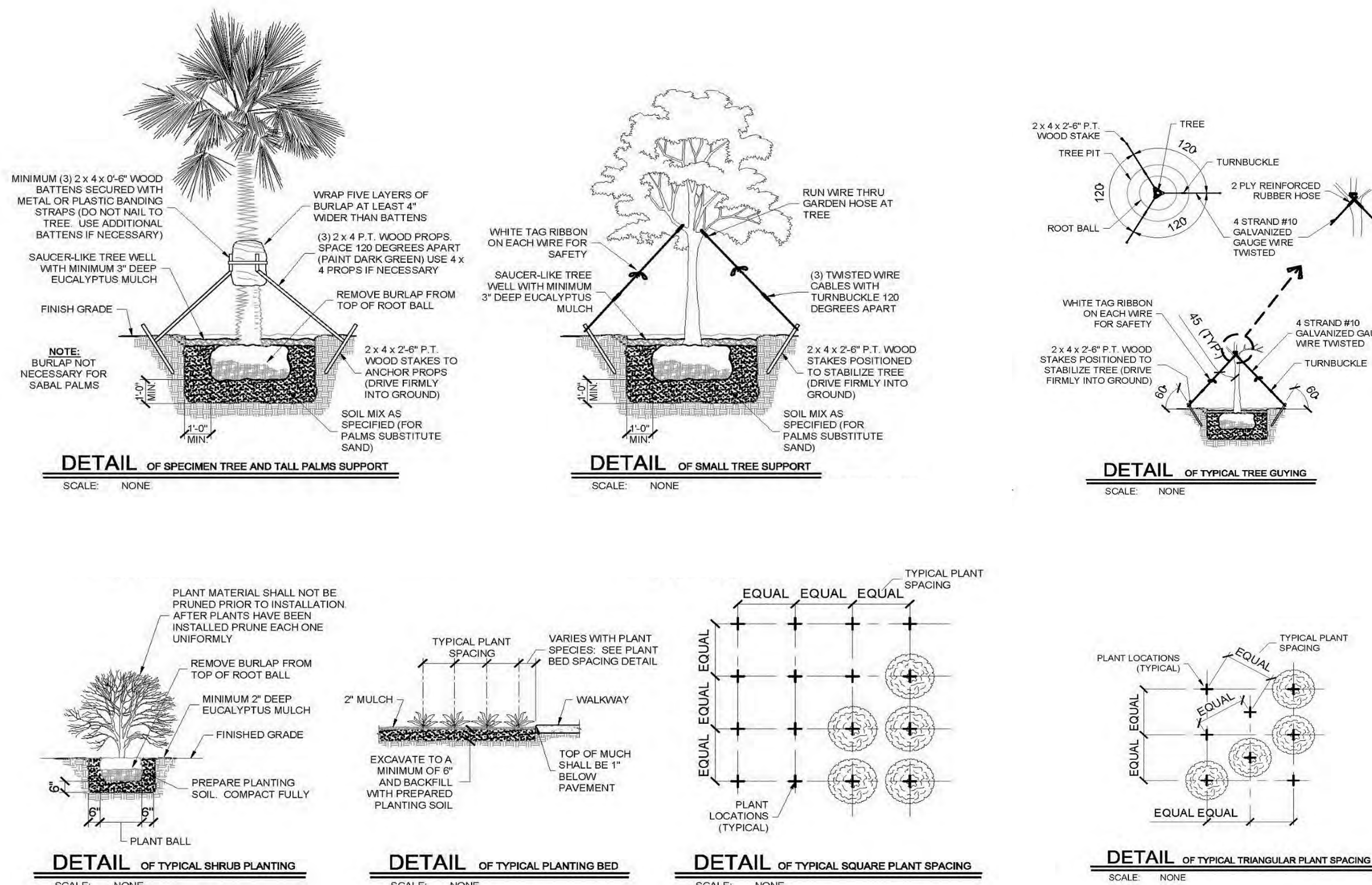
1. Changes may occur during the normal course of implementation. Verbal change orders will not be honored. Any changes must be submitted to landscape architect in writing as a change order to be reviewed and approved in writing by owner/client.
2. All newly planted areas to receive 100% coverage by automatic irrigation system (drip preferred) unless otherwise directed by OWNER. Landscape contractor to coordinate installation of irrigation system with irrigation contractor. Irrigation time clock to be HARD WIRED on completion - responsibility of irrigation contractor. Landscape contractor to hand water or arrange for watering during planting until irrigation system is 100% operable. This is the responsibility of the landscape contractor.
3. Landscape contractor to become familiar with the scope of work as well as the site, digging conditions, and any obstacles prior to bidding.
4. Landscape contractor shall locate and verify all underground utilities prior to digging.
5. All Plant material is to be Florida No. 1 or better. Florida Department of Agriculture Grades and Standards, Parts I & II, 1975, respectively.
6. All trees to be staked in a good workmanlike manner. No nail staking permitted. (Refer to planting details)
7. Landscape plan shall be installed in compliance with all local codes.
8. All tree holes to be back filled around and under root ball with washed beach sand. All shrub beds to be installed with washed beach sand. (See spec)
9. All trees, shrubs and ground covers shall be guaranteed for six months from date of final acceptance. All palms are to be guaranteed for one year.
10. All planting beds shall be weed and grass free.
11. All trees, palms, shrubs and ground cover plants shall be fertilized at installation according to manufacturers' recommendations. Type and amount of fertilizer is up to discretion of Landscape Contractor in order to avoid "burn" on plants that may already contain fertilizer from nursery and ensure proper establishment to maintain contractors warranty.
12. Planting plan shall take precedence over plant list in case of discrepancies.
13. No change shall be made without prior consent of Landscape Architect.
14. All material shall be subject to availability at time of installation. Substitutions may be made after consultation with Landscape Architect
15. Landscape Contractor to coordinate his work with the General Contractor, Irrigation Contractor, and the Electrical Contractor.
16. All existing plant material to remain shall be protected.
17. All trees to be relocated will get root pruned 30 days min. (or more if required by the species). Upon relocation, thin out 30% of the relocated trees' canopy.
18. After removal or relocation of existing trees and palms, backfill tree pit with washed beach sand, and sod disturbed area, if required.
19. All trees on sod area shall receive a mulch ring 2" in diameter typical.
20. All trees shall have 2" caliper at D.B.H. minimum for a 10' height tree.
21. All 1 gallon material to have 12" spread minimum, all 3 gallon material to have 20-24" spread minimum.
22. Landscape contractor to be County and City licensed where work is to be performed. Liability and Workman's comp insurance is required for each and every employee to be on-site at any time during implementation. Paperwork to this effect to be provided on request within 2 business days.

END

IRRIGATION NOTES:

1. All Lady Palms (*Rhapis spp.*), Heliconia, and Bamboos to have single bubbler. All Major Palms to have two bubblers on opposing sides of root ball. Bubblers to be hidden from view.
2. Irrigation contractor to coordinate location of main lines with Landscape Contractor prior to implementation. Avoid root balls of trees and large plant materials. Refer to landscape drawings.
3. All pipe to be PVC schedule 40, 8" minimum cover.
4. All heads installed on flexible PVC pipe and fittings.
5. Pressurized backflow, rain switch, and multi-programmable controller with battery backup required.
6. All crossings under permanent concrete to be sleeved two times the sprinkler pipe size with schedule 40 PVC.
7. All valves to have flow control and be installed in green valve boxes with room to work in future.
8. All valve boxes to be located away from walkways, garden paths, and groundcovers - keep to back of beds.
9. All sprinklers to be commercial grade Toro 570 Series 4" and 12" and installed out of sight.
10. Irrigation contractor to measure water available on-site and use no more than 75% of available GPM.
11. Water connection to the house, including shut-off valves, shall not be altered by pressurized backflow.
12. All wire splices to be in valve boxes and clearly labeled at back of time clock. All wire splices to be installed with water proof connections.
13. 2 spare wires to be run to the last valve in each direction.
14. Controller to be hard-wired at time of completion and included in irrigation contractors bid.
15. System to provide 100% controlled coverage on completion. Additions/modifications from irrigation plan may be necessary.
16. Irrigation contractor to be County and City licensed where work is to be performed. Liability and Workman's comp insurance is required for each and every employee to be on-site at any time during implementation. Paperwork to this effect to be provided on request within 2 business days.
17. As-built irrigation drawing to be provided prior to final payment.

END



PLANT LIST

Qty.	Botanical Name	Common Name	Specifications	Provide Photo
TREES AND PALMS				
1	<i>Ardisia escalanoides</i>	Marlberry	6' PH, very full	
4	<i>Bursera simaruba</i>	Gumbo Limbo	12' PH, FF#1	
10	<i>Capparis cynophallophora</i>	Jamaica Caper	4' PH	
5	<i>Chrysophyllum oliviforme</i>	Satinleaf	8' PH, FF#1	
1	<i>Coccoloba diversifolia</i>	Pigeon Plum	8' PH x 3' spread	
7	<i>Coccothrinax argentata</i>	Florida Silver Palm	15 gallon	
1	<i>Guaiacum sanctum</i>	Lignum Vitae	5' PH x 5' spread, specimen	Yes
6	<i>Gymnanthes lucida</i>	Crabwood	25 gallon	
5	<i>Lysiloma latisiliquum</i>	Tamarind	12' PH x 6' spread, standard FF#1	
3	<i>Myrcianthes fragrans</i>	Simpson Stopper	45 gallon, multi-trunk specimens, Plant Creations Nursery	
2	<i>Pseudophoenix sargentii</i>	Buccaneer Palm	5' PH, fat & heavy, (1) double, (1) single	
1	<i>Swietenia mahogany</i>	Mahogany	14-16' PH, FF#1	
23	<i>Sabal Palmetto</i>	Same	Regenerated, slicks, mix of 10-24' CT with leans	
15	<i>Serenoa repens 'cericeus'</i>	Silver Saw Palmetto	3' x 3' PH	
1	<i>Thrinax morisii</i>	Silver Thatch Palm	Double trunk, 4' PH	

SHRUBS AND GROUNDCOVERS

21	<i>Baccharis halimifolia</i>	Groundsel Bush	15 gallon, full, Doug Ingram & Sons Nursery
37	<i>Borischia arborescens</i>	Sea Oxeye Daisy	1 gallon
145	<i>Ernodeia littoralis</i>	Golden Creeper	1 gallon
153	<i>Hymenocallis latifolia</i>	Spider Lily	3 gallon
916	<i>Liriope sp. 'Isabella'</i>	DWARF Isabella Liriope	1 gallon, full
67	<i>Phyllanthus sp.</i>	Phyllanthus	1 gallon, Doug Ingram & Sons Nursery
240	<i>Pilea depressa</i>	Pilea	1 gallon
40	<i>Polypodium scolopendria</i>	Wart Fern	1 gallon
18	<i>Psychotria ligustrifolia</i>	DWARF Wild Coffee	7 gallon, full
250	<i>Stachytarpheta jamaciensis</i>	DWARF Blue Porterweed	1 gallon
230	<i>Tradescantia microfolia</i>	Argentine Ivy	1 gallon, Plant Creations Nursery
7	<i>Tripsacum dactyloides</i>	Fakahatchee Grass	3 gallon
22	<i>Xylosma sp.</i>	Xylosma	7 gallon, full, Plant Creations Nursery
73	<i>Zamia floridana</i>	Coontie	7 gallon, full

ADDITIONAL ITEMS

TBD	BLACK Eucalyptus Mulch	1" minimum
TBD	Planting soil	50/50 sand/soil mix

KEYS ENERGY SERVICES

1001 JAMES STREET
KEY WEST, FL 33040

Date: 08-07-2014

REVISIONS

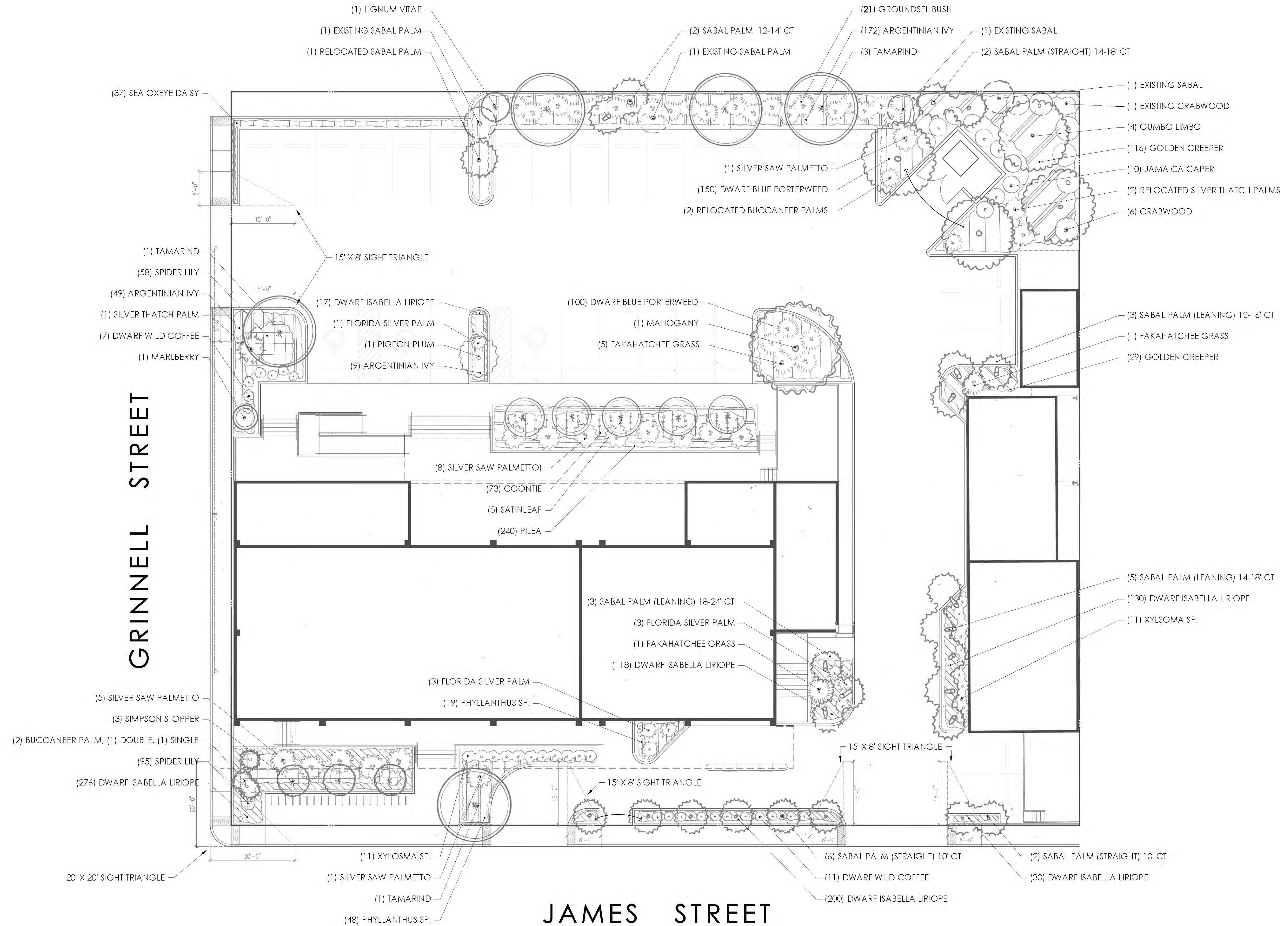
No.	Date	Remarks
1	8-12-2014	Revised planting plan & quantities

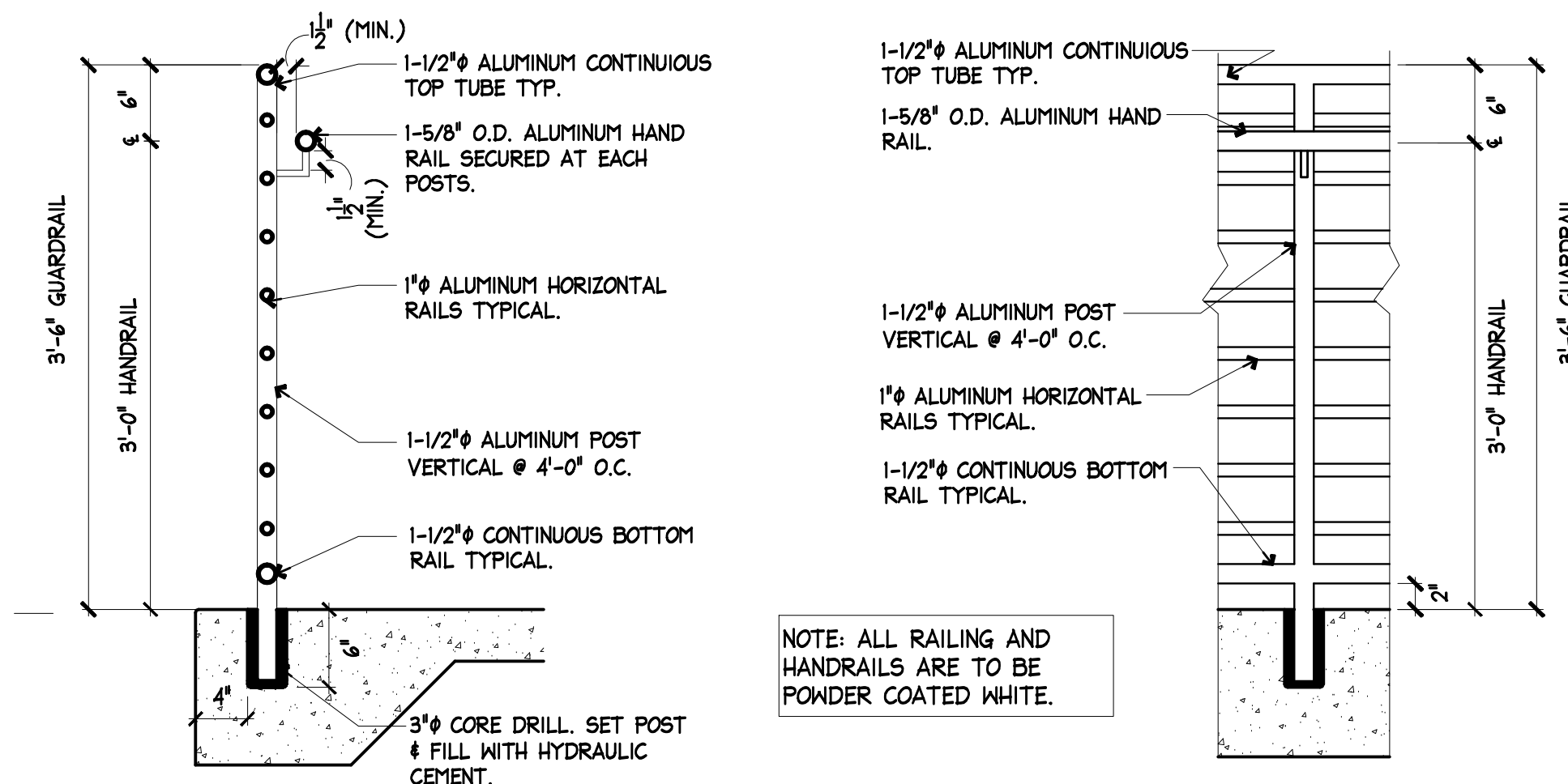
DRAWING LIST

A. COVER SHEET	
	Tree Bracing Notes
	General Landscape Notes
	Irrigation Notes
	Planting Details
	Plant List and Specifications
B. LC-1	
	Planting Plan

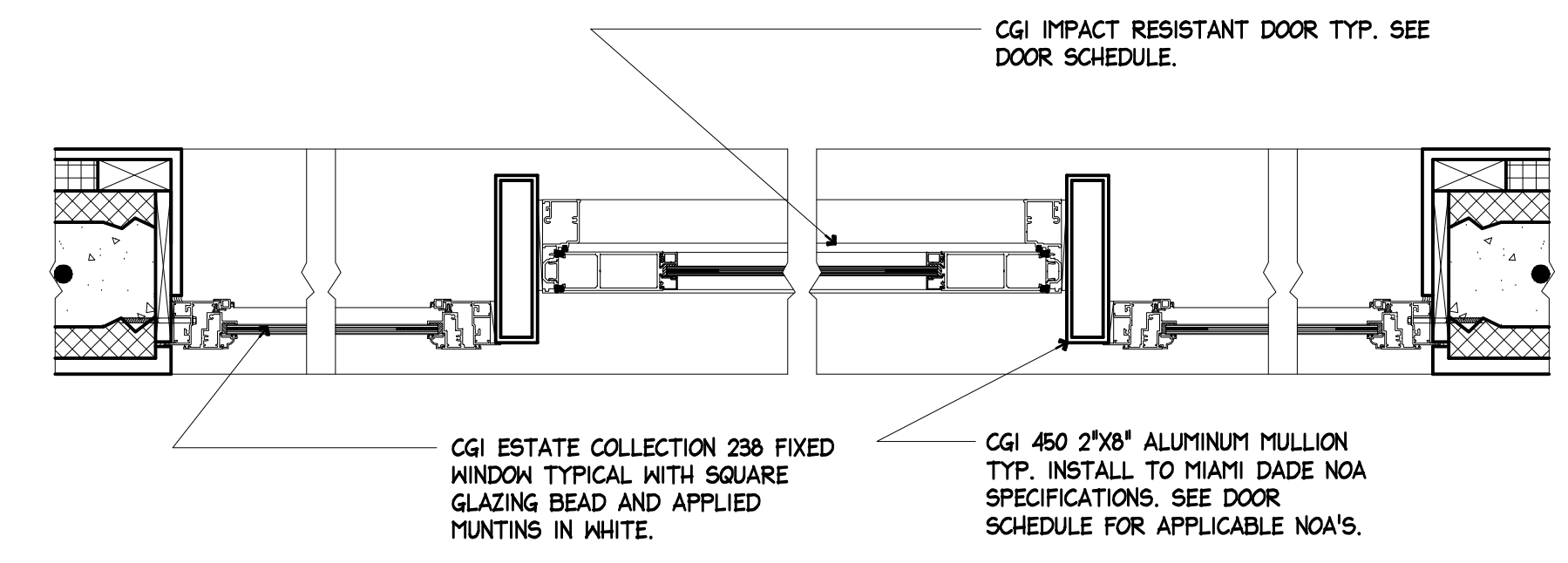
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CRAIG REYNOLDS
landscape architecture
craigreynolds.net 305.292.7243
517 Duval Street, Suite 204 Key West, Florida 33040

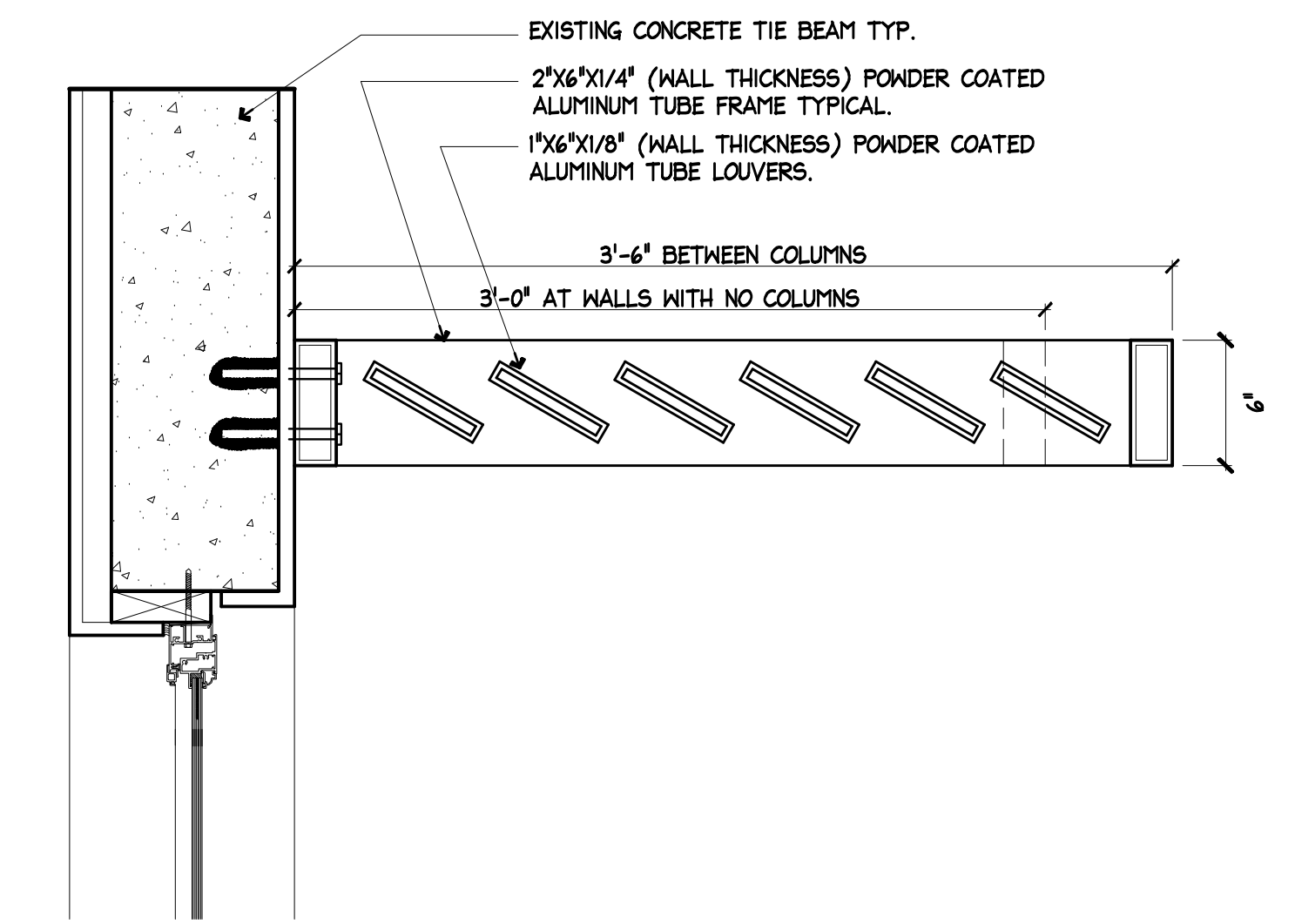




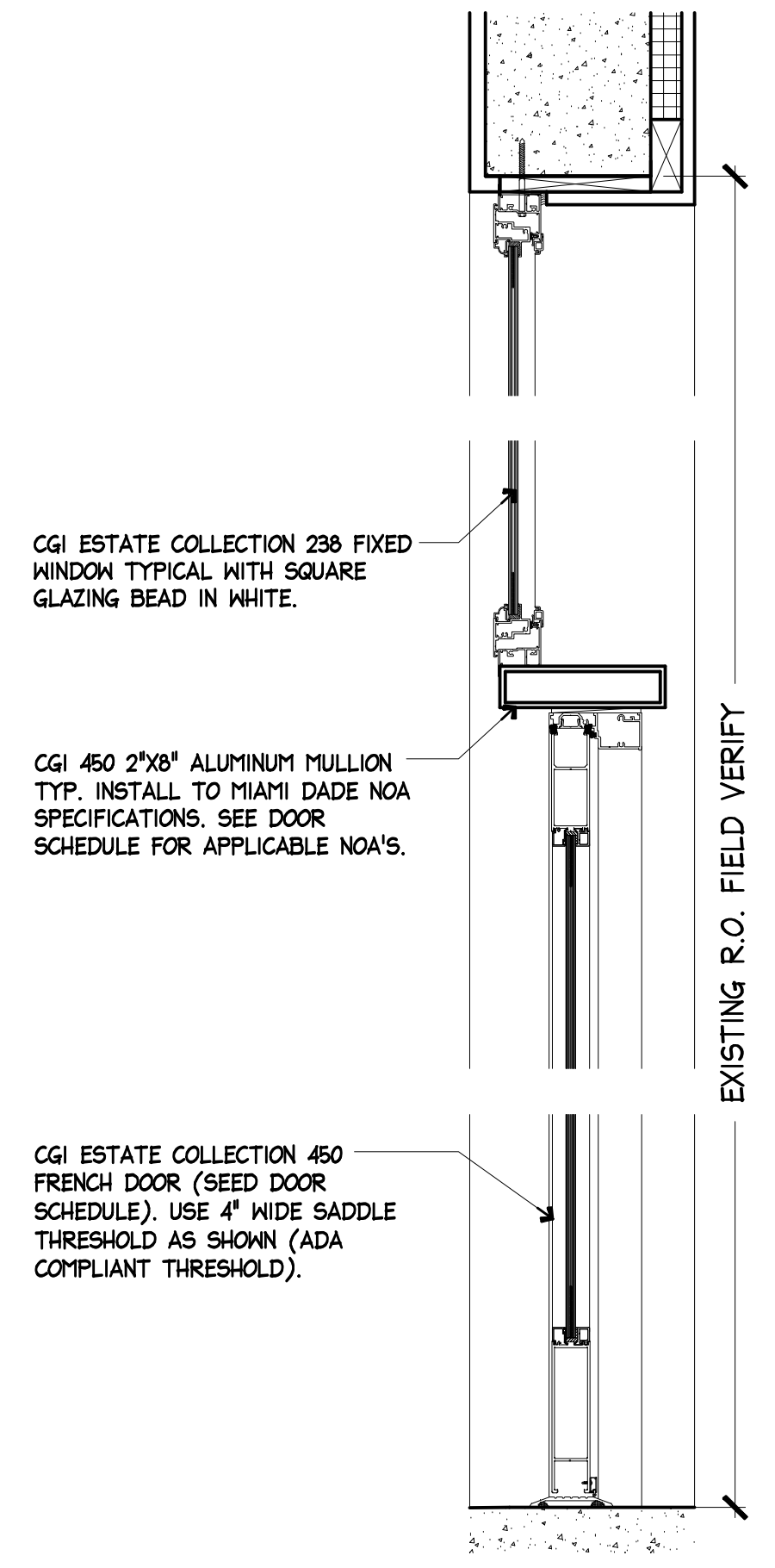
1 TYPICAL GUARDRAIL DETAIL
 SCALE: 1-1/2"=1'-0"



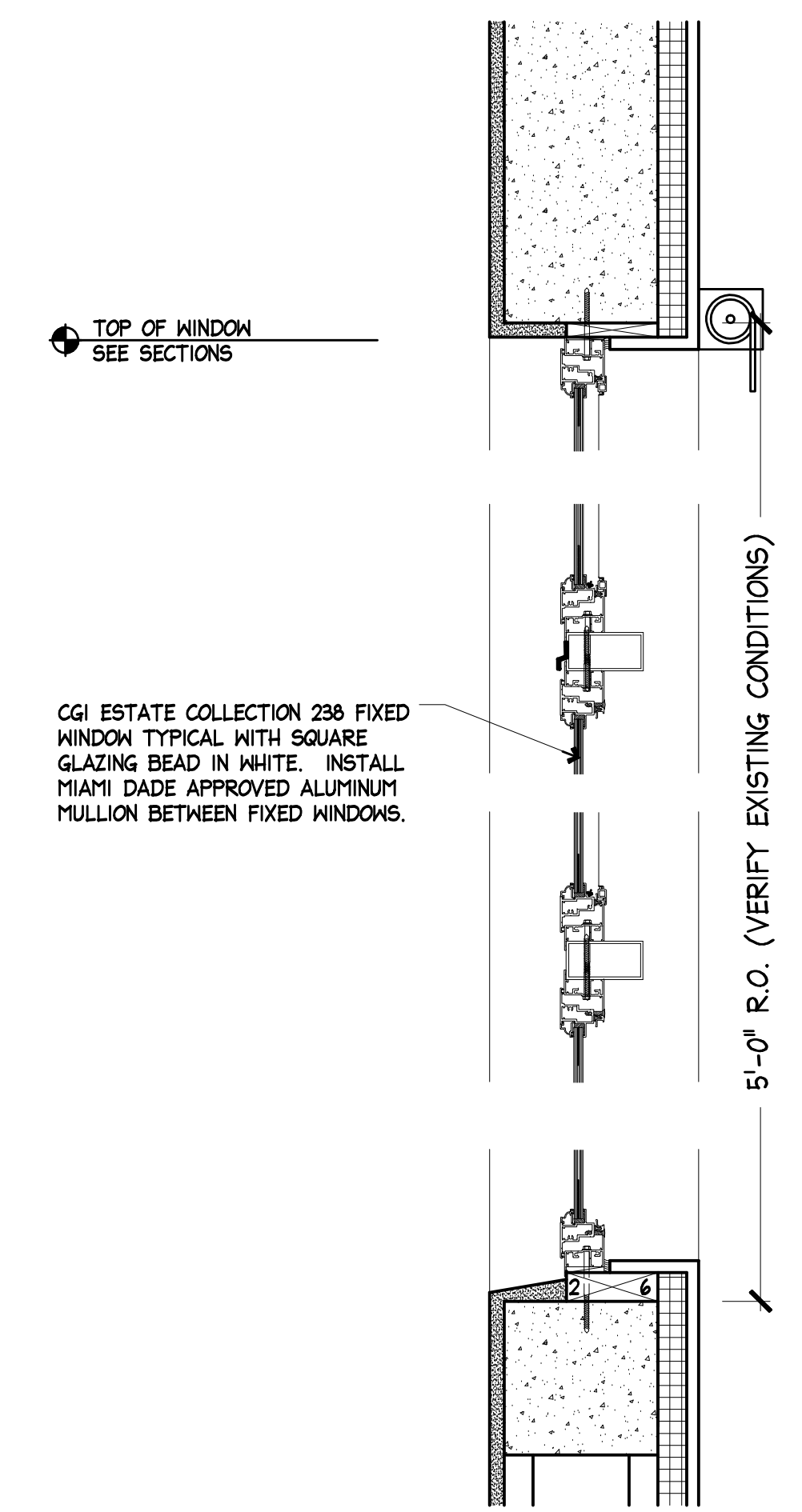
2 TYPICAL DOOR DETAIL
 SCALE: 1-1/2"=1'-0"



3 METAL LOUVER DETAIL
 SCALE: 1-1/2"=1'-0"



4 TYPICAL DOOR DETAIL
 SCALE: 1-1/2"=1'-0"



5 TYPICAL WINDOW DETAIL
 SCALE: 1-1/2"=1'-0"

KEYS ENERGY SERVICES
 1001 JAMES STREET
 Key West, Florida 33040

410 Angela Street
 Key West, Florida 33040
 Telephone (305) 296-1347
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 Florida License AAC002022

Bender & Associates
ARCHITECTS
 p.c.

Project No: 1310

Date: 8/01/14

A11.2



ESTATE COLLECTION

Impact Resistant Windows & Doors



IF IT'S WORTH *protecting* IT'S WORTH
THE ESTATE COLLECTION.

EVERYWHERE QUALITY, BEAUTY *and* STRENGTH MATTER



Tests have proven that many of our products withstand winds of nearly 300 MPH.

CGI windows and doors exude quality without compromise. As the premier manufacturer of impact resistant windows and doors, our products offer superior strength, energy efficiency and beauty. Every detail reflects our commitment to exceptional quality, from our strong commercial-grade aluminum frames to impact resistant

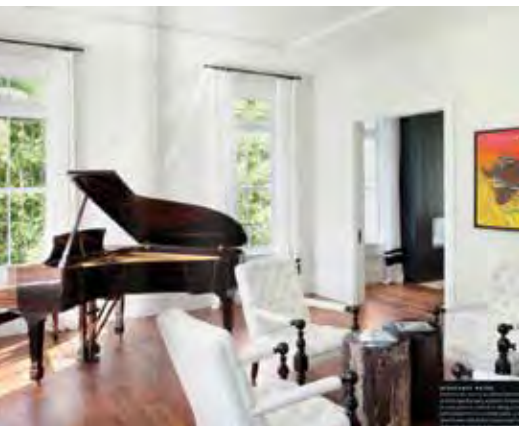


glass options and finest hardware components.

The best choice for hurricane prone coastal regions, the CGI Estate Collection exceeds the Miami-Dade county and Florida building codes, considered some of the most rigorous in the industry and assures best-in-class

performance against high winds and violent storms. Found in many of the most prestigious residential homes, office buildings and resorts, including the historic Breakers Hotel in Palm Beach, Florida, CGI windows and doors are everywhere quality, beauty and strength matter.

A PERFECT COMBINATION *of* FORM AND FUNCTION



Unparalleled elegance is the first impression, and a lasting one. CGI impact resistant windows and doors capture the look you desire, from traditional to contemporary. The sheer beauty is matched by remarkable

functionality. Our windows and doors protect and insulate against every imaginable external event, from hurricanes to UV protection, outside noise and forced entry. Add in the finest selection of glass and colors, including a variety



of Aspen wood grain finishes and it is no wonder top designers and architects prefer the CGI Estate Collection for their most upscale projects and exclusive homes.



Our aluminum frames are up to 100% thicker than competitors and are the most sensible choice for coastal areas.

LARGER STAINLESS STEEL FASTENERS



ESTATE

We use #10-1 1/4 inch stainless steel fasteners in each window frame corner. Bigger, longer screws means more frame strength, greater longevity and better hurricane resistance.

Theirs

Others use #8-1-inch galvanized screws in each corner.

OVER 100% HIGHER DESIGN PRESSURES



ESTATE

The higher the max design pressure the more resistant to hurricane strength winds. Our design pressure max is +110/-195.

Theirs

Max design pressure is only +70/-90.

THICKER LAMINATED GLASS



Our glass thickness-
7/16"



Their glass thickness-
5/16"

ESTATE

Most Estate products use thicker glass.

Theirs

Typically use thinner glass.

THE DIFFERENCE SUPERIOR ENGINE



ENGINEERING *makes* IS CRYSTAL CLEAR



DISTINCTIVE MUNTIN/GRID DETAILS



Ogee



Triangular

ESTATE

Our highly contoured muntin provides a fashionable look.

Theirs

Some competitors offer basic, less contoured muntins that lack real style.

ATTRACTIVE GLAZING BEAD TRIM



Ogee



Square

ESTATE

Designed to look like wood. Square is also available.

Theirs

Only available in square.

THICKER ALUMINUM FRAME



.090"



.062"

ESTATE

Strength starts with an aluminum extrusion. At .090 ours is 45% thicker.

Theirs

Standard aluminum thickness is just .062".

ESTATE *gives* YOU MAXIMUM PROTECTION

Aluminum frames that are up to 100% thicker than competitors and windows that withstand winds of nearly 300 mph is just the beginning of the Estate Collection story. It also exceeds the Florida Building Code and the Miami-Dade



County protocols, considered among the toughest in the industry.

Distinctive sightlines and beautiful designs are two of the reasons it's the choice of the most demanding architects. Premium components, expert engineering, along with years of research and development, have enabled us to develop impact resistant windows and doors that not only look great, but outperform their competitors in quality and value.

A wide selection of energy efficient glass options are available with each of our product lines to provide you with both energy savings and the strength homeowners and architects have come to expect from CGI.

ESTATE *offers* LARGER SIZES

The Estate Collection offers so much strength and durability that we can offer windows, sliding glass doors and entry doors in heights of up to 10 feet tall. It's the perfect choice

for homeowners that desire beautiful, unobstructed views without sacrificing protection. 10 foot tall windows are a tall order for other manufacturers to meet.



ESTATE *offers* ENERGY EFFICIENCY

By combining the advantages of impact protection and energy savings, you can achieve greater energy efficiency and meet your budget requirements based on the glass you choose. The most cost effective impact resistant glazing option, for example, is tinted laminated glass. Laminated

glass or insulated laminated glass with a LoE coating is another choice. Both options represent higher costs but with the best energy efficiency. These advanced glass options are more appropriate for cooler climates.

Why LAMINATED GLASS



HOW to SELECT GLASS

Step 1: Select between laminated glass or insulated laminated glass

Laminated Hurricane Impact Resistant Glass is comprised of two sheets of glass bonded together with a protective interlayer. Laminated glass is the primary hurricane barrier used in impact resistant windows. Laminated glass is also used in the windshields of cars.

Insulated Laminated Glass adds an extra single pane of glass to the laminated glass unit with a sealed air space (or gas filled space) in between. This glass is generally more expensive but offers enhanced energy performance. Although it is more useful in colder climates, it does improve the performance of LoE coatings and in some cases architects or local building departments are requiring its use.

Step 2: Decide whether to use a LoE coating or glass tints.

Tinted Glass - Tinted glass is typically the most cost effective solution combining cost reductions with energy

efficiency. Tinted glass absorbs incoming solar radiation through the glass thereby reducing the heat and light transfer into a room. Clear glass is also available, although without special coatings or tints heat transfer is not minimized and may not meet code requirements.

LoE Glass - LoE coatings are applied to the internal glass surface to separate heat energy (long wave) and light energy (short wave). The heat energy (long wave) is reflected back to the heat source and the short wave can pass through the coating. CGI offers high performance coatings on its insulated laminated products and certain laminated products.

With all of these options of tints, LoE and Insulated Glass, how do I decide? - In warm tropical climates if you are cost conscious, avoid insulated glass if not required by codes. Suggest tinted glass or clear glass with LoE. If you want the best energy performance, consider insulated laminated glass with a LoE coating. Also, discuss with your dealer to ensure that you are in compliance with building code requirements.

WE TAKE PRIDE IN OUR



*Our impact resistant windows
and doors also provide 24/7
intruder protection.*

SUPERIOR QUALITY, CRAFTSMANSHIP *and* FIT AND FINISH

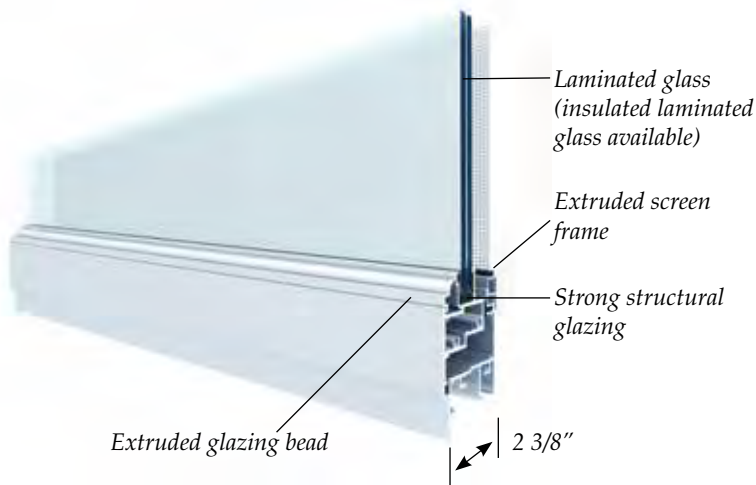
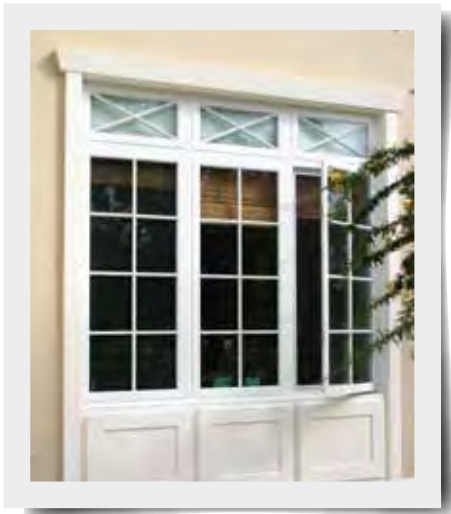


CGI's Estate Collection combines the advantages of impact protection, aesthetics, security and energy savings. Built to the most exacting specifications, every window and door reflects the highest quality standards. From superior

engineering to fit, finish and handcrafted detailing, we take pride in creating quality products that are as resistant to impact from storms as they are stunningly beautiful.

238 CASEMENT WINDOW

Industry leading casement with design pressures up to +110/-195 PSF, Ogee glazing beads and muntins, standard stainless steel package, multipoint locks and matching sightlines to the fixed and project out windows.



Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 7/16" Laminated
- 3/4" Insulated Laminated

Glass Coatings

- Energy Efficient LoE Coatings

Standard Hardware

- Single arm stainless steel roto operator and nesting crank handle
- Stainless steel operator track
- Pair of stainless steel 4 bar concealed hinges
- All stainless steel multipoint lock bars
- Snubber blocks
- Small operator on units less than 24", Large operator on units 24" or more

Standard Features

- Extruded screen frame with Super-View™ screen fiberglass mesh
- Extruded snap on glazing beads (in contoured ogee or contemporary square profiles)
- Stainless steel assembly screws and corner keys
- Double Weatherstripping
- 1/2" exterior flange frame

Optional Items

- Limit opening devices
- Hinges with washability feature (for high-rise use)
- Custodial type locks (for institutional use)
- Equal leg frames
- Square glazing beads
- Extruded double applied raised profile 1" and 3 1/2" muntins (not applicable with insulated glass)
- Muntin grids inside insulated glass (GBGs)



SIZE LIMITATIONS (In inches)

Minimum	Size	Maximum	Size
Minimum Width	18	Maximum Width	42
Minimum Height	17	Maximum Height	84

MODULAR SIZES (In inches)

20 x 24	24 x 24	28 x 24	30 x 24	32 x 24	36 x 24
20 x 30	24 x 30	28 x 30	30 x 30	32 x 30	36 x 30
20 x 36	24 x 36	28 x 36	30 x 36	32 x 36	36 x 36 e
20 x 42	24 x 42	28 x 42	30 x 42 e	32 x 42 e	36 x 42 e
20 x 48	24 x 48	28 x 48 e	30 x 48 e	32 x 48 e	36 x 48 e
20 x 54	24 x 54	28 x 54 e	30 x 54 e	32 x 54 e	36 x 54 e
20 x 60	24 x 60	28 x 60 e	30 x 60 e	32 x 60 e	36 x 60 e
20 x 66	24 x 66	28 x 66 e	30 x 66 e	32 x 66 e	
20 x 72	24 x 72	28 x 72 e	30 x 72 e	32 x 72 e	
20 x 78	24 x 78	28 x 78 e			
20 x 84	24 x 84				

All window dimensions shown are tip to tip of exterior 1/2" flange on frame.

e = Indicates windows that comply with egress (emergency escape) opening requirements when properly located on wall opening.

COMMODITY SIZES (In inches)

19 1/8 x 17	26 1/2 x 17	37 x 17
19 1/8 x 26	26 1/2 x 26	37 x 26
19 1/8 x 38 3/8	26 1/2 x 38 3/8	37 x 38 3/8 e
19 1/8 x 50 5/8	26 1/2 x 50 5/8 e	37 x 50 5/8 e
19 1/8 x 63	26 1/2 x 63 e	37 x 63 e
19 1/8 x 72	26 1/2 x 72 e	37 x 76 e (July 2014)

PERFORMANCE RESULTS

Maximum Water Resistance		16.5 PSF
Large Missile Laminated Glass	26 1/2" x 50 5/8" Window (Ann/Ann or HS/HS Glass) 37" x 63" Window (Ann/Ann or HS/HS Glass) 37" x 76" Window (Ann/Ann or HS/HS Glass)	+110 /-195 PSF +110 /-120 PSF +60 /-60 PSF
Large Missile Insulated Laminated Glass	26 1/2" x 50 5/8" Window (Temp-Air-Ann/Ann Glass) 37" x 63" Window (Temp-Air-Ann/Ann Glass) 37" x 76" Window (Temp-Air-Ann/Ann Glass) 26 1/2" x 50 5/8" Window (Temp-Air-Temp/Temp Glass) 37" x 63" Window (Temp-Air-Temp/Temp Glass) 37" x 76" Window (Temp-Air-Temp/Temp Glass)	+99.7 /-104.3 PSF +60 /-60 PSF +60 /-60 PSF +110 /-195 PSF +110 /-117 PSF +60 /-60 PSF
Forced Entry Test (AAMA 1302.5)		Passed

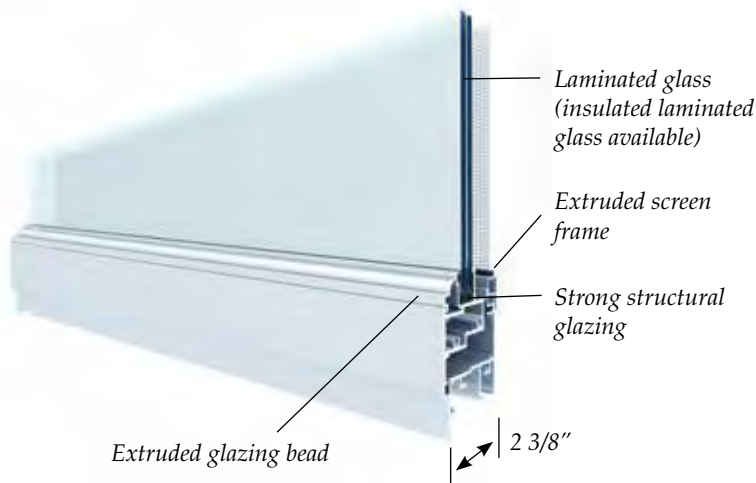
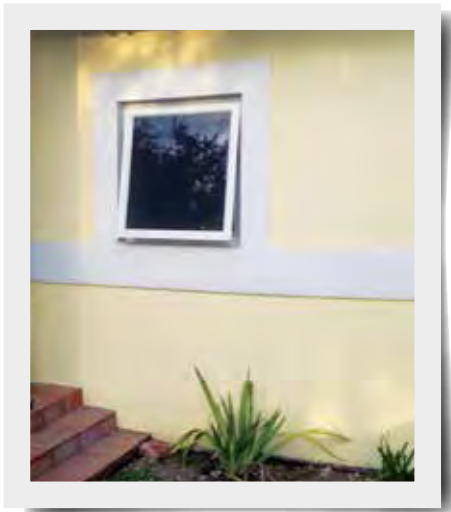
* Performance values for small missile are also available.

ENERGY VALUES (NFRC Approved)

238 Casement	U-Factor	SHGC	VT
7/16" Laminated Gray	1.02	0.40	0.33
7/16" Laminated Clear	1.02	0.51	0.58
7/16" Laminated Clear LoE 366	1.02	0.26	0.40
3/4" Insulated Laminated Clear LoE 366	0.63	0.21	0.42
3/4" Insulated Laminated Clear LoE 270	0.63	0.27	0.46

238 PROJECT OUT WINDOW

Industry leading Project Out with design pressures up to +110/-195 PSF, Ogee glazing beads and muntins, standard stainless steel package and matching sightlines to the fixed and casement windows.



Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 7/16" Laminated
- 3/4" Insulated Laminated

Glass Coatings

- Energy Efficient LoE Coatings

Standard Hardware

- Dual arm stainless steel roto operator and crank handle
- Stainless steel operator track
- Pair of stainless steel 4 bar concealed hinges
- Pair of Cam locks
- Pair of stainless steel lock keepers
- Snubber blocks
- Small operator on units less than 32", Large operator on units 32" or more

Standard Features

- Extruded screen frame with Super-View™ screen fiberglass mesh
- Extruded snap on glazing beads (in contoured ogee or contemporary square profiles)
- Stainless steel assembly screws and corner keys
- Double weatherstripping
- 1/2" exterior flange frame

Optional Items

- Limit opening devices
- Custodial type locks (for institutional use)
- Equal leg frame
- Collapsible cranks
- Extruded double applied raised profile 1" and 3 1/2" muntins (not applicable with insulated glass)
- Muntin grids inside insulated glass (GBGs)



SIZE LIMITATIONS (In inches)

Minimum	Size	Maximum	Size
Minimum Width	18	Maximum Width	72
Minimum Height	17	Maximum Height	72

Use of small arm operator will limit window opening (ventilation) to 2 3/4". Use of large arm operator will limit window opening (ventilation) to 8"

MODULAR SIZES (In inches)

20 x 24	24 x 24	28 x 24	30 x 24	32 x 24	36 x 24	40 x 24	42 x 24	48 x 24	54 x 24	60 x 24	66 x 24	72 x 24
20 x 30	24 x 30	28 x 30	30 x 30	32 x 30	36 x 30	40 x 30	42 x 30	48 x 30	54 x 30	60 x 30	66 x 30	72 x 30
20 x 36	24 x 36	28 x 36	30 x 36	32 x 36	36 x 36	40 x 36	42 x 36	48 x 36	54 x 36	60 x 36		
20 x 42	24 x 42	28 x 42	30 x 42	32 x 42	36 x 42	40 x 42	42 x 42	48 x 42	54 x 42			
20 x 48	24 x 48	28 x 48	30 x 48	32 x 48	36 x 48	40 x 48	42 x 48	48 x 48				
20 x 54	24 x 54	28 x 54	30 x 54	32 x 54	36 x 54	40 x 54	42 x 54					
20 x 60	24 x 60	28 x 60	30 x 60	32 x 60	36 x 60							
20 x 66	24 x 66	28 x 66	30 x 66	32 x 66								
20 x 72	24 x 72	28 x 72	30 x 72	32 x 72								

All window dimensions shown are tip to tip of exterior 1/2" flange on frame.
Do not use Project Out windows where Egress (Emergency Escape) is required.

COMMODITY SIZES (In inches)

19 1/8 x 17	26 1/2 x 17	37 x 17	53 1/8 x 17
19 1/8 x 26	26 1/2 x 26	37 x 26	53 1/8 x 26
19 1/8 x 38 3/8	26 1/2 x 38 3/8	37 x 38 3/8	53 1/8 x 38 3/8
19 1/8 x 50 5/8	26 1/2 x 50 5/8	37 x 50 5/8	
19 1/8 x 63	26 1/2 x 63	37 x 63	
19 1/8 x 72	26 1/2 x 72		

PERFORMANCE RESULTS

Maximum Water Resistance		16.5 PSF
Large Missile Laminated Glass	53 1/8" x 26" Window (Ann/Ann Glass) 54" x 24" Window (Ann/Ann Glass) 53 1/8" x 26" Window (HS/HS Glass) 54" x 24" window (HS/HS Glass)	+110 /-195 PSF +110 /-195 PSF +110 /-120 PSF +110 /-195 PSF
Large Missile Insulated Laminated Glass	53 1/8" x 26" Window (Ann-Air-Ann/Ann Glass) 54" x 24" Window (Ann-Air-Ann/Ann Glass) 53 1/8" x 26" Window (Temp-Air-Temp/Temp Glass) 54" x 24" Window (Temp-Air-Temp/Temp Glass)	+101.30 /-120 PSF +107.9 /-107.9 PSF +110 /-120 PSF +110 /-195 PSF
Forced Entry Test (AAMA 1302.5)		Passed

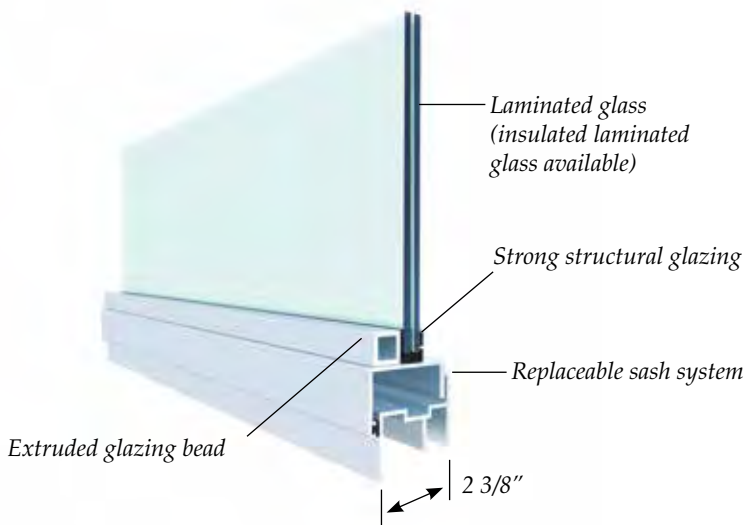
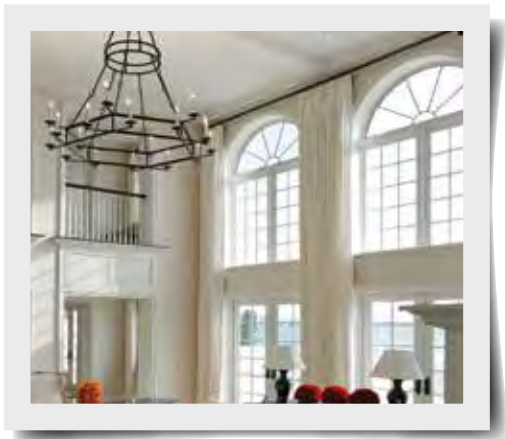
* Performance values for small missile are also available.

ENERGY VALUES (NFRC Approved)

238 Project Out	U-Factor	SHGC	VT
7/16" Laminated Gray	1.05	0.40	0.33
7/16" Laminated Clear	1.05	0.51	0.58
7/16" Laminated Clear LoE 366	1.06	0.26	0.40
3/4" Insulated Laminated Clear LoE 366	0.63	0.21	0.42
3/4" Insulated Laminated Clear LoE 270	0.63	0.27	0.46

238 FIXED AND DESIGNER FIXED WINDOW

Available up to 45 Sq ft, architecturally correct sightlines, sash and frame construction allowing for easy sash replacement and install.



Designer window shown. See profile of casement for rectangular fixed windows.

Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 7/16" Laminated
- 3/4" Insulated Laminated

Glass Coatings

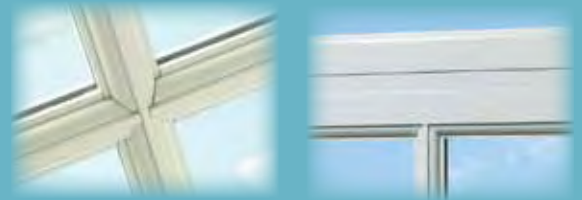
- Energy Efficient LoE Coatings

Standard Features

- Extruded glazing beads (contoured ogee for rectangular window, and contemporary square bead for designer)
- Stainless steel assembly screws
- Corner keys for rectangular units and welded corner in designer units
- Double Weatherstripping
- 1/2" exterior flange frame

Optional Items

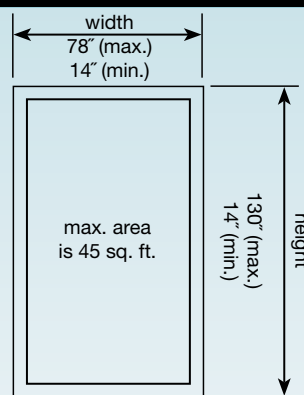
- Decorative screw covers for rectangular fixed window
- Square glazing beads
- Equal leg frame (rectangular fixed only)
- Extruded double applied raised profile 1" and 3 1/2" muntins (not applicable with insulated glass)
- Muntin grids inside insulated glass (GBGs)



– See page 29 for some of our Designer Fixed configurations.

SIZE LIMITATIONS ON RECTANGULAR FIXED WINDOW

- Visible glass area (daylight dimension) equals window "width" or "height" - 7"
- Maximum area 25 square feet for insulated laminated glass
- Overall square footage area not to exceed 45 square feet for laminated glass
- Maximum window width is 130" (Maximum height at this width is 48")
- Minimum window width is 14"
- Please contact your CGI provider for Designer Fixed window size limitations



PERFORMANCE RESULTS

SERIES 238 RECTANGULAR FIXED WINDOW

Maximum Water Resistance		16.5 PSF
Large Missile Laminated Glass	26 1/2" x 50 5/8" Window (Ann/Ann or HS/HS Glass) 37" x 63" Window (Ann/Ann or HS/HS Glass) 48" x 72" Window (Ann/Ann or HS/HS Glass) 26 1/2" x 50 5/8" Window (HS/HS Glass) 48" x 72" Window (HS/HS Glass) 54" x 120" Window (HS/HS Glass)	+110 /-148.7 PSF +102.1/-111.3 PSF +85.5 /-85.5 PSF +110 /-195 PSF +90 /-90 PSF +50 /-50 PSF
Large Missile Insulated Laminated Glass	26 1/2" x 50 5/8" Window (Ann-Air-Ann/Ann Glass) 37" x 63" Window (Ann-Air-Ann/Ann Glass) 48" x 72" Window (Ann-Air-Ann/Ann Glass) 26 1/2" x 50 5/8" Window (Temp-Air-Temp/Temp Glass) 37" x 63" Window (Temp-Air-Temp/Temp Glass) 48" x 72" Window (Temp-Air-Temp/Temp Glass)	+110 /-139.4 PSF +74.9 /-74.9 PSF +53.7 /-53.7 PSF +110 /-147.2 PSF +110.2 /-110.2 PSF +90 /-90 PSF
Forced Entry Test (AAMA 1302.5)		Passed

* Design Load Capacities with Reinforcement

PERFORMANCE RESULTS

SERIES 238 DESIGNER FIXED WINDOW

Maximum Water Resistance		16.5 PSF
Large Missile Laminated Glass	26 1/2" x 50 5/8" Window (Ann/Ann Glass) 37" x 63" Window (Ann/Ann Glass) 48" x 72" Window (Ann/Ann Glass) 26 1/2" x 50 5/8" Window (HS/HS Glass) 37" x 63" Window (HS/HS Glass) 48" x 72" Window (HS/HS Glass)	+110 /-147.2 PSF +110 /-110.2 PSF +83.9 /-83.9 PSF +110 /-169.7 PSF +110 /-120 PSF +90.0 /-90.0 PSF
Large Missile Insulated Laminated Glass	26 1/2" x 50 5/8" Window (Temp-Air-Ann/Ann Glass) 37" x 63" Window (Temp-Air-Ann/Ann Glass) 48" x 72" Window (Temp-Air-Ann/Ann Glass) 26 1/2" x 50 5/8" Window (Temp-Air-Temp/Temp Glass) 37" x 63" Window (Temp-Air-Temp/Temp Glass) 48" x 72" Window (Temp-Air-Temp/Temp Glass)	+110 /-133 PSF +72.9 /-72.9 PSF +52.9 /-52.9 PSF +110 /-169.7 PSF +110 /-120 PSF +90.0 /-90.0 PSF
Forced Entry Test (AAMA 1302.5)		Passed

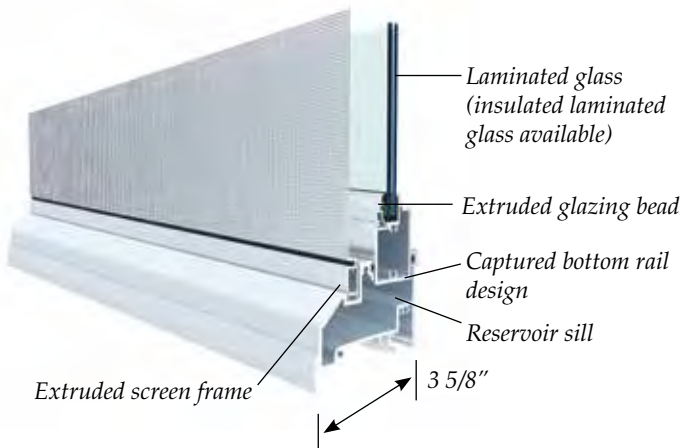
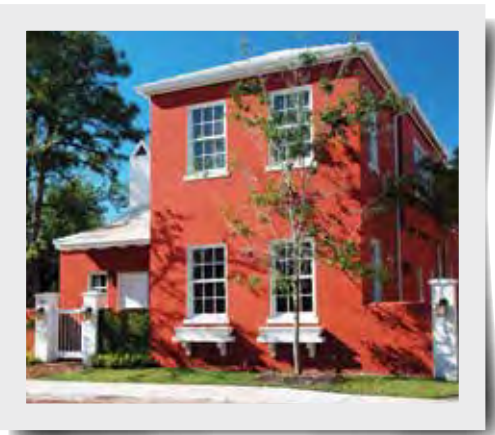
* Performance values for small missile are also available.

ENERGY VALUES (NFRC Approved)

238 Designer/Fixed	U-Factor	SHGC	VT
7/16" Laminated Gray	0.98	0.46	0.38
7/16" Laminated Clear	0.98	0.58	0.68
7/16" Laminated Clear LoE 366	0.99	0.29	0.47
3/4" Insulated Laminated Clear LoE 366	0.52	0.23	0.49
3/4" Insulated Laminated Clear LoE 270	0.52	0.30	0.54

360 SINGLE HUNG WINDOW

Industry leading single hung with design pressures up to +100/-210 PSF, available up to 42x120 or 54x96, Ogee glazing beads and muntins, standard stainless steel assembly screws, and clipless mullions.



Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 5/16" Laminated
- 7/16" Laminated
- 13/16" Insulated Laminated

Glass Coatings

- Energy Efficient LoE Coatings

Standard Hardware

- Pair of CGI egress self closing locks (sill mounted). Note: one lock used on windows 28" wide or less
- Pair of concealed balances
- CGI Patented Carrier Slide System

Standard Features

- Extruded screen frame with Super-View™ screen with fiberglass mesh
- Extruded snap on glazing beads
- Stainless steel assembly screws
- Double and triple Weatherstripping
- Standard 12 PSF water sill
- Balance covers and screen pocket covers

Optional Items

- Small missile impact resistant option
- 15 PSF waterbar adapter
- Sweep lock, keeper, and lift/pull (available for 5/16" glass only)
- Clipless mullions
- Oriel/Proview (uneven size vent available)
- Extruded double applied 1" colonial muntins (in standard or custom grids) with Ogee glazing beads only (not applicable with insulated glass)
- Muntin grids inside insulated glass (GBGs)



SIZE LIMITATIONS (In inches)

Minimum	Size	Maximum	Size
Minimum Width	18	Maximum Width	54
Minimum Height	24	Maximum Height	120

MODULAR SIZES (In inches)

24 x 24	30 x 24	32 x 24	36 x 24	42 x 24	48 x 24	54 x 24
24 x 36	30 x 36	32 x 36	36 x 36	42 x 36	48 x 36	54 x 36
24 x 48	30 x 48	32 x 48	36 x 48	42 x 48	48 x 48	54 x 48
24 x 60	30 x 60	32 x 60	36 x 60	42 x 60 e	48 x 60 e	54 x 60 e
24 x 72	30 x 72	32 x 72	36 x 72 e	42 x 72 e	48 x 72 e	54 x 72 e
24 x 84	30 x 84 e	32 x 84 e	36 x 84 e	42 x 84 e	48 x 84 e	54 x 84 e
24 x 96	30 x 96 e	32 x 96 e	36 x 96 e	42 x 96 e	48 x 96 e	54 x 96 e
				42 x 120 e		

All window dimensions shown are tip to tip of exterior 1/2" flange on frame.

e = Indicates windows that comply with egress (emergency escape) opening requirements when properly located on wall opening.

COMMODITY SIZES (In inches)

19 1/8 x 26	26 1/2 x 26	37 x 26	53 1/8 x 26
19 1/8 x 38 3/8	26 1/2 x 38 3/8	37 x 38 3/8	53 1/8 x 38 3/8
19 1/8 x 50 5/8	26 1/2 x 50 5/8	37 x 50 5/8	53 1/8 x 50 5/8
19 1/8 x 63	26 1/2 x 63	37 x 63 e	53 1/8 x 63 e
19 1/8 x 72	26 1/2 x 72	37 x 72 e	53 1/8 x 72 e
19 1/8 x 76	26 1/2 x 76	37 x 76 e	53 1/8 x 76 e

PERFORMANCE RESULTS

Maximum Water Resistance	Without waterbar adapter With waterbar adapter	12.0 PSF 15.0 PSF
Large Missile Laminated Glass (5/16")	37" x 63" Window (Ann/Ann Glass) 54" x 96" Window (Ann/Ann Glass) 42" x 120" Window (Ann/Ann Glass) 37" x 63" Window (HS/HS Glass) 54" x 96" Window (HS/HS Glass) 42" x 120" Window (HS/HS Glass)	+100 /-154.9 PSF +68.9 /-68.9 PSF +66.4 /-66.4 PSF +100 /-210 PSF +100 /-120 PSF +100 /-120 PSF
Large Missile Insulated Laminated Glass	37" x 63" Window (Ann-Air-Ann/Ann Glass) 54" x 96" Window (Ann-Air-Ann/Ann Glass) 42" x 120" Window (Ann-Air-Ann/Ann Glass) 37" x 63" Window (HS-Air-HS/HS Glass) 54" x 96" Window (HS-Air-HS/HS Glass) 42" x 120" Window (HS-Air-HS/HS Glass)	+100 /-177.6 PSF +73.2 /-73.2 PSF +70.6 /-70.6 PSF +100 /-210 PSF +100 /-120 PSF +100 /-120 PSF
Forced Entry Test (AAMA 1302.5)		Passed

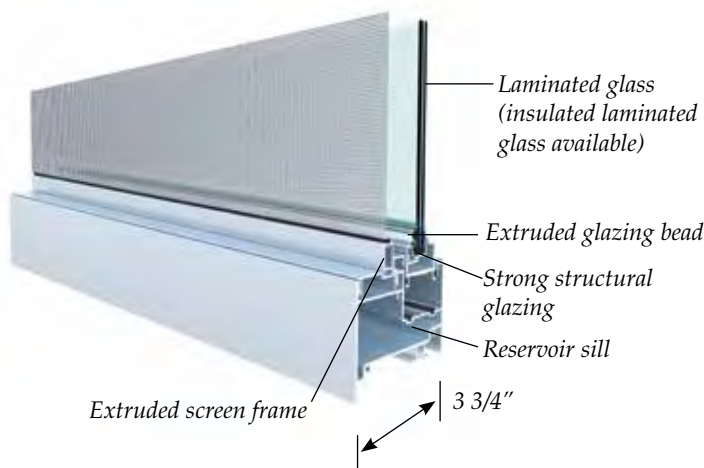
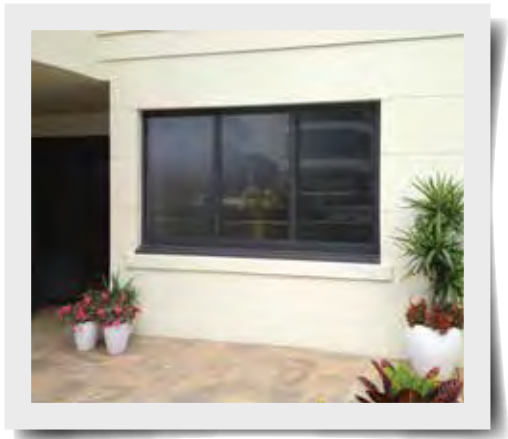
* Performance values for small missile are also available.

ENERGY VALUES (NFRC Approved)

360 Single Hung	U-Factor	SHGC	VT
5/16" Laminated Gray	1.06	0.44	0.39
5/16" Laminated Clear	1.06	0.53	0.59
5/16" Laminated Clear LoE 366	1.07	0.25	0.42
13/16" Insulated Laminated Clear LoE 366	0.61	0.21	0.42
13/16" Insulated Laminated Clear LoE 270	0.61	0.27	0.46

375 HORIZONTAL ROLLING WINDOW

Industry leading rolling window with design pressures up to +120/-147.7 PSF, patented ultra smooth rolling operation, available up to 74x76 in 2 panel and 111x76 in 3 panel configurations, Ogee glazing beads and muntins, standard stainless steel assembly screws, and clipless mullions.



Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 5/16" Laminated
- 7/16" Laminated
- 13/16" Insulated Laminated

Glass Coatings

- Energy Efficient LoE Coatings

Standard Hardware

- CGI egress lock
- Patented Quad Roller System



Standard Features

- Extruded screen frame with Super-View™ screen with fiberglass mesh (retaining clips not required)
- Extruded snap on glazing beads
- Stainless steel assembly screws
- Double and triple Weatherstripping
- 1/2" exterior flange frame
- 2 and 3 panel configurations

Optional Items

- 18 PSF waterbar adapter
- Small missile impact resistant option
- Uneven size vent windows
- Concealed aluminum reinforcing
- Clipless mullions
- Extruded double applied 1" colonial muntins (in standard or custom grids) with Ogee glazing beads only (Not applicable with insulated glass)
- Muntin grids inside insulated glass (GBGS)



SIZE LIMITATIONS (In inches)

Minimum	Size	Maximum	Size
Minimum window (XO equal panel) width	24	Maximum available window width (XOX)	159 3/8
Minimum window (XO unequal panel) width	24	Maximum available window width (XO)	106 1/4
Minimum window (XOX equal panel) width	36	Maximum available window height	76
Minimum window (XOX unequal panel) width	36	Maximum over-all window area	58.6 Sq. Ft.
Minimum window height	24		

MODULAR SIZES (2 equal size panels XO, OX- in inches)

24 x 24	36 x 24	48 x 24	60 x 24	72 x 24
24 x 36	36 x 36	48 x 36	60 x 36	72 x 36 e
24 x 48	36 x 48	48 x 48 e	60 x 48 e	72 x 48 e
24 x 60	36 x 60	48 x 60 e	60 x 60 e	72 x 60 e
24 x 72	36 x 72	48 x 72 e	60 x 72 e	72 x 72 e
24 x 76	36 x 76	48 x 76 e	60 x 76 e	72 x 76 e

MODULAR SIZES (3 equal size panels XOX- in inches)

36 x 24	54 x 24	72 x 24	90 x 24	108 x 24
36 x 36	54 x 36	72 x 36	90 x 36	108 x 36 e
36 x 48	54 x 48	72 x 48	90 x 48 e	108 x 48 e
36 x 60	54 x 60	72 x 60	90 x 60 e	108 x 60 e
36 x 72	54 x 72	72 x 72	90 x 72 e	108 x 72 e
36 x 76	54 x 76	72 x 76	90 x 76 e	108 x 76 e

e = Indicates windows that comply with egress (emergency escape) opening requirements when properly located on wall opening.

COMMODITY SIZES (2 equal size panels XO, OX- in inches)

26 1/2 x 26	37 x 26	53 1/8 x 26	74 x 26
26 1/2 x 38 3/8 R	37 x 38 3/8	53 1/8 x 38 3/8	74 x 38 3/8 e
26 1/2 x 50 5/8 R	37 x 50 5/8 R	53 1/8 x 50 5/8 e	74 x 50 5/8 e
26 1/2 x 63 R	37 x 63 R	53 1/8 x 63 e	74 x 63 e
26 1/2 x 72 R	37 x 72 R	53 1/8 x 72 e R	74 x 72 e
26 1/2 x 76 R	37 x 76 R	53 1/8 x 76 e R	74 x 76 e

COMMODITY SIZES (3 equal size panels XOX- in inches)

53 1/8 x 26	74 x 26	106 1/4 x 26	111 x 26
53 1/8 x 38 3/8	74 x 38 3/8	106 1/4 x 38 3/8 e	111 x 38 3/8 e
53 1/8 x 50 5/8 R	74 x 50 5/8 e	106 1/4 x 50 5/8 e	111 x 50 5/8 e
53 1/8 x 63 R	74 x 63 e R	106 1/4 x 63 e	111 x 63 e
53 1/8 x 72 R	74 x 72 e R	106 1/4 x 72 e	111 x 72 e
53 1/8 x 76 R	74 x 76 e R	106 1/4 x 76 e	111 x 76 e

PERFORMANCE RESULTS

Maximum Water Resistance	Without waterbar adapter With waterbar adapter	12.0 PSF 18.0 PSF
Large Missile Laminated Glass (5/16")	2 equal panel 72" x 48" Window (Ann/Ann Glass) 3 equal panel 111" x 76" Window (Ann/Ann Glass) 2 equal panel 72" x 48" Window (HS/HS Glass) 3 equal panel 111" x 76" Window (HS/HS Glass)	+98.5 /-98.5 PSF +50 /-50 PSF +120 /-147.7 PSF +75 /-75 PSF
Large Missile Insulated Laminated Glass	2 equal panel 72" x 48" Window (Ann-Air-Ann/Ann Glass) 3 equal panel 111" x 76" Window (Ann-Air-Ann/Ann Glass) 2 equal panel 72" x 48" Window (Ann-Air-HS/HS Glass) 3 equal panel 111" x 76" Window (Ann-Air-HS/HS Glass)	+98.5 /-98.5 PSF +100 /-100 PSF +120 /-147.7 PSF +75 /-75 PSF
Forced Entry Test (AAMA 1302.5)		Passed

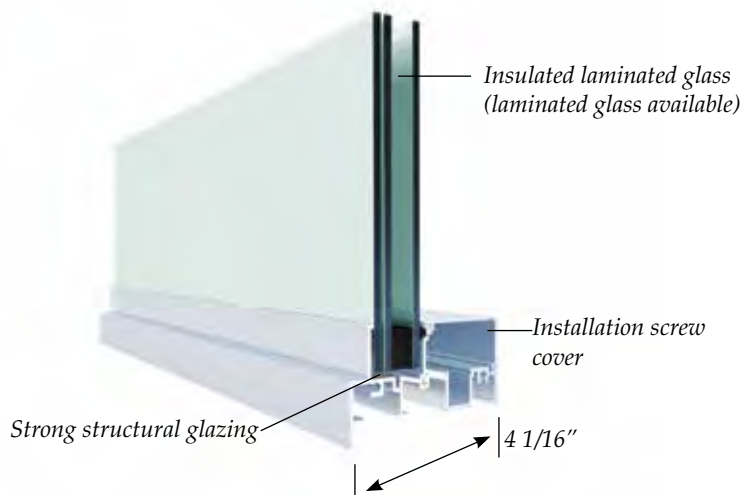
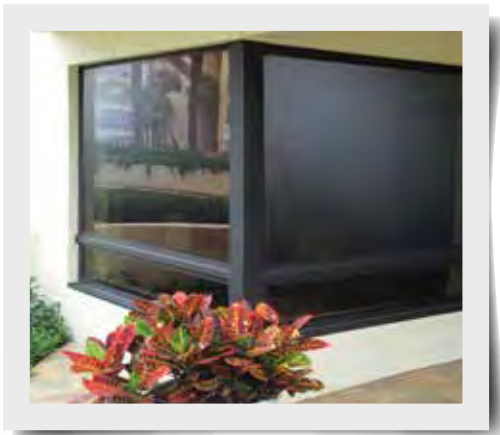
* Performance values for small missile are also available.

ENERGY VALUES (NFRC Approved)

375 Horizontal Roller	U-Factor	SHGC	VT
5/16" Laminated Gray	1.09	0.45	0.40
5/16" Laminated Clear	1.09	0.54	0.60
5/16" Laminated Clear LoE 366	1.10	0.26	0.42
13/16" Insulated Laminated Clear LoE 366	0.64	0.21	0.42
13/16" Insulated Laminated Clear LoE 270	0.64	0.27	0.46

410 FIXED WINDOW

Industry's largest fixed window available in sizes up to 6x10 (60 square feet), direct set frame design, removable interior glazing bead cover, stainless steel assembly screws and clipless mullions.



Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 7/16" Laminated
- 1.2" Insulated Laminated

Glass Coatings

- Energy Efficient LoE Coatings

Standard Features

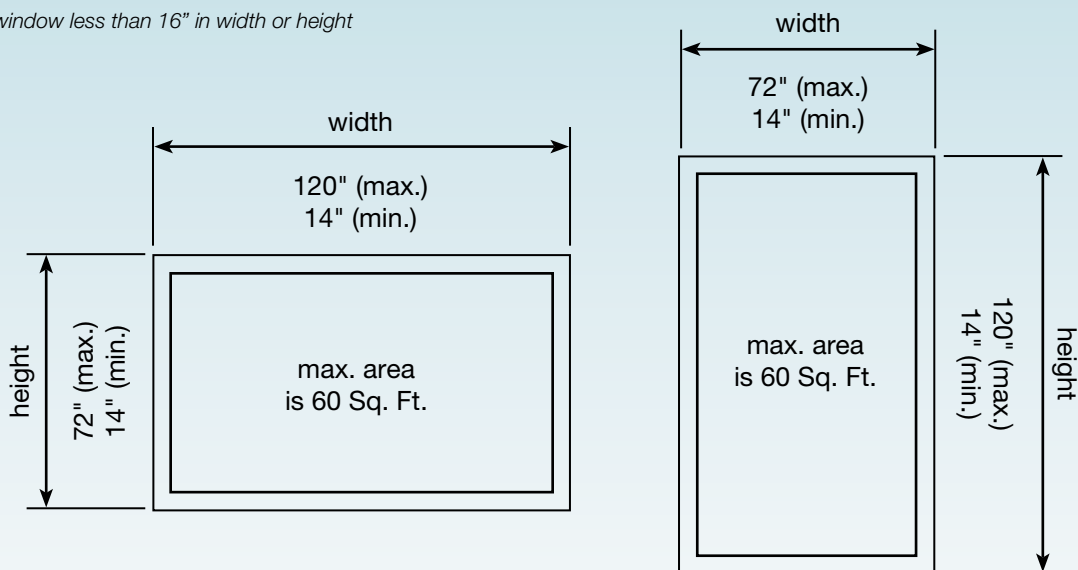
- Direct set frame design
- Stainless steel assembly screws
- Removable interior glazing bead and cover
- Concealed installation fasteners
- 1/2" exterior flange frame

Optional Items

- Flat muntins
- Equal leg frame
- Clipless mullion
- Small missile impact resistant option

SIZE LIMITATIONS

Avoid using window less than 16" in width or height



PERFORMANCE RESULTS

Maximum Water Resistance		20 PSF
Large Missile Laminated Glass	63" x 48" Window (Ann/Ann Glass) 60" x 96" Window (Ann/Ann Glass) 72" x 120" Window (HS/HS Glass) 63" x 48" Window (HS/HS Glass) 60" x 96" Window(HS/HS Glass)	+91.1 /-91.1 PSF +51.8 /-51.8 PSF +75 /-75 PSF +133 /-150 PSF +103.6 /-103.6 PSF
Large Missile Insulated Laminated Glass	63" x 48" Window (Ann/Ann-Air-Ann Glass) 60" x 96" Window (Ann/Ann-Air-Ann Glass) 72" x 120" Window (HS/HS-Air-Temp Glass) 63" x 48" Window (HS/HS-Air-Temp Glass) 60" x 96" Window (HS/HS-Air-Temp Glass)	+88.4 /-88.4 PSF +50.3 /-50.3 PSF +75 /-75 PSF +133 /-150 PSF +106.2 /-106.2 PSF
Forced Entry Test (AAMA 1302.5)		Passed

* Design Load Capacities with Reinforcement

* Performance values for small missile are also available.

ENERGY VALUES (NFRC Approved)

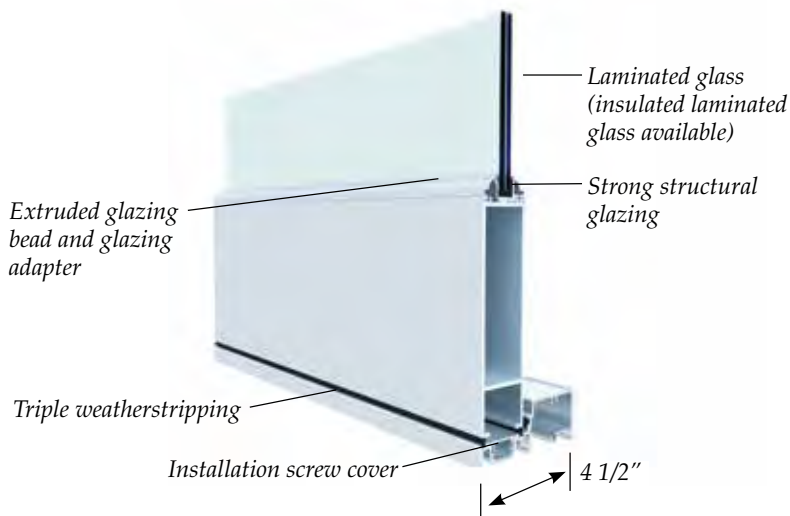
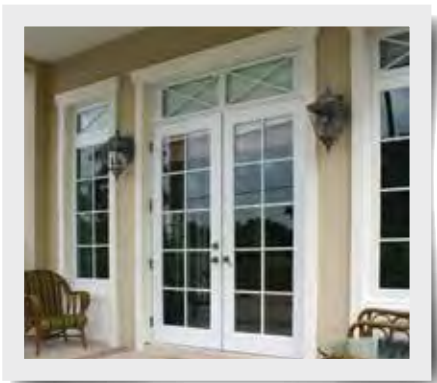
410 Fixed	U-Factor	SHGC	VT
7/16" Laminated Gray	1.04	0.48	0.40
7/16" Laminated Clear	1.04	0.61	0.70
7/16" Laminated Clear LoE 366	1.04	0.31	0.49
1.2" Insulated Laminated Clear LoE 366	0.48	0.31	0.50
1.2" Insulated Laminated Clear LoE 270	0.49	0.35	0.54

450 FRENCH DOOR

Industry leading entry door system available in configurations up to 12'x10' (with matching sidelites), standard stainless steel package, patented 3 point lock and a variety of design options.



See our Estate Entrances brochure for additional entry door options



Outswing shown. Available in Inswing.

Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 7/16" Laminated
- 1" Insulated Laminated

Glass Coatings

- Energy Efficient LoE Coatings

Standard Hardware

Residential

- Hager 4 1/2" x 4" hinges (solid brass or stainless steel)
- Baldwin single cylinder deadbolt
- CGI patented three point lock mechanism
- Active and inactive door panels pre-bored for levers
- Flushbolts at inactive panel
- Available hardware finish: Satin Nickel PVD, Polished Brass PVD, Venetian Bronze

Commercial

- Commercial three point MS deadbolt lock
- Exterior cylinder/interior thumbturn
- Standard Push bar/Pull handle
- Flushbolts at inactive panel
- Available hardware finish: Clear (Silver) Aluminum

Standard Features

- Outswing configuration
- 2" thick (nominal) door panels
- Complete frame, threshold and Weatherstripping
- Extruded snap on glazing beads (in contoured ogee or contemporary square profiles)
- Extruded astragal adapter
- Extruded installation screw covers
- Dummy handle on inactive panel

Optional Items

- Panic hardware: Jackson series 2086 concealed vertical rod exit device
- In-swing configuration
- Baldwin levers
- Extruded double applied raised profile 1" and 3 1/2" muntins (not applicable with insulated glass)
- True horizontal muntin (4 5/8" wide)
- 1/2" thick combinations aluminum/wood panel (in lieu of glass)
- Free-Standing and Self-Mating Sidelites and Transoms
- Residential Saddle or ADA Saddle thresholds (not rated for water resistance)
- Decorative aluminum panels
- Decorative wrought iron aluminum grills
- Muntin grids inside insulated glass (GBGs)

SWING DOOR SIZES (In inches)

Code Size	Door Type	6' 8" high units	8' high units	9' high units	10' high units
2068 / 2080 / 2090 / 20100	single	26 9/16 x 80 3/4	26 9/16 x 96 3/4	26 9/16 x 108 3/4	26 9/16 x 120 3/4
2668 / 2680 / 2690 / 26100	single	32 9/16 x 80 3/4	32 9/16 x 96 3/4	32 9/16 x 108 3/4	32 9/16 x 120 3/4
2868 / 2880 / 2890 / 28100	single	34 9/16 x 80 3/4	34 9/16 x 96 3/4	34 9/16 x 108 3/4	34 9/16 x 120 3/4
3068 / 3080 / 3090 / 30100	single	38 9/16 x 80 3/4	38 9/16 x 96 3/4	38 9/16 x 108 3/4	38 9/16 x 120 3/4
4068 / 4080 / 4090 / 40100	pair	50 1/2 x 80 3/4	50 1/2 x 96 3/4	50 1/2 x 108 3/4	50 1/2 x 120 3/4
5068 / 5080 / 5090 / 50100	pair	62 1/2 x 80 3/4	62 1/2 x 96 3/4	62 1/2 x 108 3/4	62 1/2 x 120 3/4
5468 / 5480 / 5490 / 54100	pair	66 1/2 x 80 3/4	66 1/2 x 96 3/4	66 1/2 x 108 3/4	66 1/2 x 120 3/4
6068 / 6080 / 6090 / 60100	pair	74 1/2 x 80 3/4	74 1/2 x 96 3/4	74 1/2 x 108 3/4	74 1/2 x 120 3/4

Also available in wide configurations: 44 9/16 x 80 3/4, 44 9/16 x 96 3/4, 44 9/16 x 102 3/4, 86 1/2 x 80 3/4, 86 1/2 x 96 3/4, 86 1/2 x 102 3/4

SELF-MATING SIDELITE SIZES (In inches. Has one full jamb and one jamb adapter, designed to mate with doors or a free-standing sidelite)

Code Size	Note	6' 8" high units	8' high units	9' high units	10' high units
1068 / 1080 / 1090 / 10100	1 3/4 stiles	13 1/4 x 80 3/4	13 1/4 x 96 3/4	13 1/4 x 108 3/4	13 1/4 x 120 3/4
1668 / 1680 / 1690 / 16100	1 3/4 stiles	19 1/4 x 80 3/4	19 1/4 x 96 3/4	19 1/4 x 108 3/4	19 1/4 x 120 3/4
2068 / 2080 / 2090 / 20100	5 1/2 stiles	25 1/4 x 80 3/4	25 1/4 x 96 3/4	25 1/4 x 108 3/4	25 1/4 x 120 3/4
2668 / 2680 / 2690 / 26100	5 1/2 stiles	31 1/4 x 80 3/4	31 1/4 x 96 3/4	31 1/4 x 108 3/4	31 1/4 x 120 3/4
2868 / 2880 / 2890 / 28100	5 1/2 stiles	33 1/4 x 80 3/4	33 1/4 x 96 3/4	33 1/4 x 108 3/4	33 1/4 x 120 3/4
3068 / 3080 / 3090 / 30100	5 1/2 stiles	37 1/4 x 80 3/4	37 1/4 x 96 3/4	37 1/4 x 108 3/4	37 1/4 x 120 3/4

FREE-STANDING SIDELITE SIZES (In inches. Has full jambs on both sides and can be installed independently as a single unit.)

Code Size	Note	6' 8" high units	8' high units	9' high units	10' high units
1068 / 1080 / 1090 / 10100	1 3/4 stiles	14 3/8 x 80 3/4	14 3/8 x 96 3/4	14 3/8 x 108 3/4	14 3/8 x 120 3/4
1668 / 1680 / 1690 / 16100	1 3/4 stiles	20 3/8 x 80 3/4	20 3/8 x 96 3/4	20 3/8 x 108 3/4	20 3/8 x 120 3/4
2068 / 2080 / 2090 / 20100	5 1/2 stiles	26 3/8 x 80 3/4	26 3/8 x 96 3/4	26 3/8 x 108 3/4	26 3/8 x 120 3/4
2668 / 2680 / 2690 / 26100	5 1/2 stiles	32 3/8 x 80 3/4	32 3/8 x 96 3/4	32 3/8 x 108 3/4	32 3/8 x 120 3/4
2868 / 2880 / 2890 / 28100	5 1/2 stiles	34 3/8 x 80 3/4	34 3/8 x 96 3/4	34 3/8 x 108 3/4	34 3/8 x 120 3/4
3068 / 3080 / 3090 / 30100	5 1/2 stiles	38 3/8 x 80 3/4	38 3/8 x 96 3/4	38 3/8 x 108 3/4	38 3/8 x 120 3/4

PERFORMANCE RESULTS

Maximum Water Resistance	Out-Swing Sill In-Swing Sill Saddle Thresholds	15 PSF 7.5 PSF Not Rated For Water
Large Missile Laminated Glass	3090 Door Panel (Ann/Ann Glass) 3686 Door Panel (Ann/Ann Glass) 30100 Door Panel (Ann/Ann Glass)	+100 /-110 PSF +70 /-70 PSF +70 /-70 PSF
Large Missile Insulated Laminated Glass	3090 Door Panel (Temp-Air-Ann/Ann Glass)* 3686 Door Panel (Temp-Air-Ann/Ann Glass)* 30100 Door Panel (Temp-Air-Ann/Ann Glass)*	+70 /-70 PSF +70 /-70 PSF +70 /-70 PSF
Forced Entry Test (AAMA 1302.5)		Passed

Performance values are for laminated glass with .090" Sentryglas Interlayer . Consult the NOA for values with PVB Interlayer.

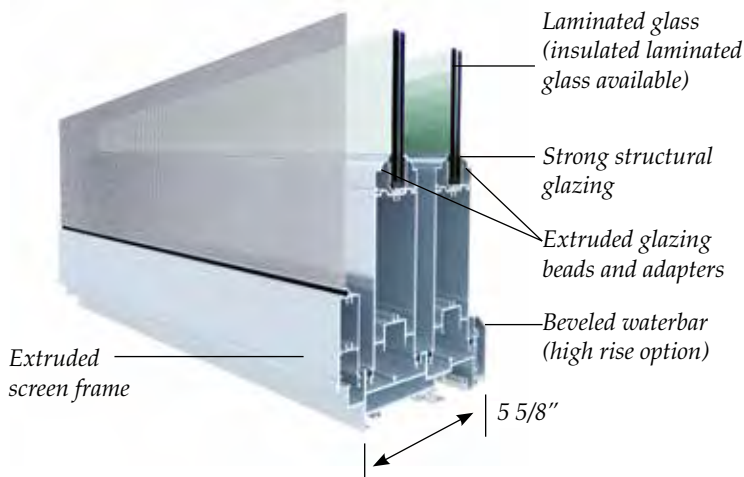
*Glass limited to 8/0 daylight opening. Panel sizes above 8/0 require true muntin.

ENERGY VALUES (NFRC Approved)

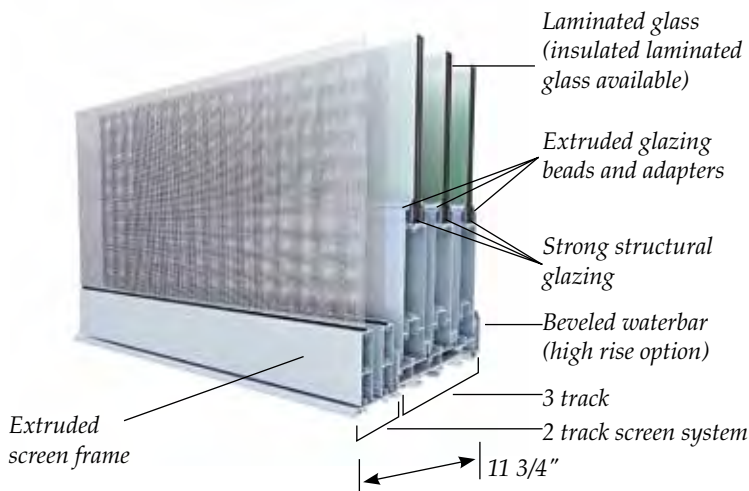
450 Swing Door	U-Factor	SHGC	VT
7/16" Laminated Gray	1.01	0.33	0.25
7/16" Laminated Clear	1.01	0.42	0.45
7/16" Laminated Clear LoE 366	1.05	0.23	0.31
1" Insulated Laminated Clear LoE 366	0.72	0.18	0.32
1" Insulated Laminated Clear LoE 270	0.73	0.23	0.34

560 ESTATE SLIDING GLASS DOOR

Industry leading sliding glass door system with design pressures up to +120/-167 PSF, available up to 30'x10' six panel configurations with standard stainless steel package and Ogee glazing beads and muntins. Available in two track, three track and pocket configurations.



3 TRACK WITH OPTIONAL 2 TRACK SCREEN SYSTEM



Available Finishes

White, Bronze, Bone White Kynar or equivalent, Class I Clear Anodized, Aspen Wood Grain Finishes, Custom Colors

Standard Glass Colors

Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, Azuria Blue, White Interlayer, Mist (Pattern 62), Rain

Glass Types

- 1/2" Laminated
- 1" Insulated Laminated

Glass Coatings

- Energy Efficient LoE Coatings

Standard Hardware

- Commercial grade maximum security hook bolt lock with all stainless steel mechanism
- Custom cast stainless steel HD keeper with three stainless steel screws
- Interior brass cylinder thumbturn
- 3/4" diameter back to back solid round pulls (10" center to center) with 1 1/2" x 12" escutcheon plate
- Tandem stainless steel rollers with precision bearings in a stainless steel housing (2 rollers per operable door panel)
- Heavy duty head mounted round door stop with rubber bumper
- Available hardware finishes: Satin Nickel PVD, Dark Bronze, White

Standard Features

- 8 1/8" tall bottom rail sightline
- Stainless steel fasteners throughout
- Class I Clear Anodized tubular aluminum sill with internal drain chamber
- Interior sill face trim (waterbar) painted to match door frame for 9 or 12 PSF water resistance
- Extruded snap-on glazing beads (in contoured ogee or contemporary square profiles)

Optional Items

- Small missile impact resistant option
- 15 and 18 PSF water resistant waterbar painted to match door frame
- Extruded frame screen up to 8' tall
- Heavy duty screen with extruded 1 3/4" vertical members for units above 8'
- Extruded double applied raised profile 1" and 3 1/2" muntins (not applicable on insulated glass)
- Concealed aluminum reinforcing
- Small missile impact resistant option
- Keyed cylinder (Satin Nickel or Dark Bronze)
- 2 track screen system for 3 track doors
- Muntin grids inside insulated glass (GBGs)

SIZES (In inches)

Estate 6'8", 8'0", 9'0", and 10'0" Sliding Glass Door Sizes (80", 96", 108", and 120" Frame Height)

	Configuration	Call Width	Frame Width		Configuration	Call Width	Frame Width
2 Track	OX, XO, XX, XX-R (2 panel)	4-0	48	3 Track	XXX,XXX-R, XXO, OXX (3 panel)	6-0	69 1/4
		5-0	60			7-6	87 1/4
		6-0	72			9-0	105 1/4
		8-0	96			12-0	141 1/4
		10-0	120			15-0	177 1/4
	OXO, OXO-R (3 panel)	6-0	73 1/2		XXXXXX, OXXXXO (6 panel)	12-0	137 1/2
		7-6	91 1/2			15-0	173 1/2
		9-0	109 1/2			18-0	209 1/2
		12-0	145 1/2			24-0	281 1/2
OXXO,XXXX (4 panel)	8-0	94 3/4		30-0	353 1/2		
	10-0	118 3/4					
	12-0	142 3/4					
	16-0	190 3/4					
	20-0	238 3/4					

Pocket configurations available. Consult the factory.

PERFORMANCE RESULTS

Maximum Water Resistance		9 PSF 12 PSF 15 PSF 18 PSF
Large Missile Laminated Glass	4' x 8' Door Panel (Ann/Ann Glass) 4' x 10' Door Panel (Ann/Ann Glass) 4' x 8' Door Panel (HS/HS Glass) 4' x 10' Door Panel (HS/HS Glass) 5' x 10' Door Panel (HS/HS Glass)	+83.5 /-83.5 PSF +70 /-70 PSF +120 /-167 PSF* +120 /-140 PSF* +90 /-90 PSF*
Large Missile Insulated Laminated Glass	4' x 8' Door Panel (Temp-Air-Ann/Ann Glass) 4' x 10' Door Panel (Temp-Air-Ann/Ann Glass) 4' x 8' Door Panel (Temp-Air-HS/HS Glass) 4' x 10' Door Panel (Temp-Air-HS/HS Glass) 5' x 10' Door Panel (Temp-Air-HS/HS Glass)	+83.5 /-83.5 PSF +70 /-70 PSF +120 /-167 PSF* +120 /-140 PSF* +90 /-90 PSF*
Forced Entry Test (AAMA 1302.5)		Passed

* Design Load Capacities with Reinforcement

* Performance values for small missile are also available.

ENERGY VALUES (NFRC Approved)

560 Sliding Glass Door	U-Factor	SHGC	VT
1/2" Laminated Gray	1.06	0.39	0.32
1/2" Laminated Clear	1.06	0.50	0.57
1" Insulated Laminated Clear LoE 366	0.65	0.20	0.40
1" Insulated Laminated Clear LoE 270	0.65	0.26	0.44

CHOOSE A FINISH *that* COMPLIMENTS YOUR HOME

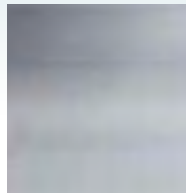
Our windows come in a host of standard and custom finishes. Choose from our standard white, bronze or upgrade to a variety of colors including our Aspen Wood Grain Finishes. Simulated wood grain finishes by nature are designed to imitate real wood, and therefore will exhibit color variability. This is not considered to be a defect in the product.*



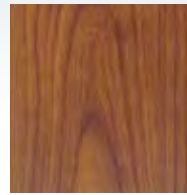
Bronze



White/Bone White
Kynar or equivalent*



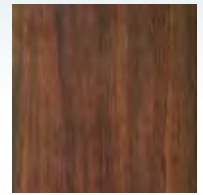
Class I Clear Anodized



Hazelnut Brown*



Mahogany Red*



Walnut Brown*

* Paint finish colors may not be accurate representations. Other custom colors and wood finishes available upon request subject to a minimum order size.

*Note that white and bone white kynar are different

ESTATE COLLECTION DOORS LEVER HARDWARE *finishes*

Baldwin offers inspired door hardware designs in highly crafted, rich finishes. The Baldwin door hardware is the beginning of a grand style that can be carried throughout the home with coordinating interior hardware, latches, and bath products.



Polished Brass



Satin Nickel



Venetian Bronze



Satin Nickel*



Satin Nickel*



Polished Brass



Satin Nickel



Venetian Bronze



Venetian Bronze Deluxe Handleset*

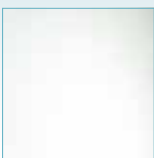


Satin Nickel Deluxe Handleset*

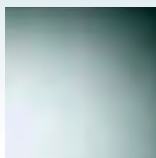
*Available for Estate Entrances

PICK A GLASS TINT *from* OUR WIDE SELECTION

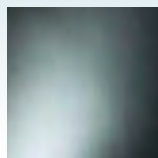
The Estate Windows Collection is available with impact and intruder resistant glass and a variety of thermally efficient glass types such as insulated glass with LoE coatings. Glass tint colors may not be accurate representations.



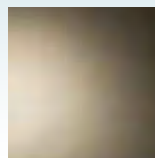
Clear



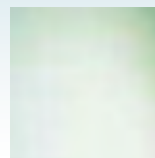
Gray



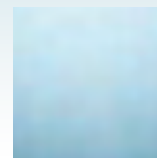
Dark Gray
(Turtle Code)



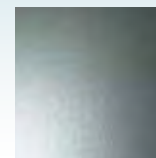
Bronze



Solexia Green



Azuria Blue



Mist
(Pattern 62)



Rain

ASPEN WOOD finishes

CGI offers the highest quality wood grain finishes available in the market.

OURS



Finishes that look like real wood
Super durable base coat

OTHERS



Appearance of painted aluminum
Standard base coat



VARIATION *is* PART OF THE NATURAL BEAUTY

Process:

The Aspen Wood Grain Finishes are created with a three step process. The aluminum material is chemically pre-treated to prepare the surface for paint. Then, a base coat of paint is applied. Finally, a special ink pattern is applied through a sublimation process. The final result is an integrated color that mimics real wood finishes.

Expectations:

Wood grain finishes are designed to mimic wood, consequently there will be color variations between extrusions, within extrusions and on the same projects just like wood. Additionally, wood grains follow the “long” dimension of the material. So, some products may have wood grain that runs in different directions like below (*).

Additionally small blemishes may be touched up during the manufacturing process. Imperfections that are difficult to detect from 6 feet are not considered manufacturing defects.

Maintenance:

Simulated wood grain finishes perform best when cleaned with soap and water. No solvents, glass cleaners, abrasive materials, etc. should be used.

Real Wood



**Real wood products have color variations between panels and frequently the grain will run in different directions.*



**Just like real wood, CGI's Aspen wood grain finishes will have some color variations and wood grain that runs in different directions.*

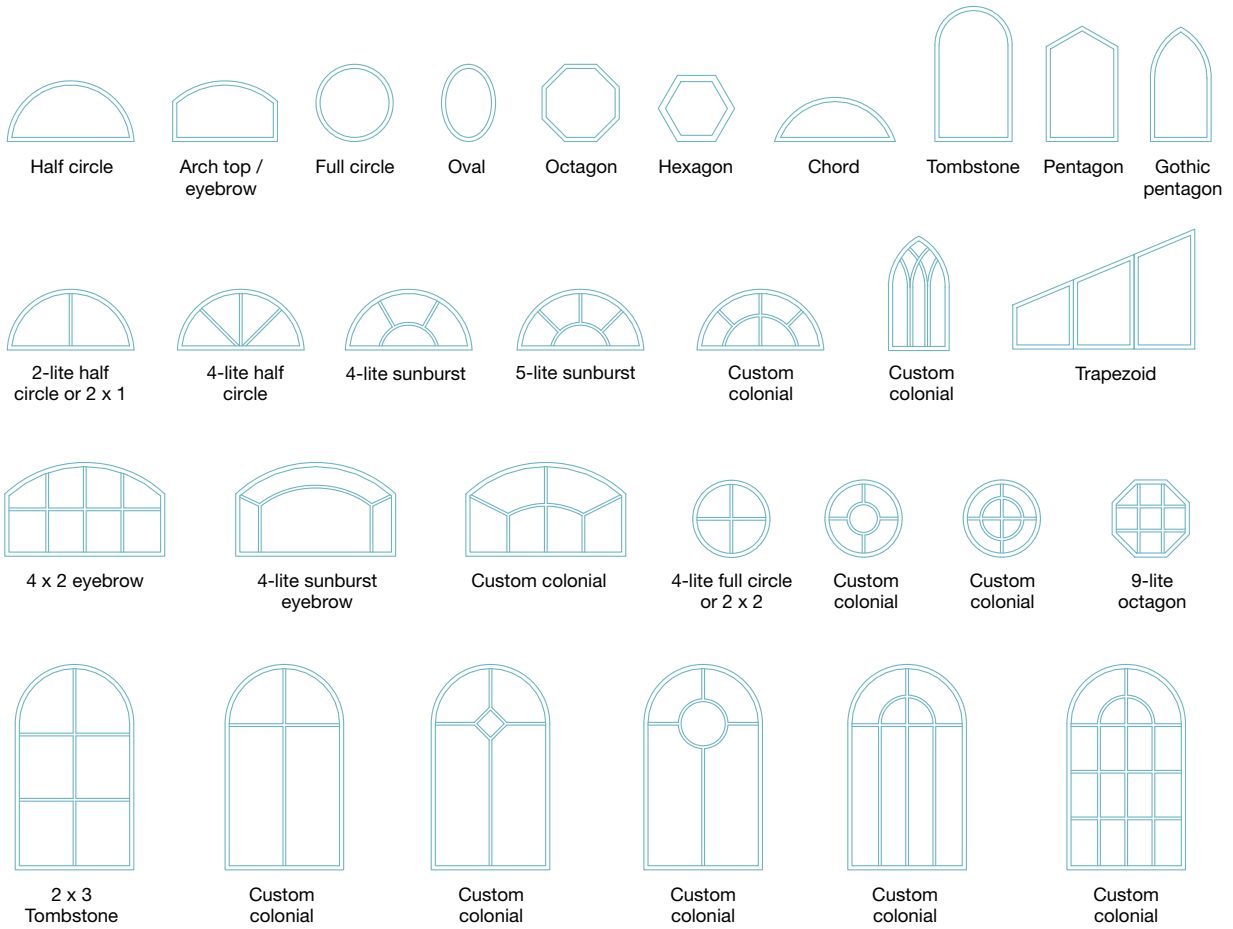


CGI Aspen wood grain finish



CGI wood variation

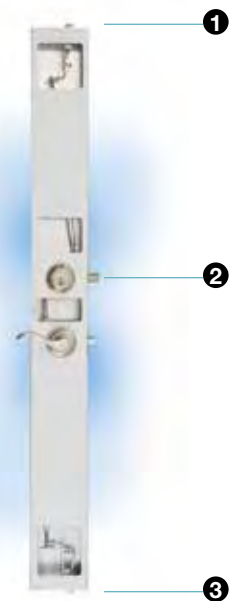
SOME of OUR FIXED DESIGNER CONFIGURATIONS



THE CGI difference



Our Super-View™ see-through screen material provides strong construction and clearer, unobstructed views. Our screens are constructed using a sturdy extruded frame design.



Three-point door lock is a CGI patented design.



Casement, Fixed and Project Out windows have matching profiles.

DON'T FORGET TO ASK *about* OUR ESTATE ENTRANCE DOORS



ESTATE ENTRANCES

Peace of mind has never looked so good

**Security, durability and beauty,
the perfect combination!**

Estate Entrances from CGI Windows and Doors provide you with the beauty of wood and the security, durability, quality and strength of heavy-gauge aluminum. Our doors require minimal maintenance and will not swell or decay. The raised colonial muntins, painted wood grain finishes, custom colors, and the wide selection of glass and hardware options are elegant enhancements to any home.



EVERY ONE OF *our* ENTRANCE DOORS IS CUSTOM MADE,
LIMITED ONLY BY YOUR IMAGINATION





ESTATE COLLECTION
Impact Resistant Windows & Doors

Sentinel
by CGI Impact Resistant
Windows & Doors

TARGA
by CGI Impact Resistant
Windows & Doors



ESTATE ENTRANCES
Peace of mind has never looked so good



Commercial Series
Impact Resistant Windows & Doors



**Impact Resistant
Windows & Doors**
WE'RE STRONGER™

CGI Windows and Doors, Inc.
10100 NW 25th Street
Miami, FL 33172

800.442.9042
Office: 305.593.6590
Fax: 305.593.6592

E-mail: inquiries@cgiwindows.com
www.cgiwindows.com

Planning Board Resolution

**PLANNING BOARD
RESOLUTION NO. 2014-47**

A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING MAJOR DEVELOPMENT PLAN, CONDITIONAL USE AND LANDSCAPE WAIVER APPROVALS PURSUANT TO SECTIONS 108-91.A.2., 108-517, 122-62 AND 122-718 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA FOR THE RECONSTRUCTION OF 2,500 OR GREATER OF GROSS FLOOR AREA, FOR THE MODIFICATION AND CONTINUATION OF PUBLIC UTILITY AND PARKING LOT USES AND FOR THE REDUCTION OF REQUIRED LANDSCAPING ASSOCIATED WITH THE PROPOSED RENOVATION OF THE KEYS ENERGY OFFICE BUILDING ON PROPERTY LOCATED AT 1001 JAMES STREET (RE # 00001700-000000; AK # 1001767) IN THE HISTORIC RESIDENTIAL COMMERCIAL CORE – KEY WEST BIGHT (HRCC-2) ZONING DISTRICT; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Section 108-91 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that within the Historic District, a Major Development Plan is required for the addition or reconstruction of equal to or greater than 2,500 square feet of gross floor area; and

WHEREAS, the proposed use of the property is continuation of the existing public utility use, which is a conditional use within the Historic Residential Commercial Core – Key West Bight (HRCC-2) Zoning District pursuant to Code Section 122-718(8); and

WHEREAS, waivers to reduce the City’s landscaping requirements are request pursuant to City Code Section 108-517; and





Vice-Chair
Planning Director

WHEREAS, Code Sections 108-196(a) and 122-62(a) require the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan and Conditional Use in an advisory capacity to the City Commission; and

WHEREAS, Code Section 108-517(a) requires the Planning Board to consider the landscape waiver request and render the final action; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on July 24, 2014; and

WHEREAS, the granting of a Major Development Plan, Conditional Use and Landscape Waiver application is consistent with the criteria of the Code of Ordinances; and

WHEREAS, the Planning Board finds that the granting of a Major Development Plan, Conditional Use and Landscape Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. The Major Development Plan, Conditional Use and Landscape Waiver for the renovation of the existing office building and parking lot for the public electric utility use on property located at 1001 James Street (RE # 00001700-000000; AK # 1001767) in the Historic Residential Commercial Core – Key West Bight (HRCC-2) Zoning District pursuant to Sections 108-91.A.2., 108-517, 122-62 and 122-718 of the Land Development Regulations of the Code of

 Vice-Chair

 Planning Director

Ordinances of the City of Key West, Florida, as shown in the attached plans dated June 30, 2014, is hereby approved with the following conditions:

General conditions:

1. Prior to the City Commission hearing for the subject request, the Applicant shall address all of staff's and the DRC's concerns as outlined in the July 21, 2014 staff letter and the June 5, 2014 DRC minutes.

2. Although subject to a separate City approval, the City shall not bear any of the costs of the proposed sidewalk improvements along James Street.

Conditions prior to issuance of a building permit:

3. The property owner shall obtain an easement from the City for the proposed replacement and maintenance of existing encroachments into the Grinnell Street right-of-way, consisting of a concrete roof canopy on the south side of the building and metal sun shades mounted on the west side of the building.

4. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee.

Conditions prior to issuance of a Certificate of Occupancy:

5. On-site artwork shall be installed and inspected by the City pursuant to Code Section 2-487.

Section 3. Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.



Vice-Chair



Planning Director

Section 4. This Major Development Plan, Conditional Use and Landscape Waiver application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

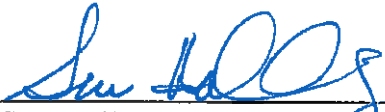
Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

 Vice-Chair

 Planning Director

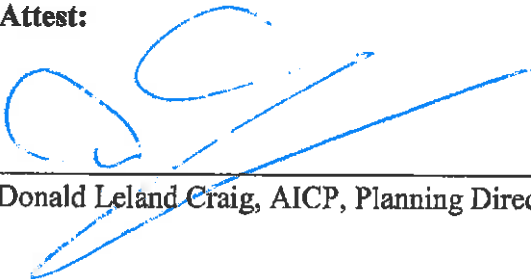
Read and passed on first reading at a regularly scheduled meeting held this 24th day of July, 2014.

Authenticated by the Vice-Chair of the Planning Board and the Planning Director.



Sam Holland, Jr., Planning Board Vice-Chair 8.5.14
Date

Attest:



Donald Leland Craig, AICP, Planning Director 7.28.14
Date

Filed with the Clerk:



Cheryl Smith, City Clerk 8/5/14
Date



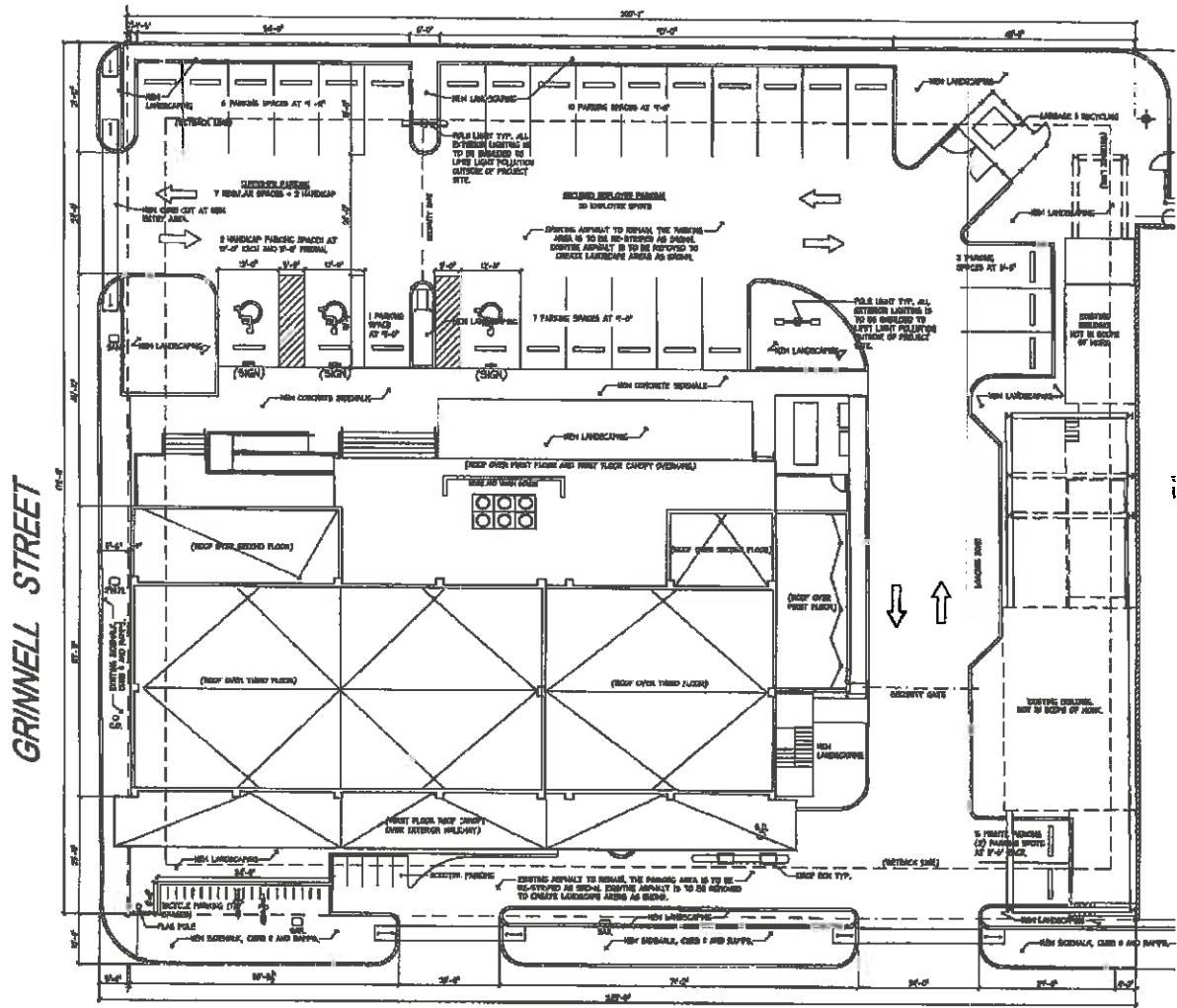
Vice-Chair


Planning Director

PROJECT STATISTICS	
PROJ. NO.	1000-0000-0000-0000-0000-0000
DATE	10/20/00
BY	J.M.
CHK'D BY	J.M.
REV. NO.	1
DESCRIPTION	REVISIONS
1	ISSUE FOR PERMITS
2	ISSUE FOR PERMITS
3	ISSUE FOR PERMITS
4	ISSUE FOR PERMITS
5	ISSUE FOR PERMITS
6	ISSUE FOR PERMITS
7	ISSUE FOR PERMITS
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49	ISSUE FOR PERMITS
50	ISSUE FOR PERMITS

Handwritten notes: 9-23-01, 8-5-01

60% SUBMITTAL



GRINNELL STREET

JAMES STREET

SITE PLAN

KEYS ENERGY SERVICES
1001 JAMES STREET
Key West, Florida 33040

THE ARCHITECTS

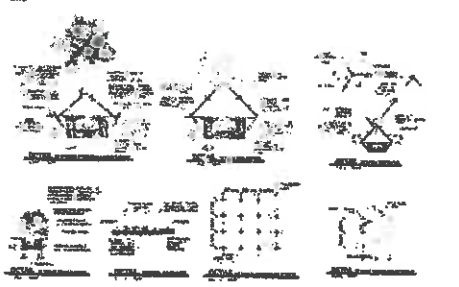
Bender & Associates
ARCHITECTS

Project No. 1000-0000-0000-0000-0000-0000

A1.1

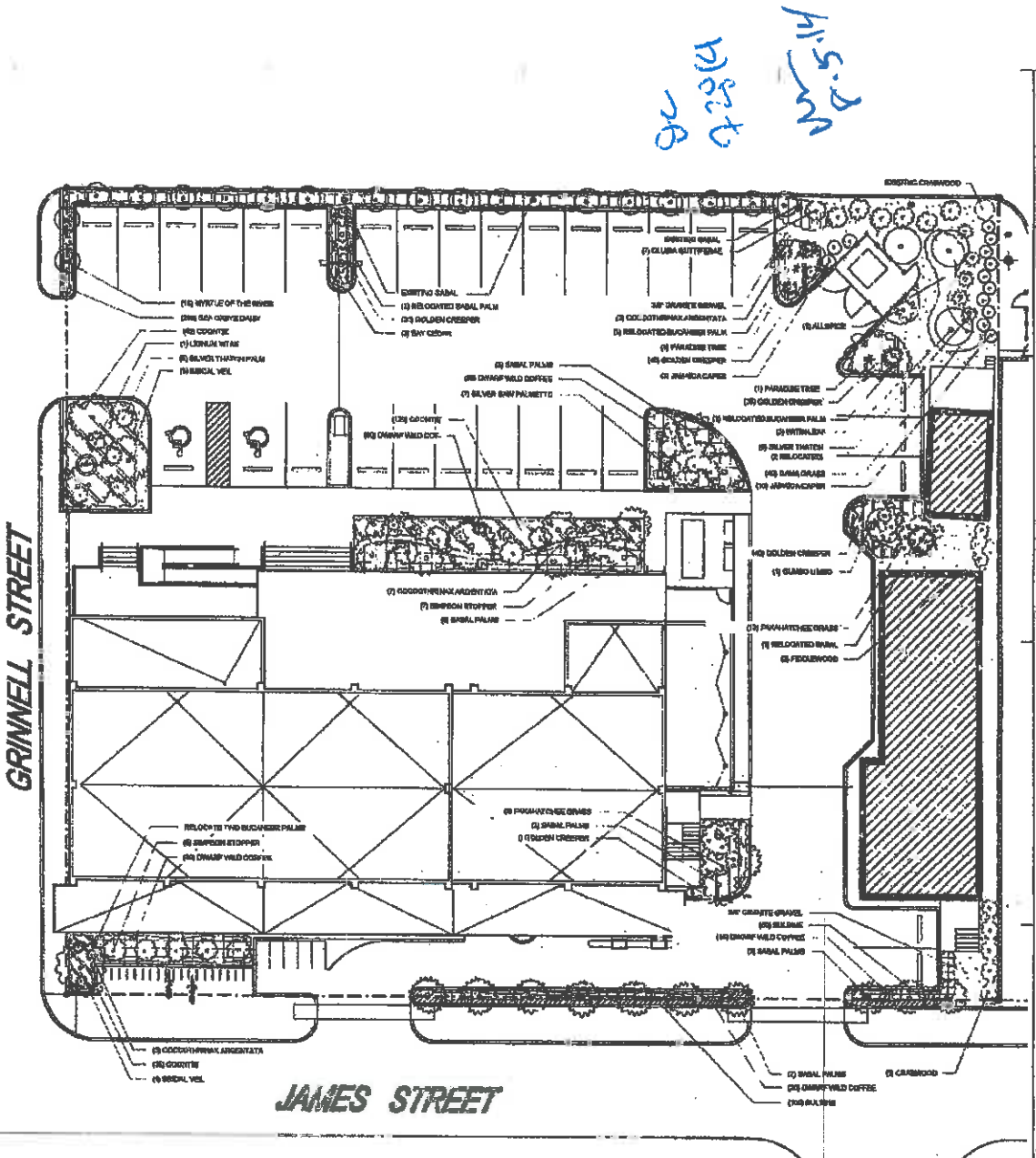
- GENERAL LANDSCAPE NOTES:**
1. Review local regulations for the proposed site of development. Verify proposed setbacks and setbacks. Any setbacks shall be maintained throughout the entire site. All setbacks shall be maintained throughout the entire site.
 2. All trees to be removed shall be removed prior to construction. All trees to be removed shall be removed prior to construction.
 3. All trees to be removed shall be removed prior to construction. All trees to be removed shall be removed prior to construction.
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 20. All trees to be removed shall be removed prior to construction. All trees to be removed shall be removed prior to construction.
 21. All trees to be removed shall be removed prior to construction. All trees to be removed shall be removed prior to construction.
 22. All trees to be removed shall be removed prior to construction. All trees to be removed shall be removed prior to construction.

- IRRIGATION NOTES:**
1. All Lady Palms (Borner spp.) shall be planted in pairs of right handed. All other plants to have two to three on opposite sides of each tree. Spacing to be based on tree size.
 2. All trees shall have a minimum height of 10 feet. All trees shall have a minimum height of 10 feet.
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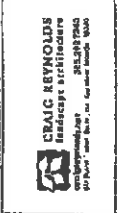
PLANT LIST

Qty	Species Name	Remarks	Plant Size
1	100' Lady Palm	100' Lady Palm	10 FT PL
2	100' Golden Chalice	100' Golden Chalice	10 FT PL
3	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
4	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
5	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
6	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
7	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
8	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
9	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
10	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
11	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
12	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
13	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
14	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
15	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
16	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
17	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
18	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
19	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
20	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
21	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL
22	100' Silver Bay Palm	100' Silver Bay Palm	10 FT PL



LANDSCAPE PLAN

Handwritten notes: "A15-2A", "A15-2B", "A15-2C", "A15-2D".



KEYS ENERGY SERVICES
1001 JAMES STREET
Key West, Florida 33000



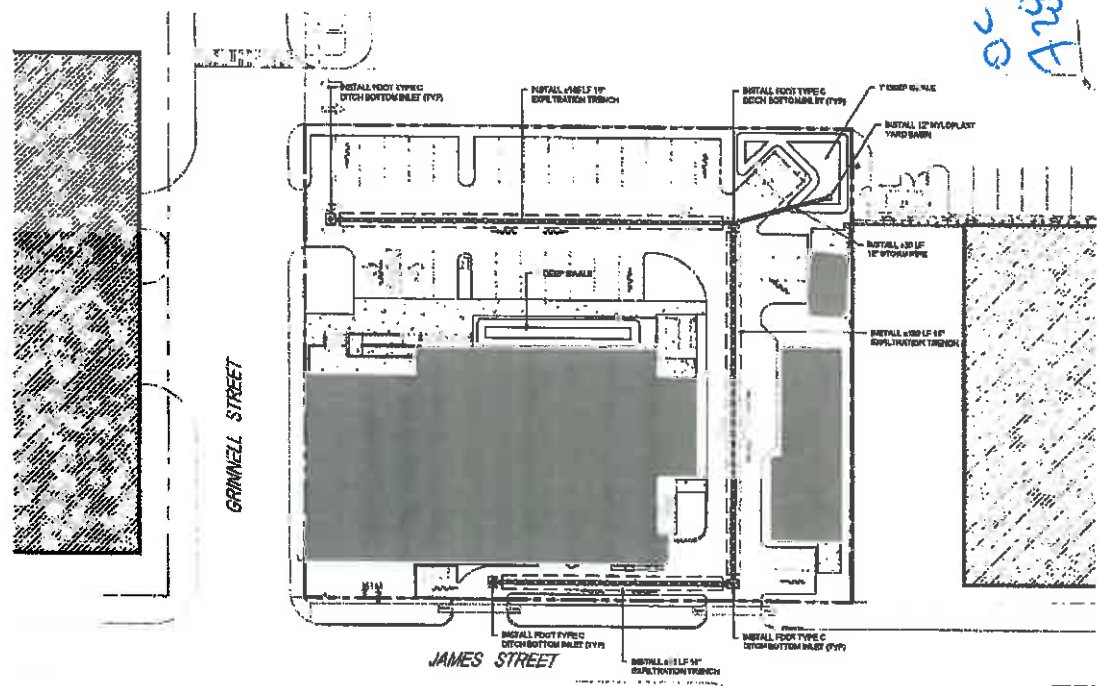
Project No. 100
Date: 2004
L-1

Handwritten notes: "11/15/18" and "AUG 20" with a signature.



LEGEND

- PROJECT LIMITS
- ASPHALT DRIVEWAY
- CONCRETE
- ROOF AREA
- DRY RETENTION AREA
- STORMWATER FLOW

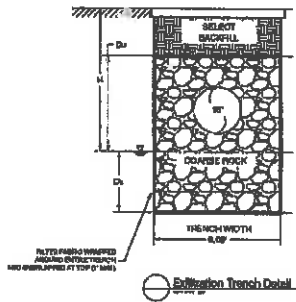


Water Quantity Calculations - 1001 James Street

Water Quantity	Flow Rate (cfs)	Volume (cu ft)	Volume (cu yd)
Roof Area	0.250	20,000	740
Driveway Area	0.250	2,000	74
Impervious Area	0.250	20,000	740
Impervious Area	0.250	20,000	740
Peak Flow Rate	0.750	60,000	2,220
Peak Flow Rate	0.750	60,000	2,220
Peak Flow Rate	0.750	60,000	2,220
Peak Flow Rate	0.750	60,000	2,220
Peak Flow Rate	0.750	60,000	2,220

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Peak Flow Rate	0.750	60,000	2,220
Peak Flow Rate	0.750	60,000	2,220



Infiltration Trench Design

Parameter	Value
Required trench length (ft)	200
Trench Length Provided	200
Trench Length Provided	200
Trench Length Provided	200
Trench Length Provided	200
Trench Length Provided	200

PUREZ ENGINEERING
 1001 JAMES STREET
 KEY WEST, FL 33040
 TEL: 305.854.1111
 FAX: 305.854.1112
 WWW.PUREZENGINEERING.COM

KEYS ENERGY SERVICES
 1001 JAMES STREET
 KEY WEST, FL 33040

CONCEPTUAL DRAINAGE PLAN

DATE: 11/15/18
 DRAWN: JED
 CHECKED: JED
 DESIGNED: JED
 SCALE: AS SHOWN

Public Notice

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 27, 2014 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

MAJOR DEVELOPMENT PLAN- RENOVATION OF EXISTING BUILDING AND ENCLOSE EXISTING METAL ACCESSORY STRUCTURE. DEMOLITION OF SIDE AND BACK ADDITIONS. REMOVAL OF METAL SHED AND METAL ELEMENTS. REMOVE FENCE FROM GRINNELL STREET AND PORTION ON JAMES STREET WITH NO BUILT BACK.

FOR- 1001 JAMES STREET

Applicant- Bender & Associates

Application # H14-01-1259

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3973 or visit our website at www.keywestcity.com.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Lynne Tejeda, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
1001 James Street on the 13 day of August, 2014.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on Aug 21, 2014.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H14-01-1259.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Lynne Tejeda
Date: Aug 14, 2014
Address: 1001 James Street
City: Key West, FL
State, Zip: 33040

The forgoing instrument was acknowledged before me on this 14 day of August, 2014.

By (Print name of Affiant) Lynne Tejeda who is personally known to me or has produced identification and who did take an oath. _____ as

NOTARY PUBLIC

Sign Name: Edee Gates-Delph
Print Name: Edee Gates-Delph
Notary Public - State of Florida (seal)
My Commission Expires: 6/17/2017



**Property Appraiser
Information**



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -
Maps are now launching the new map application version

Website tested on IE8,
IE9 & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1001767 Parcel ID: 00001700-000000

Ownership Details

Mailing Address:
THE UTILITY BOARD OF THE CITY OF KEY WEST
1001 JAMES ST
KEY WEST, FL 33040-6935

Property Details

PC Code: 91 - UTILITIES,WATER TANKS
Millage Group: 12KW
Affordable Housing: No
Section-Township-Range: 31-67-25
Property Location: 1001 JAMES ST KEY WEST
Legal Description: KW PT LOT 2 SQR 19 JAMES AND GRINNELL ST OR80-477/479 OR1428-1157/75F/J OR2571-2253/75 OR2592-2258/80

Click Map Image to open interactive viewer



Exemptions

Exemption	Amount
15 - MUNICIPAL LANDS	5,913,147.00

Land Details

Land Use Code	Frontage	Depth	Land Area
100E - COMMERCIAL EXEMPT			34,600.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1
 Total Living Area: 21656
 Year Built: 1954

Building 1 Details

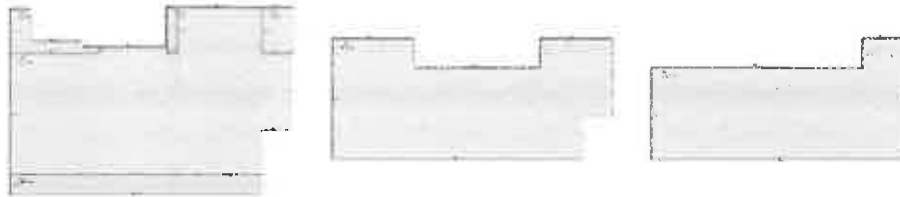
Building Type	Condition A	Quality Grade 500
Effective Age 19	Perimeter 1,238	Depreciation % 23
Year Built 1954	Special Arch 0	Grnd Floor Area 21,656
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	27	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA		1	1953				8,874

2	OPX	1	1953	1,260
3	OPU	1	1953	390
4	OPU	1	1953	110
5	OPU	1	1953	352
6	FLA	1	1953	6,944
7	FLA	1	1953	5,838

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	660	ELEC/TELEPHONE ETC B	100	Y	Y
	661	ELEC/TELEPHONE ETC B	100	Y	Y
	662	ELEC/TELEPHONE ETC B	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
214	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	280 SF	0	0	1995	1996	4	30
2	AP2:ASPHALT PAVING	29,638 SF	0	0	1953	1954	2	25
3	CL2:CH LINK FENCE	2,352 SF	392	6	2009	2010	3	30
4	PT3:PATIO	113 SF	0	0	2001	2002	2	50

Appraiser Notes

FOR THE 2007 TAX ROLL THIS PARCEL HAS DECREASED IN SIZE DUE TO A PORTION OF THIS LAND GOING TO LEASED LANDS FOR THE STEAMPLANT CONDO PROJECT

TPP 8551193

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes	
08-1942	07/22/2008	07/01/2009	23,500	Commercial	ALUMINUM FENCE 392 LF	
13-0345	01/25/2013	12/11/2013	1,000	Commercial	CONSTRUCT 22' OF 2x4 PARTITION WALL INSIDE FERRY TERMINAL. 1/2" DRYWALL	
1	B16806	04/01/1990	12/01/1994	150,000	REMODELING	
2	B920036	01/01/1992	12/01/1994	21,000	Commercial	ROOFING
3	96-3426	08/01/1996	12/01/1996	1,900	Commercial	REPAIRS
4	9703061	09/01/1997	12/01/1997	4,200	Commercial	AWNINGS
5	9701012	04/01/1997	12/01/1997	11,000	Commercial	ELECTRIC
6	9801888	06/22/1998	11/09/1998	81,000	Commercial	DEMO CONCRETE STRUCT
7	9803514	11/15/1998	12/31/1999	138,000	Commercial	SUBSTATION FOUNDATION

8	9900042	01/07/1999	12/31/1999	53,000	Commercial	CHANGEOUT AC
9	9902111	07/01/1999	12/31/1999	10,000	Commercial	CONCRETE GENERATOR PAD
10	0002876	09/14/2000	11/15/2000	39,000	Commercial	REPLACE AIR HANDLER
11	0103409	10/17/2001	12/04/2001	108,980	Commercial	58 SQS BUILTUP/15 SQS V-C
12	01/3409	12/06/2001	10/29/2002	176,000	Commercial	REPAIRS
13	02/0461	02/28/2002	10/29/2002	23,500	Commercial	REPAIR SPALLING
14	02/0792	10/02/2002	10/30/2002	1,500	Commercial	SEAL PARKING AREA
15	03-1873	06/02/2003	12/04/2003	2,981	Commercial	TILE WALKWAY
16	04-1743	05/27/2004	12/15/2004	1,700	Commercial	REPLACE LAV,&TOILET
17	05-2803	07/06/2005	11/14/2005	20,000	Commercial	ROOF REPLACEMENT 8SQS
18	05-3408	08/11/2005	11/14/2005	2,200	Commercial	INSTALL ELECTRIC FOR A 100AMP SUBFEED FOR ELECTRIC CARS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	3,240,539	29,860	2,642,748	5,913,147	5,913,147	5,913,147	0
2013	3,240,539	26,361	2,642,748	5,909,648	5,909,648	5,909,648	0
2012	3,240,539	26,485	2,642,748	5,909,772	5,909,772	5,909,772	0
2011	3,408,879	26,583	2,642,748	6,078,210	6,062,716	6,078,210	0
2010	3,408,879	26,681	2,076,000	5,511,560	5,511,560	5,511,560	0
2009	3,577,219	26,805	2,595,000	6,199,024	6,199,024	6,199,024	0
2008	3,577,219	26,904	2,595,000	6,199,123	6,199,123	6,199,123	0
2007	2,391,606	26,974	2,595,000	5,013,580	5,013,580	5,013,580	0
2006	2,447,879	27,098	3,406,500	5,881,477	5,881,477	5,881,477	0
2005	2,290,250	27,196	3,406,500	5,723,946	5,723,946	5,723,946	0
2004	2,316,564	27,294	3,406,500	5,750,358	5,750,358	5,750,358	0
2003	2,301,173	27,418	870,550	3,199,141	3,199,141	3,199,141	0
2002	2,301,173	27,516	870,550	3,199,239	3,199,239	3,199,239	0
2001	2,353,473	2,208	870,550	3,226,231	3,226,231	3,226,231	0
2000	2,357,045	487	794,850	3,152,382	3,152,382	3,152,382	0
1999	1,303,462	504	794,850	2,098,816	2,098,816	2,098,816	0
1998	870,734	521	794,850	1,666,105	1,666,105	1,666,105	0
1997	870,734	543	719,150	1,590,427	1,590,427	1,590,427	0
1996	686,033	0	719,150	1,405,183	1,405,183	1,405,183	0
1995	686,033	0	719,150	1,405,183	1,405,183	1,405,183	0
1994	605,603	0	719,150	1,324,753	1,324,753	1,324,753	0
1993	605,603	0	719,150	1,324,753	1,324,753	1,324,753	0
1992	605,603	0	719,150	1,324,753	1,324,753	1,324,753	0
1991	605,603	0	719,150	1,324,753	1,324,753	1,324,753	0
1990	512,433	0	605,600	1,118,033	1,118,033	1,118,033	0

1989	512,433	0	605,600	1,118,033	1,118,033	1,118,033	0
1988	405,943	0	529,900	935,843	935,843	935,843	0
1987	399,525	0	271,858	671,383	671,383	671,383	0
1986	400,564	0	271,858	672,422	672,422	672,422	0
1985	392,966	0	102,980	495,946	495,946	495,946	0
1984	385,479	0	102,980	488,459	488,459	488,459	0
1983	385,479	0	102,980	488,459	488,459	488,459	0
1982	367,344	0	102,980	470,324	470,324	470,324	0

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
9/26/2012	2592 / 2258	100	QC	11
4/25/2012	2571 / 2253	100	QC	11

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Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176