



Historic Architectural Review Commission Staff Report for Item 8

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Daniela Salume, MFA
Historic Preservation Manager

Meeting Date: March 25, 2025

Applicant: Nautilus Drafting & Design Services

Application Number: C2025-0002

Address: 1011 Windsor Lane

Description of Work:

After the fact - Renovations to historic house. New rear deck and staircase.

Site Facts:

The building under review is a historic and contributing structure to the historic district built circa 1899. The site consists of a two-story historic structure with a one-story sawtooth in the rear. The sawtooth is historic as it shows as early as the 1912 Sanborn Map. This is an after-the-fact case. The Code Case includes a two-story frame structure in the rear which has already been demolished (in 2022), an elevated walkway that connected the new two-story with the principal building which has already been demolished (in 2022), a wooden staircase, and a first-floor covered porch with a second-floor open porch as shown in the survey. Currently, only the new wooden staircase and the first-floor covered porch with the second-floor open porch in the rear remain.

Currently the house sits on piers and is located within the X flood zone.



Photo of house under review. Monroe County Library 1965.

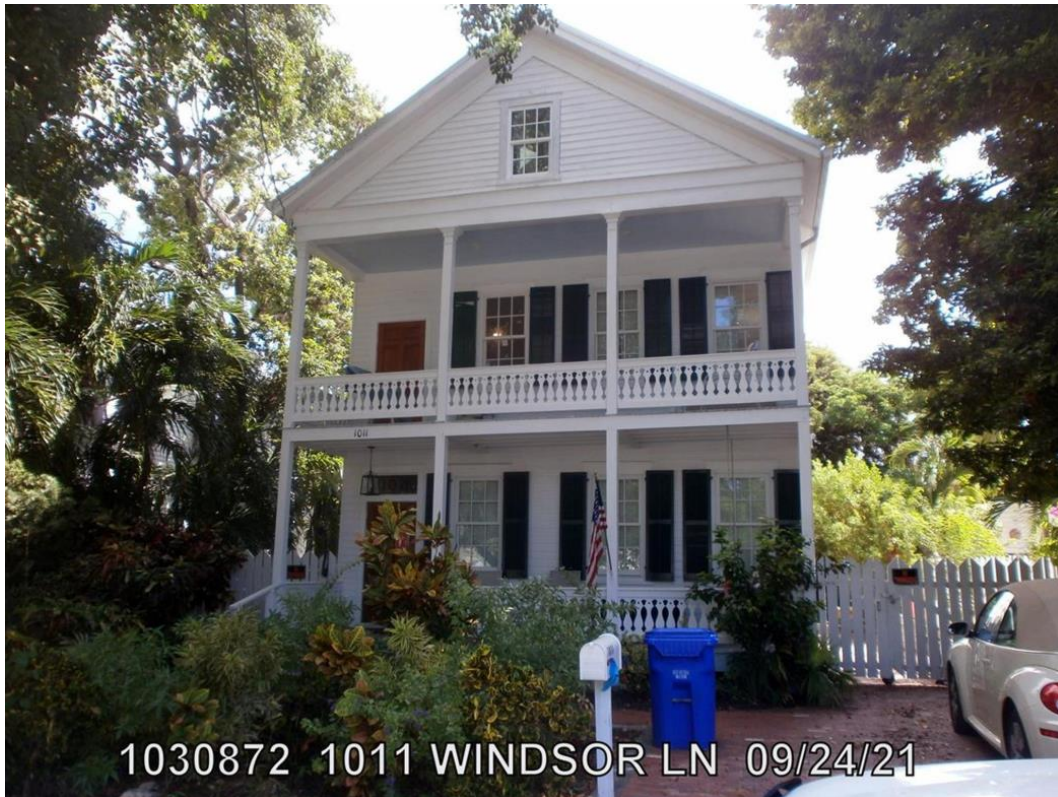


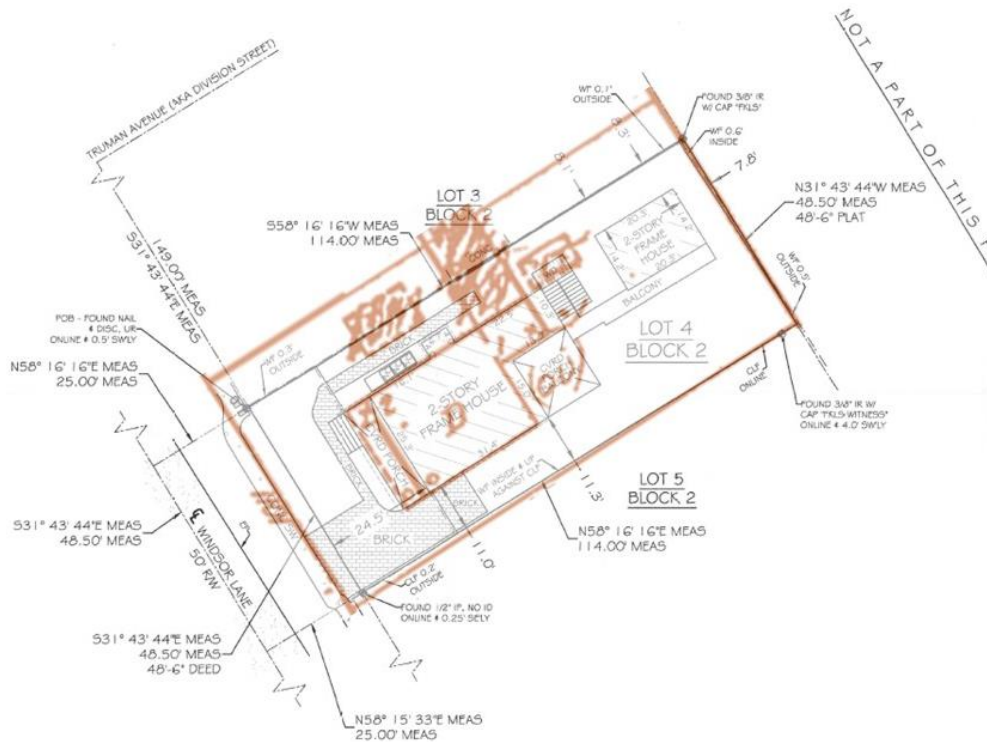
Photo of house under review. Property Appraisers website 09/24/21.



Photo of rear of house under review showing unpermitted work.



Photo of rear of house before unpermitted work.



1962 Sanborn Map and survey with unpermitted work.

Guidelines Cited on Review:

- Guidelines for Windows (pages 29a-l), specifically guidelines A (3, 5, 6, 7, and 9) and B (1 and 3-first sentence).
- Guidelines for Entrances, Porches, Doors, and Exterior Staircases (pages 32-33), specifically guidelines 1, 2, 6, 7, 9, 12, 13, 15, and 16.
- Guidelines for Additions (pages 37a-37k), specifically guidelines 1, 2, 3, 5, 6 (first two sentences), 8, 11, 12, 13, 14, 15, 19, 22, 24, 26 (first sentence), 29, 30, 32, and 33.
- Guidelines for New Construction (pages 38a-38q), specifically guidelines 1, 2, 6, 7 (last sentence), 8, 11, 12, 13 (first sentence), 14, 20, 22, 23, 24, and 25.
- Guidelines for Roof decks (page 28a), specifically guideline 1.

Staff Analysis:

A Certificate of Appropriateness is currently under review for an after-the-fact first floor covered porch, a second-floor open porch deck at the rear of the property, and a staircase on the south elevation in order to access the second-story porch deck. This application is being presented as an after-the-fact case, as several structures were built prior to obtaining proper approval. The Code Case (CC2021-01537) originally included a two-story frame structure located at the rear of the property which has already been demolished, along with an elevated walkway that connected this two-story structure to the principal building,

which has also been demolished. Additionally, the case involves a wooden staircase and the first-floor covered porch with a second-floor open porch deck at the rear of the property, as shown in the survey. Currently, only the wooden staircase and the first-floor covered porch with the second-floor open porch deck remain on the property. The first floor currently features a synthetic floor and the second floor a waterproof deck system. For reference, the guidelines define deck as a *raised outdoor platform with or without a roof*.

Aluminum sliding glass doors will be installed on both the first and second floors leading to the porches on the rear. The second-floor railing will be 36" tall and made of wood. The windows will also be aluminum on the rear. Work on the principal two-story structure consists of wood windows on the south and north elevations that were replaced with single hung aluminum windows with aluminum Bahama shutters. On the north elevation, an aluminum fixed window was installed on the bump out which houses a shower, and an aluminum single hung window installed on the existing sawtooth. The bump-out has no permits on file, and images from the realtor.com website show a staircase landing leading to the second floor, which is also seen in a historic photo from 1965. On the front elevation, all the wood shutters, wood doors, and one wood window will remain. However, the other windows, which were replaced with aluminum single-hung windows, will need to be restored to 6-over-6 wood frame single-hung windows, with no exterior cladding. The neighboring property on 1009 Windsor Lane has a similar design, however, no permits were found on file for this work.



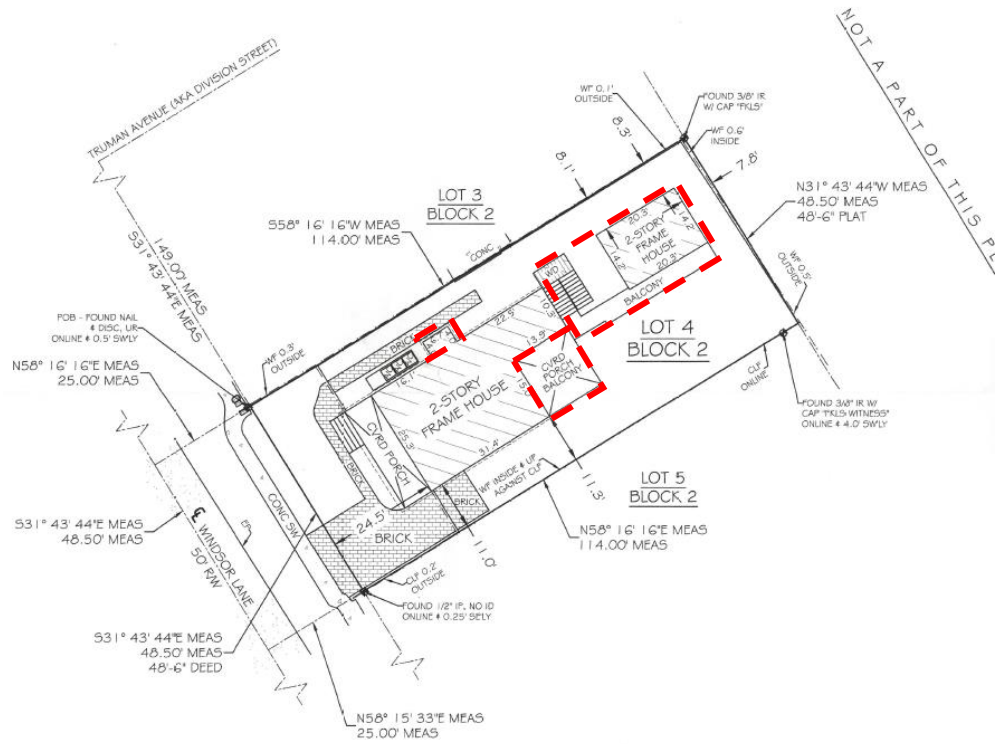
Photo of 1009 Windsor Lane, rear deck.



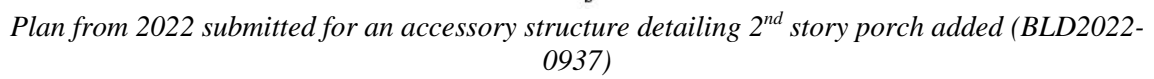
Photo of house under review around 2018 when building was sold. (realtor.com)

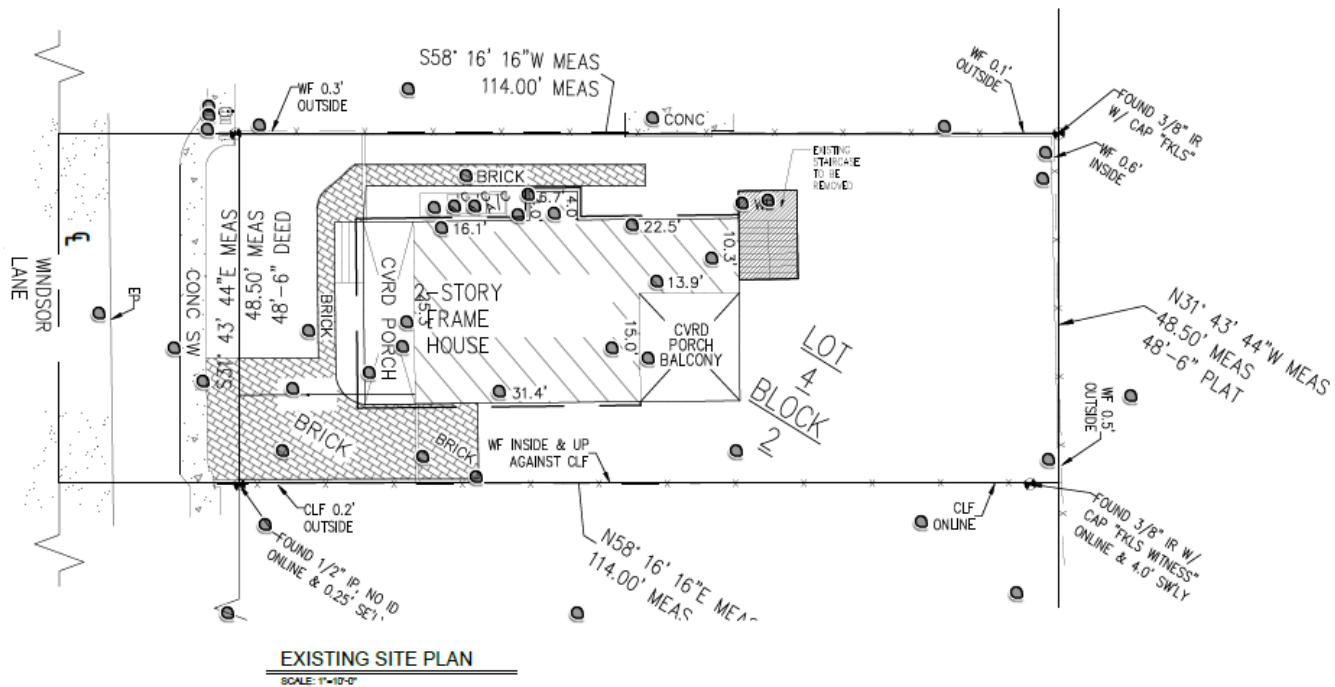


Photo of unpermitted work from rear looking towards principal structure 09/09/21. (2-story structure and walkway already demolished)

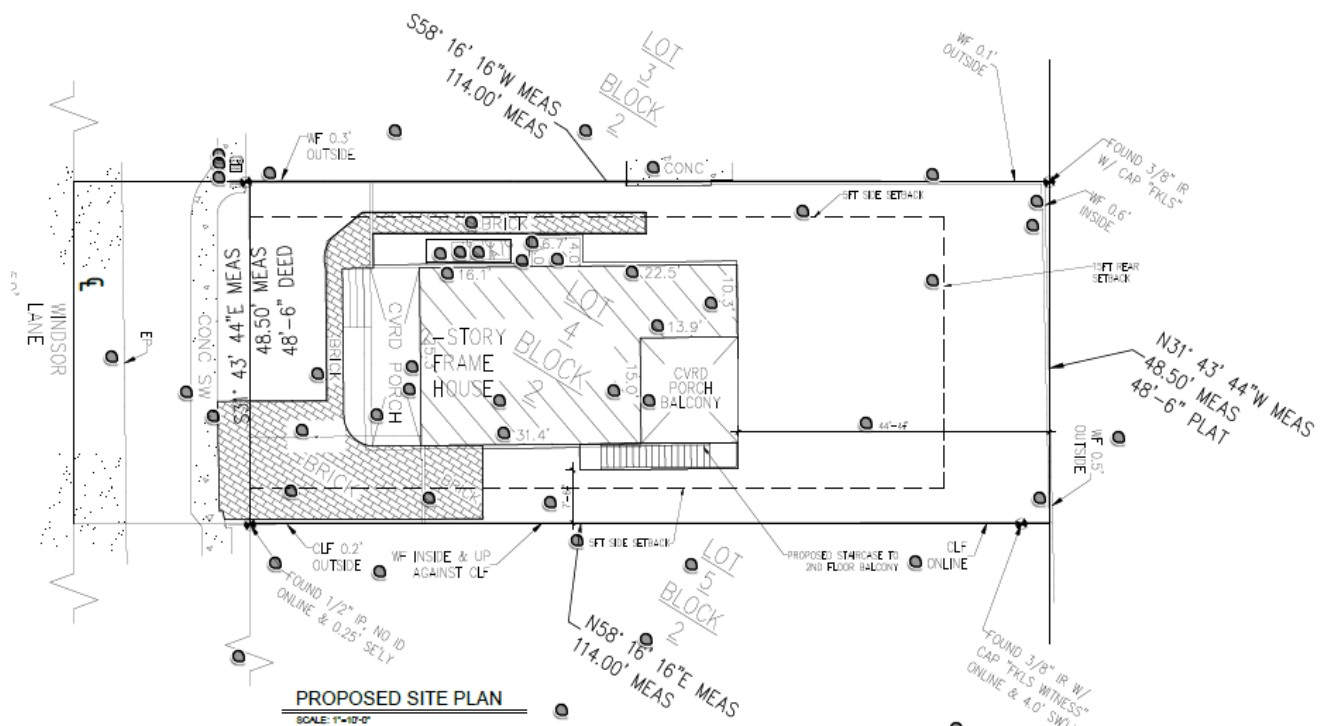


Survey showing unpermitted work in the rear outlined in red.





Existing Site Plan.



Proposed Site Plan.



Existing South Elevation.



Proposed South Elevation.



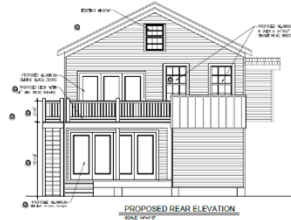
Existing North Elevation.



Proposed North Elevation.



Existing Rear Elevation.



Proposed Rear Elevation.

Consistency with Guidelines Cited Guidelines:

The addition of the second-floor deck is inconsistent with the Historic District Guidelines, which prohibit altering one-story porches into two-story structures. Although the exact timeline of the deck's construction is unclear, it does not appear to have been part of a planned two-story porch. Without documentation proving the deck was designed as a two-story structure, this addition violates Guideline #6, which forbids such modifications. The guidelines define a deck as a raised outdoor platform with or without a roof. As a result, the current configuration does not comply with preservation standards, regardless of the lack of a roof on the deck. Additionally, the unpermitted bump-out on the north elevation will require further review as there are no permits available. A skylight has been added to the rear sawtooth, which is not addressed on the plans (seen on photo). The windows on the front of the building will be changed to wood frame as per the guidelines.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET

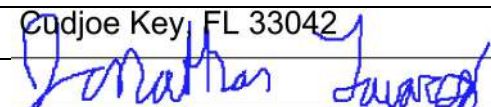


City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE X	ZONING DISTRICT HMDR	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1011 Windsor Ln. Key West, Florida	
NAME ON DEED:	Richard Hoy	PHONE NUMBER (215)-605-1014
OWNER'S MAILING ADDRESS:	141 31st ST., Avalon, NJ 08202	EMAIL RichardHoy@yahoo.com
APPLICANT NAME:	Nautilus Drafting & Design Services	PHONE NUMBER (305)-906-1530
APPLICANT'S ADDRESS:	21460 Overseas hwy Suite 3	EMAIL Nautilusdrafting@gmail.com
	Cudjoe Key, FL 33042	
APPLICANT'S SIGNATURE:		DATE 2/18/2025

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☒ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐
PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☐ NO ☒ INVOLVES A HISTORIC STRUCTURE: YES ☐ NO ☐
PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: Plans to satisfy code case CC2021-01537, new doors and windows throughout, rear deck and staircase
MAIN BUILDING:
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):
Demolition of Rear staircase

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS:	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
Protect existing trees on site	
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX




City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT HMDR	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	1011 Windsor Ln. Key West, Florida
PROPERTY OWNER'S NAME:	Richard Hoy
APPLICANT NAME:	Jonathan Tavarez (Nautilus Drafting and Design Services)

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

PROPERTY OWNER'S SIGNATURE		2/18/2025	Richard Hoy DATE AND PRINT NAME
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DETAILED PROJECT DESCRIPTION OF DEMOLITION
Remove existing non historic rear staircase

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):
(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.
(2) Or explain how the building or structure meets the criteria below:
(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.
The exterior stair demolition have no distinctive characteristics as they are not original.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

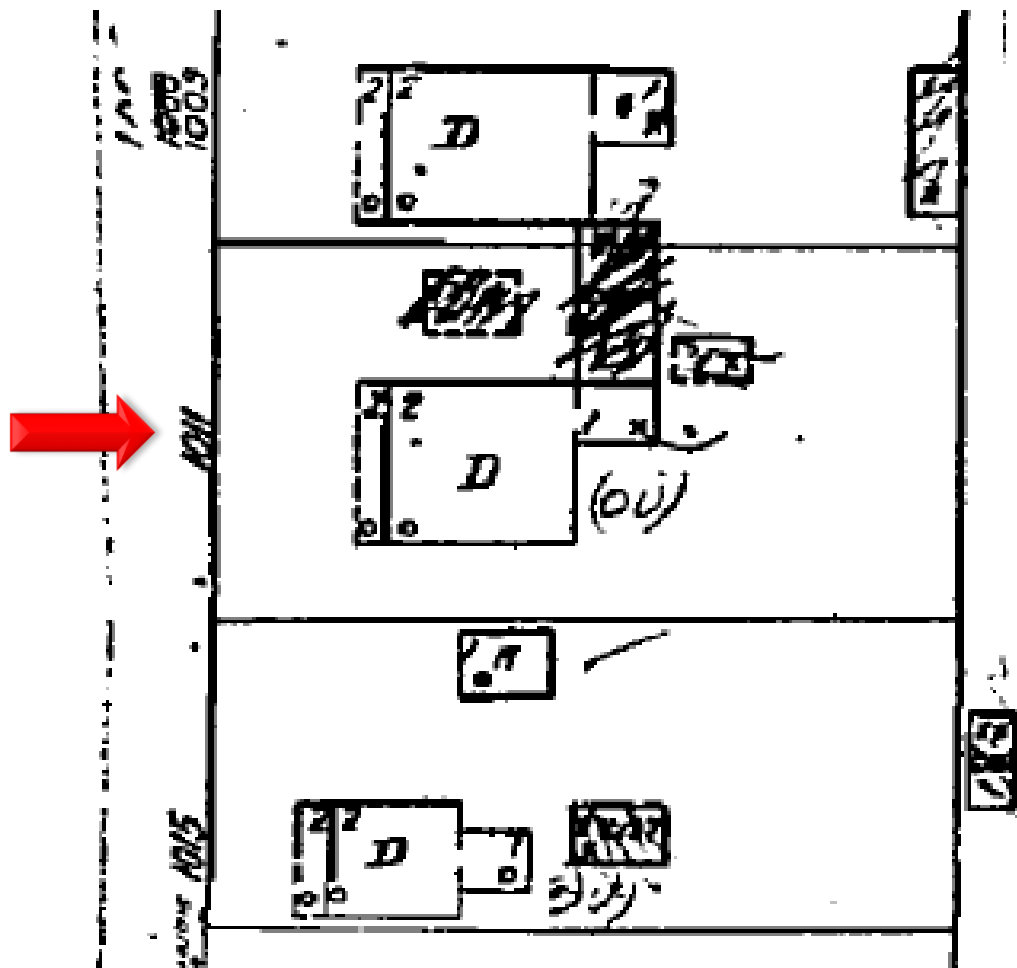
(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
Is not.
(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
No
(d) Is not the site of a historic event with significant effect upon society.
No
(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
No
(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
No
(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
No
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.
No

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

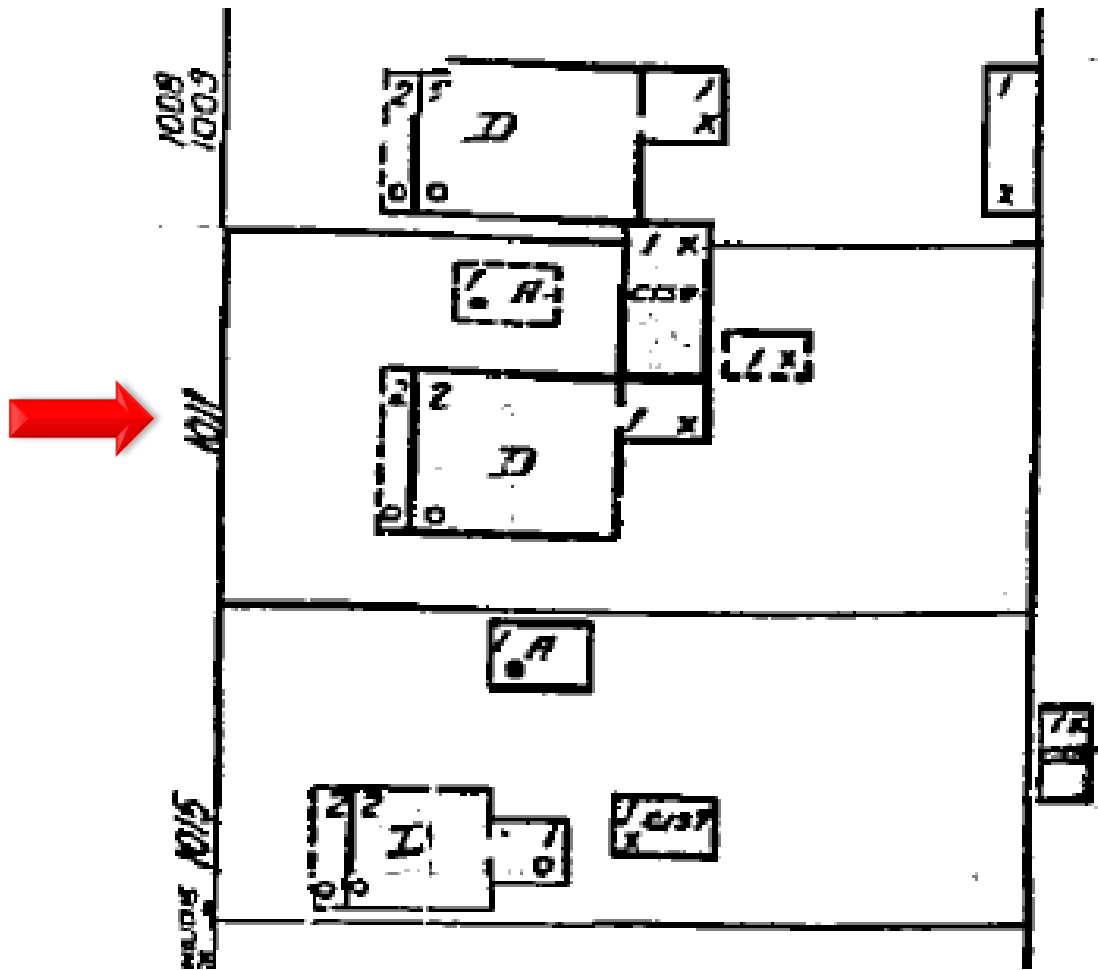
(i) Has not yielded, and is not likely to yield, information important in history,
No

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:	
The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):	
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.	
No	
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.	
No	
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.	
No	
(4) Removing buildings or structures that would otherwise qualify as contributing.	
No	

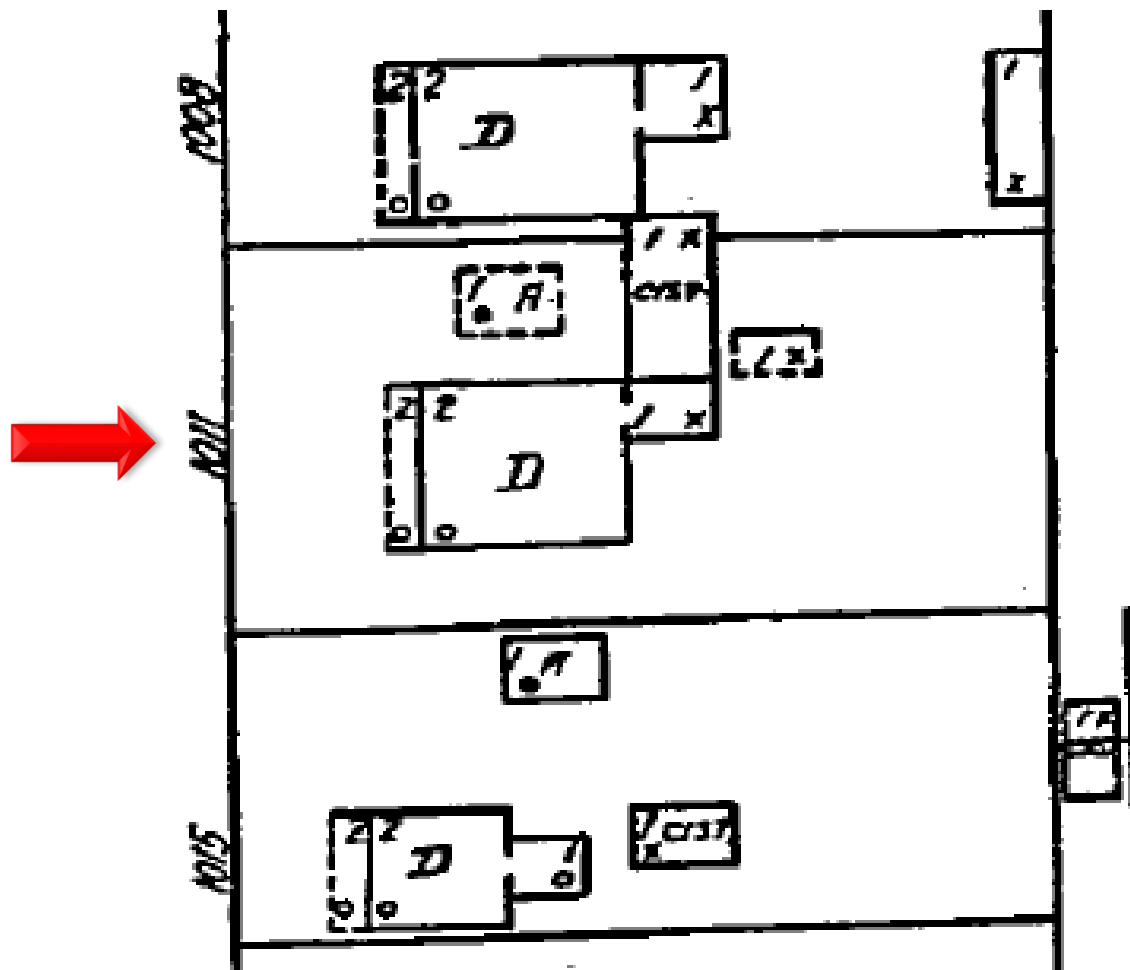
SANBORN MAPS



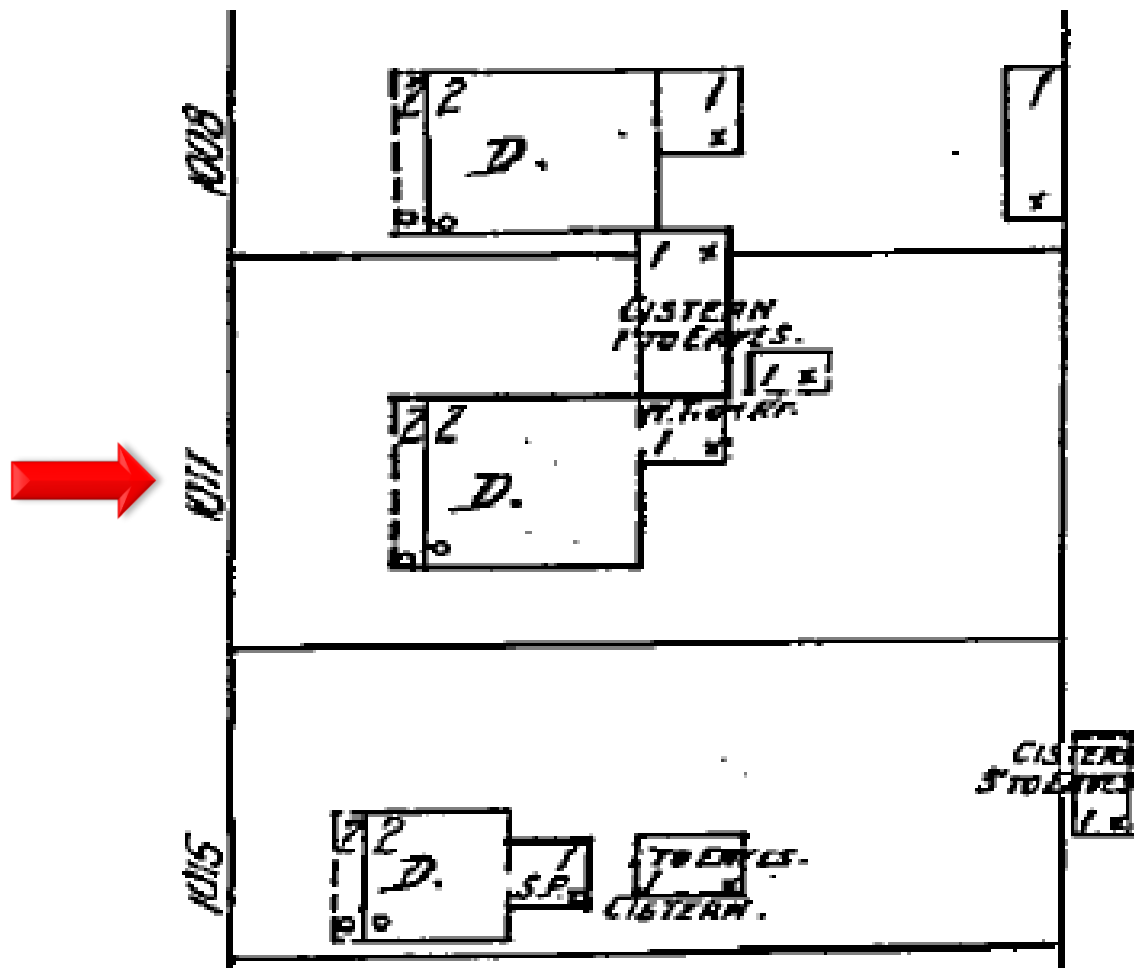
1962 Sanborn Map.



1948 Sanborn Map.



1926 Sanborn Map.



1912 Sanborn Map.

PROJECT PHOTOS

HARC Application photos 1011 Windsor Ln.

1011 Windsor Ln. rear elevation



Prepared by Nautilus Drafting and Design Services

HARC Application photos 1011 Windsor Ln.

1011 Windsor Ln. side view



Prepared by Nautilus Drafting and Design Services

HARC Application photos 1011 Windsor Ln.

1011 Windsor Ln. side/rear elevation



HARC Application photos 1011 Windsor Ln.

Front elevation of 1009 Grinnell Ln. (Left) and 1011 Windsor Ln. (Right)



Prepared by Nautilus Drafting and Design Services

HARC Application photos 1011 Windsor Ln.

Side elevation of 1011 Windsor Ln.



Prepared by Nautilus Drafting and Design Services

HARC Application photos 1011 Windsor Ln.

1011 Windsor Ln. side elevation



Prepared by Nautilus Drafting and Design Services

HARC Application photos 1011 Windsor Ln.

1011 Windsor Ln. front elevation



Prepared by Nautilus Drafting and Design Services

HARC Application photos 1011 Windsor Ln.

1009 Windsor Ln. Rear deck

1009 Grinnell St. Rear deck



SURVEY

BEARING BASE:
ALL BEARINGS ARE BASED
ON S31°43'44"E ASSUMED
ALONG THE CENTERLINE OF
WINDSOR LANE.

ALL ANGLES DEPICTED
ARE 90 DEGREES UNLESS
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN
U.S. SURVEY FEET

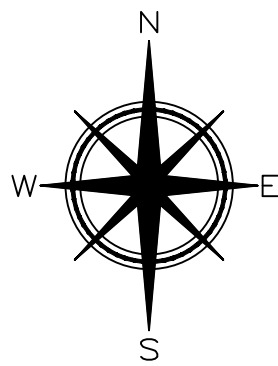
ADDRESS:
1011 WINDSOR LANE
KEY WEST, FL 33040

COMMUNITY NO.: 120168
MAP NO.: 12087C-1516K
MAP DATE: 02-18-05
FLOOD ZONE: X-SHADED
BASE ELEVATION: N/A

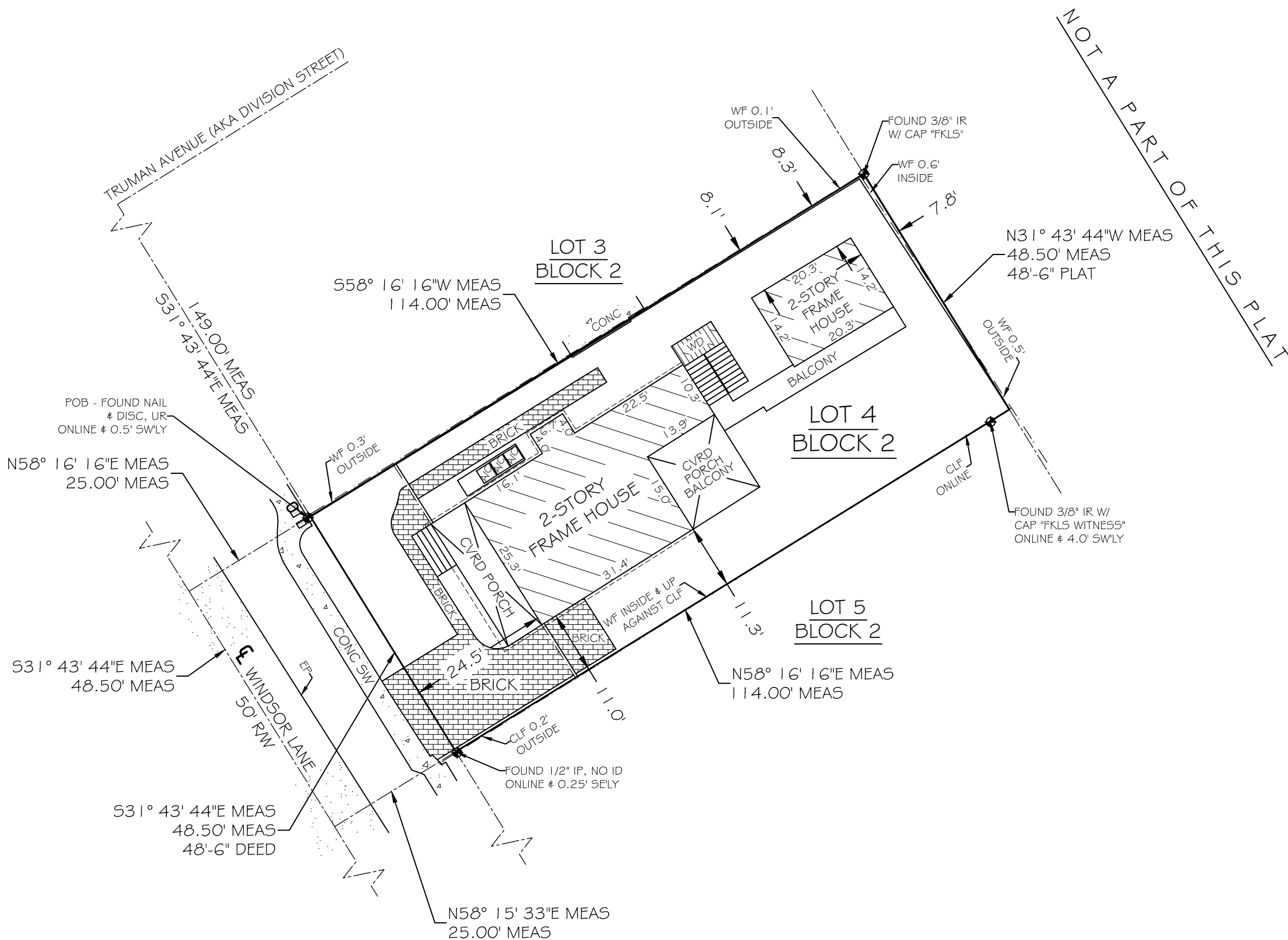
MAP OF BOUNDARY SURVEY

LEGEND

- - WATER METER
- - SANITARY SEWER CLEAN OUT
- - MAILBOX
- - WOOD POWER POLE
- ⊠ - CONCRETE POWER POLE
- ⋈ - WATER VALVE
- ⊙ - SANITARY SEWER MANHOLE



LOCATION MAP - NTS
SEC. 06-T685-R25E



TOTAL AREA = 5,529.00 SQFT±

CERTIFIED TO -
Richard W. Hoy;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.
THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BAL = BALCONY	GLY = GUY WIRE	POC = POINT OF COMMENCEMENT
C & G = 2" CONCRETE CURB & GUTTER	HB = HOSE BIB	PRC = POINT OF REVERSE CURVE
CB = CONCRETE BLOCK	IP = IRON PIPE	PRM = PERMANENT REFERENCE MONUMENT
CBW = CONCRETE BLOCK WALL	IR = IRON ROD	PT = POINT OF TANGENT
CL = CENTERLINE	L = ARC LENGTH	R = RADIUS
CLF = CHAINLINK FENCE	LS = LANDSCAPING	RAW = RIGHT OF WAY LINE
CM = CONCRETE MONUMENT	MB = MAILBOX	SSCO = SANITARY SEWER CLEAN-OUT
CONC = CONCRETE	MEAS = MEASURED	SW = SIDE WALK
COP = CONCRETE POWER POLE	MP = METAL FENCE	TBM = TEMPORARY BENCHMARK
CVRD = COVERED	MRWL = MEAN HIGH WATER LINE	TOB = TOP OF BANK
DEASE = DRAINAGE EASEMENT	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	TOS = TOP OF SLOPE
EL = ELEVATION	NTS = NOT TO SCALE	TS = TRAFFIC SIGN
ENCL = ENCLOSURE	OH = ROOF OVERHANG	TYP = TYPICAL
EP = EDGE OF PAVEMENT	OWW = OVERHEAD WIRES	UR = UNREADABLE
FF = FINISHED FLOOR ELEVATION	PC = POINT OF CURVE	UE = UTILITY EASEMENT
FI = FIRE HYDRANT	PM = PARKING METER	WD = WOOD DECK
FI = FENCE INSIDE	PCC = POINT OF COMPOUND CURVE	WF = WOOD FENCE
FND = FOUND	PCP = PERMANENT CONTROL POINT	WL = WOOD LANDING
FO = FENCE OUTSIDE	PK = PARKER KALON NAIL	WM = WATER METER
FOL = FENCE ON LINE	POB = POINT OF BEGINNING	WPP = WOOD POWER POLE
	PI = POINT OF INTERSECTION	WRACK LINE = LINE OF DEBRIS ON SHORE
		WV = WATER VALVE


LEGAL DESCRIPTION -

Lot 4, in Block 2 of TROPICAL BUILDING AND INVESTMENT COMPANY'S SUBDIVISION according to the plat thereof as recorded in Plat Book 1 at Page 37 of the Public Records of Monroe County, Florida; said Lot 4 being described by metes and bounds as follows: BEGIN at the West corner of the said Lot 4 and run thence Southeasterly along the Southwesterly boundary line of the said Lot 4 for a distance of 48.5 feet to the South corner of the said Lot 4; thence Northeasterly along the Southeasterly boundary line of the said Lot 4 for a distance of 114 feet to the East corner of the said Lot 4; thence Northwesterly along the Northeasterly boundary line of the said Lot 4 for a distance of 48.5 feet to the North corner of the said Lot 4; thence Southwesterly along the Northwesterly boundary line of the said Lot 4 for a distance of 114 feet back to the point of beginning.

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE: 1"=20'
FIELD WORK DATE: 12/10/2021
MAP DATE: 01/25/2022
REVISION DATE: XXXXXXXX
SHEET: 1 OF 1
DRAWN BY: MPB
JOB NO.: 21-580

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, FLORIDA STATUTES.

SIGNED: 
ERIC A. ISAACS, PSM #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



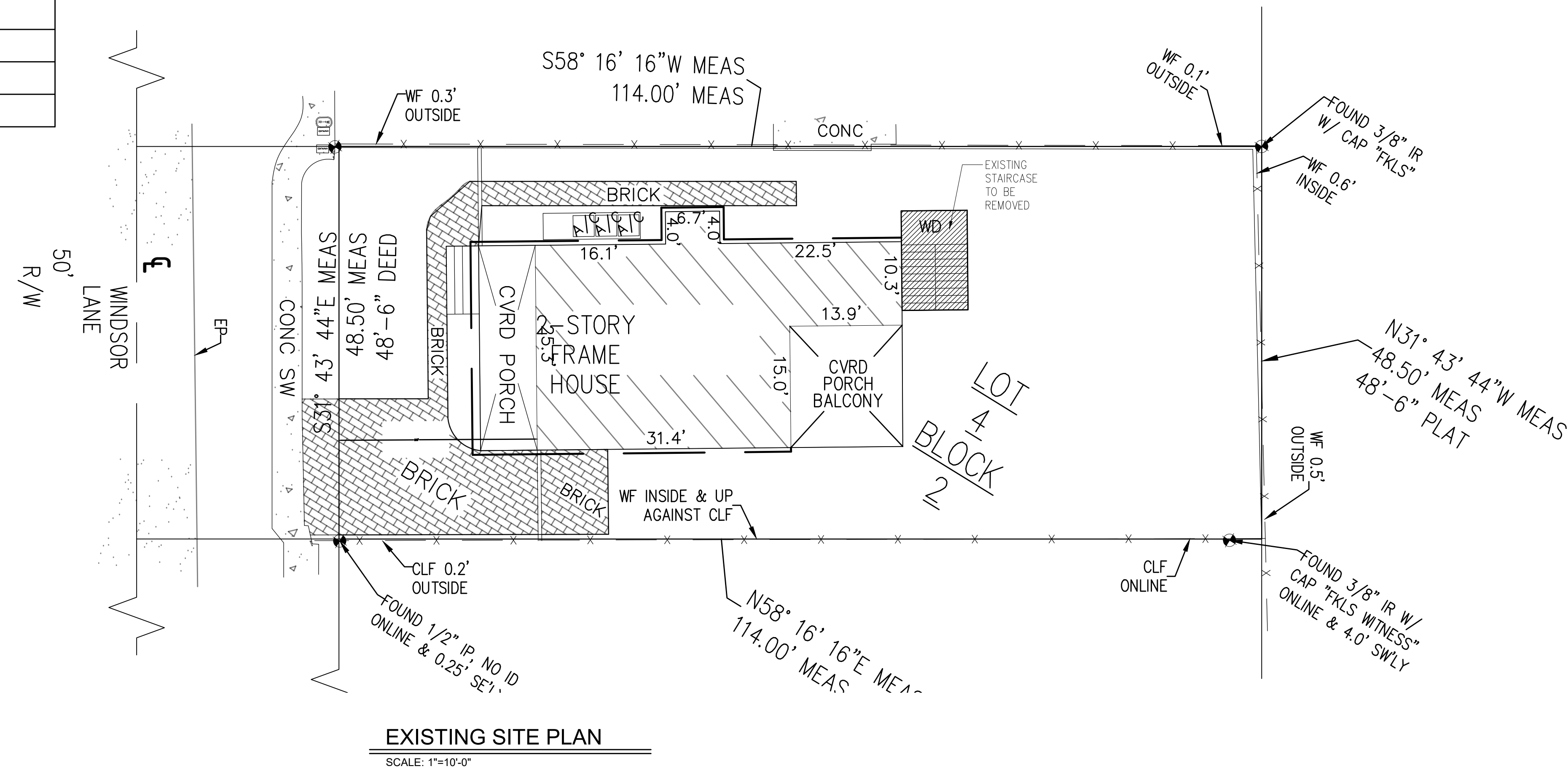
FLORIDA KEYS
LAND SURVEYING

19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5email@gmail.com

PROPOSED DESIGN

<div>SITE DATA</div> <div>RE: 00030110-000000 ZONING: HMDR SECTION/TOWNSHIP/RANGE: 6-68-25 LEGAL DESCRIPTION: KW TROPICAL SUB PB1-37 LOT 4 SQR 2 TR 12 B5-67 OCCUPANCY: R-3 RESIDENTIAL SINGLE FAMILY TYPE OF CONSTRUCTION: VB F.I.R.M.: DATE: 02-18-05 FIRM PANEL: 12087C1516K FLOOD ZONE: AE BASE FLOOD ELEVATION (BFE) X NGVD29 FLOOD ZONE CONSTRUCTION STANDARD: ASCE 24-14</div>
<div>INDEX OF DRAWINGS</div> <div>SHEET CS-1 - EXISTING AND PROPOSED SITE PLAN SHEET D-1 - EXISTING FLOOR PLAN SHEET D-2 - EXISTING ELEVATIONS SHEET A-1 - PROPOSED FLOOR PLANS SHEET A-2 - PROPOSED ELEVATIONS</div>
<div>SCOPE OF WORK</div> <div><ul style="list-style-type: none">- AFTER THE FACT PLANS FOR DOORS, WINDOWS, REAR DECK PLAN<ul style="list-style-type: none">- PROPOSED PLANS TO BRING DOORS AND WINDOWS INTO HARC COMPLIANCE- CONSTRUCTION OF STAIRCASE OFF REAR DECK</div>

PROJECT DATA						
	PROPOSED		EXISTING		REQUIRED	VARIANCE REQUESTED
RE NO.	00030110-000000					
SETBACKS:						
FRONT	N/A		N/A		10'	NONE
LEFT SIDE	N/A		N/A		5'	NONE
RIGHT SIDE	7'-6 1/4"		N/A		5'	NONE
REAR	44'-4 1/4"		N/A		15'	NONE
LOT SIZE	NO CHANGE		5,529 SQ.FT.		4000 SQ.FT.	NONE
BUILDING COVERAGE	1,432 SQ.FT.	25.89%	1,449 SQ.FT.	26.2%	40% MAX	NONE
FLOOR AREA	NO CHANGE		1,899 SQ.FT.	.34	1.0	NONE
BUILDING HEIGHT	N/A		N/A		30' MAX	NONE
IMPERVIOUS AREA	NO CHANGE		751 SQ.FT.	13.5%	60% MAX	NONE
OPEN SPACE	3,322 SQ.FT.	60.08%	3,232 SQ.FT.	58.4%	35% MIN	NONE



ATF HARC PLAN

1011 Windsor Lane
KEY WEST, FLORIDA

Drawn By: JMT

Project No. Scale:
AS NOTED

AutoCad File No.

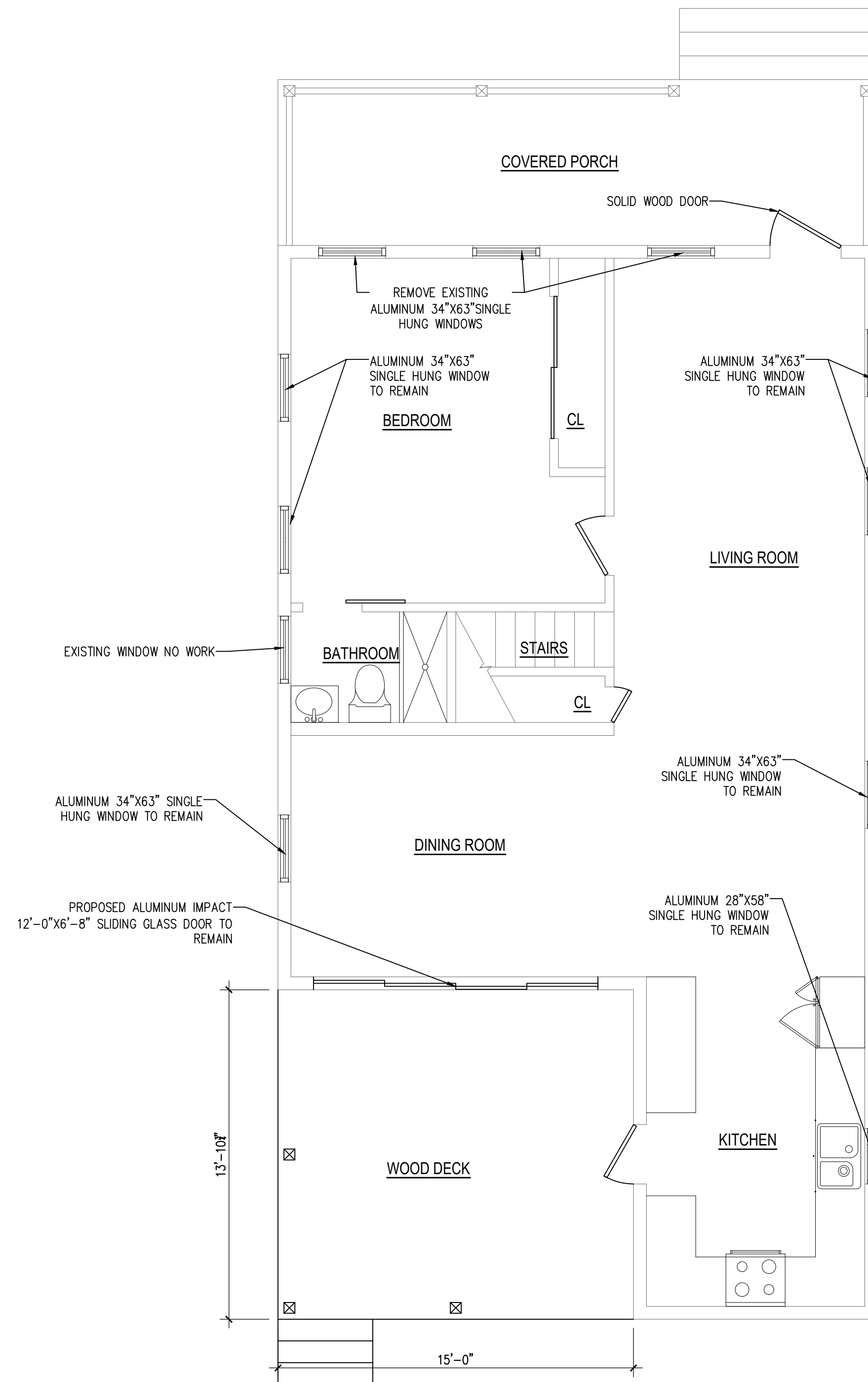
Revisions:

Title:
EXISTING FLOOR
PLANS

Sheet Number:

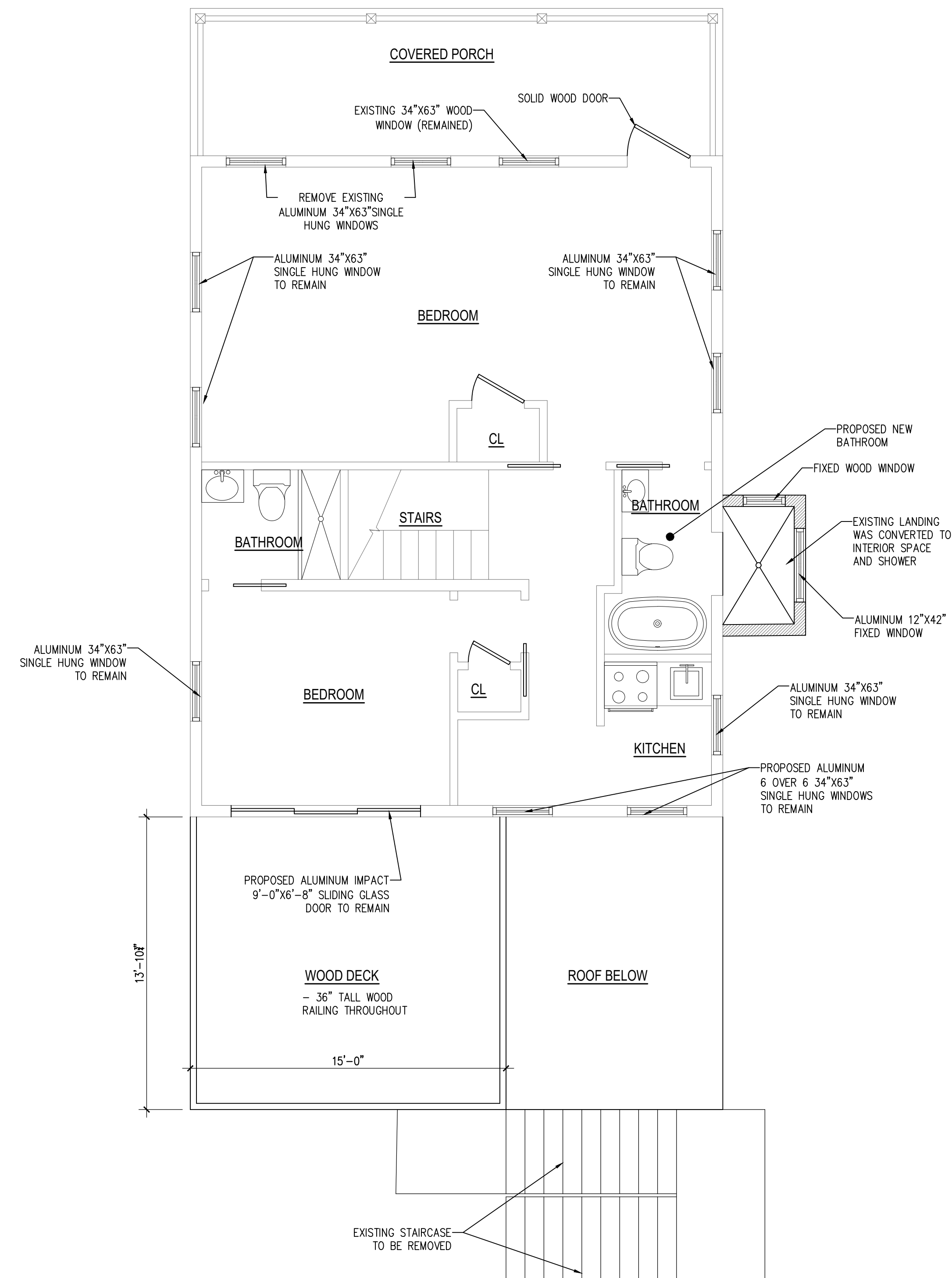
D-1

Date: 12.24.2024



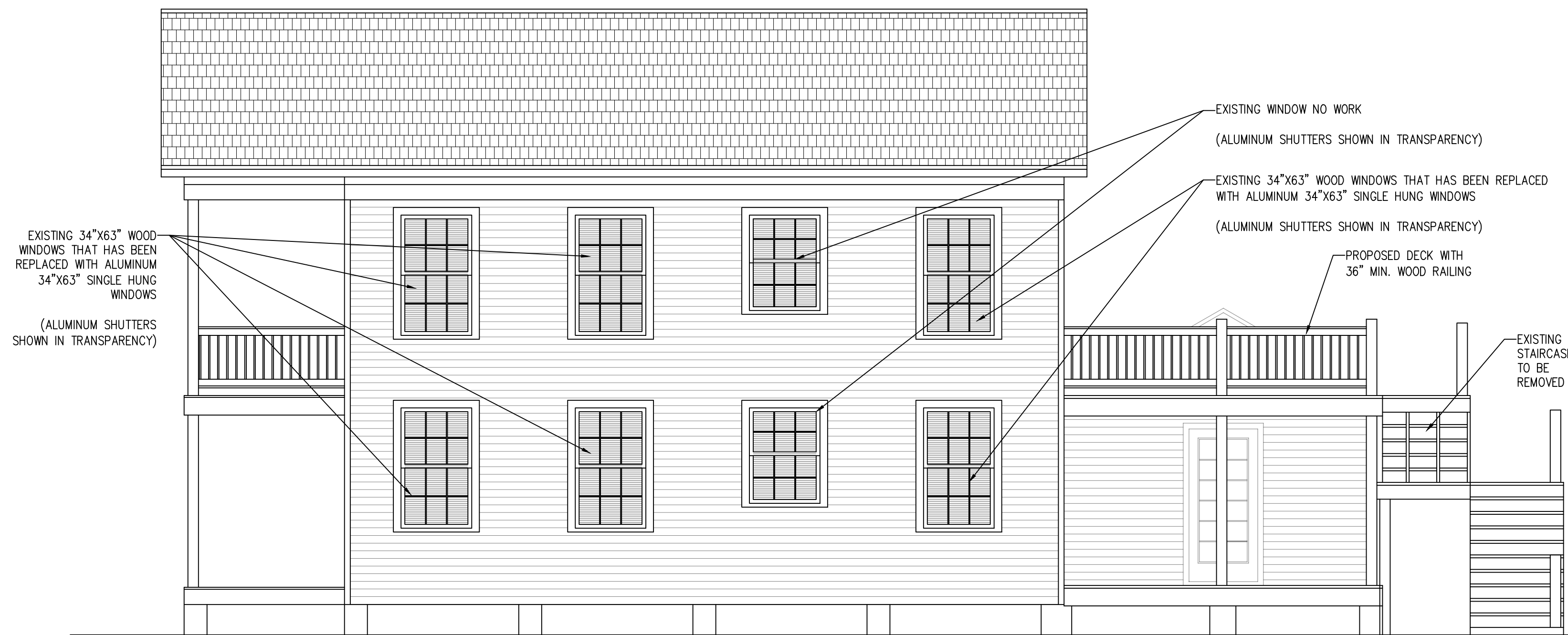
EXISTING 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



EXISTING 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



EXISTING SIDE ELEVATION

SCALE: 1/4"=1'-0"



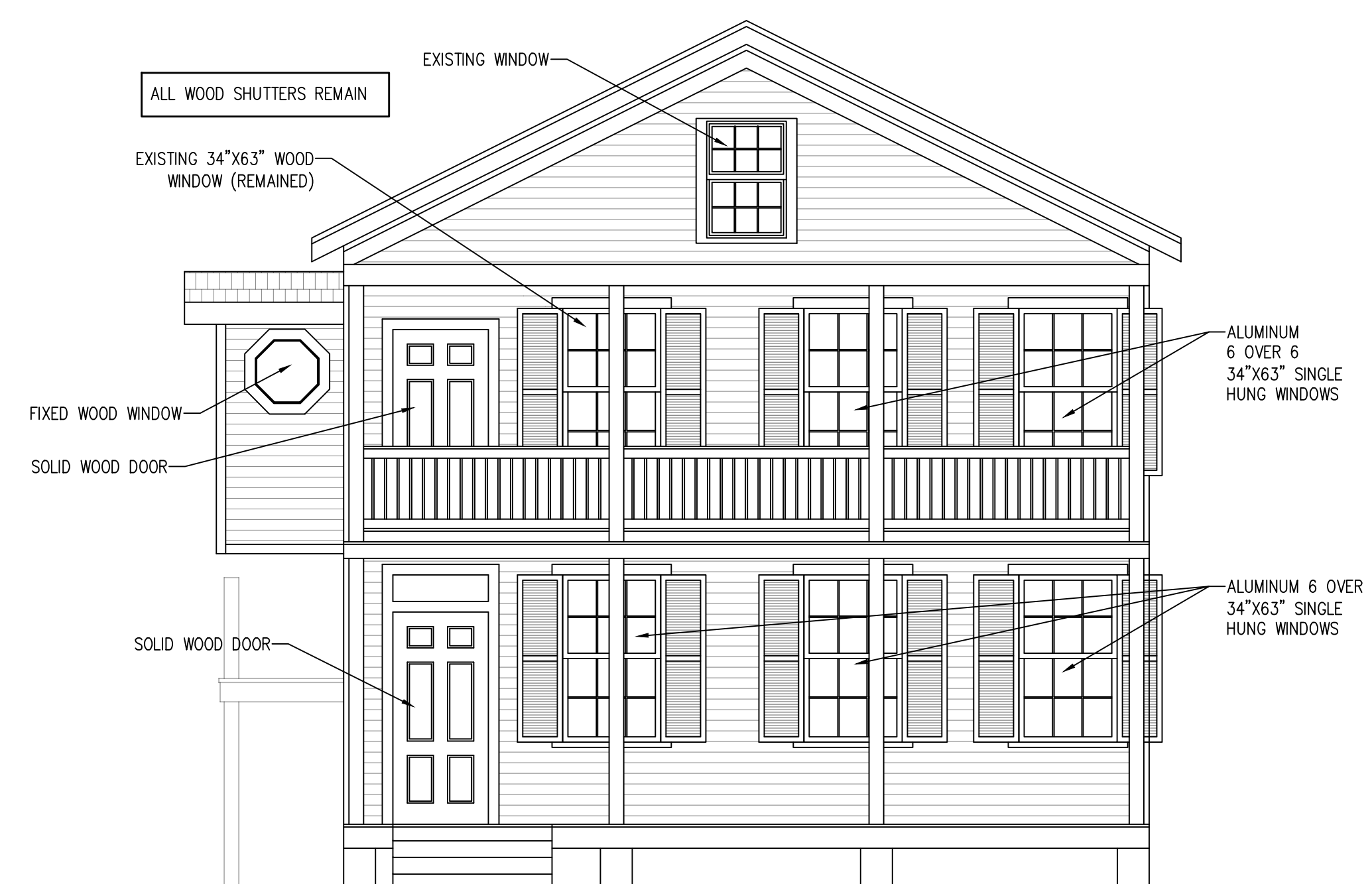
EXISTING REAR ELEVATION

SCALE: 1/4"=1'-0"



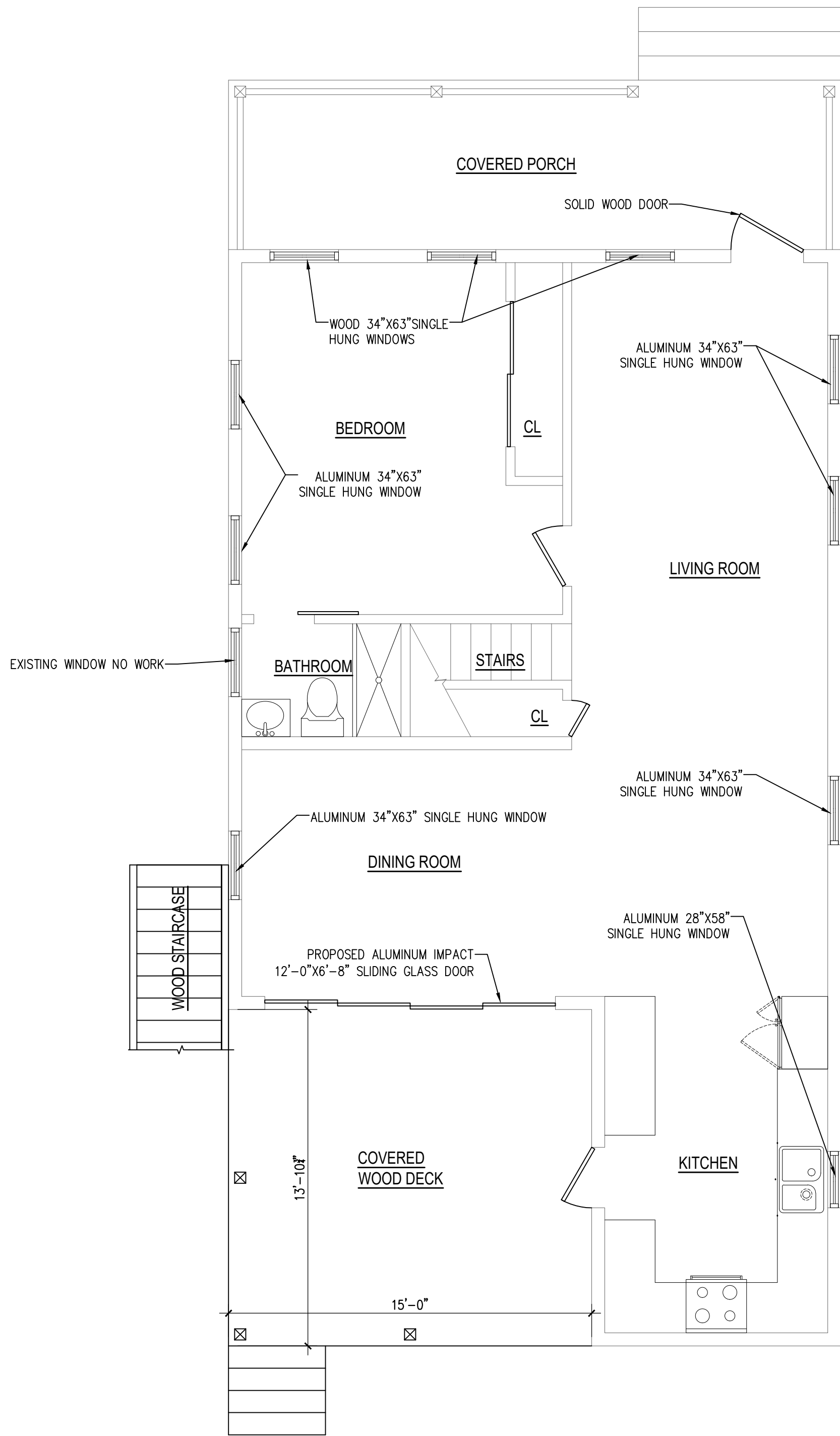
EXISTING SIDE ELEVATION

SCALE: 1/4"=1'-0"



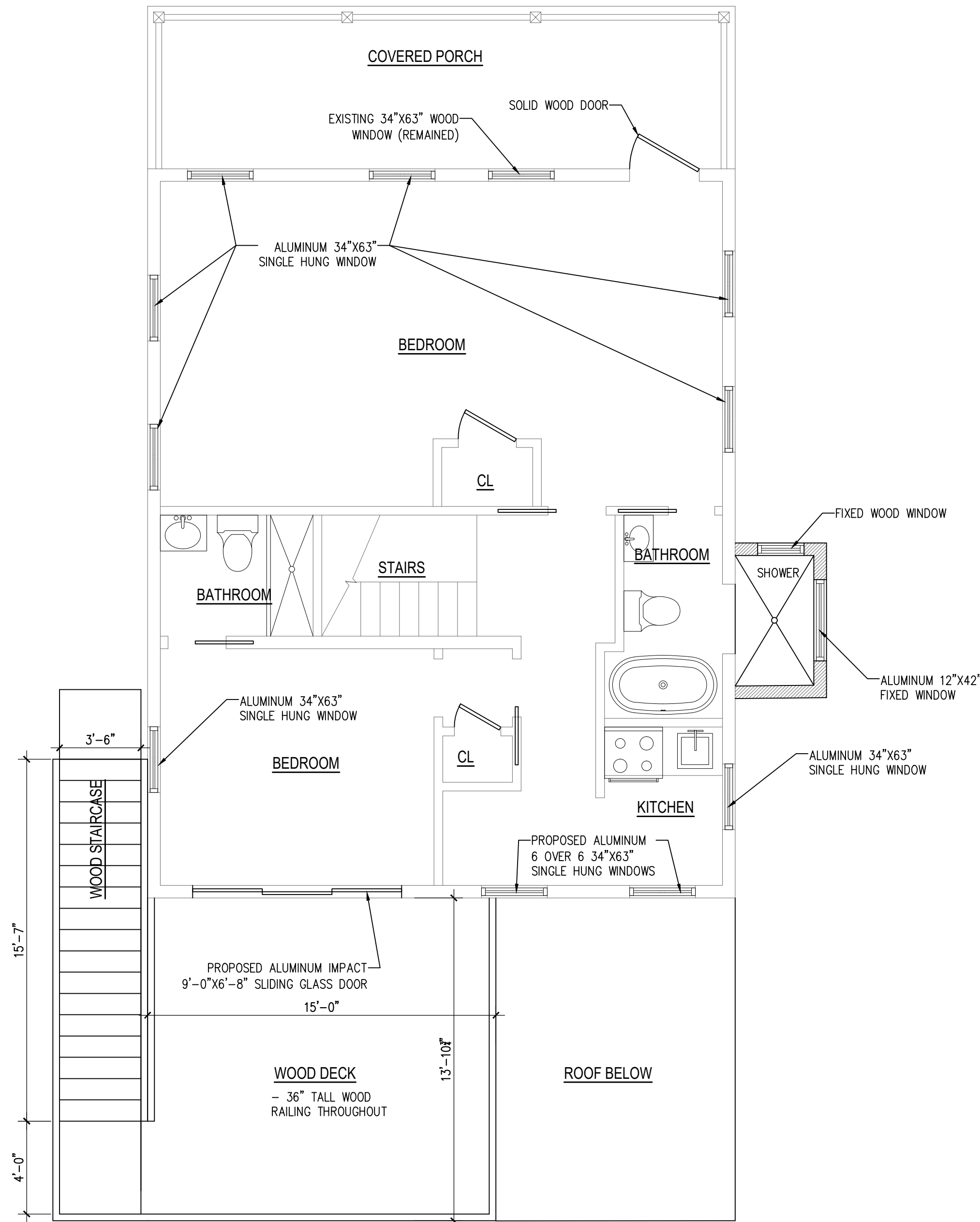
EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"



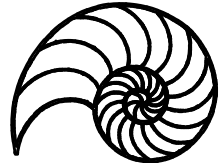
PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



NAUTILUS
DRAFTING & DESIGN
SERVICES

CONTACT INFO:
JONATHAN TAVAREZ
EMAIL:
NAUTILUSDRAFTING@GMAIL.COM
CELLPHONE:
305-906-1530

ATF HARC PLAN

1011 Windsor Lane
KEY WEST, FLORIDA

Drawn By: JMT

Project No. Scale:
AS NOTED

AutoCad File No.

Revisions:

Title:
**PROPOSED FLOOR
PLANS**

Sheet Number:

A-1

Date: 12.24.2024



PROPOSED SIDE ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SIDE ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., March 25, 2025, at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

**AFTER THE FACT - RENOVATIONS TO HISTORIC HOUSE.
NEW REAR DECK AND STAIRCASE. DEMOLITION OF NON-
HISTORIC REAR STAIRCASE.**

#1011 WINDSOR LANE

Applicant – Nautilus Drafting & Design Services Application #C2025-0002

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Jonathan Tavaréz, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 1011 Windsor Ln. on the 19 day of March, 2025.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on March 25, 2025.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is C2025-0002.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Jonathan Tavaréz
Date: 3/19/25
Address: 21460 Overseas Hwy, Suite 3
City: Cudjoe Key
State, Zip: FL, 33042

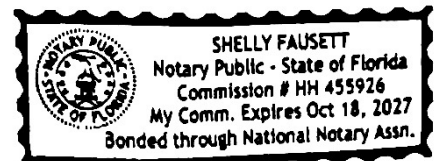
The forgoing instrument was acknowledged before me on this 19 day of March, 2025.

By (Print name of Affiant) Jonathan Tavaréz, who is personally known to me or has produced identification and who did take an oath. as

NOTARY PUBLIC

Sign Name: [Signature]
Print Name: Shelly Fausett

Notary Public - State of Florida (seal)
My Commission Expires: 10-18-27







PROPERTY APPRAISER INFORMATION

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00030110-000000
Account# 1030872
Property ID 1030872
Millage Group 10KW
Location Address 1011 WINDSOR Ln, KEY WEST
Legal Description KW TROPICAL SUB PB1-37 LOT 4 SQR 2 TR 12 B5-67 OR938-2371/72 OR948-1829/30 OR974-907/09 OR2030-1006 OR2890-2004/07
(Note: Not to be used on legal documents.)
Neighborhood 6108
Property Class MULTI-FAMILY DUPLEX (0802)
Subdivision Tropical Building and Investment Co Sub
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

HOY RICHARD W
141 31st St
Avalon NJ 08202

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$432,444	\$420,794	\$425,177	\$294,059
+ Market Misc Value	\$6,003	\$6,003	\$6,003	\$6,070
+ Market Land Value	\$1,235,068	\$1,135,173	\$859,704	\$651,841
= Just Market Value	\$1,673,515	\$1,561,970	\$1,290,884	\$951,970
= Total Assessed Value	\$1,271,240	\$1,155,673	\$1,050,612	\$951,970
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,673,515	\$1,561,970	\$1,290,884	\$951,970

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,235,068	\$432,444	\$6,003	\$1,673,515	\$1,271,240	\$0	\$1,673,515	\$0
2023	\$1,135,173	\$420,794	\$6,003	\$1,561,970	\$1,155,673	\$0	\$1,561,970	\$0
2022	\$859,704	\$425,177	\$6,003	\$1,290,884	\$1,050,612	\$0	\$1,290,884	\$0
2021	\$651,841	\$294,059	\$6,070	\$951,970	\$951,970	\$0	\$951,970	\$0
2020	\$597,353	\$300,593	\$6,137	\$904,083	\$904,083	\$0	\$904,083	\$0
2019	\$583,227	\$238,514	\$6,205	\$827,946	\$827,946	\$0	\$827,946	\$0
2018	\$657,896	\$241,782	\$6,272	\$905,950	\$833,141	\$25,000	\$880,950	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	5,529.00	Square Foot	0	0

Buildings

Building ID	2327	Exterior Walls	ABOVE AVERAGE WOOD	
Style	2 STORY ELEV FOUNDATION	Year Built	1928	
Building Type	M.F. - R2 / R2	EffectiveYearBuilt	2017	
Building Name		Foundation	CONC BLOCK	
Gross Sq Ft	2108	Roof Type	GABLE/HIP	
Finished Sq Ft	1758	Roof Coverage	METAL	
Stories	2 Floor	Flooring Type	SFT/HD WD	
Condition	GOOD	Heating Type	FCD/AIR DUCTED	
Perimeter	254	Bedrooms	4	
Functional Obs	0	Full Bathrooms	1	
Economic Obs	0	Half Bathrooms	0	
Depreciation %	6	Grade	600	
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0	
Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	350	0	128
FLA	FLOOR LIV AREA	1,758	1,758	276
TOTAL		2,108	1,758	404

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
UTILITY BLDG	1976	1977	0 x 0	1	140 SF	3
FENCES	1986	1987	0 x 0	1	1722 SF	2
BRICK PATIO	1992	1993	0 x 0	1	355 SF	2
CONC PATIO	1976	1977	3 x 16	1	48 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
2/2/2018	\$989,000	Warranty Deed	2154329	2890	2004	01 - Qualified	Improved	YACCARINO FRANK JOSEPH	
4/1/1986	\$90,000	Warranty Deed		974	907	Q - Qualified	Improved		

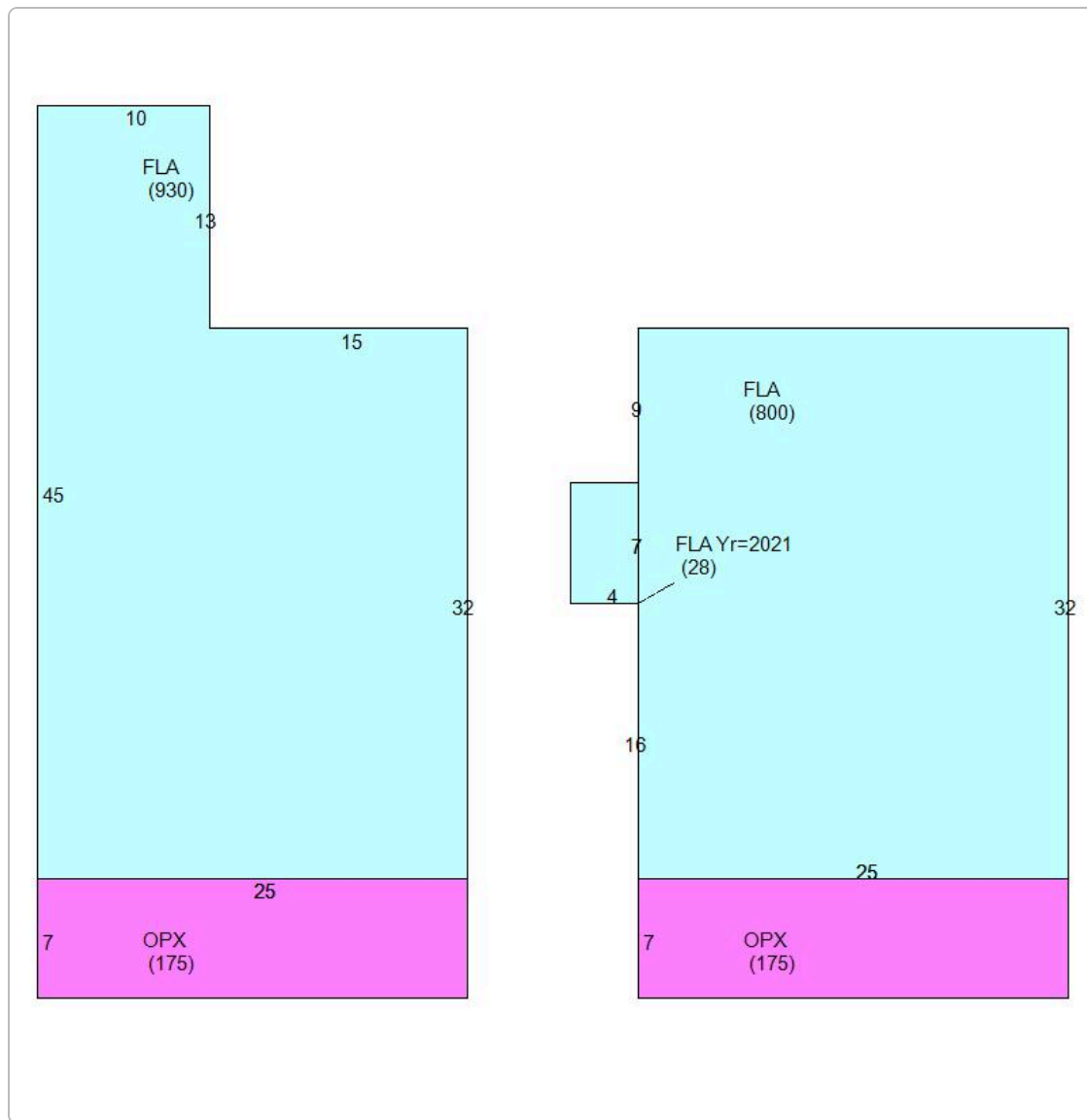
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
22-0560	02/16/2023	Active	\$0	Residential	AFTER THE FACT PERMIT FOR WINDOWS REPLACED W/IMPACT. REPLACED AND INSTALLED BY OTHERS**
22-0612	02/16/2023	Active	\$0	Residential	LIEN ON PROPERTY DO NOT RELEASE**** AFTER THE FACT PERMIT FOR WORK DONE BY OTHERS
22-0937	02/16/2023	Active	\$0	Residential	AFTER THE FACT ACCESSORY STRUCTURE SEEKING BUILDING PERMITS *HARC REQUIRED NOC REQUIRED
22-1144	02/16/2023	Expired	\$0	Residential	DEMO OF 2 STORY UNPERMITTED PARTIALLY CONSTRUCTED STRUCTURE TO COME INTO COMPLIANCE WITH CODE
22-1144	05/09/2022	Active	\$15,000	Residential	DEMO OF 2 STORY UNPERMITTED PARTIALLY CONSTRUCTION STRUCTURE TO COME INTO COMPLIANCE WITH CODE
18-3083	07/17/2018	Completed	\$29,500	Residential	***EMERGENCY**1400SF TEAR OFF EXISTING ROOFING INSTALL NEW VIC METAL SHINGLES

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

2024 TRIM Notice (PDF)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
[Last Data Upload: 3/20/2025, 1:30:02 AM](#)

Contact Us

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 **SCHNEIDER**
GEOSPATIAL