



## **Historic Architectural Review Commission Staff Report for Item 5**

To: Chairman Haven Burkee and Historic Architectural Review  
Commission Members

From: Daniela Salume, MFA  
Historic Preservation Manager

Meeting Date: March 25, 2025

Applicant: Serge Mashtakov P.E.

Application Number: H2025-0006

Address: 520 Grinnell Street

### **Description of Work:**

New lanai at rear of property.

### **Site Facts:**

The building under review is a historic but non-contributing structure to the historic district built in 1953. This one-story concrete block structure sits on the corner of Grinnell Street and Hibiscus Lane. The building is currently over side setbacks. The site consists of the main non-historic structure, a pool, and a pool deck. The pool and deck are under a separate permit.

Currently the house sits on piers and is located within an AE-6 flood zone.



520 Grinnell Street - 1965  
*Photo of house circa 1965. Monroe County Library.*

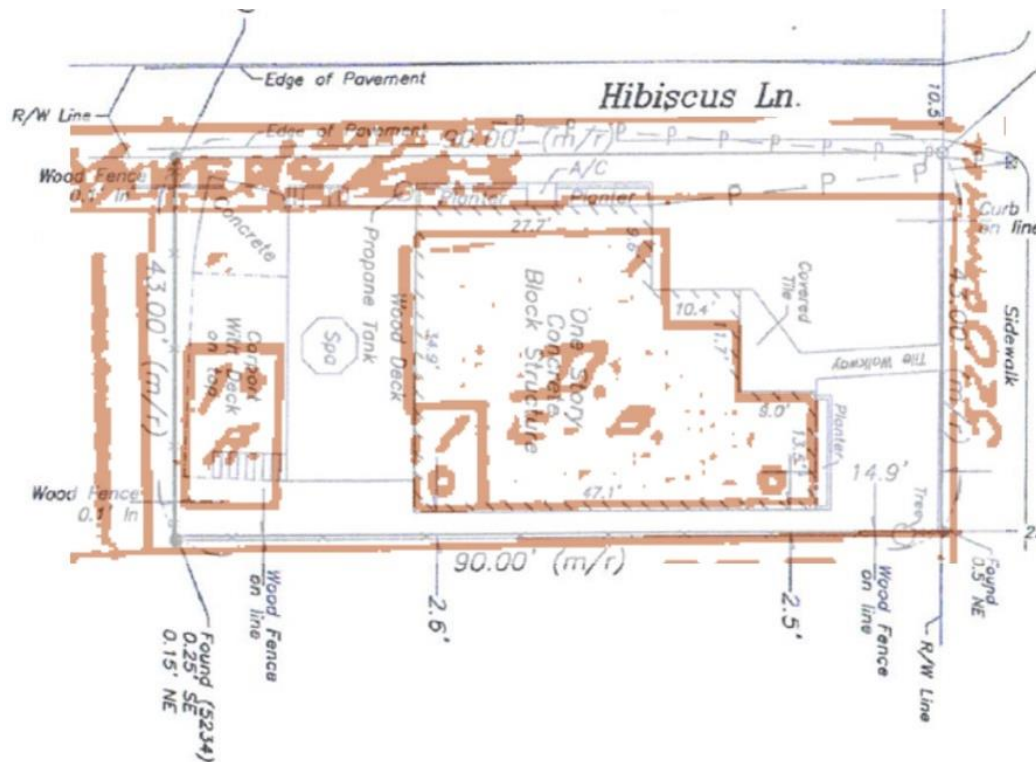


1008061 520 GRINNELL ST 01/06/23

*Photo of house under review.*



*Photo of existing pool and pool deck.*



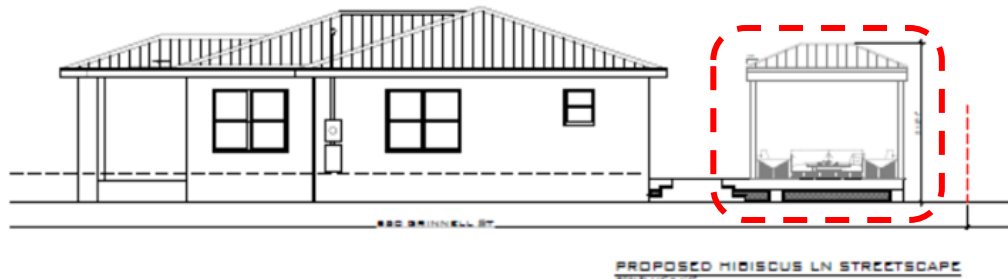
*1962 Sanborn Map and survey.*

### **Guidelines Cited on Review:**

- Guidelines for Roofing (page 26), specifically guidelines 2 and 3.
- Guidelines for Additions (pages 37a-37k), specifically guidelines 1, 6, 11, 13, 14, 19, 22 (first sentence), 24, 25 (first sentence), and 26.
- Guidelines for New Construction (pages 38a-38q), specifically guidelines 1, 2, 5, 6 (first two sentences), 8, 11, 12, 13 (first sentence), 14, 18, 22, and 23.
- Guidelines for Outbuildings (pages 40-41), specifically guidelines 1, 3, 4, 9, 10, and 11.

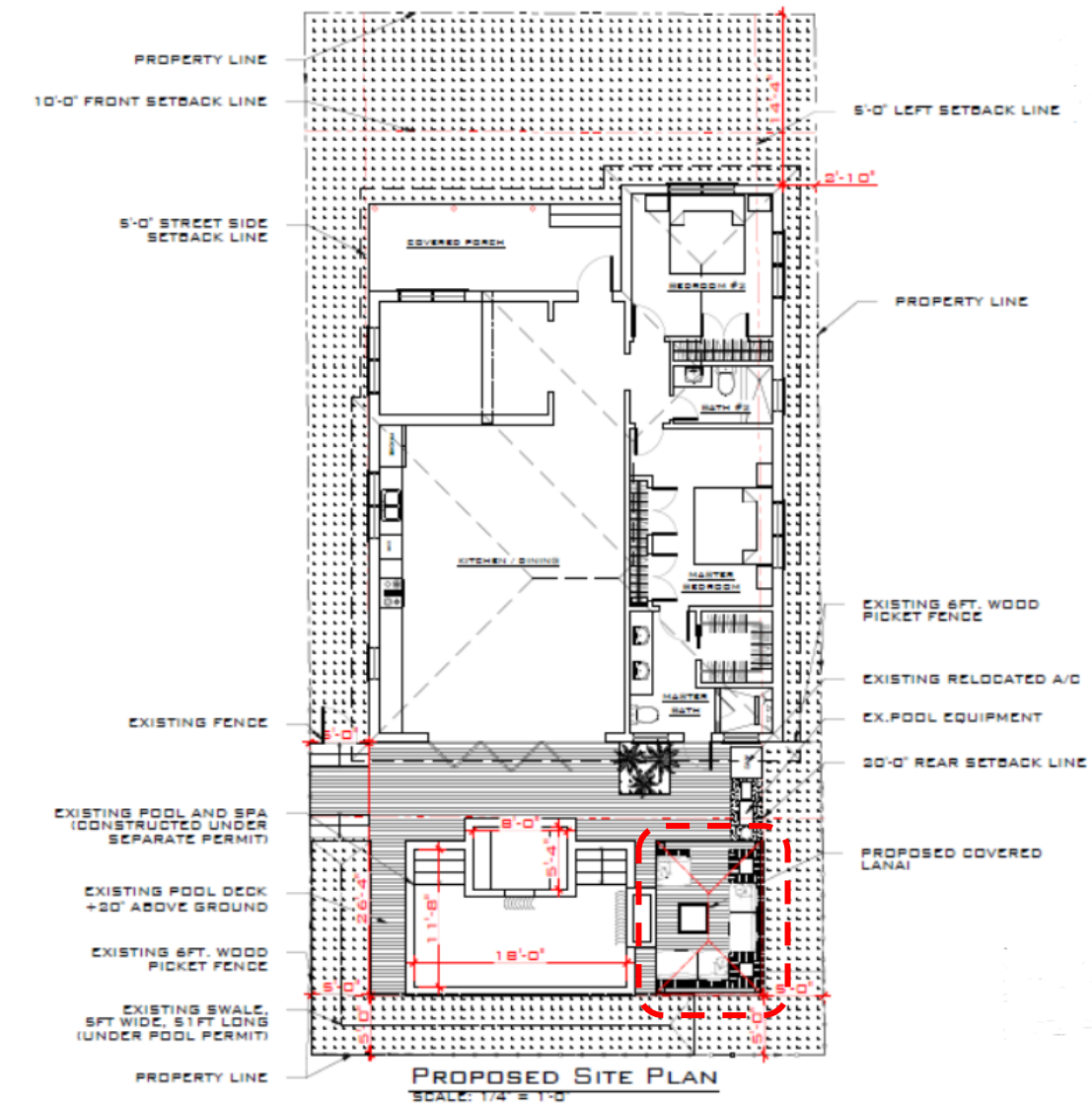
### **Staff Analysis:**

A Certificate of Appropriateness is currently under review for a new covered lanai in the rear of the property. The lanai will measure 12'10" by 8'10" and will be 13'1" in height from ground level. The design will be simple with four 6x6 pressure treated wood posts, Hardie trim around the beams, and a hip roof. The lanai will be made mostly of wood and will have 5 v-crimp roofing. The cornice will be the same height as existing historic structure. The deck and the pool are under separate permits.



*Proposed Side Elevation, dashed outline showing lanai.*





*Proposed Site Plan, dashed outline showing lanai.*

### **Consistency with Cited Guidelines:**

The proposed design for the new addition includes a cornice height that matches the existing historic structure. However, according to Guideline 24 (pg. 37-h), it is not recommended to use the same cornice height for additions to historic buildings, as it may disrupt the visual distinction between the new and historic elements. As such, the proposed design may not fully comply with this guideline due to the matching cornice height. However, the materials and design details are compatible with the main building. For better compliance with Guideline 24, the lanai should ideally have a lower cornice height to create visual separation between the historic structure and the new addition.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



## City of Key West

1300 White Street  
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:

520 Grinnell St Ave, Key West, FL 33040

NAME ON DEED:

David Lee Smith, Stephen James Talbott

PHONE NUMBER 305-923-3877

OWNER'S MAILING ADDRESS:

520 Grinnell St, Key West, FL 33040

EMAIL davidsmithkw@msn.com

APPLICANT NAME:

Serge Mashtakov P.E.

PHONE NUMBER (305) 304-3512

APPLICANT'S ADDRESS:

3710 N Roosevelt Blvd, Key West, FL 33040

EMAIL Serge@artibusdesign.com

APPLICANT'S SIGNATURE:

*Serge Mashtakov*

DATE 02/11/2025

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS \_\_\_\_ RELOCATION OF A STRUCTURE \_\_\_\_ ELEVATION OF A STRUCTURE \_\_\_\_

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☒ NO \_\_\_\_ INVOLVES A HISTORIC STRUCTURE: YES ☒ NO \_\_\_\_

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES \_\_\_\_ NO ☒

**DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.**

**GENERAL:** New Construction of Lanai in rear of the property.

**MAIN BUILDING:** No work on existing main building is proposed under this application

**DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):**

**APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE**  
**PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS [CITY\\_HARC@CITYOFKEYWEST-FL.GOV](mailto:CITY_HARC@CITYOFKEYWEST-FL.GOV)**

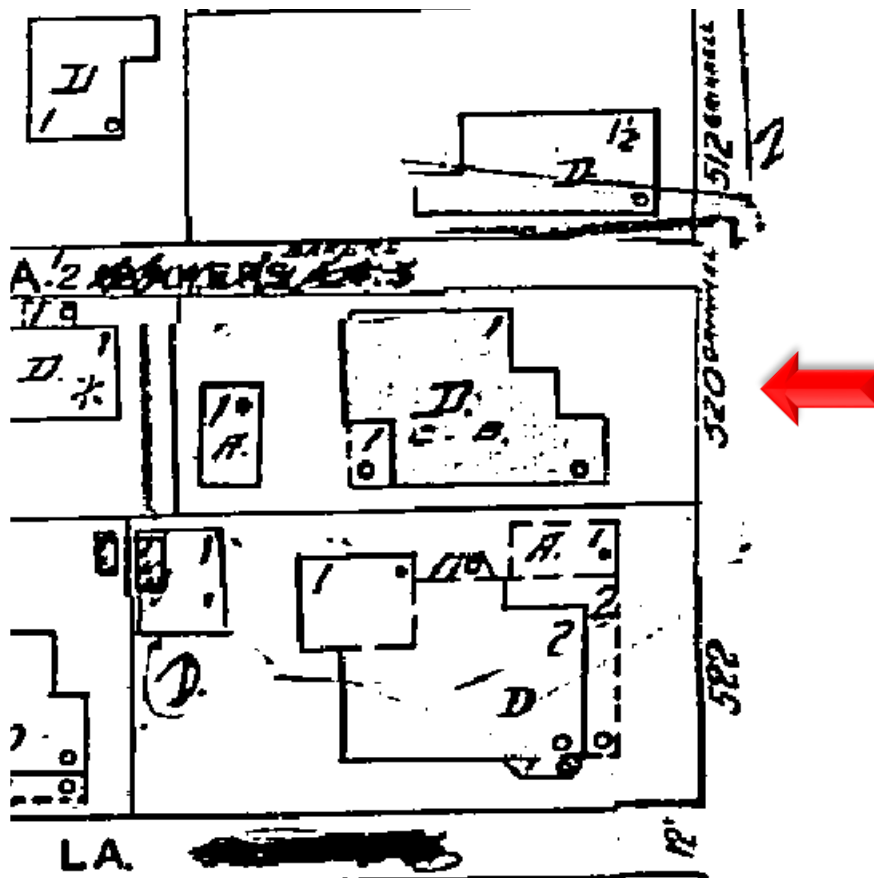
<b>ACCESSORY STRUCTURE(S):</b> New Lanai Structure	
<b>PAVERS:</b> N/A	<b>FENCES:</b> N/A
<b>DECKS:</b> Wood frame composite decking under Lanai	<b>PAINTING:</b> White paint or HARC approved pastel color
	Per approved submitted color
<b>SITE (INCLUDING GRADING, FILL, TREES, ETC):</b>	<b>POOLS (INCLUDING EQUIPMENT):</b>
N/A	N/A
<b>ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):</b>	<b>OTHER:</b>

<b>OFFICIAL USE ONLY:</b>	<b>HARC COMMISSION REVIEW</b>	<b>EXPIRES ON:</b>
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

**THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.**



# SANBORN MAPS



1962 Sanborn Map

# PROJECT PHOTOS



EXISTING POOL AND POOL DECK  
VIEW TOWARD PROPOSED LANAI



EXISTING POOL AND POOL DECK  
VIEW AWAY FROM PROPOSED LANAI





EXISTING FENCE  
VIEW FROM SIDE ALLEY

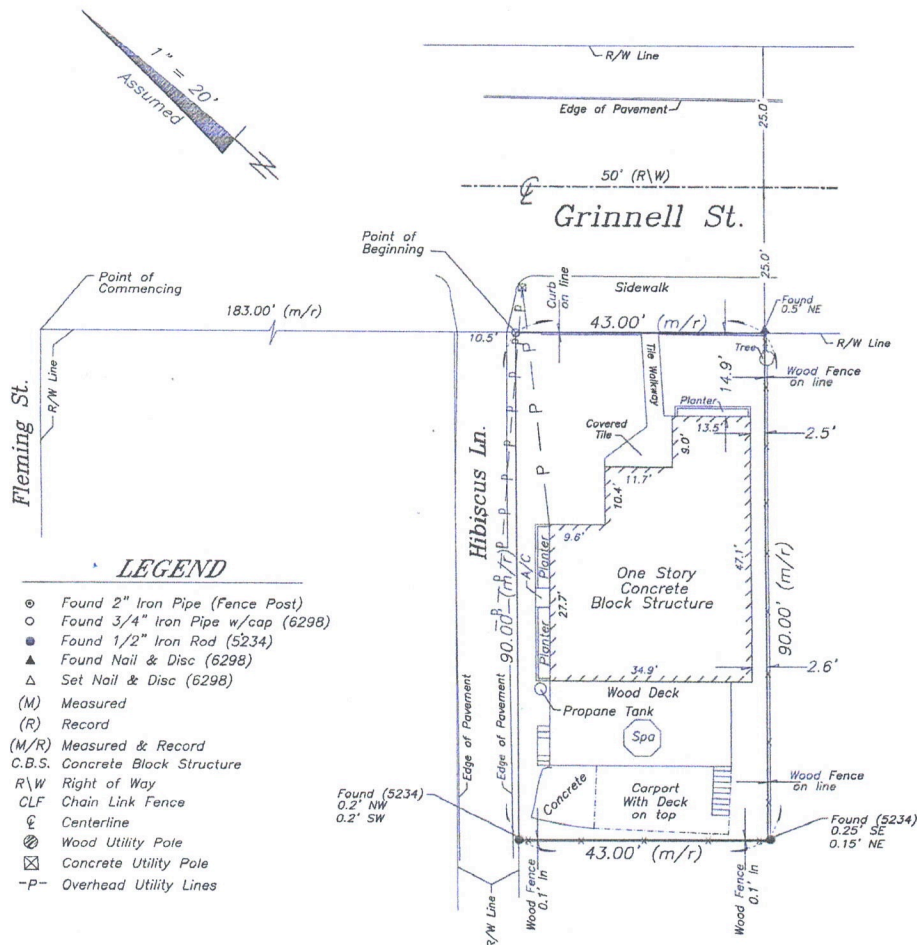


EXISTING FENCE  
VIEW FROM SIDE ALLEY

# SURVEY



# Boundary Survey Map of part of Lot 2, Square 46, Island of Key West



**BOUNDARY SURVEY OF:** On the Island of Key West, Monroe County, Florida and also known on William A. Whitehead's map of said Island, delineated in February, A.D. 1829, as a part of Lot 2, in Square 46 and being more particularly described as follows: **COMMENCE** at the intersection of the Southeasterly right-of-way line of Fleming Street and the Southwesterly line of Grinnell Street and running thence in a Southeasterly direction along the said Southwesterly line of Grinnell Street for 183.00 feet to the Point of Beginning; thence continue in a Southeasterly direction along the said Southwesterly right-of-way line of Grinnell Street for 43.00 feet; thence at a right angle and in a Southwesterly direction for 90.00 feet; thence at a right angle and in a Northwesterly direction for 43.00 feet to the Southeasterly right-of-way line of Hibiscus Lane; thence at a right angle and along the said Southeasterly right-of-way line of the said Hibiscus Lane for 90.0 feet to the said Southwesterly right-of-way line of Grinnell Street and the Point of Beginning.

**BOUNDARY SURVEY FOR:** David L. Smith & James S. Talbott;  
Branch Banking and Trust Company;  
Spottswood, Spottswood & Sterling, PLLC;  
Chicago Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM  
Florida Reg. #6298  
July 9, 2018

THIS SURVEY  
IS NOT  
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper  
PSM #6298

3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244

# PROPOSED DESIGN



# CONSTRUCTION PLANS FOR LANAI

SITE LOCATION



LOCATION MAP:

PROJECT LOCATION:  
520 GRINELL ST,  
KEY WEST, FL 33040

CLIENT:  
DAVID SMITH

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SERGE MASHYAGOV, PE ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED BIDDING AND SEALER AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SERGE MASHYAGOV  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 71480

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REV.	DESCRIPTION	BY	DATE
1	FINAL		

ARTIBUS DESIGN

ENGINEERING AND PLANNING

ARTIBUS DESIGN  
3710 N. ROOSEVELT BLVD  
KEY WEST, FL 33040  
(305) 304-3512  
WWW.ARTIBUSDESIGN.COM  
CA # 30835

CLIENT:	DAVID SMITH		
PROJECT:	520 GRINELL ST		
SITE:	520 GRINELL ST, KEY WEST, FL 33040		
TITLE:	COVER		
SCALE	AS SHOWN	DATE	02/1/25
DESIGNED BY	DAVID SMITH	CHECKED BY	DAVID SMITH
2009-13	6-100	REVISION	1



GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC RESIDENTIAL BUILDING 8TH EDITION (2023)
2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-22  
FLOOR LIVE LOAD: 40 PSF  
ROOF LIVE LOAD: 20 PSF (300 LB CONC.)  
BASIC WIND SPEED: 180 MPH  
EXPOSURE: C  
STRUCTURAL CATEGORY: II

FLOOD ZONE: AE6

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN,  
WITH A LOAD FACTOR OF 0.6

3.ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION

SOILS AND FOUNDATIONS:

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION.  
FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUGERCAST PILES

1. AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #5 REBAR VERTICALLY WITH #3 STIRRUPS AT 12" O.C. CONTRACTOR SHALL USE PLASTIC CHARS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE:

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY.

THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.

MINIMUM SAMPLING FREQUENCY:

- A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
- B) EVERY 50 CUBIC YARDS;
- C) EVERY 2000 SQ.FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS.

LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED&SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT:

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.  
\* ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

ALUMINUM COMPONENTS:

1. TYPE 6061-T6 ALUMINUM.
2. MIG WELD ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

HARDWARE:

1. HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER:

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWWA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 8TH EDITION (2023). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 4" O.C. IN THE FIELD.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING:

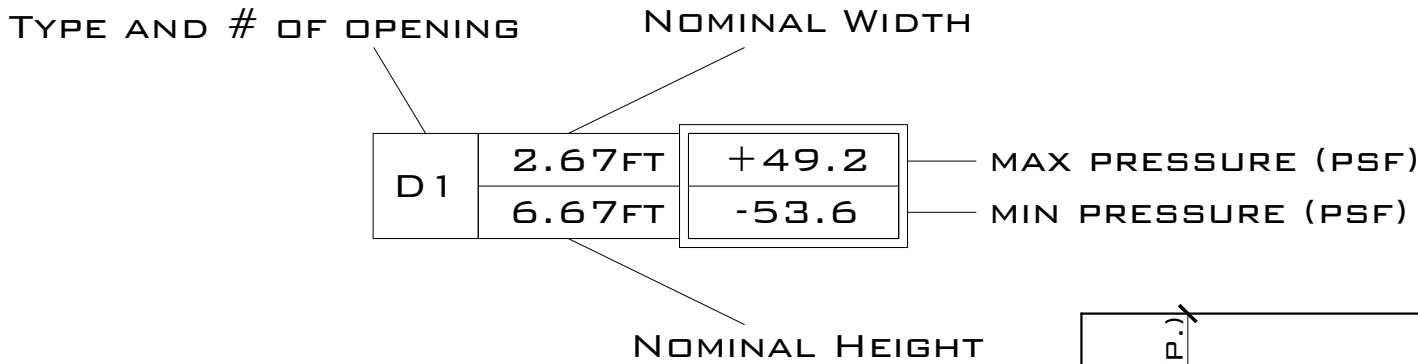
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10) EXPOSED STEEL:
  2. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
  3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
  4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
  5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
  6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
- NON-EXPOSED STEEL (INTERIOR):
7. 2 COATS OF "SUMTER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL.

REINFORCED MASONRY (CMU):

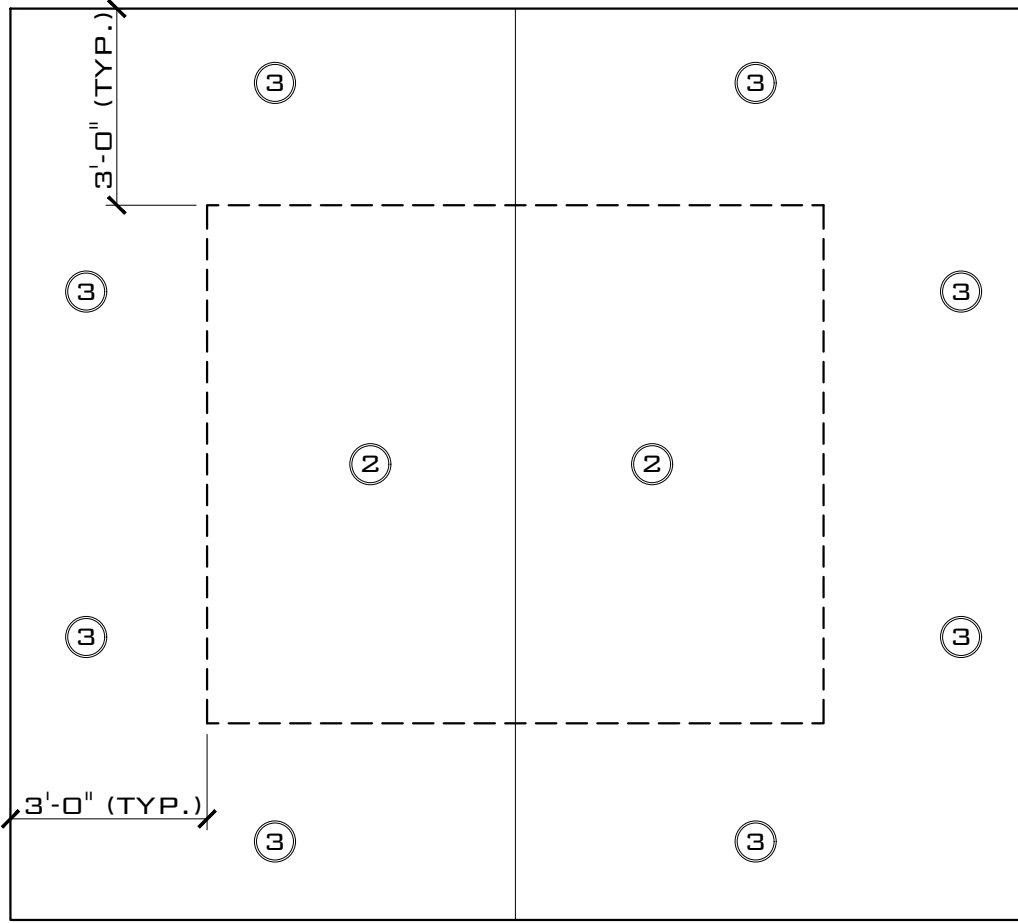
1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'M) BE 2000 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS:

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)



OPEN STRUCTURE - BUILDING					
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 5)					
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT2	MAX P, PSF	MIN P, PSF
ZONE 1	1	1	1	+36.68	-30.47
ZONE 2	1	1	1	+56.54	-47.24
ZONE 3	1	1	1	+73.35	-60.95



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SERGE MASHITADY  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 71480

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REV	DESCRIPTION	BY	DATE
1	FINAL		

**ARTIBUS DESIGN**  
ENGINEERING AND PLANNING

ARTIBUS DESIGN  
3710 N. ROOSEVELT BLVD  
KEY WEST, FL 33040  
(305) 304-3512  
WWW.ARTIBUSDESIGN.COM  
CA # 30835

CLIENT: DAVID SMITH

PROJECT: 520 GRINELL ST

DATE: 520 GRINELL ST,  
KEY WEST, FL 33040

TITLE: NOTES

SCALE	BY	DATE	DATE	DATE	DATE
AS SHOWN	DD	1	1	1	1
PROJECT	2009-13	6-101			

PROPERTY LINE

10'-0" FRONT SETBACK LINE

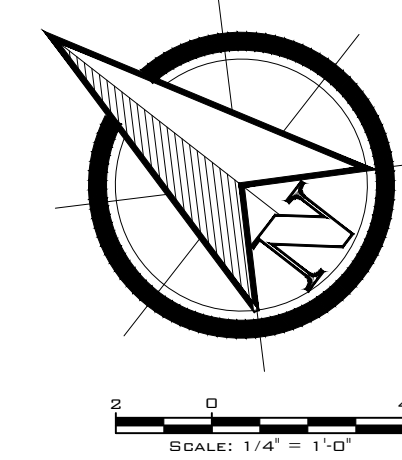
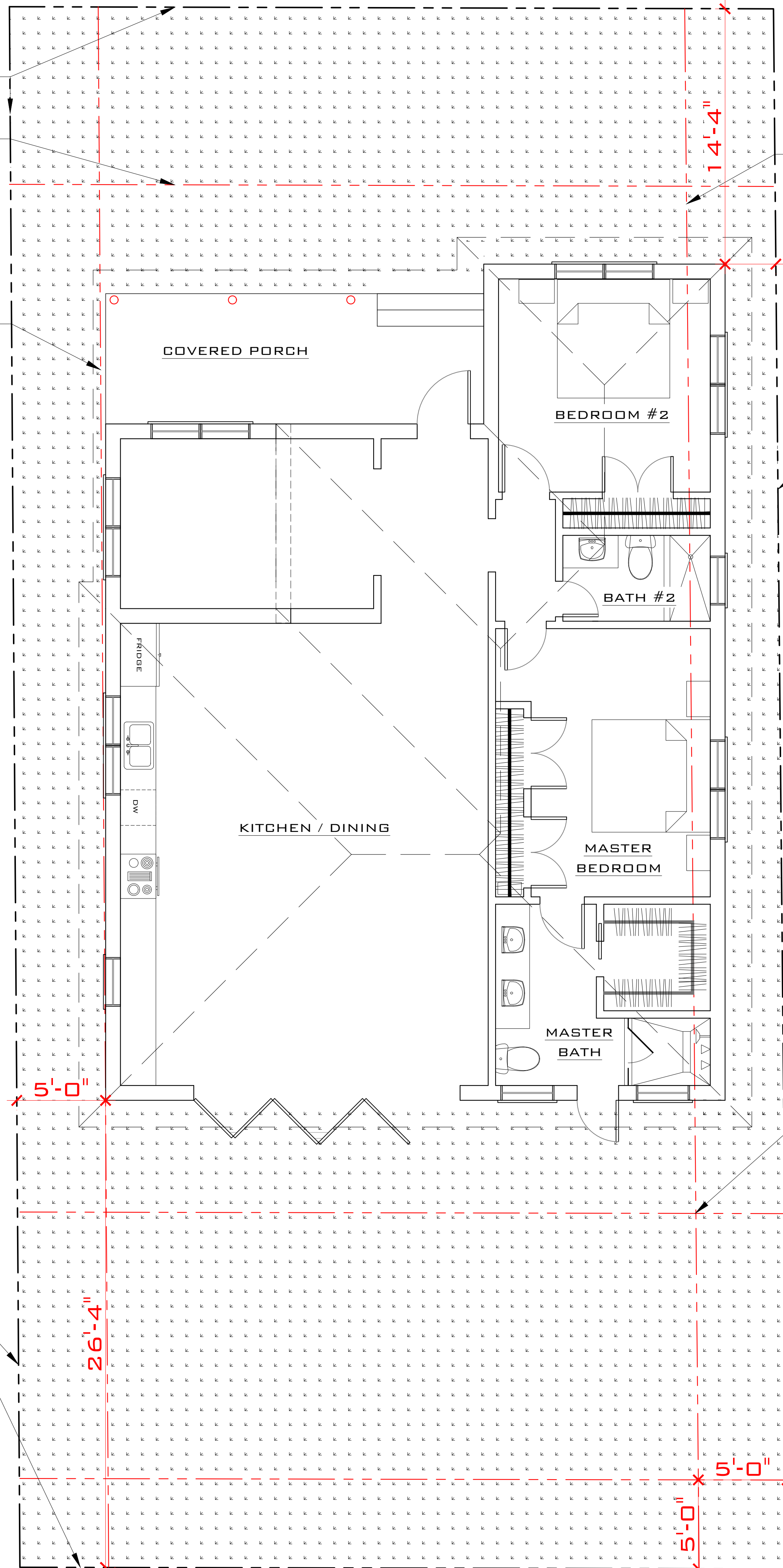
5'-0" STREET SIDE  
SETBACK LINE

5'-0" LEFT  
SETBACK LINE

PROPERTY LINE

20'-0" REAR  
SETBACK LINE

PROPERTY LINE



SITE DATA:

TOTAL SITE AREA: ±3,790.00 SQ.FT

LAND USE: HHDR  
FLOOD ZONE: AE6

SETBACKS

FRONT:  
REQUIRED 10 FT  
EXISTING ±14.4 FT  
PROPOSED NO CHANGE

STREET SIDE:  
REQUIRED 5 FT  
EXISTING ±5 FT  
PROPOSED NO CHANGE

SIDE:  
REQUIRED 5 FT  
EXISTING ±2.10 FT  
PROPOSED NO CHANGE

REAR:  
REQUIRED 20 FT  
EXISTING ±26.4 FT  
PROPOSED NO CHANGE

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED 60% (±2,274.00 SQ.FT.)  
EXISTING 42.4% (±1,607.0 SQ.FT.)  
PROPOSED 50.34% (±1,908.0 SQ.FT.)

MAXIMUM BUILDING COVERAGE:

REQUIRED 50% (±1,895.0 SQ.FT.)  
EXISTING 42.4% (±1,607.0 SQ.FT.)  
PROPOSED 45.4% (±1,721.0 SQ.FT.)

OPEN SPACE MINIMUM:

REQUIRED 35% (±1326.5 SQ.FT.)  
EXISTING 57.6% (±2,183.0 SQ.FT.)  
PROPOSED 38.3% (±1,452.0 SQ.FT.)

MAXIMUM HEIGHT: 30 FT

ROOF OVERHANGS ARE NOT COUNTED INTO BUILDING COVERAGE AND ARE CONSIDERED AS PERVIOUS AREA AND OPEN SPACE.

**EXISTING SITE PLAN**

SCALE: 1/4" = 1'-0"

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PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 71489

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REV. DESCRIPTION NO. DATE  
1.00 FINAL

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ENGINEERING AND PLANNING

**ARTIBUS DESIGN**  
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KEY WEST, FL 33040  
(305) 304-3512  
WWW.ARTIBUSDESIGN.COM  
CA # 30835

CLIENT: DAVID SMITH

PROJECT: 520 GRINELL ST

DATE: 520 GRINELL ST,  
KEY WEST, FL 33040

TITLE: EXISTING SITE PLAN

SCALE: AS SHOWN	DATE: 02/1/20	DRAWN: CA	CHECKED: SAM
PROJECT NO: 2009-13	ISSUED: 01-101	REVISION: 1	



PROPERTY LINE

10'-0" FRONT SETBACK LINE

5'-0" STREET SIDE  
SETBACK LINE

5'-0" LEFT SETBACK LINE

PROPERTY LINE

EXISTING FENCE

EXISTING POOL AND SPA  
(CONSTRUCTED UNDER  
SEPARATE PERMIT)

EXISTING POOL DECK  
+20" ABOVE GROUND

EXISTING 6FT. WOOD  
PICKET FENCE

EXISTING SWALE,  
5FT WIDE, 51FT LONG  
(UNDER POOL PERMIT)

PROPERTY LINE

COVERED PORCH

BEDROOM #2

BATH #2

KITCHEN / DINING

MASTER  
BEDROOM

MASTER  
BATH

EXISTING 6FT. WOOD  
PICKET FENCE

EXISTING RELOCATED A/C

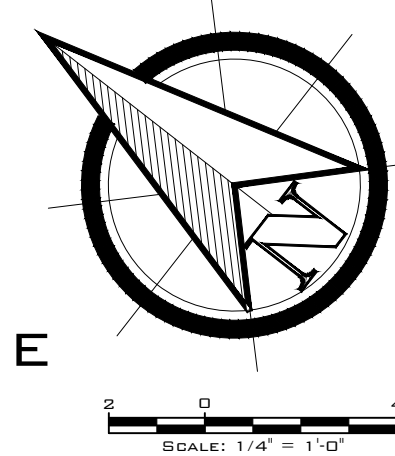
EX.POOL EQUIPMENT

20'-0" REAR SETBACK LINE

PROPOSED COVERED  
LANAI

PROPOSED SITE PLAN

SCALE: 1/4" = 1'-0"



**MONROE COUNTY  
RESIDENTIAL STORMWATER RETENTION CALCULATION SHEET**

**1. Determine Total Impervious Coverage on site:**

**a. Determine Impervious Coverage EXISTING prior to new improvement:**

Roof/slabs	A	1,607.00	ft <sup>2</sup>	Sidewalks	D		ft <sup>2</sup>
Decks / Patios	B		ft <sup>2</sup>	Pool/Deck	E		ft <sup>2</sup>
Driveways	C		ft <sup>2</sup>	Other	F		ft <sup>2</sup>
Impervious Coverage EXISTING prior to improvement (A + B + C + D + E + F)							1,607.00
							<b>1a</b>

**b. Determine NEW Impervious Coverage PROPOSED with improvement:**

Roof/slabs	A	0.00	ft <sup>2</sup>	Sidewalks	D		ft <sup>2</sup>
Decks / Patios	B		ft <sup>2</sup>	Pool/Deck	E	278.00	ft <sup>2</sup>
Driveways	C		ft <sup>2</sup>	Other	F	23.00	ft <sup>2</sup>
Impervious Coverage PROPOSED with improvement (A + B + C + D + E + F)							301.00
							<b>1b</b>

Total Impervious Coverage: EXISTING + PROPOSED (1a+1b) 1,908.00 **1**

**2. Determine Percentage of Impervious Coverage on site:**

1,908.00 **1** ft<sup>2</sup> / 3,790.00 ft<sup>2</sup> = 50.34% **2** % of Impervious Coverage

**3. Determine "Disturbed Area" [(114-3(f)(2) 41**

3,790.00 **3** ft<sup>2</sup> - 0.00 ft<sup>2</sup> = 3,790.00 **3** Disturbed Area

Total Lot Area Native Vegetation - If no BMP enter "0"

For the purposes of this section, the term "disturbed area" includes the entire lot except that the areas covered by the following best management practices (BMP) shall be subtracted from the calculation of disturbed area: (i) Forested upland areas/vegetative buffer strips (both natural and manmade) which will be retained intact and over or through which vehicular access or travel is not possible and will not occur; and (ii) Open water surfaces and wetlands (salt marsh, buttonwood, mangroves, or freshwater marsh habitat types). It will be the responsibility of the applicant to affirmatively demonstrate that the best management practices used for the project are designed, constructed, and maintained properly.

**4. Determine Required Swale Volume – Complete a, b, or c:**

**a. For a NEW home with less than 40% Impervious Coverage, use:**

3,790.00 **3** ft<sup>2</sup> X 0.083 = 0.00 **4a** ft<sup>3</sup> Swale Volume

**b. For a NEW home with 40% or greater Impervious Coverage, use:**

3,790.00 **3** ft<sup>2</sup> X 0.208 X 50.34% **2** % = 0.00 **4b** ft<sup>3</sup> Swale Volume

**c. When only new impervious area requires storm water retention (Existing Single Family & Duplexes Only):**

1. When the total lot impervious coverage remains below 40% after the additional development:

301.00 **1b** ft<sup>2</sup> X 0.083 = 0.00 **4c1** ft<sup>3</sup> Added Swale Volume

Impervious Coverage PROPOSED Swale Volume

2. When the new development increases the total lot impervious area to 40% or above:

301.00 **1b** ft<sup>2</sup> X 0.208 = 62.61 **4c2** ft<sup>3</sup> Added Swale Volume

Impervious Coverage PROPOSED Swale Volume

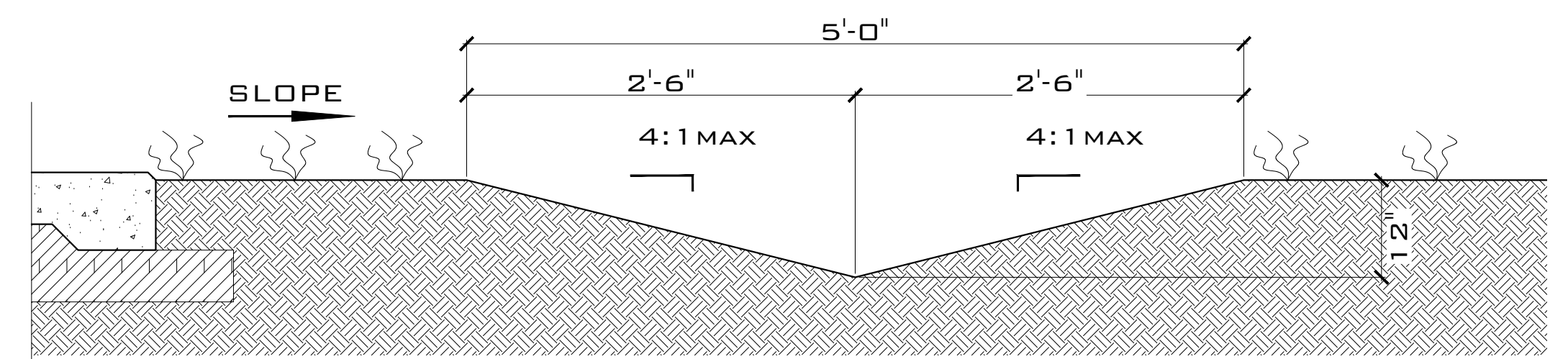
**5. Determine Swale Length (Swale side slopes must be no steeper than 4:1)**

(5.00 ft X 0.50 ft) / 2 = 1.25 ft<sup>2</sup> Cross Sectional Area\*\*

62.61 ft<sup>3</sup> / 1.25 ft<sup>2</sup> = 50.09 ft Swale Length

Swale Volume Cross Sectional Area  
Either 4 - a, b, c1 or c2 (\*\*e.g. a V-shaped swale with 4:1 slopes, 8 feet wide and 1 foot deep has 4 SF of Cross Sectional Area.)

Source: These Formulas are derived from the criteria for Water Quality treatment in paragraphs (f)(2)b. & a. of Monroe County Code 114-3.  
Updated 9/5/2012



TYPICAL 8FT SWALE DETAIL

SCALE: NTS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND  
SEALED BY SERGE MASHYAKOV, P.E. ON THE  
DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE  
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SERGE MASHYAKOV  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 71489

THIS DRAWING IS NOT VALID WITHOUT THE  
SIGNATURE AND ORIGINAL SEAL.

REV. DESCRIPTION: NO. DATE:  
FINAL

ARTIBUS DESIGN  
ENGINEERING AND PLANNING

ARTIBUS DESIGN  
3710 N. ROOSEVELT BLVD  
KEY WEST, FL 33040  
(305) 304-3512  
WWW.ARTIBUSDESIGN.COM  
CA # 30835

CLIENT: DAVID SMITH

PROJECT: 520 GRINELL ST

SITE: 520 GRINELL ST,  
KEY WEST, FL 33040

TITLE: PROPOSED SITE PLAN

SCALE: AS SHOWN DATE: 02/11/2015 DRAWN: CA CHECKED: SAM

PROJECT NO.: 2009-13 DRAWING NO.: C-102 REVISION: 1





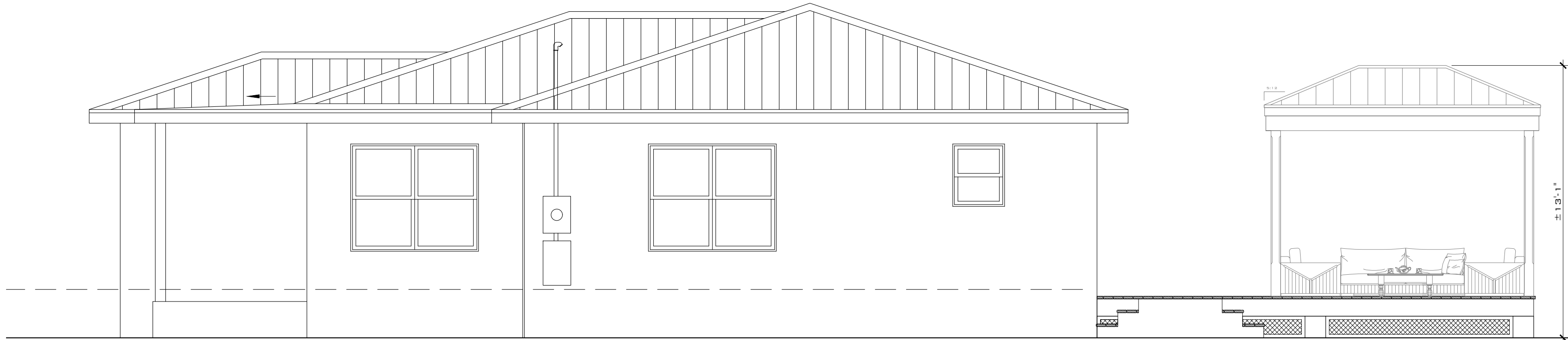
520 GRINNELL ST



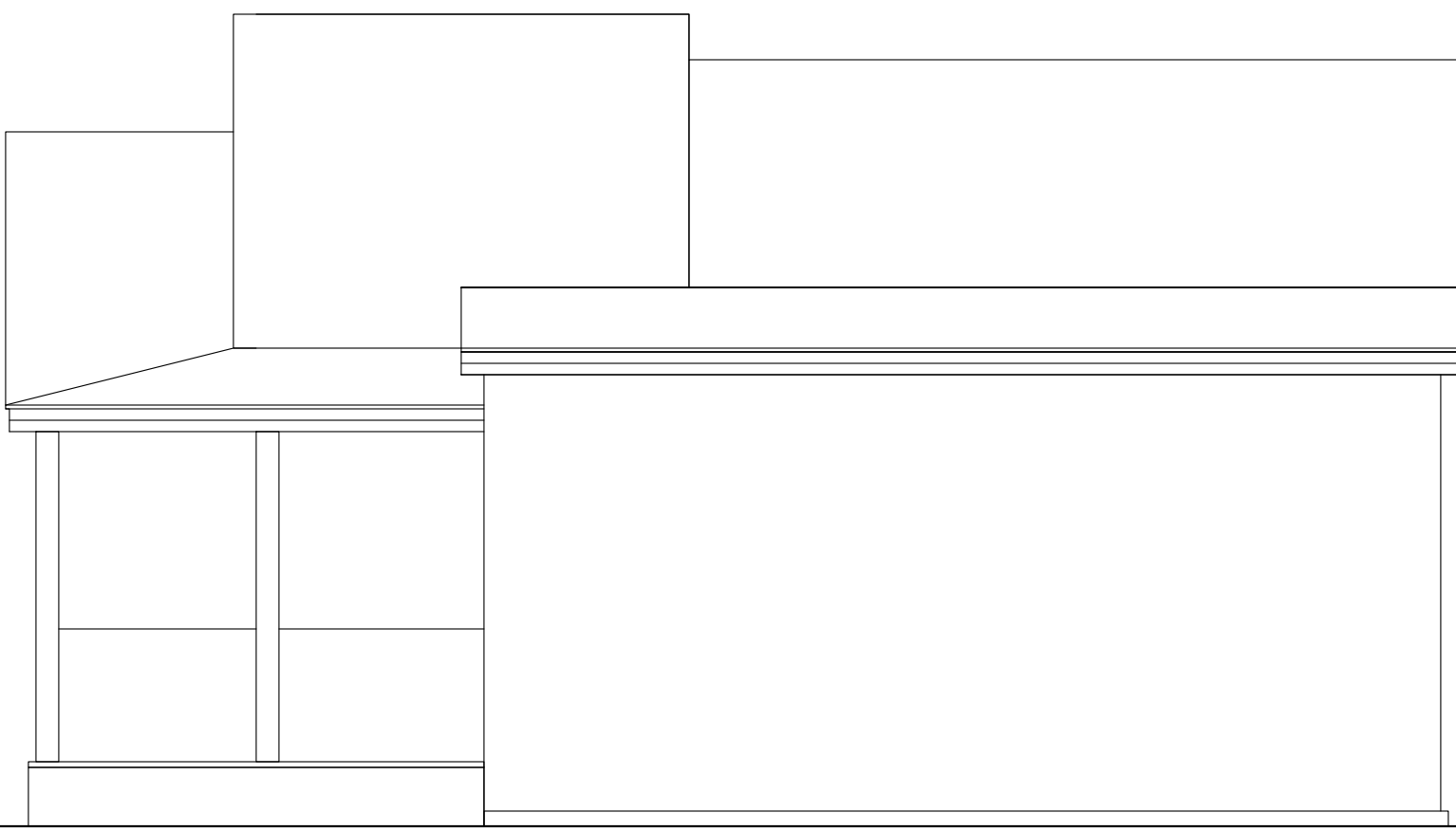
2 HIBISCUS LN

EXISTING HIBISCUS LN STREETSCAPE

SCALE: 1/4" = 1'-0"



520 GRINNELL ST



2 HIBISCUS LN

PROPOSED HIBISCUS LN STREETSCAPE

SCALE: 1/4" = 1'-0"

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SERGE MASHYAGOV  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 71480

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REV. DESCRIPTION NO. DATE  
1. FINAL

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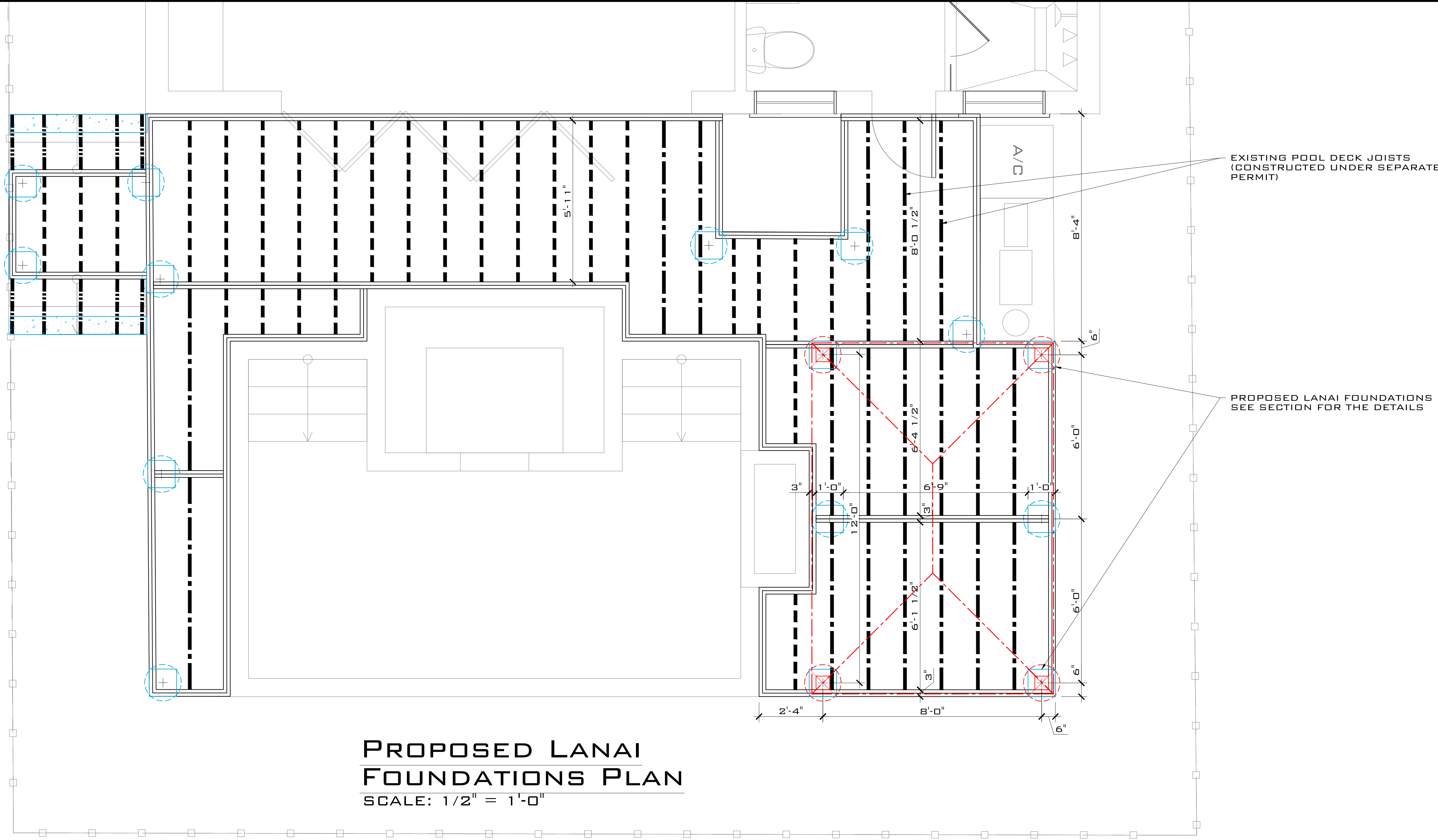
ARTIBUS DESIGN  
3710 N. ROOSEVELT BLVD  
KEY WEST, FL 33040  
(305) 304-3512  
WWW.ARTIBUSDESIGN.COM  
CA # 30835

CLIENT: DAVID SMITH


PROJECT: 520 GRINNELL ST

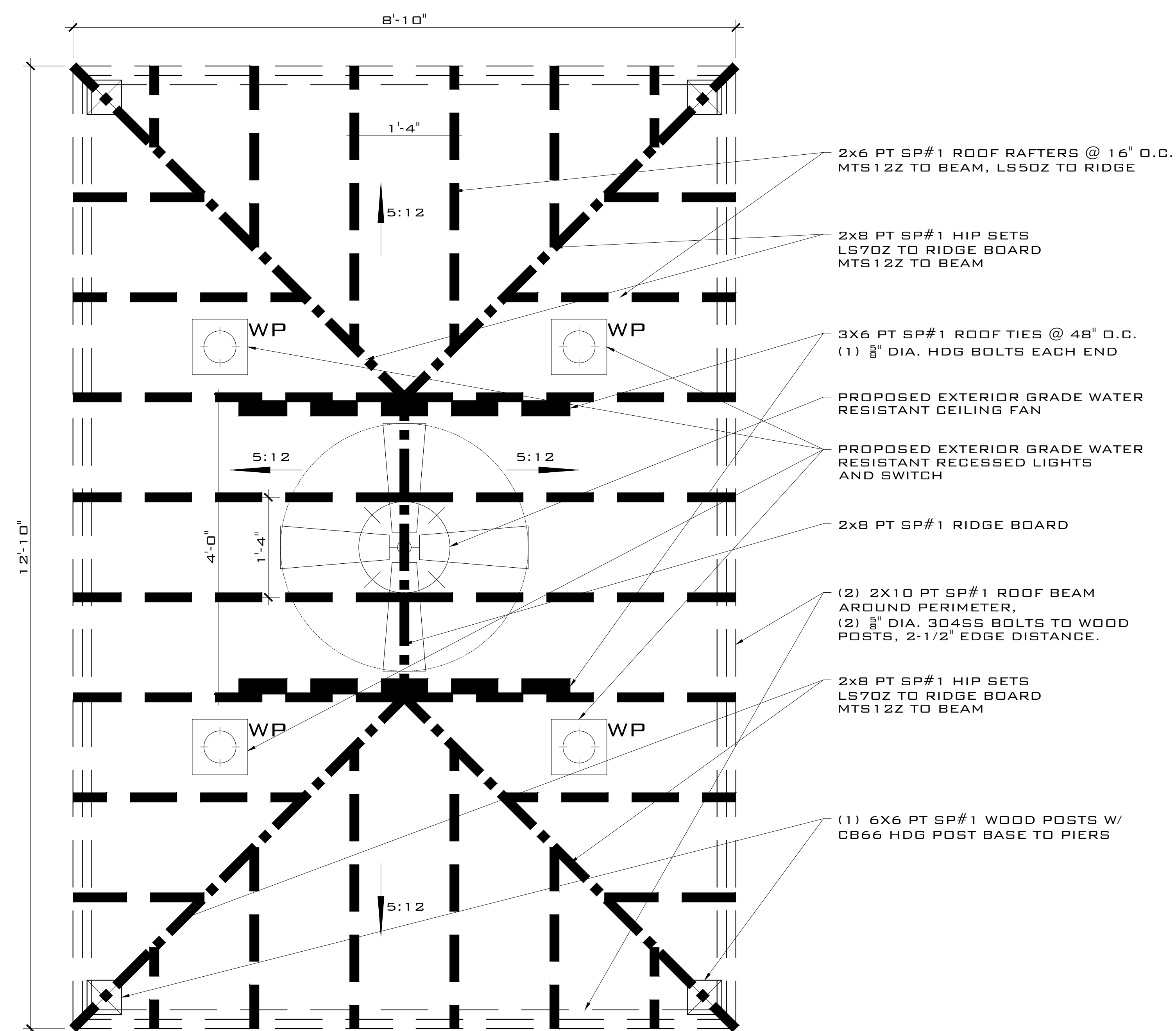
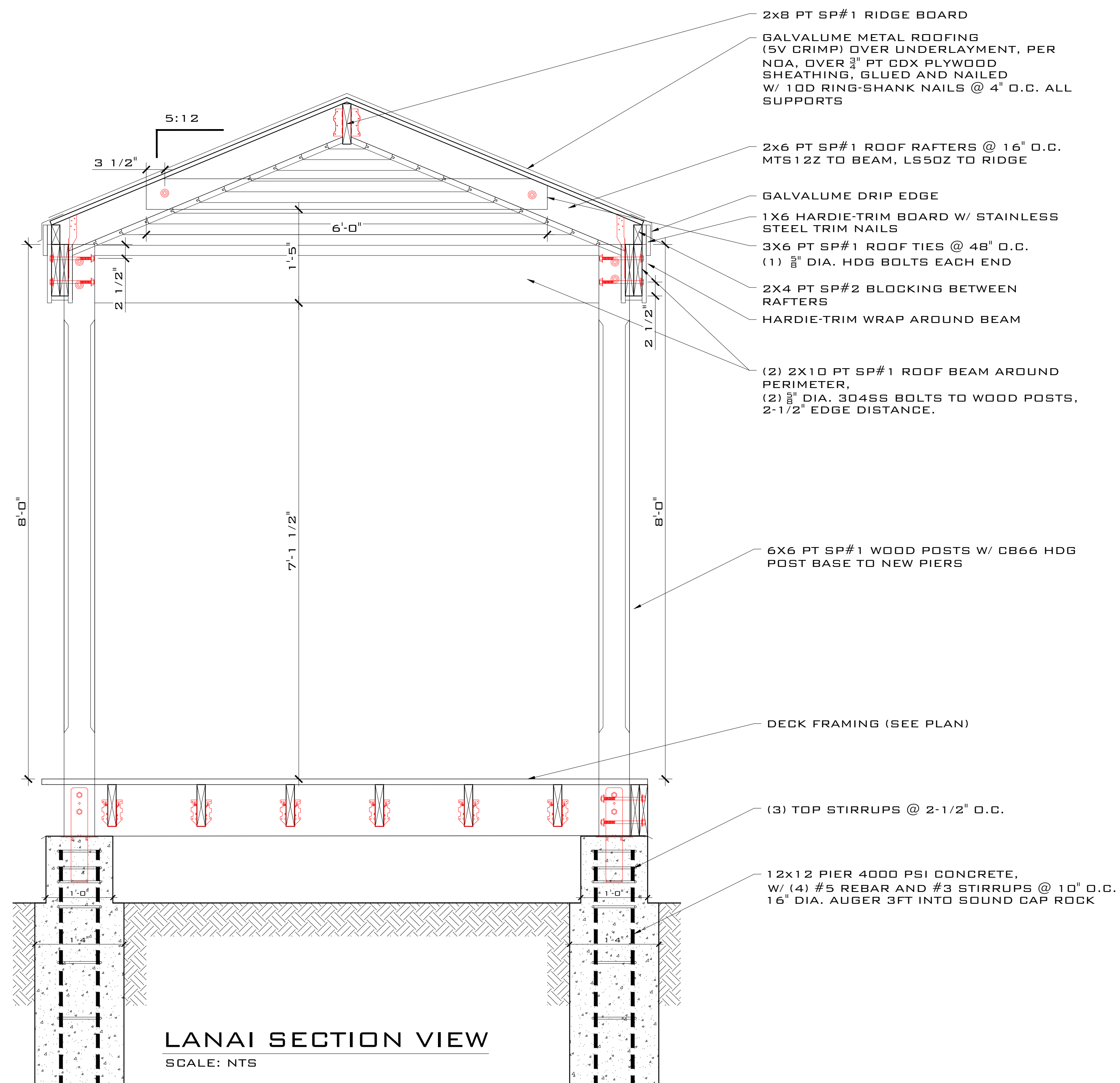
SITE: 520 GRINNELL ST,  
KEY WEST, FL 33040  
TITLE: STREETSCAPES

SCALE: AS SHOWN	DATE: 02/1/25	DRAWN: CA	CHECKED: SAM
PROJECT NO: 2009-13	ISSUE NO: A-101	REVISION: 1	



**PROPOSED LANAI  
FOUNDATIONS PLAN**  
SCALE: 1/2" = 1'-0"

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SERGE MASHAGADY PROFESSIONAL ENGINEER STATE OF FLORIDA LICENSE NO. 71480			
THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL.			
REV.	DESCRIPTION	BY	DATE
1	FINAL		
 ARTIBUS DESIGN ENGINEERING AND PLANNING			
ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT: DAVID SMITH			
PROJECT: 520 GRINELL ST.			
SITE: 520 GRINELL ST. KEY WEST, FL 33040			
TITLE: POOL DECK FRAMING PLAN			
SCALE	BY	DATE	DATE
AS SHOWN	07/31/23	CA	SAM
PROJECT NO.	2009-13	S-201	1



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SERGE MASHTAKOV  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 71480

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REV:	DESCRIPTION:	BY:	DATE:
STATUS:		FINAL	



**ARTIBUS DESIGN**  
ENGINEERING AND PLANNING

**ARTIBUS DESIGN**  
3710 N. ROOSEVELT BLVD  
KEY WEST, FL 33040  
(305) 304-3512  
WWW.ARTIBUSDESIGN.COM  
CA # 30835

CLIENT: DAVID SMITH

PROJECT:  
520 GRINELL ST

SITE:	520 GRINELL ST. KEY WEST, FL 33040
TITLE:	LANAI SECTION & PLAN

SCALE AT 24x36:		DATE:	DRAWN:	CHECKED:
AS SHOWN		02/11/25	CA	GAM
PROJECT NO:		DRAWING NO:		REVISION:
2009-13		S-202		1

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., March 25, 2025, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

## NEW LANAI AT REAR OF PROPERTY.

### #520 GRINNELL STREET

**Applicant – Serge Mashtakov    Application #H2025-0006**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



# HARC POSTING AFFIDAVIT

STATE OF FLORIDA:  
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared OLEY AMBROUAK, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 306 TRUMAN AVE, KEY WEST, FL-33040 on the 25 day of MARCH, 2025.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on 5:00pm, MARCH 25, 2025.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2025-0005.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]  
Date: 03/20/25  
Address: 3710 N. ROOSEVELT BLVD  
City: KEYWEST  
State, Zip: 33040

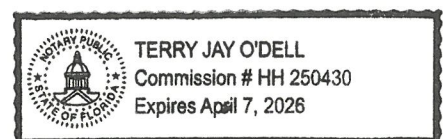
The forgoing instrument was acknowledged before me on this 20 day of March, 2025.

By (Print name of Affiant) OLEY AMBROUAK who is personally known to me or has produced ID as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]  
Print Name: Terry O'Dell

Notary Public - State of Florida (seal)  
My Commission Expires: April 7, 2026







520

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting on **Friday, March 25, 2010, at 10:00 AM**, in the **Historic White House**, Key West, Florida. The purpose of the meeting will be to consider a request for:

**NEW LANAI AT REAR OF PROPERTY.**

**520 GRINNELL STREET**

Applicant - **Serge Mashtakov** Application #012025-0006

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 520 White Street, call 305-491-2073 or visit our website at [www.keywestfla.gov](http://www.keywestfla.gov).

**THE CITY OF KEY WEST WILL BE HOLDING THE MEETING IN THE HISTORIC WHITE HOUSE.**

**A WARNING:** It is the policy of the City of Key West to protect the historic character of the city by reviewing all exterior changes to historic properties. Any changes to the exterior of a historic property must be approved by the Historic Architectural Review Commission. Any changes to the exterior of a historic property that are not approved by the Commission may result in the property being placed under a preservation easement.

520





Public  
Meeting  
Notice

NEW LANSING BEACH CITY OFFICIALS  
WEDNESDAY, MAY 12, 2010  
7:00 PM

520



# PROPERTY APPRAISER INFORMATION

## Monroe County, FL

**\*\*PROPERTY RECORD CARD\*\*****Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00007790-000000  
 Account# 1008061  
 Property ID 1008061  
 Millage Group 10KW  
 Location 520 GRINNELL St, KEY WEST  
 Address  
 Legal KW PT LOT 2 SQR 46 A5-245 G57-289/95 G57-296/97 OR849-1512 OR872-257  
 Description OR1160-436/37 OR1160-1399 OR1232-2113 OR1278-1858/59 OR1418-658/60  
 OR2266-1785/87 OR2939-1740 OR2940-1844 OR2966-1082 OR2966-1070  
 (Note: Not to be used on legal documents.)  
 Neighborhood 6108  
 Property Class SINGLE FAMILY RESID (0100)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable No  
 Housing

**Owner**

SMITH DAVID LEE  
 520 Grinnell St  
 Key West FL 33040

TALBOTT JAMES STEPHEN  
 509 Grinnell St  
 Key West FL 33040

**Valuation**

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$529,040	\$330,629	\$158,097	\$133,725
+ Market Misc Value	\$0	\$0	\$0	\$543
+ Market Land Value	\$1,405,274	\$1,144,412	\$912,740	\$675,083
= Just Market Value	\$1,934,314	\$1,475,041	\$1,070,837	\$809,351
= Total Assessed Value	\$1,178,865	\$1,144,530	\$889,072	\$809,351
- School Exempt Value	(\$25,000)	(\$25,000)	\$0	\$0
= School Taxable Value	\$1,153,865	\$1,119,530	\$1,070,837	\$809,351

**Historical Assessments**

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,405,274	\$529,040	\$0	\$1,934,314	\$1,178,865	\$25,000	\$1,153,865	\$500,000
2023	\$1,144,412	\$330,629	\$0	\$1,475,041	\$1,144,530	\$25,000	\$1,119,530	\$330,511
2022	\$912,740	\$158,097	\$0	\$1,070,837	\$889,072	\$0	\$1,070,837	\$0
2021	\$675,083	\$133,725	\$543	\$809,351	\$809,351	\$0	\$809,351	\$0
2020	\$669,916	\$137,545	\$543	\$808,004	\$808,004	\$0	\$808,004	\$0
2019	\$706,082	\$139,456	\$543	\$846,081	\$846,081	\$0	\$846,081	\$0
2018	\$628,682	\$199,995	\$4,258	\$832,935	\$767,912	\$0	\$832,935	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	3,870.00	Square Foot	43	90

**Buildings**

<b>Building ID</b>	542	<b>Exterior Walls</b>	C.B.S.
<b>Style</b>	GROUND LEVEL	<b>Year Built</b>	1953
<b>Building Type</b>	S.F.R. - R1 / R1	<b>EffectiveYearBuilt</b>	2018
<b>Building Name</b>		<b>Foundation</b>	CONCRETE SLAB
<b>Gross Sq Ft</b>	1680	<b>Roof Type</b>	IRR/CUSTOM
<b>Finished Sq Ft</b>	1470	<b>Roof Coverage</b>	METAL
<b>Stories</b>	1 Floor	<b>Flooring Type</b>	CONC ABOVE GRD
<b>Condition</b>	GOOD	<b>Heating Type</b>	FCD/AIR DUCTED with 0% NONE
<b>Perimeter</b>	166	<b>Bedrooms</b>	2
<b>Functional Obs</b>	0	<b>Full Bathrooms</b>	2
<b>Economic Obs</b>	0	<b>Half Bathrooms</b>	0
<b>Depreciation %</b>	5	<b>Grade</b>	450
<b>Interior Walls</b>	WD PANL/CUSTOM	<b>Number of Fire Pl</b>	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	210	0	62
FLA	FLOOR LIV AREA	1,470	1,470	204
<b>TOTAL</b>		<b>1,680</b>	<b>1,470</b>	<b>266</b>

**Yard Items**

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CUSTOM POOL	2024	2025	13 x 20	1	260 SF	3
WATER FEATURE	2024	2025	0 x 0	1	1 UT	2
FENCES	2023	2025	4 x 43	1	172 SF	2
FENCES	2023	2025	4 x 30	1	120 SF	2
FENCES	2023	2025	6 x 60	1	360 SF	2

**Sales**

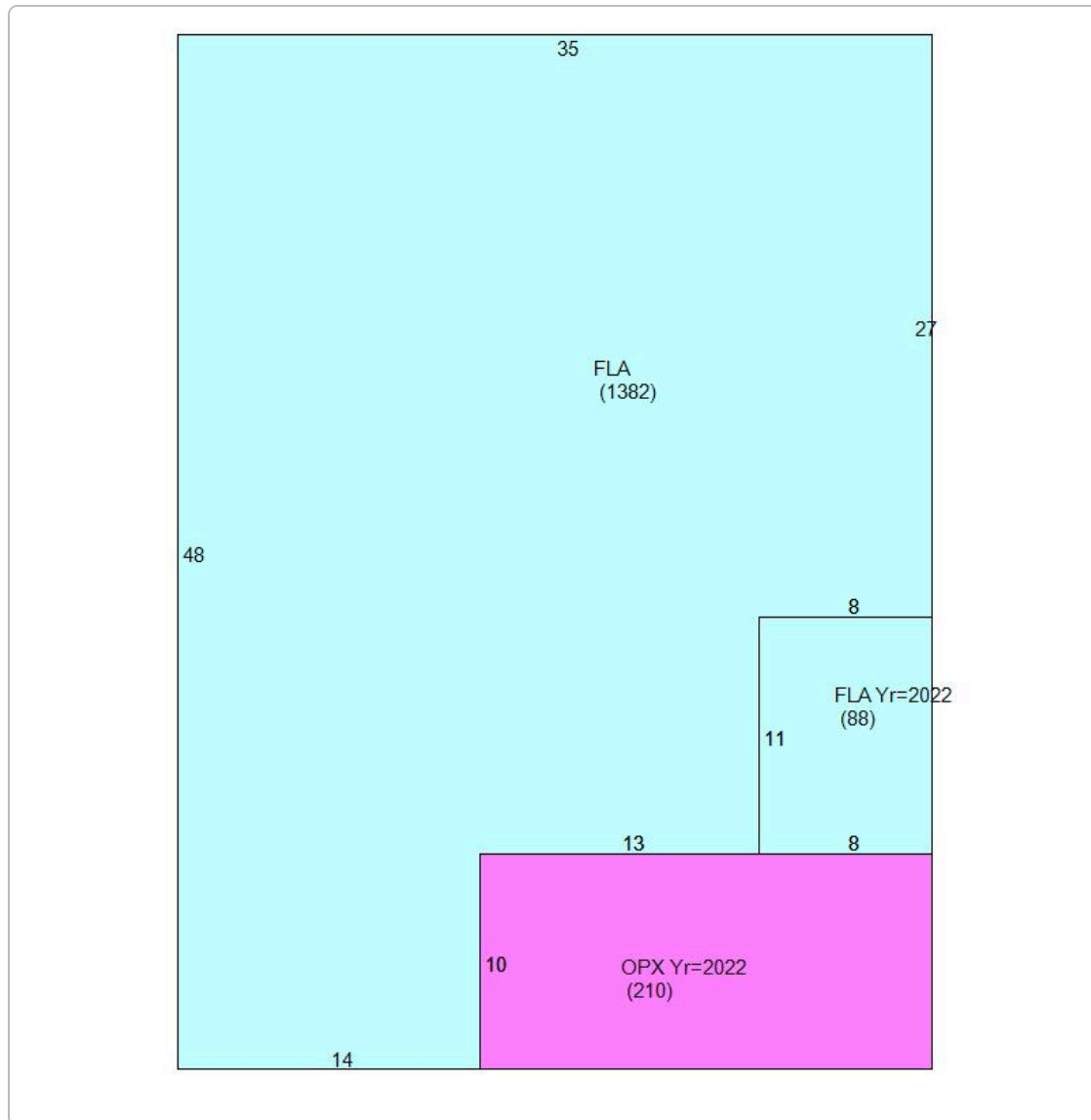
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
5/23/2019	\$100	Quit Claim Deed	2221904	2966	1082	11 - Unqualified	Improved		
4/9/2019	\$782,300	Warranty Deed	2221903	2966	1070	12 - Unqualified	Improved		
12/14/2018	\$100	Certificate of Title	2198630	2940	1844	11 - Unqualified	Improved		
1/17/2007	\$817,500	Warranty Deed		2266	1785	Q - Qualified	Improved		
8/1/1996	\$275,000	Warranty Deed		1418	0658	Q - Qualified	Improved		
10/1/1993	\$145,000	Warranty Deed		1278	1858	Q - Qualified	Improved		
2/1/1983	\$72,500	Warranty Deed		872	257	Q - Qualified	Improved		

**Permits**

Number	Date Issued	Status	Amount	Permit Type	Notes
24-1563	08/22/2024	Completed	\$14,000	Residential	DECK POST FOOTERS FOR DECKING
24-1527	06/10/2024	Completed	\$60,000	Residential	BUILD NEW 20 X 30 POOL AND SPA WITH 4 FT WATERFALL
22-3149	11/08/2022	Completed	\$0	Residential	CONSTRUCT APPROX. 43 FT 4 FT WOOD PICKET FENCE IN FRONT OF HOUSE (GRINNELL ST). CONSTRUCT APPROX 30 FT 4 FT PICKET ON SIDE (HIBICUS LANE) TO CORNER OF HOUSE AND THEN 6 FT PICKET FROM CORNER (60 FT). OF HOUSE TO REAR CORNER PROPERTY LINE 4 x 4 POSTS 1 x 4 PICKETS. PAINTED WHITE TOTAL LF OF FENCE=APPROX. 130.
21-2848	05/09/2022	Completed	\$0	Residential	Installation of 1 - 4 ton central AC systems and exhaust duct for 2 bathroom fans and 1 kitchen hood outdoor unit on stand and concrete pad. there are no trees.
22-1341	05/09/2022	Completed	\$9,560	Residential	FLAT MEMBRANE VALLEY AND SV REPAIRS - INSTALL MOD ON VALLEY AND REPLACE 9 PANELS
21-0769	10/05/2021	Expired	\$75,000	Residential	BUILD NEW ADDITION ( APPROX 100 SF) ,NEW WINDOWS AND DOORS ( IMPACT RATED) , TILE INTERIOR, FRONT PORCH AND SIDE WALK CONCRETE ( APPROX 200 SF)
21-2682	10/05/2021	Completed	\$25,000	Residential	he rough and set of 2 toilets, 3 lavatory sinks, 2 showers, 1 kitche, 1 water heater, 1 clothes washer al sewer line will be new to street. water line will tie into existing pipe
19-1962	07/03/2019	Completed	\$2,000	Residential	DEMO AND REMOVE WOOD DECK SPA CARPORT WITH DECK ON TOP AT REAR
06-4693	08/14/2006	Completed	\$2,292		REPLACE 2 PGT IMPACT WINDOWS
02-1527	06/07/2002	Completed	\$1,000		PAINT HOUSE
97-2042	06/01/1997	Completed	\$6,300		REPLACE AC
96-3597	09/01/1996	Completed	\$1,990		FENCE
96-3965	09/01/1996	Completed	\$9,000		ROOF
E951527	05/01/1995	Completed	\$2,000		200 AMP SERVICE
B942510	08/01/1994	Completed	\$2,400		PAINT BLDG
B942453	07/01/1994	Completed	\$2,747		REPLACE 14 WINDOWS
B942467	07/01/1994	Completed	\$2,600		INSTALL BAHAMA SHUTTERS
B940597	02/01/1994	Completed	\$5,000		INTERIOR REPAIRS

**View Tax Info**
[View Taxes for this Parcel](#)

## Sketches (click to enlarge)



## Photos





Map



TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

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[Last Data Upload: 2/11/2025, 1:23:57 AM](#)

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