



Staff Report for Item 12b

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: August 25, 2015

Applicant: Bender and Associates

Application Number: H15-01-1078

Address: #610-614 Dey Street

Description of Work:

Demolition of attached structure to front porch and removal of non-historic enclosure of front porch.

Site Facts:

The eyebrow house is listed as a contributing resource in the survey and was constructed before 1889. The historic porch has been enclosed with a small covered entranceway added to the front. Behind the enclosed porch are the original windows and all the structural elements still remain.

Ordinances Cited in Review:

Sec. 102-217 (2): Demolition of non-historic or non-contributing buildings, Sec. 102-218: Criteria for demolitions, Sec. 102-125: Historic architectural review commission findings precedent to issuance in the Land Development Regulations.

Staff Analysis

The Certificate of Appropriateness in review proposes the demolition of a non-historic front entryway structure. It is staff's opinion that the proposed demolition will not cover historic elements. In addition, the covered entrance was an inappropriate change for the historic house. The structure does not meet any of the criteria listed in Sec. 102-125 (1) through (9), and therefore can be considered for demolition. If the demolition is approved this will constitute the only review for this request.

APPLICATION

Bldg / HARC

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER 15-01-1078	BUILDING PERMIT NUMBER 15-2860	INITIAL & DATE MKS 7/15/15
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
		SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %

ADDRESS OF PROPOSED PROJECT:	610-614 Dey Street		# OF UNITS	1
RE # OR ALTERNATE KEY:				
NAME ON DEED:	Heldon Bay Limited Partnership	PHONE NUMBER	406-250-9529	
OWNER'S MAILING ADDRESS:	24889 Evening Star Lane	EMAIL	cas_still@hotmail.com	
	Bigfork, MT 59911			
CONTRACTOR COMPANY NAME:	Kellogg Builders	PHONE NUMBER	305-304-1111	
CONTRACTOR'S CONTACT PERSON:	Mike Kellog	EMAIL	rel0@aol.com	
ARCHITECT / ENGINEER'S NAME:	Bender & Assoc. Architects	PHONE NUMBER	305-296-1347	
ARCHITECT / ENGINEER'S ADDRESS:	410 Angela Street, Key West, FL	EMAIL	blbender@bellsouth.net	

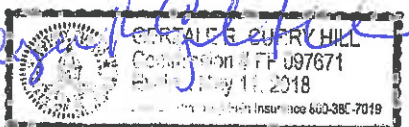
HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT: 55,000.-

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input checked="" type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input checked="" type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input checked="" type="checkbox"/> WITHIN FLOOD ZONE AEG	
	<input checked="" type="checkbox"/> DEMOLITION	<input checked="" type="checkbox"/> SITE WORK	<input checked="" type="checkbox"/> INTERIOR	<input checked="" type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., Remove non-historic infill at front eyebrow porch. Provide interior foundations, structural stabilization of 1st & 2nd floor, address site drainage by installing new swales. INSTAL 1500 S.F ROOF SHEATHING

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	QUALIFIER PRINT NAME:	MICHAEL KELLOGG
OWNER PRINT NAME: N/A	QUALIFIER SIGNATURE:	<i>[Signature]</i>
OWNER SIGNATURE: <i>[Signature]</i>	Notary Signature as to qualifier:	
Notary Signature as to owner:	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS 10 DAY OF July, 2015.	
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS 15 DAY OF July, 2015.		
Personally known or produced as identification.	Personally known or produced as identification.	

1322016849 OK

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS
 RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov
 INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
Eyebrow porch to be restored	wood	wood
Install Race Sheathing	1500 sqft	

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

User: KEYWALD Type: BP Drawer: 1
 Date: 7/13/15-58 Receipt no: 20224
 2015 1001078 * BUILDING PERMITS-NEW
 Trans number: 1.00 \$50.00
 MULTIPLE TENDER 3056233
 Trans date: 7/13/15 Time: 16:03:29

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ASBESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				GBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

PROPOSED DESIGN

STILL BACK THERE ART HOUSE

610 - 614 DEY STREET
KEY WEST FLORIDA

STILL BACK THERE ART HOUSE
610 - 614 DEY STREET
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

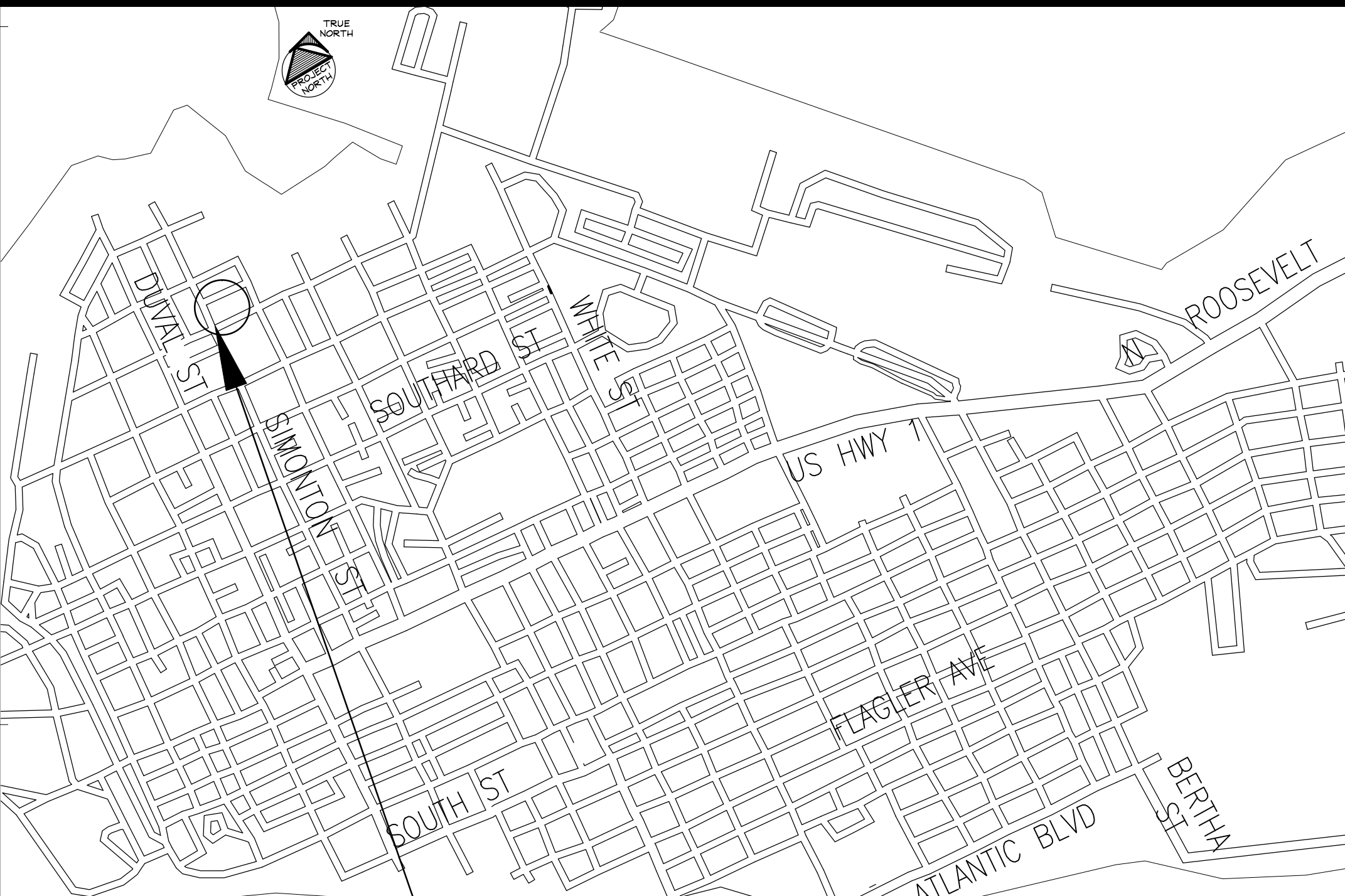
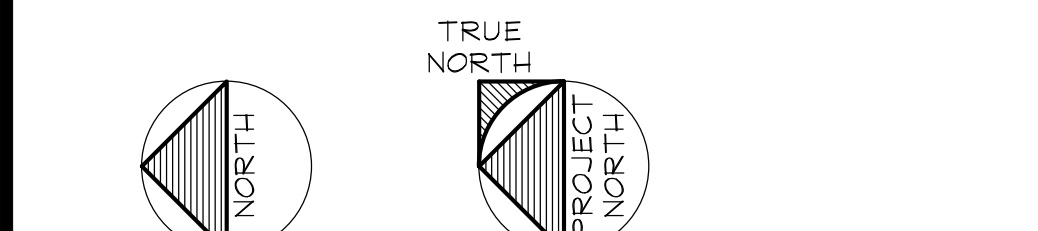


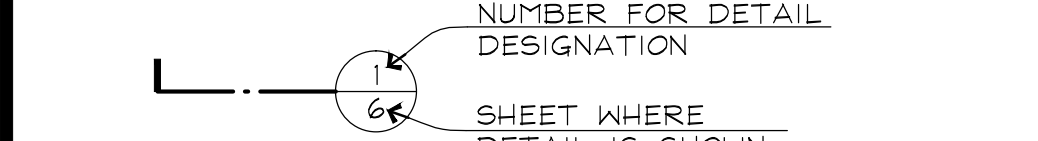




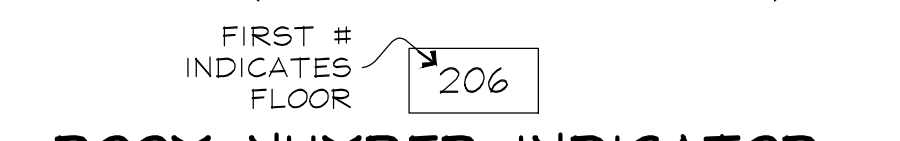


Bender & Associates
ARCHITECTS
p.a.

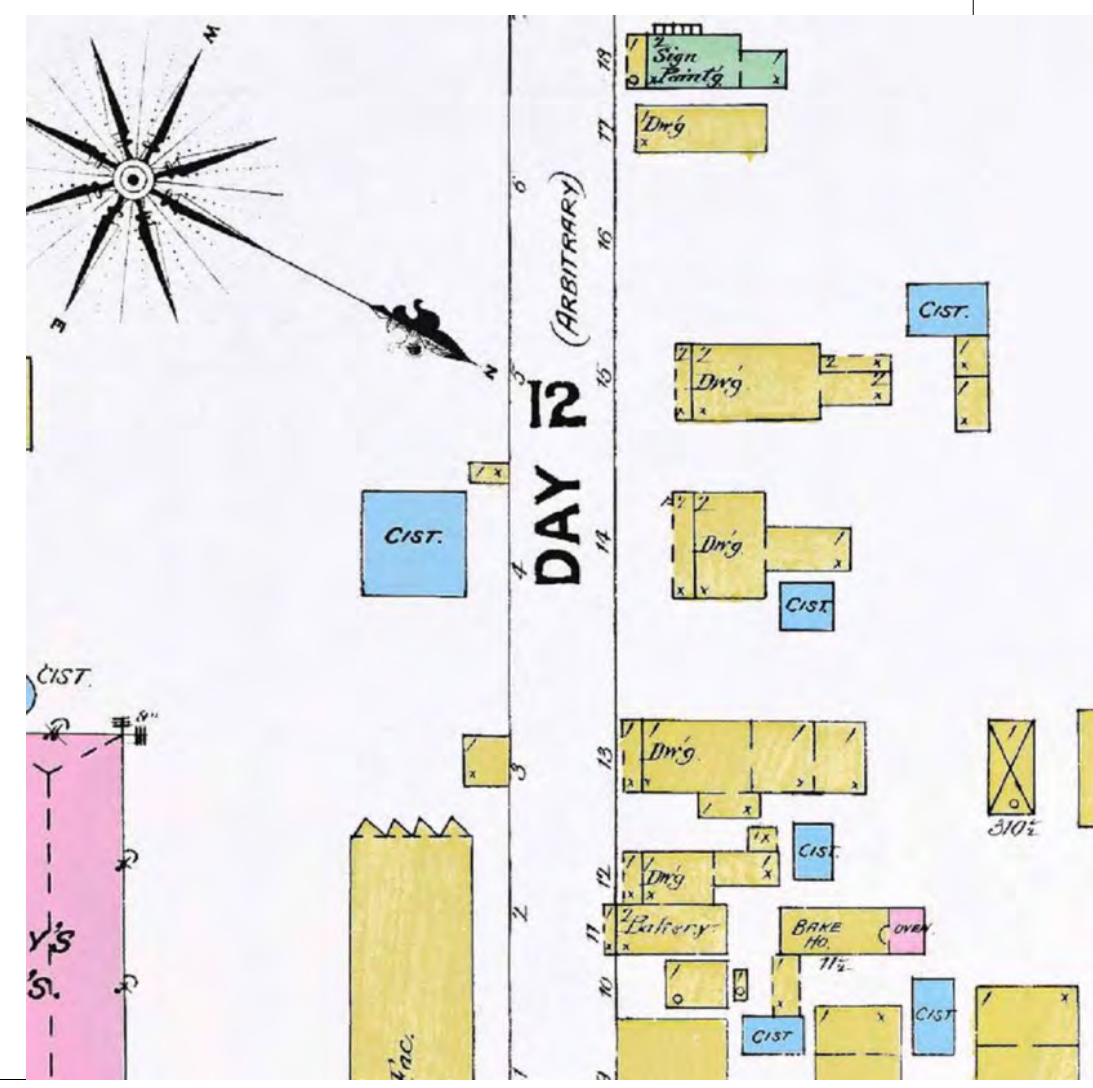
Project No: 1503
SITE MAP
PROJECT DIRECTORY
GENERAL NOTES
ABBREVIATIONS
SHEET INDEX
SYMBOL LEGEND

Date: 02/25/15

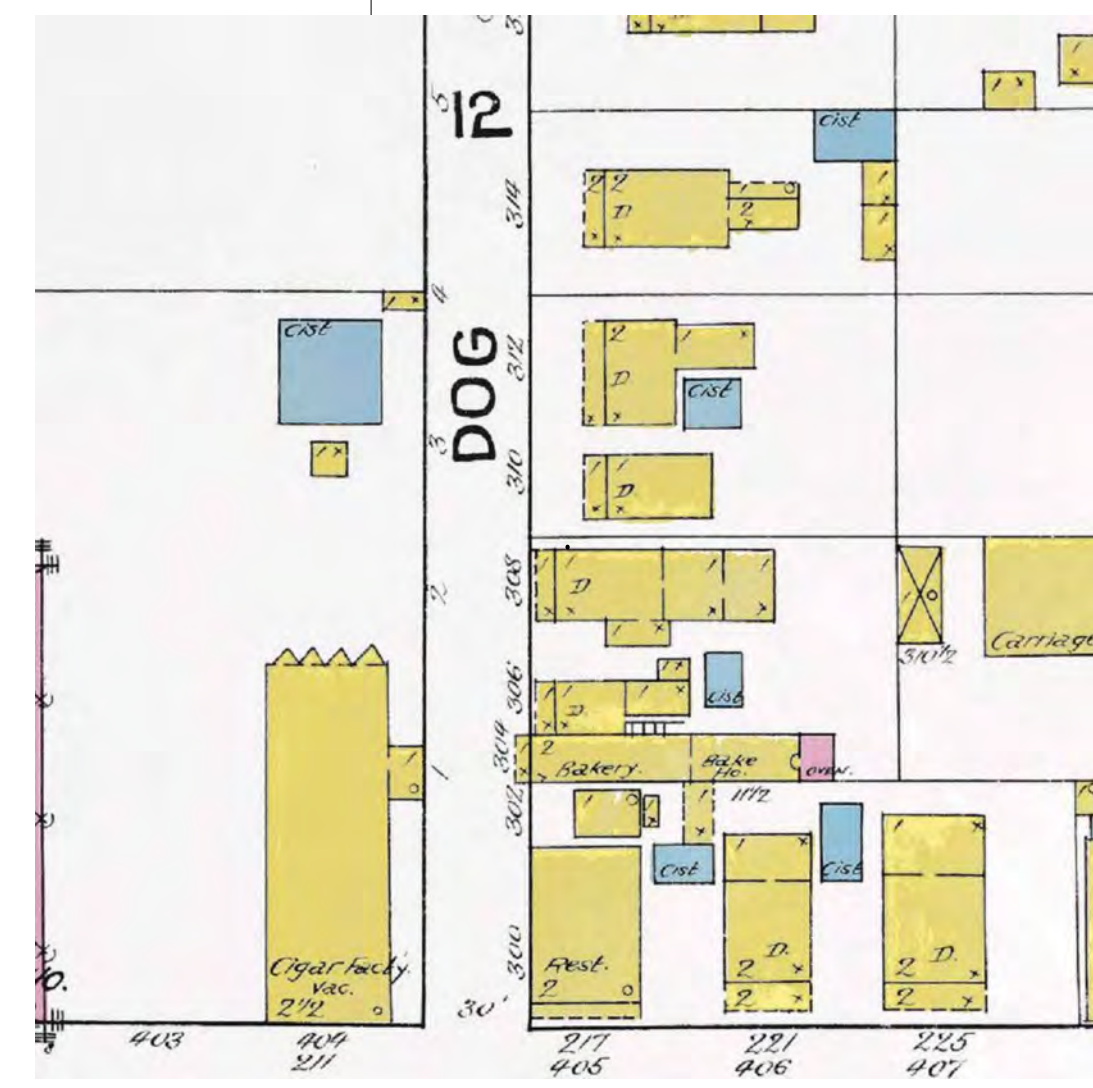
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REVISIONS:

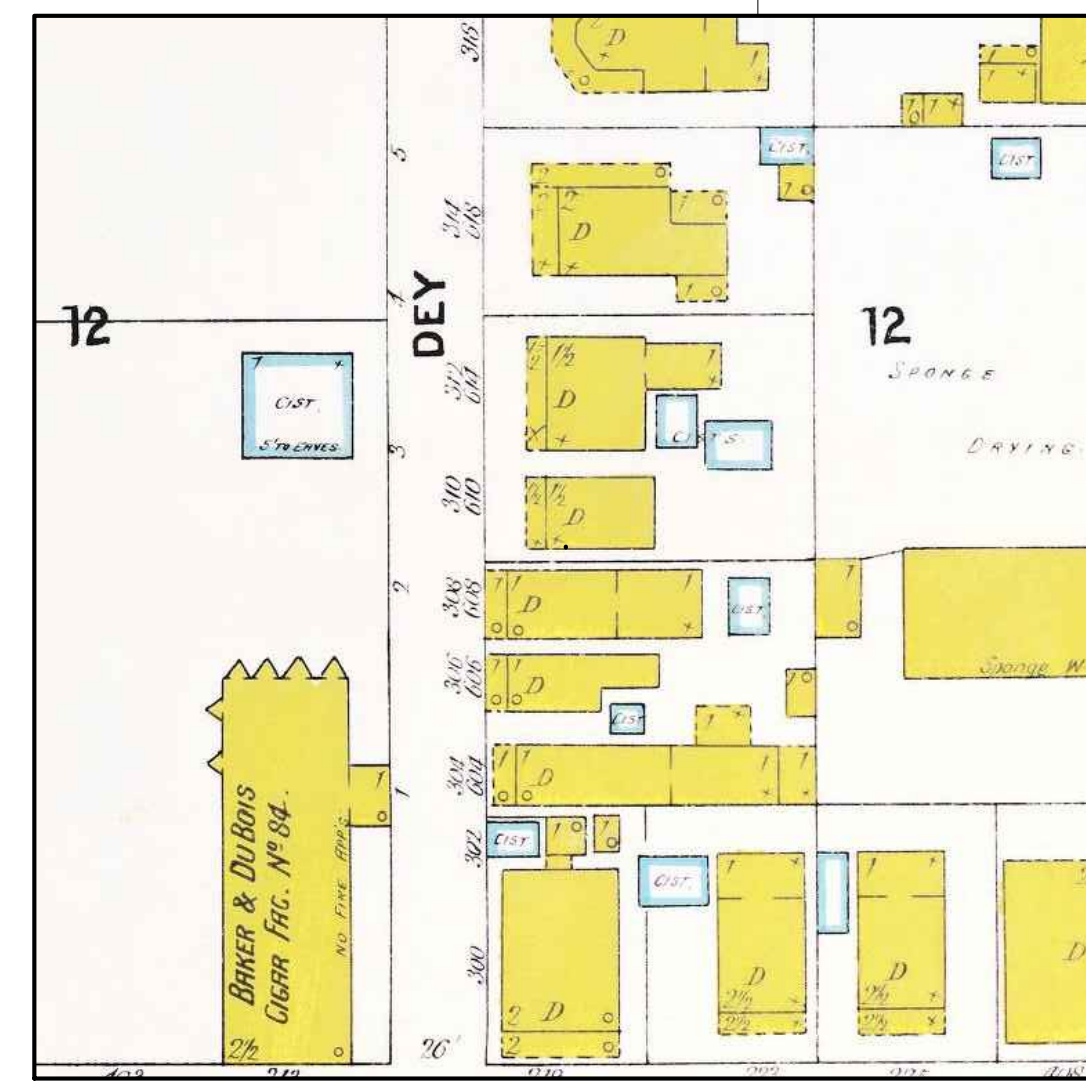
SITE MAP - KEY WEST	PROJECT DIRECTORY	GENERAL NOTES	SHEET INDEX																																																																											
 <p data-bbox="183 1154 595 1277">SITE LOCATION 610-614 DEY STREET KEY WEST</p> <p data-bbox="1022 1246 1129 1277">Not to Scale</p>	<p data-bbox="1159 541 1419 562">PROJECT: STILL BACK THERE ART HOUSE</p> <p data-bbox="1159 572 1358 592">ARCHITECT'S PROJECT No.: 1503</p> <p data-bbox="1159 602 1358 674">OWNER: ANDY BAXTER Address: 610-614 DEY STREET KEY WEST, FL 33040 Tel: 305. 305. Representative:</p> <p data-bbox="1159 684 1495 776">ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 296-1347 Fax: (305) 296-2727 E-mail: bbender@bellsouth.net Project Architect: Bert L. Bender (Principal-in-Charge) Project Manager:</p>	<p data-bbox="1587 511 2105 582">1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida in the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include: FLORIDA BUILDING CODE - Building 2010 EDITION FLORIDA BUILDING CODE - Existing 2010 EDITION FLORIDA BUILDING CODE - Residential 2010 EDITION FLORIDA BUILDING CODE - Plumbing 2010 FLORIDA BUILDING CODE - Fuel Gas 2010 EDITION FLORIDA BUILDING CODE - Mechanical 2010 EDITION NATIONAL ELECTRICAL CODE 2008 EDITION NFPA 101 LIFE SAFETY CODE w/ Florida Modifications 2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION NFPA 1 2006 EDITION This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (gusts).</p> <p data-bbox="1587 725 2105 766">2. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</p> <p data-bbox="1587 766 2105 827">3. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</p> <p data-bbox="1587 827 2105 858">4. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</p> <p data-bbox="1587 858 2105 878">5. Dimensions shall take precedence over scale.</p> <p data-bbox="1587 878 2105 899">6. All new utilities shall be underground.</p> <p data-bbox="1587 899 2105 930">7. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</p> <p data-bbox="1587 930 2105 960">8. After completion of construction remove all debris and construction equipment. Restore site to original condition.</p> <p data-bbox="1587 960 2105 991">9. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</p> <p data-bbox="1587 991 2105 1032">10. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</p> <p data-bbox="1587 1032 2105 1062">11. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</p> <p data-bbox="1587 1062 2105 1246">61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.</p> <p data-bbox="1587 1246 2105 1287">Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-74, Formerly 21B-16.03, Amended 7-27-84, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.</p>	<p data-bbox="2151 521 2716 582">A.0 SITE LOCATION MAP, SHEET INDEX, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND A.0.1 PHOTO DETAILS</p> <p data-bbox="2151 602 2472 705">ARCHITECTURAL: A1.1 SITE PLAN AND SURVEY A1.2 DEMOTION PLAN & PROPOSED FLOOR PLANS A1.3 FOUNDATION, FIRST & SECOND FLOOR FRAMING A2.0 EXTERIOR ELEVATION A8.0 DETAILS S1.0 SPECIFICATIONS</p>																																																																											
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BAR</td> </tr> <tr> <td>DNR DRAWER</td> <td>REFR. REFRIGERATOR</td> </tr> <tr> <td>EJ EXPANSION JOINT</td> <td>SF SQUARE FOOT (FEET)</td> </tr> <tr> <td>EL ELEVATION</td> <td>SS STAINLESS STEEL</td> </tr> <tr> <td>ELEC ELECTRIC</td> <td>SPEC SPECIFICATION</td> </tr> <tr> <td>EQ EQUAL</td> <td>T TREAD(S)</td> </tr> <tr> <td>EXH EXHAUST</td> <td>TYP TYPICAL</td> </tr> <tr> <td>FV FIELD VERIFY</td> <td>UNO UNLESS NOTED OTHERWISE</td> </tr> <tr> <td>GALV GALVANIZED</td> <td>VCT VINYL COMPOSITION TILE</td> </tr> <tr> <td>GI GALVANIZED IRON</td> <td>VERT VERTICAL</td> </tr> <tr> <td>HORZ HORIZONTAL</td> <td>WD WOOD</td> </tr> <tr> <td>HDW HARDWARE</td> <td>WHF WHELD WIRE FABRIC</td> </tr> <tr> <td>HVAC HEATING VENTILATING & AIR CONDITIONING</td> <td>WH WATER HEATER</td> </tr> <tr> <td>W/O WITHOUT</td> <td></td> </tr> <tr> <td>FOC FACE OF CONCRETE</td> <td></td> </tr> <tr> <td>FOS FACE OF STUD</td> <td></td> </tr> <tr> <td>FIN FINISH</td> <td></td> </tr> <tr> <td>FE FIRE EXTINGUISHER</td> <td></td> </tr> <tr> <td>FND FOUNDATION</td> <td></td> </tr> <tr> <td>FTG FOOTING</td> <td></td> </tr> <tr> <td>ID INSIDE DIAMETER</td> <td></td> </tr> <tr> <td>MAX MAXIMUM</td> <td></td> </tr> </table>	AB ANCHOR BOLT	MIN MINIMUM	ABC AGGREGATE BASE COURSE	NTS NOT TO SCALE	A/C AIR CONDITIONING	OA OVERALL	BLKG BLOCKING	OC ON CENTER	BUR BILT UP ROOF	OD OUTSIDE DIAMETER	CAB CABINET	PCF POUNDS PER CUBIC FOOT	CER CERAMIC	PL PROPETRY LINE	CL CENTER LINE	PLAM PLASTIC LAMINATE	CLG CEILING	PLF POUNDS PER LINEAL FOOT	CNU CONCRETE MASONRY UNIT	PNL PANEL	COL COLUMN	PT CCA PRESSURE TREATED	CONC CONCRETE	PT POINT	DBL DOUBLE	PVC POLYVINYLCHLORIDE	DIAG DIAGONAL	R RADIUS (OR) RISER	DS DOWNSPOUT	R/A RETURN AIR	DTL DETAIL	REBAR STEEL REINF. BAR	DNR DRAWER	REFR. REFRIGERATOR	EJ EXPANSION JOINT	SF SQUARE FOOT (FEET)	EL ELEVATION	SS STAINLESS STEEL	ELEC ELECTRIC	SPEC SPECIFICATION	EQ EQUAL	T TREAD(S)	EXH EXHAUST	TYP TYPICAL	FV FIELD VERIFY	UNO UNLESS NOTED OTHERWISE	GALV GALVANIZED	VCT VINYL COMPOSITION TILE	GI GALVANIZED IRON	VERT VERTICAL	HORZ HORIZONTAL	WD WOOD	HDW HARDWARE	WHF WHELD WIRE FABRIC	HVAC HEATING VENTILATING & AIR CONDITIONING	WH WATER HEATER	W/O WITHOUT		FOC FACE OF CONCRETE		FOS FACE OF STUD		FIN FINISH		FE FIRE EXTINGUISHER		FND FOUNDATION		FTG FOOTING		ID INSIDE DIAMETER		MAX MAXIMUM		 <p data-bbox="671 1461 1129 1492">NORTH ARROWS</p>  <p data-bbox="671 1563 1129 1594">BUILDING SECTION</p>  <p data-bbox="671 1665 1129 1696">WALL SECTION</p>  <p data-bbox="671 1768 1129 1798">CUT DETAIL INDICATOR</p>  <p data-bbox="671 1870 1129 1900">BLOWN-UP DETAIL INDICATOR</p>	 <p data-bbox="1159 1410 1556 1441">SECTION & DETAIL DRWG. TITLES</p>  <p data-bbox="1159 1502 1556 1533">WALL ELEVATION INDICATOR</p>  <p data-bbox="1159 1594 1556 1624">ROOM NUMBER INDICATOR</p>  <p data-bbox="1159 1686 1556 1716">DOOR OPENING INDICATOR</p>  <p data-bbox="1159 1778 1556 1808">WINDOW INDICATOR</p>  <p data-bbox="1159 1870 1556 1900">PARTITION/WALL TYPE INDICATOR</p>	<p data-bbox="1587 1328 2105 1359">CONCRETE MASONRY UNITS IN PLAN</p> <p data-bbox="1587 1359 2105 1389">CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN</p> <p data-bbox="1587 1389 2105 1420">METAL IN ELEVATION</p> <p data-bbox="1587 1420 2105 1451">METAL IN SECTION</p> <p data-bbox="1587 1451 2105 1481">FINISH WOOD IN ELEV. & IN SECTION</p> <p data-bbox="1587 1481 2105 1512">DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p data-bbox="1587 1512 2105 1543">WOOD BLOCKING IN SECTION (DISCONTINUOUS)</p> <p data-bbox="1587 1543 2105 1573">GYPSUM WALL BOARD IN SECTION (LARGE SCALE)</p> <p data-bbox="1587 1573 2105 1604">EARTH, NATURAL SUBSTRATE</p> <p data-bbox="1587 1604 2105 1635">GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p data-bbox="1587 1635 2105 1665">FIBERGLASS BATT INSULATION</p> <p data-bbox="1587 1665 2105 1696">RIGID INSULATION</p> <p data-bbox="1587 1696 2105 1727">PARTITIONS & WALLS</p> <p data-bbox="1587 1727 2105 1757">CONCRETE MASONRY UNITS</p> <p data-bbox="1587 1757 2105 1788">POURED CONCRETE</p> <p data-bbox="1587 1788 2105 1819">WOOD FRAME</p> <p data-bbox="1587 1819 2105 1849">METAL STUDS</p> <p data-bbox="1587 1849 2105 1880">EXISTING CONSTRUCTION TO REMAIN</p> <p data-bbox="1587 1880 2105 1911">EXISTING CONSTRUCTION TO BE DEMOLISHED</p>	<p data-bbox="2151 1900 2746 1952">DESCRIPTION OF WORK: To restore the NorthWest facade back to historical open eyebrow porch. Add historical wall back in living room area, on the first floor.</p>
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BLKG BLOCKING	OC ON CENTER																																																																													
BUR BILT UP ROOF	OD OUTSIDE DIAMETER																																																																													
CAB CABINET	PCF POUNDS PER CUBIC FOOT																																																																													
CER CERAMIC	PL PROPETRY LINE																																																																													
CL CENTER LINE	PLAM PLASTIC LAMINATE																																																																													
CLG CEILING	PLF POUNDS PER LINEAL FOOT																																																																													
CNU CONCRETE MASONRY UNIT	PNL PANEL																																																																													
COL COLUMN	PT CCA PRESSURE TREATED																																																																													
CONC CONCRETE	PT POINT																																																																													
DBL DOUBLE	PVC POLYVINYLCHLORIDE																																																																													
DIAG DIAGONAL	R RADIUS (OR) RISER																																																																													
DS DOWNSPOUT	R/A RETURN AIR																																																																													
DTL DETAIL	REBAR STEEL REINF. BAR																																																																													
DNR DRAWER	REFR. REFRIGERATOR																																																																													
EJ EXPANSION JOINT	SF SQUARE FOOT (FEET)																																																																													
EL ELEVATION	SS STAINLESS STEEL																																																																													
ELEC ELECTRIC	SPEC SPECIFICATION																																																																													
EQ EQUAL	T TREAD(S)																																																																													
EXH EXHAUST	TYP TYPICAL																																																																													
FV FIELD VERIFY	UNO UNLESS NOTED OTHERWISE																																																																													
GALV GALVANIZED	VCT VINYL COMPOSITION TILE																																																																													
GI GALVANIZED IRON	VERT VERTICAL																																																																													
HORZ HORIZONTAL	WD WOOD																																																																													
HDW HARDWARE	WHF WHELD WIRE FABRIC																																																																													
HVAC HEATING VENTILATING & AIR CONDITIONING	WH WATER HEATER																																																																													
W/O WITHOUT																																																																														
FOC FACE OF CONCRETE																																																																														
FOS FACE OF STUD																																																																														
FIN FINISH																																																																														
FE FIRE EXTINGUISHER																																																																														
FND FOUNDATION																																																																														
FTG FOOTING																																																																														
ID INSIDE DIAMETER																																																																														
MAX MAXIMUM																																																																														



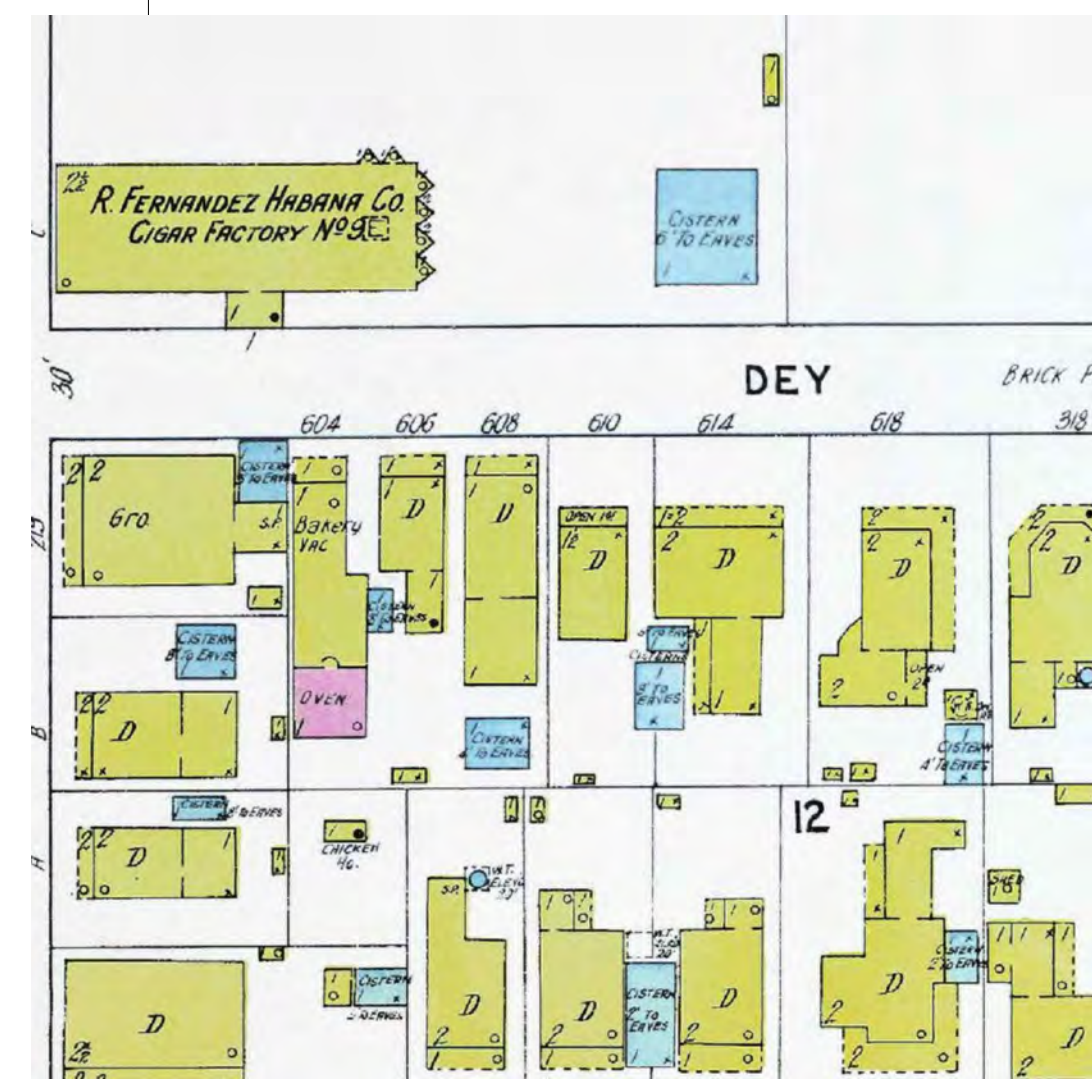
1 1889 SANBORN MAP
AO.1



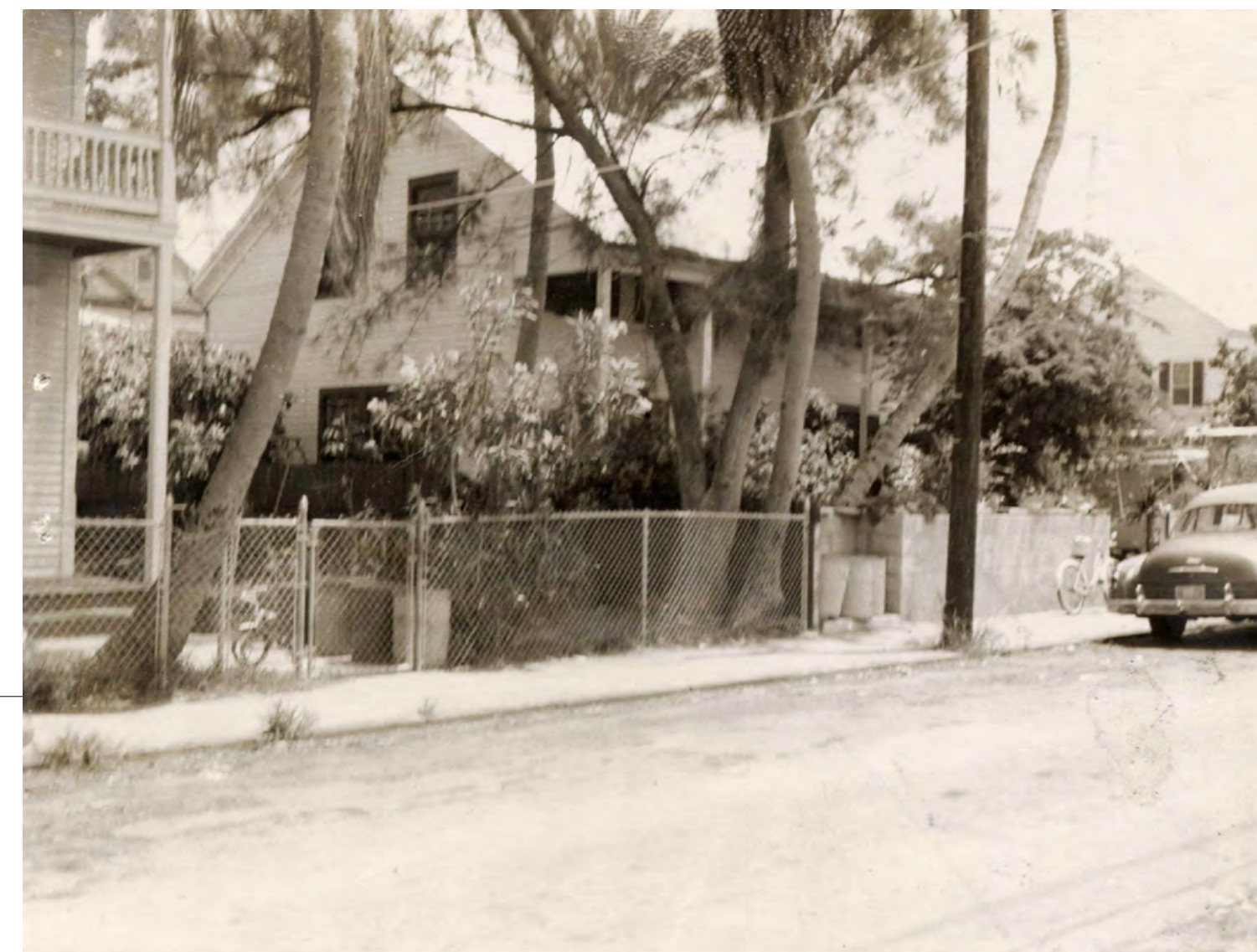
2 1892 SANBORN MAP
AO.1



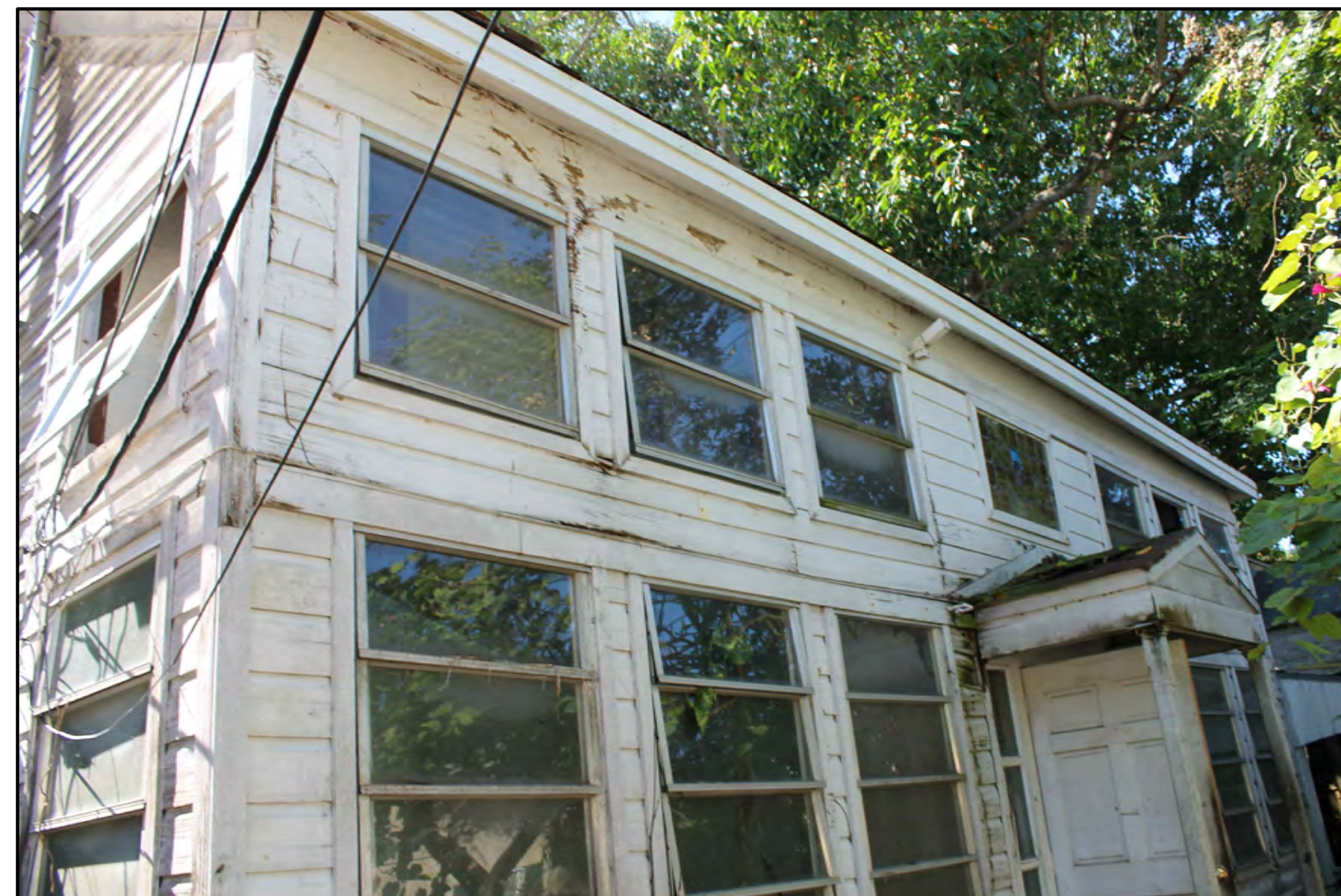
3 1899 SANBORN MAP
AO.1



4 1912 SANBORN MAP
AO.1



5 PHOTOGRAPH CIRCA 1965
AO.1

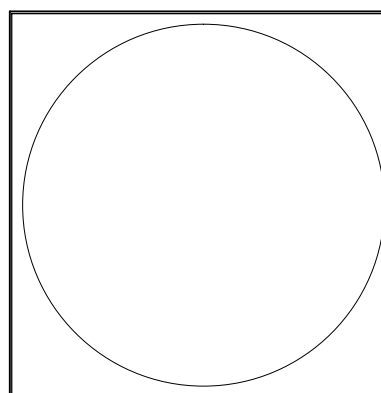


6 EXISTING 2ND FLOOR PORCH
AO.1



7 EXISTING 1ST FLOOR PORCH
AO.1

STILL BACK THERE ART HOUSE
610 - 614 DEY STREET
KEY WEST, FLORIDA



410 Angela Street
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Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No. 1503
PHOTO
DETAILS
Date: 02/25/15

A.01
2 OF 8



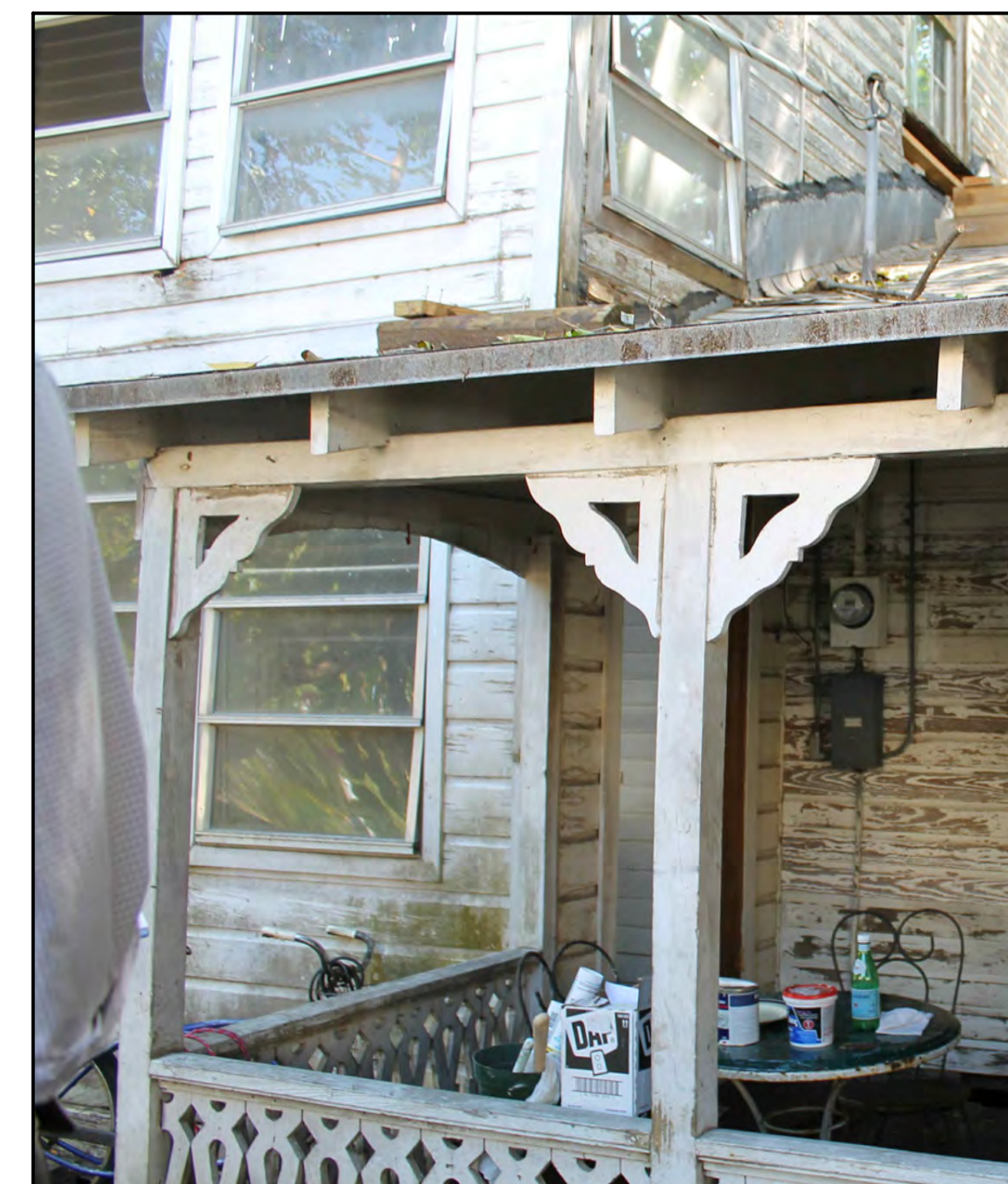
8 EXISTING EAST FACADE 2ND FLOOR
AO.1



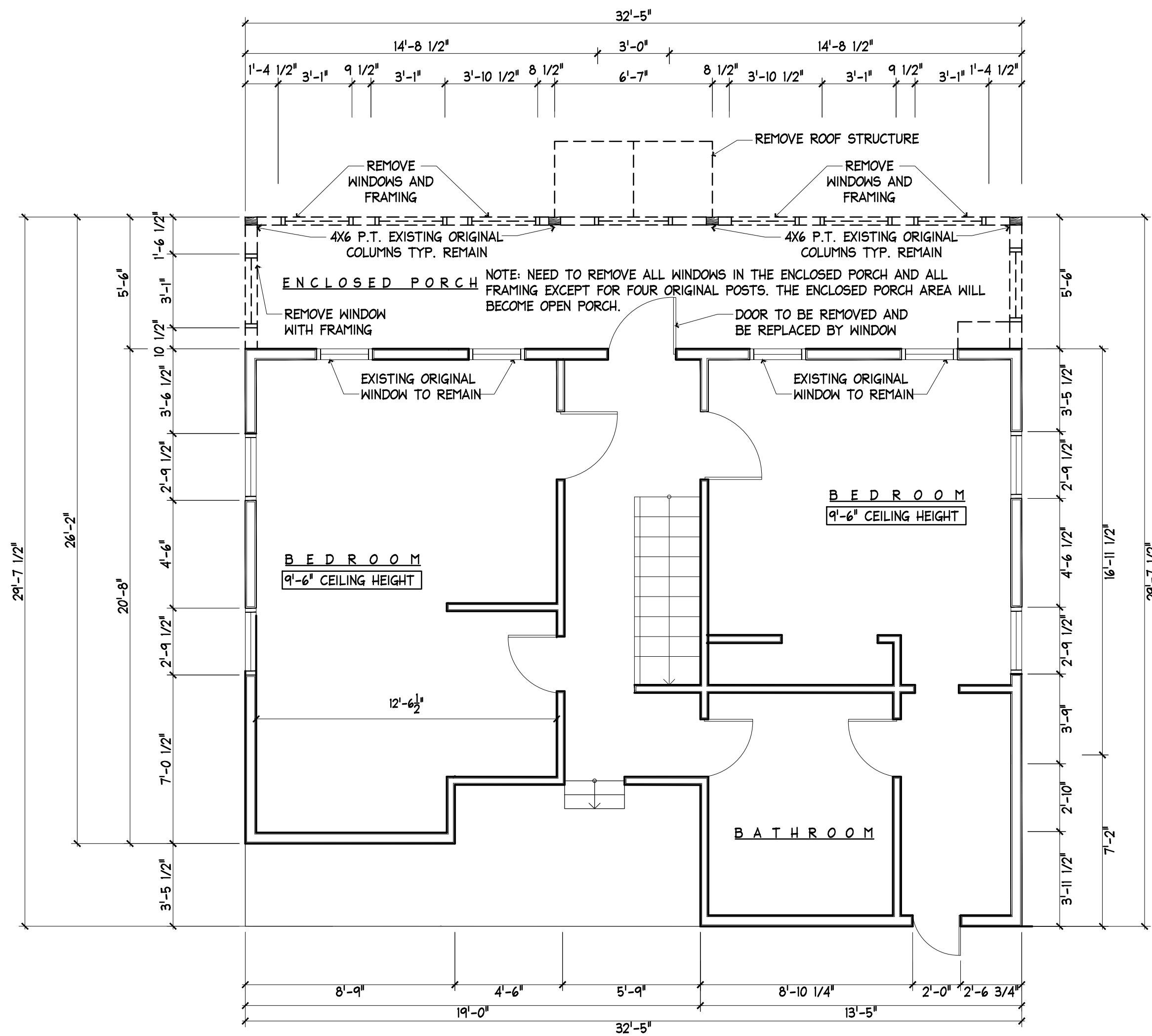
9 EXISTING EAST FACADE 1ST FLOOR
AO.1



10 EXISTING WEST FACADE 2ND FLOOR
AO.1

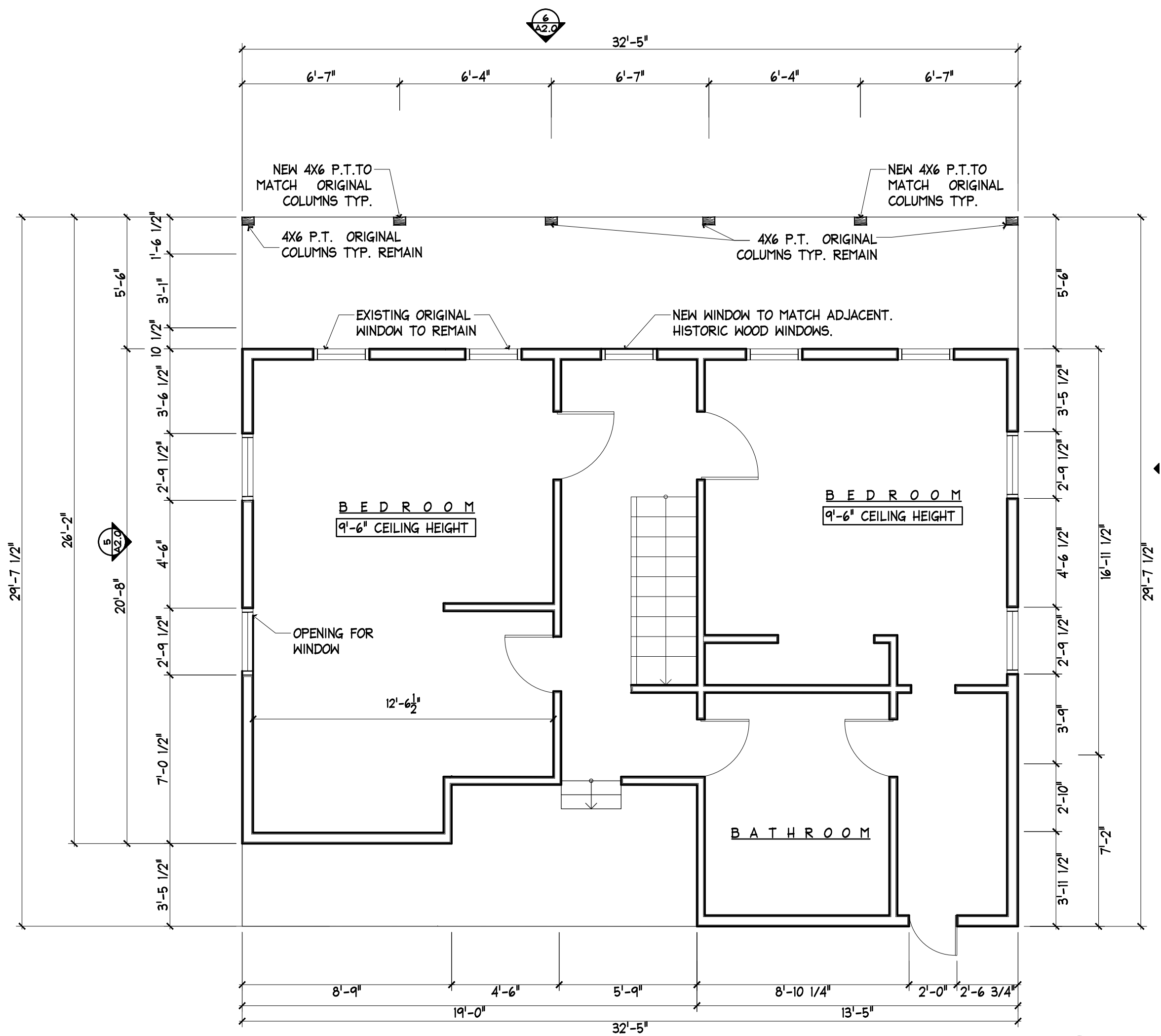


11 EXISTING WEST FACADE 1ST FLOOR
AO.1



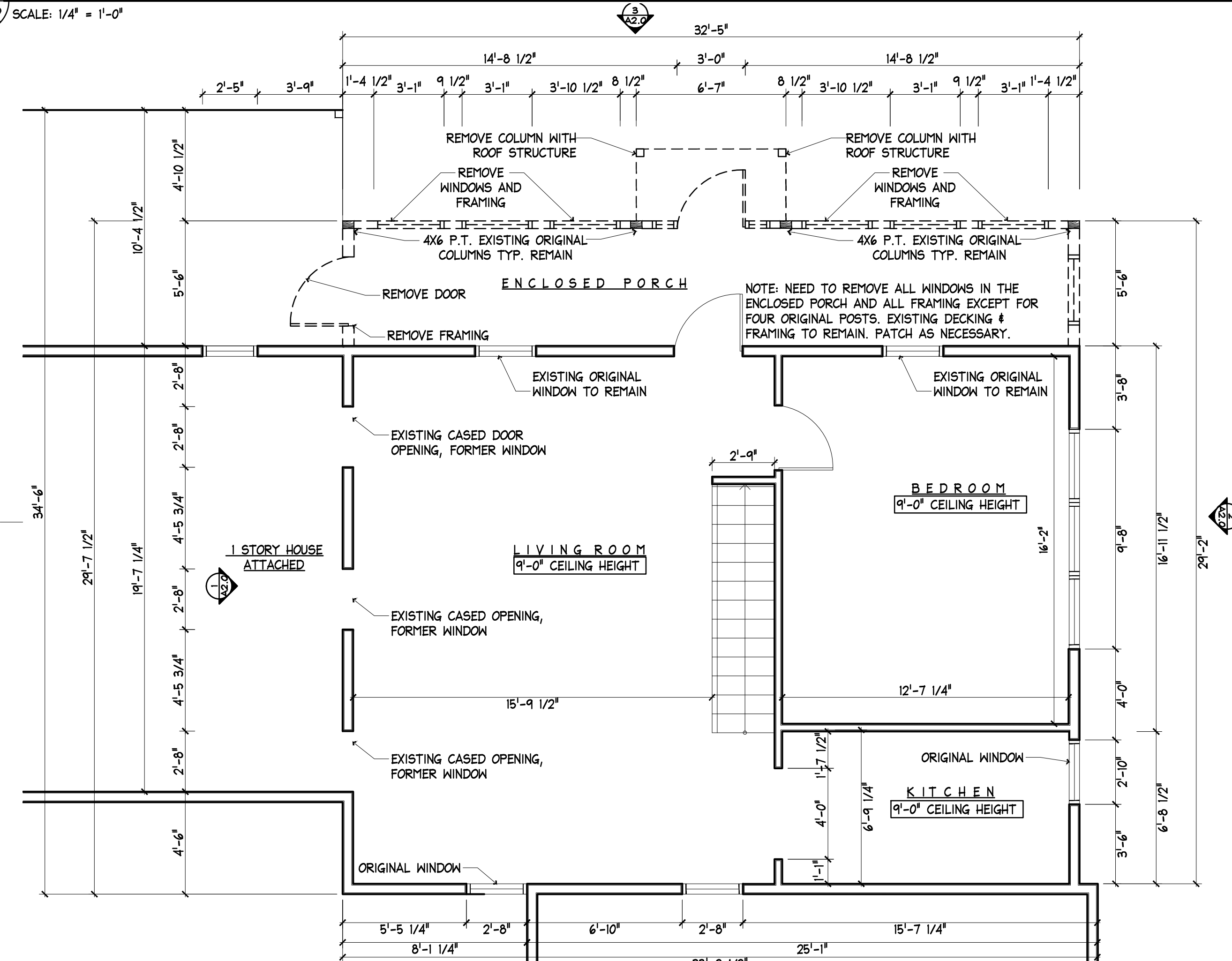
DEMOLITION NOTES

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- All costs of demolition including permit fees, disposal fees, etc. are the responsibility of the Contractor.
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- Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.
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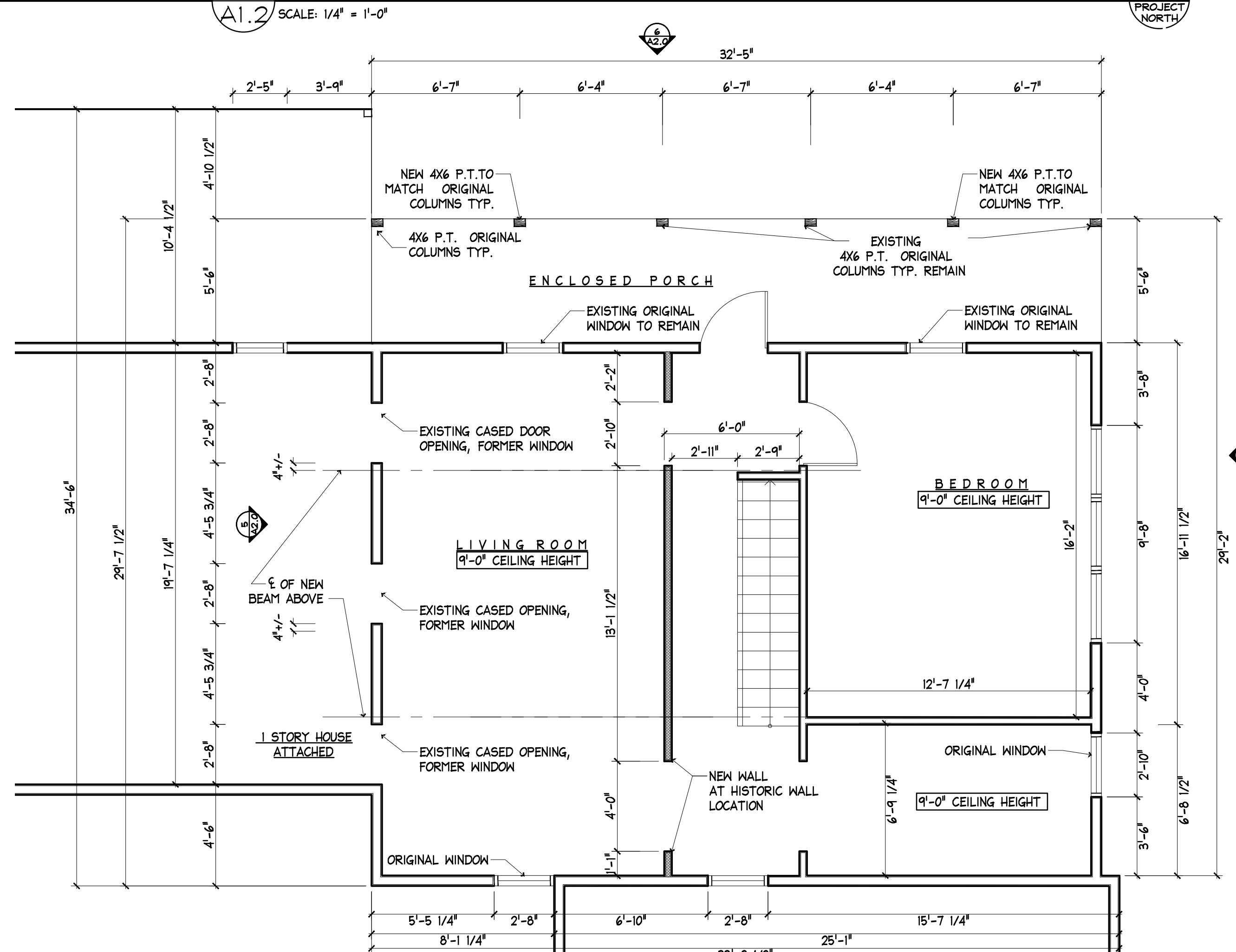


3 SECOND FLOOR DEMO PLAN
A1.2 SCALE: 1/4" = 1'-0"

4 PROPOSED SECOND FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"

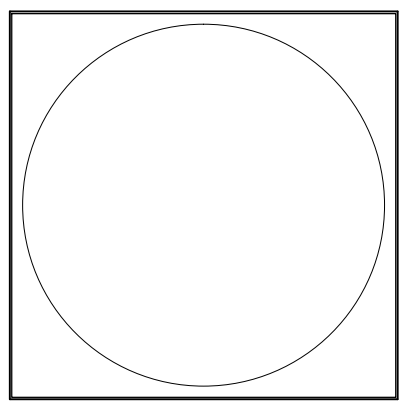


1 DEMO FIRST FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
A1.2 SCALE: 1/4" = 1'-0"

STILL BACK THERE ART HOUSE
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Project No. 1503
DEMO AND PROPOSED
FLOOR PLAN
Date: 02/25/15

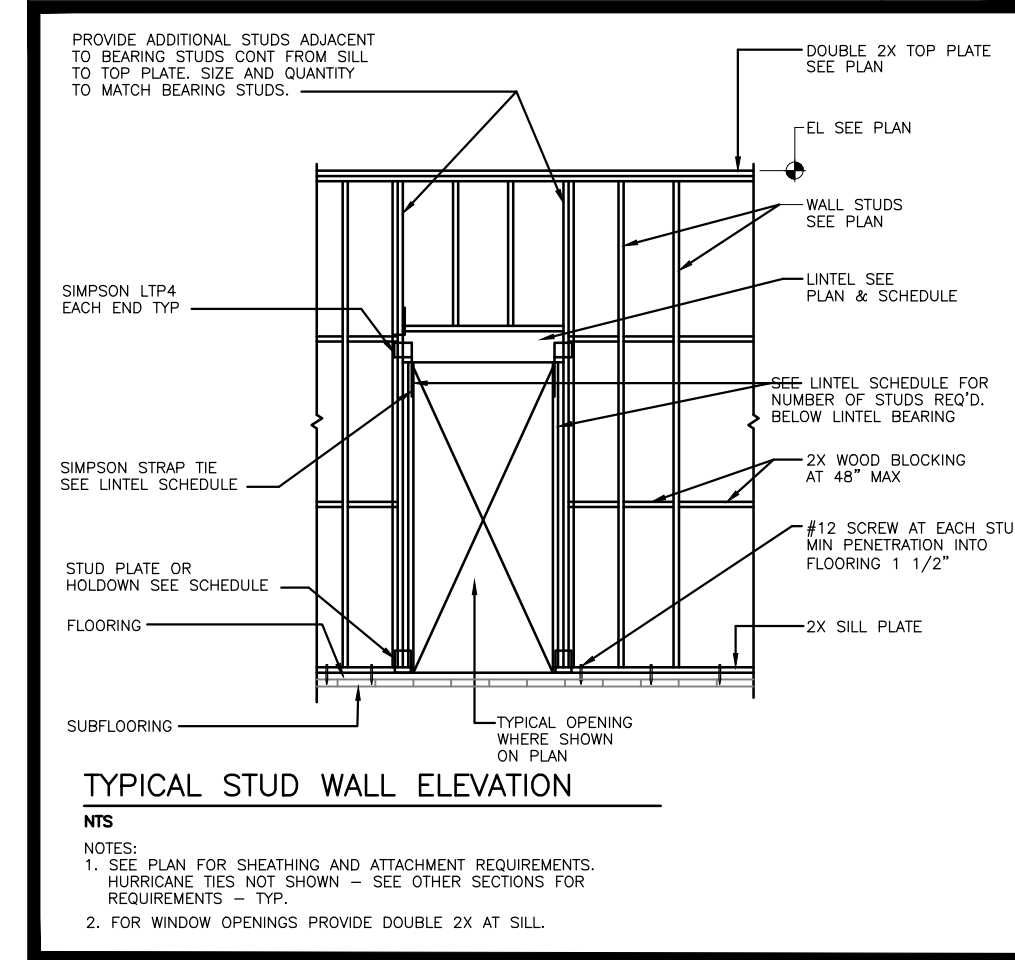
A1.2
4 OF 8

FOUNDATION & CONCRETE NOTES

- The Contractor shall have the option of substituting solid concrete piers and/or foundations for concrete filled masonry piers or foundation walls.
- Minimum concrete strength shall be 4000 p.s.i. unless otherwise specified in these documents.
- Comply with "General Structural Notes" included elsewhere in these documents.
- Concrete protection for reinforcement:
 - The reinforcement of footings and other principal structural members in which the concrete is deposited against the ground shall have not less than 3 in. of concrete between it and the ground contact surface. If concrete surfaces after removal of the forms are to be exposed to the weather or be in contact with the ground, the reinforcement shall be protected with not less than 2" of concrete for bars larger than # 5 and 1 1/2" for # 5 bars or smaller.
 - The concrete protective covering for any reinforcement at surfaces not exposed directly to the ground or weather shall be not less than 3/4" for slabs and walls and not less than 1 1/2" for beams and girders. In concrete joist floors in which the clear distance between joists is not more than 30 in., the protection of reinforcement shall be at least 3/4".
 - Column spirals or ties shall be protected everywhere by a covering of concrete cast monolithically with the core, for which the thickness shall be not less than 1 1/2", nor less than 1 1/2 times the maximum size of the coarse aggregate.
 - Concrete protection for reinforcement shall in all cases be at least equal to the diameter of bars, except for concrete slabs and joists in (b.).
 - In extremely corrosive atmospheres or other severe exposures, the amount of protection shall be suitably increased. In the Florida Keys, increase concrete coverage by 30% of specified tolerances and in no case less than 2 inches.

GENERAL FRAMING NOTES

- Comply with "General Structural Notes" included elsewhere in these documents.
- Where wood joists/beams etc. frame into other members, and ledgers are not provided, install Simpson LUP series joist hangers. When installing into ACP pressure treated lumber, Contractor has the option of providing EITHER stainless steel joist hangers and stainless steel fasteners, OR Simpson ZMAX (ZMS) galvanized joist hangers with hot-dip galvanized fasteners. Contractor shall not mix stainless steel with hot dip galvanized.
- Provide hot dip (ZMAX) galvanized hurricane clips at all rafters at bearing locations. Provide 2 x 4 minimum collar ties between rafters at ridges in attic spaces, tight to ridge. Nail to each rafter with (3) 16d nails.
- Provide solid blocking at midspan of all joists and rafters for spans of 8' and over. Use 3 rows of blocking where spans exceed 16 feet.
- Firestopping shall be provided in all walls and partitions to cut off all concealed draft openings both horizontal and vertical and to form a fire barrier between floors and between the upper floor and the roof space.
- Firestopping shall be installed in wood frame construction in the following locations:
 - In concealed spaces of stud walls and partitions including furred spaces at ceiling and floor levels.
 - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, cone ceilings, etc.
 - In concealed spaces between stair stringers at the top and bottom of the run.
 - In concealed spaces created by an assembly of floor joists, firestopping shall be provided for the full depth of the joists at the ends and over the supports.
- Firestopping shall consist of two (2) inch nominal lumber, or two (2) thicknesses of one (1) inch nominal lumber with broken lap joints, or one (1) thickness of three-fourths (3/4) inch plywood, with joints backed by three-fourths (3/4) inch plywood, or other approved materials.
- Install all plywood wall sheathing to lap joints at floors. Use 3/4" minimum thickness P.T. plywood nailed with 6d galvanized nails, 4" o.c. along sills, beams top and bottom, and 8' o.c. in the field. At shear walls, use 16d nails @ 4" o.c. along panel edges and 8' o.c. at intermediate supports.
- All framing lumber and plywood shall be pressure treated.
- All pressure treated wood used on residential projects must be free of arsenic and chromium after June 2003. Use ACP or other EPA approved treated lumber on residential projects. On commercial projects, CCI treated lumber is acceptable in concealed spaces.
- ACP arsenic free lumber has been found to corrode standard electroplated galvanized nails and screws. Any metal fasteners (framing or finish) used on ACP pressure treated lumber shall be stainless steel, grade 304 or greater, or hot dip galvanized, conforming to ASTM A-153 / ASTM Standard A663 (Class G-105). Stainless steel and hot dip galvanized metals SHALL NOT come in contact with each other.
- All structural lumber, i.e. joists, girders, beams, rafters, etc., shall be southern yellow pine no. 1 dense, with a minimum Fb of 1300 psi, before pressure treatment. (Pressure treatment reduces fiber stress by 15% to 1100 P.S.I.)

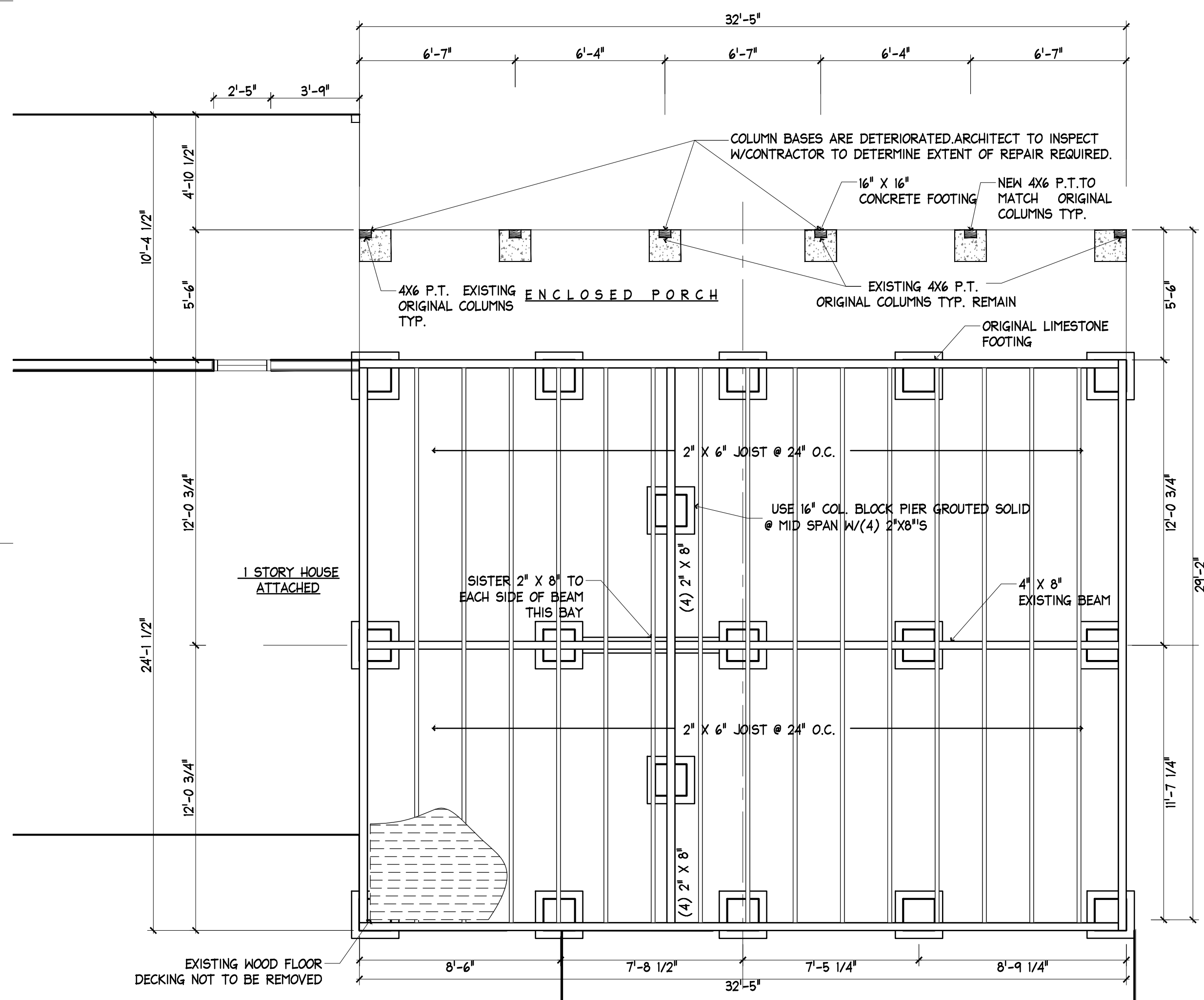


WOOD LINTEL SCHEDULE (2X4 WALL)

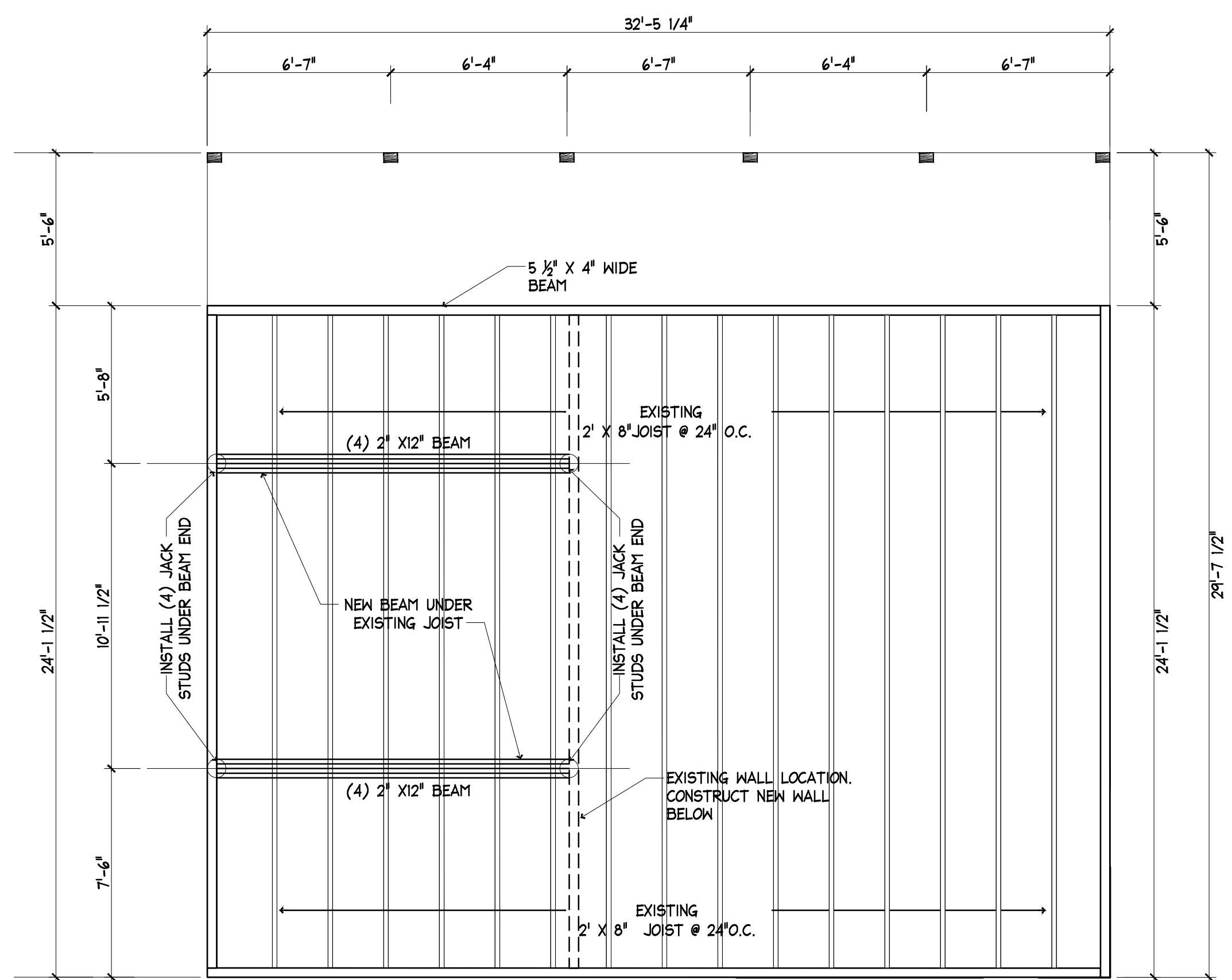
SPAN	LINTEL	BEARING STUDS	FULL HEIGHT STUDS	STUD PLATE
0'-0" <math>\leq L \leq 4'-8"	2-2X8	2-2X4	2-2X4	LTP4
4'-8" <math>\leq L \leq 6'-0"	2-2X8	2-2X4	2-2X4	LTP4
6'-0" <math>\leq L \leq 7'-4"	2-2X10	2-2X4	2-2X4	LTP4
7'-4" <math>\leq L \leq 8'-8"	2-2X12	2-2X4	2-2X4	LTP4
8'-8" <math>\leq L \leq 10'-0"	2-1-1/2 WX11-4 LVL	2-2X4	3-2X4	HD2A

WOOD LINTEL SCHEDULE (2X6 WALL)

SPAN	LINTEL	BEARING STUDS	FULL HEIGHT STUDS	STUD PLATE
0'-0" <math>\leq L \leq 4'-8"	2-2X6	2-2X6	2-2X6	LTP4
4'-8" <math>\leq L \leq 6'-0"	2-2X6	2-2X6	2-2X6	LTP4
6'-0" <math>\leq L \leq 7'-4"	2-2X10	2-2X6	2-2X6	LTP4
7'-4" <math>\leq L \leq 8'-8"	2-2X12	2-2X6	3-2X6	LTP4
8'-8" <math>\leq L \leq 10'-0"	2-1-1/2 WX11-4	2-2X6	3-2X6	HD2A



1 FIRST FLOOR AND FOUNDATION FRAMING PLAN
 A1.3 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR FRAMING PLAN
 A1.3 SCALE: 1/4" = 1'-0"

STILL BACK THERE ART HOUSE
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 KEY WEST, FLORIDA

410 Angela Street
 Key West, Florida 33040
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 Facsimile (305) 296-2737
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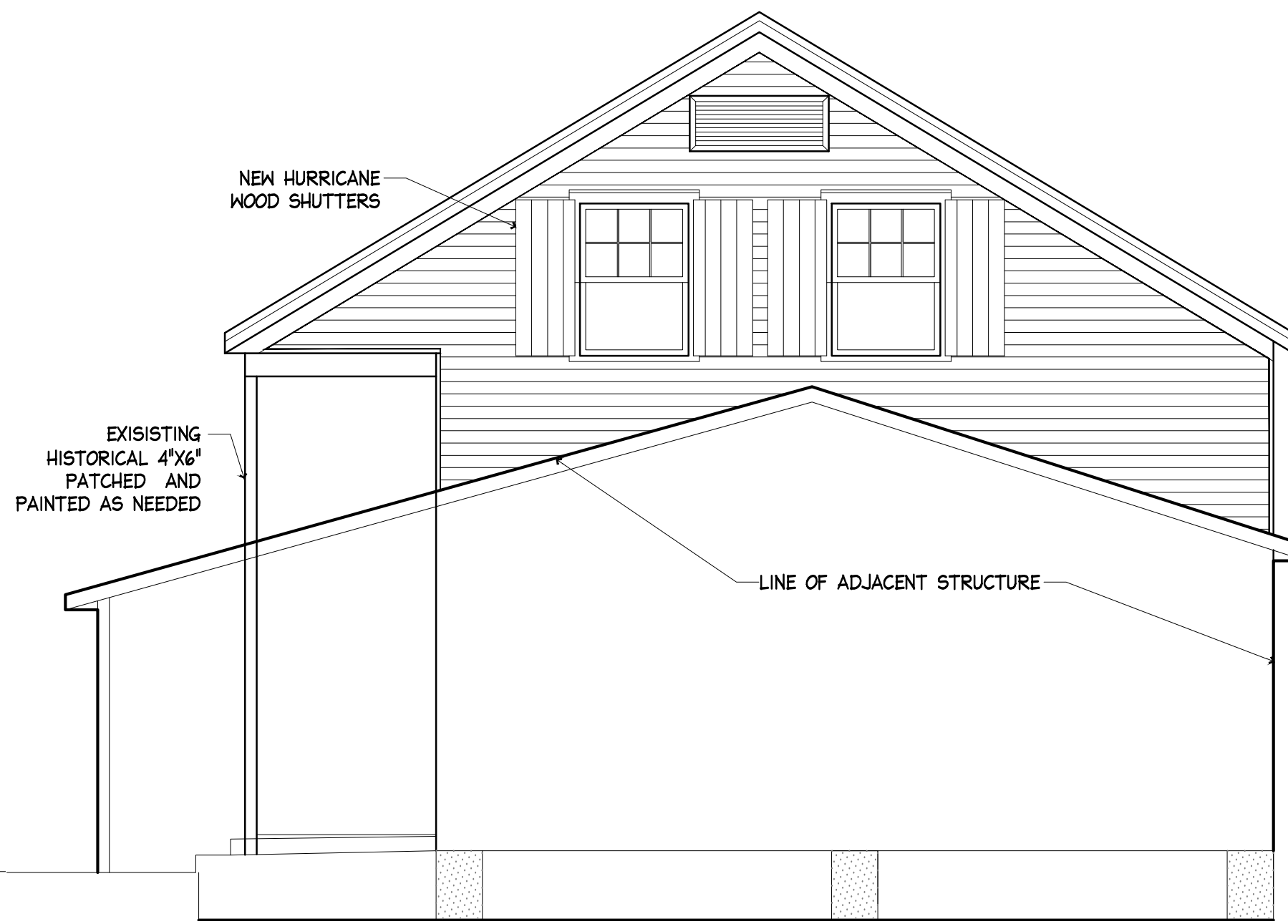
Bender & Associates
 ARCHITECTS
 p.c.

Project No: 1503
 FOUNDATION AND FRAMING PLANS
 Date: 02/25/15

A1.3
 5 OF 8



4 PROPOSED EAST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



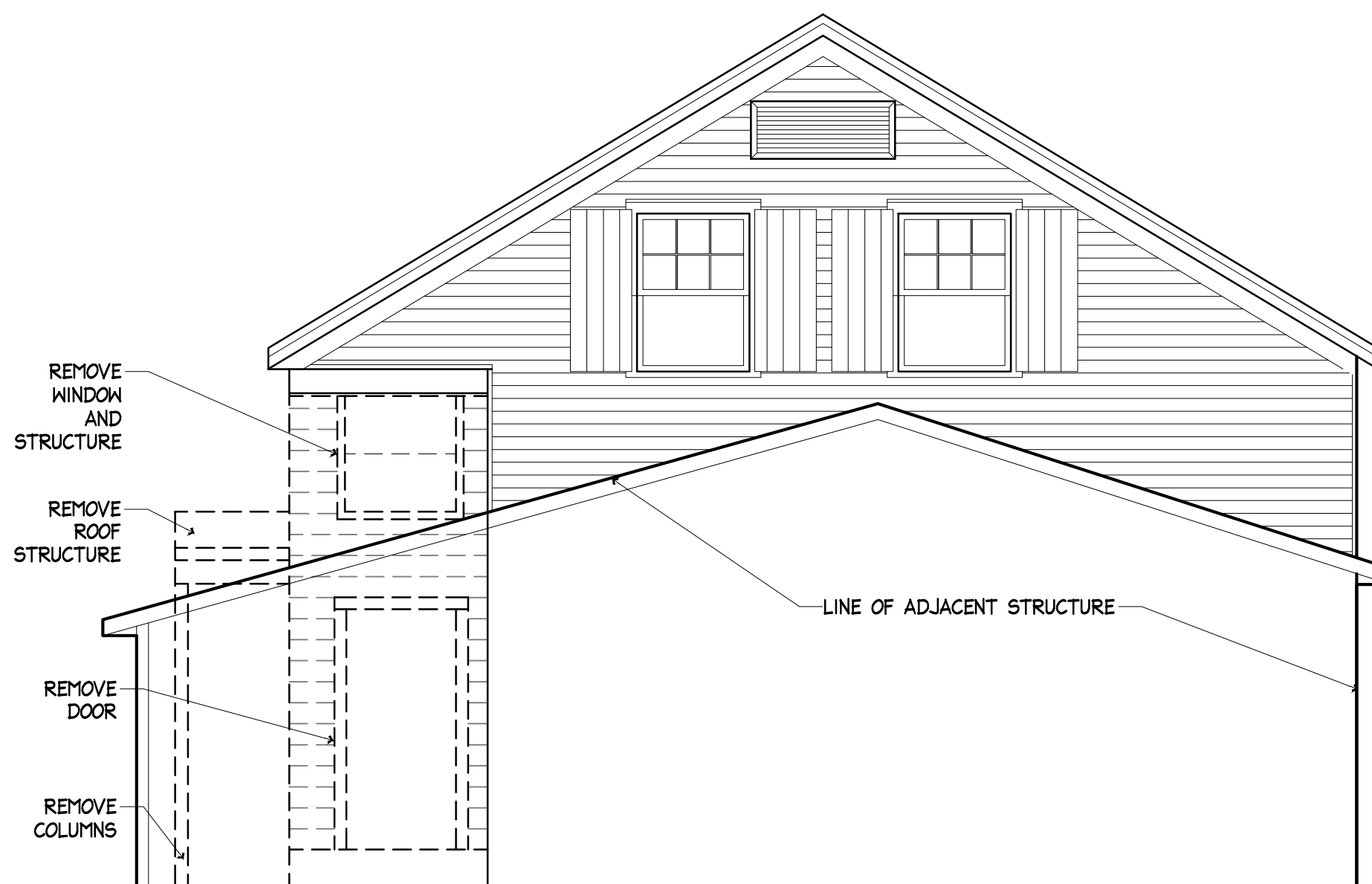
5 PROPOSED WEST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



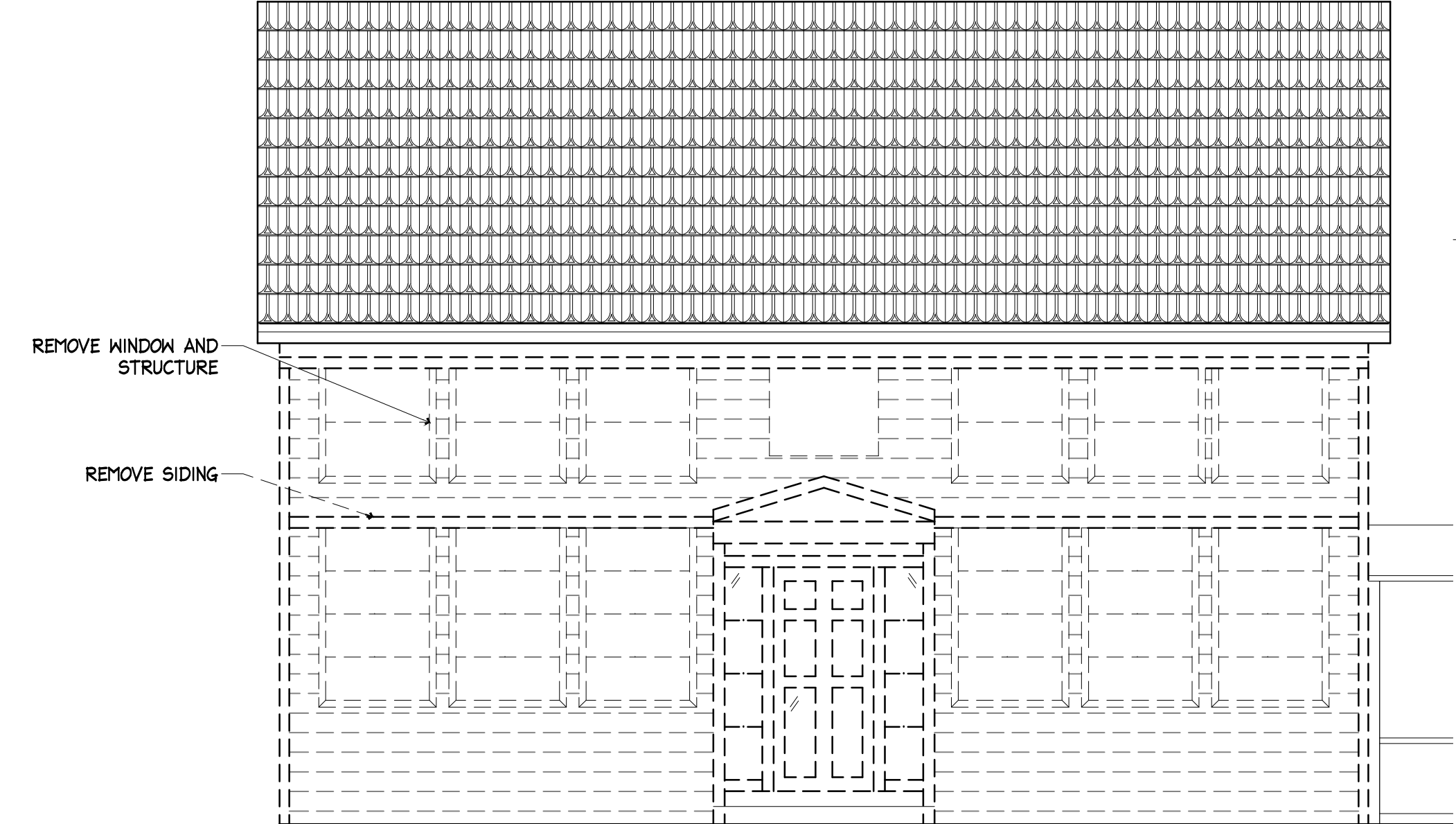
6 PROPOSED NORTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



1 DEMO EAST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



2 DEMO WEST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



3 DEMO NORTH ELEVATION
A2.0 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

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3. All costs of demolition including permit fees, disposal fees, etc. are the responsibility of the Contractor.
4. It is the Contractor's responsibility to be aware of and to conform with all applicable demolition and disposal codes, safety requirements, and environmental protection regulations of any governmental body having jurisdiction over the work.
5. Provide safety barricades as required to protect the safety of the general public and workers connected with the project.
6. Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.
7. Demolished material classified as clean fill may be distributed on site when specifically approved by the Architect in advance.

STILL BACK THERE ART HOUSE
610 - 614 DEY STREET
KEY WEST, FLORIDA

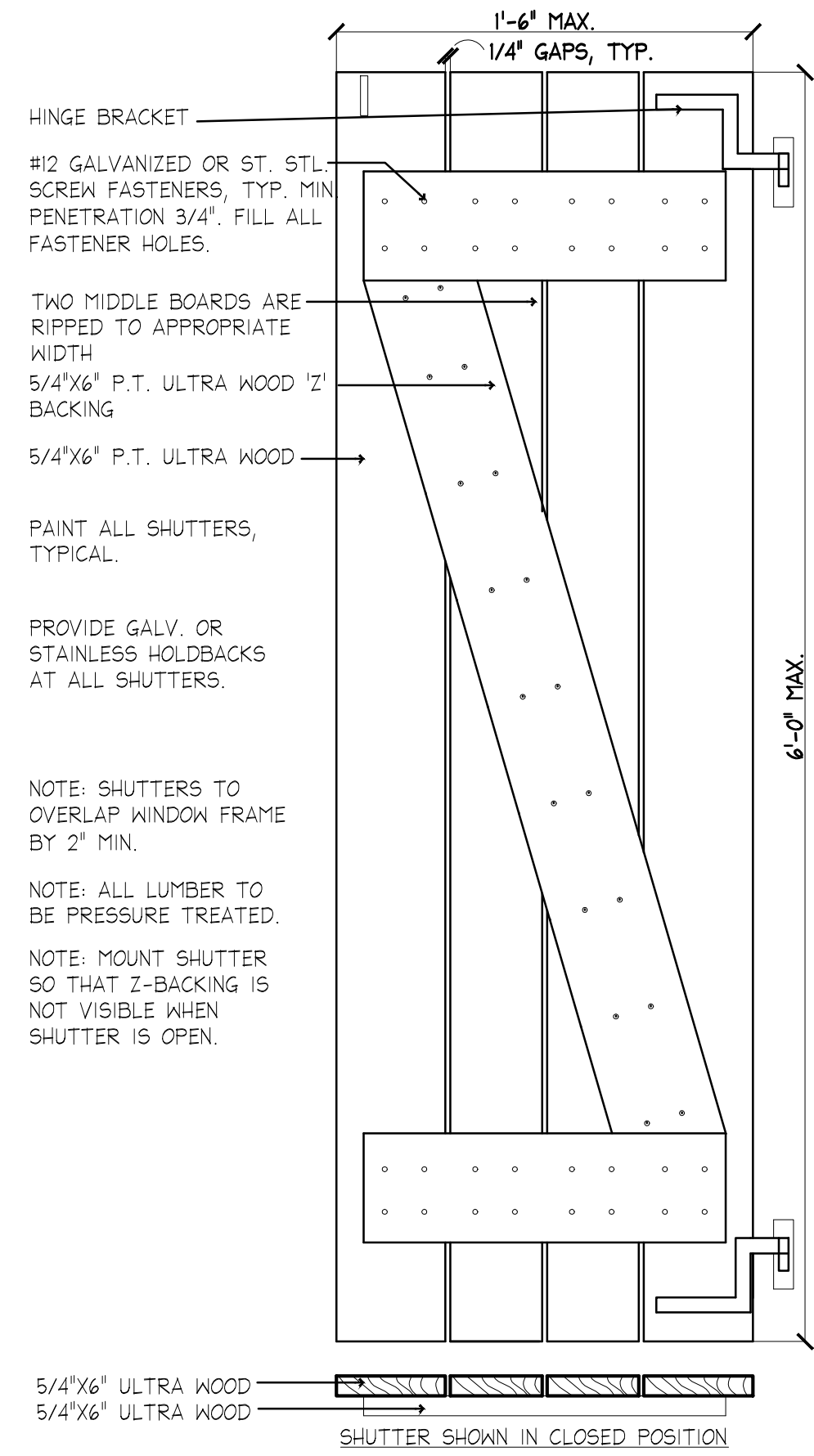
410 Angela Street
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ARCHITECTS
p.a.

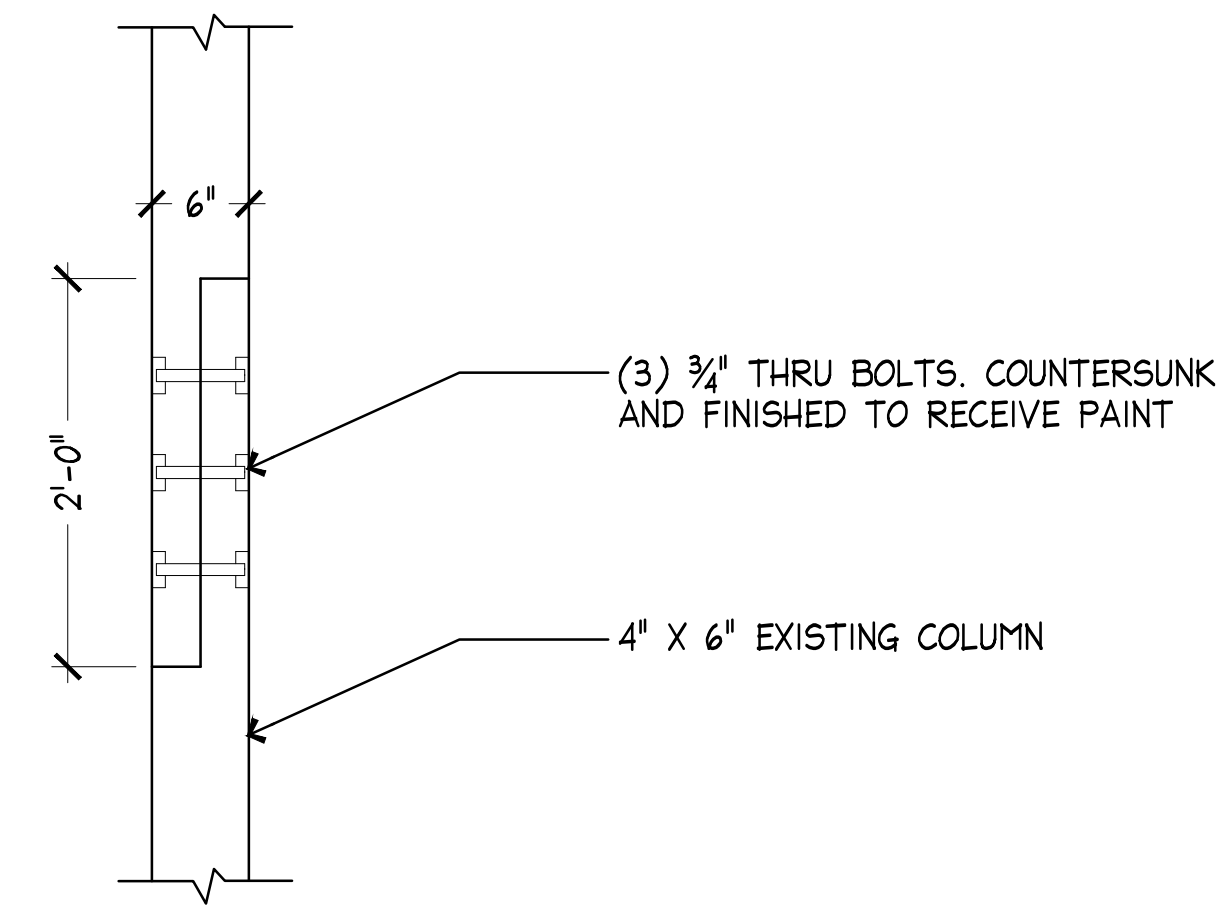
Project No: 1509
EXTERIOR ELEVATIONS

Date: 02/25/15

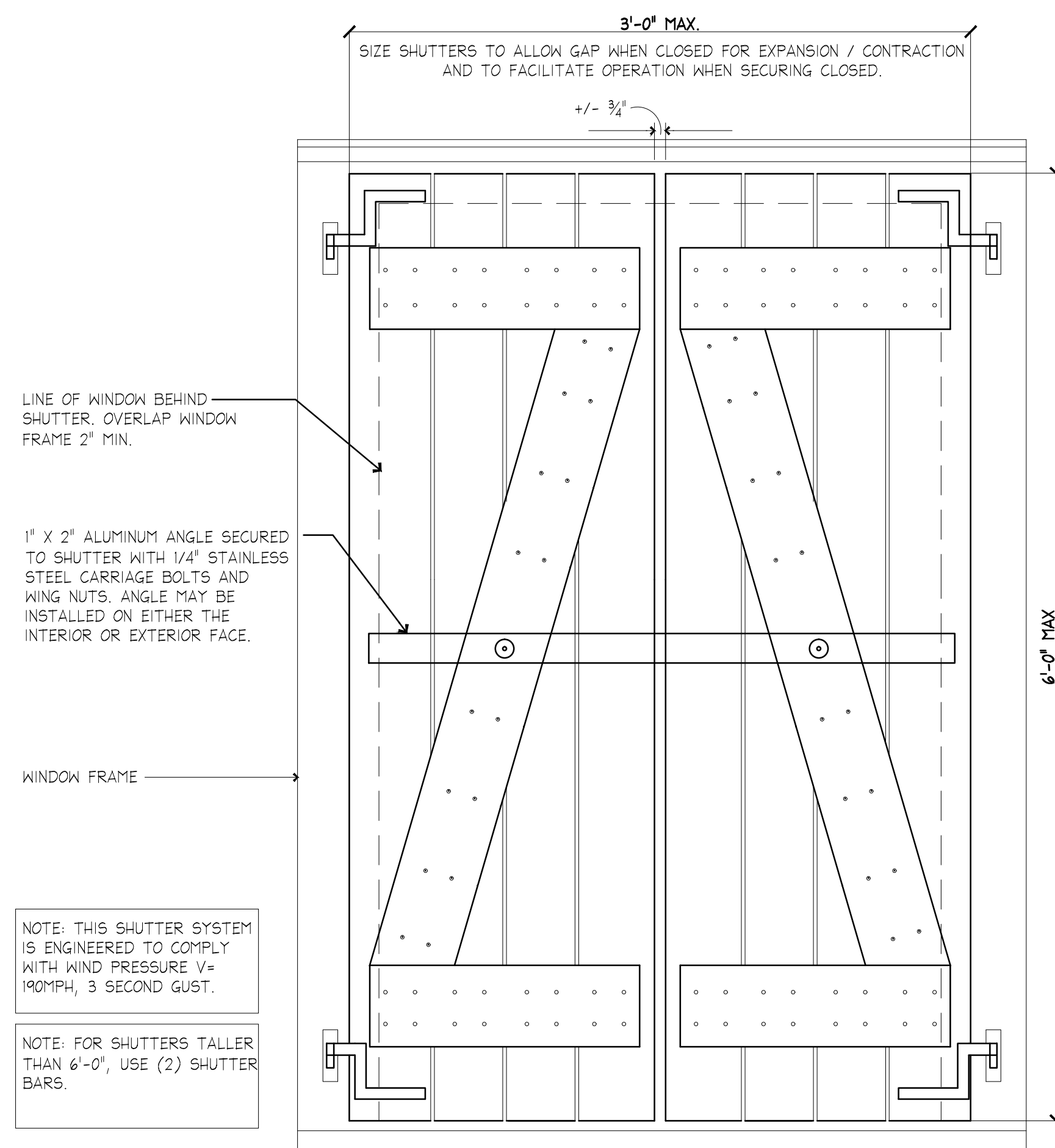
A2.0



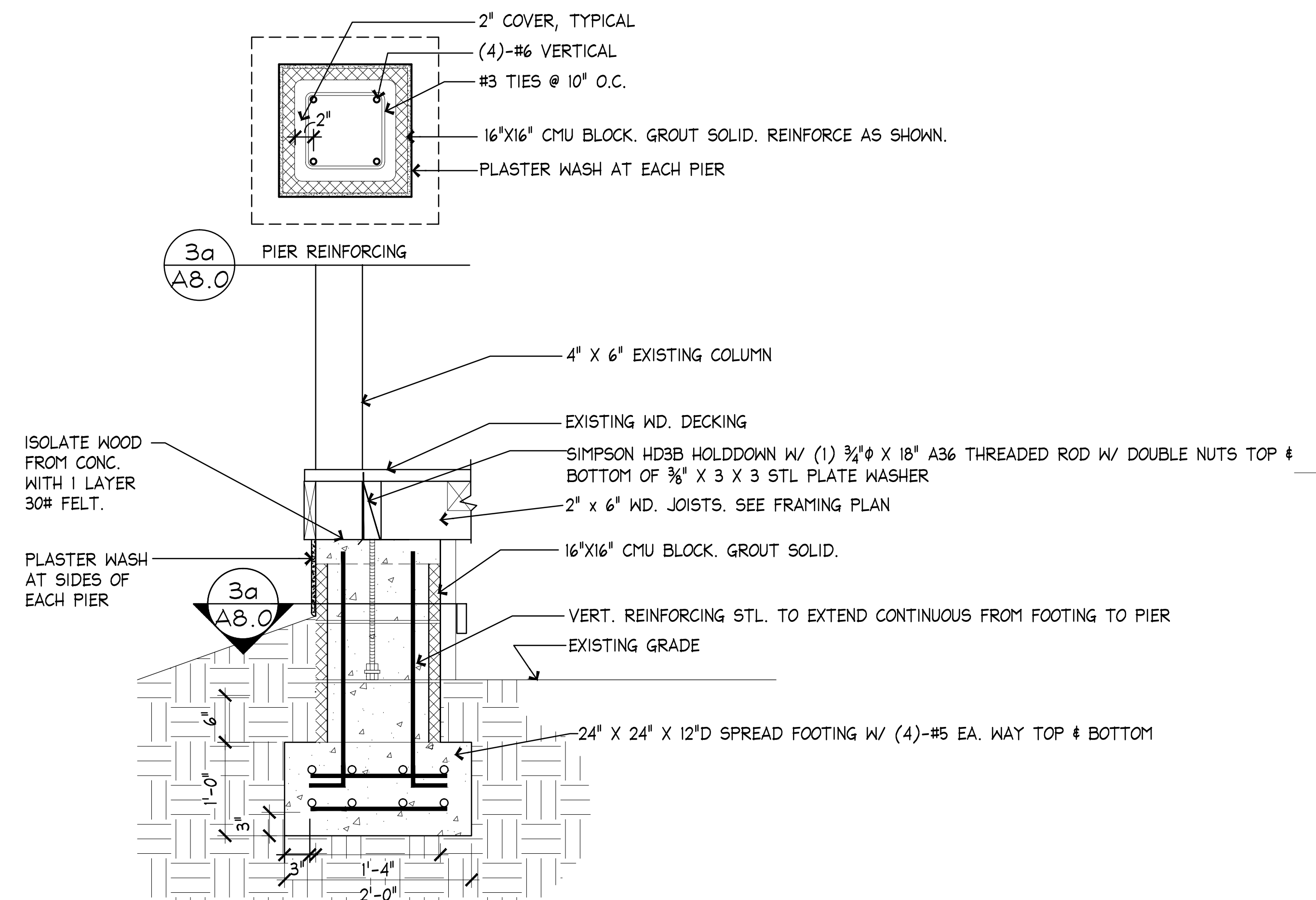
2 SHUTTER DETAIL
A8.0 SCALE: 1/2" = 1'-0"



4 TYPICAL COLUMN JOINT
A8.0 SCALE: 1" = 1'-0"



1 SHUTTER CLOSER DETAIL
A8.0 SCALE: 1/2" = 1'-0"



3 PROPOSED COLUMN DETAIL
A8.0 SCALE: 1" = 1'-0"

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Bender & Associates
ARCHITECTS
p.c.

Project No: 1503
DETAILS

Date: 02/25/15

A8.0



NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 25, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

RESTORATION OF FRONT PORCH AND STRUCTURAL STABILIZATION TO HISTORIC EYEBROW HOUSE. DEMOLITION OF ATTACHED STRUCTURE TO THE FRONT PORCH AND REMOVAL OF NON-HISTORIC ENCLOSURE OF FRONT PORCH.

FOR- #614 DEY STREET

Applicant – Bender and Associates

Application #H15-01-1078

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.







Public Meeting Notice

PRIVATE PROPERTY NO TRESPASSING

014

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared BERT BENDER, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
612-614 DEY STREET, KEY WEST, FL. on the 18TH day of AUGUST, 2015.

This legal notice(s) contained an area of at least 8.5"x11".
TWO WERE POSTED

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on AUGUST 25, 2015, 2015.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H15-01-1078

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

B. Bender
Date: 18-AUGUST 2015
Address: 410 ANGELA SP
City: KEY WEST
State, Zip: FL, 33040

The forgoing instrument was acknowledged before me on this 18th day of August, 2015.

By (Print name of Affiant) Bert Bender who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Daina D. Katubi
Print Name: Daina D. Katubi
Notary Public - State of Florida (seal)
My Commission Expires: _____



PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1001023 Parcel ID: 00001000-000000

Ownership Details

Mailing Address:

HELDON BAY LIMITED PARTNERSHIP
24889 EVENING STAR LN
BIGFORK, MT 59911-8292

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 12KW

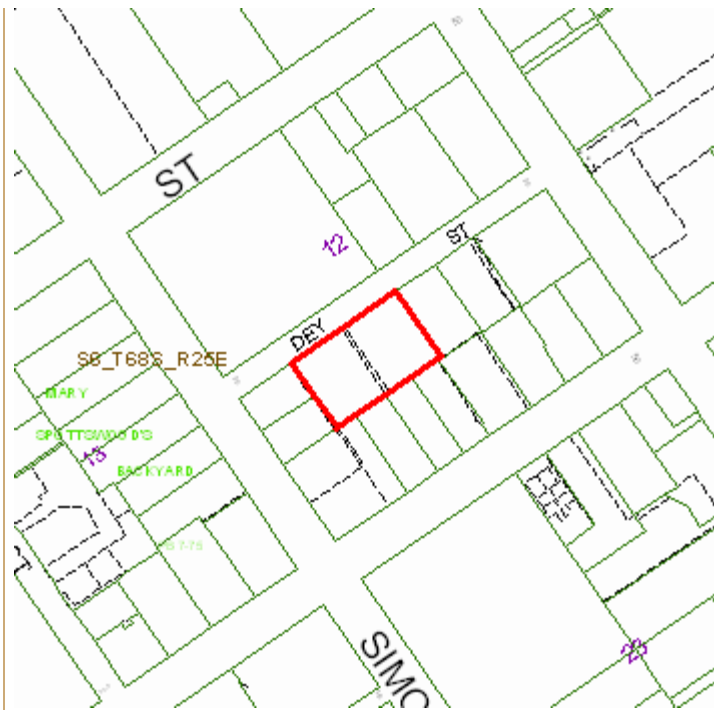
Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 610 DEY ST KEY WEST
614 DEY ST KEY WEST

Legal Description: KW PT LOT 4 SQR 12 OR126-222/23 OR264-285/286 OR559-287 OR1834-2288/89L/E OR2152-1711/20F/J
OR2532-2452D/C OR2697-111D/C OR2699-664/68

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	0	0	11,635.00 SF

Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 0
Total Living Area: 4410
Year Built: 1943

Building 1 Details

Building Type R1
Effective Age 34
Year Built 1943
Functional Obs 0

Condition P
Perimeter 624
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 36
Grnd Floor Area 4,410

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
Heat 1 NONE
Heat Src 1 NONE

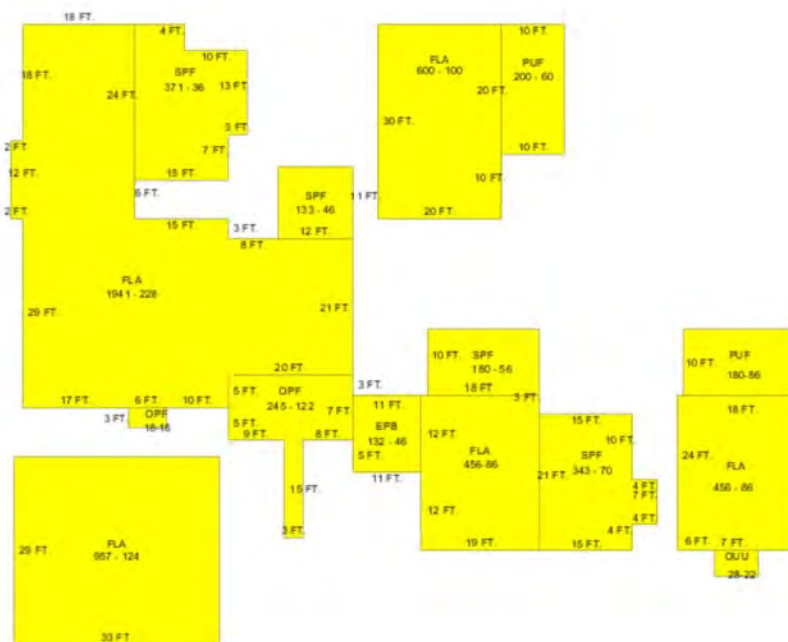
Roof Cover METAL
Heat 2 NONE
Heat Src 2 NONE

Foundation NONE
Bedrooms 3

Extra Features:

2 Fix Bath 0
3 Fix Bath 1
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	FLA	1:WD FRAME	1	1991					456
0	FLA	1:WD FRAME	1	1991					456
0	PUF	1:WD FRAME	1	1991					200
0	FLA	1:WD FRAME	1	1991					957
0	EPB	1:WD FRAME	1	1991					132
0	SPF		1	1991					133
0	SPF		1	1991					343
0	SPF		1	1991					180

0	<u>PUF</u>		1	1991					180
0	<u>OUU</u>		1	2000					28
1	<u>FLA</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	1,941
2	<u>OPF</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	245
4	<u>SPF</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	371
5	<u>FLA</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	600
8	<u>OPF</u>		1	1991	N	N	0.00	0.00	18

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	FN2:FENCES	260 SF	65	4	1991	1992	4	30
0	FN2:FENCES	120 SF	20	6	1992	1992	2	30
0	UB2:UTILITY BLDG	1,406 SF	0	0	1990	1991	3	50
1	CL2:CH LINK FENCE	344 SF	0	0	1964	1965	1	30
2	FN2:FENCES	280 SF	0	0	1975	1976	3	30

Appraiser Notes

FOR THE 2005 TAX ROLL RE 101 AK 1001031 HAS BEEN COMBINED WITH THIS PARCEL PER OWNER'S REQUEST. SINCE THIS LAND HAS ALWAYS BEEN PART OF HOMESTEAD PROPERTY I HAVE TAKEN THE 1994 VALUE AND INCREASED EACH YEAR BY THE APPROPRIATE CPI % TO BRING IN FOR THE 2005 VALUE. LG

RCN-MI= \$622 UNIT COST-MI= \$2.59 RCN-MI= \$400 UNIT COST-MI= \$5.97 NOPY WALL QG=350 QG=350 QG=200 QG=200
2000-02-23 - DOR AUDIT PARCEL

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
14-5225	11/25/2014		1,500	REPLACE 350 LF OF SIDING 300 LF CORNER BOARDS EXTERIOR TRIM AT DOORS AND WINDOWS	
14-5338	11/20/2014		2,200		
14-0538	02/09/2015		2,200	REVISION: REPLACE 2 PANELS WITH 100 AMP PANELS ADD SMOKE DETECTORS AND GFI OUTLETS	
B940077	01/01/1994	11/01/1994	2,000		REPLACE 100 AMP SERVICE

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	378,745	18,547	811,437	1,208,729	1,208,729	0	1,208,729
2014	299,443	2,237	742,512	1,044,192	1,013,641	25,000	991,340
2013	304,122	2,237	639,246	945,605	945,605	25,000	920,605

2012	304,122	2,237	503,166	809,525	809,525	0	809,525
2011	299,443	2,237	471,346	773,026	647,087	25,000	622,087
2010	275,611	2,250	592,572	870,433	637,524	25,000	612,524
2009	307,528	2,340	1,195,371	1,505,239	620,763	25,000	595,763
2008	283,807	2,452	1,569,649	1,855,908	620,143	25,000	595,143
2007	476,761	2,513	1,778,559	2,257,833	602,081	25,000	577,081
2006	432,503	2,603	1,072,782	1,507,888	587,396	25,000	562,396
2005	407,526	2,715	959,857	1,370,098	570,287	25,000	545,287
2004	204,426	1,055	403,340	608,821	338,437	25,000	313,437
2003	263,133	1,055	201,670	465,858	332,127	25,000	307,127
2002	228,995	1,055	201,670	431,720	324,343	25,000	299,343
2001	221,208	1,055	201,670	423,933	319,236	25,000	294,236
2000	282,609	1,288	115,240	399,136	309,938	25,000	284,938
1999	226,757	1,033	115,240	343,030	285,825	25,000	260,825
1998	206,651	1,757	115,240	323,648	276,430	25,000	251,430
1997	201,065	1,710	103,716	306,491	267,698	25,000	242,698
1996	137,395	1,169	103,716	242,279	240,552	25,000	215,552
1995	137,395	1,169	103,716	242,279	236,754	25,000	211,754
1994	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1993	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1992	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1991	111,894	1,045	103,716	216,655	216,655	25,000	191,655
1990	129,398	1,045	86,430	216,874	216,874	25,000	191,874
1989	116,923	950	84,990	202,863	202,863	25,000	177,863
1988	100,411	950	77,787	179,148	179,148	25,000	154,148
1987	87,752	950	52,938	141,640	141,640	25,000	116,640
1986	88,140	950	51,858	140,948	140,948	25,000	115,948
1985	85,941	950	25,814	112,705	112,705	25,000	87,705
1984	81,036	950	25,814	107,800	107,800	25,000	82,800
1983	81,036	950	25,814	107,800	107,800	25,000	82,800
1982	82,393	950	25,814	109,157	109,157	25,000	84,157

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.

Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/15/2014	2699 / 664	2,000,000	WD	30

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Monroe County Property Appraiser
Scott P. Russell, CFA

P.O. Box 1176 Key West, FL 33041-1176