



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

To: Kevin Bond, AICP, LEED Green Associate, Acting Planning Director
Richard Klitenick, Esq., Planning Board Chairman
James Bouquet, PE, City Engineer

From: Carlene Smith, LEED Green Associate, Planner II

Date: March 17, 2015

RE: Minor Modification of Conditional Use Approval PB Res No. 2011-059
802-806 Whitehead Street (RE#: 00014010-000100, 00014020-000000)
318-324 Petronia Street (RE#: 00014010-000000)
809-811 Terry Lane (RE#: 00014050-000100, 00014060-000000)

Request

On February 17, 2015, the applicant requested a minor modification to the conditional use approval obtained via Planning Board Resolution No. 2011-059, in order to modify the site plan layout associated with the approved restaurant use. The approved site plan positioned the indoor and outdoor consumption area at the rear of the property adjacent to the residential neighborhood. The applicant is proposing to reduce the outdoor consumption area by 76 square feet and increase the indoor consumption area by 76 square feet, maintaining the same over all consumption area of 5,836 square feet. In order to accommodate this modification, the applicant is requesting to move the majority of the consumption area forward towards the more commercialized corner of Petronia and Whitehead Street and to the interior of the existing mixed use building at 802-804 Whitehead Street.

Code Applicability

The criteria for minor modifications of development plan is listed in Section 108-91.C.2 of the City Code:

Minor Modifications. The following and similar modifications must be approved by the city planner, city engineer and planning board chairperson and reported to the planning board at a regularly scheduled meeting:

- (a) Relocation of at least ten feet of pools, parking spaces, drives and driveways, or buildings from the location shown on the approved plan;
- (b) Addition of parking spaces not to exceed 25 percent (including fractions thereof) of the total number of existing parking spaces or five spaces, whichever is the lesser amount, and no such additional parking shall consume the approved landscaped area;
- (c) Attached or detached additions to buildings in the historic district that do not increase the floor area in excess of 500 square feet;
- (d) Installation of utility system improvements including buildings not exceeding 200 square feet; or

- (e) Any use, except single-family dwelling units and accessory structures thereto, or change in use resulting in less than 1,000 square feet of impervious surface area on the entire site.

The applicant is requesting review under Section 108-91.C.2(e).

Background

The applicant received conditional use approval for a restaurant via Planning Board Resolution No. 2011-059 (Attachment 1). City correspondence dated October 31, 2014, acknowledged that Planning Board Resolution No. 2011-059 was extended for an additional two years for a combined total of four years until the effective date of January 1, 2016 pursuant to House Bill 503 and 7023 (Attachment 2).

The conditional use approval for the 150 seat restaurant consisted of indoor and outdoor consumption area located on a commercial property along the Petronia Street Commercial Corridor in the Historic Neighborhood Commercial - Bahama Village (HNC-3) Zoning District. The approval is associated with the reconfiguration of an on-site parking lot. Thirteen conditions are associated with the approval. The applicant is not requesting any changes to the conditions.

Analysis

The applicant proposes to use the existing structures, facilities and utilities currently on the site. There are no changes to the dimensional requirements. The proposed modification would reduce the outdoor consumption area, as well as move both the indoor and outdoor consumption area further away from the adjacent residential neighborhood.

The mixed-use building at 802-804 Whitehead Street was included in the conditional use approval but only 281 square feet of outdoor consumption area was approved on a portion of the rear covered porch. This parcel is located in the HNC-3 and HMDR zoning districts. The covered porch located at the northeastern portion of two-story structure is in the HMDR Zoning District. Restaurant use is a prohibited use in the HMDR zoning district; therefore, no consumption area shall take place on the covered porch located at the northeastern portion of the two-story structure.

The applicant is proposing the following layout modification per site plan sheet C-1.4:

1. Remove the existing retail use on the first floor at 802-804 Whitehead Street and add 841 square feet of indoor consumption area on the first floor, 108 square feet of outdoor consumption area on a portion of the front porch and increase the outdoor consumption area from 281 square feet to 283 square feet. Three non-transient residential units will remain on the second floor.
2. The flexible outdoor seating area located at 318-324 Petronia Street would be reduced from 2,029 square feet to 328 square feet.
3. The outdoor consumption area located around the cistern bar would be reduced from 1,145 square feet to 1,078 square feet.
4. The applicant is proposing to move 1,591 square feet of outdoor consumption area to the existing outdoor commercial activity area located at the corner of Whitehead and Petronia Street.
5. All indoor consumption area would be removed from the one-story building located at the rear of the property.
6. Outdoor consumption area on the roof top of the one-story structure facing Petronia Street will remain the same.

Determination

This letter does not grant the expansion of consumption area, restaurant seats or retail use, but rather recognizes that the proposed modification to the conditional use approval per the proposed site plan signed

and sealed March 5, 2015 by Richard J. Milelli, Professional Engineer, would reconfigure both the indoor and outdoor consumption area further away from the adjacent residential neighborhood. The total amount of consumption area of 5,836 square feet and restaurant seating of 150 seats would remain unchanged. The reconfiguration of the on-site parking lot and the 13 conditions associated with the approval would not be modified.

Conditions of Administrative Approval

General condition:

1. No consumption area shall be allowed on the covered porch located at the northeastern portion of the two story structure at 802-804 Whitehead Street zoned HMDR as depicted on site plan sheet C-1.4.

Condition required to be completed prior to issuance of a building permit:

2. Life safety plan shall be submitted to the Fire Marshall's office for review.

Anyone who may wish to appeal any administrative decision may do so in accordance with Section 90-431 of the Land Development Regulations. Please do not hesitate to contact me at 305-809-3722 with any questions or comments that you may have.

Respectfully,



Carlene Smith, LEED Green Associate, Planner II

Attachments:

- 1 Site Plan Sheet C-1.4
- 2 Planning Board Resolution No. 2011-059
- 3 House Bill 503 and 7023 Extensions
- 4 Minor Modification of Conditional Use Approval Request

cc: Ron Wampler, Building Official
Larry Erskine, Chief Assistant City Attorney
Carolyn Walker, Licensing Official
Michael Turner, Utilities Collection Manager
Diane Nicklaus, Engineering Services
Scott Russell, C.F.A., Monroe County Property Appraiser



Kevin Bond, AICP, LEED Green Associate
Acting Planning Director

3/17/2015
Date



Richard Klitenick, Esq.,
Planning Board Chairman

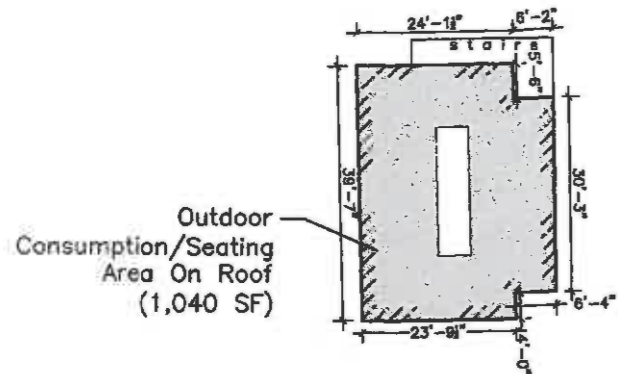
3/17/2015
Date



James Bouquet, PE
City Engineer

3/17/2015
Date

Site Plan Sheet C-1.4
Signed and Sealed March 5, 2015

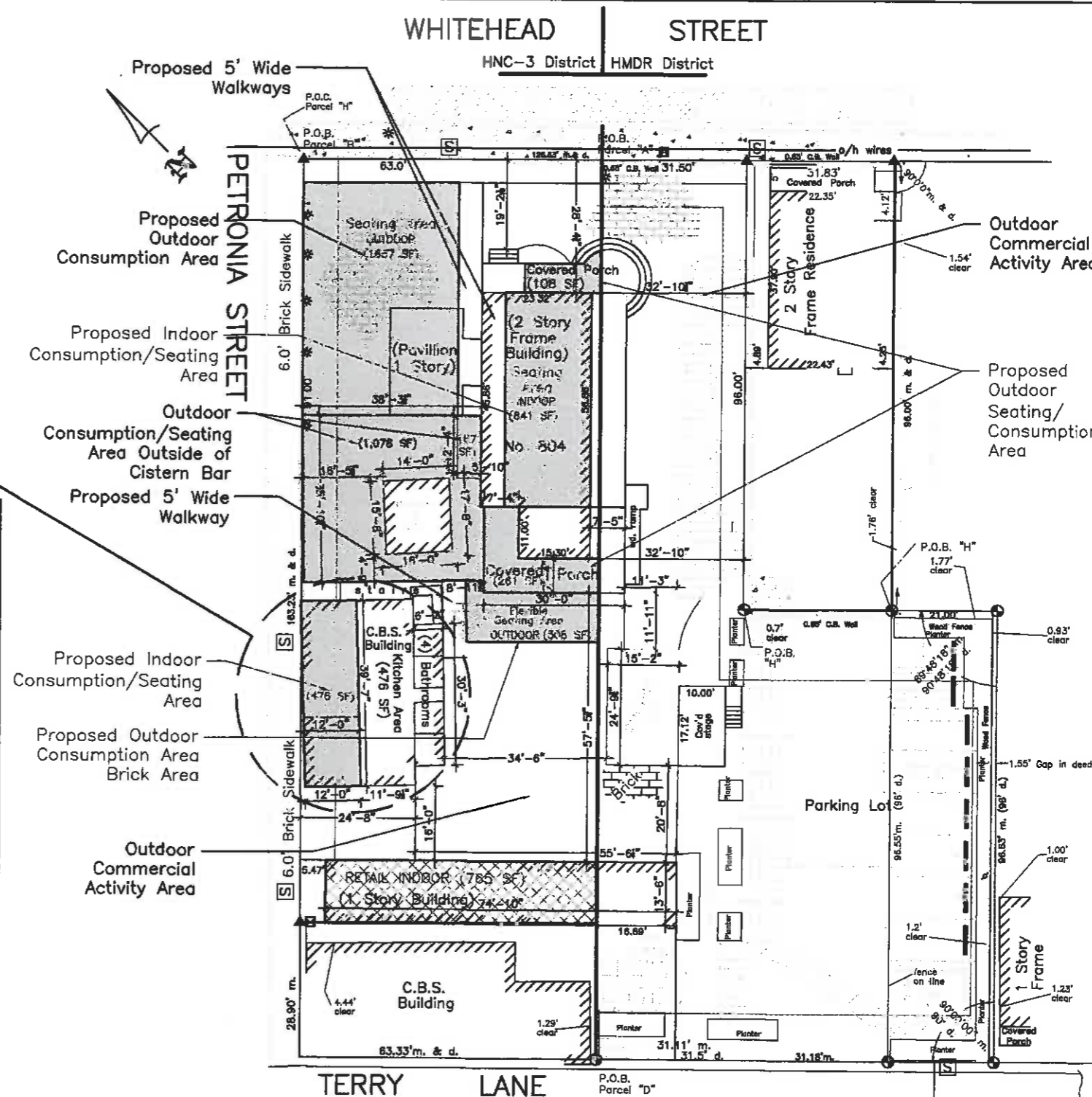


SECOND FLOOR

SCALE: 1"=30'

| SITE DATA | | | | |
|------------------------------|---|-----------------|---------------------------|-----------------------|
| RE Numbers | 00014060-000000; 00014050-000000; 00014020-000000; 00014010-000000; 00014010-000100 | | | |
| Zoning Designation | HMDR (11,154 sq. ft.) and HNC-3 (10,366 sq. ft.) | | | |
| Flood Zone | ZONE X MAP 12087C-1516K | | | |
| <u>Issue</u> | <u>Existing</u> | <u>Proposed</u> | <u>Required/Permitted</u> | <u>Complies</u> |
| Zoning | HMDR and HNC-3 | No Change | No Change | Complies |
| Site Size (sq. ft.) | 21,520 | No Change | 4,000 | Complies |
| Building Coverage (sq. ft.) | 4,877 | No Change | 8,608 (40%) | Complies |
| Impervious Surface (sq. ft.) | 20,616 (95.8%) | No Change | 12,912 (60%) | Complies ¹ |
| Open Space Ratio (sq. ft.) | 904 (4.2%) ² | No Change | 4,304 (20%) | Complies |
| FAR | 0.26 | No Change | 1.0 | Complies |
| Retail Space (sq. ft.) | 2,553 | 765 | 15,943 | Complies |
| Consumption Area | | | | |
| Indoor (sq. ft.) | 1,241 | 1,317 | | Complies |
| Outdoor (sq. ft.) | 4,595 | 4,519 | | Complies |
| Restaurant Seats | 150 | No Change | | Complies |
| Parking Spaces | 19 ³ | No Change | 17 | Complies |
| Scooter | 40 | No Change | | |
| Scooter/Bicycle | 23 | No Change | | |
| Residential Units | 3-Studios ⁴ | No Change | 10 | Complies |
| Setbacks | | | | |
| Front ⁵ | 18'-2 1/2'-0" | 18'-2 1/2'-0" | 0'-0 1/10'-0" | Complies |
| Side ⁵ | 5'-0 1/5'-0" | 16'-9 1/4'-0" | 7'-6 1/5'-0" | Complies |
| Rear ⁶ | 28'-9" | 28'-9" | 15'-0" | Complies |

1. Existing nonconformity
 2. Site area less building coverage, pavers, concrete and parking areas
 3. Proposed is based on 9 car parking spaces and 40 scooter spaces.
 4. The City of Key West recognizes ten ROGO-exempt dwelling units, per City Planner's Staff report dated 11/27/05.
 5. HNC-3 is the first number and HMDR is the second
 6. HMDR Zoning only



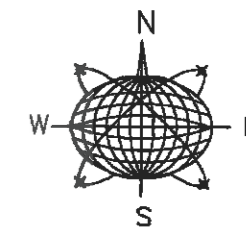
PROPOSED CONSUMPTION AREA

SCALE: 1"=30'

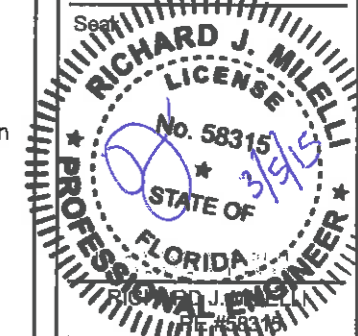
LEGEND

- CONSUMPTION AREA
- RETAIL AREA

CONSUMPTION AREAS:
 PREVIOUS (FRONT OUTDOOR AREA AND CISTERN BAR): 1,078 SF
PROPOSED:
 COVERED PORCHES: 369 SF
 OUTDOOR REAR BRICK AREA: 308 SF
 INDOOR FIRST FLOOR 2-STORY BLDG: 841 SF
 OUTDOOR FRONT BRICK AREA: 1,657 SF
 OUTDOOR NEAR CISTERN BAR: 67 SF
 OUTDOOR ROOF ONE-STORY BLDG.: 1,040 SF
 INDOOR ONE-STORY BLDG: 476 SF
 TOTAL PREVIOUS AND PROPOSED: 5,836 SF



Meridian Engineering LLC
 201 Front Street, Suite 210
 Key West, Florida 33040
 AUTHORIZATION # 29401
 ph:305-293-3263 fax:293-4899



BAHAMA VILLAGE

MARKET

WHITEHEAD & PETRONIA
 KEY WEST, FLORIDA

Drawn By: PCS
 Checked By: RJM

Revisions:

Title:
 PROPOSED AND PREVIOUS CONSUMPTION AREAS

Sheet Number:

C-1.4

Date: MARCH 5, 2015

PB Resolution No. 2011-059

**PLANNING BOARD RESOLUTION
NUMBER 2011-059**

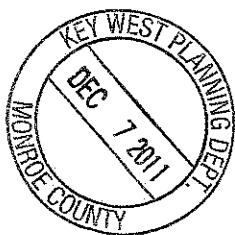
**A RESOLUTION OF THE KEY WEST
PLANNING BOARD GRANTING A
CONDITIONAL USE APPROVAL PER
SECTION 122-62 AND 122-63 OF THE CODE
OF ORDINANCES FOR A RESTAURANT
WITH 150 SEATS MAXIMUM TO BE
LOCATED AT 802 - 806 WHITEHEAD STREET
(RE# 00014010-000100 AND 00014020-000000)
AND 318 - 324 PETRONIA STREET (RE#
00014010-000000) AND 809 - 811 TERRY LANE
(RE# 00014050-000000, 00014060-000000) IN THE
HISTORIC NEIGHBORHOOD COMMERCIAL-
BAHAMA VILLAGE COMMERCIAL CORE
(HNC-3) ZONING DISTRICT, PURSUANT TO
SECTION 122-868(9) OF THE CODE OF
ORDINANCES, KEY WEST FLORIDA;
PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the subject property is located in the Historic Neighborhood Commercial-
Bahama Village Commercial Core (HNC-3) zoning district; and

WHEREAS, Section 122-868(9) of the Code of Ordinances provides that restaurants are
allowed as a conditional use within the Historic Neighborhood Commercial- Bahama Village
Commercial Core (HNC-3) zoning district; and

WHEREAS, Section 122-61 of the Code of Ordinances allows applicants to request a
conditional use approval; and

Page 1 of 9
Resolution Number 2011 - 059




Chairman

Planning Director

WHEREAS, the applicant filed a conditional use application for a restaurant not to exceed maximum of 150 seats, with 6,637 square feet of flexible indoor/outdoor consumption area at 802 - 806 Whitehead Street (RE# 00014010-000100 and 00014020-000000) and 318 - 324 Petronia Street (RE# 00014010-000000); and

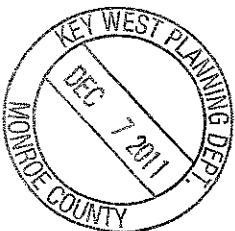
WHEREAS, the associated with the Conditional Use request, the applicant is required to bring the parking lot located at 809 - 811 Terry Lane (RE# 00014050-000000 and 00014060-000000) into compliance with dimensional requirements, landscaping and drainage; and



WHEREAS, the parking lot shall be reconfigured to include two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter/bicycle spaces on the lot; and

WHEREAS, Section 122-62 outlines the criteria for reviewing a conditional use application by the Planning Board; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on November 17, 2011; and

WHEREAS, the Planning Board found that the proposed use complies with the criteria in Section 122-62; and



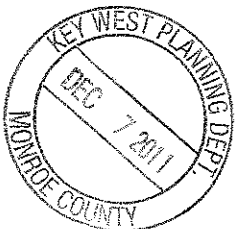
 Chairman
 Planning Director

WHEREAS, the approval of the conditional use application will be in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and


NOW THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as fully set forth herein.

Section 2. That the request for a Conditional Use approval per Section 122-62 and 122-63 of the Code of Ordinances for a restaurant for up to 150 seats maximum and 6,637 square feet of flexible consumption area to be located at 802 - 806 Whitehead Street (RE# 00014010-000100 and 00014020-000000) and 318 - 324 Petronia Street (RE# 00014010-000000) and the reconfiguration of the parking lot at 809 - 811 Terry Lane (RE# 00014050-000000 and 00014060-000000) to meet Code requirements, landscaping and drainage, and to accommodate two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter/bicycle parking spaces for property located in the Historic Neighborhood Commercial- Bahama Village Commercial Core (HNC-3) zoning district, pursuant to section 122-868(9) of the Code of Ordinances, Key West, Florida; providing for an effective date, as shown in the attached site plans dated November 1, 2011 with the following conditions:

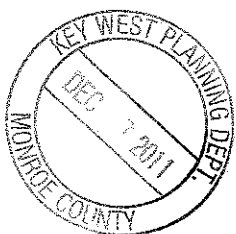


 Chairman

 Planning Director

Conditions subject to a Conditional Approval Permit, per Ordinance 10-22. Conditions subject to an associated annual inspection:

1. Approval is limited to no more than 150 seats. At no time does the request for 6,637 square feet of consumption area allow the applicant to increase seating on the site without conditional use review.
2. The parking lot shall be reconfigured and maintained to include two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) bicycle/scooter spaces on the lot.
3. The waste and recycling handling shall be screened from adjacent properties and public rights-of-way by appropriate fences, walls or landscaping in accordance with Code Section 108-279, and the area shall be enclosed on all four sides with a roof and doors for access.
4. The applicant will install and maintain a programmable distributive sound system to assure compliance with the "unreasonable noise" definition of Section 26-191 of the Code of Ordinances, and shall include a computerized sound monitoring system with real time monitoring access is provided to the City. The applicant expressly agrees to provide the City's agents unfettered access to the computer-generated reports and full, real-time web-based access to the digital monitoring of on-site acoustics for the purpose of assuring compliance with the conditions contained herein.



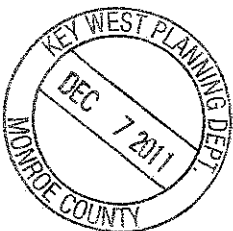
 Chairman
 Planning Director

Conditions required prior to the issuance of a Certificate of Occupancy:

5. Completion of all improvements as depicted on the site plan.
6. The applicant will install and maintain a programmable distributive sound system to assure compliance with the “unreasonable noise” definition of Section 26-191 of the Code of Ordinances, and shall include a computerized sound monitoring system with real time monitoring access is provided to the City.
7. The applicant shall revise and resubmit a signed and sealed Landscape Plan that reflects the modified site plan dated November 1, 2011 and Civil Plan Dated November 9, 2011.

General conditions:

8. No outdoor music of any kind is allowed after the hours of 10pm unless approved under a special event permit per Section 6-86 of the City Code or for a special city-sanctioned event within the Petronia Street Commercial Corridor. Amplified music will be regulated by the “unreasonable noise” definition of Section 26-191 of the Code of Ordinances.
9. Recycling of applicable materials is required.
10. Hours of operation are limited from 9am to 11pm daily accept during special city sanctioned events such as Fantasy Fest and Goombay.
11. Service vehicles are prohibited from using Petronia Street and Terry Lane and the Terry Lane parking lot for deliveries.
12. All waste pickup shall be daily via Whitehead Street.





RWK Chairman
AC Planning Director

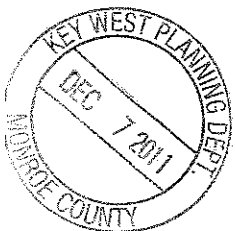
13. In an effort to increase employment opportunities for residents of the Bahama Village Community Redevelopment Area (“BVCRA”) the restaurant operator will make a good faith effort to employ a minimum of 25% of the restaurant workforce from qualified residents of the BVCRA.

“Good faith effort” means all employment opportunities will be advertised and posted in places frequented by residents of the BVCRA, such as the District 6 Commissioner's office, the Douglas Community Center, the Nutrition Center, the Martin Luther King swimming pool, neighborhood churches, neighborhood fraternal organizations, grocery stores, etc.

In the event the property owner is not the operator of the restaurant, the restaurant operator shall submit to the property owner proof of compliance with the employment requirement, on a quarterly basis. The property owner shall, in turn, provide the proof of compliance to the City of Key West, upon request. If the property owner operates the restaurant, in the event that this requirement is not complied with for any reason, the property owner shall tender to the BVCRA the amount of \$750 for each month the requirement is not met to be used to further employment programs within the Bahama Village Community.

In the event the property owner is not the operator of the restaurant, any lease, management agreement, or other document utilized to transfer operation of the restaurant shall include the provisions above along with a provision that the operator’s rent will increase in the amount of \$750.00 per month for each month the

 Chairman
 Planning Director



requirement is not met. The property owner will in turn pay this increased amount to the BVCRA to be used to further employment programs within the Bahama Village Community Redevelopment Area. The property owner's failure to insist upon, collect, and transfer the increased amount to the City of Key West shall constitute a breach of this condition.

This requirement shall run with the conditional use and remain in place from owner to owner, Lessee to Lessee and Lessor to Lessor.

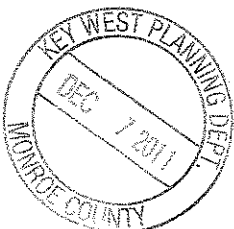
Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This conditional use approval does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has

 Chairman
 Planning Director



expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

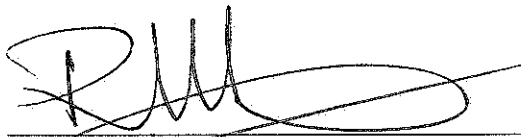


RWK Chairman

de Planning Director

Read and passed on first reading at a regular meeting held this 17th day of November, 2011.

Authenticated by the Chairman of the Planning Board and the Planning Director.

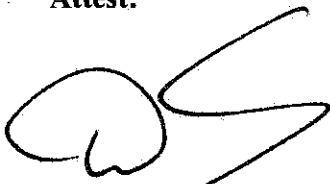


Richard Klitenick, Chairman
Key West Planning Board

12/7/2011

Date

Attest:

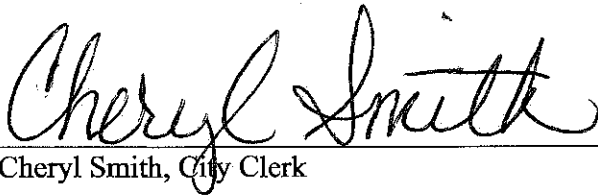


Donald Leland Craig, AICP
Planning Director

12/7/11

Date

Filed with the Clerk:



Cheryl Smith, City Clerk

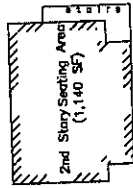
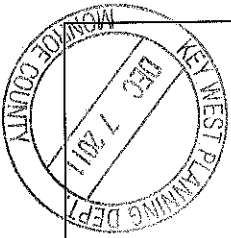
12-7-11

Date



 Chairman
 Planning Director

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SECOND FLOOR

SCALE: 1"=30'

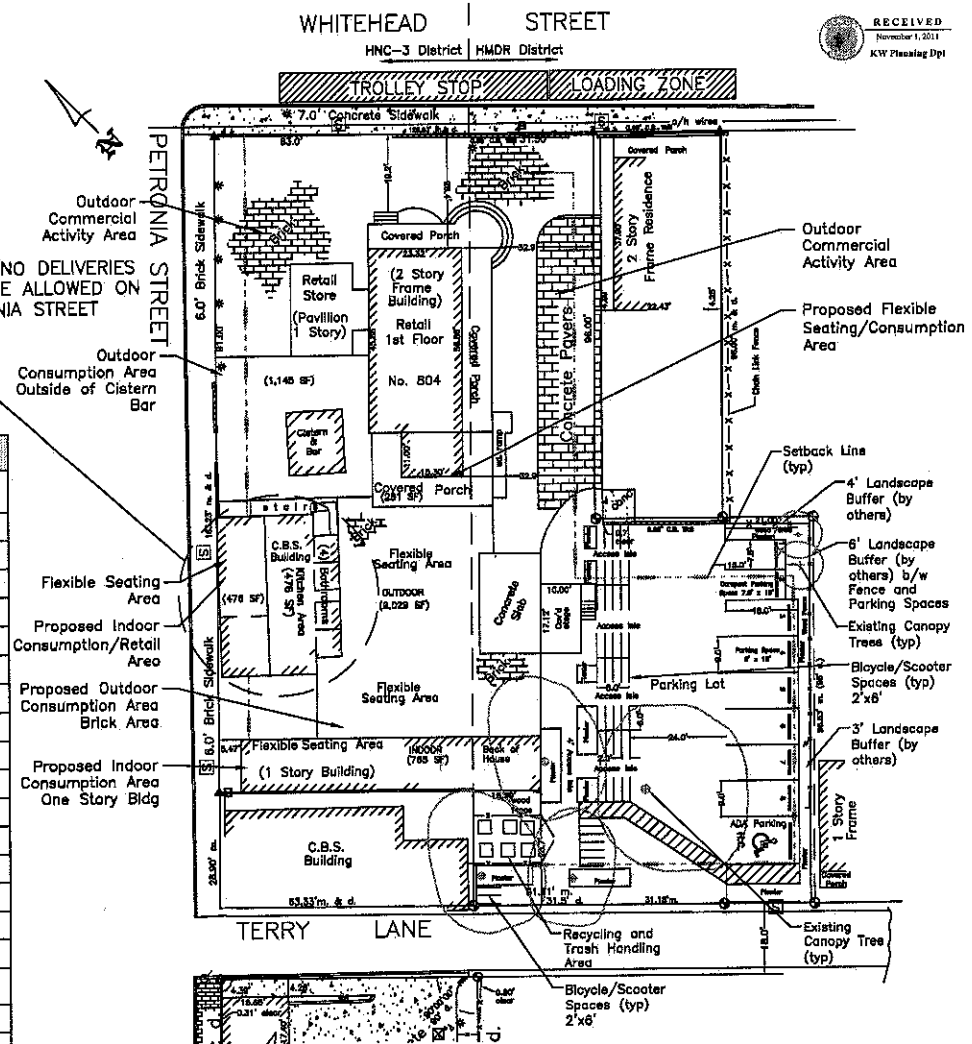
INDEX OF DRAWINGS

- C-1.0 SITE AND FLOOR PLAN
- C-1.1 PREVIOUS CONSUMPTION AREAS
- C-1.2 PROPOSED AND PREVIOUS CONSUMPTION AREAS
- C-1.3 PARKING LOT PLAN

| SITE DATA | | | | | |
|------------------------------|---|-----------------|--------------------|------------|--|
| RE Numbers | 00014060-000000; 00014050-000000; 00014020-000000; 00014010-000000; 00014010-000100 | | | | |
| Zoning Designation | HMDR (11,154 sq. ft.) and HNC-3 (10,366 sq. ft.) | | | | |
| Flood Zone | ZONE X MAP 12087C-1516K | | | | |
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| Setbacks | | | | | |
| Front | 18'-2 1/2'-0" | 18'-2 1/2'-0" | 0'-0 1/2'-0" | Complies | |
| Side | 5'-0 7/5'-0" | 16'-9 1/4'-0" | 7'-6 7/5'-0" | Complies | |
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4. The City of Key West recognizes ten RCGD-exempt dwelling units, per City Planner's Staff report dated 11/27/05.
5. HNC-3 is the first number and HMDR is the second
6. HMDR Zoning only

NOTE: NO DELIVERIES WILL BE ALLOWED ON PETRONIA STREET



SITE AND FLOOR PLAN

SCALE: 1"=30'

LEGEND

[S] EXISTING SEWER CLEANOUT (TYP OF 5)

NOTE: THE SITE DOES NOT HAVE AN EXISTING STORMWATER MANAGEMENT SYSTEM OR A GREASE TRAP

RECEIVED
November 1, 2011
KW Planning Dept

Historic Tours of America
301 Ford Blvd, Suite 207
Key West, Florida 33408
RESERVATION 238-120
or 800-586-8289

FORWARD & MILLER
PE #89316

BAHAMA VILLAGE MARKET
WATERGATE AND PETRONIA
KEY WEST, FLORIDA

Drawn By: RSM Checked By: PSM
Project No.: 11111 Scale: AS NOTED
Date: 11/1/11

Print Date: November 1, 2011

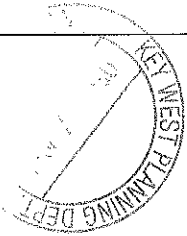
1. Key West Planning Dept. 11/1/11
2. Key West Planning Dept. 11/1/11
3. Key West Planning Dept. 11/1/11

SITE AND FLOOR PLAN

Sheet Number:
C-1.0

Date: JANUARY 25, 2010

RUK
DL



RECEIVED
November 1, 2011
KW Planning Dept



LEGEND

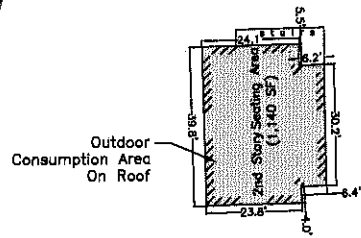
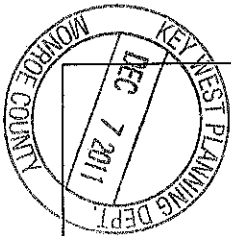
 CONSUMPTION AREA

CONSUMPTION AREAS:
 PREVIOUS (ROOF DECK AND CISTERN BAR): 2,285 SF
 PROPOSED:
 COVERED PORCH: 281 SF
 OUTDOOR BRICK AREA: 2,029 SF
 INDOOR ONE-STORY BLDG: 765 SF
 INDOOR TWO-STORY BLDG: 476 SF
 TOTAL PREVIOUS AND PROPOSED: 5,836 SF

BAHAMA VILLAGE MARKET
PROPOSED CONSUMPTION AREAS

SCALE: 1"=30' (11x17 paper)

RWK

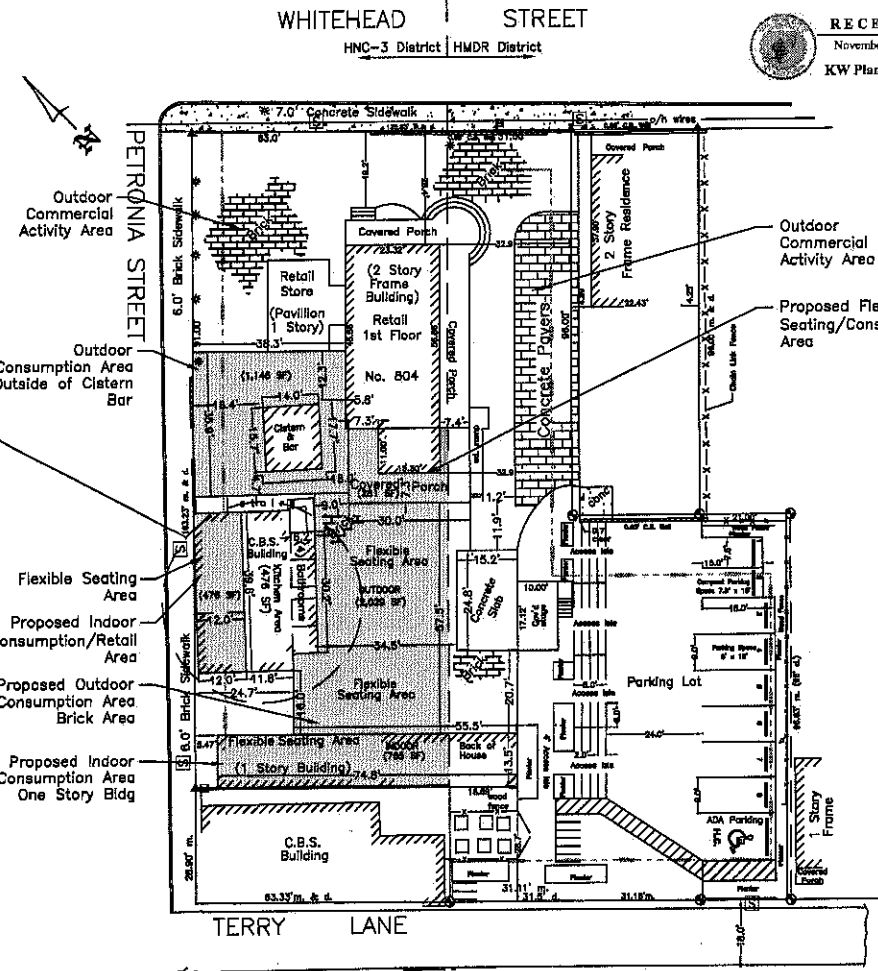


SECOND FLOOR
SCALE: 1"=30'

LEGEND

CONSUMPTION AREA

CONSUMPTION AREAS:
 PREVIOUS (ROOF DECK AND CISTERN BAR): 2,285 SF
PROPOSED:
 COVERED PORCH: 281 SF
 OUTDOOR BRICK AREA: 2,029 SF
 INDOOR ONE-STORY BLDG: 765 SF
 INDOOR TWO-STORY BLDG: 476 SF
 TOTAL PREVIOUS AND PROPOSED: 5,836 SF



PROPOSED CONSUMPTION AREAS
SCALE: 1"=30'

RECEIVED
November 1, 2011
KW Planning Dpt

Historic Tours of America
201 Front Street, Suite 207
Key West, Florida 33404
AUTHORIZATIONS FROM: 30
10-20-00-0001-000-0000

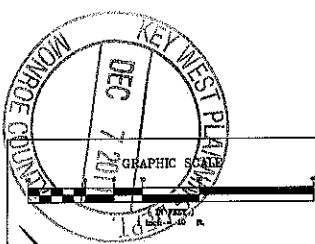
Richard J. McGill
PERMISSIS

BAHAMA VILLAGE MARKET
WHITEHEAD AND PETRONIA
KEY WEST, FLORIDA

Drawn By: RJK
Project No: 100000
Checked By: RJK
Sheet: AS NOTED

Printed/Checked/Title No:
Date: November 1, 2011

PROPOSED AND PREVIOUS CONSUMPTION AREAS
Sheet Number:
C-1.2
Date: JANUARY 21, 2010



RUNK & C

DRAINAGE CALCULATIONS

POSTDEVELOPMENT - PREDEVELOPMENT

Post - G_{post} = 0 in.
 Volume - G_{post} = 0 Ac-in

NOTE: THE DRAINAGE PLAN AND CALCULATIONS ARE ONLY FOR THE PARKING LOT. THE PARKING LOT IS EXISTING AND CONSIDERED IMPERVIOUS. THEREFORE, THE POSTDEVELOPMENT AND PREDEVELOPMENT WATER QUANTITY AMOUNTS ARE THE SAME. WATER QUALITY GOVERNS THE DESIGN.

WATER QUALITY

PROJECT AREA = 0.142 Ac
 PERVIOUS = 0.017 Ac
 IMPERVIOUS = 0.125 Ac

A) ONE INCH OF TRUNOFF FROM DRAINAGE BASIN = 0.142 Ac-in
 IMPERVIOUS AREA = 0.125 Ac.
 X IMPERVIOUS = 88.0%
 B) 2.5 INCHES TIMES PERCENT IMPERVIOUS = 0.31 Ac-in

EXFILTRATION TRENCH PROVIDED

TRENCH LENGTH = 27 FT
 EXFILTRATION TRENCH VOLUME CALCULATED USING SPWM EQUATION (PO 7-10 OF THE ERP INFORMATION MANUAL)
 VARIABLES: K=0.0001; H=7; Web; D=6; D=0
 VOLUME = 0.31 Ac-in

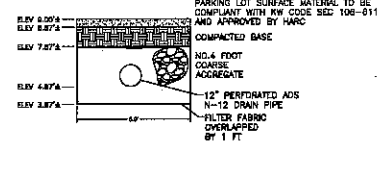
LANDSCAPE BUFFER

PARKING LOT AREA = 0.142 AC = 6,200 SF
 BUFFER REQUIRED = 6,200 * 10% = 620 SF
 BUFFER PROVIDED = 766 SF



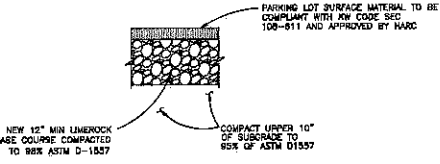
LEGEND

- DRAINAGE FLOW
- 9.26 PROPOSED ELEVATION
- 8.82' EXISTING ELEVATION
- NEW LIGHT POLE
- NEW PARKING LOT SURFACE MATERIAL TO BE COMPLIANT WITH KW CODE SEC 108-611 AND APPROVED BY HARC
- LANDSCAPE AREA

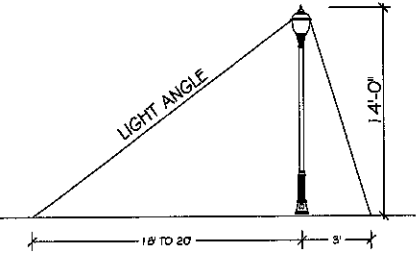


EXFILTRATION TRENCH
NTS

NOTES:
 1. FILTER FABRIC SHALL BE MANAF FILTERMENE 300 OR ENGINEER APPROVED EQUIVALENT. FILTER FABRIC SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.



PARKING LOT SURFACE DETAIL
NTS

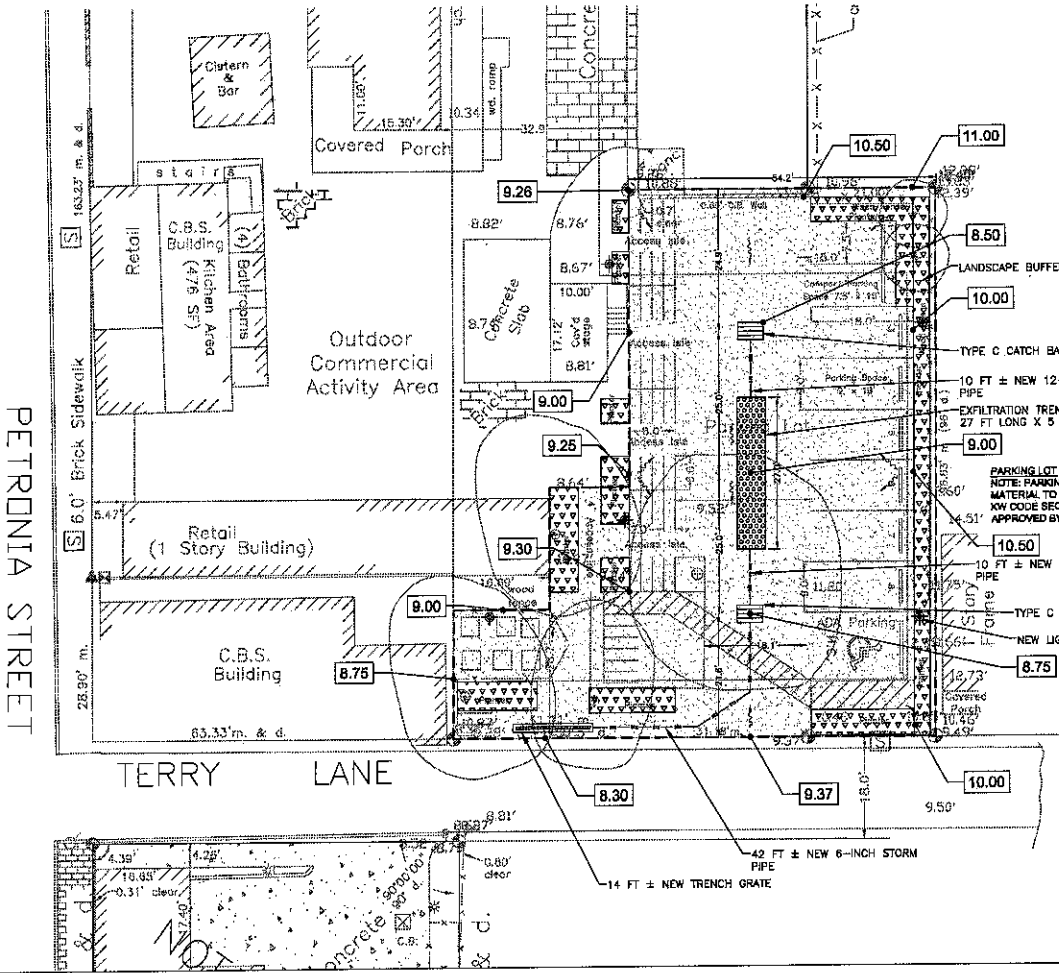


LIGHT POLE DETAIL
NTS

NOTES:
 1. CONTRACTOR SHALL INSTALL A HAND HOLE AT THE BASE OF EACH LIGHT POLE NOT LESS THAN 2-IN x 4-IN WITH A COVER SUITABLE FOR USE IN WET LOCATIONS.
 2. LIGHTS SHALL BE EQUIPPED WITH FLEURIS SHIELDS.
 3. ELECTRICAL SHALL PROVIDE THE ENGINEER WITH A SUBMITTAL FOR THE LIGHT POLE AND FIXTURES. THE LIGHT FIXTURE SHALL BE A METAL HALIDE 150 W.
 4. LIGHTS SHALL BE CONTROLLED BY A PHOTOCELL.
 5. LIGHTS AND LIGHT BASES SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.



BICYCLE/SCOOTER RACK DETAIL
NTS



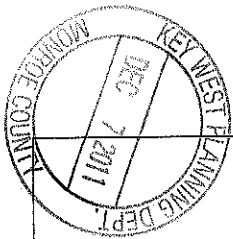
Historic Tours of Ancon
 201 Main Street, Suite 207
 Key West, Florida 33009
 ALPHACOUNTY.COM 305.241.2122
 305.241.2122

Richard J. Nolle
 PE 68815

BAHAMA MARKET VILLAGE
 WHITEHEAD AND PETRONIA
 KEY WEST, FLORIDA

Drawn By: RJK
 Checked By: EOC
 Project No: 1768
 Scale: AS NOTED
 HTA Assoc File No: 1768-C-1.0R

Sheet Number:
C-1.3
 Date: JUNE 22, 2011



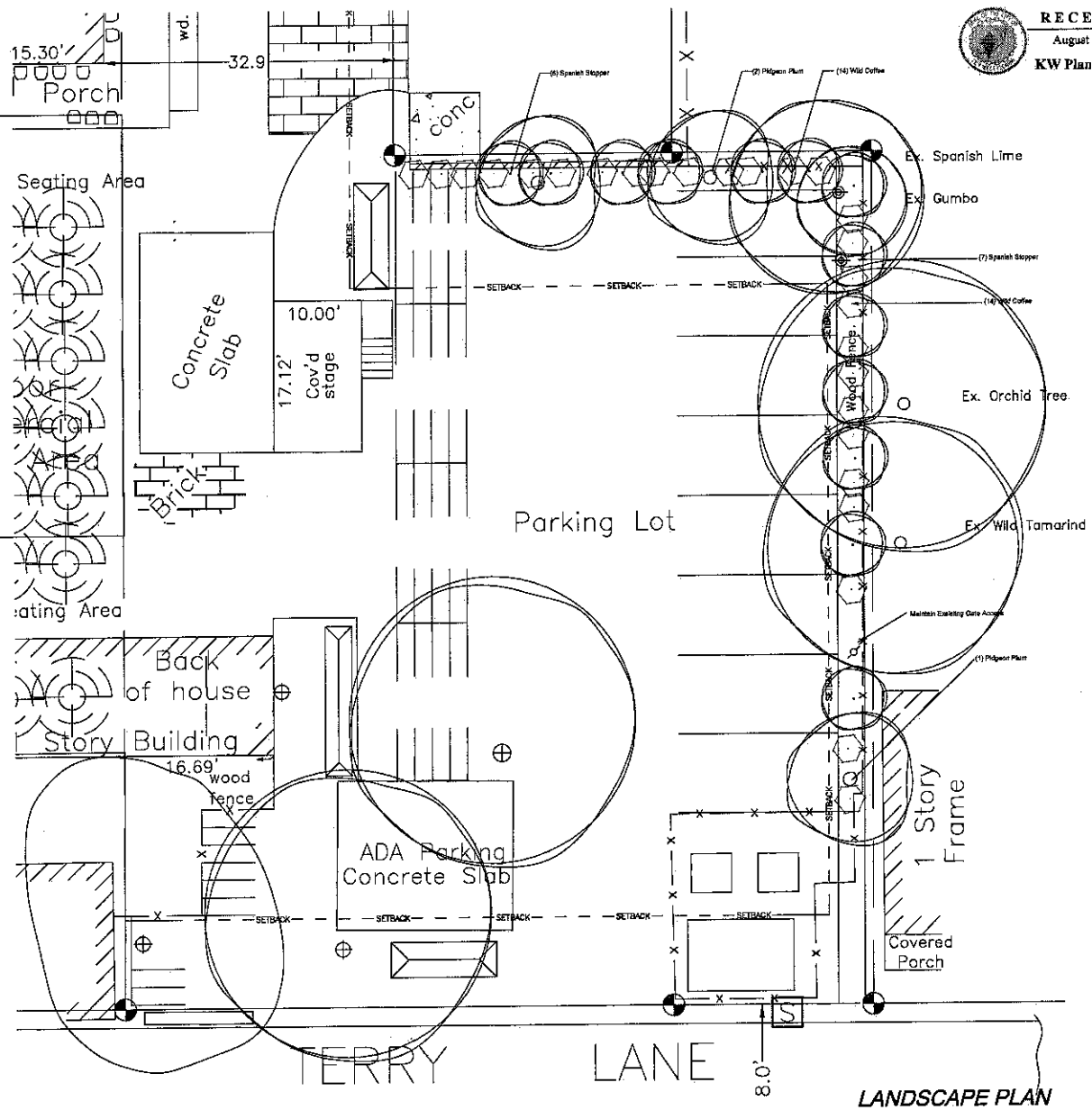
pink DC

RECEIVED
August 1, 2011
KW Planning Dpt

Architect/Engineer
Indigenous Design Group INC.
KEY WEST, FL. 33426-3436
License #
Title
Description
Bahama Village Market
Project Name
KEY WEST, FL. 33499
Project Number
000-0000
Plant Name
Property Number
000-0000
Sheet Title
LANDSCAPE PLAN
Sheet
LA1

Bahama Village Market
Pensacola St.
Key West FL 33490

| City | Item | Specifications |
|-------------------------|------------------------|-----------------------------------|
| TREES | | |
| 3 | Coccoloba diversifolia | Pigeon Plum 12" ph |
| 18 | Eugenia foetida | Spanish Blipper 5' @ PH. Standard |
| SHRUBS AND GROUNDCOVERS | | |
| 25 | Psychotria nervosa | Wild Coffee 3 gal. |



PLANTING NOTES

GENERAL:

- Contractor shall verify location of utilities, including trees and vegetation prior to commencement of the plant installation.
- Contractor shall verify the quality of the Landscape Designer's planting plans and trees in the field. Location of plant materials as shown on the planting plan are non-negotiable. **DISCREPANCY:**
- All trees and shrubs shall be of the size called for in the plant schedule, unless otherwise specified. Any plant materials not specified by the Landscape Designer and not meeting the size and quality as called for shall be removed from the site.
- Site Landscape specifications for the trees and shrubs shall be as specified in the Plant Schedule.
- All plant materials shall be planted in or better as indicated by the Landscape Designer, Division of Plant Industry, Florida Dept. of Agriculture and Consumer Services.
- All trees required to be planted as part of the contract shall be planted as specified. All trees are to be staked and guyed as indicated in the schedule. Stakeholders shall remove staking and guying from trees within the four month guarantee period.
- Stakeholders shall ensure that all stakeholder trees are planted in or better as specified in the Plant Schedule.
- Water all plant materials immediately after planting.
- If available after the start and schedule, the contractor shall provide the contractor with the schedule of the site of planting to the Landscape Designer.
- All plant materials shall be provided by the contractor and shall be delivered to the site of planting by the contractor.
- All plant materials shall be provided by the contractor and shall be delivered to the site of planting by the contractor.
- The contractor shall provide the Landscape Designer with any drawings.
- Any drawings to be submitted by the contractor shall be submitted to the Landscape Designer for review and approval.
- Any drawings to be submitted by the contractor shall be submitted to the Landscape Designer for review and approval.

REMARKS:

Contractor shall research and verify the location of utilities and obstructions before commencing work. Contractor shall ensure that before the construction work that all necessary permits have been obtained.

DISCLAIMER:

Any discrepancies between the drawings and specifications shall be brought to the attention of the owner at the time of bid.

INSTALLATION:

All plant installations shall be done with the same care and attention as that which is required for any other type of work.

CONTRACTOR'S OBLIGATION:

All landscape materials shall be healthy, vigorous, well-rooted plants, and established in the container so that the root mass will retain the shape and hold together when removed from the container.

NOTE:

The contractor shall be responsible for the grading of the site. This includes the location of the landscape materials. The site shall be brought within 1" of final grade so that the landscape contractor will be able to perform the final grading. All landscape materials shall be installed within 14 days of the final grading.

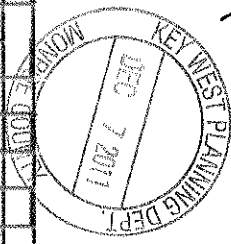
BACKSPLASH:

Plant by trees shall include good soil complete with organic matter. There shall be no construction debris, rocks larger than 1" within the root zone. Soil within planting area shall be compacted. All compacted backfill shall appear to be received from all landscape areas.

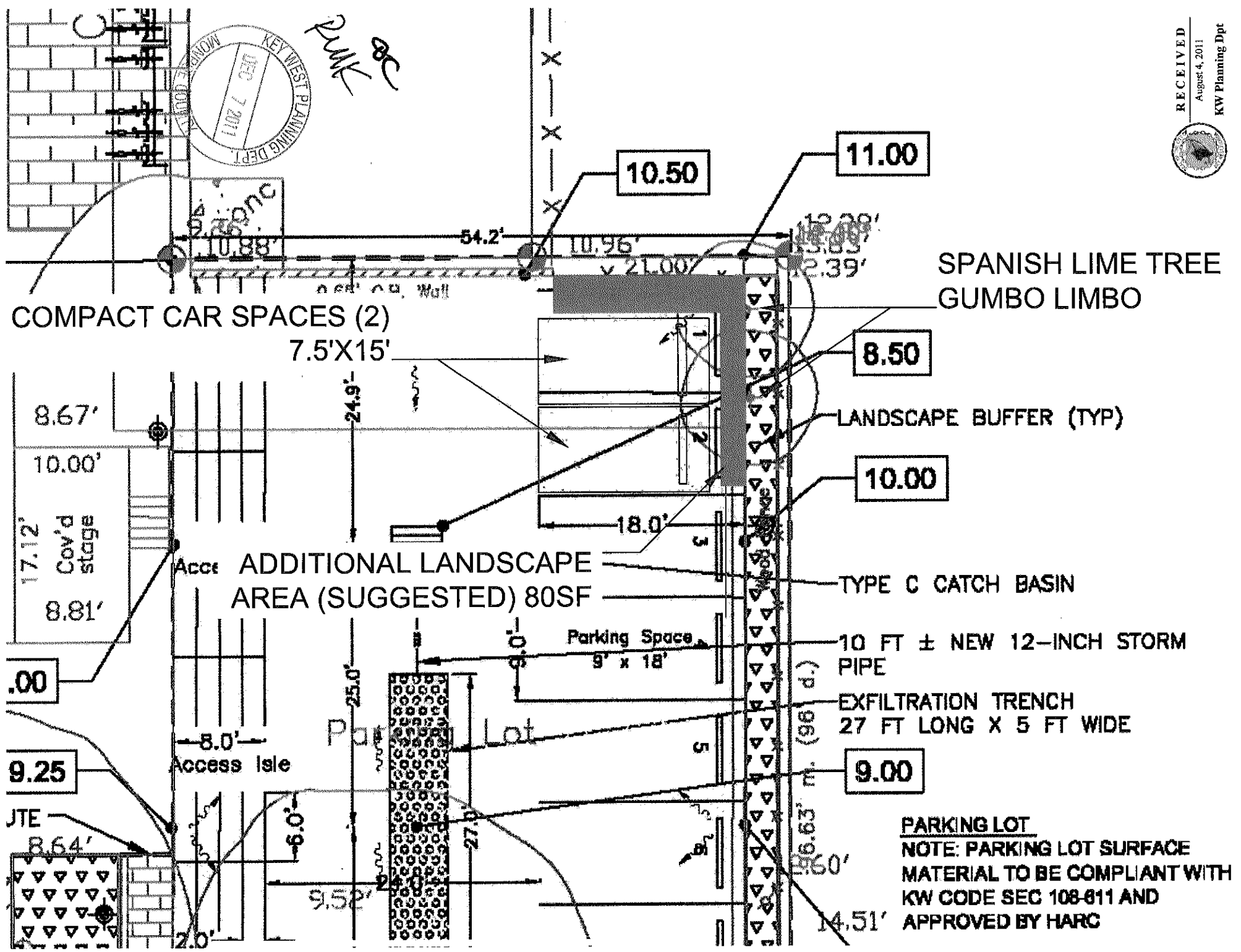
LANDSCAPE PLAN



1" = 10'-0"



RMK DC



PARKING LOT
 NOTE: PARKING LOT SURFACE
 MATERIAL TO BE COMPLIANT WITH
 KW CODE SEC 108-811 AND
 APPROVED BY HARC

House Bill 503 and 7023 Extensions



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

October 31, 2014

Owen Trepanier
Trepanier & Associates
PO Box 2155
Key West, FL 33045

**RE: House Bill 7023 / Development Order Extension Notification
Bahama Village Market, 802-806 Whitehead Street (RE# 00014010-000100, AK# 1014401)
Planning Board Resolution 2011-059**

Dear Mr. Trepanier,

This letter is in response to the notification of your intent to extend Planning Board Resolution 2011-059 that was previously extended for two years in accordance with House Bill 503 on November 30, 2012. Your request for development order extension for an additional two years per House Bill 7023 was received by the Planning Department on September 15, 2014, in a timely manner and therefore appears to be eligible for the extension.

For your records, this letter recognizes that notification to the city has been made and received and that the date of expiration for Planning Board Resolution 2011-059 is understood to be extended for an additional two years for a combined total of four years until the effective date of January 1, 2016 pursuant to House Bill 7023.

Please contact me directly should you have any questions. Thank you.

Respectfully,

A handwritten signature in black ink, appearing to read "Carlene Smith".

Carlene Smith, LEED Green Associate
Planner II

Enclosures: Applicant Request
Extension Documentation
HB 7023

cc: Donald Leland Craig, AICP, Planning Director
Larry Erskine, Chief Assistant City Attorney
Ron Wampler, Building Official
Carolyn Walker, Licensing Official



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

February 12, 2013

VIA ELECTRONIC MAIL

Owen Trepanier
Trepanier & Associates
402 Appelrouth Lane
Key West 33040

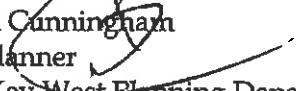
Dear Mr. Trepanier,

This letter is sent in reply to your request for recognition of your outstanding development orders. Your requests for extending the following approvals were received in a timely manner and are thus extended according to House Bill 503 to the appropriate dates:

1. Resolution 2006-212
2. Resolution 2006-295
3. Resolution 2008-131
4. Resolution 2011-059

These approvals have been the subject of previous extensions, please see attached. If there are any questions or concerns, please contact me directly.

Respectfully,


Brendon Cunningham
Senior Planner
City of Key West Planning Department
3140 Flagler Avenue
Key West 33040

Direct 305.809.3724
Main 305.809.3720
Fax 305.809.3978

**Minor Modification of
Conditional Use Request**

2/17/15

Ms. Carlene Smith, Planner II
City of Key West
Via Email - cesmith@cityofkeywest-fl.gov



RE: Res. No. 2011-059 – Minor Modification
802-806 Whitehead St. (RE No. 00014010-000100 & 00014020-000000)
318-324 Petronia St. (RE No. 00014010-000000)
809-811 Terry Ln. (RE No. 00014050-000100 & 00014060-000000)

Dear Carlene:

Thank you for meeting with us to discuss this project.

We are attempting to modify the site plan layout associated with the approved restaurant use in Res. No. 2011-059¹.

The approved site plan² concentrated the restaurant seating in the outdoor rear of the property closest to the residential neighborhood. We propose to move the majority of that area forward towards the more commercialized corner of Petronia and Whitehead³ and to the interior of the existing mixed use building at 804 Whitehead. The result is a small reduction in outdoor consumption area and what remains will be moved away from the adjacent residential neighborhood. We propose no changes to any conditions of approval.

Changes to consumption area are proposed as follows:

| Consumption Area | Indoor | Outdoor | Total |
|------------------|---------------|---------------|---------------|
| Existing | 1,241 sq. ft. | 4,595 sq. ft. | 5,836 sq. ft. |
| Proposed | 1,317 sq. ft. | 4,519 sq. ft. | 5,836 sq. ft. |
| Change | +76 sq. ft. | - 76 sq. ft. | No Change |

According to Sec. 108-91.C.2(e)⁴ Minor Modifications. “change in use resulting in less than 1,000 square feet of impervious surface area on the entire site” is a minor modification. We are proposing to change the use as described above with no change to impervious surface.

Sec. 108-91 requires such modifications to be “approved by the city planner, city engineer and planning board chairperson and reported to the planning board at a regularly scheduled meeting”.

Based on the above information and the attached exhibits, we respectfully request a minor modification to the site plan associated with Res. 2011-059 as depicted in Exhibit B.

¹ Exhibit A

² Exhibit A

³ Exhibit B

⁴ **108-91.C.2. Minor Modifications.** The following and similar modifications must be approved by the city planner, city engineer and planning board chairperson and reported to the planning board at a regularly scheduled meeting:

(e) Any use, except single-family dwelling units and accessory structures thereto, or change in use resulting in less than 1,000 square feet of impervious surface area on the entire site.

February 17, 2015
Page 2 of 2

Sincerely,

A handwritten signature in cursive script, appearing to read "Lori Thompson", written in black ink.

Lori Thompson

Cc: Kevin Bond, AICP, Acting City Planner
James Bouquet, PE, City Engineer
Richard Klitenick, Esq., Planning Board Chair

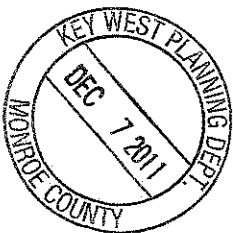
**PLANNING BOARD RESOLUTION
NUMBER 2011-059**

A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING A CONDITIONAL USE APPROVAL PER SECTION 122-62 AND 122-63 OF THE CODE OF ORDINANCES FOR A RESTAURANT WITH 150 SEATS MAXIMUM TO BE LOCATED AT 802 - 806 WHITEHEAD STREET (RE# 00014010-000100 AND 00014020-000000) AND 318 - 324 PETRONIA STREET (RE# 00014010-000000) AND 809 - 811 TERRY LANE (RE# 00014050-000000, 00014060-000000) IN THE HISTORIC NEIGHBORHOOD COMMERCIAL-BAHAMA VILLAGE COMMERCIAL CORE (HNC-3) ZONING DISTRICT, PURSUANT TO SECTION 122-868(9) OF THE CODE OF ORDINANCES, KEY WEST FLORIDA; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the subject property is located in the Historic Neighborhood Commercial-Bahama Village Commercial Core (HNC-3) zoning district; and

WHEREAS, Section 122-868(9) of the Code of Ordinances provides that restaurants are allowed as a conditional use within the Historic Neighborhood Commercial- Bahama Village Commercial Core (HNC-3) zoning district; and

WHEREAS, Section 122-61 of the Code of Ordinances allows applicants to request a conditional use approval; and




Chairman

Planning Director

WHEREAS, the applicant filed a conditional use application for a restaurant not to exceed maximum of 150 seats, with 6,637 square feet of flexible indoor/outdoor consumption area at 802 - 806 Whitehead Street (RE# 00014010-000100 and 00014020-000000) and 318 - 324 Petronia Street (RE# 00014010-000000); and

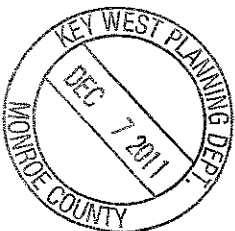
WHEREAS, the associated with the Conditional Use request, the applicant is required to bring the parking lot located at 809 - 811 Terry Lane (RE# 00014050-000000 and 00014060-000000) into compliance with dimensional requirements, landscaping and drainage; and



WHEREAS, the parking lot shall be reconfigured to include two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter/bicycle spaces on the lot; and

WHEREAS, Section 122-62 outlines the criteria for reviewing a conditional use application by the Planning Board; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on November 17, 2011; and

WHEREAS, the Planning Board found that the proposed use complies with the criteria in Section 122-62; and



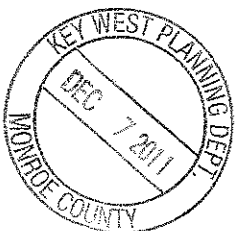
 Chairman
 Planning Director

WHEREAS, the approval of the conditional use application will be in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and


NOW THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as fully set forth herein.

Section 2. That the request for a Conditional Use approval per Section 122-62 and 122-63 of the Code of Ordinances for a restaurant for up to 150 seats maximum and 6,637 square feet of flexible consumption area to be located at 802 - 806 Whitehead Street (RE# 00014010-000100 and 00014020-000000) and 318 - 324 Petronia Street (RE# 00014010-000000) and the reconfiguration of the parking lot at 809 - 811 Terry Lane (RE# 00014050-000000 and 00014060-000000) to meet Code requirements, landscaping and drainage, and to accommodate two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) scooter/bicycle parking spaces for property located in the Historic Neighborhood Commercial- Bahama Village Commercial Core (HNC-3) zoning district, pursuant to section 122-868(9) of the Code of Ordinances, Key West, Florida; providing for an effective date, as shown in the attached site plans dated November 1, 2011 with the following conditions:

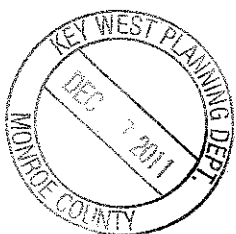


 Chairman

 Planning Director

Conditions subject to a Conditional Approval Permit, per Ordinance 10-22. Conditions subject to an associated annual inspection:

1. Approval is limited to no more than 150 seats. At no time does the request for 6,637 square feet of consumption area allow the applicant to increase seating on the site without conditional use review.
2. The parking lot shall be reconfigured and maintained to include two (2) compact car spaces in order to protect the root system of large trees on the site, six (6) standard vehicular spaces, one (1) handicap space, and forty (40) bicycle/scooter spaces on the lot.
3. The waste and recycling handling shall be screened from adjacent properties and public rights-of-way by appropriate fences, walls or landscaping in accordance with Code Section 108-279, and the area shall be enclosed on all four sides with a roof and doors for access.
4. The applicant will install and maintain a programmable distributive sound system to assure compliance with the "unreasonable noise" definition of Section 26-191 of the Code of Ordinances, and shall include a computerized sound monitoring system with real time monitoring access is provided to the City. The applicant expressly agrees to provide the City's agents unfettered access to the computer-generated reports and full, real-time web-based access to the digital monitoring of on-site acoustics for the purpose of assuring compliance with the conditions contained herein.



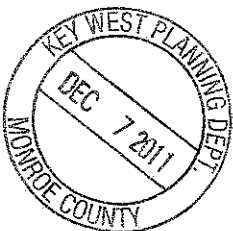
 Chairman
 Planning Director

Conditions required prior to the issuance of a Certificate of Occupancy:

5. Completion of all improvements as depicted on the site plan.
6. The applicant will install and maintain a programmable distributive sound system to assure compliance with the “unreasonable noise” definition of Section 26-191 of the Code of Ordinances, and shall include a computerized sound monitoring system with real time monitoring access is provided to the City.
7. The applicant shall revise and resubmit a signed and sealed Landscape Plan that reflects the modified site plan dated November 1, 2011 and Civil Plan Dated November 9, 2011.

General conditions:

8. No outdoor music of any kind is allowed after the hours of 10pm unless approved under a special event permit per Section 6-86 of the City Code or for a special city-sanctioned event within the Petronia Street Commercial Corridor. Amplified music will be regulated by the “unreasonable noise” definition of Section 26-191 of the Code of Ordinances.
9. Recycling of applicable materials is required.
10. Hours of operation are limited from 9am to 11pm daily accept during special city sanctioned events such as Fantasy Fest and Goombay.
11. Service vehicles are prohibited from using Petronia Street and Terry Lane and the Terry Lane parking lot for deliveries.
12. All waste pickup shall be daily via Whitehead Street.





 Chairman
 Planning Director

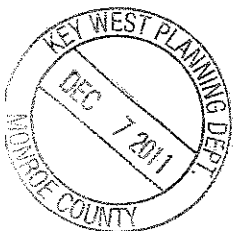
13. In an effort to increase employment opportunities for residents of the Bahama Village Community Redevelopment Area (“BVCRA”) the restaurant operator will make a good faith effort to employ a minimum of 25% of the restaurant workforce from qualified residents of the BVCRA.

“Good faith effort” means all employment opportunities will be advertised and posted in places frequented by residents of the BVCRA, such as the District 6 Commissioner's office, the Douglas Community Center, the Nutrition Center, the Martin Luther King swimming pool, neighborhood churches, neighborhood fraternal organizations, grocery stores, etc.

In the event the property owner is not the operator of the restaurant, the restaurant operator shall submit to the property owner proof of compliance with the employment requirement, on a quarterly basis. The property owner shall, in turn, provide the proof of compliance to the City of Key West, upon request. If the property owner operates the restaurant, in the event that this requirement is not complied with for any reason, the property owner shall tender to the BVCRA the amount of \$750 for each month the requirement is not met to be used to further employment programs within the Bahama Village Community.

In the event the property owner is not the operator of the restaurant, any lease, management agreement, or other document utilized to transfer operation of the restaurant shall include the provisions above along with a provision that the operator's rent will increase in the amount of \$750.00 per month for each month the

 Chairman
 Planning Director



requirement is not met. The property owner will in turn pay this increased amount to the BVCRA to be used to further employment programs within the Bahama Village Community Redevelopment Area. The property owner's failure to insist upon, collect, and transfer the increased amount to the City of Key West shall constitute a breach of this condition.

This requirement shall run with the conditional use and remain in place from owner to owner, Lessee to Lessee and Lessor to Lessor.

Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This conditional use approval does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has

 Chairman
 Planning Director

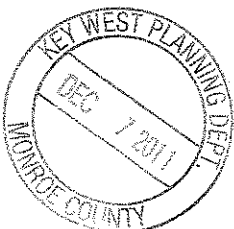


Exhibit A

expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Page 8 of 9
Resolution Number 2011 - 059



RWK Chairman

de Planning Director

Read and passed on first reading at a regular meeting held this 17th day of November, 2011.

Authenticated by the Chairman of the Planning Board and the Planning Director.

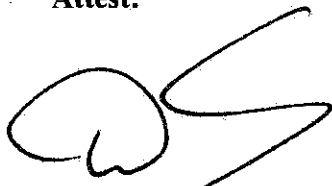


Richard Klitenick, Chairman
Key West Planning Board

12/7/2011

Date

Attest:

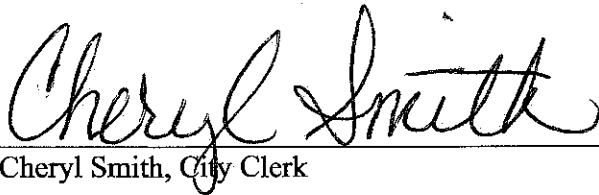


Donald Leland Craig, AICP
Planning Director

12/7/11

Date

Filed with the Clerk:



Cheryl Smith, City Clerk

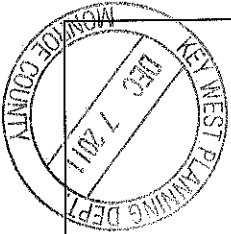
12-7-11

Date

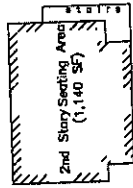


 Chairman
 Planning Director

Ruk R



SECOND FLOOR
SCALE: 1"=30'

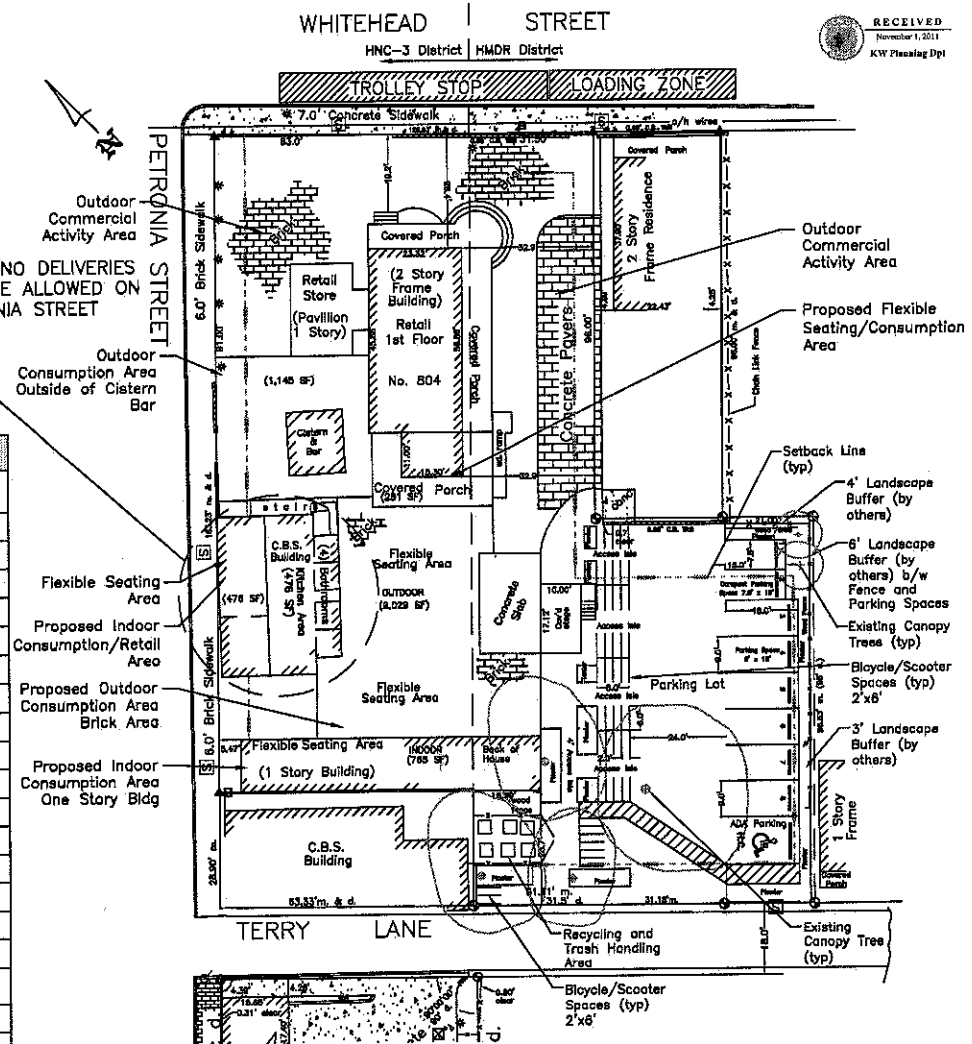


INDEX OF DRAWINGS

| | |
|-------|---|
| C-1.0 | SITE AND FLOOR PLAN |
| C-1.1 | PREVIOUS CONSUMPTION AREAS |
| C-1.2 | PROPOSED AND PREVIOUS CONSUMPTION AREAS |
| C-1.3 | PARKING LOT PLAN |

| SITE DATA | | | | |
|------------------------------|--|-----------------|--------------------|------------|
| RE Numbers | 00014060-000000; 00014050-000000; 00014020-000000; 00014010-000000; 00014010-000100 | | | |
| Zoning Designation | HMDR (11,154 sq. ft.) and HNC-3 (10,366 sq. ft.) | | | |
| Flood Zone | ZONE X MAP 12087C-1516K | | | |
| Issue | Existing | Proposed | Required/Permitted | Complies |
| Zoning | HMDR and HNC-3 | No Change | No Change | Complies |
| Site Size (sq. ft.) | 21,520 | No Change | 4,000 | Complies |
| Building Coverage (sq. ft.) | 4,877 | No Change | 8,608 (40%) | Complies |
| Impervious Surface (sq. ft.) | 20,616 (95.8%) | No Change | 12,912 (60%) | Complies 1 |
| Open Space Ratio (sq. ft.) | 904 (4.2%) ² | No Change | 4,304 (20%) | Complies |
| FAR | 0.26 | No Change | 1.0 | Complies |
| Retail Space (sq. ft.) | 5,595 | 2,553 | 15,943 | Complies |
| Consumption Area | | | | |
| Indoor (sq. ft.) | | 1,241 | | Complies |
| Outdoor (sq. ft.) | 2,285 | 4,595 | | Complies |
| Restaurant Seats | 45 | 165 | | Complies |
| Parking Spaces | 17 | 19 ³ | 17 | Complies |
| Scooter/Bicycle | | 40 | | |
| Residential Units | 3-Studios | 3-Studios | 10 | Complies |
| Setbacks | | | | |
| Front | 18'-2"10'-0" | 18'-2"10'-0" | 0'-0"11'-0'-0" | Complies |
| Side | 5'-0"7'-5'-0" | 16'-9"14'-0" | 7'-6"7'-5'-0" | Complies |
| Rear | 28'-9' | 28'-9' | 15'-0" | Complies |

- Existing nonconformity
- Site area less building coverage, pavers, concrete and parking areas
- Proposed is based on 9 car parking spaces and 40 scooter spaces.
- The City of Key West recognizes ten RCGO-exempt dwelling units, per City Planner's Staff report dated 11/27/05.
- HNC-3 is the first number and HMDR is the second
- HMDR Zoning only



SITE AND FLOOR PLAN
SCALE: 1"=30'

LEGEND

| | |
|-----|------------------------------------|
| [S] | EXISTING SEWER CLEANOUT (TYP OF 5) |
|-----|------------------------------------|

NOTE: THE SITE DOES NOT HAVE AN EXISTING STORMWATER MANAGEMENT SYSTEM OR A GREASE TRAP



Florida: Tours of America
301 Ford Blvd, Suite 202
Key West, Florida 33408
RECEIVED 11/01/11
KW Planning Dept

BAHAMA VILLAGE
MARKET
WHITEHEAD AND PETRONIA
KEY WEST, FLORIDA

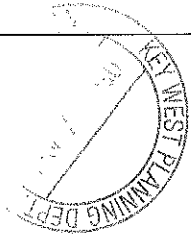
Drawn By: RUK
Project No: 11040
Scale: AS NOTED
Checked By: P.38
Date: 11/27/11
AS NOTED

Print Date: November 1, 2011

SITE AND FLOOR PLAN

Sheet Number: C-1.0
Date: JANUARY 26, 2012

RUK
OL



LEGEND

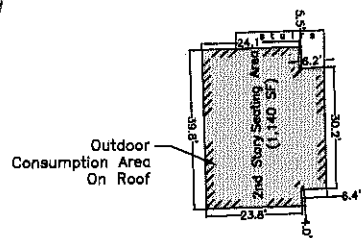
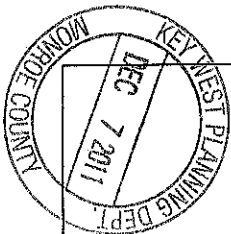
 CONSUMPTION AREA

CONSUMPTION AREAS:
 PREVIOUS (ROOF DECK AND CISTERN BAR): 2,285 SF
 PROPOSED:
 COVERED PORCH: 281 SF
 OUTDOOR BRICK AREA: 2,029 SF
 INDOOR ONE-STORY BLDG: 765 SF
 INDOOR TWO-STORY BLDG: 476 SF
 TOTAL PREVIOUS AND PROPOSED: 5,836 SF

BAHAMA VILLAGE MARKET
PROPOSED CONSUMPTION AREAS

SCALE: 1"=30' (11x17 paper)

RWK



SECOND FLOOR

SCALE: 1"=30'

LEGEND



CONSUMPTION AREA

CONSUMPTION AREAS:

PREVIOUS (ROOF DECK AND CISTERN BAR): 2,285 SF

PROPOSED:

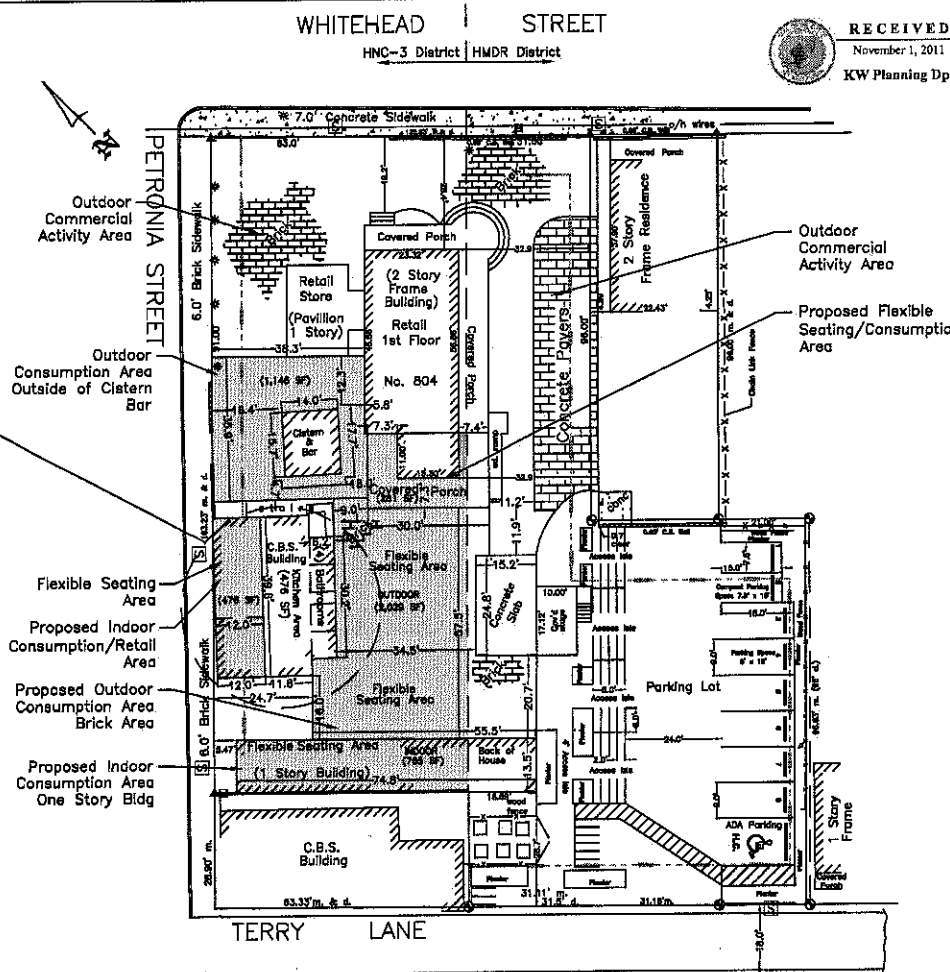
COVERED PORCH: 281 SF

OUTDOOR BRICK AREA: 2,029 SF

INDOOR ONE-STORY BLDG: 765 SF

INDOOR TWO-STORY BLDG: 476 SF

TOTAL PREVIOUS AND PROPOSED: 5,836 SF



PROPOSED CONSUMPTION AREAS

SCALE: 1"=30'



Historic Tours of America
201 Front Street, Suite 207
Key West, Florida 33404
AUTHORIZING AGENCY: 305-236-0000
305-236-0000 for 200-8677

Seal:

General Notes:

BAHAMA VILLAGE MARKET
WHITEHEAD AND PETRONIA
KEY WEST, FLORIDA

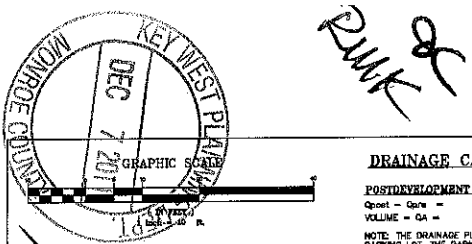
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Project No: 100000
Checked By: RSK
Scale: AS NOTED

File Date: November 1, 2011

Title: PROPOSED AND PREVIOUS CONSUMPTION AREAS

Sheet Number: **C-1.2**

Date: JANUARY 21, 2010



DRAINAGE CALCULATIONS

POSTDEVELOPMENT - PREDEVELOPMENT
 Post - Ga = 0 in.
 Pre - Ga = 0 in.
 Volume - Ga = 0

NOTE: THE DRAINAGE PLAN AND CALCULATIONS ARE ONLY FOR THE PARKING LOT. THE PARKING LOT IS EXISTING AND CONSIDERED IMPERVIOUS. THEREFORE, THE POSTDEVELOPMENT AND PREDEVELOPMENT WATER QUANTITY AMOUNTS ARE THE SAME. WATER QUALITY GOVERNS THE DESIGN.

WATER QUALITY
 PROJECT AREA = 0.142 Ac
 PERVIOUS = 0.017 Ac
 IMPERVIOUS = 0.125 Ac

A) ONE INCH OF RUNOFF FROM DRAINAGE BASIN = 0.142 Ac-in
 IMPERVIOUS AREA = 0.125 Ac.
 X IMPERVIOUS = 88.0%
 B) 2.5 INCHES TIMES PERCENT IMPERVIOUS = 0.31 Ac-in

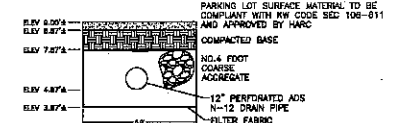
EXFILTRATION TRENCH PROVIDED
 TRENCH LENGTH = 27 FT
 EXFILTRATION TRENCH VOLUME CALCULATED USING SPWM EQUATION (PG 7-10 OF THE ERP INFORMATION MANUAL)
 VARIABLES: K=0.001; H=7; W=3; D=6; S=0
 VOLUME = 0.31 Ac-in

LANDSCAPE BUFFER
 PARKING LOT AREA = 0.142 AC = 6,200 SF
 BUFFER REQUIRED = 6,200 * 10% = 620 SF
 BUFFER PROVIDED = 766 SF

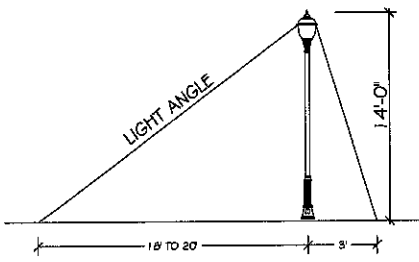
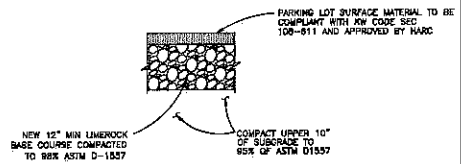


LEGEND

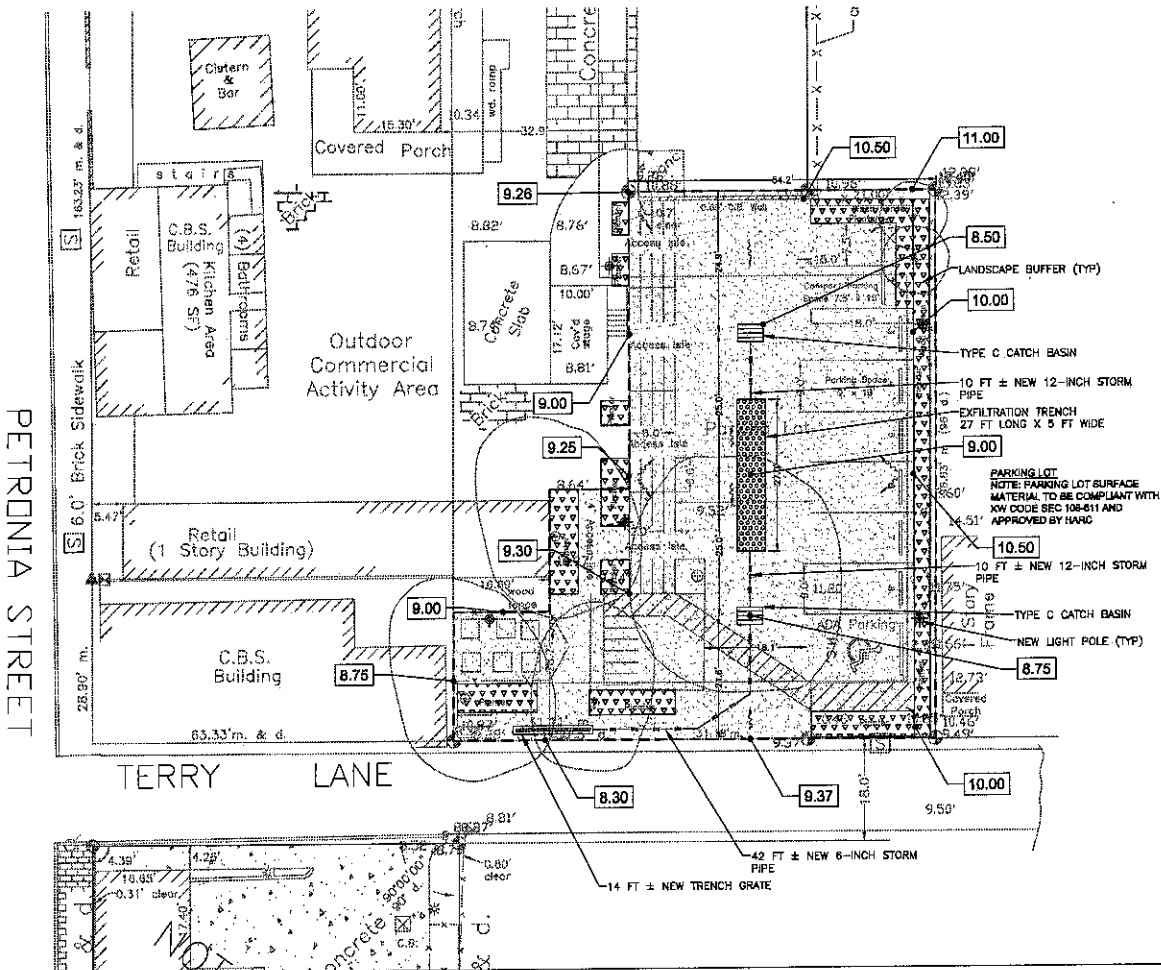
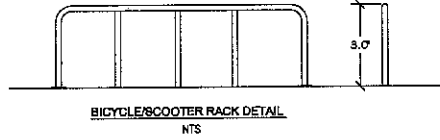
- DRAINAGE FLOW
- 9.26 PROPOSED ELEVATION
- 8.82' EXISTING ELEVATION
- NEW LIGHT POLE
- NEW PARKING LOT SURFACE MATERIAL TO BE COMPLIANT WITH KW CODE SEC 108-611 AND APPROVED BY HARC
- LANDSCAPE AREA



NOTES:
 1. FILTER FABRIC SHALL BE MARFIL FILTERMESH 300 OR ENGINEER APPROVED EQUIVALENT. FILTER FABRIC SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.



NOTES:
 1. CONTRACTOR SHALL INSTALL A HAND HOLE AT THE BASE OF EACH LIGHT POLE NOT LESS THAN 2-IN x 4-INCH WITH A COVER SUITABLE FOR USE IN WET LOCATIONS.
 2. LIGHTS SHALL BE EQUIPPED WITH REFRIG. SHIELDS.
 3. ELECTRICAL SHALL PROVIDE THE ENGINEER WITH A SUBMITTAL FOR THE LIGHT POLE AND FIXTURES. THE LIGHT FIXTURE SHALL BE A METAL HALIDE 150 W.
 4. LIGHTS SHALL BE CONTROLLED BY A PHOTOCELL.
 5. LIGHTS AND LIGHT BASES SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.



Historic Tours of America
 201 Main Street, Suite 207
 Key West, Florida 33009
 ALPHABETICALLY 272122
 304.233.5197 ext. 407

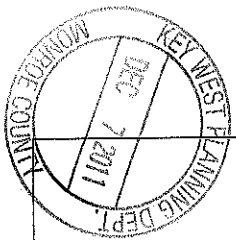
Richard J. Nobile
 PE 688315

BAHAMA MARKET VILLAGE
 WHITEHEAD AND PETRONIA
 KEY WEST, FLORIDA

Drawn By: RJK
 Checked By: EOC
 Project No: 1768
 Date: AS NOTED
 HTA Association File No: 1768-C-1.0R

| DATE | REVISION |
|------|----------|
| | |
| | |
| | |

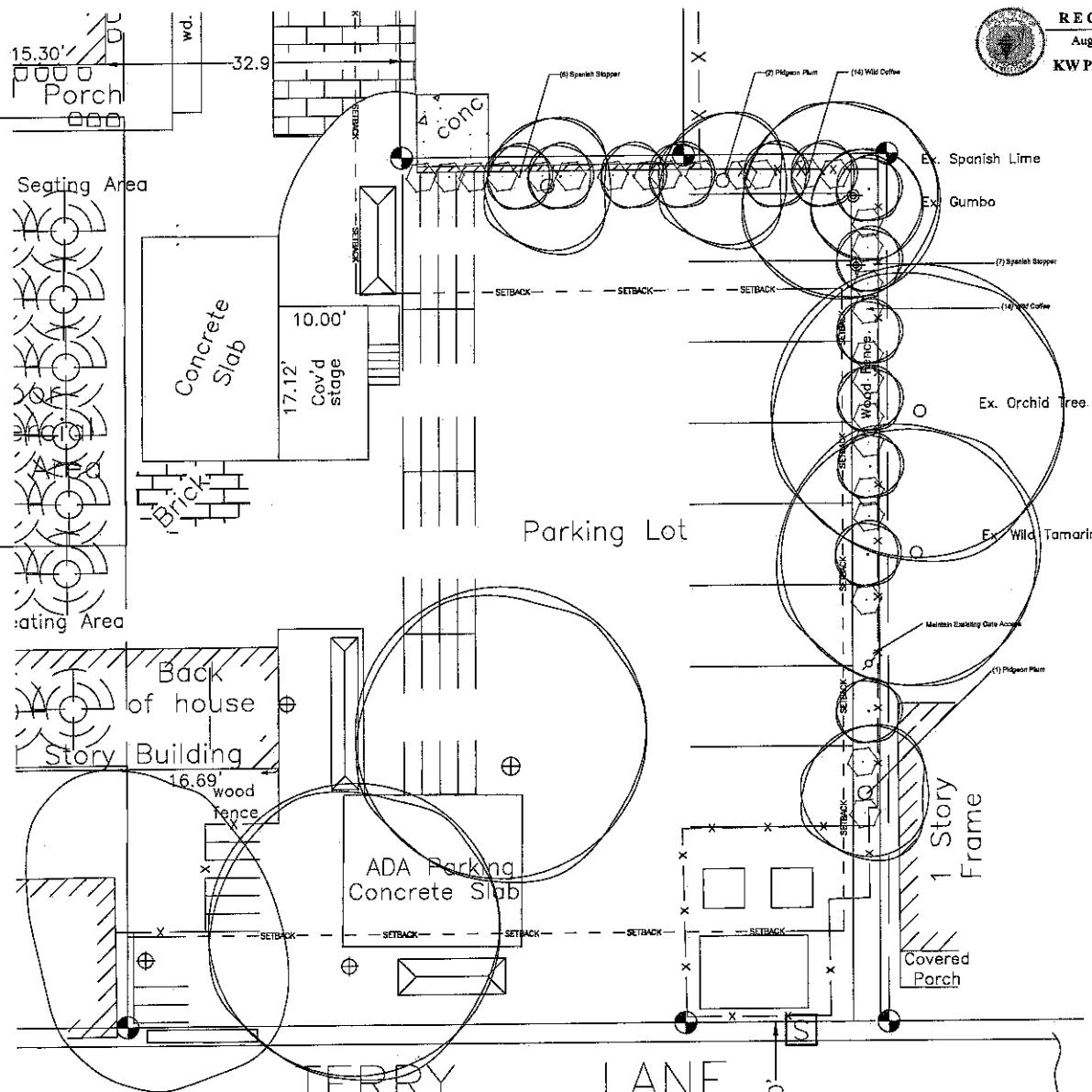
PARKING LOT PLAN
 Sheet Number: **C-1.3**
 Date: JUNE 22, 2011



pink dc

Bahama Village Market
Pensacola St.
Key West FL 33940

| City | Item | Specifications |
|-------------------------|------------------------|--------------------------------|
| TREES | | |
| 3 | Coccoloba diversifolia | Pigeon Plum 12" pH |
| 13 | Eugenia foetida | Spanish Blipper 6" PH Standard |
| SHRUBS AND GROUNDCOVERS | | |
| 25 | Pyrostachya nervosa | Wild Coffee 3 gal. |



RECEIVED
August 1, 2011
KW Planning Dept



Indigenous Design Group INC.
KEY WEST, FL 33025-3436

License #

Blank

Description: Bahama Village Market
Project Name: Bahama Village Market
Address: Pensacola St., Key West, FL 33940

Parking Area Improvement Plan

| | |
|-----------------|----------|
| Project Number | 009-0090 |
| Plant Name | |
| Property Number | 009-0090 |
| Sheet Title | |

LANDSCAPE PLAN

Sheet: LA1

PLANTING NOTES

GENERAL:

- Contractor shall verify location of utilities, including trees and vegetation prior to commencement of the plant installation.
- Contractor shall verify the quality of the Landscape Designer's planting plans and trees in the field. Location of plant material on the planting plan may vary slightly.
- All trees and shrubs shall be of the size called for in the planting plan unless otherwise specified by the Landscape Designer. If the contractor determines that a tree or shrub should be removed from the site.
- Site Landscape specification for the trees and shrubs shall be as indicated on the drawing.
- All trees and shrubs shall be the types in or better as indicated by the Landscape Designer, Division of Plant Industry, Florida Dept. of Agriculture and Consumer Services.
- All trees to be planted as part of the contract shall be staked and all shrubs as indicated on the drawing. Staked trees shall be staked and guyed from trees within the four month plantable period.
- Minimum diameter shall be a 2 1/2" with maximum slope of maximum health or all approved substitutes as specified on the drawing.
- Water all plant material thoroughly after planting.
- If available after the time and schedule, those on the schedule shall govern. The contractor shall provide the contractor with the necessary information and report discrepancies at the time of planting to the Landscape Designer.
- All plants shall be planted in accordance with the specifications and approved on-site by the Landscape Designer.
- All plant material shall be purchased from a nursery that is licensed under the rules of the State of Florida.
- The contractor shall provide the Landscape Designer with any drawings.
- Itigation to be accompanied by the use of an appropriate irrigation system that shall include water conservation through the use of a drip or subsurface irrigation system for all planting operations. (Specify as needed).

REMARKS:
Contractor shall research and note to determine ground location of utilities and obstructions before commencing work. Contractor shall ensure that before the necessary work that all necessary permits have been obtained.

DISCLAIMER:
Any discrepancy between the drawings and specifications shall be brought to the attention of the owner at the time of bid.

INSTALLATION:
All plant installations shall be done with the same size and species of the plant that was specified. Any substitutions made for any reason must be approved by the owner.

CONTAINER ORIGIN MATERIALS:
All container grown material shall be healthy vigorous, well rooted plants, and established in the container so that the root mass will retain the shape and hold together when removed from the container.

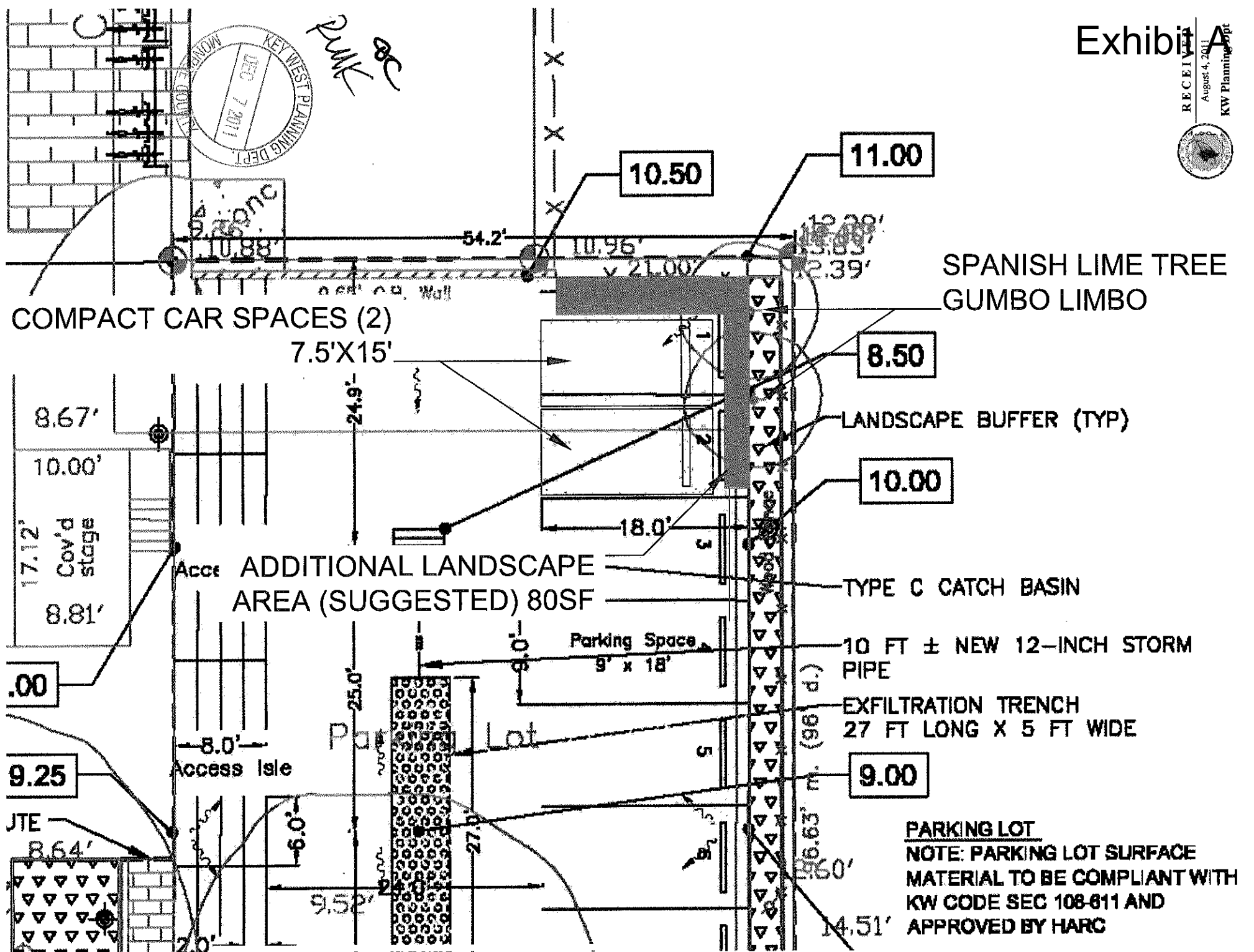
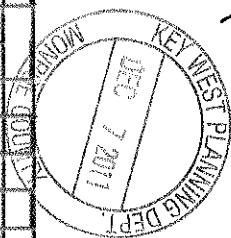
RISK CRACKS:
The Landscape Designer shall be responsible for the grading of the site. This means that prior to the installation of landscape material, the site shall be brought within 1" of final grade so that the landscape contractor will be able to perform the final grading. All landscape plants and shrubs are to be low ground.

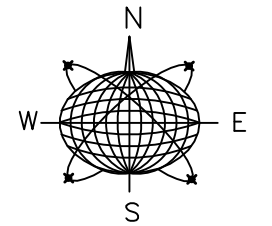
BACKFILLING AND SOIL:
Plan by trees shall include good soil complete with organic matter. There shall be no construction debris, rocks larger than 1" within the root zone. Soil in the planting areas shall be compacted. All compacted backfill shall appear to be received from all landscape uses.



LANDSCAPE PLAN

1" = 12'-0"





Meridian Engineering LLC
 201 Front Street, Suite 210
 Key West, Florida 33040
 AUTHORIZATION # 29401
 ph:305-293-3263 fax:293-4899

Seal:

NOT VALID FOR CONSTRUCTION UNLESS
 SIGNED AND SEALED IN THIS BLOCK

RICHARD J. MILELLI
 PE #58315

BAHAMA VILLAGE

MARKET
 WHITEHEAD & PETRONIA
 KEY WEST, FLORIDA

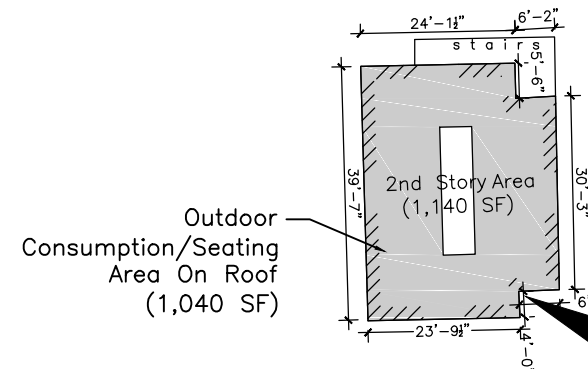
Drawn By: PCS Checked By: RJM

Revisions:

Title:
 PROPOSED
 AND PREVIOUS
 CONSUMPTION
 AREAS

Sheet Number:
C-1.3

Date: FEBRUARY 9, 2015

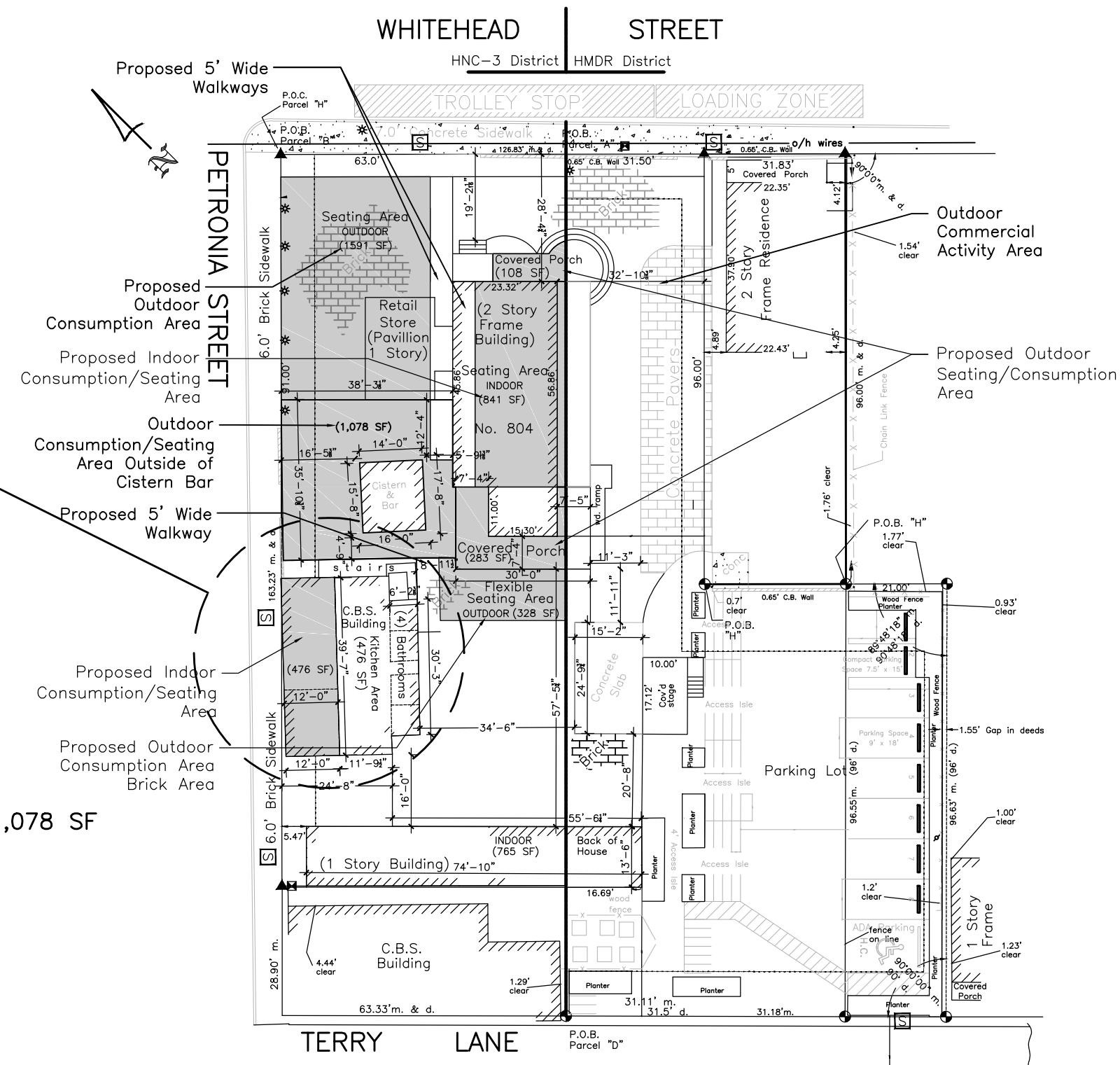


SECOND FLOOR
 SCALE: 1"=30'

LEGEND



- CONSUMPTION AREAS:**
 PREVIOUS (FRONT OUTDOOR AREA AND CISTERN BAR): 1,078 SF
PROPOSED:
 COVERED PORCHES: 482 SF
 OUTDOOR REAR BRICK AREA: 328 SF
 INDOOR FIRST FLOOR 2-STORY BLDG: 841 SF
 OUTDOOR FRONT BRICK AREA: 1,591 SF
 OUTDOOR TWO-STORY BLDG.: 1,040 SF
 INDOOR TWO-STORY BLDG: 476 SF
 TOTAL PREVIOUS AND PROPOSED: 5,836 SF



PROPOSED CONSUMPTION AREA
 SCALE: 1"=30'