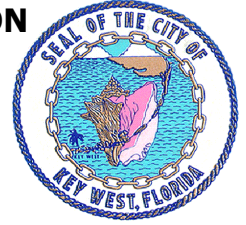


Application

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
1300 White Street, Key West, FL 33040
(305) 809-3720



Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major _____

Minor _____

Conditional Use

Historic District

Yes _____

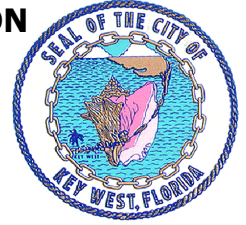
No _____

Please print or type:

- 1) Site Address _____
- 2) Name of Applicant _____
- 3) Applicant is: Owner _____ Authorized Representative _____
 (attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant _____

- 5) Applicant's Phone # _____ Email _____
- 6) **Email Address:** _____
- 7) Name of Owner, if different than above _____
- 8) Address of Owner _____
- 9) Owner Phone # _____ Email _____
- 10) Zoning District of Parcel _____ RE# _____
- 11) Is Subject Property located within the Historic District? Yes _____ No _____
 If Yes: Date of approval _____ HARC approval # _____
 OR: Date of meeting _____
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

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13) Has subject Property received any variance(s)? Yes _____ No _____

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

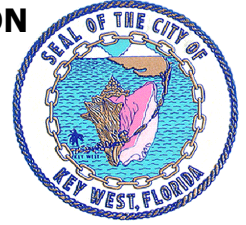
Yes ____ No ____

If Yes, describe and attach relevant documents.

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

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**Required Plans and Related Materials for both a Conditional Use and
Minor/Major Development Plan**

I. Existing Conditions.

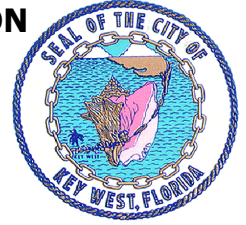
- A) Recent Survey of the site by a licensed Surveyor showing all dimensions including distances from property lines, and including:
 - 1) Size of site;
 - 2) Buildings, structures, and parking;
 - 3) FEMA Flood Zone;
 - 4) Topography;
 - 5) Easements; and
 - 6) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
- B) Existing size, type and location of trees, hedges, and other features.
- C) Existing stormwater retention areas and drainage flows.
- D) A sketch showing adjacent land uses, buildings, and driveways.

II. Proposed Development: Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.

- A) Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.
 - 1) Buildings
 - 2) Setbacks
 - 3) Parking:
 - a. Number, location and size of automobile and bicycle spaces
 - b. Handicapped spaces
 - c. Curbs or wheel stops around landscaping
 - d. Type of pavement
 - 4) Driveway dimensions and material
 - 5) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
 - 6) Location of garbage and recycling
 - 7) Signs
 - 8) Lighting
 - 8) Project Statistics:
 - a. Zoning
 - b. Size of site
 - c. Number of units (or units and Licenses)
 - d. If non-residential, floor area & proposed floor area ratio
 - e. Consumption area of restaurants & bars
 - f. Open space area and open space ratio
 - g. Impermeable surface area and impermeable surface ratio
 - h. Number of automobile and bicycle spaces required and proposed
- B) Building Elevations
 - 1) Drawings of all building from every direction. If the project is in the Historic District please submit HARC approved site plans.
 - 2) Height of building.
 - 3) Finished floor elevations and bottom of first horizontal structure
 - 4) Height of existing and proposed grades
- C) Drainage Plan: Existing & Proposed retention areas and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms.
- D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations.

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- III. **Solutions Statement.** Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking.

Development Plan Submission Materials

Sec. 108-226. Scope.

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements, information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties;
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

Sec. 108-227. Title block.

The development plan shall contain the following pertaining to the title block:

- (1) Name of development.
- (2) Name of owner/developer.
- (3) Scale.
- (4) North arrow.
- (5) Preparation and revision date.
- (6) Location/street address of development.

Sec. 108-228. Identification of key persons.

The development plan shall contain the following pertaining to identification of key persons:

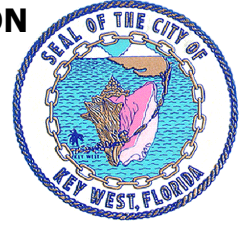
- (1) Owner.
- (2) Owner's authorized agent.
- (3) Engineer and architect.
- (4) Surveyor.
- (5) Landscape architect and/or environmental consultant.
- (6) Others involved in the application.
- (7) A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.

Sec. 108-229. Project description.

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description:

- (1) Zoning (include any special districts).
- (2) Project site size (acreage and/or square footage).
- (3) Legal description.
- (4) Building size.
- (5) Floor area ratio, permitted and proposed.
- (6) Lot coverage, permitted and proposed.
- (7) Impervious surface.
- (8) Pervious surface.
- (9) Landscape areas.

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- (10) Parking spaces, permitted and proposed.
- (11) Delineation of location of existing and proposed structures.
- (12) Existing and proposed development type denoted by land use including density/intensity.
- (13) Setbacks.

Sec. 108-230. Other project information.

A general outline of the proposed development shall include the following criteria where applicable:

- (1) Proposed stages or phases of development or operation and facility utilization.
- (2) Target dates for each phase.
- (3) Expected date of completion.
- (4) Proposed development plan for the site.
- (5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospital beds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses).
- (6) For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site.
- (7) Buildings and sitting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations.
- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas.

Sec. 108-231. Residential developments.

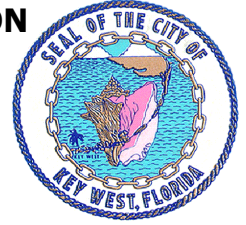
- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:
 - (1) A breakdown of the proposed residential units by number of bedrooms;
 - (2) Tenure (i.e., owner-occupied or rental); and
 - (3) Structure type, such as single-family, duplex, multiple-family, mobile home.
- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

Sec. 108-232. Intergovernmental coordination.

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:
 - a. South Florida Regional Planning Council (SFRPC).
 - b. City electric system (CES).
 - c. State department of environmental protection (DEP).
 - d. Army Corps of Engineers (ACOE).
 - e. South Florida Water Management District (SFWMD).
 - f. State department of transportation (DOT).
 - g. State department of community affairs (DCA).
 - h. Florida Keys Aqueduct Authority (FKAA).
 - i. State fish and wildlife conservation commission (F&GC).
 - j. The county.
- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land.
- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.

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CONDITIONAL USE CRITERIA

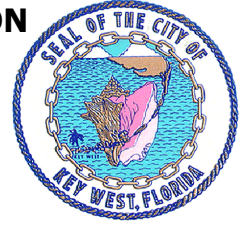
Sec. 122-61. Purpose and intent.

The purpose of this article is to ensure that a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity. This article sets forth provisions and criteria for consideration of conditional uses on specific sites. Conditional uses shall be permitted only upon a finding that the proposed use satisfies this article.

Sec. 122-62. Specific criteria for approval.

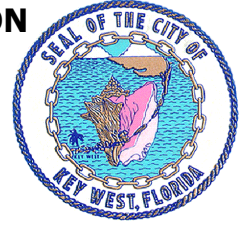
- (a) Findings. A conditional use shall be permitted upon a finding by the planning board that the proposed use, application and, if applicable, development plan comply with the criteria specified in this section, including specific conditions established by the planning board and or the city commission during review of the respective application in order to ensure compliance with the comprehensive plan and land development regulations. If the proposed conditional use is a major development pursuant to sections 108-165 and 108-166, the city commission shall render the final determination pursuant to section 122-63. A conditional use shall be denied if the city determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public's interest. An application for a conditional use shall describe how the specific land use characteristics proposed meet the criteria described in subsection (c) of this section and shall include a description of any measures proposed to mitigate against possible adverse impacts of the proposed conditional use on properties in the immediate vicinity.
- (b) Characteristics of use described. The following characteristics of a proposed conditional use shall be clearly described as part of the conditional use application:
- (1) Scale and intensity of the proposed conditional use as measured by the following:
 - a. Floor area ratio;
 - b. Traffic generation;
 - c. Square feet of enclosed building for each specific use;
 - d. Proposed employment;
 - e. Proposed number and type of service vehicles; and
 - f. Off-street parking needs.
 - (2) On- or off-site improvement needs generated by the proposed conditional use and not identified on the list in subsection (b)(1) of this section including the following:
 - a. Utilities;
 - b. Public facilities, especially any improvements required to ensure compliance with concurrency management as provided in chapter 94;
 - c. Roadway or signalization improvements, or other similar improvements;
 - d. Accessory structures or facilities; and
 - e. Other unique facilities/structures proposed as part of site improvements.
 - (3) On-site amenities proposed to enhance site and planned improvements. Amenities including mitigative techniques such as:
 - a. Open space;
 - b. Setbacks from adjacent properties;
 - c. Screening and buffers;
 - d. Landscaped berms proposed to mitigate against adverse impacts to adjacent sites; and
 - e. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts.

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- (c) Criteria for conditional use review and approval. Applications for a conditional use shall clearly demonstrate the following:
- (1) Land use compatibility. The applicant shall demonstrate that the conditional use, including its proposed scale and intensity, traffic-generating characteristics, and off-site impacts are compatible and harmonious with adjacent land use and will not adversely impact land use activities in the immediate vicinity.
 - (2) Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use. The size and shape of the site, the proposed access and internal circulation, and the urban design enhancements must be adequate to accommodate the proposed scale and intensity of the conditional use requested. The site shall be of sufficient size to accommodate urban design amenities such as screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure (i.e., refer to chapter 94 to ensure concurrency management requirements are met) and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.
 - (3) Proper use of mitigative techniques. The applicant shall demonstrate that the conditional use and site plan have been designed to incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.
 - (4) Hazardous waste. The proposed use shall not generate hazardous waste or require use of hazardous materials in its operation without use of city-approved mitigative techniques designed to prevent any adverse impact to the general health, safety and welfare. The plan shall provide for appropriate identification of hazardous waste and hazardous material and shall regulate its use, storage and transfer consistent with best management principles and practices. No use which generates hazardous waste or uses hazardous materials shall be located in the city unless the specific location is consistent with the comprehensive plan and land development regulations and does not adversely impact wellfields, aquifer recharge areas, or other conservation resources.
 - (5) Compliance with applicable laws and ordinances. A conditional use application shall demonstrate compliance with all applicable federal, state, county, and city laws and ordinances. Where permits are required from governmental agencies other than the city, these permits shall be obtained as a condition of approval. The city may affix other conditions to any approval of a conditional use in order to protect the public health, safety, and welfare.
 - (6) Additional criteria applicable to specific land uses. Applicants for conditional use approval shall demonstrate that the proposed conditional use satisfies the following specific criteria designed to ensure against potential adverse impacts which may be associated with the proposed land use:
 - a. Land uses within a conservation area. Land uses in conservation areas shall be reviewed with emphasis on compliance with section 108-1 and articles III, IV, V, VII and VIII of chapter 110 pertaining to environmental protection, especially compliance with criteria, including land use compatibility and mitigative measures related to wetland preservation, coastal resource impact analysis and shoreline protection, protection of marine life and fisheries, protection of flora and fauna, and floodplain protection. The size, scale and design of structures located within a conservation area shall be restricted in order to prevent and/or minimize adverse impacts on natural resources. Similarly, public uses should only be approved within a wetland or coastal high hazard area V zone when alternative upland locations are not feasible on an upland site outside the V zone.
 - b. Residential development. Residential development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting setbacks, lot coverage, height, mass of building, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles III, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, internal circulation, and off-

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street parking; as well as possible required mitigative measures such as landscaping and site design amenities.

- c. Commercial or mixed use development. Commercial or mixed use development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting floor area ratio, setbacks, lot coverage, height, mass of buildings, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles I, II, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, pedestrian access and circulation; internal vehicular circulation together with access and egress to the site, and off-street parking; as well as possible required mitigative measures such as landscaping, buffering, and other site design amenities. Where commercial or mixed use development is proposed as a conditional use adjacent to U.S. 1, the development shall be required to provide mitigative measures to avoid potential adverse impacts to traffic flow along the U.S. 1 corridor, including but not limited to restrictions on access from and egress to U.S. 1, providing for signalization, acceleration and deceleration lanes, and/or other appropriate mitigative measures.
- d. Development within or adjacent to historic district. All development proposed as a conditional use within or adjacent to the historic district shall be reviewed based on applicable criteria stated in this section for residential, commercial, or mixed use development and shall also comply with appearance and design guidelines for historic structures and contributing structures and/or shall be required to provide special mitigative site and structural appearance and design attributes or amenities that reinforce the appearance, historic attributes, and amenities of structures within the historic district.
- e. Public facilities or institutional development. Public facilities or other institutional development proposed as a conditional use shall be reviewed based on land use compatibility and design criteria established for commercial and mixed use development. In addition, the city shall analyze the proposed site location and design attributes relative to other available sites and the comparative merits of the proposed site, considering professionally accepted principles and standards for the design and location of similar community facilities and public infrastructure. The city shall also consider compliance with relevant comprehensive plan assessments of community facility and infrastructure needs and location impacts relative to service area deficiencies or improvement needs.
- f. Commercial structures, uses and related activities within tidal waters. The criteria for commercial structures, uses and related activities within tidal waters are as provided in section 122-1186.
- g. Adult entertainment establishments. The criteria for adult entertainment establishments are as provided in division 12 of article V of this chapter.

Minor Development Plan and Conditional Use

Chapter 122, Article III, Sections 122-61 and 122-62

Dion's Flagler Avenue Mixed Use

3228 Flagler Avenue, Key West, Florida (RE# 00069040-000000)



Summary:

This application is a request for conditional use approval to redevelop a light industrial building on the rear of the property at 3228 Flagler Avenue into 8 residential dwellings (5 affordable, 3 market-rate). The front of the property is currently, and will continue to be, occupied by Dion's.

The five proposed affordable units are intended to meet (actually exceed) the minimum affordability requirements for this project and the linked residential development proposed at 638 United Street.

Proposed unit breakdown as follows:

First Residential Floor (over parking):

Unit 201 – Studio, approximately 558 sq. ft. (*deed-restricted affordable*)

Unit 202 – Studio, approximately 558 sq. ft. (*deed-restricted affordable*)

Unit 203 – 2 bed/1 bath, approximately 987 sq. ft. sq. (*deed-restricted affordable*)

Unit 204 – 4 bed/4 bath, approximately 1,891 sq. ft. sq.

Second Residential Floor:

Unit 301 – Studio, approximately 558 sq. ft. (*deed-restricted affordable*)

Unit 302 – Studio, approximately 558 sq. ft. (*deed-restricted affordable*)

Unit 303 – 3 bed/3 bath, approximately 1,439 sq. ft. sq.

Unit 304 – 3 bed/3 bath, approximately 1,439 sq. ft. sq.

Key persons and entities (Sec. 108-228) involved in this project are as follows:

Owner: Land 10031, LLC
 Authorized Agent: Trepanier & Associates, Inc.
 Architect: Robert Steele, Bob Architecture
 William Shepler & Associates Architecture
 Engineer: Perez Engineering
 Surveyor: Florida Keys Land Surveying
 Landscape Architect: Ladd Roberts
 Legal and Equitable Owners: Land 1003, LLC; Land 10031, LLC; LAND 10031, LLC; LAND 113, LLC; LAND 1701, LLC; LAND 2421, LLC; LAND 2708, LLC; LAND 4027, LLC; LAND 7009, LLC; LAND 8351' LLC; LAND 8601 LLC; and Steven Uphoff as managing member

Project Description (Sec. 108-229):

Description of Proposed Development and Use:

According to the Monroe County Property Appraiser, the existing CBS structure was built in 1969. The existing commercial site is used as a convenience store and service station fronting Flagler Avenue with a concrete block warehouse attached to the rear. Neither building is historic and are located outside the Historic District.

The retail/service station use will remain while the warehouse addition will be demolished and replaced by the proposed new residential development. The proposed residential multi-family structure will be detached from the retail building with two stories over parking. Eight residential dwellings are proposed (5 affordable and 3 market-rate). The property will feature a bocce court for tenant use as an outdoor recreational activity.

All required auto and bicycle parking is provided on site with one additional auto space.

Site Data	Permitted/ Required	Existing	Proposed	Compliance
Zoning	CL	CL	CL	Conditional Use
Height	40 ft	15 ft. 6 in.	39 ft.	Complies
Site Size ¹	≥ 10,000 sq. ft.	21,982 sq. ft.	21,982 sq. ft.	Complies
Density:	16 u/ac (8 units)			
Market Rate	8 units	0	8 units	Complies
AH – Compact Infill Bonus	1 unit	0	0	Complies
Floor Area Ratio Total	0.8	26% (5,741 sq. ft.)	12% (2,807 sq. ft.)	Complies
Building Coverage	40% (10,991 sq. ft.)	26% (5,741 sq. ft.)	38% (8,355 sq. ft.)	Complies
Impervious Surface	60% (13,189.2 sq. ft.)	≈100% (≈21,982 sq. ft.)	84% (18,477 sq. ft.)	Complies*
Open Space (Mixed use)	30% (6,725 sq. ft.) ²	<5%	16% (3,463 sq. ft.)	Complies*
Landscape	20% (4,396 sq. ft.)	<5%	16% (3,505 sq. ft.)	Complies*
Setback – Front	Minimum of 25 ft.	+25 ft.	+25 ft.	Complies
Setback – Side	15 ft.	0.8 ft.	5 ft.	Variance
Setback – Street Side	20 ft.	+20 ft.	20 ft.	Complies
Setback – Rear	Minimum of 25 ft.	25 ft.	25 ft.	Complies
Parking:				
auto	16	8	24	Complies
bicycle	10% (2)	0	18	Complies

*Improving an existing non-conformity

¹ According to the Monroe County Property Appraiser's Records

² Per Sec. 108-346

Sec. 122-62. – Specific criteria for approval:

(a) Findings.

A conditional use shall be permitted upon a finding by the planning board that the proposed use, application and, if applicable, development plan comply with the criteria specified in this section, including specific conditions established by the planning board and or the city commission during review of the respective application in order to ensure compliance with the comprehensive plan and the land development regulations.

(b) Characteristics of use:

(1) Scale and intensity

a. Floor area ratio

FAR for the CL zoning district is 0.8. Existing FAR is 26% with 5,741 square feet of commercial floor area. With the demolition of the warehouse space, the commercial floor area ratio will decrease to 12% with a reduction of 2,807 square feet of existing floor area.

b. Traffic generation

Table 1 Trip Generation Summary Dion's Flagler Avenue Mixed-Use - Key West, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
Existing								
Gas Station w/ C-Store	8 FP	1,643	51	49	100	57	55	112
Light Industrial	1,898 SF	9	2	0	2	0	2	2
Total (Existing)		1,652	53	49	102	57	57	114
Proposed								
Gas Station w/ C-Store	8 FP	1,643	51	49	100	57	55	112
Apartments	8 DU	59	1	3	4	4	2	6
Total (Proposed)		1,702	52	52	104	61	57	118
Difference (Proposed - Existing)		50	(1)	3	2	4	0	4

Compiled by: KBP Consulting, Inc. (December 2017).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (10th Edition).

c. Enclosed building square footage

Commercial retail: 2,807 sq. ft.

Residential: 5,548 sq. ft.

d. Proposed employment

Not applicable. No new employment is proposed. Existing employment for the retail/service station will remain the same.

e. Proposed number and type of service vehicles

Not applicable. No new service vehicles are proposed.

f. Off-street parking needs

The current parking situation is an existing non-conformity. The proposed reduction in commercial square footage will reduce that requirement from 20 spaces to 10, thereby bringing the property into conformity. Notwithstanding, the new residential use is designed to not only meet, but to exceed the parking requirements.

The parking required for the proposed 3 market rate residential development is 6 auto spaces. The parking requirement for the 5 affordable units is 10 spaces or a bike/scooter substitution at a 2 for 1 ratio. The total bicycle spaces required for the residential portion is 2 spaces. The proposed design includes 13 auto spaces and 10 bicycle/scooter spaces and is broken down as shown below:

Parking Demand	Existing			Proposed			Required Bike/Scooter	
	Area/Units	Req'd	Existing	Area/Units	Req'd	Proposed	Req'd	Proposed
Commercial (1 space / 300 sq. ft.)	5,741.0	19.1	8.0	2,807.0	9.4	11.0	2.3	8
Residential Market-Rate (2 spaces / Unit)	0.0	0.0	0.0	3.0	6.0	6.0	0.6	1
Residential Affordable (2 spaces / Unit)	0.0	0.0	0.0	5.0	6.0 ³	7.0	9	9
Total		19.1	8.0		21.4	24.0	11.9	18.0

(2) On- or off-site improvement needs

a. Utilities

Concurrency Facilities and Other Utilities or Services are summarized as follows:

Levels of Service – The impacts of the proposed project are generally summarized as follows:

- The LOS analysis concludes that overall trip generation from the site will be expected to increase by approximately 50 trips per weekday and per weekend as part of the proposal.

³ Four auto spaces are being met with 8 bike/scooter spaces pursuant to Sec. 122-1470(a)

- Supply of parking follows and exceeds the demand of the Land Development Regulations Section 108-572 and Section 122-1470.
 - Potable water demand for the new residential development and neighborhood retail is estimated to increase from 908.9 to **2,548 gal/day**.
 - The wastewater flow for the new residential development and neighborhood retail is anticipated to increase from 86.98 to **2,190 gal/day**.
 - The recyclable waste LOS for the new residential development and neighborhood retail is anticipated to increase from 4.09 to **12.5 lbs/day**.
 - The solid waste LOS for the new residential development and neighborhood retail is anticipated to increase from 57.83 to **84.21 lbs/day**.
 - The proposed change is not expected to impact Storm water LOS.
 - The proposed change is not expected to impact Recreation LOS.
 - The team will coordinate with FCAA to ensure the water pressure and flow will be adequate for fire protection for the type of construction proposed.
 - No adverse impacts to the quality of receiving waters are anticipated before, during or after construction.
 - Changes to the existing storm water management system is depicted on the attached plans.
- b. Public facilities
See concurrency analysis below.
- c. Roadway or signalization improvements
NA - No roadway or signalization improvements are required or proposed.
- d. Accessory structures or facilities
NA - No accessory structures or facilities are required or proposed.
- e. Other unique facilities/structures proposed as part of site improvements
NA - No other unique facilities/structures proposed as part of site improvements are required or proposed.
- (3) On-site amenities proposed to enhance site and planned improvements
- a. Open space
Open space will be improved from the existing <5% to 16%.
- b. Setbacks

All new setbacks are compliant.

c. Screening and buffers

Pursuant to Sec. 108-517, this is a formal request for modification to the standards of Ordinance No. 97-10, to allow the development as depicted on the associated development plans. This request is hereby filed with the city planning office.

This request is to modify landscape requirements of Sec. 108 because proposed landscaping, and associated mitigative techniques, are not contrary to the intent of the applicable regulations and a literal enforcement of the standards would be impractical. The property is an existing nonconformity relative to screening, buffers and landscaping. Significant improvements, as depicted on the plans, are proposed to screening, buffers and landscaping.

The specific modification requested is to Sec. 108-413(c) - Requirements along street frontage, Sec. 108-414(b) - Requirements for interior areas and Sec. 108-415(a) & (b) - Perimeter landscape requirements.

The above modification is requested in order to allow:

1. Protection, preservation, and enhancement of the integrity of the existing site.
2. No significant adverse impacts on the public interest, or on adjacent properties.
3. The modification to not be discriminatory, considering similar situations in the general area.
4. The creation of an alternative landscape solution which will achieve the purposes of the requirement through clearly superior design.
5. The reasonable application of the requirements without effectively depriving the owner and the community of reasonable use of the land for the intended purpose due to its unusual size, shape, and location.
6. The effect upon the owner without outweighing valid public purpose in imposing the requirement in this case.
7. The reasonable application of the requirements without being technically impractical.

d. Landscaped berms proposed to mitigate against impacts to adjacent sites
Berms are not proposed.

e. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts.

This project proposes no use which would induce smoke, odor, noise or other noxious impacts.

- f. Landscaped berms proposed to mitigate against impacts to adjacent sites
All proposed landscaping berms and mitigation are located on landscape plan.
- g. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts.

This project proposes no use which would induce smoke, odor, noise or other noxious impacts.

(c) Criteria for conditional use review and approval:

(1) Land use compatibility.

As mentioned above, the project site is located in the Limited Commercial (CL) zoning district. The intent of the Commercial (CL) zoning district is to implement the HC future land use designation; it accommodates residential dwellings as well as business and professional offices. This commercial property is located along the 3200 block of Flagler Avenue, between Riviera Street and Kennedy Drive. This site is at the edge of the Commercial Limited zoning district and immediately adjacent to the Single-Family district. Flagler Avenue is a busy commercial thoroughfare with stretches of residential neighborhoods. This property is sided by offices to the south and a residential community to the north and east. The residential density is limited to 16 dwelling units per acre. This project seeks to meet the needs of residents by providing a total of 4 market-rate units and 4 affordable housing units.

(2) Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use.

As mentioned above, the site has sufficient size, adequate specifications, and infrastructure to accommodate the proposed use. Site data table is included. No variances are requested as part of this approval.

(3) Proper use of mitigative techniques.

No adverse impacts to adjacent land uses are anticipated, the community character is a mix of commercial/office space and single-family homes of various sizes, age and architectural style. Community infrastructure will not be burdened by this project.

(4) Hazardous Waste.

The proposed use will not produce any hazardous waste or use hazardous materials in its operation.

- (5) Compliance with applicable laws and ordinances.

All applicable permits required from agencies other than the City of Key West will be obtained.

- (6) Additional criteria applicable to specific land uses.

Residential Developments (Sec. 108-231):

This development plan satisfies criteria established in Chapter 102; Articles III, IV and V of Chapter 108; Section 108-956; and Article II of Chapter 110 of the Key West City Code in the following manner:

- Chapter 102 – This property is not located within the Historic District and is not subject to HARC approvals and process.
- Articles III, IV and V of Chapter 108 – As demonstrated by the site plan, trip generation analysis, and the site data calculations, the project complies with the requirements of the Articles.
- Section 108-956 – The project team will coordinate with FCAA to ensure access to potable water and a wastewater disposal system.
- Chapter 110 – As demonstrated in this application, the proposed development complies with the resource protection requirements of Chapter 110.

Article III Site Plan (Sections 108-276 – 289)

Site Location and Character of Use (Section 108-277):

Location:

This commercial property is located along the 3200 block of Flagler Avenue, between Riviera Street and Kennedy Drive. This site is at the edge of the Commercial Limited zoning district and immediately adjacent to the Single-Family district. Flagler Avenue is a busy commercial thoroughfare with stretches of residential neighborhoods. This property is sided by offices to the south and a residential community to the north and east.

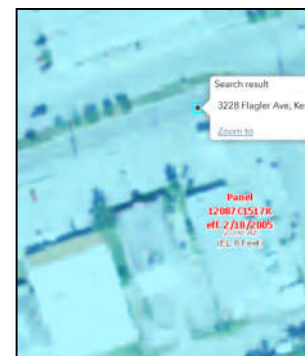


Legal Description:

Easterly 100 feet of Blk 2 of KW Riviera Shores Subdivision, known as 3228 Flagler Ave and located on the southern side of Flagler, just east of the intersection with Kennedy Dr. in the 'New Town' area of Key West.

Flood Zone:

According to the 2005 FEMA Flood Insurance Map, the property is located within the AE8-Zone. This means that the area is approximately 8 ft. above Base Flood Elevation (BFE) and inundated by 1% annual chance flooding. The proposed new development will be



elevated at a height of 11'-4" for the first habitable floor; exceeding the required 1.0 ft. above base flood elevation as required by Sec. 14-38 as well as the BPAS requirement of 1.5 ft. above base flood elevation.

Future Land Use Map Designation ("FLUM"):

According to the City of Key West 2013 Comprehensive Plan, the property's FLUM designation is General Commercial ("CG").



("CL")

According to the City of Key West Zoning Map, the property is zoned Limited Commercial ("CL").



The limited commercial district (CL) is established to implement comprehensive plan policies for areas designated "CL" on the comprehensive plan future land use map. The CL district shall accommodate limited commercial land uses with maximum gross floor area not exceeding 5,000 square feet, including total area both under roof and outside sales area, and which shall include shops catering primarily to the following markets:

- (1) Neighborhood residential markets within the immediate vicinity as opposed to citywide or regional markets;
- (2) Specialized markets with customized market demands; or
- (3) Tourist-oriented markets in the immediate vicinity.

In order to manage the impacts of future development on transportation and public facilities, the city shall limit the intensity of development in the CL district to activities generating no more than 100 trips per 1,000 square feet of gross leasable floor area per day. Areas designated for residential and limited commercial development shall not accommodate large scale retail sales and trade activities generally serving a citywide or regional market. Such stores usually differ from limited commercial shops since the former generally require a larger floor area, carry a relatively larger inventory, and require a substantially greater off-street parking area.

Uses which are not accommodated within the limited commercial area include the following: large scale discount stores or supermarkets; department stores; wholesale and warehousing activities; sales, service or repair of motor vehicles, machine

equipment or accessory parts, including tire and battery shops; automotive services centers; and fast food establishments primarily serving in disposable containers and/or providing drive-in or drive-through facilities. In addition, the CL designation shall not accommodate transient residential uses, including motels or hotels and conversions from permanent residential use to transient residential use. However, existing motels within CL designated areas shall be grandfathered as lawful nonconforming uses.

Multiple-family residential dwellings are a permitted use in the CL zoning district.

Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):

All mechanical equipment and utility hardware will be appropriately screened. All waste storage areas will be screened from adjacent properties.

Front-end loaded refuse container requirements (Sec. 108-280):

No front-end loaded refuse container is proposed.

Roll-off Compactor Container location requirements (Sec. 108-281):

A roll-off container is proposed as part of the operation of the development and located as depicted on site plan.

Utility lines (Section 108-282):

The proposed project will require installation of new utility services. Installation will be coordinated with appropriate utility agency and in accordance with Section 108-282.

Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):

No new commercial activities are proposed for this development. The existing service/filling station and retail mini mart will remain.

Exterior Lighting (Section 108-284):

All proposed lighting shall be shielded and lighting sources shall be arranged to eliminate glare from roadways and streets and shall direct light away from properties lying outside the district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades.

Signs (Section 108-285):

No new signage is proposed.

Pedestrian sidewalks (Section 108-286):

Sidewalks are proposed as part of this project. None currently exist.

Loading docks (Section 108-287):

No loading docks are required or proposed.

Storage Areas (Section 108-288):

Storage areas are proposed for use of tenants in each unit and will be located at the rear of the principle structure per code section 108-288.

Land Clearing, Excavation, and Fill (Sec 108-289):

There is no land clearing proposed. Tree removal will be reviewed and approved by the urban forester and the Tree Commission as needed.

Article IV. Traffic Impacts (Sections 108-316 – 319):

All traffic pathways, drives, curb cuts, parking space dimensions, access & egress patterns, parking space dimensions are all provided on the site plan in accordance with this article.

Coordination with associated utilities will be provided as required.

Article V. Open Space, Screening, Buffers and Landscaping (Sections 108-346 – 108-352)

Pursuant to Sec. 108-517, this is a formal request for modification to the standards of Ordinance No. 97-10, to allow the development as depicted on the associated development plans. This request is hereby filed with the city planning office.

This request is to modify landscape requirements of Sec. 108 because proposed landscaping, and associated mitigative techniques, are not contrary to the intent of the applicable regulations and a literal enforcement of the standards would be impractical. The property is an existing nonconformity relative to open space, screening, buffers and landscaping. Significant improvements, as depicted on the plans, are proposed to open space, screening, buffers and landscaping is proposed.

This request is to waive the below cited landscape requirements of Sec. 108 in compliance with the following:

8. Protect and preserve the integrity of the existing site.
9. The waiver will not have a significant adverse impact on the public interest, or on adjacent property.
10. The waiver or modification is not discriminatory, considering similar situations in the general area.
11. The development will provide an alternative landscape solution which will achieve the purposes of the requirement through clearly superior design.
12. Strict application of the requirement will effectively deprive the owner and the community of reasonable use of the land for the intended purpose due to its unusual size, shape, and location.
13. The effect upon the owner is not outweighed by a valid public purpose in imposing the requirement in this case.
14. Strict application of the requirement would be technically impractical.

This application's development plan exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in sections 108-276 through 108-289.

CONCURRENCY ANALYSIS:

Concurrency Facilities and Other Utilities or Services (Sec. 108-233):

The City’s Comprehensive Plan directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

The following specific issues are outlined:

1. Roads/Trip Generation
2. Potable Water
3. Sanitary Sewer
4. Solid Waste
5. Recyclables
6. Drainage

The following concurrency analysis reflects the proposed removal of existing commercial use and replacement with residential use of five units.

Policy 2-1.1.1- Transportation

The maximum predicted potential trip generation of the current land uses is less than the maximum predicted potential trip generation from the proposed land uses.

The LOS analysis concludes that overall trip generation from the site will be expected to increase by approximately 50 trips per day as part of the proposal.

Table 1 Trip Generation Summary Dion's Flagler Avenue Mixed-Use - Key West, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Existing</i>								
Gas Station w/ C-Store	8 FP	1,643	51	49	100	57	55	112
Light Industrial	1,898 SF	9	2	0	2	0	2	2
Total (Existing)		1,652	53	49	102	57	57	114
<i>Proposed</i>								
Gas Station w/ C-Store	8 FP	1,643	51	49	100	57	55	112
Apartments	8 DU	59	1	3	4	4	2	6
Total (Proposed)		1,702	52	52	104	61	57	118
Difference (Proposed - Existing)		50	(1)	3	2	4	0	4

Compiled by: KBP Consulting, Inc. (December 2017).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (10th Edition).

Notwithstanding the proposed trip generation, Policy 2-1.1.3: Dense Urban Land Area effectively eliminates the transportation concurrency requirement in favor of a

prioritization of safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development)

Policy 2-1.1.3: Dense Urban Land Area. The City of Key West is a substantially developed dense urban land area and is thereby exempted from transportation concurrency requirements for roadways. The City recognizes that its development characteristics make substantive expansion of capacity of the roadway system prohibitive. The City will therefore prioritize improving the safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development) as its primary strategies for addressing current and projected transportation needs.

Policy 4-1.1.2.C – Potable Water

Based on the City of Key West adopted level of service the potable water demand is anticipated to increase at the end of this single-phase development plan (pursuant to Policy 4-1.1.2.C, the potable water LOS for residential and nonresidential development is 100 gal/capita/day)

The potable water flow is anticipated to be **2,548 gal/day**

Summary Response: The proposed redevelopment will increase the expected impact from the existing use of the property by approximately 1,639.1 gallons per day; however, it is not expected that the proposal will result in excess capacity on this public facility.

Designation	Residential		Commercial		Total
	LOS	Daily Capacity ⁴	LOS	Daily Capacity	
Proposed	100 g/capita/day	21.04 capita x 100g = 2,104 gal	100g/capita/day	2,807/ 1000*1.5833 ⁵ =4.44 x 100g = 444 gal	2,548 gal
Existing	100 g/capita/day	0 capita x 100g = 0 gal	100g/capita/day	5,741/ 1000*1.5833 ⁶ =9.08 x 100g = 908.9 gal	908.9 gal

The Aqueduct Authority has the capacity to supply adequate service to this property, as demonstrated below.

Potable water to the City of Key West is provided by the Florida Keys Aqueduct Authority (FKAA). The FKAA has the capacity to provide 23 million gallons per day to Monroe County as a result of: The South Florida Water Management District’s issuance of Water Use Permit #13-0005, which allocates 17 million gallons per day in the dry season; 17.79 million gallons per day which can be withdrawn from the Biscayne Aquifer; and six million gallons per day provided by a reverse osmosis treatment plant in Florida City. As documented above, the City is meeting its Level of Service Standard for Potable Water. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development during short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements will be necessary to maintain and improve standards and service delivery.

⁴ For the purposes of LOS, “capita” was calculated as *proposed units x persons / household* using the 2009-2013 US Census Data - 2.63 persons per household

⁵ Planners Estimating Guide, p. 137: Table 11-1-Basic Impact Coefficients 1.5833 persons per 1,000 sf of Neighborhood retail

⁶ Planners Estimating Guide, p. 137: Table 11-1-Basic Impact Coefficients 1.5833 persons per 1,000 sf of Neighborhood retail

Policy 4-1.1.2.A- Sanitary Sewage

Based on the City of Key West adopted level of service the sanitary sewer demand is anticipated to increase at the end of this single-phase development plan (pursuant to Policy 4-1.1.2.A, the sanitary sewer LOS for nonresidential development is 660 gal/acre/day) and the sanitary sewer LOS for residential development is 100 gal/capita/day).

The sanitary sewer flow is anticipated to be **2,190 gal/day**

Summary Response: The proposed redevelopment will increase the expected impact from the existing use of the property by 2,104 gallons per day; however, it is not expected that the proposal will result in excess capacity on this public facility.

Designation	Residential		Commercial		Total
	LOS	Daily Capacity ⁷	Rate	Daily Capacity	
Proposed	100 g/capita/day	21.04 capita x 100g = 2,104 gal	660 gal/acre/day	0.13 acres x 660 gal = 86.98 gal	2,190 gal
Existing	100 g/capita/day	0 capita x 100g = 0 gal	660 gal/acre/day	0.13 acres x 660 gal = 86.98 gal	86.98 gal

The City contracts out the operation of the Richard A. Heyman Environmental Pollution Control Facility, its wastewater treatment plant (Plant), and the associated collection system to Operations Management International, Inc. (OMI). The Plant currently has the capacity to treat 10 million gallons per day, exceeding the capacity required to achieve the existing Level of Service Standard by approximately seven million gallons per day. Actual daily flow is 4.5 million gallons per day. This is a reduction from eight (8) million gallons per day due to a 67 million dollars capital improvement to the City’s wastewater treatment during the past short term planning period, including \$56 million for collection system rehabilitation.

As documented above, the City is exceeding its Level of Service Standard for Wastewater. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements and continuing conservation efforts will continue to maintain and improve service delivery.⁸

Policy 4-1.1.2.D- Solid Waste

Based on the City of Key West adopted level of service the solid waste demand is anticipated to increase at the end of this single-phase development plan (pursuant to Policy 4-1.1.2.D, the solid waste LOS for nonresidential development is 6.37 lbs/capita/day) and the solid waste LOS for residential development is 2.66 lbs/capita/day).

⁷ For the purposes of LOS, “capita” was calculated as *proposed units x persons / household* using the 2009-2013 US Census Data - 2.63 persons per household

⁸ City of Key West Comprehensive Plan Data and Analysis, Pg. A-16

The solid waste impact is anticipated to be **84.21 lbs/day**

Summary Response: The proposed redevelopment will increase the expected impact from the existing use of the property by 26.38 pounds per day; however, it is not expected that the proposal will result in excess capacity on this public facility.

Designation	Residential		Commercial		Total
	LOS	Daily Capacity ⁹	LOS	Daily Capacity ¹⁰	
Proposed	2.66 lbs/capita/day	21.04 capita x 2.66 lbs = 55.96 lbs	6.37 lbs/capita/day	2,807/1000*1.5833=4.44 x 6.37lbs= 28.31	84.21 lbs
Existing	2.66 lbs/capita/day	0 capita x 2.66 lbs = 0 lbs	6.37 lbs/capita/day	5,741/ 1000*1.5833=9.08 x 6.37lbs= 57.83 lbs	57.83 lbs

The City currently contracts with Waste Management of Florida, Inc. to collect, transfer and dispose of solid waste and residential recyclables. Commercial recyclables and other non-franchised collection services such as construction and demolition debris and yard waste are available on the open market to all licensed haulers. The City owns and operates a solid waste transfer station on Rockland Key that received 45,402.10 tons of solid waste for disposal and 3,607 tons of recyclables in 2009/10. Waste Management disposes of the solid waste collected in Monroe County, including the City of Key West, at its Central Sanitary Landfill in Broward County. In 2009 Waste Management Inc. reported a reserve capacity of 17 years at this facility. There is therefore an estimated reserve capacity of 15 years as of the date of this report.

As documented above, the City is meeting its Level of Service Standard for solid waste. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, and the current capacity should remain adequate. Ongoing capital improvements will be necessary to improve standards and service delivery.¹¹

Policy 4-1.1.2. D- Recyclable Waste Generation Level of Service

Based on the City of Key West adopted level of service the recyclable waste demand is anticipated to increase at the end of this single-phase development plan (pursuant to Policy 4-1.1.2. D, the recyclable waste LOS for nonresidential development is 0.25 lbs/capita/day) and the recyclable waste LOS for residential development is 0.50 lbs/capita/day).

The recyclable waste impact is anticipated to be **12.5 lbs/day**

Summary Response: The proposed redevelopment will increase the expected impact from the existing use of the property by 8.41 pounds per day. The team will coordinate with waste management services to provide an adequately sized waste & recycling container.

⁹ For the purposes of LOS, "capita" was calculated as *proposed units x persons / household* using the 2009-2013 US Census Data - 2.63 persons per household

¹⁰ Planners Estimating Guide, p. 137: Table 11-1-Basic Impact Coefficients 1.5833 persons per 1,000 sf of Neighborhood Retail

¹¹ City of Key West Comprehensive Plan Data and Analysis, Pg. A-17

Designation	Residential		Commercial		Total
	LOS	Daily Capacity ¹²	LOS	Daily Capacity ¹³	
Proposed	0.5 lbs/capita/day	21.04 capita x 0.5 lbs = 10.5 lbs	0.25 lbs/capita/day	2,807/1000*2.8536 ¹⁴ = 8.01 x 0.25lbs= 2.0 lbs	12.5 lbs
Existing	0.5 lbs/capita/day	0 capita x 0.5 lbs = 0 lbs	0.25 lbs/capita/day	5,741/1000*2.8536 ¹⁵ =16.38 x 0.25lbs= 4.09 lbs	4.09 lbs

Policy 4-1.1.2. E- Drainage Facilities Level of Service

The project is exempt from storm water management permitting requirements in accordance with Section 108-716(3), "Any maintenance, alteration, renewal, repair, use or improvement of an existing structure or the construction of any structure or modification thereto which does not create impervious surface exceeding 500 square feet. This shall not exempt the applicant from retaining the first one inch of rainfall on site as required by F.A.C. 17-25".

Existing Level of Service Standard

1. Post development runoff shall not exceed the pre-development runoff rate for a 25-year storm event, up to and including an event with a 24-hour duration.
2. Storm water treatment and disposal facilities shall be designed to meet the design and performance standards established in Chapter 62-25 Section 25.025, Florida Administrative Code, with treatment of the runoff from the first one inch of rainfall on-site to meet the water quality standards required by Chapter 62-302, Florida Administrative Code. Storm water facilities which directly discharge into "Outstanding Florida Waters" (OFW) shall provide an additional treatment pursuant to Section 62-25.025 (9), Florida Administrative Code.
3. Storm water facilities must be designed so as to not degrade the receiving water body below the minimum conditions necessary to assure the suitability of water for the designated use of its classification as established in Chapter 62-302 Florida Administrative Code.

¹² For the purposes of LOS, "capita" was calculated as *proposed units x persons / household* using the 2009-2013 US Census Data - 2.63 persons per household

¹³ Adopted LOS 0.5/Adopted LOS 0.25= 2.00 multiplier; 4.03*2.00=8.06

¹⁴ Planners Estimating Guide, p. 137: Table 11-1-Basic Impact Coefficients 2.8536 persons per 1,000 sf of General Office

¹⁵ Planners Estimating Guide, p. 137: Table 11-1-Basic Impact Coefficients 2.8536 persons per 1,000 sf of General Office Retail

KBP CONSULTING, INC.

December 16, 2017

Mr. Owen Trepanier
President
Trepanier & Associates, Inc.
1421 First Street, P.O. Box 2155
Key West, Florida 33045-2155

**Re: Dion's Flagler Avenue Mixed-Use – Key West, Florida
Traffic Statement**

OK
8/13/18

Dear Owen:

There is an existing gas station with convenience store and a light industrial building located in the southwest quadrant at the intersection of Flagler Avenue and Riviera Street in Key West, Monroe County, Florida. More specifically, the subject site is located at 3228 Flagler Avenue. The existing development consists of a gas station with eight (8) fueling positions and approximately 4,705 square feet of building area of which approximately 2,807 square feet is utilized for the convenience store. The remainder of the existing building area (approximately 1,898 square feet) is utilized for light industrial purposes. Vehicular access to the site is provided on Flagler Avenue, Riviera Street, and Riviera Drive.

The light industrial portion of the site is proposed to be demolished and redeveloped with eight (8) residential apartment dwelling units. Access to the residential portion of the site will be provided by one (1) full access driveway on Riviera Street. Vehicular access to the gas station and convenience store will remain unchanged. A preliminary site plan is presented in Attachment A to this memorandum. The purpose of this traffic statement is to document the trip generation characteristics associated with the existing and proposed development and to document the AM and PM peak hour driveway volumes.

Trip Generation Analysis

The trip generation for this project was determined utilizing the trip generation rates and equations contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (10th Edition)*. According to the subject ITE manual, the most appropriate land use categories for the subject land uses are Land Use #945 – Gasoline / Service Station with Convenience Market, Land Use #110 – General Light Industrial, and Land Use #220 – Multi-Family Housing (Low-Rise). The trip generation rates and equations used to determine the vehicle trips associated with this analysis are presented below.

Gasoline / Service Station with Convenience Market – ITE Land Use #945

- Weekday: $T = 205.36 (X)$
where $T =$ number of trips and $X =$ number of vehicle fueling positions
- AM Peak Hour: $T = 12.47 (X)$ (51% in / 49% out)
- PM Peak Hour: $T = 13.99 (X)$ (51% in / 49% out)

8400 North University Drive, Suite 309, Tamarac, Florida 33321
Tel: (954) 560-7103 Fax: (954) 582-0989

KBP CONSULTING, INC.

General Light Industrial – ITE Land Use #110

- Weekday: $T = 4.96 (X)$
where $T = \text{number of trips}$ and $X = 1,000 \text{ square feet of gross floor area}$
- AM Peak Hour: $\text{Ln}(T) = 0.74 \text{ Ln}(X) + 0.39$ (88% in / 12% out)
- PM Peak Hour: $\text{Ln}(T) = 0.69 \text{ Ln}(X) + 0.43$ (13% in / 87% out)

Multi-Family Housing (Low-Rise) – ITE Land Use #220

- Weekday: $T = 7.32 (X)$
where $T = \text{number of trips}$ and $X = \text{number of dwelling units}$
- AM Peak Hour: $\text{Ln}(T) = 0.95 \text{ Ln}(X) - 0.51$ (23% in / 77% out)
- PM Peak Hour: $\text{Ln}(T) = 0.89 \text{ Ln}(X) - 0.02$ (63% in / 37% out)

Table 1 below summarizes the trip generation characteristics associated with the existing and proposed development on the Dion’s Flagler Avenue Mixed-Use site in the City of Key West, Florida.

Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Existing</i>								
Gas Station w/ C-Store	8 FP	1,643	51	49	100	57	55	112
Light Industrial	1,898 SF	9	2	0	2	0	2	2
Total (Existing)		1,652	53	49	102	57	57	114
<i>Proposed</i>								
Gas Station w/ C-Store	8 FP	1,643	51	49	100	57	55	112
Apartments	8 DU	59	1	3	4	4	2	6
Total (Proposed)		1,702	52	52	104	61	57	118
Difference (Proposed - Existing)		50	(1)	3	2	4	0	4

Compiled by: KBP Consulting, Inc. (December 2017).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (10th Edition).

As indicated above, the proposed development scenario (i.e. gas station with convenience store and residential apartments) at the subject site is expected to generate 1,702 daily vehicle trips, 104 AM peak hour vehicle trips, and 118 PM peak hour vehicle trips. When compared with the existing development on this site (i.e. gas station with convenience store and light industrial space), this represents a minimal increase of 50 daily vehicle trips, a nominal increase of two (2) AM peak hour vehicle trips, and a nominal increase of four (4) PM peak hour vehicle trips. The resulting driveway volumes for the residential component of this project are presented in Attachment B to this memorandum. (The driveway volumes associated with the gas station and convenience store will remain unchanged.)

KBP CONSULTING, INC.

2-4/0

Conclusions

In summary, the foregoing trip generation analysis indicates that the proposed residential use on the Dion's Flagler Avenue Mixed-Use site will have little to no impact on the trip generation characteristics of the site. There will be a minimal increase (+50) in daily vehicle trips, a slight increase (+2) in AM peak hour vehicle trips, and a slight increase (+4) in PM peak hour vehicle trips.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

KBP CONSULTING, INC.



Karl B. Peterson, P.E.
Florida Registration Number 49897
Engineering Business Number 29939

LANDSCIENCE

Environmental Consultants and Engineers

September 24, 2015

Dion Oil Company, LLC
P.O. Box 1209
Key West, Florida 33041

and

Spectrum Capital Group

Subject: Phase I Environmental Site Assessment Recommendations
Dion's Quik Mart #5
Parcel ID No. 00069040-000000
FDEP Facility ID No. 8511705
Located at 3228 Flagler Avenue
Key West, Monroe County, Florida
LandScience Project No. 2156700F

Dear Ladies and Gentlemen,

LandScience is pleased to submit the attached recommendations letter for the above referenced property (herein referred to as the subject property).

Findings

On-Site Environmental Concerns

Information obtained during this assessment indicated that the southern portion of the subject property building was previously occupied by Gallo Automotive from at least the late 1990s through November 2005, which had previously conducted automotive repair and maintenance activities and stored various petroleum and solvent products, and associated hazardous substances and wastes.

Information obtained from the Florida Department of Environmental Protection (FDEP) indicated that Gallo Automotive operated as a paint and body shop and was registered with the FDEP as a Conditionally Exempt Small Quantity Generator of hazardous waste under Facility ID No. FLR000102392. Review of an FDEP Hazardous Waste On-Site Compliance Inspection Report, dated September 30, 2003, indicated that evidence of discharges of used oil was noted on the concrete flooring surrounding the waste collection area, and it was requested that clay absorbent be utilized to collect the discharges. The inspection report also noted that the

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drums utilized to store hazardous wastes should be kept closed. Additional information pertaining to Gallo Automotive was not available for our review. However, according to Ms. Simons of Dion Oil Company, the facility ceased conducting automotive repair activities at the subject property in November 2005.

It has been our experience that automotive repair activities and the storage and use of solvents and petroleum-based products, as well as the hazardous waste generated by such activities, have the potential to impact the soil and/or groundwater quality of the subject property. Therefore, the historical use of the subject property as an automotive repair and maintenance facility represents a REC in connection with the subject property.-

In addition, the subject property operates as a retail fuel station which maintains several USTs of petroleum products, which represents a REC in connection with the subject property.

Two (2) 10,000-gallon USTs of unleaded gasoline fuel and one (1) 5,000-gallon UST of diesel fuel are situated underneath a UST pad located on the north-central portion of the subject property. These active USTs were installed at the subject property in March 2006, replacing prior UST systems installed in a similar location in 1993 and 1981. The USTs are registered with the FDEP under Facility ID No. 8511705.

These active USTs are constructed of double wall fiberglass-clad steel and are equipped with overfill/overspill protection consisting of spill containment buckets, flow shut-off, ball check valves, and level gauges with high-level alarms. The product lines are constructed of double wall fiberglass with a pressurized piping system and the dispensers are equipped with liners. The release detection system consists of an automatic tank gauging system, electronic line leak detectors with flow shut off valves, and continuous electronic sensing equipment. Based on this information, it appears that these USTs are compliant with Florida Administrative Code (F.A.C.) requirements mandating double-walled tanks after December 31, 2009.

According to regulatory documents obtained from the FDEP, the facility maintained a Storage Tank System Third Party Liability and Cleanup Policy through American Safety Indemnity Co., which expired on January 24, 2015. However, according to Dion Oil Company, the Storage Tank System Third Party Liability and

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Cleanup Policy is currently up to date.

Based on our review of the most recent inspection available from the FDEP, conducted on January 29, 2014, annual inline leak detector and annual operability tests were conducted and successfully passed on March 26, 2013 and were next due by March 26, 2014. However, according to Dion Oil Company, the annual inline leak detector and annual operability tests are currently up to date. In addition, a tank tightness test was conducted and successfully passed on April 3, 2012 and will be due again by April 3, 2017.

Based upon our review of the most recent FDEP Storage Tank Facility Annual Compliance Site Inspection Report, dated January 29, 2014, the UST system located at the subject property was minor out of compliance at the time of the inspection. The inspection report noted the following violation: the release detection records were not available at the time of the inspection.

Information contained within the regulatory file indicated that Discharge Reporting Forms (DRFs) were filed with the FDEP on December 2, 1993, January 11, 2006, and November 23, 2010. The December 1993 DRF was submitted in response to evidence of contamination detected during tank removal activities. At the time of the discharge, the site was insured under the Florida Petroleum Liability Insurance Program (FPLIPA). In FDEP correspondence dated May 2, 2006, it was determined the contamination from the 6,000-gallon UST removed on December 2, 1993 was eligible for state-funded remediation assistance under the Florida Petroleum Liability and Restoration Insurance Program (FPLRIP)¹. The January 2006 DRF was submitted in response to soil and groundwater contamination resulting from the puncture of the steel wall of a tank noticed during the removal of the USTs and associated dispensing system. The November 2010 DRF was submitted in response to soil and groundwater contamination discovered after groundwater entered a tank when a contractor was working on a STP motor and the tank adaptor to the sump snapped.

¹ FPLRIP - The State of Florida will contribute between \$ 300,000 and \$ 1,000,000.00 toward cleanup expenses for eligible facilities with documented claims of petroleum hydrocarbon contamination prior to December 31, 1998. The State of Florida will not contribute to the cleanup expenses for facilities with claims of petroleum hydrocarbon contamination after January 1, 1999.

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Subsequent to tank removal activities conducted in January 2006, a Tank Closure Assessment Report (TCAR) and Source Removal Report (SRR), dated March 2006, was prepared for the subject property by Handex Consulting and REmediation Services - SE, LLC (HCR). Review of the TCAR/SRR indicated the following: 1) on January 10 through January 14, 2006 HCR personnel observed the removal of three (3) 8,000-gallon USTs, associated product piping, and fuel dispensers; 2) organic vapor analyzer (OVA) soil field screening readings were obtained with higher than acceptable results and subsequently source removal activities commenced; 2) an estimated 2,200 tons of impacted soil and approximately 42,400 gallons of petroleum contact water were removed from the site and transported off-site for proper disposal; and 3) laboratory analysis of groundwater samples collected from a temporary monitoring well installed in the center of the former excavation area indicated concentrations of dissolved hydrocarbons which exceeded the applicable Groundwater Cleanup Target Levels (GCTLs) and Natural Attenuation Default Source Concentrations (NADSCs).

On August 21, 2007, a Site Assessment Report (SAR) was prepared for the subject property by HCR to address evidence of petroleum hydrocarbon contamination detected by a Monroe County Health Department (MCHD) inspector. Review of the SAR indicated the following: 1) laboratory analytical results of groundwater samples collected from four (4) on-site monitoring wells indicated concentrations of methyl-tert-butyl-ether (MTBE) above the applicable GCTLs and/or NADSCs; 2) the 2,200 tons of contaminated soil removed during the January 2006 tank closure removed the vast majority of the source material, however it was apparent that a small amount of hydrocarbon-impacted material remained; and 3) based upon the results of the assessment, HCR recommended that Natural Attenuation Monitoring (NAM) commence at the site.

On January 25, 2011, HCR prepared a Limited Closure Assessment Report (LCAR) for the subject property. Review of the LCAR indicated the following: 1) soil field screening results ranged from a net Toxic Vapor Analyzer (TVA) reading of 17 parts per million (ppm) to 424 ppm; 2) laboratory analysis of the soil sample from the highest TVA reading indicated a concentration of benzene which exceeded the Table II Leachability Soil Cleanup Target Levels (SCTLs); and 3) since the facility was eligible for state funded remediation

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assistance due to a prior discharge, HCR recommended that a Site Rehabilitation Funding Allocation Agreement (SRFAA) be entered into with the FDEP.

Therefore, on April 6, 2012, a SRFAA was executed between Dion Commercial Properties LLC and the FDEP. Under the SRFAA, Dion Commercial Properties is required to fund 50% of the site rehabilitation.

In addition, a discharge of one (1) gallon of diesel fuel was reported at the subject property on July 10, 2000. Review of the FDEP Emergency Response Incident Report indicated that the discharge occurred on an impervious surface and absorbent was used to remedy the discharge. According to Ms. Amanda Hartsfield of the FDEP, the Office of Emergency Response considers this case to be closed.

According to information obtained from the FDEP and the Monroe County Department of Health (DOH), no records were on file indicating that another release of hazardous substances or petroleum products had occurred at the facility which required further assessment or remediation.

It is our understanding that when funds become available, assessment and/or remediation activities will continue to be the responsibility of the FDEP and Dion Commercial Properties LLC under the SRFAA. As of May 10, 2013, the subject property was issued a priority score of nine (9)². Currently, assessment and/or remediation activities are being conducted by the state on facilities with a ranking of thirty (30) or higher, therefore assessment and/or remediation activities are not currently being conducted at the subject property.

Off-Site Environmental Concerns

During our assessment, three (3) facilities were identified as possible off-site facilities which could impact the environmental condition of the subject property. However, based on the hydrologic setting of the area, other available information obtained from the environmental database search report, and from the local regulatory files, and/or the location (distance and direction) relative to the subject property, it appeared unlikely that soil and/or groundwater quality at the subject property had been negatively impacted by these

² The Site Priority Ranking Rule, Chapter 62-771, Florida Administrative Code, establishes a scoring system the FDEP uses to assign priority scores to petroleum contaminated sites. The scoring system is based upon the potential threat to public health, safety, welfare, drinking water supplies, and the environment. Each site eligible for cleanup funding assistance is scored according to this system.

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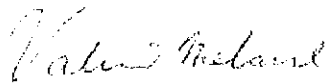
facilities. As a result, the environmental risk of these properties impacting the soil and/or groundwater of the subject property at levels which would require remediation is low.

Recommendations

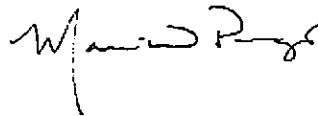
Based on information obtained during this Phase I ESA, we recommend no further assessment at this time of the subject property with regards to RECs, HRECs, CRECs, PECs, BERs, or VECs. Furthermore, we recommend no further assessment at this time of the subject property with regards to off-site environmental conditions which may impact the subject property.

LandScience appreciates the opportunity to provide our services and we look forward to assisting you on this and other projects. If you have any questions regarding the information presented above, please contact us at (305) 893-4955.

Yours Very Truly,
LandScience, Inc.



Valerie Mebane
Project Manager



Mauricio Pages
Senior Project Geologist

Warranty Deed

This Instrument prepared by & return to

Name: Frances C. Lowe, Esq.
Guilday, Schwartz, Simpson, West, Hatch & Lowe, P.A.
Address: 68 A Feli Way
Crawfordville, Florida 32327

02/11/2016 11:08AM
DEED DOC STAMP CL: Krys \$145,250.00

NOTE TO RECORDER: A DUPLICATE COUNTERPART OF THIS GENERAL WARRANTY DEED IS BEING RECORDED IN MIAMI-DADE COUNTY, FLORIDA. ALL DOCUMENTARY STAMP TAXES DUE IN CONNECTION WITH THE SALE OF REAL PROPERTY HEREIN ARE BEING PAID WITH THIS MONROE COUNTY RECORDATION.

GENERAL WARRANTY DEED

Doc# 2063429
BK# 2781 Pg# 1779

Parties and Addresses

1.01. This General Warranty Deed (this "Deed") is made by and between Dion Commercial Properties, LLC, a Florida limited liability company, (the "Grantor"), whose principle business address is 638 United Street, Key West, Florida 33040, and LAND 10031, LLC as to a 11.077% interest, LAND 2708, LLC as to a 8.451% interest, LAND 113, LLC as to a 13.353% interest, LAND 1701, LLC as to a 11.077% interest, LAND 8601, LLC as to a 8.226% interest, LAND 7009, LLC as to a 9.644% interest, LAND 2421, LLC as to a 9.611% interest, LAND 4027, LLC as to a 13.410% interest, and LAND 8351, LLC as to a 15.151% interest, in Common among all of the aforesaid LLC's, all Virginia limited liability companies qualified to do business in Florida, (collectively the "Grantees"), whose principal business address is 4900 West Hundred Road, Chester, Virginia 23831.

Granting Clause

2.01. Grantor grants and conveys ownership of the property described below to Grantees, along with all of its rights and appurtenances, including any right, title, and interest of Grantor in adjacent streets, alleys, and rights-of-way.

Description of Property

3.01. The property consists of all the parcels of land and other structures on the land in the Counties of Miami-Dade and Monroe, of the State of Florida; (the "Property").

3.02. The legal description of the Property is described on **Exhibit A** attached to and incorporated herein.

Covenants by Grantor

5.01. Grantor makes the following covenants with Grantee:

- (1) That Grantor is lawfully seized of the Property described in this Deed.
- (2) That Grantor has the right to convey the Property described in this Deed to Grantee.
- (3) That the Property is free from all former mortgages, judgments, executions, and all other encumbrances.
- (4) That Grantor will warrant generally the Property conveyed by this Deed, so that Grantees will remain in peaceful ownership of the Property.
- (5) That Grantees shall have quiet possession of the Property, and Grantees will not be disturbed in possession of or removed from the Property by persons who have claims against the Property.
- (6) That Grantor will execute any further assurances as may be reasonably required by Grantees, to correct any defect in the title.

Exceptions, Reservations, and Restrictions

6.01. The conveyance of this Property is made subject to the exceptions, reservations and restrictions listed and outlined on **Exhibit B** attached hereto and incorporated herein.

Parties Bound by This Deed

7.01. The covenants made in this Deed are legally binding on Grantor and all who lawfully succeed to Grantor's rights and responsibilities, including Grantor's heirs, personal representatives, successors in interest, and assigns. These covenants may be enforced by Grantees and all future owners of the Property, including Grantees' heirs, personal representatives, successors in interest, and assigns.

IN WITNESS WHEREOF, Grantor has signed and sealed this General Warranty Deed on February 8, 2016.

Francis C. Lowe
Witness Signature

Francis C. Lowe
Printed Name

DION COMMERCIAL PROPERTIES, LLC, a Florida limited liability company
By: Dion Partnership, Ltd., as Managing Member of Dion Commercial Properties, LLC
By: Larry Dion Corporation, as General Partner of DionPartnership Ltd.

By: Suzanne D. Banks
SUZANNE D. BANKS, as President

Justin K. Simons
Witness Signature

Justin K. Simons
Printed Name

STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 8th day of February, 2016, by SUZANNE D. BANKS, President of Larry Dion Corporation, General Partner of Dion Partnership, Ltd., managing member of Dion Commercial Properties, LLC, a Florida limited liability company, who is personally known to me or has produced X X as identification.

Lani E. Musgrove
Notary Public-State of Florida

Lani E. Musgrove
Printed Name:

My Commission Expires: _____



**EXHIBIT A
LEGAL DESCRIPTION**

The land referred to herein below is situated in the County of Miami-Dade, State of Florida, and is described as follows:

434 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0020)

Lot 3, Brown's Re-Subdivision, according to the Map or Plat thereof as recorded in Plat Book 6, Page 60, of the Public Records of Miami-Dade County, Florida.

1500 North Krome Avenue, Homestead, Florida (Parcel ID: 10-7812-006-0011)

The East 145.00 feet of the South 250.00 feet of Block 1, of DOWNER PALMS DIVISION NO. 2, according to the Plat thereof, as recorded in Plat Book 14 at Page 28, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:

Beginning at the intersection of the South line of said Block 1 with a line that is 145.00 feet West of and parallel with the East line of said Block 1; thence run N90°00'00"E along the South line of said Block 1 for 119.91 feet to a point of curve; thence run Northeasterly along a circular curve concave to the Northwest having for its elements a radius of 25.00 feet and a central angle of 90°12'00" for an arc distance of 39.36 feet to a point of tangency with the East line of said Block 1; thence run N00°12'00"W along the East line of said Block 1 for 124.91 feet to a point; thence run N90°00'00"W for 145.00 feet to a point; thence run S00°12'00"E for 150.00 feet to the Point of Beginning.

16 North Krome Avenue, Florida City, Florida (Parcel IDs: 16-7824-000-0670; 16-7824-000-0761; 16-7824-000-0764)

From the Southeast corner of Section 24, Township 57 South, Range 38 East, Miami-Dade County, Florida, run North 50 feet and West 40 feet, for a Point of Beginning;

Thence run North along the West line of Krome Avenue, Florida City, as shown and designated on the Plat of INDUSTRIAL ADDITION NO. 2, according to the plat thereof, as recorded in Plat Book 30 at Page 80 of the Public Records of Miami-Dade County, Florida; a distance of 200 feet; thence run West parallel to the North line of Palm Avenue, a distance of 100 feet; thence run South, parallel to Krome Avenue, a distance of 40 feet; thence run West parallel to the North line of Palm Avenue, a distance of 100.36 feet; thence run South, parallel to Krome Avenue, a distance of 160 feet; thence run East along the North line of Palm Avenue, a distance of 200.36 feet to the Point of Beginning.

26917-29 S. Dixie Highway, Naranja, Florida (Parcel ID: 30-6933-006-0190)

Lots 6, 7, 8 and 9, Block 12, NARANJA PARK, SECOND ADDITION, according to the Plat thereof as recorded in Plat Book 60, at Page 67, of the Public Records of Miami-Dade County, Florida.

5 NE 15th Street, Homestead, Florida (Parcel ID: 10-7907-021-0580)

All of Lots 1 and 2 less the North 100 feet thereof and all of Lot 3 less the North 100 feet and East 15 feet thereof and also all of Lot 16 less the East 15 feet thereof and all of Lots 17 and 18, and all of Block 16, of DOWNER PALMS DIVISION NO. 1, according to the Plat thereof recorded in Plat Book 14, at Page 27, of the Public Records of Miami-Dade County, Florida, more particularly described as follows: Begin at a point on the West line of Lot 1, Block 16 of Downer Palms Division No. 1, according to the Plat thereof recorded in Plat Book 14, Page 27, of the Public Records of Miami-Dade County, Florida; said point being 100 feet South of, as measured at right angles to, the North line of said Lot 1 and its prolongation Westerly, thence run due South along the West line of Lots 1 and 18, Block 16, of said Downer Palms Division No. 1 for a distance 144.70 feet to the beginning of a tangential circular curve; thence run in a Southeasterly and Easterly direction along said curve having a radius of 25 feet through a

central angle of 90 degrees 00 minutes 15 seconds for an arc distance of 39.27 feet to the end of said curve; thence run North 89 degrees 59 minutes 45 seconds East along the South line of Lots 18, 17 and 16 Block 16 of said Downer Palms Division No. 1 for a distance of 111.13 feet to a point 15 feet West of, as measured at right angles to, the East line of Lot 16 Block 16 of said Downer Palms Division No. 1, thence run due North along a line parallel to and 15 feet West of, as measured at right angles to, the East line of Lot 16 Block 16 of said Downer Palms Division No. 1, for a distance of 169.70 feet to a point; said point being 100 feet South of, as measured at right angles to, the North line of Lots 1, 2 and 3, Block 16 of said Downer Palms Division No. 1, thence run South 89 degrees 59 minutes 45 seconds West along a line parallel to and 100 feet South of, as measured at right angles to, the North line of Lots 1, 2 and 3, Block 16 of said Downer Palms Division No. 1, for a distance of 136.13 feet to the Point of Beginning.

777 Homestead Boulevard, Homestead, Florida (Parcel ID: 10-7918-000-0220)

All that part of the South 208.71 feet of the West 208.71 feet of Tract 14, Block 3, Section 18, Township 57 South, Range 39 East, of MIAMI LAND DEVELOPMENT COMPANY SUBDIVISION according to the plat thereof recorded in Plat Book 5, at Page 10 of the Public Records of Miami-Dade County, Florida, lying East of the right-of-way of State Road No. 5 as shown on the plat thereof recorded in Plat Book 60 at Page 36, Sheet 3, of the Public Records of Miami-Dade County, Florida, more particularly described as follows:

Commencing at the S.W. corner of said Tract 14, being also the S.W. corner of the SE 1/4 of the SW 1/4 of SW 1/4 of Section 18; thence run East a distance of 63.36 feet along the South boundary of said Section 18 to the point of intersection with the arc of a curve, said point being the Point of Beginning of the Tract of land hereinafter described; thence run East along the South line of said Section 18, being also the South line of said Tract 14, a distance of 145.35 feet to a point; thence run N. 0°35'00" W. along a line that is parallel, to the West boundary of said Tract 14 and parallel to the West boundary of SE 1/4 of the SW 1/4 of the SW 1/4 of said Section 18 a distance of 208.71 feet to a point; thence run West along a line that is parallel to the South boundary of said Section 18 and parallel to the South boundary of said Tract 14 a distance of 128.79 feet to the point of intersection with a circular curve, said curve being the Easterly Right-of-Way Line of State Road No. 5; thence run Southwesterly 209.21 feet along the arc of said curve having a radius of 3761.83 feet, and a central angle of 3°11'11", and a chord bearing of S 3°26'44" W to the Point of Beginning.

444 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0040)

Lot 5, Brown's Re-Subdivision, according to the Map or Plat thereof as recorded in Plat Book 6, Page 60, of the Public Records of Miami-Dade County, Florida.

412 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-048-0010 and 10-7813-048-0020) and 458 South Flagler Avenue, Homestead, Florida (10-7813-048-0031)

Lots 1 through 6 inclusive of NELSON'S ADDITION TO HOMESTEAD, FLA., according to the Plat thereof, as recorded in Plat Book 1, at Page 94, of the Public Records of Dade County, Florida, less the area bounded by the North line of said Lot 1, and bounded by the Easterly line of said Lot 1, and bounded by a 15 foot radius arc, concave to the Southwest, said arc being tangent to both of the last described lines.

457 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0050)

Lot 6 of Brown's Re-subdivision, according to the map or plat thereof, recorded in Plat Book 6, Page 60, of the Public Records of Dade County, Florida.

467 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0030)

Lot 4, Brown's Re-Subdivision, according to the Map or Plat thereof as recorded in Plat Book 6, Page 60, of the Public Records of Miami-Dade County, Florida.

The land referred to herein below is situated in the County of Monroe, State of Florida, and is described as follows:

1409 Overseas Highway, Marathon, Florida (Parcel ID: 00326840-000000)

1415 Overseas Highway, Marathon, Florida (Parcel ID: 00326820-000000)

1417-1421 Overseas Highway, Marathon, Florida (Parcel ID: 00326810-000000)

Lots 3, 4, 5, and 6, Block 2, PARRISH SUBDIVISION, according to the plat thereof recorded in Plat Book 2, Page 18, of the Public Records of Monroe County, Florida.

451 Overseas Highway, Big Coppitt Key, FL (Parcel ID: 00121470-000000)

A parcel of land in a part of Government Lots 2 and 3, all in Section 22 Township 67 South, Range 26 East on BIG COPPITT KEY, Monroe County, Florida, and being more particularly described by metes and bounds as follows: Commencing at the intersection of the South line of Government Lot 3, Section 22, Township 67 South, Range 26 East, and the West line of Government Lot 2, Section 22, Township 67 South, Range 26 East, bear West along the South line of Government Lot 3 a distance of 15 feet to a point; thence at right angles bear North 101.2' to a point of intersection with the South property line of Lot 1 of Big Coppitt Subdivision according to a Survey by C. G. Bailey, Registered Surveyor, dated September 1, 1958; thence at right angles bear East along said South property line of Lot 1 of Big Coppitt Subdivision a distance of 60' to a point; thence at right angles bear South a distance of 7' to a point; thence bear East 45 degrees South to a point of intersection with a line running North from the Northerly right of way line of U.S. Highway No. 1, 105' East of and parallel to the West line of Government Lot 2, Section 22, Township 67 South, Range 26 East; thence bear South along said parallel line of the intersection with the Northerly right of way line of U.S. Highway No. 1; thence bear Westerly along the Northerly right of way line of U.S. Highway No. 1 to a point of intersection with the West line of Government Lot 2, Section 22, Township 67 South, Range 26 East; thence bear North along said West line of Government Lot 2, 119.94 feet back to the point of beginning.

Together with the Grant of Easement and Joint Use Agreement, dated April 27, 2015, and recorded on April 29, 2015 in Official Records Book 2737, Page 2103, Public Records of Monroe County, Florida.

Tract A, Big Coppitt Key, Florida (Parcel ID: 00151010-000000)

Tract "A", Amended Plat of COPPITT SUBDIVISION, located in Government Lot 5, Section 22, Township 67 South, Range 26 East, BIG COPPITT KEY, according to the plat thereof, recorded in Plat Book 4, Page 50, of the Public Records of Monroe County, Florida.

Lot 1, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153330-000000)

Lot 1 of GULF VIEW, according to the Plat thereof recorded in Plat Book 3, at Page 17 of the Public Records of Monroe County, Florida, said property being on Big Coppitt Key, together with improvements thereon.

Lot 2, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153340-000000)

Lot 2 of GULF VIEW, according to the Plat thereof recorded in Plat Book 3, at Page 17 of the Public Records of Monroe County, Florida, said property being on Big Coppitt Key, together with improvements thereon.

3228 Flagler Ave, Key West, Florida (Parcel ID: 00069040-000000)

In RIVIERA SHORES SUBDIVISION, a subdivision of a part of the City of Key West, according to plat thereof recorded in Plat Book 3, Page 148, Public Records of Monroe County, Florida;

Begin at the Northeast corner of Block 2 of said subdivision, thence run in a Southwesterly direction along the Southeasterly right-of-way line of Flagler Avenue a distance of 100 feet;

Doc# 2063429
Bk# 2781 P# 1783

thence at a right angle and in a Southeasterly direction a distance of 120 feet to the Northwesterly right-of-way line of Riviera Drive; thence at a right angle and in a Northeasterly direction along the said Northwesterly right-of-way of Riviera Drive a distance of 100 feet to the corner of the intersection of the said Riviera Drive with Riviera Street; thence at a right angle and in a Northwesterly direction along the Southwesterly right-of-way line of Riviera Street a distance of 120 feet to the point of beginning.

Doc# 2063429
Bk# 2781 Pg# 1784

6203 Overseas Hwy, Marathon, Florida (Parcel ID: 00338730-000600)

A part of Tract 10 of EDMONDS ACREAGE TRACTS as recorded in Plat Book 2, Page 100, of the Public Records of Monroe County, Florida, and being more fully described as follows: From a point formed by the intersection of the West line of Government Lot 1, Section 11, Township 66 South, Range 32 East, and the Southerly boundary line of U.S. Highway No. 1, run Northeasterly along the Southerly boundary line of the said U.S. Highway No. 1 a distance of 498.1 feet to the point of beginning. From said point of beginning run due South a distance of 156.04 feet to a point; thence due West a distance of 104.44 feet to a point; thence due North a distance of 126.75 feet to a point; thence Northeasterly along the Southerly right-of-way line of U.S. Highway No. 1 a distance of 108.47 feet to the point of beginning.

6209 Overseas Highway, Marathon, Florida (Parcel ID: 00339960-000000)

Lots 1, 2, 3, and 4, inclusive in Block "C", SHERYL SUBDIVISION NO. 2, according to the Plat thereof as recorded in Plat Book 4, Page 43, of the Public Records of Monroe County, Florida; less that part of Lots 3 and 4 of Block C of SHERYL SUBDIVISION NO. 2 according to the Plat thereof as recorded in Plat Book 4 at Page 43 of the Public Records of Monroe County, Florida, being more particularly described as follows: Begin at the Northeast corner of said Lot 4; thence run S 0° 30'48" E, along the East line of said Lot 4, for 21.07 feet; thence run N 67° 31'05" W, through said Lots 4 and 3, for 32.46 feet to the point of intersection with the North line of said Lot 3; thence run N 73° 48'17" E along the North lines of said Lots 3 and 4, for 31.04 feet to the Point of Beginning.

81644 Overseas Hwy, Islamorada, Florida (Parcel ID: 00095130-000000)

On the Island of Upper Matecumbe, being a part of Government Lot 1, Section 32, Township 63 South, Range 37 East, according to a plat thereof made by George L. McDonald, C.E., recorded in Plat Book 1, Page 41, Public Records of Monroe County, Florida, as more particularly described as follows:

Commencing at a point on the Northwest side of the right of way of the Florida East Coast Railway Company, and now known as the Overseas Highway Road right of way, where the said land joins the Southwest boundary line of the Hugh Matheson property, and a/k/a Cephas Pinder property, and run thence along said Overseas Highway Road right of way in a Southwesterly direction 242 feet for a point of beginning; thence along said right of way in a Southwesterly direction 150 feet; thence at right angles in a Northwesterly direction 100 feet; thence at right angles in a Northeasterly direction 150 feet; thence at right angles in a Southeasterly direction 100 feet back to the point of beginning and out to said Overseas Highway right of way.

1127 (1124) Truman Avenue, Key West, Florida (Parcel ID: 00032360-000000)

On the Island of KEY WEST and being part of Tract 13, according to William A. Whitehead's Map of said Island, delineated in February, 829, more particularly described as follows:

Lots 1 and 2 and the Easterly 36 feet 11 inches of Lot 3, all in Block 1 of Tract 13, according to Gwynn's Diagram recorded in Deed Book "O", Page 195, Public Records of Monroe County, Florida.

24996 Overseas Highway, Summerland Key, Florida (Parcel ID: 00188900-000000)

Lot 1, Block 1, SUMMERLAND KEY COVE SUBDIVISION, according to the Plat thereof recorded in Plat Book 4, Page 35, of the Public Records of Monroe County, Florida.

3700 N. Roosevelt Blvd, Key West, Florida (Parcel ID: 00066080-000000)

A parcel of land on the ISLAND OF KEY WEST, Monroe County, Florida and is part of Parcel No. 3 according to "PLAT OF SURVEY (on two sheets) part of lands formerly owned by Key West Improvement, Inc." as recorded in Plat Book 4, Page 69, Monroe County Official Records and more particularly described as follows:

From the intersection of the West line of said Parcel #3 and the Southerly right-of-way (curb) line of Roosevelt Boulevard go North 84 degrees 14 minutes 40 seconds East along said Southerly right-of-way (curb) line a distance of 266.89 feet to a point which point is the point of beginning;

thence continue North 84 degrees 14 minutes 40 seconds East along said Southerly right-of-way (curb) line a distance of 150 feet to a point, thence South 05 degrees 45 minutes 20 seconds East a distance of 224.82 feet to a point; thence South 84 degrees 14 minutes 40 seconds West a distance of 150 feet to a point; thence North 05 degrees 45 minutes 20 seconds West a distance of 224.82 feet back to the point of beginning.

Less and except the property granted to the State of Florida Department of Transportation, described in Official Records Book 2593, Page 957, of the Public Records of Monroe County, Florida.

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EXHIBIT B
EXCEPTIONS, RESERVATIONS and RESTRICTIONS

The land referred to herein below is situated in the County of Miami-Dade, State of Florida:

434 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0020)

1. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.
2. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

1500 North Krome Avenue, Homestead, Florida (Parcel ID: 10-7812-006-0011)

1. Oil, gas and mineral reservations contained in Deed from Board of Commissioners of Everglades Drainage District, recorded in Deed Book 2476, Page 69; as affected by: Instrument, recorded in Book 958, Page 570.
2. Oil, gas and mineral reservations contained in that certain Special Warranty Deed, recorded in Book 14290, Page 997.
3. Oil, gas and mineral reservations contained in that certain Special Warranty Deed, recorded in Book 18409, Page 3281.
4. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

16 North Krome Avenue, Florida City, Florida (Parcel ID: 16-7824-000-0670; 16-7824-000-0761; 16-7824-000-0764)

1. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

26917-29 S. Dixie Highway, Naranja, Florida (Parcel ID: 30-6933-006-0190)

1. Restrictions as shown on the plat of NARANJA PARK, SECOND ADDITION, as recorded in Plat Book 60, Page(s) 67, including, but not limited to, provisions for the following: Wells and the re-subdivision of Lots, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Terms and provisions contained in Unity of Title, recorded in Book 11082, Page 806.
3. Grant of Easement granted to John Van Rachmuth, recorded in Book 13200, Page 3622.
4. Covenant Running With The Land in favor of Metropolitan Dade County, recorded in Book 13656, Page 3897, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
5. Covenant Running With The Land in favor of Metropolitan Dade County, recorded in Book 14311, Page 1666, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
6. Restrictions as set forth in Book 25754, Page 2274.
7. Agreement for Water and Sanitary Sewage Facilities recorded in Book 26655, Page 1434.
8. Covenant in favor of Miami-Dade County recorded in Book 26655, Page 1429.
9. Terms and conditions of the Unity of Title recorded in Book 26655, Page 1425.
10. Declaration of Covenants, Conditions and Restrictions recorded in Book 4339, Page 365, but deleting and covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).

11. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
12. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

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5 NE 15th Street, Homestead, Florida (Parcel ID: 10-7907-021-0580)

1. Ordinance No. 85-12-111 recorded in Book 12780, Page 877.
2. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

777 Homestead Boulevard, Homestead, Florida (Parcel ID: 10-7918-000-0220)

1. Covenant Running with the Land recorded in Book 26748, Page 2068.
2. Order of Taking by City of Homestead recorded in Book 28978, Page 717.
3. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
4. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

444 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0040)

1. Reservations contained in Deed from Board of Commissioners of Everglades Drainage District, filed in Deed Book 3071, Page 301.
2. Reservations unto the State of Florida for oil, gas, minerals, fissionable materials and 200 foot State Road Right of Way as contained in Deed recorded in Deed Book 3071, Page 304. Note: The right of entry and exploration has been released pursuant to S270.11, F.S.
3. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.

412 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-048-0010 and 10-7813-048-0020) and 458 South Flagler Avenue, Homestead, Florida (10-7813-048-0031)

1. Covenant running with the land in favor of Metropolitan Dade County, recorded in Book 12438, Page 1998, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63

457 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0050)

1. Reservations unto the State of Florida for oil, gas, minerals, fissionable materials and 200 foot State Road Right of Way as contained in Deed recorded in Deed Book 2847, Page 65. Note: The right of entry and exploration has been released pursuant to S270.11, F.S.
2. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.

467 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0030)

1. Reservations contained in Deed from Board of Commissioners of Everglades Drainage District, filed in Deed Book 3071, Page 306.
2. Ordinance Number 82-04-26 recorded in Book 11443, Page 1720
3. Reservations unto the State of Florida for oil, gas, minerals, fissionable materials and 200 foot State Road Right of Way as contained in Deed recorded in Deed Book 3071, Page 308. Note: The right of entry and exploration has been released pursuant to S270.11, F.S.
4. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.

The land referred to herein below is situated in the County of Monroe, State of Florida:

1409 Overseas Highway, Marathon, Florida (Parcel ID: 00326840-000000)

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BK# 2781 Pg# 1788

1415 Overseas Highway, Marathon, Florida (Parcel ID: 00326820-000000)

1417-1421 Overseas Highway, Marathon, Florida (Parcel ID: 00326810-000000)

1. Sewer Lateral Wastewater Easement recorded in Book 2647, Page 1290.
2. Planning Commission Resolution No. PC01-05-05 recorded in Book 1706, Page 189.
3. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

451 Overseas Highway, Big Coppitt Key, FL (Parcel ID: 00121470-000000)

1. Easement according to instrument recorded in Book 457, Page 758.
2. Easement according to instrument recorded in Book 457, Page 759.
3. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
4. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.
5. Notice of Environmental Resource or Surface Water Management Permit recorded in Book 2460, Page 131.
6. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

Tract A, Big Coppitt Key, Florida (Parcel ID: 00151010-000000)

1. Easement, according to instrument recorded in Book 390, Page 946.
2. Easement, according to instrument recorded in Book 457, Page 758.
3. Easement, according to instrument recorded in Book 457, Page 759.
4. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
5. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.
6. Notice of Environmental Resource or Surface Water Management Permit recorded in Book 2460, Page 131.

Lot 1, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153330-000000)

1. Easement, according to instrument recorded in Book 457, Page 758.
2. Easement, according to instrument recorded in Book 457, Page 759.
3. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
4. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.
5. Grant of Easement and Joint Use Agreement recorded in Book 2737, Page 2103.
6. Notice of Environmental Resource or Surface Water management Permit recorded in Book 2460, Page 131.

Lot 2, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153340-000000)

1. Easement, according to instrument recorded in Book 457, Page 758.
2. Easement, according to instrument recorded in Book 457, Page 759.
3. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
4. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.

3228 Flagler Ave, Key West, Florida (Parcel ID: 00069040-000000)

1. Declaration of Covenants, Conditions and Restrictions recorded in Book 69, Page 381, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

3. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

6203 Overseas Hwy, Marathon, Florida (Parcel ID: 00338730-000600)

1. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws

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6209 Overseas Highway, Marathon, Florida (Parcel ID: 00339960-000000)

1. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
2. Deed to State Road Department, recorded in Book 368, Page 630.
3. Terms and conditions of Settlement Agreement, recorded in Book 1383, Page 1790.
4. Declaration of Covenants, Conditions and Restrictions recorded in Book 121, Page 304, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
5. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

81644 Overseas Hwy, Islamorada, Florida (Parcel ID: 00095130-000000)

1. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

1127 (1124) Truman Avenue, Key West, Florida (Parcel ID: 00032360-000000)

1. Subject to Restrictions imposed on property lying within the Historical Preservation Area of the City of Key West. Subject premises are within this area as stated in Executive Office of the Governor Administration Commission Chapter 27F-15 Land Planning Boundary and Principles for Guiding Development For the City of Key West recorded in OR Book 901, Page 201.
2. City of Key West Area of Critical State Concern, Rule 27F-15, of the Florida Administrative Code, adopted by the Administration Commission pursuant to Section 380.05 F.S. on February 7, 1984, effective February 28, 1994, recorded in Book 906, Page 200-208, of the Public Records of Monroe County, Florida.
3. Subject to City Ordinance No. 81-43 and Amendment 82-5 thereof, which provides for the assessment and collection of waste in the City of Key West, Monroe County, Florida.
4. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

24996 Overseas Highway, Summerland Key, Florida (Parcel ID: 00188900-000000)

1. Declaration of Covenants, Conditions and Restrictions recorded in Book 110, Page 497 , but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Resolution No. 197-2012 recorded in Book 2588, Page 739.
3. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

3700 N. Roosevelt Blvd, Key West, Florida (Parcel ID: 00066080-000000)

1. Terms and conditions of the Right of Entry Agreement recorded in Book 1414, Page 2192.
2. The fact, as disclosed by that certain document or documents recorded in Book 1414, Page 2192, that some violation of the environmental protection laws may have occurred, which may affect the land.
3. Terms and Conditions as set forth in Deed recorded in Book 2593, Page 957.
4. Easement recorded in Book 93, Page 562.
5. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

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**MONROE COUNTY
OFFICIAL RECORDS**

Detail by Entity Name

Foreign Limited Liability Company
LAND 10031, LLC

Filing Information

Document Number	M16000000458
FEI/EIN Number	81-0635109
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State	VA
Status	ACTIVE

Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Mailing Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Name & Address

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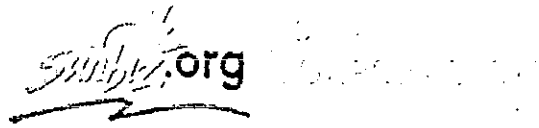
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Name & Address

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Authorized Person(s) Detail

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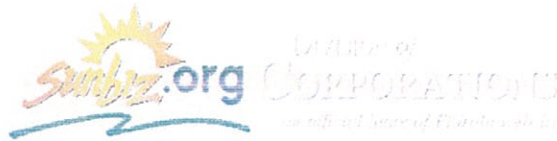
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CHESTER, VA 23831

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Changed: 04/24/2017

Registered Agent Name & Address

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Authorized Person(s) Detail**Name & Address**

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Foreign Limited Liability Company
LAND 7009, LLC

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Changed: 04/24/2017

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Changed: 04/24/2017

Registered Agent Name & Address

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Authorized Person(s) Detail

Name & Address

Title MBR

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Foreign Limited Liability Company
 LAND 4027, LLC

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 68 A FELI WAY
 CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
 4900 WEST HUNDRED ROAD
 CHESTER, VA 23831

Annual Reports

Report Year	Filed Date
2017	04/24/2017

Document Images

04/24/2017 -- ANNUAL REPORT	View image in PDF format
01/19/2016 -- Foreign Limited	View image in PDF format



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Foreign Limited Liability Company
LAND 8351, LLC

Filing Information

Document Number	M16000000448
FEI/EIN Number	81-0635109
Date Filed	01/19/2016
State	VA
Status	ACTIVE

Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Mailing Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

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Verification Form

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an Entity)

I, Owen Trepanier, in my capacity as President
(print name) *(print position; president, managing member)*
of Owen Trepanier & Associate, Inc.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3228 Flagler Ave

Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

A handwritten signature in black ink, appearing to read "Owen Trepanier".

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 2nd Nov 2017 by
date

Owen Trepanier

Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

A handwritten signature in black ink, appearing to read "Alvina Covington".

Notary's Signature and Seal

ALVINA COVINGTON
Name of Acknowledger typed, printed or stamped



Alvina Covington
COMMISSION #FF913801
EXPIRES: August 27, 2019
WWW.AARONNOTARY.COM

FF913801

Commission Number, if any

Authorization Form

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Steven M Uphoff as
Please Print Name of person with authority to execute documents on behalf of entity
Land 113 LLC, Land 1701 LLC, Land 2421
LLC, Land 2708, Land 7009 LLC,
Managing Member of Land 10031, LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Trepanier & Associates, Inc.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Steven M Uphoff
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 8/29/16 by
date

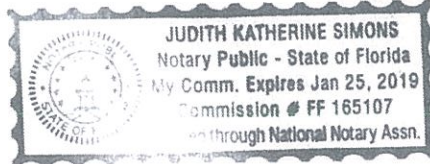
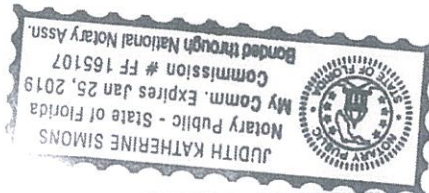
Steven M. Uphoff
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Judith Katherine Simons
Notary's Signature and Seal

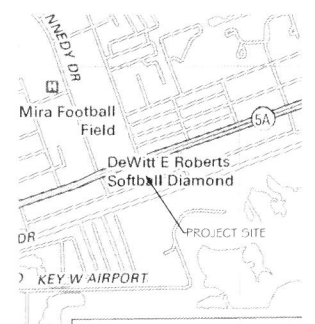
Judith Katherine Simons
Name of Acknowledger typed, printed or stamped

FF165107
Commission Number, if any

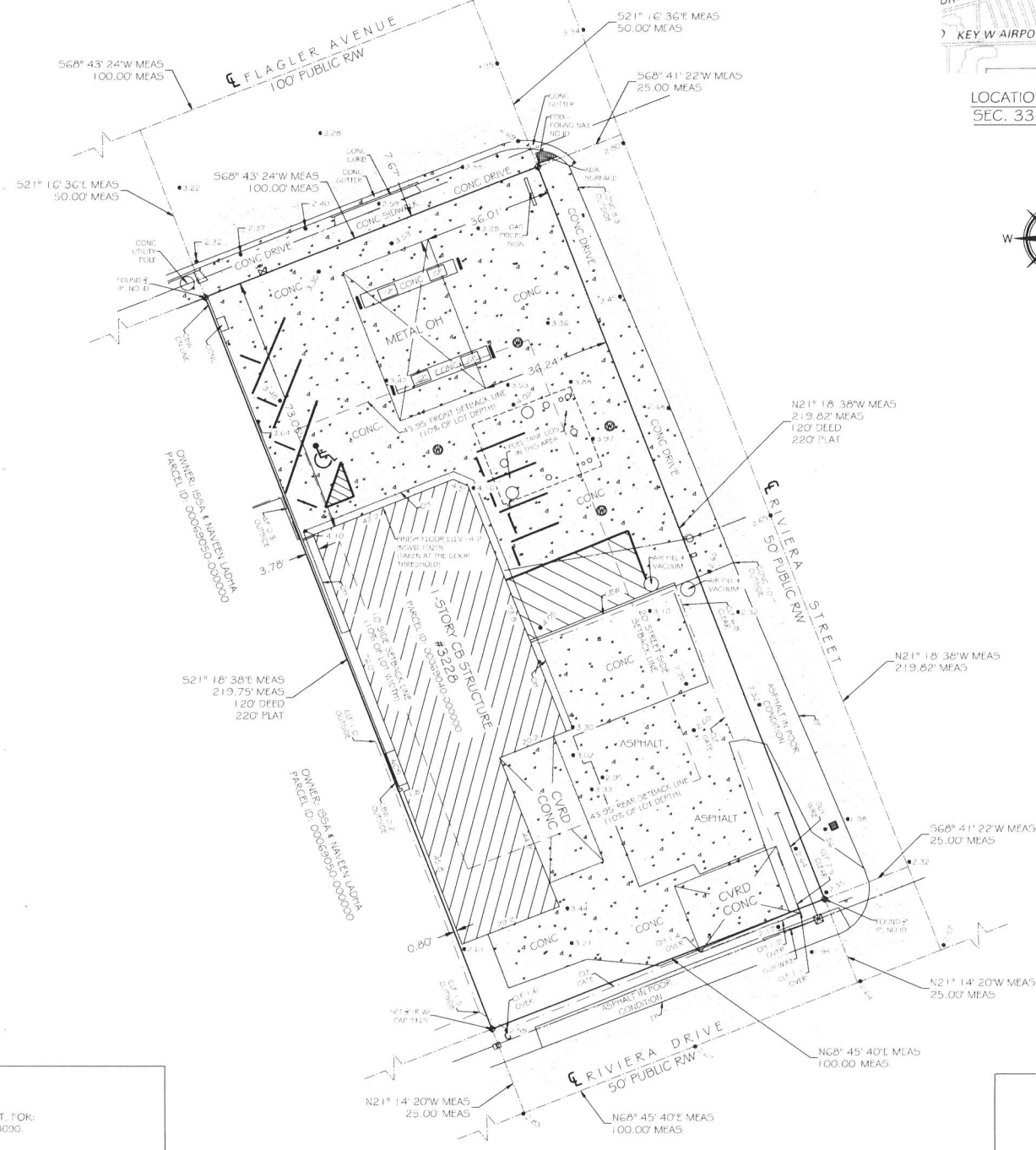


Site Plans

ALTA / NSPS LAND TITLE SURVEY



LOCATION MAP - NTS
SEC. 33-T67S-R25E



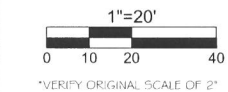
ZONING REQUIREMENTS

WITH REFERENCE TO THE GIS GROUP'S ZONING ASSESSMENT REPORT FOR 3228 Flagler Avenue, Key West, FL. Final Report, Dated: April 6, 2016, Site# 23090.

- Building Setback Requirements:
 - Front: 25 Feet, or 10% of Lot Depth for Buildings up to 25 Feet in Height. Provided Maximum Setback shall be 50 Feet.
 - Street: 20 Feet.
 - Side: 22 Feet (15 Feet, or 10% of Lot Width up to Maximum of 20 Feet, Whichever is Greater).
 - Rear: 25 Feet, or 10% of Lot Depth for Buildings up to 25 Feet in Height. Provided Maximum Setback shall be 50 Feet.
- Height Restrictions:
 - Height: 40 Feet.
- Area Requirements:
 - Minimum Lot Area: 10,000 Square Feet.
 - Maximum Lot Width: 70 Feet.
 - Maximum Lot Depth: 100 Feet.
- Density Requirements:
 - Maximum Floor Area Ratio: 0.8.
 - Maximum Building Coverage: 40%.
 - Maximum Impervious Coverage: 60%.
 - Maximum Gross Floor Area: 5,000 SF.
- Parking Requirements:
 - Parking Space Formula: Retail Stores and Service Establishments: 1 Space per 300 Square Feet of Gross Floor Area (4.84 x 300 = 16).
 - Parking Spaces Required: 16 Total Parking Spaces.
 - Existing Parking Spaces: 8 Total Parking Spaces.

SYMBOL LEGEND

- ⊕ BENCHMARK
- ◻ CONCRETE WALL/PIER
- CONCRETE UTILITY POLE
- ▭ MASONRY
- FIRE HYDRANT
- ◌ GAS METER
- ◌ MANGROVE
- ◌ SANITARY CLEANOUT
- ◌ SANITARY MANHOLE
- ◌ SILE
- ◌ TELEPHONE MANHOLE
- ◌ WATER VALVE
- ◌ WATER METER
- ◌ METEOROLOGICAL WFL
- ◌ WOOD UTILITY POLE
- ◌ METAL SUPPORT COLUMN
- ◌ OVERHEAD UTILITY LINES
- ◌ LIGHT POLE
- ◌ BELOW GROUND ELECTRICAL BOX
- ◌ SPOT GRADE ELEVATION (OPTIONAL)



TOTAL AREA = 21,978.595SQFT ±
0.50 ACRES ±

TITLE REVIEW NOTES

WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, CUSTOMER REFERENCE NO. 15-1783, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM, I HEREBY CERTIFY AS FOLLOWS:

- SCHEDULE DII - PART II:
- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by the Commitment. - **NOT A SURVEY MATTER**
 - Any rights, interests, or claims of parties in possession of the land not shown by the public records. - **NOT A SURVEY MATTER**
 - Any encroachment, easement, variation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land. - **DEPICTED ON SURVEY**
 - Any lien, for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown by the public records. - **NOT A SURVEY MATTER**
 - Any defect as to the boundaries caused by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water. - **NOT APPLICABLE TO SUBJECT PROPERTY**
 - Taxes or special assessments not shown as liens in the public records or in the records of the local tax collecting authority, at Date of Policy. - **NOT A SURVEY MATTER**
 - Any minerals or mineral rights, granted or retained by current or prior owners, (without right of entry) (as to Parcels 12, 14 and 15). - **NOT A SURVEY MATTER**
 - Taxes and assessments for the year 2016 and subsequent years, which are not yet due and payable. - **NOT A SURVEY MATTER**
 - NOTES FOR STANDARD EXEMPTION:** Standard Exemptions for parties in possession, for mechanics liens, and for Liens of special assessments not shown as liens in the public records shall be deleted upon receipt of an acceptable Non-Lien and Possession Affidavit, establishing who is in possession of the lands, that there are no liens or encumbrances upon the lands other than as set forth in the Commitment, that no improvements to the lands have been made within the past 90 days or are contemplated to be made before closing that will not be paid in full, and that there are no unrecorded taxes or assessments that are not shown as existing liens in the public records. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said survey or proof. - **DEPICTED ON SURVEY**
 - Terms and conditions of any existing unrecorded leases(s), and all rights of lessor(s) and any parties claiming through the lessor(s) under the lease(s). (as to Parcels 6, 8, 12, 16, 21, 24, 25 and 26). - **NOT A SURVEY MATTER**
 - Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§490a, et seq) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq) or under similar state laws. (As to Parcels 1, 2, 6, 7, 9, 10, 11, 12, 13, 14, 22, 23, 24, 25 and 26). - **NOT A SURVEY MATTER**
 - Declaration of Covenants, Conditions and Restrictions recorded in Book 69, Page 381, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(a). - **DOCUMENT AFFECTS SUBJECT PROPERTY BUT NOT A SURVEY MATTER**

SURVEYOR NOTES

- BEARING BASE: ALL BEARINGS ARE BASED ON N68°45'40"E AS PLATTED, RIVIERA SHORES SUBDIVISION (P.B. 3, PG. 148) ALONG THE CENTERLINE OF RIVIERA DRIVE.
- ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED.
- ALL UNITS ARE SHOWN IN SURVEY FEET.
- ADDRESS: 3228 FLAGLER AVENUE, KEY WEST, FL 33040.
- FLOOD ZONE CLASSIFICATION: COMMUNITY NO. - 120168; MAP NO. - 12087C-1517K; MAP DATE: 02-18-05; FIRM REVISION DATE: 08-24-15; FLOOD ZONE: AE; BASE ELEVATION: 8.
- THE CURRENT ZONING CLASSIFICATION AND BUILDING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AS SET FORTH IN THAT CLASSIFICATION, OF THE SUBJECT PROPERTY ARE INDICATED ON THE SURVEY, REFERENCING THE SAID REPORT BY THE GIS GROUP SUBMITTED TO FLORIDA KEYS SURVEYING BY THE CLIENT AND/OR THEIR AGENT.
- SQUARE FOOTAGE OF EXTERIOR FOOTPRINT OF BUILDINGS: 1 STORY CS STRUCTURE #3228-4841.00 SQFT ±; THE BUILDING HEIGHT IS 14.76 FEET ABOVE THE ADJACENT GRADE, MEASURED AT NORTHEASTERN CORNER OF THE BUILDING.
- THERE ARE 7 DEDICATED STRIPPED REGULAR PARKING SPACES AND 1 DEDICATED STRIPPED HANDICAP PARKING SPACE.
- THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY SHOWN ON THIS SURVEY WAS DETERMINED BY OBSERVED EVIDENCE ONLY, AS PER THE CLIENT'S REQUEST.
- THERE WAS NO OBSERVED EVIDENCE OF FORTH COMING WORK AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF THE SURVEY.
- NO WETLAND AREAS WERE IDENTIFIED TO SURVEYOR AT THE TIME OF SURVEY, AND NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE FIELD BY THE SURVEYOR AT THE TIME OF SURVEY.
- UPON REVIEW OF THE RECORDED SUBDIVISION PLAT (RIVIERA SHORES SUBDIVISION PLAT BOOK 3, PAGE 148) AND THE LEGAL DESCRIPTION AS SET FORTH IN THE COMMITMENT, FURTHERMORE IT IS THE SURVEYOR'S OPINION THAT THERE IS A SURVEYOR'S ERROR IN THE METES AND BOUNDS PORTION OF THE LEGAL DESCRIPTION. FURTHERMORE IT IS THE SURVEYOR'S OPINION THAT THE METES AND BOUNDS DEED CALLS OF 120 FEET SHOULD BE 220 FEET AS RECORDED ON THE SAID SUBDIVISION PLAT.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- THE FINISH FLOOR ELEVATION WAS TAKEN AT THE DOOR THRESHOLD LOCATION AS INDICATED ON THE SURVEY; THE INTERIOR FLOOR LEVELS WERE NOT VERIFIED.
- BENCHMARK: NATIONAL GEODETIC SURVEY BENCHMARK #27-4580 TIDAL 25" (P.D. A00041; ELEVATION = 5 1 1" (NGVD 1929).
- REVISION (1) - 06/06/2016 - REVISED SURVEYOR NOTES; TITLE REVIEW NOTES 4 ADDED ZONING REQUIREMENTS.
- REVISION (2) - 07/05/2016 - REVISED SURVEYOR NOTES.
- REVISION (3) - 02/01/2018 - ADDED SPOT GRADE ELEVATIONS AS MEASURED IN THE FIELD ON 01/23/2018.

LEGAL DESCRIPTION

"PARCEL C" WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY EXHIBIT A, CUSTOMER REFERENCE NO. 15-1783, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM.

In RIVIERA SHORES SUBDIVISION, a subdivision of a part of the City of Key West, according to plat thereof recorded in Plat Book 3, Page 148, Public Records of Monroe County, Florida. Began at the Northeast corner of Block 2 of said subdivision, thence run in a Southwesterly direction along the Southeastern right-of-way line of Flagler Avenue a distance of 100 feet; thence at a right angle and in a Southeastery direction a distance of 120 feet to the Northwestern right-of-way line of Riviera Drive; thence at a right angle and in a Northeastly direction along the said Northwestern right-of-way of Riviera Drive a distance of 100 feet to the corner of the intersection of the said Riviera Drive with Riviera Street; thence at a right angle and in a Northwesterly direction along the Southwesterly right of way line of Riviera Street a distance of 120 feet to the point of beginning.

TO, LAND 10031, LLC as to a 11.077% interest; LAND 2704, LLC as to a 5.4517% interest; LAND 113, LLC as to a 13.353% interest; LAND 1701, LLC as to a 11.077% interest; LAND 2603, LLC as to a 5.226% interest; LAND 7009, LLC as to a 9.644% interest; LAND 1421, LLC as to a 9.211% interest; LAND 4027, LLC as to a 13.410% interest; and LAND 8351, LLC as to a 5.151% interest, in Common among all of the abovesaid LLC's; Capital One, National Association, as successor and/or assigns as their interests may appear; and First American Title Insurance Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS AND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-3, 5-8, 10-14, 16, 17, 18, 19, 20 OF TABLE A. THE FIELD WORK WAS COMPLETED ON JANUARY 17, 2018.

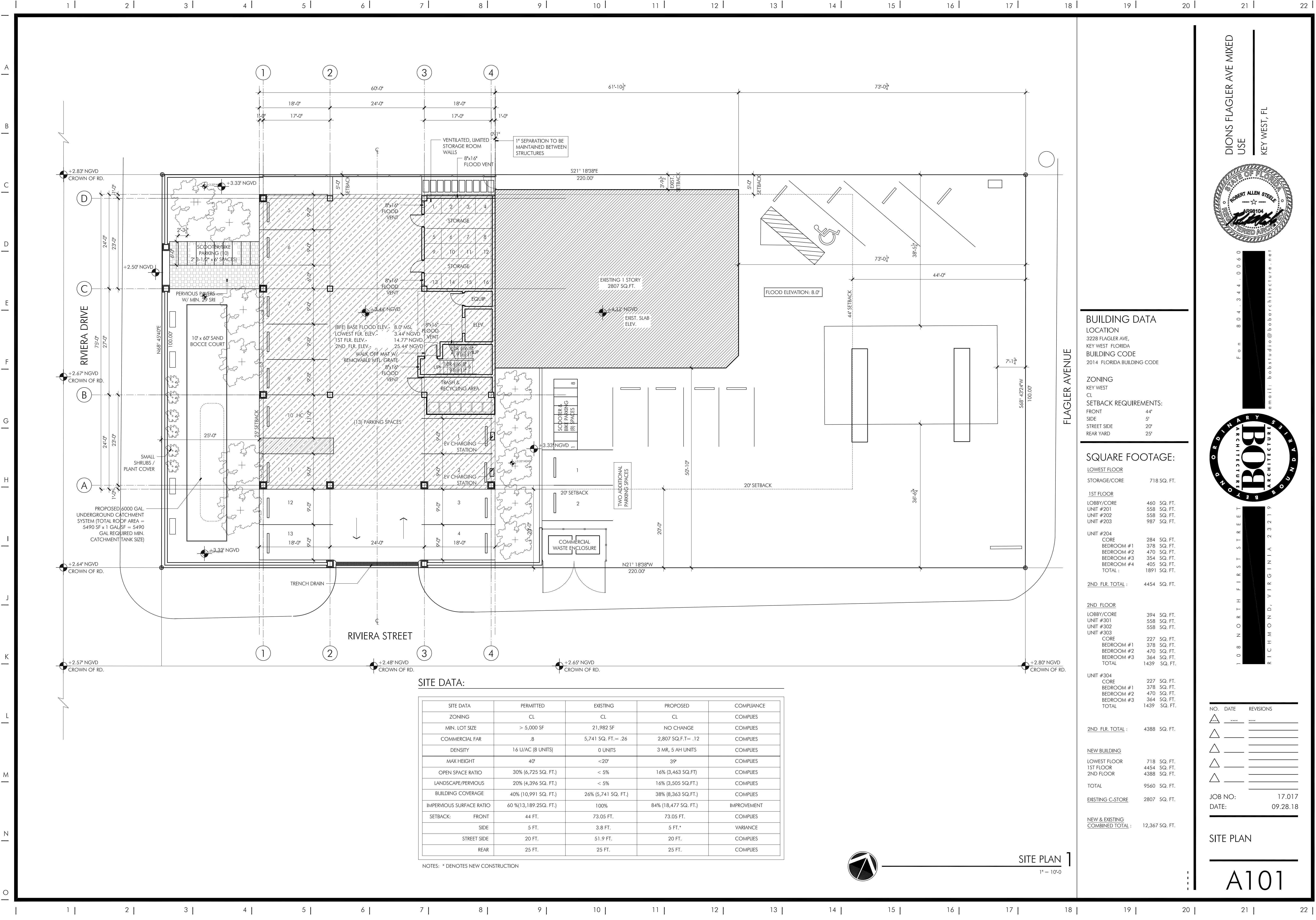
DATE OF MAP: MARCH 30, 2018.

NOTE: LEGAL DESCRIPTION HAS BEEN CORRECTED BY THE FIELD WORK AND IS SUBJECT TO THE FIELD WORK. THE SURVEYOR HAS REVIEWED THE LEGAL DESCRIPTION AND HAS FOUND THAT IT IS CORRECT. THE SURVEYOR HAS REVIEWED THE LEGAL DESCRIPTION AND HAS FOUND THAT IT IS CORRECT. THE SURVEYOR HAS REVIEWED THE LEGAL DESCRIPTION AND HAS FOUND THAT IT IS CORRECT. THE SURVEYOR HAS REVIEWED THE LEGAL DESCRIPTION AND HAS FOUND THAT IT IS CORRECT.

FLORIDA KEYS
LAND SURVEYING
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE (305) 304-3630
EMAIL: FKLSeam@Gmail.com
WWW.FLORIDAKEYSLANDSURVEYING.NET

I HEREBY CERTIFY THAT THE SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND I AM A LICENSED SURVEYOR IN THE STATE OF FLORIDA. I HAVE REVIEWED THIS SURVEY AND I AM Satisfied THAT IT IS CORRECT AND ACCURATE. I HAVE REVIEWED THIS SURVEY AND I AM Satisfied THAT IT IS CORRECT AND ACCURATE. I HAVE REVIEWED THIS SURVEY AND I AM Satisfied THAT IT IS CORRECT AND ACCURATE.

DATE: 11-30-2018
PLAT NO.: 03912018-1
PROJECT: 1 OF 1
DRAWN BY: MFS
CHECKED BY: FAI
SURVEY: 16-109



PROPOSED 6000 GAL. UNDERGROUND CATCHMENT SYSTEM (TOTAL ROOF AREA = 5490 SF x 1 GAL/SF = 5490 GAL REQUIRED MIN. CATCHMENT TANK SIZE)

SITE DATA:

SITE DATA	PERMITTED	EXISTING	PROPOSED	COMPLIANCE
ZONING	CL	CL	CL	COMPLIES
MIN. LOT SIZE	> 5,000 SF	21,982 SF	NO CHANGE	COMPLIES
COMMERCIAL FAR	.8	5,741 SQ. FT. = .26	2,807 SQ.F.T. = .12	COMPLIES
DENSITY	1.6 U/AC (8 UNITS)	0 UNITS	3 MR, 5 AH UNITS	COMPLIES
MAX HEIGHT	40'	<20'	39'	COMPLIES
OPEN SPACE RATIO	30% (6,725 SQ. FT.)	< 5%	16% (3,463 SQ.FT)	COMPLIES
LANDSCAPE/PERVIOUS	20% (4,396 SQ. FT.)	< 5%	16% (3,505 SQ.FT.)	COMPLIES
BUILDING COVERAGE	40% (10,991 SQ. FT.)	26% (5,741 SQ. FT.)	38% (8,363 SQ.FT.)	COMPLIES
IMPERVIOUS SURFACE RATIO	60 % (13,189.25Q. FT.)	100%	84% (18,477 SQ. FT.)	IMPROVEMENT
SETBACK: FRONT	44 FT.	73.05 FT.	73.05 FT.	COMPLIES
SIDE	5 FT.	3.8 FT.	3.8 FT.*	VARIANCE
STREET SIDE	20 FT.	51.9 FT.	20 FT.	COMPLIES
REAR	25 FT.	25 FT.	25 FT.	COMPLIES

NOTES: * DENOTES NEW CONSTRUCTION

BUILDING DATA

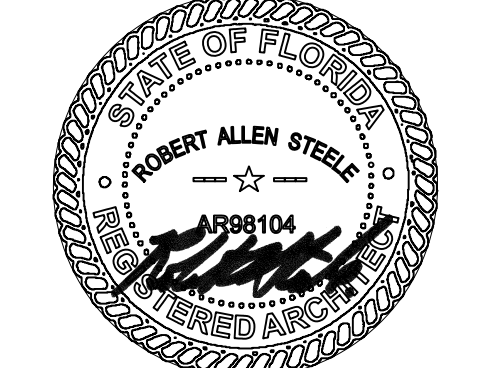
LOCATION
3228 FLAGLER AVE.
KEY WEST FLORIDA
BUILDING CODE
2014 FLORIDA BUILDING CODE

ZONING
KEY WEST
CL
SETBACK REQUIREMENTS:
FRONT 44'
SIDE 5'
STREET SIDE 20'
REAR YARD 25'

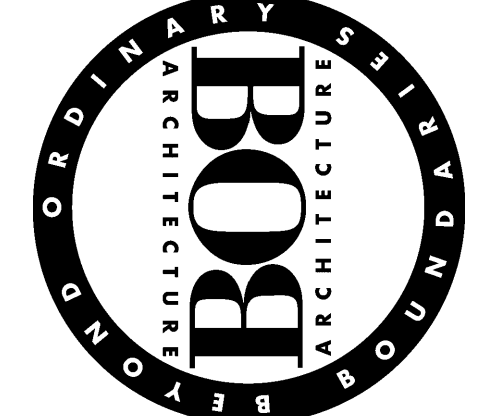
SQUARE FOOTAGE:

LOWEST FLOOR	
STORAGE/CORE	718 SQ. FT.
1ST FLOOR	
LOBBY/CORE	460 SQ. FT.
UNIT #201	558 SQ. FT.
UNIT #202	558 SQ. FT.
UNIT #203	987 SQ. FT.
UNIT #204	
CORE	284 SQ. FT.
BEDROOM #1	378 SQ. FT.
BEDROOM #2	470 SQ. FT.
BEDROOM #3	354 SQ. FT.
BEDROOM #4	405 SQ. FT.
TOTAL :	1891 SQ. FT.
2ND FLR. TOTAL :	
4454 SQ. FT.	
2ND FLOOR	
LOBBY/CORE	394 SQ. FT.
UNIT #301	558 SQ. FT.
UNIT #302	558 SQ. FT.
UNIT #303	227 SQ. FT.
CORE	227 SQ. FT.
BEDROOM #1	378 SQ. FT.
BEDROOM #2	470 SQ. FT.
BEDROOM #3	364 SQ. FT.
TOTAL	1439 SQ. FT.
UNIT #304	
CORE	227 SQ. FT.
BEDROOM #1	378 SQ. FT.
BEDROOM #2	470 SQ. FT.
BEDROOM #3	364 SQ. FT.
TOTAL	1439 SQ. FT.
2ND FLR. TOTAL :	
4388 SQ. FT.	
NEW BUILDING	
LOWEST FLOOR	718 SQ. FT.
1ST FLOOR	4454 SQ. FT.
2ND FLOOR	4388 SQ. FT.
TOTAL	9560 SQ. FT.
EXISTING C-STORE	2807 SQ. FT.
NEW & EXISTING COMBINED TOTAL :	
12,367 SQ. FT.	

DIONS FLAGLER AVE MIXED USE
KEY WEST, FL



108 NORTH FIRST STREET
RICHMOND, VIRGINIA 23219
Fon 804.344.0060
email: bebstudio@bebarchitecture.net



NO.	DATE	REVISIONS
△	---	---
△	---	---
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△	---	---
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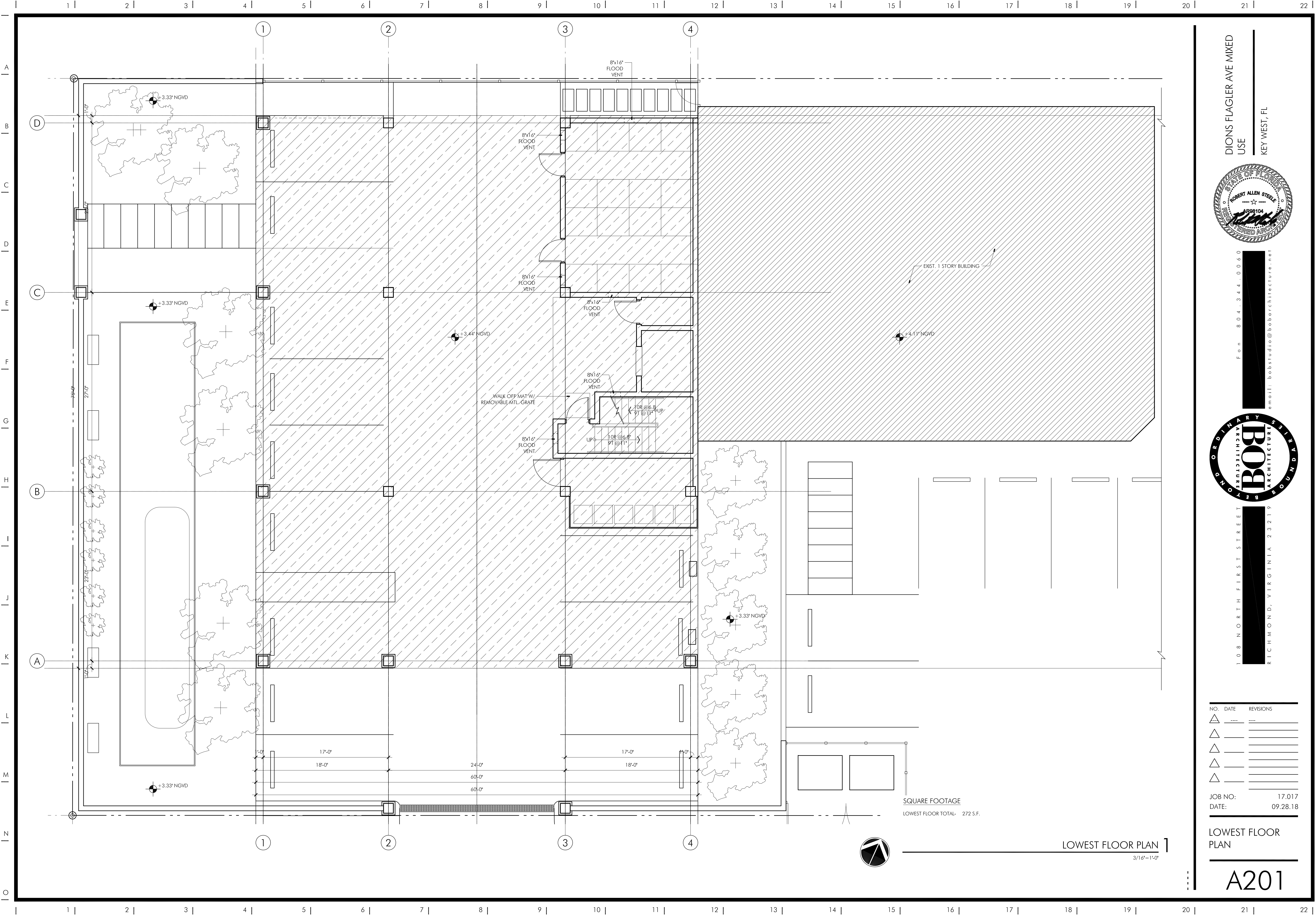
JOB NO: 17.017
DATE: 09.28.18

SITE PLAN

A101

SITE PLAN 1
1" = 10'-0"

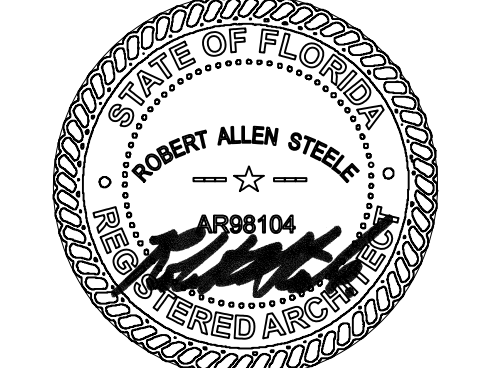




SQUARE FOOTAGE
 LOWEST FLOOR TOTAL - 272 S.F.

LOWEST FLOOR PLAN
 3/16"=1'-0"

DIONS FLAGLER AVE MIXED
 USE
 KEY WEST, FL



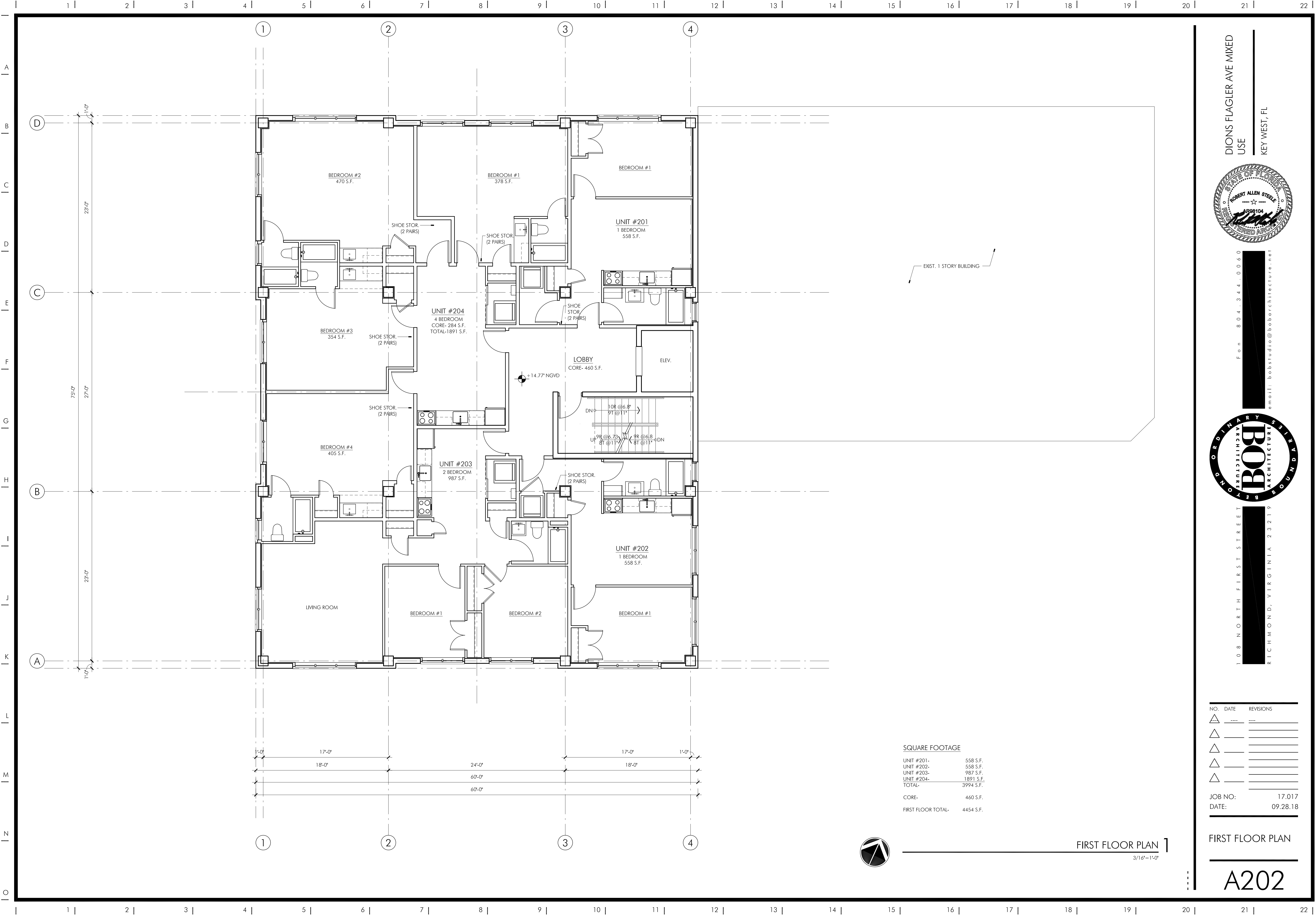
ORDINARY BOB ARCHITECTURE
 108 NORTH FIRST STREET
 RICHMOND, VIRGINIA 23219
 Fon 804.344.0060
 email: bobstudio@bobarchitecture.net

NO.	DATE	REVISIONS
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△	---	---
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JOB NO: 17.017
 DATE: 09.28.18

LOWEST FLOOR
 PLAN

A201



SQUARE FOOTAGE

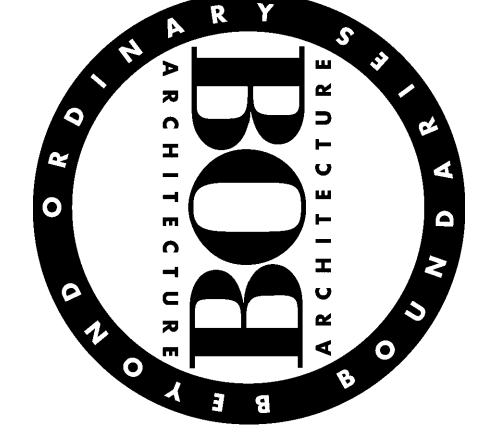
UNIT #201-	558 S.F.
UNIT #202-	558 S.F.
UNIT #203-	987 S.F.
UNIT #204-	1891 S.F.
TOTAL-	3994 S.F.
CORE-	460 S.F.
FIRST FLOOR TOTAL-	4454 S.F.

FIRST FLOOR PLAN
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



108 NORTH FIRST STREET
RICHMOND, VIRGINIA 23219
Fon 804.344.0060
email: bobstudio@bobarchitecture.net

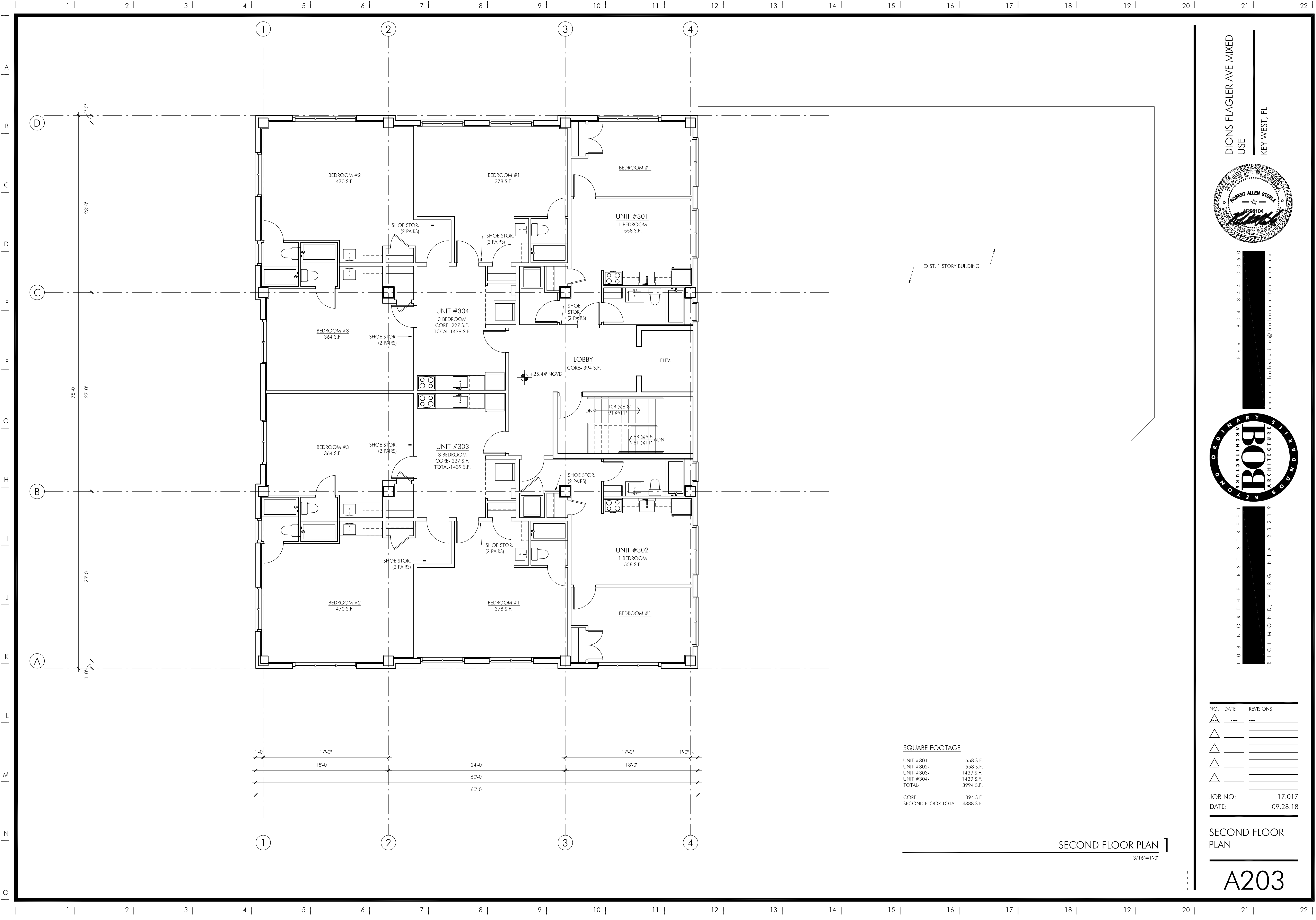


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JOB NO: 17.017
DATE: 09.28.18

FIRST FLOOR PLAN

A202



SQUARE FOOTAGE

UNIT #301-	558 S.F.
UNIT #302-	558 S.F.
UNIT #303-	1439 S.F.
UNIT #304-	1439 S.F.
TOTAL-	3994 S.F.
CORE-	394 S.F.
SECOND FLOOR TOTAL-	4388 S.F.

SECOND FLOOR PLAN
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



108 NORTH FIRST STREET
RICHMOND, VIRGINIA 23219
Fon 804.344.0060
email: bobstudio@bobarchitecture.net



NO.	DATE	REVISIONS
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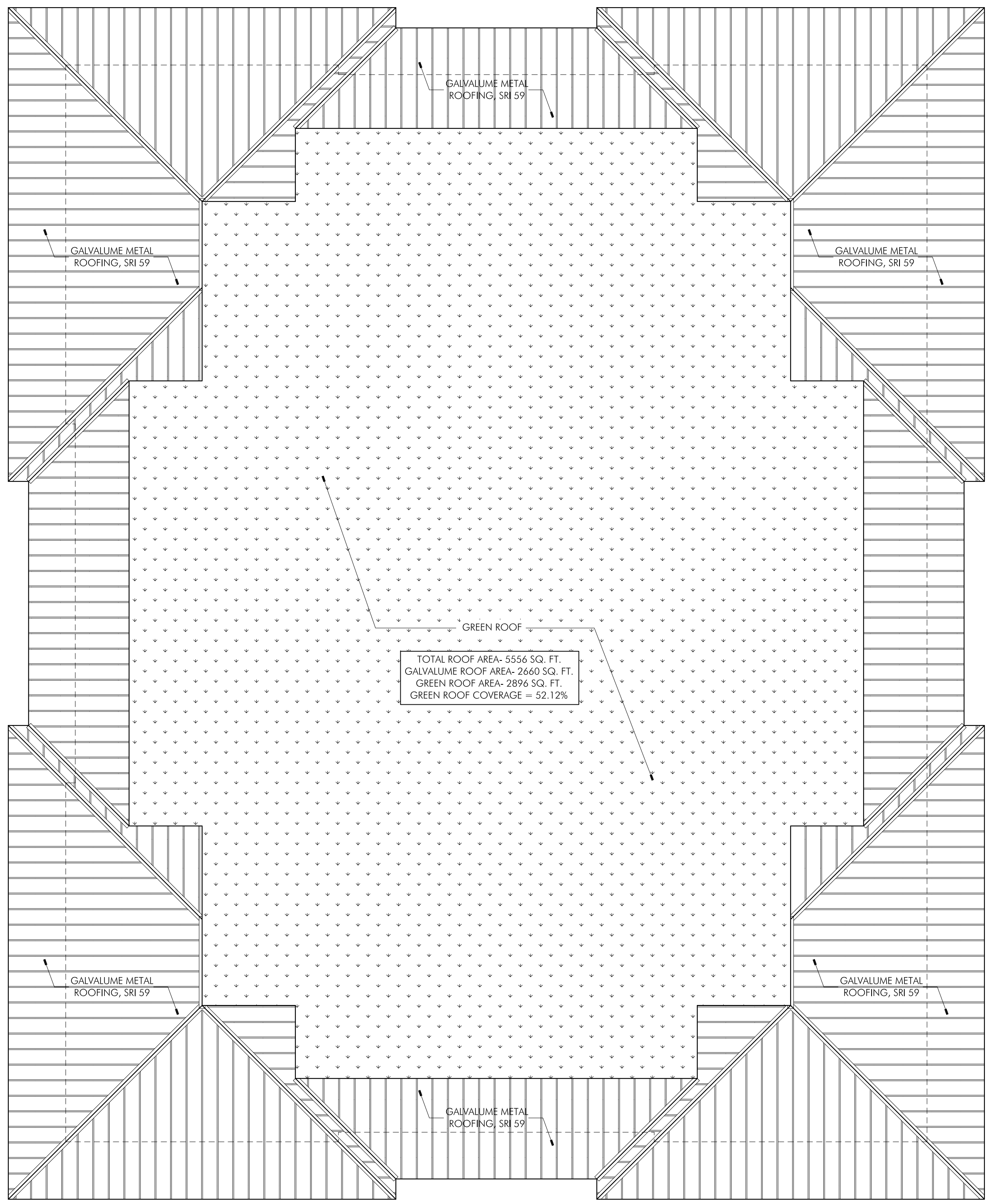
JOB NO: 17.017
DATE: 09.28.18

SECOND FLOOR
PLAN

A203

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A
B
C
D
E
F
G
H
I
J
K
L
M
N
O



ROOF PLAN 1
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



Fon 804.344.0060
email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET
RICHMOND, VIRGINIA 23219

NO.	DATE	REVISIONS
△	---	---
△	---	---
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△	---	---

JOB NO: 17.017
DATE: 09.28.18

ROOF PLAN

A204

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22



SOUTH ELEVATION 2
3/16"=1'-0"



EAST ELEVATION 1
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



BOB ARCHITECTURE
Fon 804.344.0060
email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET
RICHMOND, VIRGINIA 23219

NO.	DATE	REVISIONS
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JOB NO: 17.017
DATE: 09.28.18

EAST & SOUTH
ELEVATIONS

A301

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A
B
C
D
E
F
G
H
I
J
K
L
M
N
O



WEST ELEVATION 2
3/16"=1'-0"



NORTH ELEVATION 1
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



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108 NORTH FIRST STREET
RICHMOND, VIRGINIA 23219

NO.	DATE	REVISIONS
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JOB NO: 17.017
DATE: 09.28.18

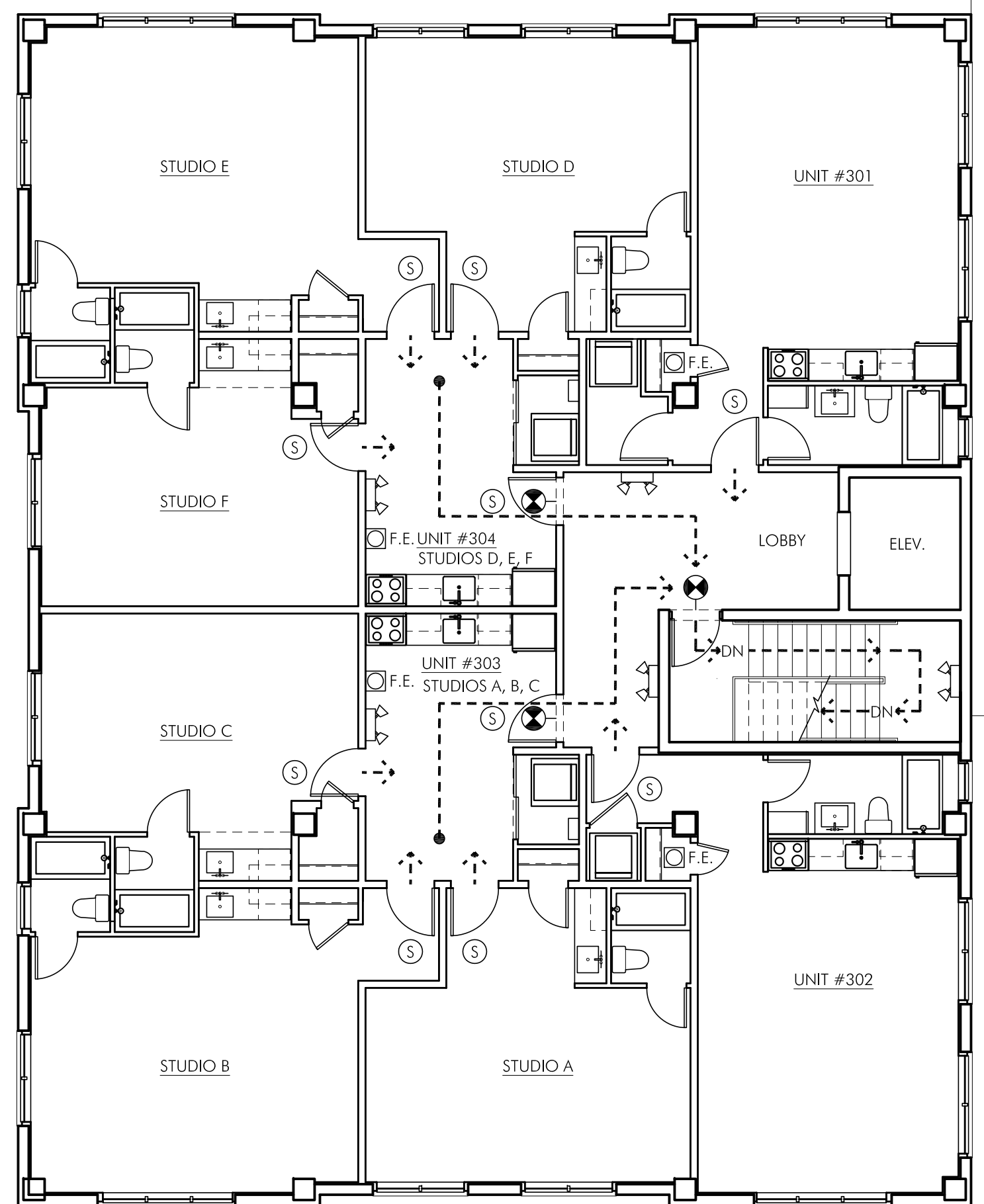
NORTH & WEST
ELEVATIONS

A302

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

3RD FLOOR EGRESS & OCCUPANCY CALCULATIONS

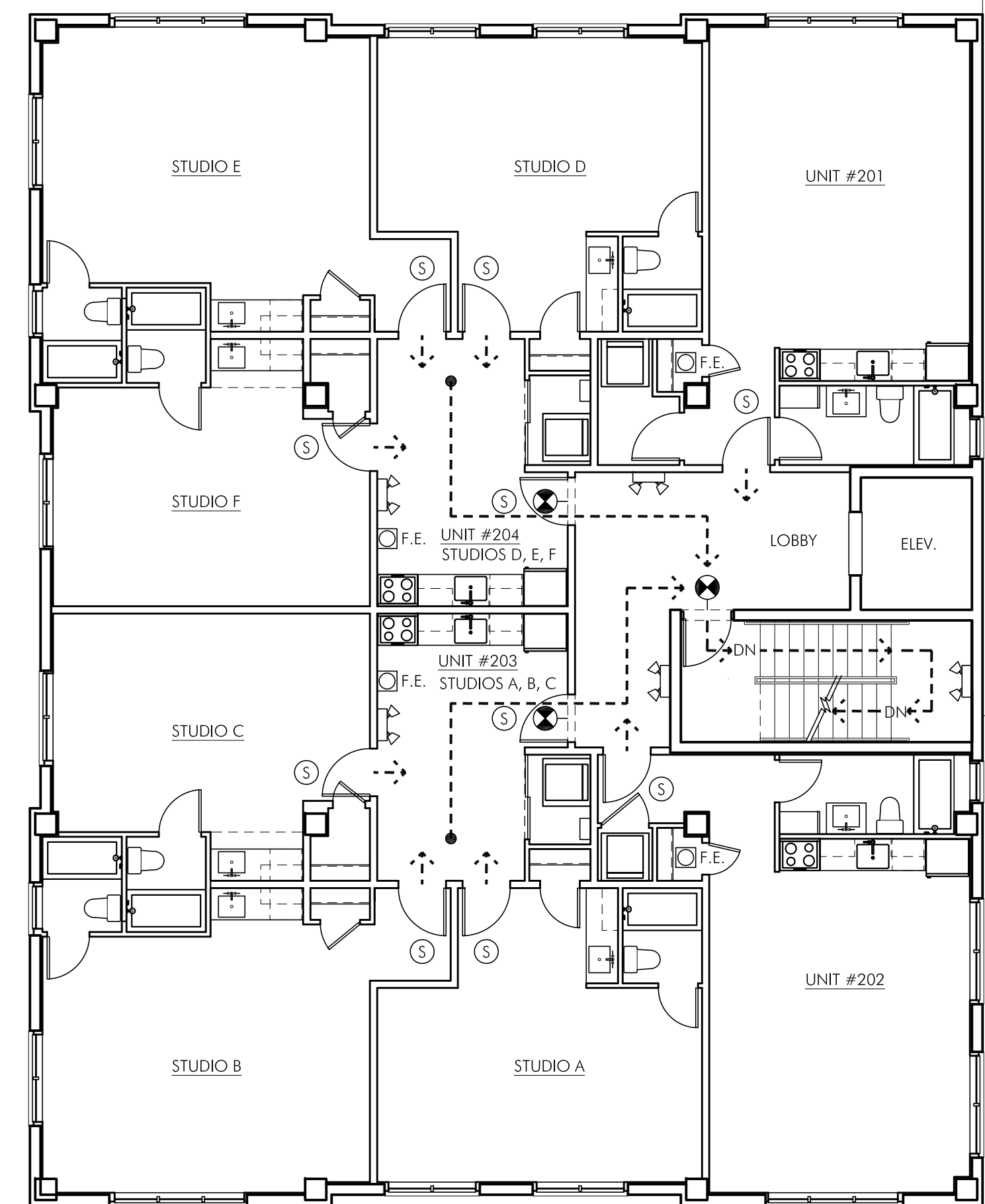
USE & OCCUPANCY CLASSIFICATION: RESIDENTIAL (R-2)
 NEPA 13R SPRINKLER SYSTEM IS PERMITTED (903.3.1.2)
 OCCUPANT LOAD: 21 (4,388 SF /200)
 EGRESS WIDTH REQUIRED:
 2 X 21 = 4.2', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 STAIR EGRESS WIDTH REQUIRED:
 3 X 22 = 6.3', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 MIN. NUMBER OF EXITS REQUIRED: 1 (OCCUPANT LOAD < 49 = 1 EXIT)
 ACCESSIBLE ROUTE WIDTH REQUIRED: 36" (DOORS MIN. 32" CLEAR)
 TABLE 1014.3 EXIT ACCESS TRAVEL DISTANCE:
 125' MAX. COMMON PATH OF EGRESS
 PROPOSED MAX. TRAVEL DISTANCE= 36 FT.



3RD FLR. LIFE SAFETY PLAN 3
 1/8" = 1'-0"

2ND FLOOR EGRESS & OCCUPANCY CALCULATIONS

USE & OCCUPANCY CLASSIFICATION: RESIDENTIAL (R-2)
 NEPA 13R SPRINKLER SYSTEM IS PERMITTED (903.3.1.2)
 OCCUPANT LOAD: 22 (4,454 SF /200)
 EGRESS WIDTH REQUIRED:
 2 X 22 = 4.4', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 STAIR EGRESS WIDTH REQUIRED:
 3 X 22 = 6.6', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 MIN. NUMBER OF EXITS REQUIRED: 1 (OCCUPANT LOAD < 49 = 1 EXIT)
 ACCESSIBLE ROUTE WIDTH REQUIRED: 36" (DOORS MIN. 32" CLEAR)
 TABLE 1014.3 EXIT ACCESS TRAVEL DISTANCE:
 125' MAX. COMMON PATH OF EGRESS
 PROPOSED MAX. TRAVEL DISTANCE= 36 FT.

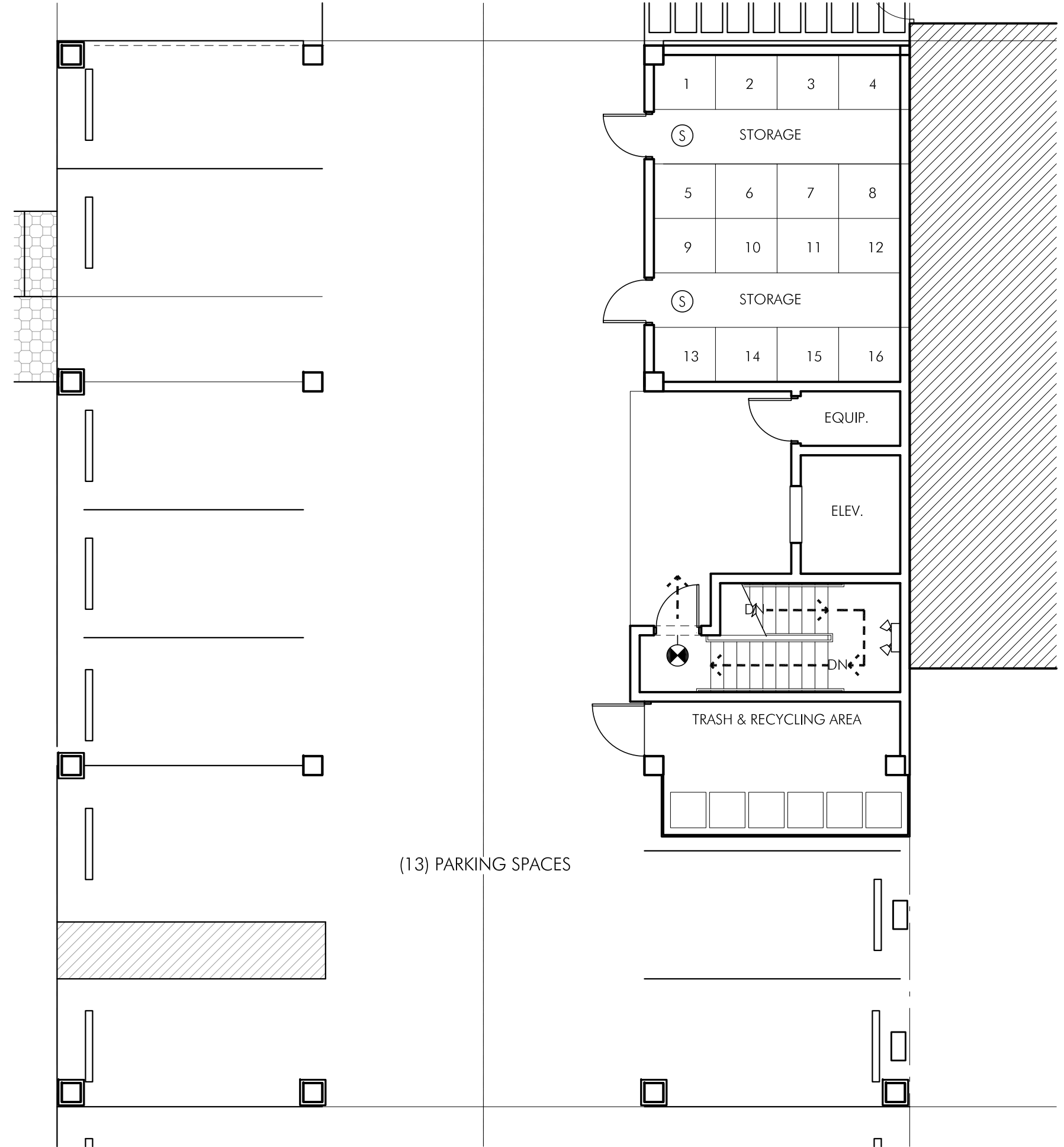


2ND FLR. LIFE SAFETY PLAN 2
 1/8" = 1'-0"

SYMBOLS

- EMERGENCY LIGHTING - BATTERY PACK W/ CHARGER
- EXIT SIGN - ILLUMINATED
- SMOKE DETECTOR - CEILING MOUNTED
- F.E. PORTABLE MULTI USE A-C-B FIRE EXTINGUISHER, PROVIDE MAINT. SCHED. AS REQ'D BY CODE (TYP.)

- NOTES:**
1. SMOKE DETECTORS THROUGHOUT
 2. AUTOMATIC SPRINKLER SYSTEM THROUGHOUT

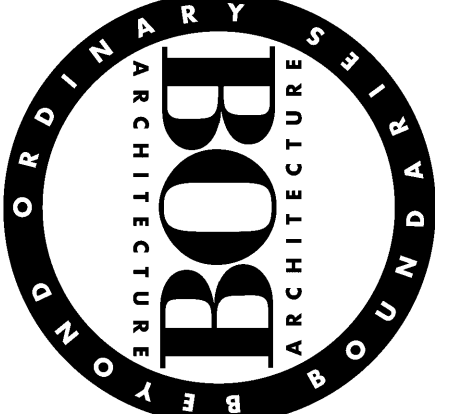


1ST FLR. LIFE SAFETY PLAN 1
 1/8" = 1'-0"

DIONS FLAGLER AVE MIXED USE
 KEY WEST, FL



FOR 804.344.0060
 email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET
 RICHMOND, VIRGINIA 23219

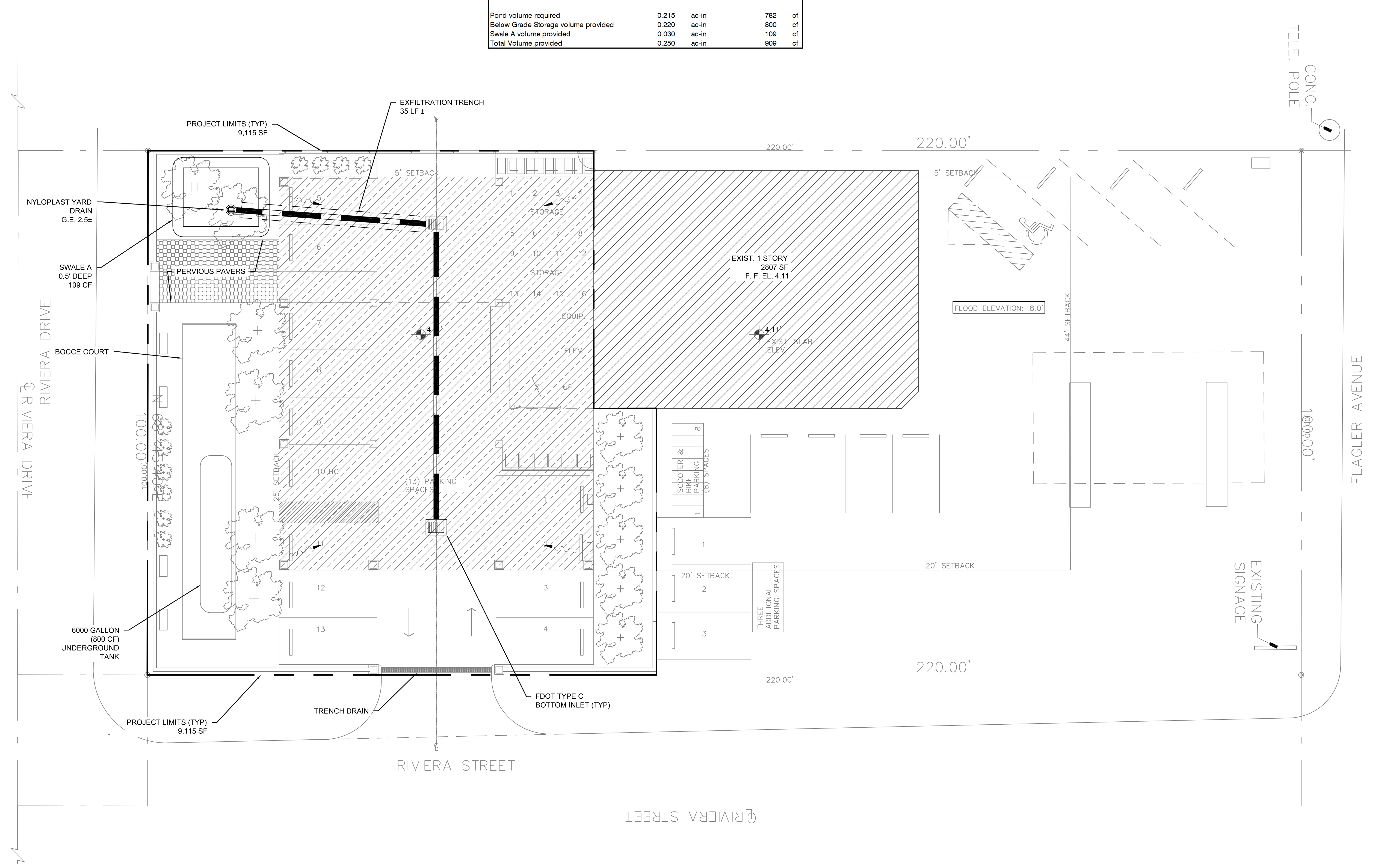
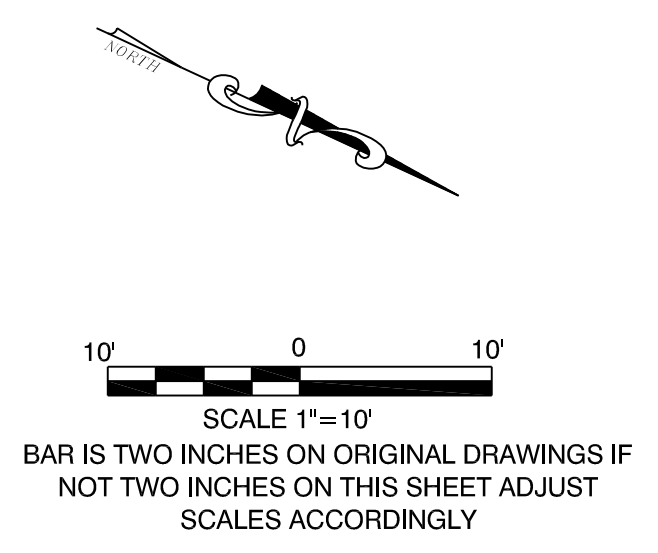
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JOB NO: 17.017
 DATE: 12.18.17

LIFE SAFETY PLANS

A901

Water Quality Calculations				
<i>Water Quality</i>				
Project Area	0.209	ac	9,115	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.103	ac	4,500	sf
Pavement/Walkways	0.044	ac	1,900	sf
Pervious area	0.062	ac	2,715	sf
Site area for Water Quality (Total area- (water surface + roof area))				
	0.106	ac	4,615	sf
Impervious area for water quality (Site area for Water Quality - Pervious area)				
	0.044	ac	1,900	sf
% Impervious				
	41%			
A) One inch of runoff from project area				
	0.209	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))				
	0.215	ac-in		
<i>Comparison of Water Quality Methods</i>				
	0.209	<	0.215	
	ac-in		ac-in	
Pond volume required				
	0.215	ac-in	782	cf
Below Grade Storage volume provided				
	0.220	ac-in	800	cf
Swale A volume provided				
	0.030	ac-in	109	cf
Total Volume provided				
	0.250	ac-in	909	cf



CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC

KEY WEST OFFICE
1010 EAST KENNEDY DRIVE, SUITE 201
KEY WEST, FLORIDA 33040
TEL: (305) 293-9440 FAX: (305) 293-0243

CERTIFICATE OF AUTHORIZATION NO. 9879

ALLEN E. PEREZ, P.E.
Florida P.E. NO. 51488
December 18, 2017

REVISIONS:

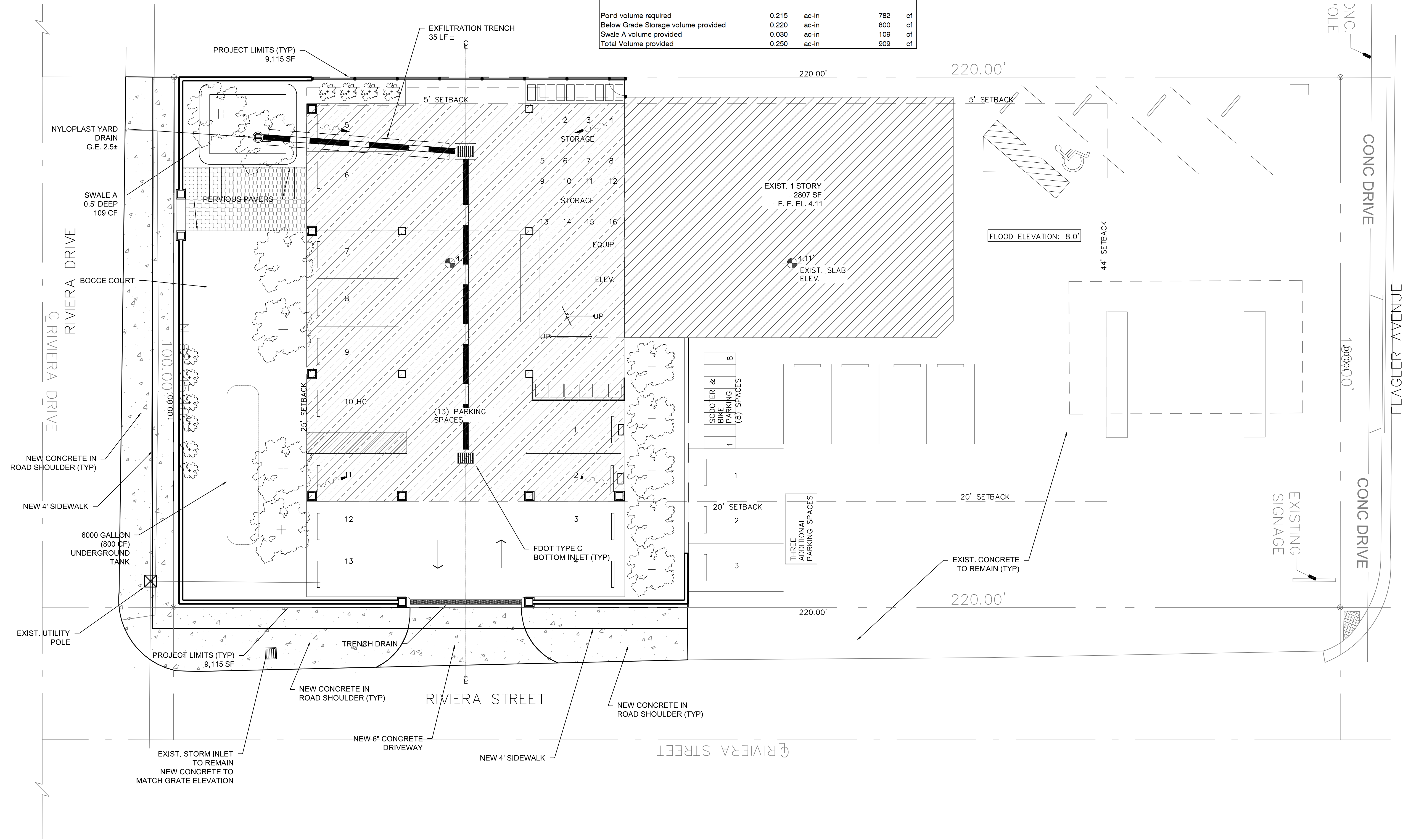
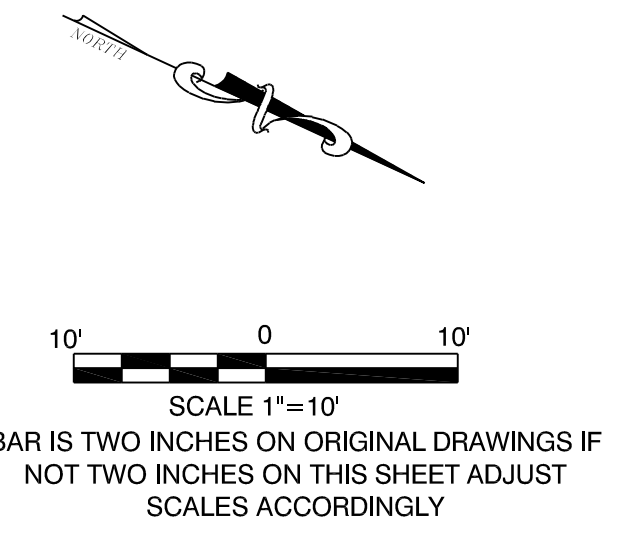
1	ORIGINAL
2	
3	
4	
5	
6	

DION'S FLAGLER AVENUE
3228 FLAGLER AVENUE
KEY WEST, FL. 33040
CONCEPTUAL DRAINAGE PLAN

UPHOFF INVESTMENTS, LLC
638 UNITED STREET
KEY WEST, FL. 33040

JOB NO. 171045
DRAWN AEP
DESIGNED AEP
CHECKED AEP
QC SHEET

Water Quality Calculations				
<i>Water Quality</i>				
Project Area	0.209	ac	9,115	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.103	ac	4,500	sf
Pavement/Walkways	0.044	ac	1,900	sf
Pervious area	0.062	ac	2,715	sf
Site area for Water Quality (Total area- (water surface + roof area))				
	0.106	ac	4,615	sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)				
	0.044	ac	1,900	sf
% Impervious				
	41%			
A) One inch of runoff from project area				
	0.209	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))				
	0.215	ac-in		
<i>Comparison of Water Quality Methods</i>				
	0.209	ac-in	<	0.215
				ac-in
Pond volume required				
	0.215	ac-in	782	cf
Below Grade Storage volume provided				
	0.220	ac-in	800	cf
Swale A volume provided				
	0.030	ac-in	109	cf
Total Volume provided				
	0.250	ac-in	909	cf



CIVIL ENGINEERING - REGULATORY PERMITTING & CONSTRUCTION MANAGEMENT
PEREZ ENGINEERING & DEVELOPMENT, INC.
 KEY WEST OFFICE
 10101 BIRCHWOOD BLVD. SUITE 201
 KEY WEST, FLORIDA 33040
 TEL: (305) 253-7445 FAX: (305) 253-7446
 ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 May 20, 2018

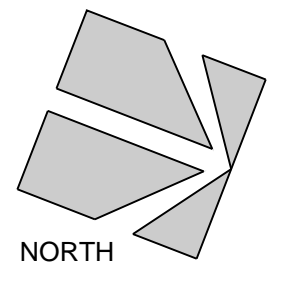
ORIGINAL: DECEMBER 2017
 REVISIONS:
 1
 2
 3
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 5
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UPHOFF INVESTMENTS, LLC
 638 UNITED STREET
 KEY WEST, FL. 33040

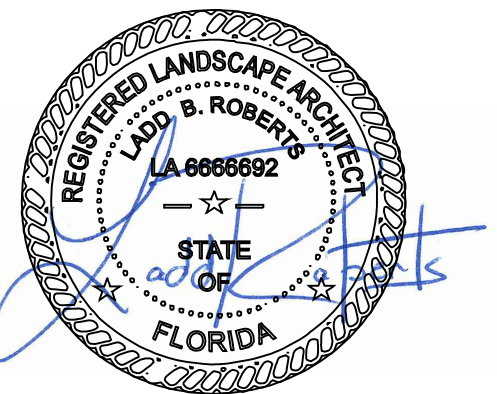
DIONS FLAGLER AVENUE
 3228 FLAGLER AVENUE
KEY WEST, FL. 33040
 CONCEPTUAL DRAINAGE PLAN

JOB NO. 171045
 DRAWN: AEP
 DESIGNED: AEP
 CHECKED: AEP

SHEET C-1



SCALE: 1" = 10'-0"



FLAGLER AVE MIXED USE

DATE: 2.15.18

REVISIONS:

No.	Date	Notes
1.	5.15.18	REVISED TABLE
2.		

CONSTRUCTION DOCUMENTS

SHEET NUMBER:

L-1

JOB #: 18002 DRAWN BY: LBR
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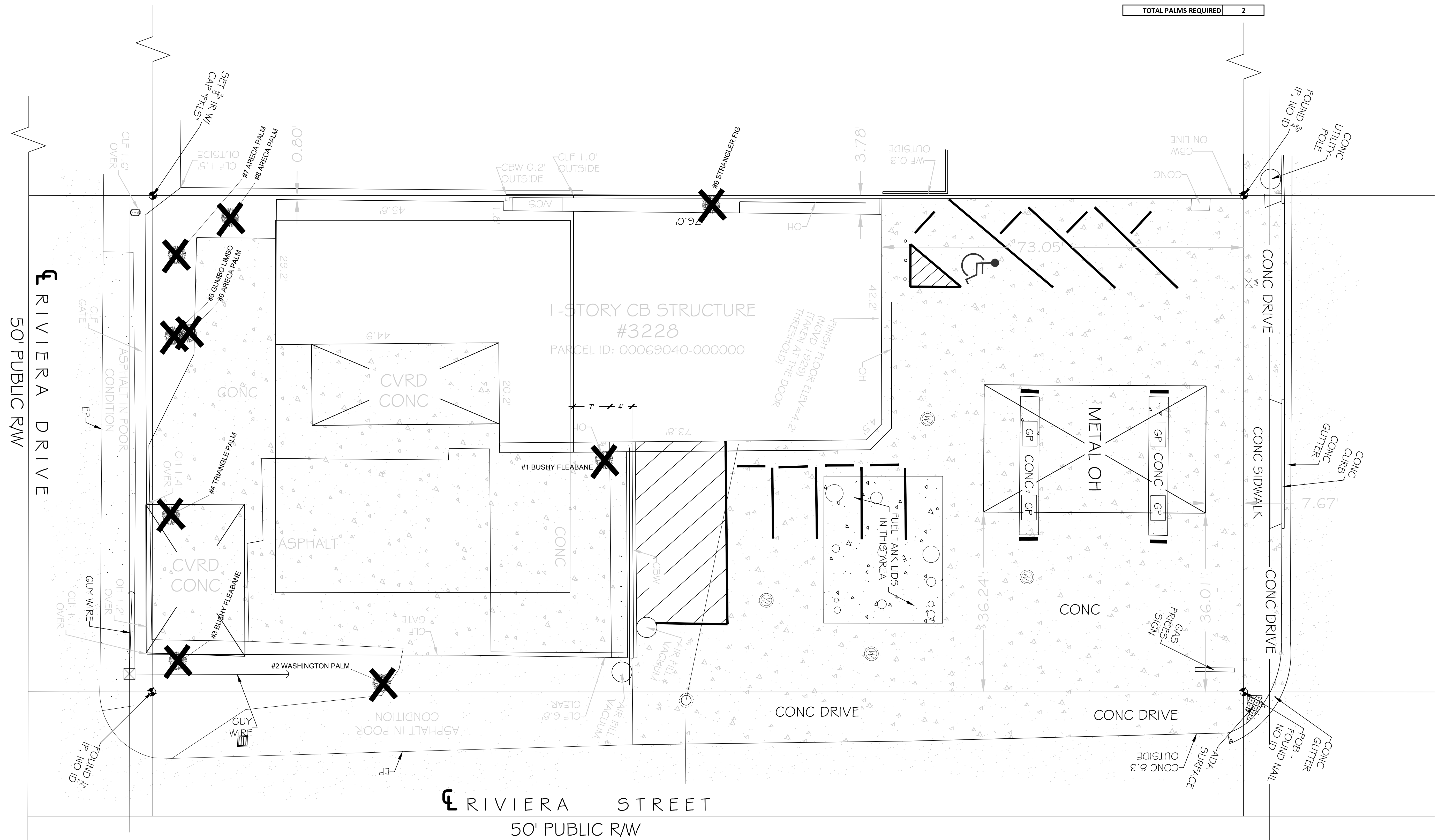
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EXISTING TREE IMPACT SCHEDULE								CONDITION (Value%)				Value x DSH	
TREE #	LOCAL NAME	BOTANICAL NAME	NOTES	APPRX. DSH	HEIGHT	SPREAD	Remove	Location	Species	Condition	Mit. Req.	Total Value	Inches Required
1	Bushy Fleabane	Pluchea carolinensis	NN - shrub - volunteers not protected	na	24"	36"	X	0	0	0	n	0	
3	Bushy Fleabane	Pluchea carolinensis	NN - shrub - volunteers not protected	na	24"	36"	X	0	0	0	n	0	
5	Gumbo Limbo	Bursea simaruba	Native - Poor Condition	4"	8'	6'	X	60	100	50	y	70	2.8"
9	Stangler Fig	Ficus aurea	Native - Poor Condition	2"	6'	3'	X	20	100	40	y	53	1.06"

TOTAL TREE MITIGATION INCHES REQUIRED 3.86"

EXISTING PALM IMPACT SCHEDULE								CONDITION (%)		
PALM #	LOCAL NAME	BOTANICAL NAME	NOTES	APPRX. DSH	HEIGHT	SPREAD	Remove	Replacement Quantity	Mit. Req.	Total
2	Washington Palm	Washingtonia robusta	NN - Replace w/4'+ Native Palm	12"	10' oa	10'	X	1	y	1
4	Triangle Palm	Dypsis decaryi	NN - Replace w/4'+ Native Palm	12"	10' oa	8'	X	1	y	1
6	Areca Palm	Dypsis lutescens	NN - not protected	na	6'	4'	X	0	n	0
7	Areca Palm	Dypsis lutescens	NN - not protected	na	6'	4'	X	0	n	0
8	Areca Palm	Dypsis lutescens	NN - not protected	na	6'	4'	X	0	n	0

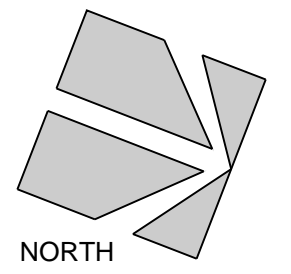
TOTAL PALMS REQUIRED 2



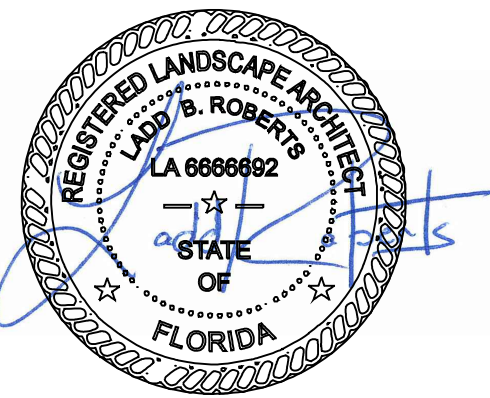
RIVIERA STREET
50' PUBLIC RW

RIVIERA DRIVE
50' PUBLIC RW

FLAGLER AVENUE MIXED-USE
KEY WEST, FL 33040



SCALE: 1" = 10'-0"



FLAGLER AVE MIXED USE

DATE: 2.15.18

REVISIONS:

No.	Date	Notes
1.	5.15.18	REVISED CALC'S / PLANTING
2.		

CONSTRUCTION DOCUMENTS

SHEET NUMBER:

L-2

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PLANT SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE
PALMS					
3	SABAL PALM	Sabal palmetto	10' clr. trnk. - per plan	FL #1	NATIVE
1	KEY THATCH PALM	Thrinax morrisii	4-6' o.h.	FL #1	NATIVE
2	COCONUT PALM	Cocos nucifera	20-24' o.h.	FL #1	
TREES					
CANOPY					
1	PIGEON PLUM	Coccoloba diversifolia	4' cal., 12-14' o.h., 8-10' sprd.	FL #1	NATIVE
1	LIGNUM VITAE	Lignum vitae	1.5" cal. 6-8' o.h.	FL #1	NATIVE
SHRUBS					
17	SPANISH STOPPER	Eugenia foetida	7 gal., 36"-40" hgt./sprd.	FL #1	NATIVE
21	DWARF WILD COFFEE	Psychotria ligustrifolia	3 gal., 24" -36" hgt./sprd.	FL #1	NATIVE
50	DWF BLUE PORTERWEED	Stachytarpheta jamaicensis	1 gal., full, 24" o.c.	FL #1	NATIVE
3	PHILODENDRON ROJO CONGO	Philodendron 'Rojo Congo'	15 gal., 36" - 40" hgt./sprd.	FL #1	
100	LIRIOPE 'SUPER-BLUE'	Liriope 'Super-Blue'	1 gal., full - 18" o.c.	FL #1	
2	HELICONIA	Heliconia x caribea	15 gal., full	FL #1	
650 sf	SYNTHETIC TURF	As indicated around Bocce Ball Court			
1,800 sf	BAHIA SOD	ROW GRASS			

GENERAL INFORMATION & TREE MITIGATION		
ZONING	CL	
GROSS SITE AREA	22,000 sf or .50 acres	
BUILDING COVERAGE	SEE ARCHITECTURE	
IMPERVIOUS SURFACE AREA	SEE CIVIL	
TREE MITIGATION CALCULATIONS		
	TREE DSH INCHES	PROTECTED PALMS
TREES IMPACTED		
PROTECTED TREES / PALMS IMPACTED	6"	2 (PALMS)
MITIGATION REQUIRED	3.6"	2 (PALMS)
DSH INCHES PROVIDED (4" DSH MIN. TREES) / PALMS PROVIDED	5.5"	4 (NATIVE PALMS)

GENERAL NOTES:

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGNED TO MAXIMIZE WATER CONSERVATION. THIS SYSTEM SHALL BE CONNECTED TO WATER METER AND INSTALLED IN ACCORDANCE WITH GOVERNING CODE AND REQUIREMENTS. AN AS-BUILT OF THE INSTALLED SYSTEM SHALL BE PROVIDED UPON COMPLETION.

75% OF ALL CODE REQUIRED PLANTS SHALL BE NATIVE.

ALL TREES TO BE PROVIDED WITH BUBBLER.

ALL SHRUB RISERS TO BE POSITIONED AT THE BACK OF BEDS AWAY FROM PEDESTRIAN CIRCULATION.

COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR/OWNER.

WATER SOURCE: METERED WATER VERIFY ON SITE

PLANT SIZE TO TAKE PRECEDENCE OVER CONTAINER SIZE WHERE SPECIFIED.

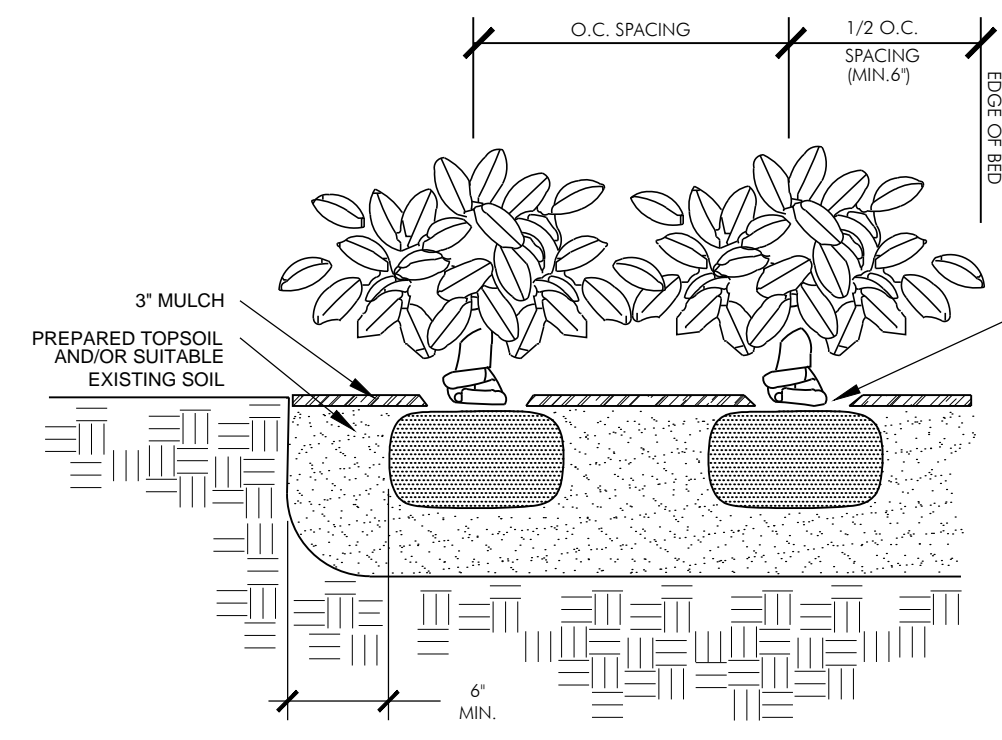
COORDINATE ALL MATERIAL SUBSTITUTIONS WITH LANDSCAPE ARCHITECT/OWNER PRIOR TO INSTALLATION.

COORDINATE ALL SITE/PLAN DISCREPANCIES WITH LANDSCAPE ARCHITECT.

VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.

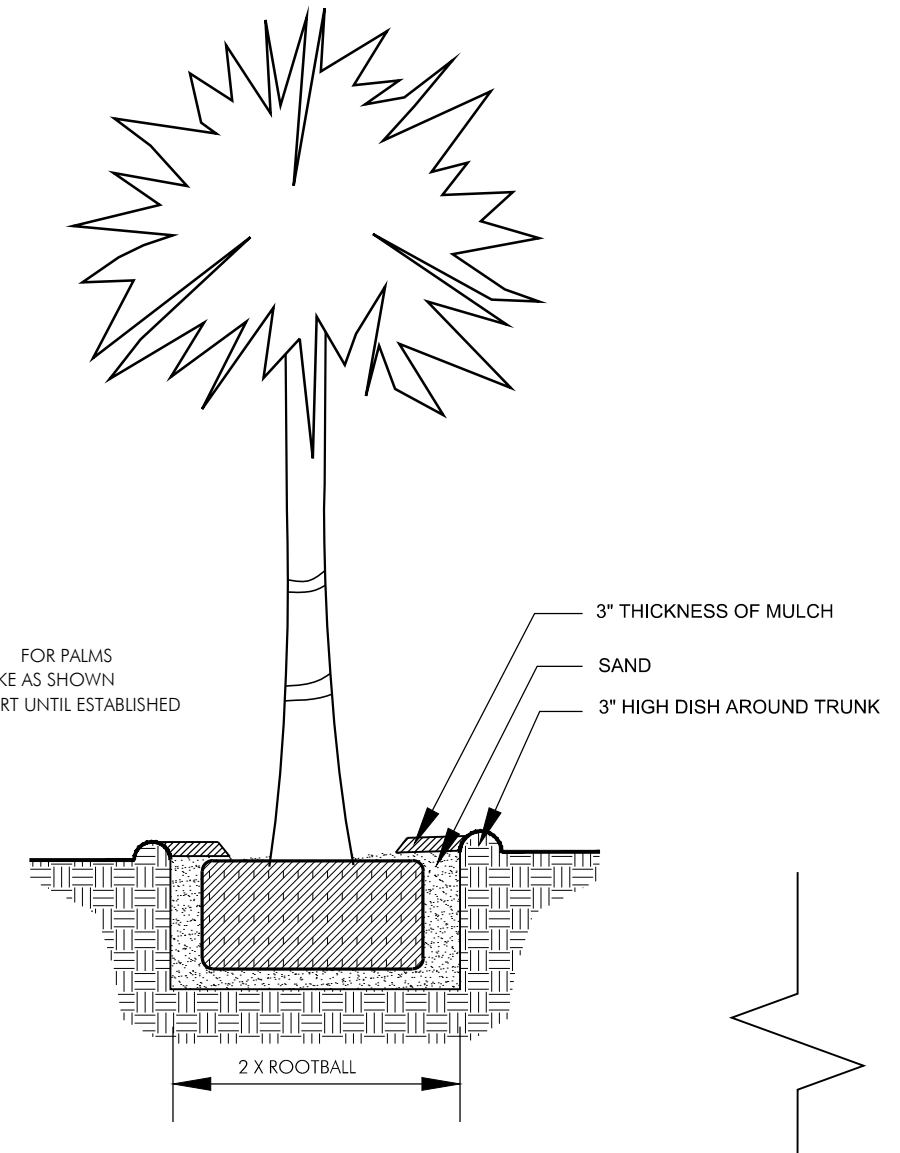
SOIL GRADE ADJACENT TO HARDSCAPE TO BE 3" BELOW.

SYNTHETIC TURF TO MEET HARDSCAPE FLUSH

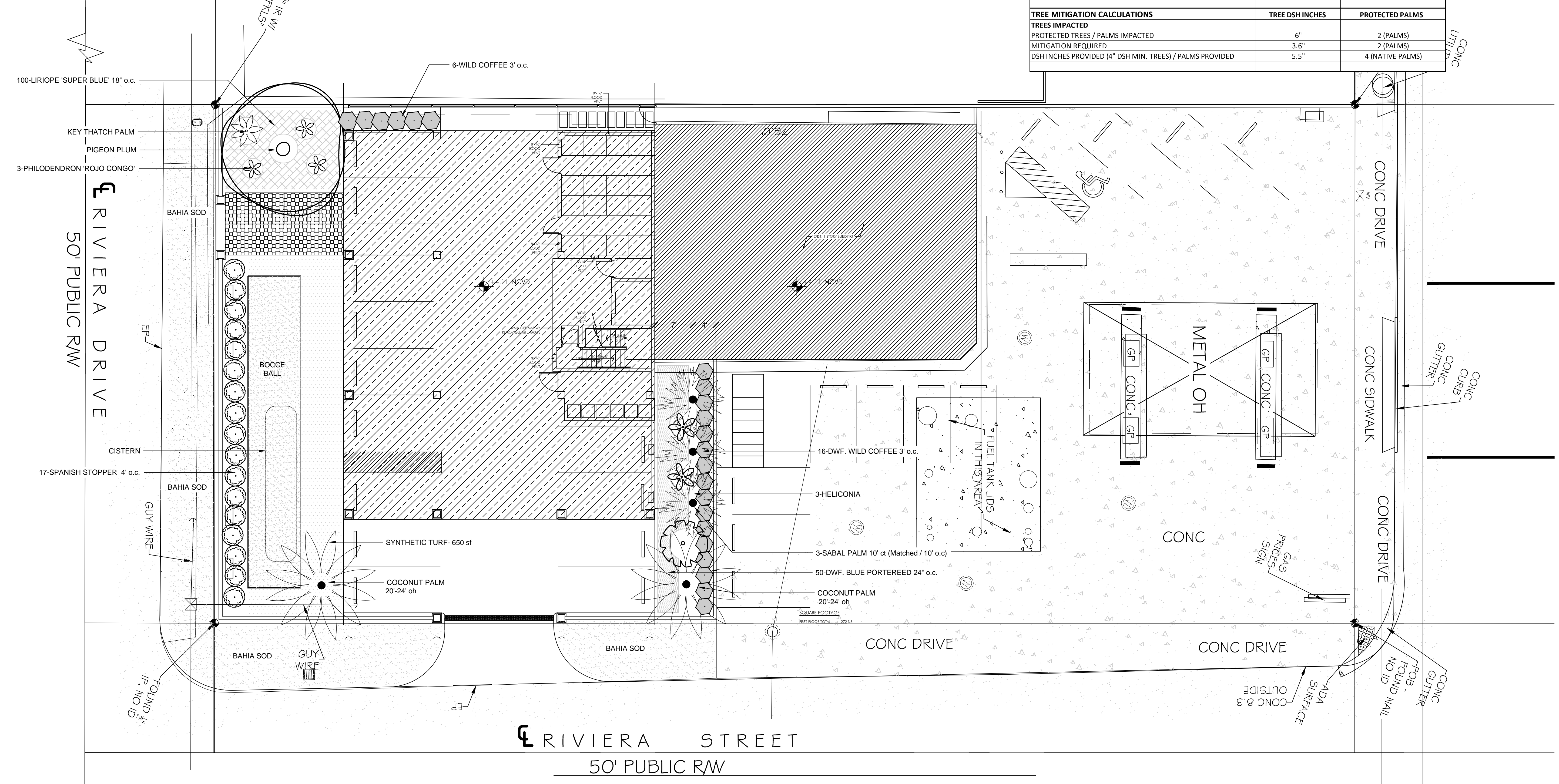


SHRUB PLANTING DETAIL

ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



PALM PLANTING DETAIL

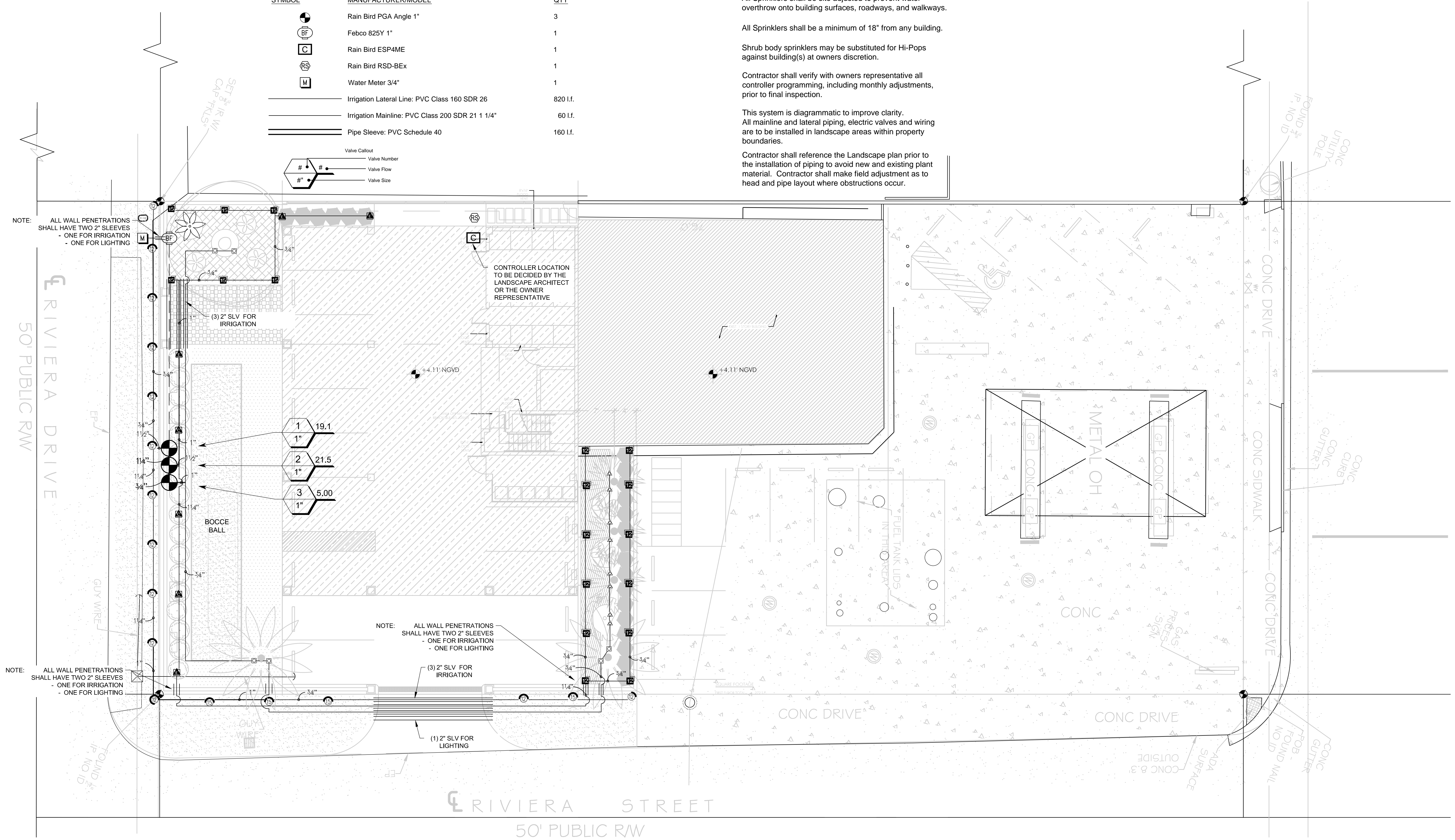
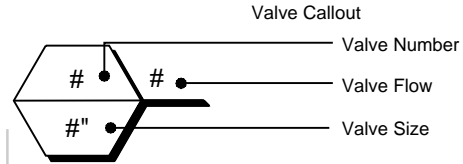


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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
⊙	Rain Bird 1806 12 Series MPR	10	180	20	1.05	10'
⊙	Rain Bird 1806 12 Series MPR	2	90	20	0.53	10'
⊙	Rain Bird 1806 12 Series MPR	1	270	20	1.58	10'
⊙	Rain Bird 1806 15 Series MPR	4	180	20	1.50	12'
⊙	Rain Bird 1812 15 Strip Series	3	CST	20	1.00	4'x30'
⊙	Rain Bird 1812 15 Strip Series	4	EST	20	0.50	4'x15'
⊙	Rain Bird 1812 12 Series MPR	8	180	20	1.05	10'
⊙	Rain Bird 1812 12 Series MPR	4	90	20	0.53	10'
⊙	Rain Bird 1812 15 Series MPR	2	180	20	1.50	12'
⊙	Rain Bird 1812 15 Series MPR	4	90	20	0.75	12'
△	Rain Bird 1804-1400 Flood	8	360	20	0.25	3'
⊠	Rain Bird 1804-1400 Flood	6	360	20	0.50	3'

SYMBOL	MANUFACTURER/MODEL	QTY
⊙	Rain Bird PGA Angle 1"	3
⊙	Febco 825Y 1"	1
⊙	Rain Bird ESP4ME	1
⊙	Rain Bird RSD-BEx	1
⊙	Water Meter 3/4"	1
—	Irrigation Lateral Line: PVC Class 160 SDR 26	820 L.F.
—	Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"	60 L.F.
—	Pipe Sleeve: PVC Schedule 40	160 L.F.



Irrigation water source is assumed to be a Meter through the F.K.A.A. (Contractor shall provide meter).

Irrigation Contractor shall be responsible for all applicable fees and permits.

Irrigation Contractor shall comply with all state and local codes and shall clarify any discrepancies on the plan prior to bidding.

All Pipe and Wire under paving shall be placed in Schedule 40 P.V.C. Sleeves for the full pavement coverage length and shall be at least 24" below grade.

Mainlines shall be buried to provide a minimum cover of 18", while all Lateral lines shall have a minimum of 12".

The Contractor should take care to reroute piping as necessary to avoid plant or tree roots.

All Piping downstream of Solenoid Valve to be PR-160 P.V.C.

MainLine, Valves, etc. may be shown out of position for graphic clarity. Drawing is diagrammatic only.

All Sprinklers shall be site adjusted to prevent water overthrow onto building surfaces, roadways, and walkways.

All Sprinklers shall be a minimum of 18" from any building.

Shrub body sprinklers may be substituted for Hi-Pops against building(s) at owners discretion.

Contractor shall verify with owners representative all controller programming, including monthly adjustments, prior to final inspection.

This system is diagrammatic to improve clarity. All mainline and lateral piping, electric valves and wiring are to be installed in landscape areas within property boundaries.

Contractor shall reference the Landscape plan prior to the installation of piping to avoid new and existing plant material. Contractor shall make field adjustment as to head and pipe layout where obstructions occur.

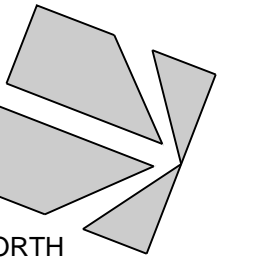
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Rain Bird PGA Angle	1"	Turf Spray	19.14	104.3	27.06	45	0.99 in/h
2	Rain Bird PGA Angle	1"	Shrub Spray	21.52	107.8	26.98	46.62	1.69 in/h
3	Rain Bird PGA Angle	1"	Bubbler	5.00	111.3	26.05	38.59	1.52 in/h
	Common Wire				55.0			

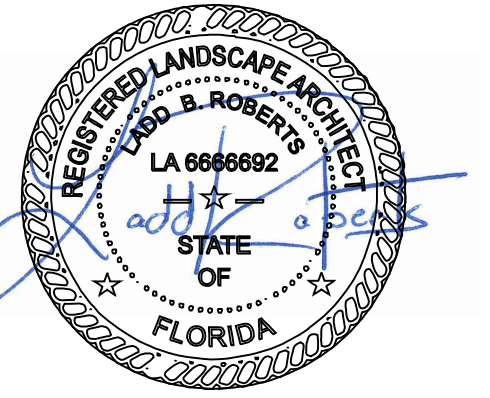
WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird PGA Angle	Turf Spray	0.99 in/h	1	61	1,168	583.8
2	Rain Bird PGA Angle	Shrub Spray	1.69 in/h	1	36	774.7	387.4
3	Rain Bird PGA Angle	Bubbler	1.52 in/h	1	40	200	100
	TOTALS:				137	2,142	1,071

FLAGLER AVENUE MIXED-USE
KEY WEST, FL 33040



SCALE: 1" = 10'-0"



FLAGLER AVE MIXED USE

DATE: 5.15.18

REVISIONS:

No.	Date	Notes
1.		
2.		

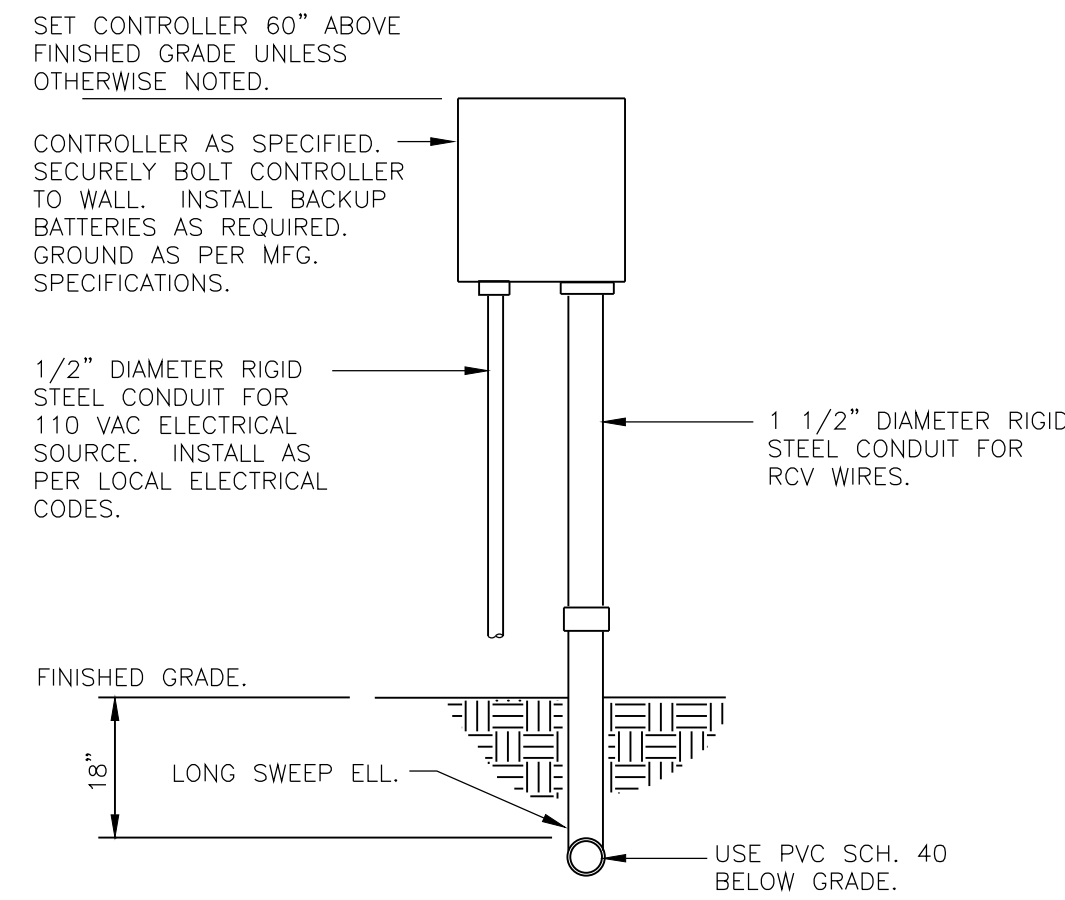
CONSTRUCTION DOCUMENTS

SHEET NUMBER:
L-3

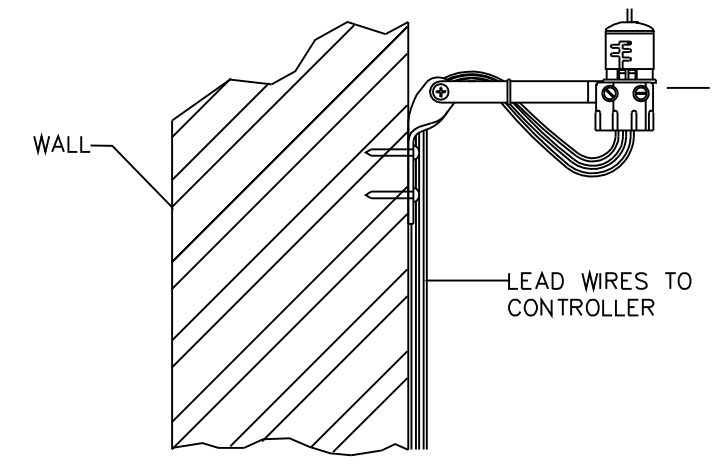
JOB #: 18002 DRAWN BY: LBR
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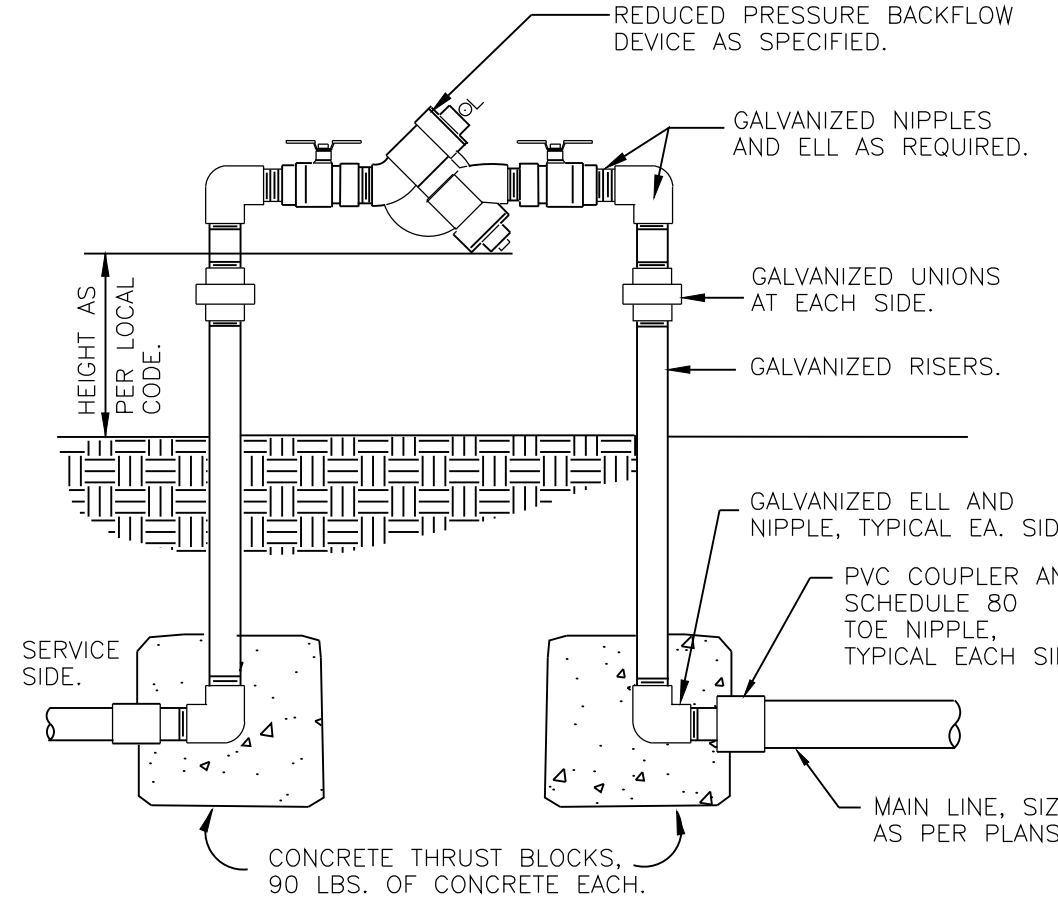
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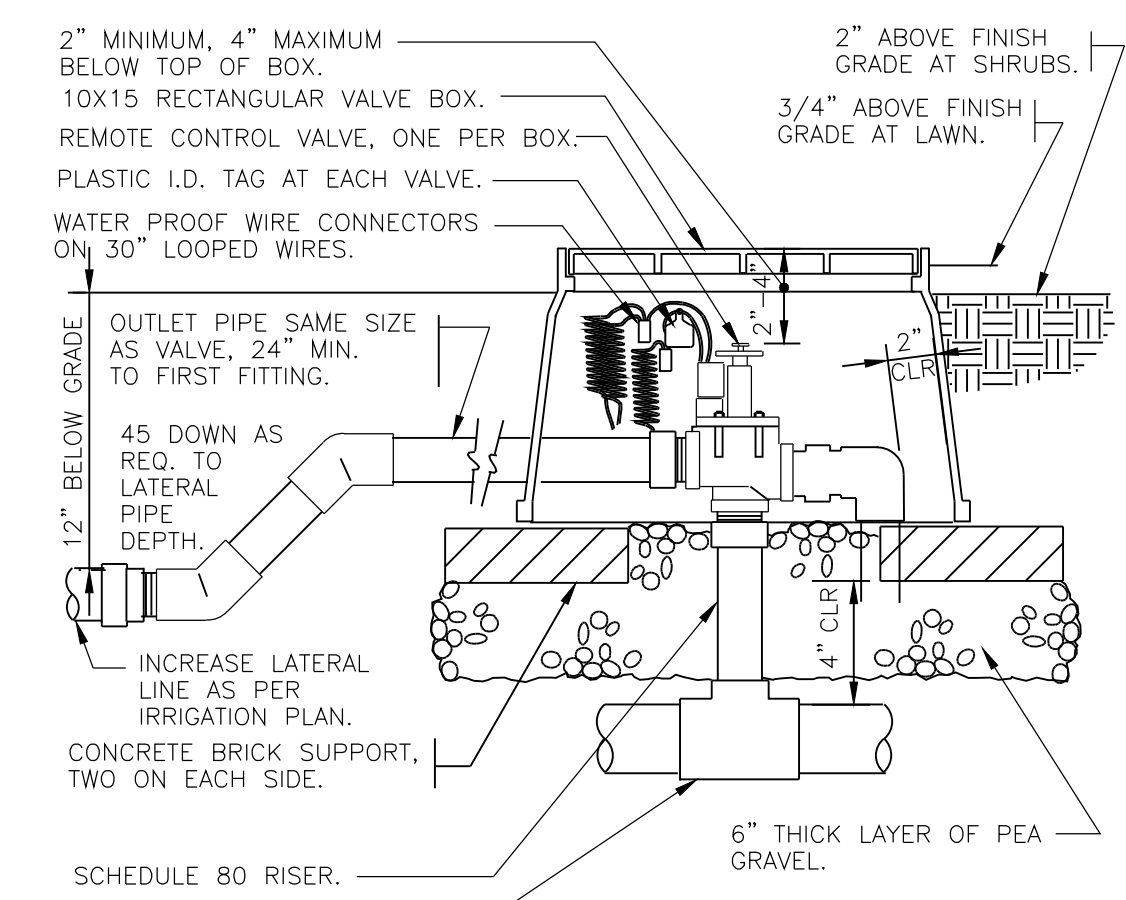
01 WALL MOUNT CONTROLLER
N.T.S.



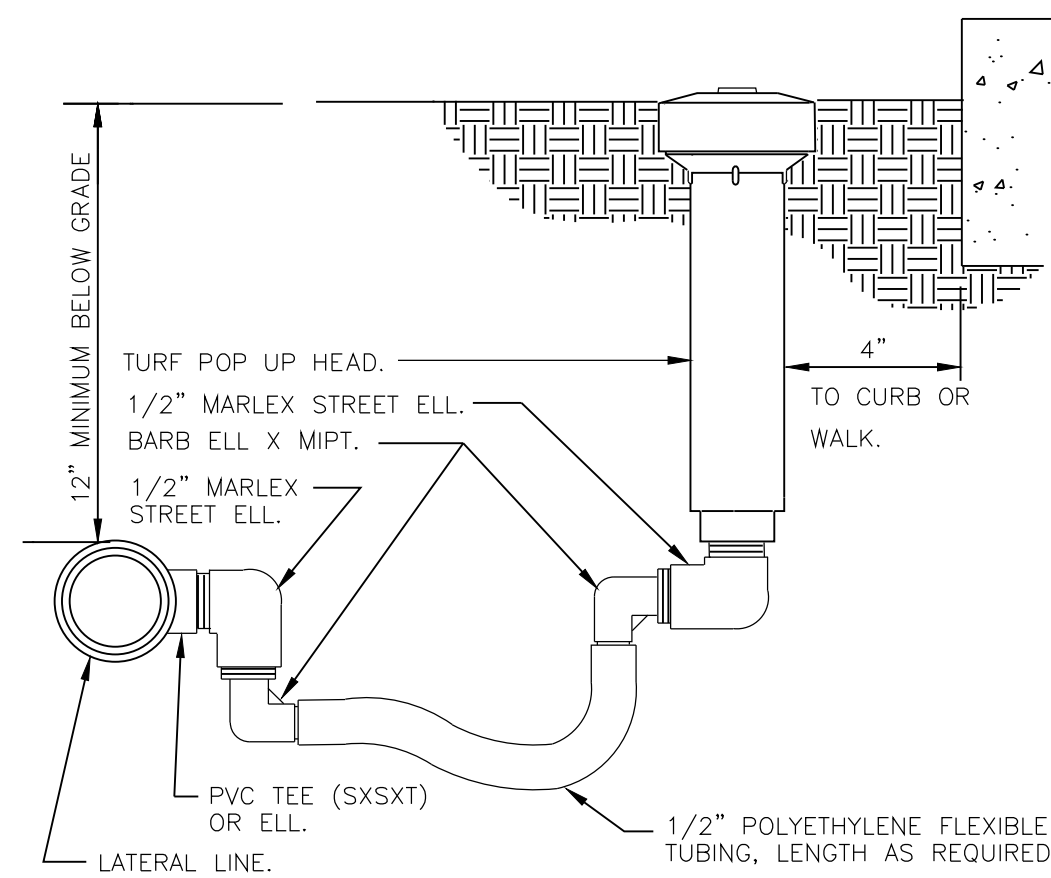
02 RAIN SENSOR
N.T.S.



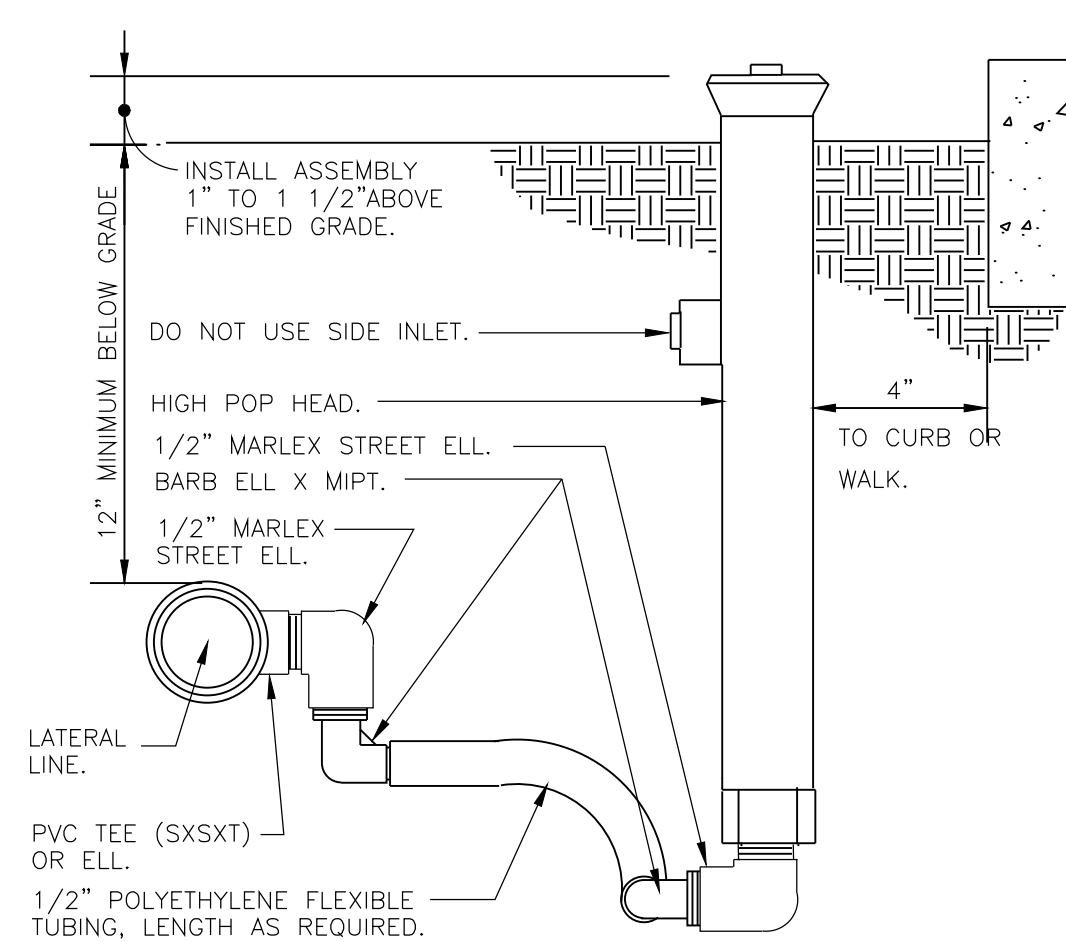
03 REDUCED PRESSURE BACKFLOW DEVICE
N.T.S.



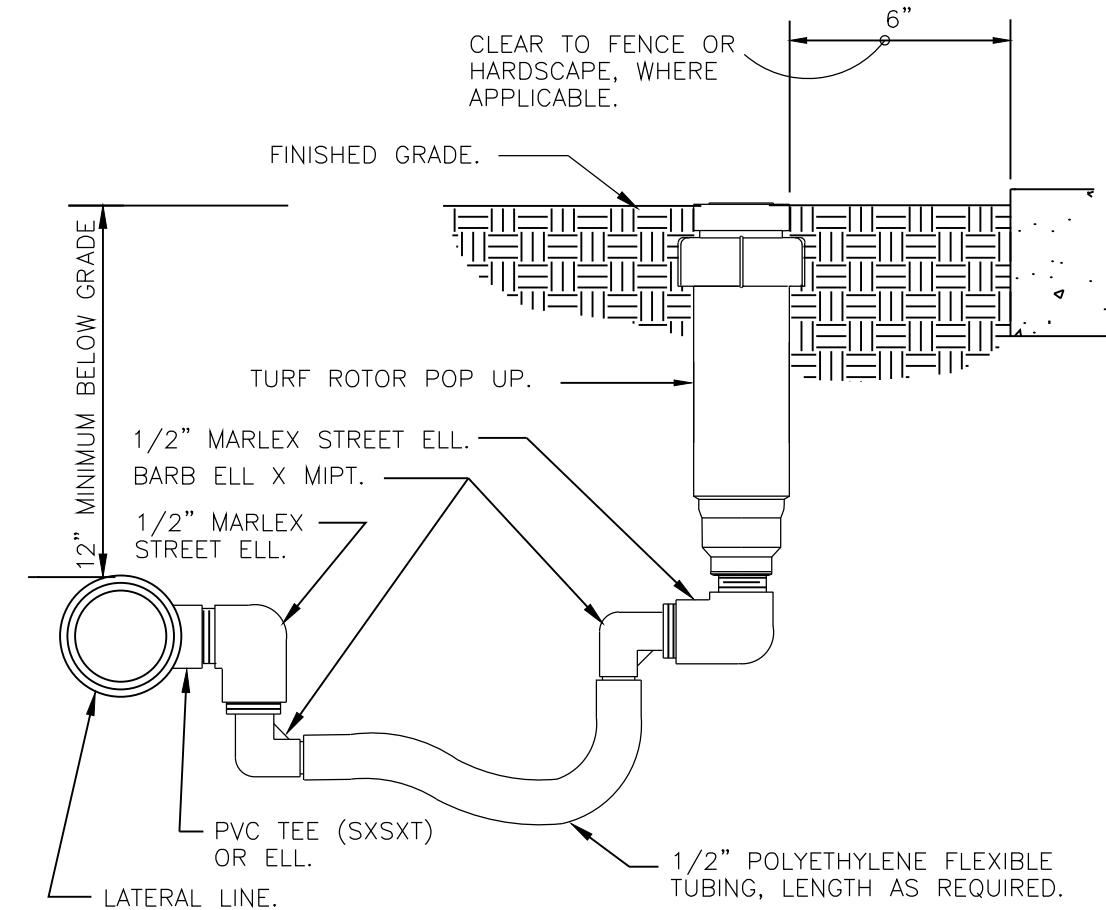
04 ELECTRIC REMOTE CONTROL VALVE
N.T.S.



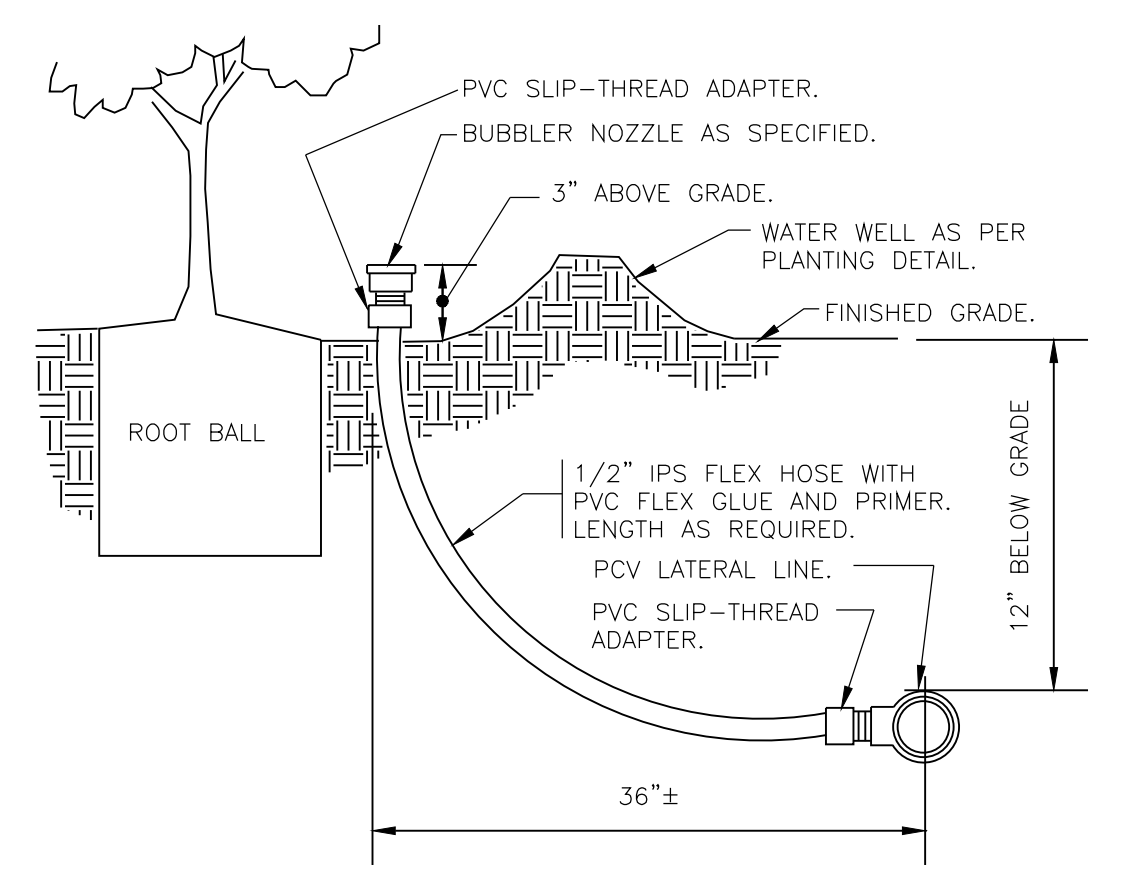
05 TURF SPRAY FLEX ASSEMBLY
N.T.S.



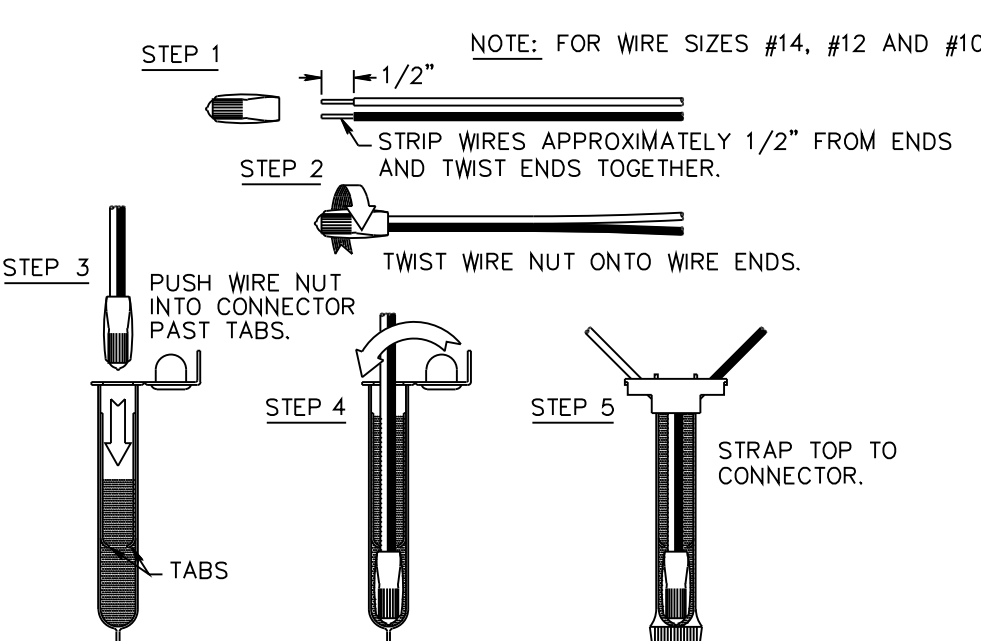
06 SHRUB SPRAY HIGHPOP W/FLEX ASSEMBLY
N.T.S.



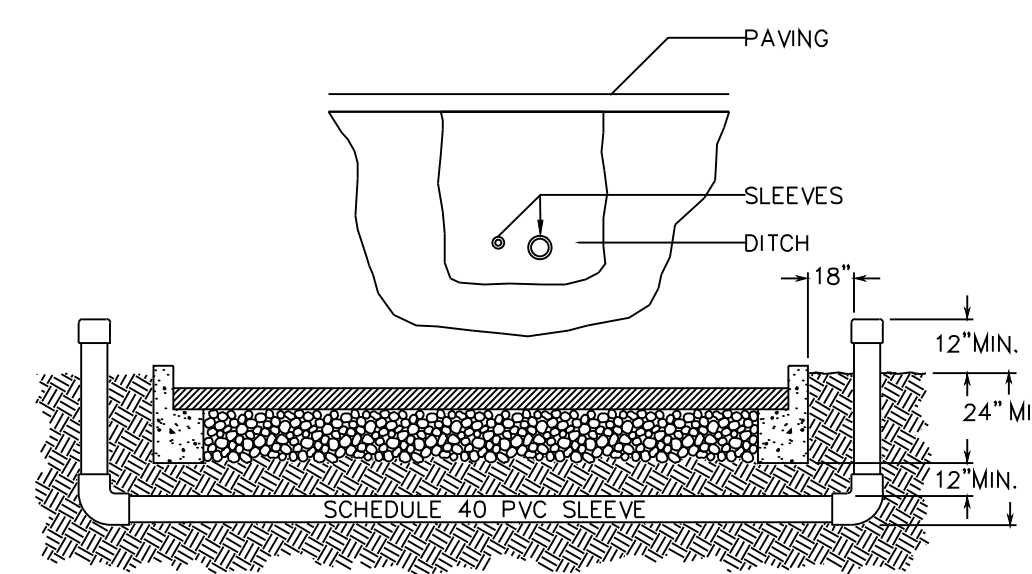
07 TURN ROTOR FLEX ASSEMBLY
N.T.S.



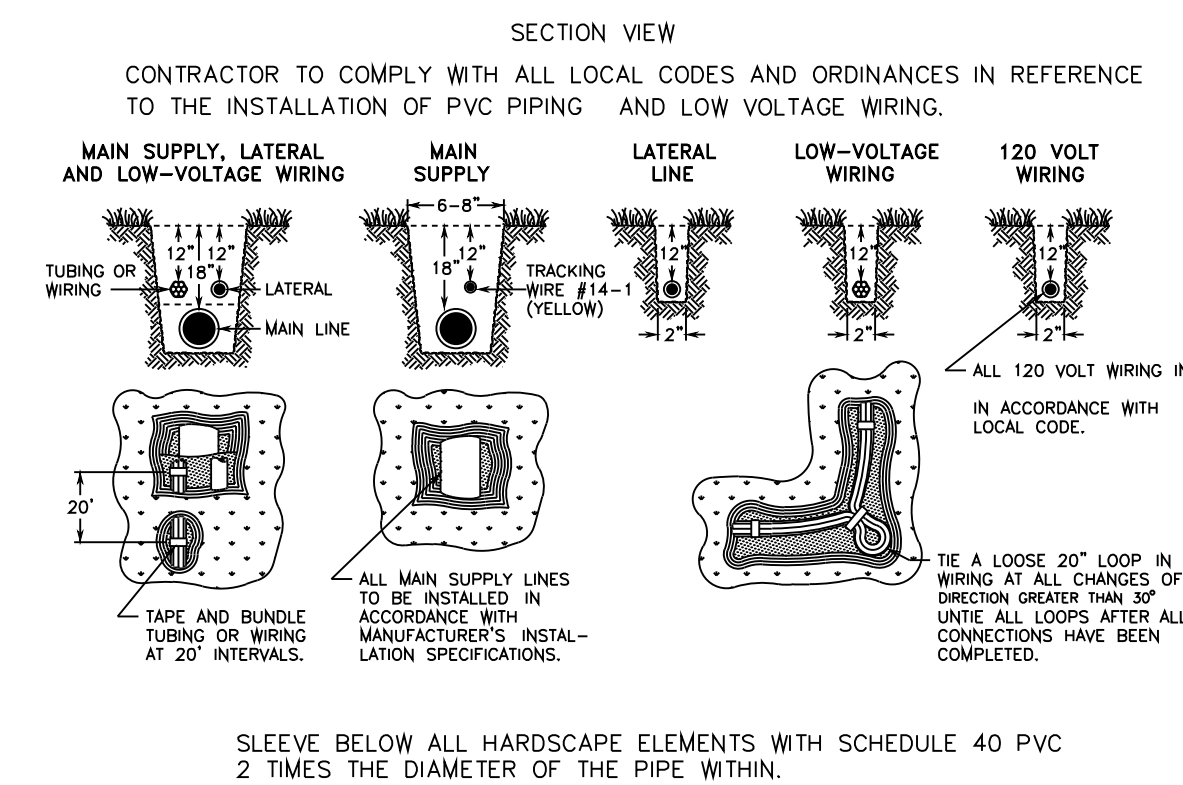
08 BUBBLER ON FLEX HOSE RISER
N.T.S.



09 WIRE CONNECTION DETAIL
N.T.S.



10 IRRIGATION SLEEVING
N.T.S.



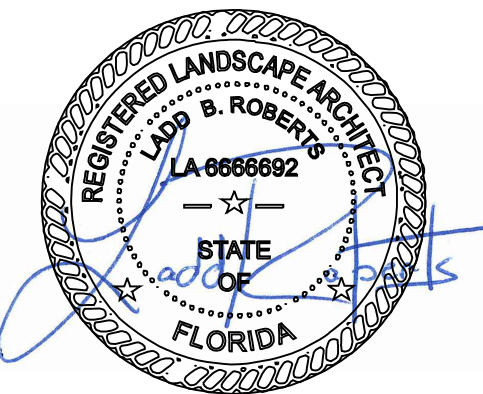
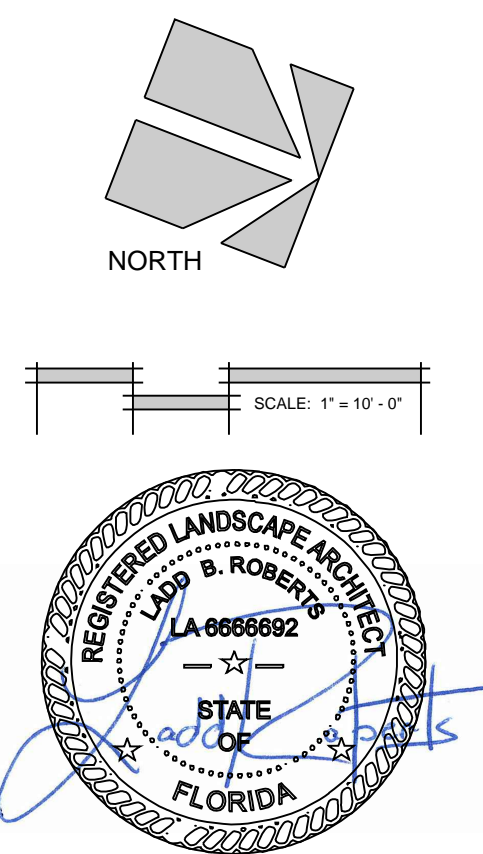
11 PIPE AND WIRE TRENCHING
N.T.S.

NOTE:

- SYSTEM IS DIAGRAMMATIC TO IMPROVE CLARITY. ALL MAINLINE AND LATERAL PIPING, ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES.
- CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONTACT WITH PLANT MATERIALS EXISTING OR NEW.
- CONTRACTOR TO MAKE FIELD ADJUSTMENTS TO HEAD AND PIPE LAYOUT WHEN EXISTING OBSTRUCTIONS MAY OCCUR (SEE IRRIGATION NOTES AND SPECIFICATIONS).
- THESE TIMINGS HAVE BEEN COMPILED USING THE MANUFACTURERS SPECIFICATIONS TO ACHIEVE 1.0 INCHES PRECIPITATION PER WEEK PRECISE WATERING TIMES MUST BE SITE DETERMINED BASED ON SEASON, RAINFALL, ETC. PRECIPITATION RATES WILL ALSO VARY BASED ON THE ELEMENTS AND SEASONS.

DAYLIGHT SAVING TIME:
HOUSES WITH ODD NUMBERED ADDRESSES OR NO ADDRESS WILL WATER ON WEDNESDAY & SATURDAY.
HOUSES WITH EVEN NUMBERED ADDRESSES WILL WATER ON THURSDAY & SUNDAY.
NON RESIDENTIAL ADDRESSES WILL WATER ON TUESDAY & FRIDAY.

EASTERN STANDARD TIME:
HOUSES WITH ODD NUMBERED ADDRESSES OR NO ADDRESS WILL WATER ON SATURDAY.
HOUSES WITH EVEN NUMBERED ADDRESSES WILL WATER ON SUNDAY.
NON RESIDENTIAL ADDRESSES WILL WATER ON TUESDAY.



DATE: 5.15.18

REVISIONS:

No.	Date	Notes
1.		
2.		

CONSTRUCTION DOCUMENTS

SHEET NUMBER:
L-4

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Site Visit

3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



Additional Information

Summary

Parcel ID 00069040-000000
 Account # 1072931
 Property ID 1072931
 Millage Group 10KW
 Location 3228 FLAGLER Ave , KEY WEST
 Address
 Legal Description KW RIVIERA SHORES SUBDIVISION PB3-148 THE EASTERLY 100FT OF BLK 2 OR85-361/362 OR1913-1679/81 OR2781-1779/90
 (Note: Not to be used on legal documents)
 Neighborhood 31060
 Property Class SERVICE STATION (2600)
 Subdivision Riviera Shores Sub
 Sec/Twp/Rng 33/67/25
 Affordable No
 Housing



Owner

LAND 10031 LLC 4900 W Hundred Rd Chester VA 23831	LAND 1701 LLC	LAND 8601 LLC
	LAND 2708 LLC	LAND 7009 LLC
LAND 4027 LLC	LAND 8351 LLC	LAND 2421 LLC
LAND 113 LLC		

Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$509,042	\$518,281	\$606,551	\$606,551
+ Market Misc Value	\$52,225	\$52,464	\$10,860	\$9,992
+ Market Land Value	\$317,130	\$317,130	\$317,130	\$306,900
= Just Market Value	\$878,397	\$887,875	\$934,541	\$923,443
= Total Assessed Value	\$878,397	\$887,875	\$934,541	\$923,443
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$878,397	\$887,875	\$934,541	\$923,443

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	22,000.00	Square Foot	100	220

Commercial Buildings

Style 1 STY STORE-B / 11B
 Gross Sq Ft 6,520
 Finished Sq Ft 4,844
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls C.B.S.
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1969
 Year Remodeled
 Effective Year Built 1995
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	CARPOT FIN	576	0	0
CAD	DETACHED CAN	1,100	0	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,844	4,844	0
TOTAL		6,520	4,844	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CARPORT	1995	1996	1	630 SF	1
CH LINK FENCE	1978	1979	1	1560 SF	1
FENCES	1979	1980	1	210 SF	4
ASPHALT PAVING	1979	1980	1	2300 SF	2
FENCES	1979	1980	1	390 SF	4
PATIO	1985	1986	1	9935 SF	2
PATIO	1969	1970	1	680 SF	1

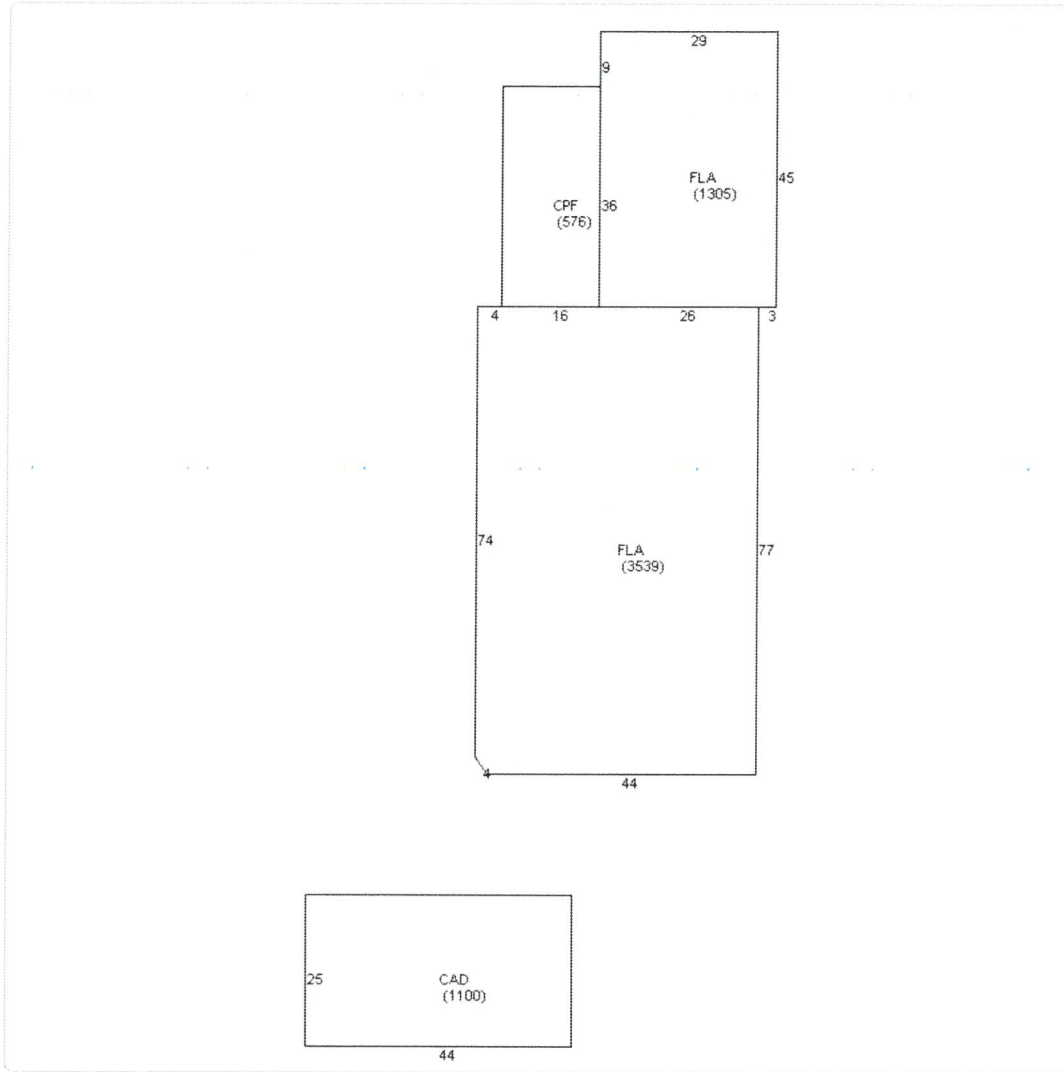
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
2/8/2016	\$20,750,000	Warranty Deed		2781	1779	37 - Unqualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
08-4497	5/4/2009	8/13/2008	\$2,700	Commercial	RE-DECK METAL AWNING
08-4497	5/4/2009	11/7/2009	\$2,700	Commercial	RE-DECK METAL AWNING WITH 2 X 4 BLOCKING AND 5/8" PLYWOOD. CONSTRUCT 46 LF PARAPET WALL.
08-4379	12/12/2008	11/20/2008	\$53,500	Commercial	NEW FLAT ROOF TO NEW ADDITION
08-4379	12/12/2008	5/1/2009	\$53,500	Commercial	NEW FLAT ROOF TO NEW ADDITION 1500 SF AND REMOVE AND REPLACE ADJACENT FLAT ROOF 500 SF. NEW FLASHING.
08-4497	12/12/2008	8/13/2009	\$2,700	Commercial	RE-DECK METAL AWNING WITH 2X4 BLOCKING AND 5/8 PLYWOOD, CONST. 46LF PARAPET WALL
08-4492	12/10/2008	4/16/2009	\$5,800	Commercial	CHANGE OUT 5 TON ROOF TOP PACKAGE UNIT
08-4492	12/10/2008	5/1/2009	\$5,800	Commercial	CHANGE OUT 5 TON ROOF TOP PACKAGE UNIT
08-4379	12/2/2008	5/1/2009	\$53,500	Commercial	REMOVE 7 REPLACE 4300 SF OF ROOFING. INSTALL MODIFIED BUILT-UP ROOF MODIFIED WHITE GRANULATED CAP SHEET. INSTALL NEW TAPER SYSTEM.
08-3318	9/6/2008	11/7/2008	\$22,477	Commercial	DEMO BLOCK WALLS, COLUMNS, TIE BEAM. DRILL NEW AUGER HOLES AND POUR CONCRETE. GRADE BEAMS AND COLUMNS. INFILL 216 SF OF BLOCK. FASTEN 30 LB HURRICANE CLIPS TO ROOF. POUR INTERIOR CONCRETE SLAB.
08-1452	6/13/2008	5/1/2009	\$98,574	Commercial	DEMO & DISPOSE OF 102 LF OF BLK WALL & DETERIORATED TIE BEAM. INSTALL ADEQUATE SHORING TO SUPPORT ROOF STRUCTURE & AVOID JEOPARDIZING STRUCTURAL INTEGRITY WHILE PERFORMING DEMO. REBUILDING 102 LF OF BLOCK WALL, TIE BEAMS, JAMBS AND HEADER BEAMS. INSTALL HURRICANE CLIPS TO EXISTING CENTER WALL & ROOF STRUCTURE. STUCCO ENTIRE NEW STRUCTURE.
08-1452	6/13/2008	7/23/2009	\$98,574	Commercial	DEMO & DISPOSE OF 102LF OF BLK WALL & DETERIORATED TIE BEAM. INSTALL ADEQUATE SHORING TO SUPPORT ROOF STRUCTURE & AVOID JEOPARDIZING STRUCTURAL INTEGRITY WHILE PERFORMING DEMO & REBUILDING OF 102LF OF BLOCK WALL, TIE BEAMS, JAMS, AND HEADER BEAMS. INSTALL HURRICANE CLIPS TO EXISTING CENTER WALL & ROOF STRUCTURE. STUCCO ENTIRE NEW STRUCTURE.
08-1454	6/13/2008		\$5,100	Commercial	REPAIR AND REWIRE 1500SF AREA. NEW 200 AMP SERVICE, 1 A/C HOOK-UP
08-1455	6/13/2008	11/17/2008	\$7,975	Commercial	RELOCATE EXISTING BATHROOMS & REPLACE EXISTING SEWER & WATER LINES.
06-0102	1/9/2006	7/26/2006	\$10,900	Commercial	UPGRADE ELECTRICAL PANELS AND EMERGENCY GENERATOR
05-5714	12/28/2005	7/26/2006	\$54,907	Commercial	REPLACE TANKS & LINE DISPEJSERS & PUMPS
04-2136	7/29/2004	12/13/2004	\$109,500	Commercial	INT RENOV & ROOF
0101402	3/28/2001	10/5/2001	\$6,000	Commercial	15 SQS BUILTUP
0002807	9/12/2000	12/20/2000	\$1,500	Commercial	KITCHEN REPAIRS
0000142	1/18/2000	7/18/2000	\$1,400	Commercial	KITCHEN FIRE SYSTEM
9803462	11/4/1998	12/31/1998	\$4,000	Commercial	REPL SIGN
9802974	9/28/1998	12/31/1998	\$12,000	Commercial	REPL STORM DAM ROOF
9801407	5/5/1998	11/3/1998	\$4,000	Commercial	REMV/REPL CA2 ROOF
9801188	4/13/1998	11/3/1998	\$1	Commercial	REPL DISPENSERS PER PLANS
9800327	2/18/1998	11/3/1998	\$2,000	Commercial	REPL GAS DISPENSERS
9701509	5/1/1997	7/1/1997	\$4,000	Commercial	INSTALL ROOF FOR CA2
M943888	11/1/1994	12/1/1994	\$4,000	Commercial	CHANGEOUT 7.5 TON AC
B933403	12/1/1993	12/1/1994	\$25,000	Commercial	REPLACE UNDERGRD TANK

Sketches (click to enlarge)



Photos



Map



No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

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