



Historic Architectural Review Commission Staff Report for Item 9

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: November 18, 2024

Applicant: Douglas Pat Burdette, Contractor

Application Number: H2024-0051

Address: 408 United Street

Description of Work:

Elevate home and rear porch from 4.97' to 9.06', new steps, and new foundations.

Site Facts:

The site under review consists of a principal historic frame vernacular house built circa 1912. The historic house is a contributing resource to the historic district. The two-story frame structure sits almost at grade. The house has a three bay "L" shape two-story porch; a concrete deck is found on the first floor and a frame deck is on its second floor. Existing columns are wooden round slightly tapered units with bases and capitals, and they can be seen on the circa 1965 photograph from the Monroe County Library. The structure is located on an AE-8 flooding zone. It is staff's opinion that the concrete slab on the first-floor porch is not original to the circa 1912 house.



1962 Sanborn map and survey.



408 United Street circa 1965. Monroe County Library.



408 United Street.

Secretary of the Interior’s Standards and HARC Regulations Cited on Review:

- SOIS (pages 16-23), specifically Standards 1, 2 and 9.
- Entrances, porches and doors (pages 32-33), specifically guidelines 7, 14, and 16.
- Foundation and lattice infill (pages 34), specifically first paragraph and guidelines 1, 2, and 4.

Staff Analysis:

The Certificate of Appropriateness under review proposes to elevate a historic house an additional 5’-0” from its existing elevation, raising the house from approximately 23.58 feet to 28.58 feet from crown of the road to the roof ridge. This elevation responds to future FEMA flood maps. The main entrance to the front porch is through the westernmost bay out of three bays. The plans propose wood turned balusters and wood handrail like existing ones found on the porch to enclose the open gap. On the east side of the house the design includes new entry stairs with landing, all built in wood. Wood lattice is proposed between the new concrete footers.



Existing and proposed front elevations.

As the building will be elevated, existing step located on the front as well as the first-floor concrete slab of the porch will be removed. The plans include a new concrete deck as a rebuild for the first-floor porch. The house has a rear porch that will also be elevated, and new railings and concrete steps are proposed.

Consistency with Cited Guidelines:

It is staff's opinion that elevating the historic house is necessary for its protection as the house has been flooded before. The proposed height responds to the future proposed FEMA map. The adjacent historic houses stand over lower piers and the new high piers will create a visual difference in the historic fabric. Of importance is that design strategies that can include berms or vegetation be adopted after the house is elevated as the new piers will be tall while comparing with adjacent houses.

Enid Torregrosa

From: alonso@modernmovers.com
Sent: Wednesday, November 13, 2024 4:15 PM
To: Enid Torregrosa; 'Rush Carlton'
Cc: info@modernmovers.com; mindy@modernmovers.com; clay@barrilleaux.net; 'Derek Quebedeaux'; Daniela Salume
Subject: [EXTERNAL] RE: [EXTERNAL] Public Notice and Posting Affidavit for 408 United Street

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Enid,

Please see below the clarification of the revision made per the previous email. We do not intend to alter the facade of the structure other than what is required for elevation, the new handrails that will be installed in the front to enclose the area of the existing concrete steps will be wood to match the existing design and materials.

1. Only demolition is for the concrete slab that serves as floor of the first floor “L” shape front porch. Existing columns and railings will be kept during raising the house and once it is relocated on its new footers.
 - That is correct, the existing concrete slab (front porch L shape) was poured in segments and is not structurally safe to elevate. We will rebuild the concrete porch and re-install the existing tile work as it was originally.
2. Railings and handrails for front “L” shape two-story front porch (where there are non-existing) and new stairs will be made of wood.
 - We have made the revisions, and are currently waiting for the structural engineer to forward a digitally signed copy.
3. Application states new wood steps, and that is what we included in the agenda. New plans have concrete steps. I will work on my report with new wood steps.
 - The proposed front steps will be wooden steps.
4. Lattice work infill between new concrete footers will be wood.
 - The latticework infill will also be wood.

Alonso Milon, CFM
Project Manager
alonso@modernmovers.com
Mobile: 239-922-5627

Modern House & Building Movers INC.
208 Third St. Unit A, Fort Myers, Florida 33907



From: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Sent: Wednesday, November 13, 2024 3:50 PM
To: alonso@modernmovers.com; 'Rush Carlton' <rush@modernmovers.com>
Cc: info@modernmovers.com; mindy@modernmovers.com; clay@barrilleaux.net; 'Derek Quebedeaux' <derek@rba-eng.net>; Daniela Salume <daniela.salume@cityofkeywest-fl.gov>
Subject: RE: [EXTERNAL] Public Notice and Posting Affidavit for 408 United Street

Hi all:

I need a respond to my email.

Best, Enid

From: alonso@modernmovers.com <alonso@modernmovers.com>
Sent: Wednesday, November 13, 2024 3:35 PM
To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>; 'Rush Carlton' <rush@modernmovers.com>
Cc: info@modernmovers.com; mindy@modernmovers.com; clay@barrilleaux.net; 'Derek Quebedeaux' <derek@rba-eng.net>; Daniela Salume <daniela.salume@cityofkeywest-fl.gov>
Subject: [EXTERNAL] Public Notice and Posting Affidavit for 408 United Street

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Good afternoon Enid,

Please see the attached notarized affidavit, as well as pictures taken on 11/11/2024.

Thank you,

Alonso Milton, CFM
 Project Manager
alonso@modernmovers.com
 Mobile: 239-922-5627

Modern House & Building Movers INC.

208 Third St. Unit A, Fort Myers, Florida 33907



From: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Sent: Tuesday, November 12, 2024 12:25 PM
To: Rush Carlton <rush@modernmovers.com>
Cc: alonso@modernmovers.com; info@modernmovers.com; mindy@modernmovers.com; clay@barrilleaux.net; Derek

Quebedeaux <derek@rba-eng.net>; Daniela Salume <daniela.salume@cityofkeywest-fl.gov>

Subject: RE: [EXTERNAL] Re: [EXTERNAL] RE: Public Notice and Posting Affidavit for 408 United Street

Hi Rush:

We knew that the concrete slab that serves as the deck of the first-floor front porch was going to be removed as for practicality when you elevate the house. My concern comes with the following sentence of Alonso's email:

Upon completing our initial assessment, we discovered the structure needed to be stabilized; the attached set of plans includes the previous request as well as an additional revision for the front porch.

The revised plans include notes as to "existing porch to be demolished and removed" on existing conditions and "rebuild demolished porch after elevation is complete" on proposed floorplans and elevations. Proposed elevations also still not include the spiral staircase. Front and visible railings from street should be wood.

As you can understand, these notes and the comment on the email from Alonso gives us a pause to understand these new changes. So, can we be assured about the following:

1. Only demolition is for the concrete slab that serves as floor of the first floor "L" shape front porch. Existing columns and railings will be kept during raising the house and once it is relocated on its new footers.
2. Railings and handrails for front "L" shape two-story front porch (where there are non-existing) and new stairs will be made of wood.
3. Application states new wood steps, and that is what we included in the agenda. New plans have concrete steps. I will work on my report with new wood steps.
4. Lattice work infill between new concrete footers will be wood.

Thank you for the requested clarification.

Best, Enid

From: Rush Carlton <rush@modernmovers.com>

Sent: Tuesday, November 12, 2024 11:59 AM

To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>

Cc: alonso@modernmovers.com; info@modernmovers.com; mindy@modernmovers.com; clay@barrilleaux.net; Derek Quebedeaux <derek@rba-eng.net>; Daniela Salume <daniela.salume@cityofkeywest-fl.gov>

Subject: [EXTERNAL] Re: [EXTERNAL] RE: Public Notice and Posting Affidavit for 408 United Street

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Front porch demo is the non-structural concrete slab only. We will carry the porch posts and baluster railings up with the house. We can eliminate the stair railing or change it as needed. Wood lattice is intended and can be called out if needed.

Thank You,

Rush J Carlton

Registered Architect

rush@modernmovers.com

Mobile: 504.396.0859

Modern House & Building Movers INC.

208 Third St. Unit A, Fort Myers, Florida 33907



On Tue, Nov 12, 2024 at 10:50 AM Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov> wrote:

Hi Alonso:

I am reviewing the plans in detail, and we did not include the demolition of the front porch, as this was not in the application nor discussed. I want to really understand this, are you demolishing just the concrete deck of the first floor of the existing front porch or are you also removing the railings and columns on both, first and second floor front porch? Is that is the case this needs to be readvertised for demolition, for which we already submitted the agenda to the newspaper. You are adding scope of work that was not originally included in the application.

Also, I am seen a detail of railings with tubular balustrade, handrail, and bottom rail. This house must have wooden railings and balustrades, due to its age. There is no annotation of materials for the lattice, for which the Commission requires it to be wood.

Please clarify this issues ASAP.

Best, Enid

From: alonso@modernmovers.com <alonso@modernmovers.com>

Sent: Monday, November 11, 2024 8:35 AM

To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>; info@modernmovers.com

Cc: 'Rush Carlton' <rush@modernmovers.com>; mindy@modernmovers.com; clay@barrilleaux.net; Derek Quebedeaux <derek@rba-eng.net>

Subject: [EXTERNAL] RE: Public Notice and Posting Affidavit for 408 United Street

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Good morning, Enid,

Please see attached the revised plans for the subject property. Upon completing our initial assessment, we discovered the structure needed to be stabilized; the attached set of plans includes the previous request as well as an additional revision for the front porch. I'm traveling to Key West and should have both tasks completed today. Thank you for all your help through this process. I've copied Rush Carlton (Architect) and Clay Barrilleaux (Engineer) if we need to provide additional information.

Sincerely,

Alonso Milon, CFM

Project Manager

alonso@modernmovers.com

Mobile: 239-922-5627

Modern House & Building Movers INC.

208 Third St. Unit A, Fort Myers, Florida 33907



From: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>

Sent: Friday, November 8, 2024 9:42 AM

To: info@modernmovers.com; alonso@modernmovers.com

Subject: Public Notice and Posting Affidavit for 408 United Street

Importance: High

Hi Douglas and Alonso-

I am attaching the public notice and posting affidavit for your project at 408 United Street. Notice needs to be posted at least **5 days** prior to the meeting on a **readable place from the street, including scope of work, without citizens required to enter the property to read it.** Once posted please take a photograph and attach it to the affidavit. Affidavit must be submitted electronically or at the office at least **3 days prior** to the meeting. Meeting will be at City Hall, 1300 White Street, and will start at 5:00 pm on **Monday**, November 18, 2024. You will need to be at the meeting representing the project. The building Department can notarize the document with no cost.

We are still waiting for the revised plans we asked on October 2. If by noon of November 12 we do not receive them, I will need to postpone this item until the December 17 HARC meeting.

Hope you are having a great weekend!

Best, Enid

Enid Torregrosa-Silva MSHP

Historic Preservation Planner

City of Key West

1300 White Street

Key West, Florida 33040

305.809.3973

HARC team email City_HARC@cityofkeywest-fl.gov

Key West Land Use Map:

<https://cityofkeywest.maps.arcgis.com/apps/webappviewer/index.html?id=22c0d4c9fc9a4cd5a0b03bdd373be676>

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS



City of Key West
 1300 White Street
 Key West, Florida 33040

HARC COA # HARC 2024-051	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	408 UNITED ST., KEY WEST FL 33040	
NAME ON DEED:	NEVENHAUS, MATTHEW...	PHONE NUMBER 845.590.4152
OWNER'S MAILING ADDRESS:	27 DENISON DR. SADDLE RIVER, NJ	EMAIL: iwanttoemailmatt@gmail.com
APPLICANT NAME:	DOUGLAS PAT BURDETTE	PHONE NUMBER 407.977.8681
APPLICANT'S ADDRESS:	208 THIRST ST, FORT MYERS FL 33907	EMAIL: info@modernmoves.com
APPLICANT'S SIGNATURE:	<i>Pat Burdette</i>	DATE 10/24/24

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.
 FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS RELOCATION OF A STRUCTURE ELEVATION OF A STRUCTURE
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ___ NO ___ INVOLVES A HISTORIC STRUCTURE: YES NO ___
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ___ NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: EXISTING 2,891 sf, 2-STORY HOME TO BE ELEVATED IN PLACE. HOME WILL BE RAISED BY 25'-0", FROM 4.97' NAVD8 TO 9.06' NAVD88. NEW ROOF HEIGHT WILL BE 28.58' FROM CENTER OF ROAD TO MAIN ROOF RIDGE.
MAIN BUILDING: WOOD-FRAME, 2-STORY, SINGLE FAMILY RESIDENCE TO BE ELEVATED IN PLACE FOR FLOOD MITIGATION. NEW STEPS TO BE CONSTRUCTED @ ENTRIES. NO LATERAL MOVEMENT ANTICIPATED.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX): EXISTING ENTRY STEPS TO BE DEMOLISHED & REMOVED, REPLACE W/NEW PER ENGINEER'S PLANS, ATTACHED.

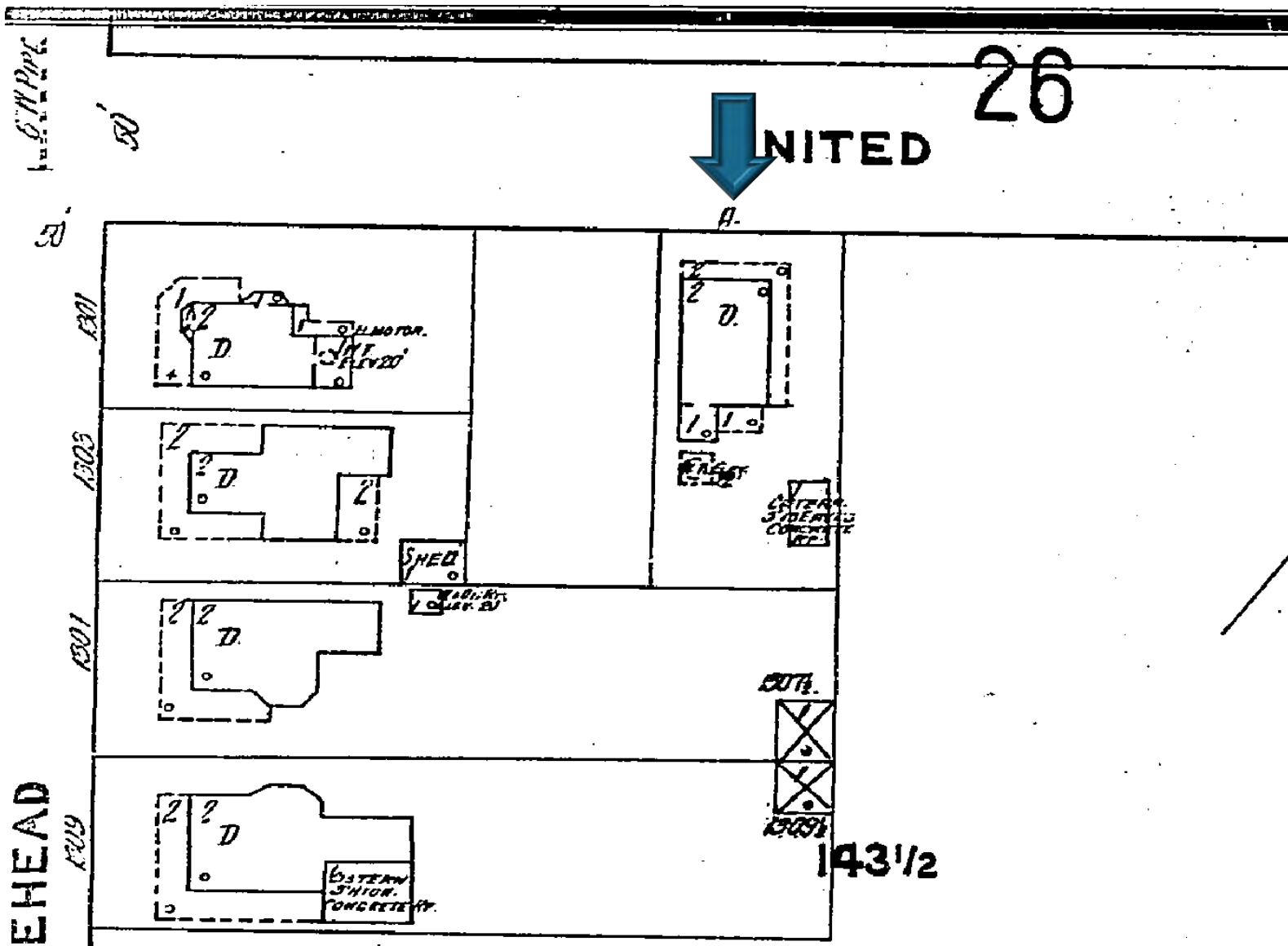
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): NO ACCESSORY STRUCTURE(S) ON SITE.	
PAVERS: EXIST. BRICK & CONCRETE PAVERS. REMOVE FOR DURATION OF WORK & REINSTALL @ COMPLETION.	FENCES: EXIST METAL @ FRONT & WOOD @ SIDES / REAR TO REMAIN.
DECKS: EXISTING DECKS ARE INTEGRAL & WILL BE RAISED W/ HOME.	PAINTING: NEW WOOD STEPS TO BE PAINTED.
SITE (INCLUDING GRADING, FILL, TREES, ETC): REPLACE GRADE TO MATCH ON COMPLETION. TREES & PLANTS TO REMAIN.	POOLS (INCLUDING EQUIPMENT): EXISTING POOL & EQUIP. TO REMAIN.
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC): EXIST. TO REMAIN & ELEVATE TO MEET FLOOD ELEVATION.	OTHER:

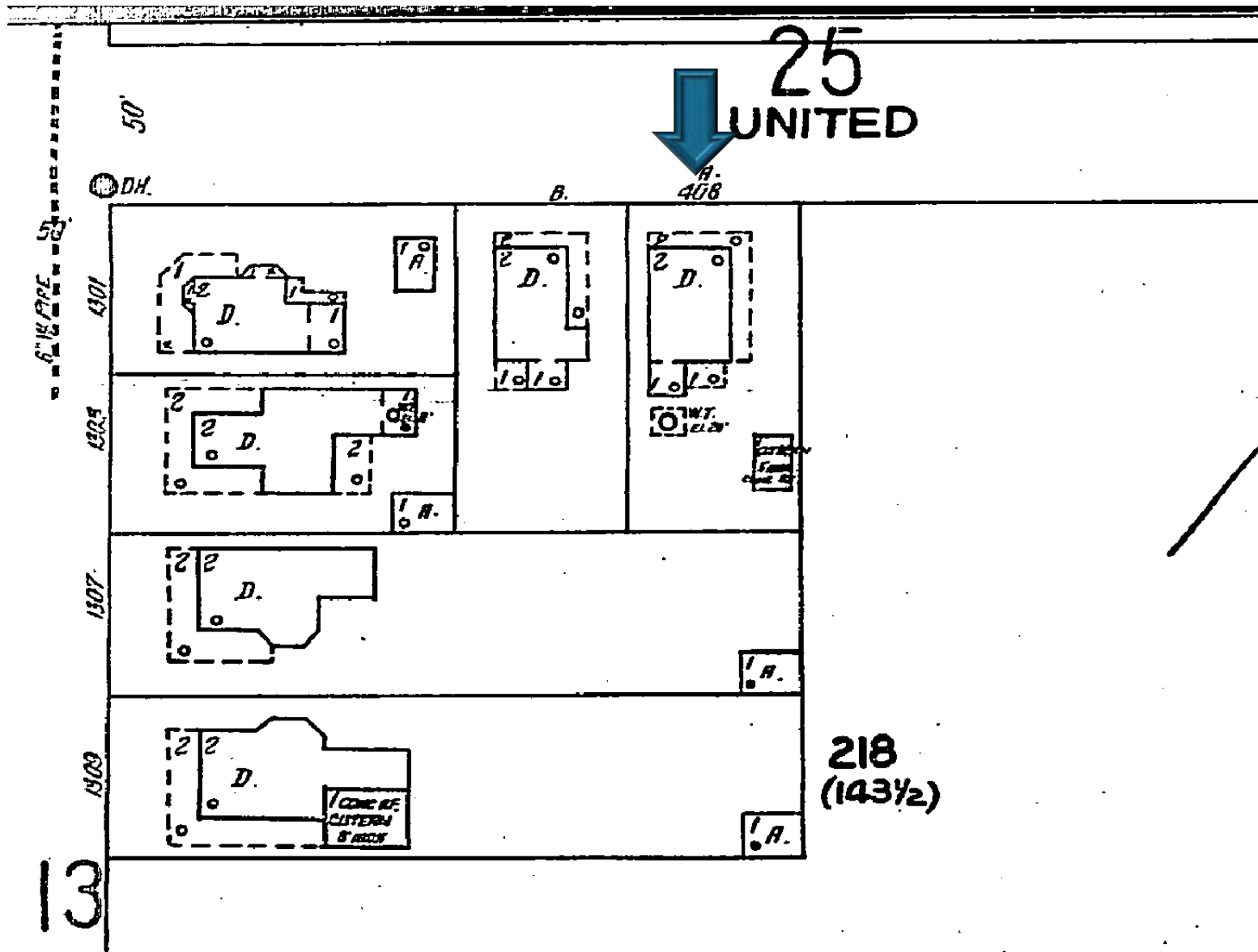
OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

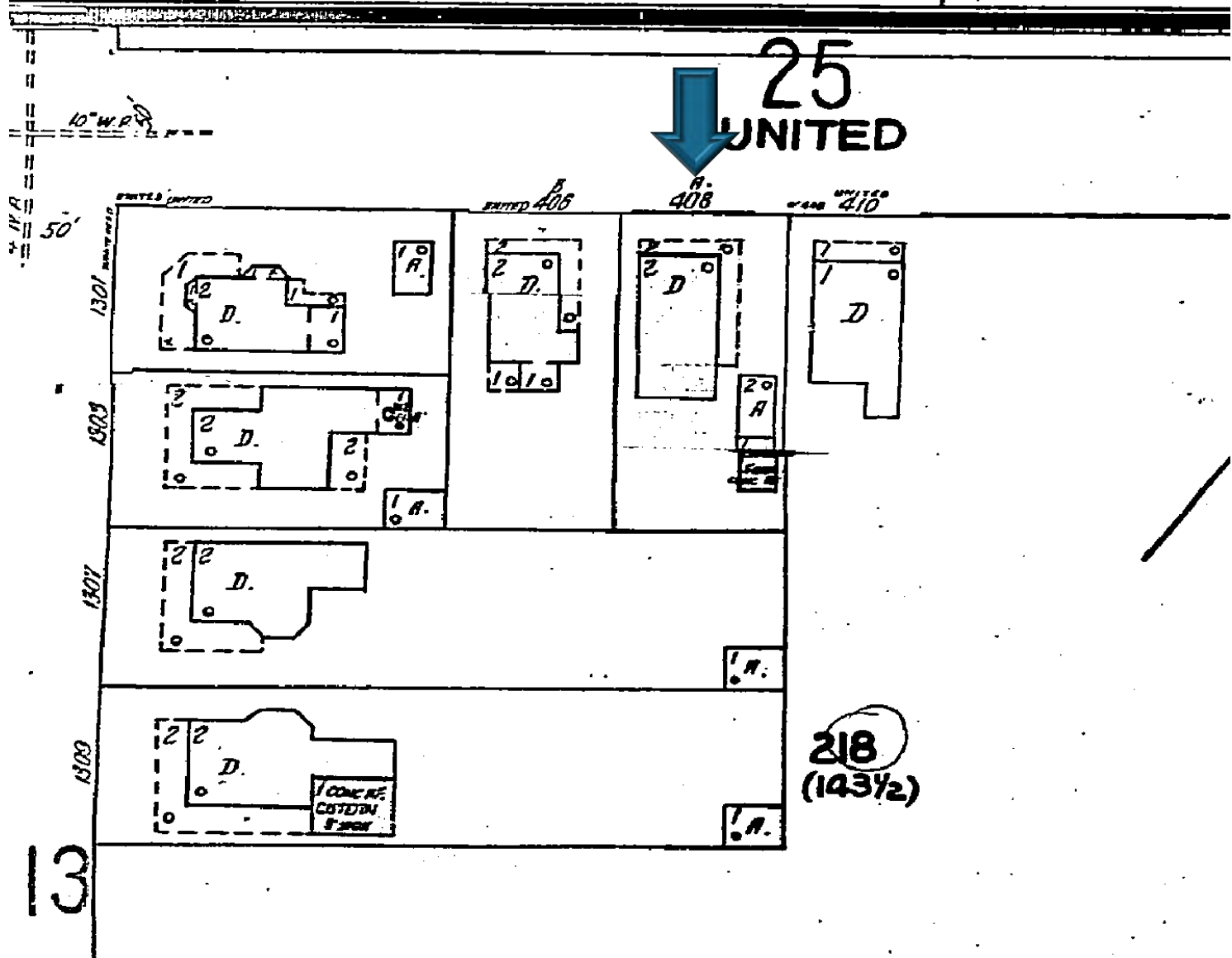
SANBORN MAPS



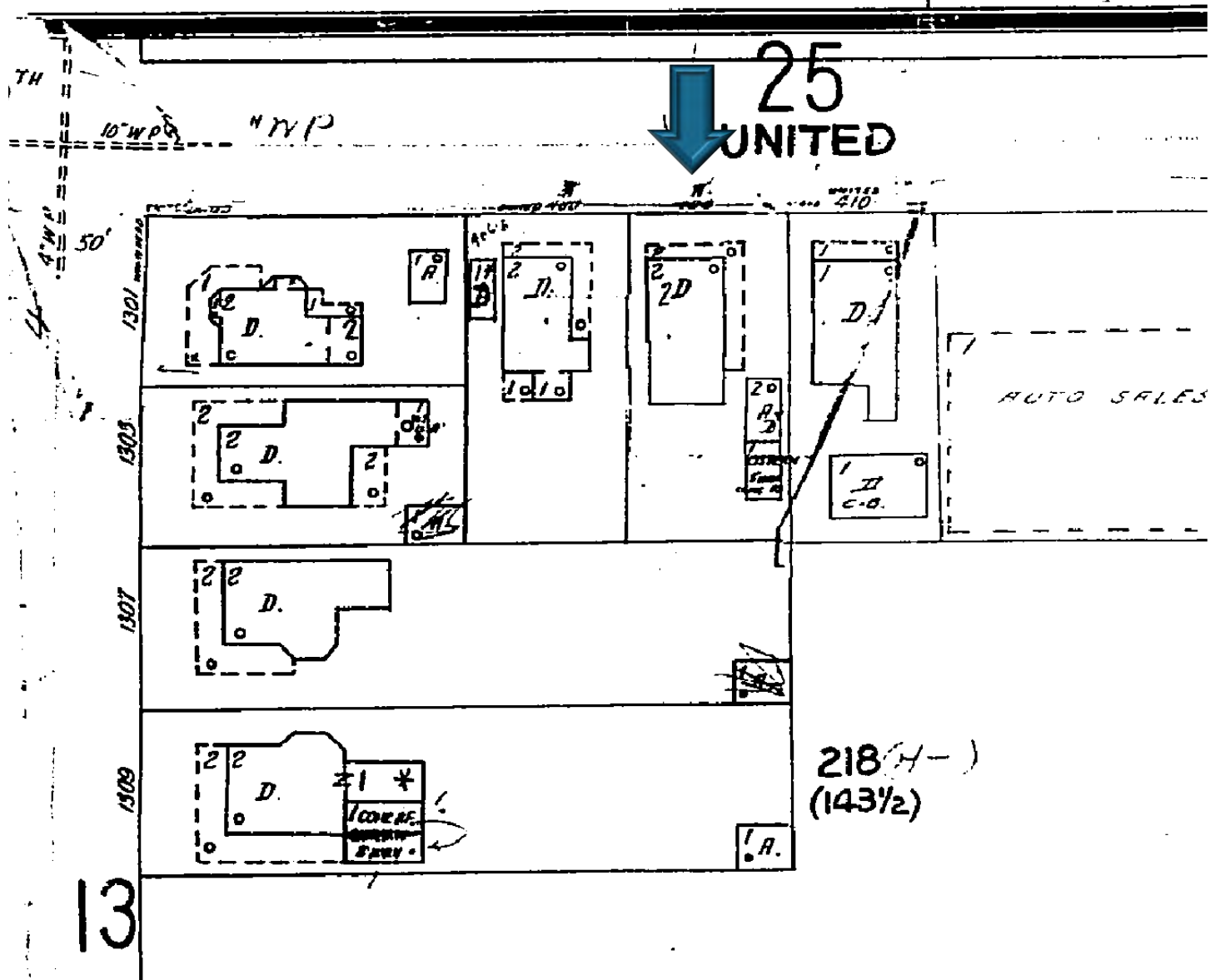
1912 Sanborn Map



1926 Sanborn Map



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



408 United Street circa 1965. Monroe County Library.



MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Front



Front (second floor)



MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Rear (rear_right)



Rear (rear_oblique)

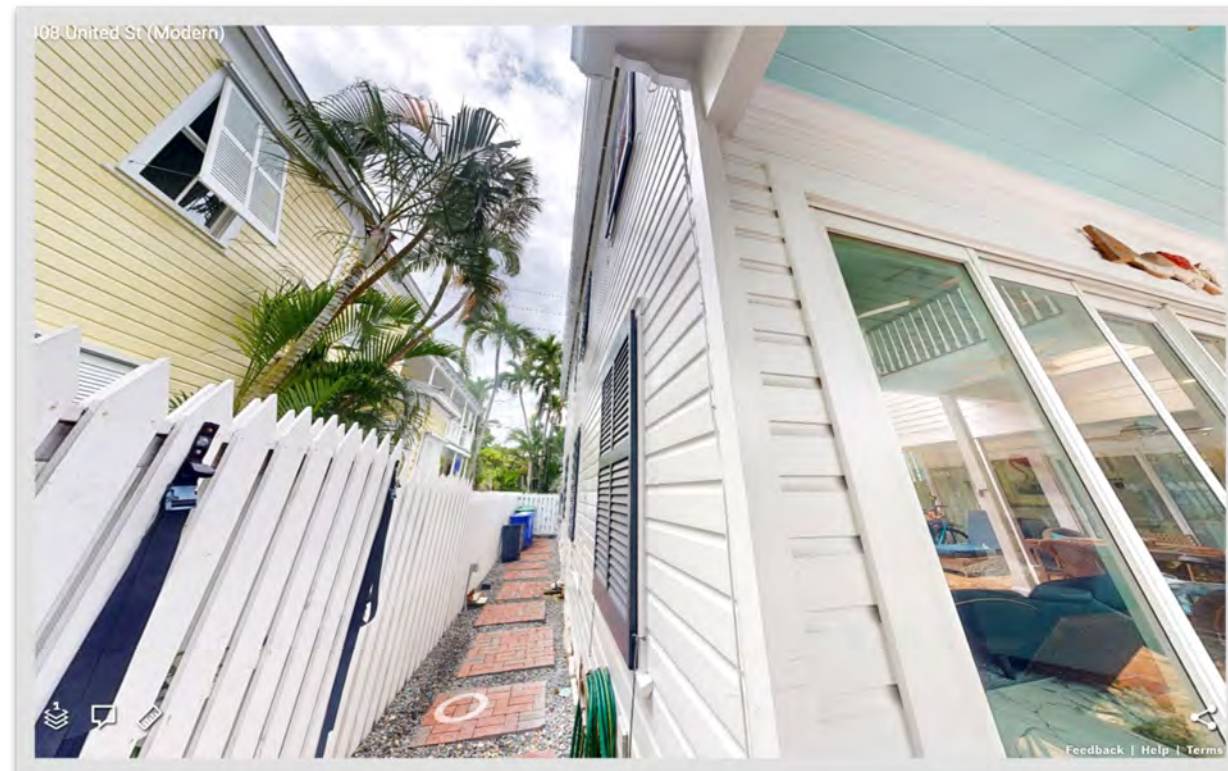


MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Right (front)



Right (rear)



MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Left (front)



Left (rear)



MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Front (left-oblique)



Front (left-oblique)

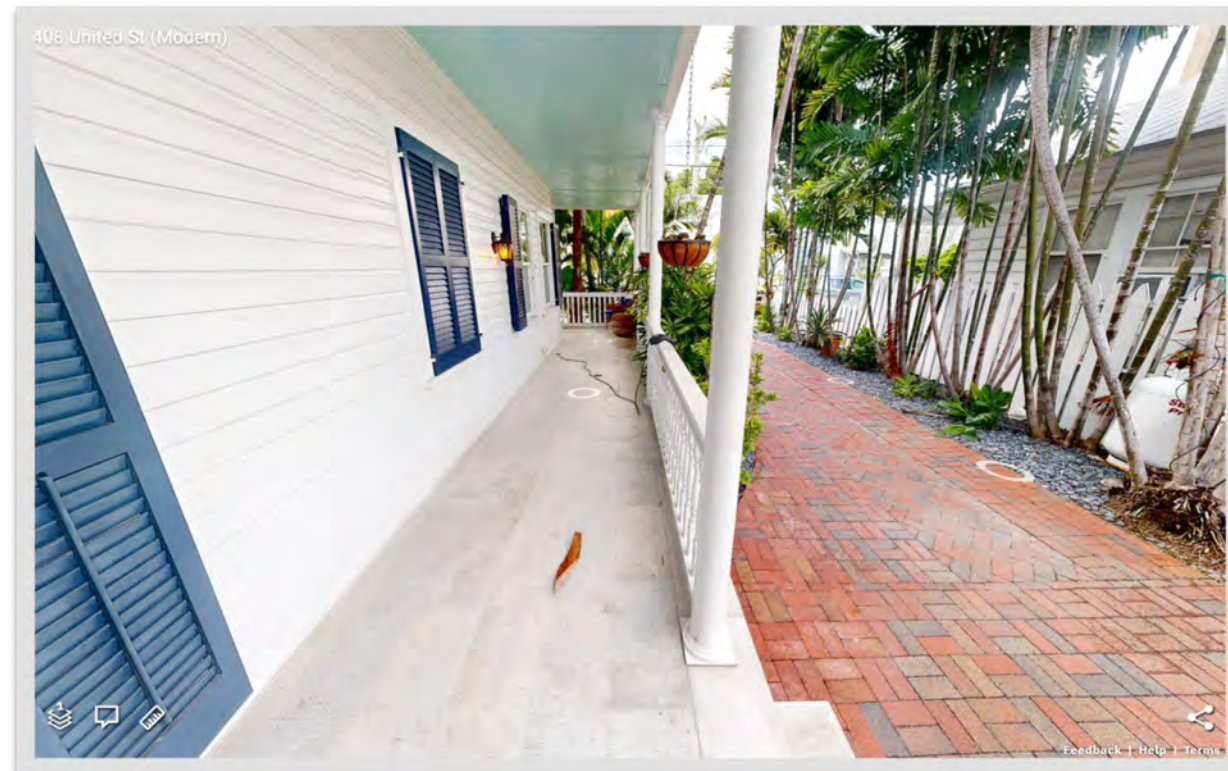


MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Front porch (01)



Front porch (02)



MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Rear porch (01)



Rear porch (02)



MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



Rear spiral stairs (Egress for 2nd-floor bedroom)



Concrete platform for pool equipment and AC unit.

SURVEY

ACCURATE LAND SURVEYORS, INC.
L.B. #3635

1600 S. FEDERAL HIGHWAY
SUITE 600
POMPANO BEACH, FLORIDA 33062

TEL: (954) 782-1441
FAX: (954) 782-1442
EMAIL: INFO@ACCURATELANDSURVEYORS.COM

BOUNDARY & TOPOGRAPHIC SURVEY

SYMBOLS & LEGEND OF ABBREVIATIONS:

R/W	=	RIGHT OF WAY	X7.00'	=	ELEVATIONS BASED ON N.G.V.D. 1929
N	=	NORTH	(AE)	=	APPARENT ENCROACHMENT
S	=	SOUTH	P.B.C.R.	=	PALM BEACH COUNTY RECORDS
E	=	EAST	M.D.C.R.	=	MIAMI-DADE COUNTY RECORDS
W	=	WEST	P.O.C.	=	POINT OF COMMENCEMENT
D.B.	=	DEED BOOK	P.O.B.	=	POINT OF BEGINNING
ENCH.	=	ENCROACH	CHATT.	=	CHATTAHOCHEE
F.F.	=	FINISHED FLOOR	F.P.L.	=	FLORIDA POWER & LIGHT
GAR	=	GARAGE	B.C.R.	=	BROWARD COUNTY RECORDS
C/L	=	CENTERLINE	O.R.B.	=	OFFICIAL RECORDS BOOK
MH	=	MANHOLE	F.D.O.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION
(M)	=	MEASURED	D.E.P.	=	DEPARTMENT OF ENVIRONMENTAL PROTECTION
P.B.	=	PLAT BOOK	D.N.R.	=	DEPARTMENT OF NATURAL RESOURCES
A/C	=	AIR CONDITIONER	P.R.M.	=	PERMANENT REFERENCE MONUMENT
P	=	PLAT	N.G.V.D.	=	NATIONAL GEODETIC VERTICAL DATUM

⊕	VALVE	□	UTILITY BOX	—	PARKING STRIPE
⊙	MANHOLE	⊕	HYDRANT	—	OVERHEAD UTILITY LINES
⊞	BASIN	⊕	UTILITY POLE	—	6' CONCRETE WALL
⊕	WELL	⊕	VAULT	—	COVERED AREA
⊕	WATER METER	⊕	LIGHT	—	CONCRETE
⊕	MONITORING WELL	•	BOLLARD	—	BRICK PAVERS
⊕	PROPERTY CORNER	⊕	AIR CONDITIONER	—	TILE
				—	ASPHALT

STREET ADDRESS:

408 United Street, Key West, Florida 33040

LEGAL DESCRIPTION:

A part of Lots 2 and 4 in Square 3, according to a diagram of division of Tract 16 on the Island of Key West made between Fredrick Filer and John Boyle, recorded in Deed Book N, Page 476, of the Monroe County, Florida, Records and according to the diagram of subdivision of the portion allowed to the said Fredrick Filer under the said Agreement between himself and the said John Boyle, made by the heirs at law of the said Fredrick Filer, recorded in Deed Book N, Page 715, of Monroe County, Florida, Records and which subdivision was confirmed by a Decree of the Circuit Court December 16, 1885; Said Lot commencing at a point on United Street distant 148 feet and 8 inches from the corner of United and Whitehead Streets and running along United Street in a Northeasterly direction 48 feet and 8 inches; thence at right angles in a Southeasterly direction 105 feet; thence at right angles in a Southwesterly direction 48 feet and 8 inches; thence at right angles in a Northwesterly direction 105 feet back to the beginning.

NOTES:

1. Unless otherwise noted field measurements are in agreement with record measurements.
2. Angles shown hereon are based on field occupation and existing monumentation.
3. The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
4. Ownership of fences and walls if any are not determined.
5. This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
6. Any and all underground features such as foundations, utility lines, Ext. were not located on this survey. This is an above ground survey only.
7. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
8. The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.
9. Accuracy statement: This survey meets or exceeds the horizontal accuracy for SUBURBAN LINEAR : 1 FOOT IN 7,500 FEET.
10. Printed copies of this survey are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
11. PDF copies of this survey are not valid without the digital signature of a Florida Licensed Surveyor and Mapper and must be verified.

FLOOD INFORMATION:

Community name and number: City of Key West 120168
Map and panel number: 12087C1516K
Panel date: 02-18-2005
Index date: 02-18-2005
Flood zone: "See Sketch"
Base flood elevation: "See Sketch"

BENCHMARK INFORMATION:

National Geodetic Survey Benchmark Designation B 271 PID-AA0051
Elevation = 10.295'NGVD1929

CERTIFY TO:

Matthew T. Neuenhaus Revocable Trust

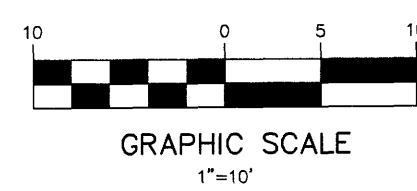
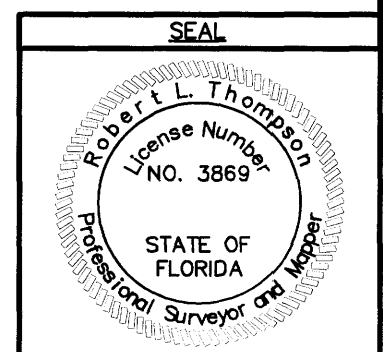
CERTIFICATION:

This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 5J-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.

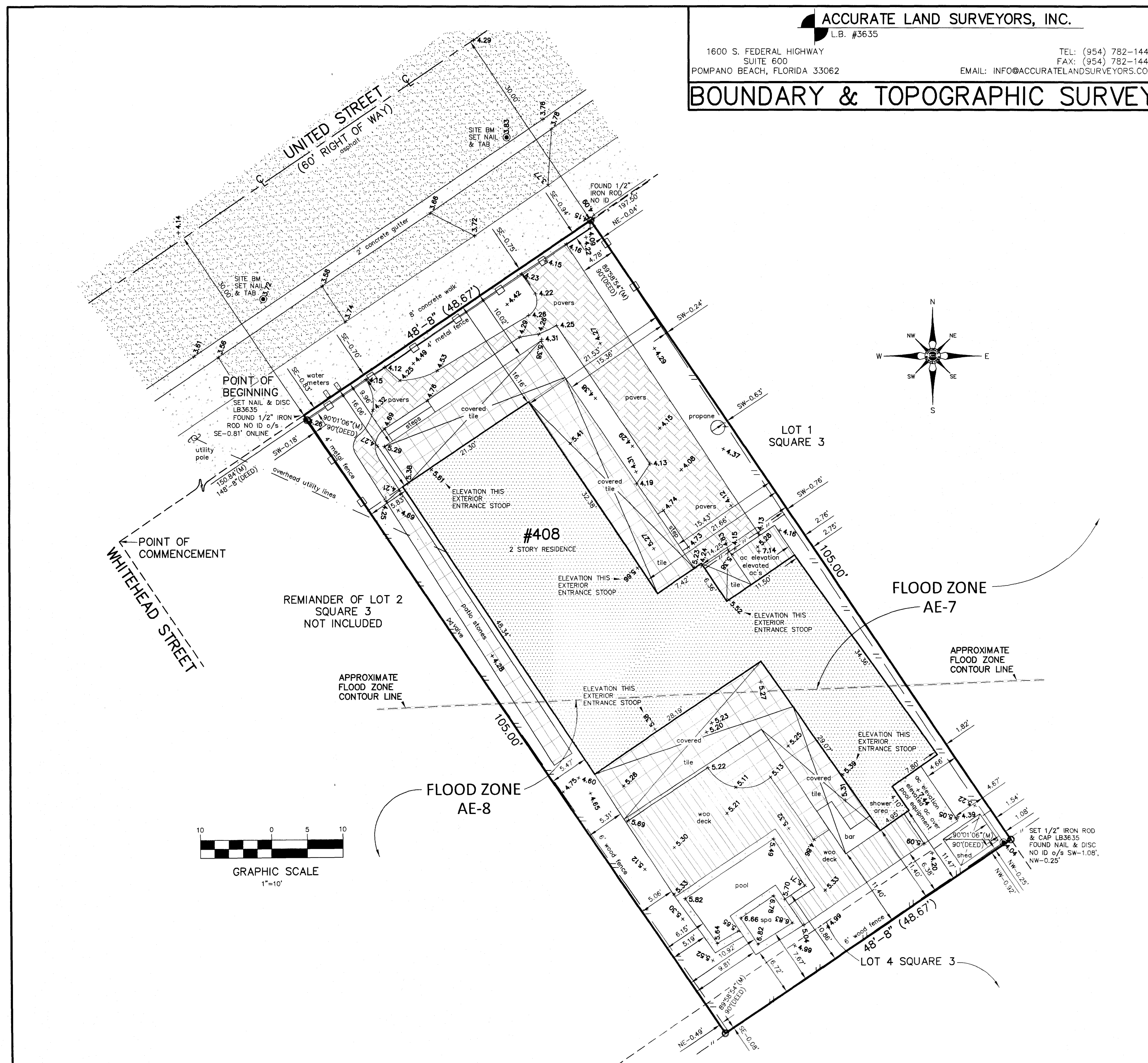
Robert L. Thompson 09-11-2024
ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No. 3869 - STATE OF FLORIDA

SCALE 1"=10'

SKETCH NUMBER SU-24-1040



ORIGINAL DATE OF FIELD SURVEY: 05-26-2024	DRAWN BY: MLW	
FIELD BOOK: ALS-SU-24-1040	CHECKED BY: MLW	
REVISIONS & SURVEY UPDATES	DATE OF SURVEY & REVISIONS	BY



PROPOSED DESIGN

GENERAL NOTES

- 1. DRAWINGS INDICATE ALL AVAILABLE INFORMATION IN REGARDS TO THE EXISTING CONDITIONS AND PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR (GC) IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE INFORMATION OF THE EXISTING CONDITIONS. THESE DRAWINGS HAVE BEEN CREATED FROM FIELD DIMENSIONS AND EXISTING SITE DOCUMENTATION. CONTRACTOR TO REFER TO FIELD DIMENSION AS REQUIRED DURING CONSTRUCTION. THE ARCHITECT CANNOT AND DOES NOT GUARANTEE THE ACCURACY OF ALL INFORMATION AND ASSUMES NO LIABILITY THEREFORE.
2. THE TERMS "GENERAL CONTRACTOR," "CONTRACTOR," "CONSTRUCTION CONTRACTOR," AND / OR "GC" SHALL BE UNDERSTOOD TO BE THE SAME AS GENERAL CONTRACTOR AND IDENTIFIED AS GC UNDER THESE DOCUMENTS.
3. GC TO VERIFY IN FIELD THE MINIMUM FINISH FLOOR ELEVATION REQUIREMENTS BASED ON THIRD PARTY SEALED BENCHMARK CERTIFICATE AND RELEVANT SURVEY ADHERING TO LOCAL, STATE, AND FEDERAL JURISDICTIONS.
4. DRAWINGS ARE NOT TO BE SCALED AS DIMENSIONS GOVERN. DIMENSIONS ARE FROM FINISHED SURFACE OR CENTER OF WALL AS DEPICTED, UNLESS NOTED.
5. IT IS THE GC'S RESPONSIBILITY TO INVESTIGATE AND FIELD VERIFY EXISTING CONDITIONS RELATED TO SCOPE OF WORK. IN ADVANCE OF PROJECT COMMENCEMENT, THE GC AND SUBCONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY, IN ADVANCE OF WORK TO BE PERFORMED, TO ENSURE THE ORDERLY PROGRESS OF THE WORK. EXISTING CONDITIONS IDENTIFIED BEFORE WORK BEGINS THAT MAY AFFECT SCHEDULING AND PRICING, INSTALLATION OF NEW WORK AS DESIGNED AND DETAIL HEREIN, AND ANY OTHER POTENTIAL DISCREPANCIES SHALL BE IDENTIFIED AND ARCHITECT IS TO BE NOTIFIED OF ANY CONFLICT IN WRITING. ARCHITECT SHALL HAVE A MINIMUM OF TEN (10) WORKING DAYS TO RESPOND TO ANY NOTIFICATION.
6. THE CONTRACT DOCUMENTS, WITH REGARD TO EXISTING CONDITIONS, IN NO WAY RELEASE THE GC FROM THE RESPONSIBILITY OF VERIFYING COMPLETELY ALL FIELD DOCUMENTS RELATING TO AND AFFECTING THE EXECUTION OF THE WORK, WHETHER OR NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.
7. IT IS THE RESPONSIBILITY OF THE GC TO FIELD VERIFY AND DOCUMENT ALL EXISTING DIMENSIONS, ELEVATIONS AND BENCHMARKS, MATERIALS AND METHODS OF CONSTRUCTION THAT MAY AFFECT OR BE AFFECTED BY NEW WORK AND TO COORDINATE SUCH FIELD VERIFICATION WITH THE CONTRACT DOCUMENTS AND THE EXECUTION OF THE WORK. DISCREPANCIES AND / OR CONFLICTS INVOLVING ANTICIPATED EXISTING CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IMMEDIATELY.
8. THE ARCHITECT HAS ENDEAVORED TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE DRAWINGS AND SPECIFICATIONS (IF ANY) EXISTING ITEMS OF EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED SO AS TO ALLOW THE EXECUTION OF NEW WORK. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE GC AND IS IN NO WAY INTENDED TO IMPLY THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. THE GC SHALL BE RESPONSIBLE TO EXECUTE ANY DEMOLITION WORK AS REQUIRED TO ALLOW THE EXECUTION OF NEW WORK.
9. ALL CODES HAVING JURISDICTION SHALL BE STRICTLY OBSERVED DURING THE ENTIRETY OF THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY, AND PARISH BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES. THE GC SHALL REVIEW ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS.
10. GC SHALL REQUEST ALL INSPECTIONS AS REQUIRED DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE GC IS TO SUBMIT CERTIFICATES OF INSPECTIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL LOCAL INSPECTIONS, AND TO OBTAIN APPROVAL FROM THE STATE FIRE MARSHAL, IF REQUIRED.
11. GC TO VERIFY ALL EXISTING WINDOW, DOOR AND ANY OTHER ACCESS OPENING DIMENSIONS IN THE FIELD, INCLUDING FRAMING.
12. DESIGN WIND SPEED FOR RESIDENTIAL CONSTRUCTION, NEW CONSTRUCTION, ADDITIONS, AND SUBSTANTIAL IMPROVEMENTS DESIGNED TO 130 MPH.
13. METHOD OF WIND-BORNE DEBRIS PROTECTION FOR EXTERIOR WINDOWS AND DOORS PER IRC 2015 SECTION R301.2.1.2 - WOOD STRUCTURAL PANELS (1/2" MIN. PLYWOOD) TO BE PROVIDED UNLESS INDICATED OTHERWISE ON ELEVATIONS AND WINDOW SCHEDULE WITH IMPACT-RESISTANT GLAZING, OR OPERABLE WINDOW SHUTTER(S) TO PROTECT AND SECURE THE OPENING.
14. GC SHALL MAINTAIN A HARD-COPY, FULL-SIZE (24x36 UNO), BOUND SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES WORK IS IN PROGRESS FOR THE DURATION OF THE PROJECT.
15. THE ARCHITECT DOES NOT GUARANTEE THE GC'S PERFORMANCE AND NO PROVISIONS OF THE CONTRACT DOCUMENTS SHALL RELIEVE THE GC FROM ANY LIABILITY DUE TO NEGLIGENCE, INCOMPETENCE, OR ERROR OF OMISSIONS OR COMMISSION BY THE GC.
16. ALL WORK IS TO CONFORM TO THE CONTRACT / CONSTRUCTION DOCUMENTS (DRAWINGS AND SPECIFICATIONS). WORK SHALL BE NEW AND SATISFY THE QUALITY AS SPECIFIED.
17. EXISTING GRADE TO SLOPE AWAY FROM STRUCTURE / FOUNDATION, AND SHALL BE DESIGNED AND

- CONSTRUCTED TO AVOID PONDING. SLOPE AT CONCRETE WALKS FROM BUILDINGS 2% MINIMUM. SLOPE CONCRETE PAVING AWAY FROM BUILDING 1% MINIMUM.
18. NEW CARBON MONOXIDE DETECTORS SHALL BE PROVIDED OUTSIDE EVERY SLEEPING AREA AND / OR ROOM UNLESS ALREADY EXISTING.
19. WINDOW OPENINGS TO ADHERE TO IRC 2015 SECTION R310 FOR EGRESS: CLEAR OPENING WIDTH >20"; CLEAR OPENING HEIGHT >24"; MINIMUM CLEAR OPENING = 5.75 SQFT; MAXIMUM SILL HEIGHT ABOVE THE FLOOR = 44".
20. GC HAS A RESPONSIBILITY TO ASSIST ARCHITECT IN EVALUATING AND RECOMMENDING TO THE OWNER, ACCURATE AND COMPLETE INFORMATION OF THE EXISTING CONDITIONS AND TO PROVIDE COMPLETE AND ACCURATE INFORMATION OF THE EXISTING CONDITIONS. THE ARCHITECT CANNOT AND DOES NOT GUARANTEE THE ACCURACY OF ALL INFORMATION AND ASSUMES NO LIABILITY THEREFORE.
21. ALL ITEMS INDICATING CONTRACT LIMITS AND LINES OF DEMARCATION ARE SHOWN FOR THE CONVENIENCE OF THE GC AND ARE NOT TO BE TAKEN LITERALLY. ACTUAL CONTRACT LIMITS ARE TO BE DETERMINED BY THE GC PRIOR TO BIDDING, BY FIELD VERIFICATION. THE GC IS RESPONSIBLE FOR ENSURING PROPER INTERFACE BETWEEN EXISTING CONDITIONS AND NEW WORK.
22. THE GC MUST BE AWARE THAT CONSTRUCTION IN SOME AREAS SURROUNDING THE LIMITS OF THIS CONTRACT IS CURRENTLY IN PROGRESS. FOR THIS REASON, ACTUAL EXISTING CONDITIONS MAY VARY FROM CONDITIONS INDICATED ON THESE DRAWINGS. ALL SUCH DISCREPANCIES SHALL BE ACCURATELY AND THOROUGHLY RECORDED BY THE GC AND PROMPTLY REPORTED TO THE ARCHITECT IN WRITING.
23. THE GC AND AFFECTED SUBCONTRACTORS SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A PROPOSAL. THE GC SHALL BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON THE EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER, WHICH IS ATTRIBUTABLE TO THE GC'S FAILURE TO DO THIS, WILL BE APPROVED.
24. THE GC IS RESPONSIBLE FOR IDENTIFYING ANY UNFINISHED WALL AREAS THAT MAY BE EXPOSED AS A RESULT OF ADJUSTING FINISHED CEILING HEIGHTS. THE GC IS RESPONSIBLE FOR FINISHING THESE AREAS TO MATCH EXISTING ADJACENT FINISHED AREAS.
25. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN REQUEST TO THE ARCHITECT, AND ONLY UPON APPROVAL. ALL REQUESTS SHALL BE CONSIDERED ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUPPLY SAMPLES AND CUTS FOR WRITTEN APPROVAL BY ARCHITECT BEFORE ORDERING AND INSTALLATION OF SUBSTITUTE MATERIALS.
26. GC SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL FINISHED SURFACES, SYSTEMS AND STRUCTURE / COLUMNS, DOORS, HARDWARE, ETC. TO REMAIN WITHIN SCOPE OF WORK. ANY EXISTING FINISHES, STRUCTURE OR SYSTEMS INDICATED TO REMAIN SHALL BE REPAIRED AS REQUIRED TO MATCH NEW CONSTRUCTION CONDITION. GC TO DOCUMENT AS REQUIRED PRE-EXISTING DAMAGED AREAS WITHIN AREA TO REMAIN. NOTIFY ARCHITECT OF EXISTING DAMAGED AREA OR SYSTEM BEFORE PRICING OR BIDDING.
27. UPON COMPLETION OF THE PROJECT, THE GC SHALL PROVIDE A COMPLETE SET OF DRAWINGS INDICATING MARK UPS AND FIELD CONSTRUCTION UPDATES AND STRICTLY SHOW ALL REVISIONS, SKETCHES, ETC. REQUIRED DURING CONSTRUCTION. GC SHALL MARK UP SITE SET IN RED FOR ADDITIONS AND BLUE FOR DELETIONS TO INDICATE FINAL CONDITIONS EXACTLY AS CONSTRUCTED.
28. ERROR AND OMISSIONS THAT MAY OCCUR IN CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE GC WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE GC FAILED TO NOTIFY THE ARCHITECT OF BEFORE CONSTRUCTION AND / OR FABRICATION OF THE WORK.
29. GC SHALL MAINTAIN THE SITE / SCOPE OF WORK AREA FREE AND CLEAN OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT AREAS FROM DAMAGE, PAINT, SOLID SPRAY AND PRODUCTS, ETC. THE AREA OF WORK SHALL BE CLEANED UPON COMPLETION, INCLUDING FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. AND SHALL BE READY TO BE OCCUPIED UPON SUBSTANTIAL COMPLETION.
30. COORDINATE WITH OWNER ANY AND ALL LANDSCAPING TO BE REMOVED FOR INSTALLATION OF EXTERIOR EQUIPMENT, INCLUDING HVAC, WATER HEATER, ETC. ASSOCIATED EQUIPMENT.
31. GC IS RESPONSIBLE FOR COORDINATING SUBCONTRACTORS AND RESPONSIBLE FOR COORDINATION OF WORK, SCHEDULES FOR WORK, TRADES AND STORAGE OF EQUIPMENT AND MATERIALS, AS REQUIRED FOR EXECUTION OF WORK.
32. OWNER AND ARCHITECT RESERVE THE RIGHT TO ALLOW OTHER CONSULTANTS AND CONTRACTS ASSOCIATED WITH THE WORK, AND AS NEEDED TO ENSURE COMPLETION OF THE PROJECT.
33. GC SHALL COORDINATE WITH SUBCONTRACTORS INSTALLATION AND SCHEDULING AND ENSURE COORDINATION AND COOPERATION BETWEEN TRADES AS WELL AS ANY APPOINTED BY OWNER AND ARCHITECT

- 34. ALL MANUFACTURED MATERIALS, EQUIPMENT AND ASSOCIATED PARTS SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS INDICATED BY THE MANUFACTURER, UNLESS NOTED OTHERWISE.
35. ALL CONSTRUCTION PERSONNEL SHALL CARRY PROPER IDENTIFICATION AT ALL TIMES.
36. ALL SCAFFOLDING, EQUIPMENT, LADDERS, ETC. SHALL BE IN GOOD STANDING AND OPERATING CONDITION. ANY ALL DAMAGED OR INOPERABLE ITEMS SHALL BE REMOVED FROM PROJECT SITE.
37. ALL ELECTRICALLY OPERATED TOOLS AND EQUIPMENT SHALL BE PROPERLY GROUNDED.
38. APPROPRIATE PROTECTIVE WEAR, INCLUDING PROTECTIVE EYEWEAR, SHALL BE WORN AT ALL TIMES DURING CUTTING, WELDING, ETC. THE GC SHALL BE RESPONSIBLE FOR PROVISION OF ALL NECESSARY SAFETY EQUIPMENT, APPARATUS, ETC. TO ENSURE THE HEALTH AND WELFARE OF THE GENERAL PUBLIC, OWNERS, AND RELATED PARTIES, DESIGN AND CONSTRUCTION PROFESSIONALS, AND WORKERS.
39. THESE CONSTRUCTION DRAWINGS DO NOT REFLECT MEANS AND METHODS OF CONSTRUCTION. THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL ARRANGE AND COORDINATE ALL NECESSARY SCAFFOLDING, EQUIPMENT, ETC. REQUIRED TO COMPLETE THE WORK.
40. ANY HAZARDOUS MATERIAL REVIEW WORK OR ANALYSIS IS OUTSIDE THE SCOPE OF THIS WORK AND THE CONSTRUCTION DRAWINGS. THE OWNER IS RESPONSIBLE TO DIRECT THE GC REMOVAL OF ANY HAZARDOUS MATERIAL ITEMS WHICH MAY BE ENCOUNTERED DURING THIS PROJECT.
41. GC REQUIRED TO ADHERE AND MAINTAIN REQUIRED CERTIFICATION AS REQUIRED BASED ON PROJECT SCOPE OF WORK AND EPA'S 2008 LEAD-BASED PAINT RENOVATION, REPAIR, AND PAINTING (RRP) RULE, AS AMENDED IN 2010 AND 2011.
42. ABSOLUTELY NO ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM) SHALL BE USED IN CONSTRUCTION OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE GC TO IDENTIFY AND NOTIFY OWNER AND ARCHITECT OF CONFIRMED OR SUSPECTED PRODUCTS.
43. THE GC AND SUBCONTRACTOR(S) SHALL COORDINATE ALL NECESSARY UTILITIES COORDINATION, CONNECTION, PERMITS, ETC. WITH MUNICIPALITY OR PARISH, AND UTILITY COMPANIES AS REQUIRED.
44. A FIRE EXTINGUISHER SHALL BE LOCATED ON SITE, ON EACH LEVEL, INCLUDING AT PROJECT SITE TRAILER, AND ALL SUITE LOCATIONS AT ALL TIME, IN WORKING ORDER AND DURING THE ENTIRE CONSTRUCTION.
45. ALL FIRE EXITS SHALL BE KEPT CLEAR AND UNOBSTRUCTED AT ALL TIMES.
46. GC IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION, AND/OR THE DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH ARE A PART OF THIS CONTRACT AT THE END OF EACH WORK DAY.
47. ALL AREAS OF WORK TO BE CLEANED, GC TO VACUUM ALL CARPETS, CLEAN AND POLISH FLOORING, MILLWORK, EQUIPMENT, AND ALL VENTS AND FILTERS IN NEW AND WORKING ORDER AFTER INSTALLATION AND FOR SUBSTANTIAL COMPLETION. GC IS RESPONSIBLE TO PROTECT AS REQUIRED ALL OWNER OCCUPIED AREAS WHERE FINISH WORK IS TO BE PERFORMED. GC TO INSTALL ADEQUATE AMOUNT OF BUILDING PAPER, OR OTHER APPROVED PROTECTIVE GEAR AND MATERIAL ON ALL FINISHED SURFACES PRIOR TO THE OWNER'S MOVING DATE AND SHALL REMOVE SAME FOLLOWING COMPLETION.
48. ALL OWNER OCCUPIED INHABITED AREAS SHALL BE PROTECTED FROM THE PROJECT SCOPE OF WORK AREA. COORDINATE VENTING REQUIREMENTS AND ALL OTHER ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS USED AND ANY SYSTEMS BEING REMOVED, ADDED, OR MODIFIED, AND NEW CORRESPONDING SYSTEMS.
49. GC IS RESPONSIBLE TO INSTALL PROTECTIVE MATERIALS TO PROTECT EXISTING FINISHES, SYSTEMS, ETC. AS REQUIRED AND INDICATED TO REMAIN. REMOVE PROTECTIVE MATERIALS AND CLEAN SURFACES AS REQUIRED UPON COMPLETION OF PROJECT.
50. FINAL WALL LAYOUT OF NEW WALLS TO BE APPROVED BY ARCHITECT IN THE FIELD BEFORE COMMENCEMENT OF INSTALLATION OF FINISHES.
51. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR ANY AND ALL DAMAGES CAUSED BY ITS SUBCONTRACTORS. THE GC SHALL HAVE AN EXPERIENCED AND COMPETENT SUPERVISOR ON THE PROJECT SITE WHEN WORK IS IN PROGRESS.
52. ALL OWNER SUPPLIED FURNITURE / MILLWORK/EQUIPMENT SHALL BE INSTALLED BY CONTRACTOR AS INDICATED, UNLESS NOTED OTHERWISE.
53. SITE ACCESS ACCESSIBILITY, CANOPIES, CROSSWALKS, PROTECTIVE BARRICADES OR OTHER ACCESS REQUIREMENT SHALL BE PROVIDED AS REQUIRED. CONTACT LOCAL AUTHORITIES AND SECURE PERMITS AS REQUIRED FOR THE ABOVE, SECURITY, TRASH / DUMPSTER CONTAINERS, ETC. DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, AT ALL HOURS AS REQUIRED.
54. ALL AREAS ABOVE OR ON THE EXISTING CEILING THAT ARE AFFECTED BY INSTALLATION OF NEW WORK SHALL BE REPAIRED COMPLETELY WITH MATERIALS AND PRODUCTS TO MATCH EXISTING INSTALLATION OR AS INDICATED IN THE CONSTRUCTION DOCUMENTS.

I HAVE RESEARCHED THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE FLORIDA BUILDING CODE RESIDENTIAL (FBC 2023, 8TH ED), & F.A.C. 61G20-1.001, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ARE IN COMPLIANCE THEREWITH.

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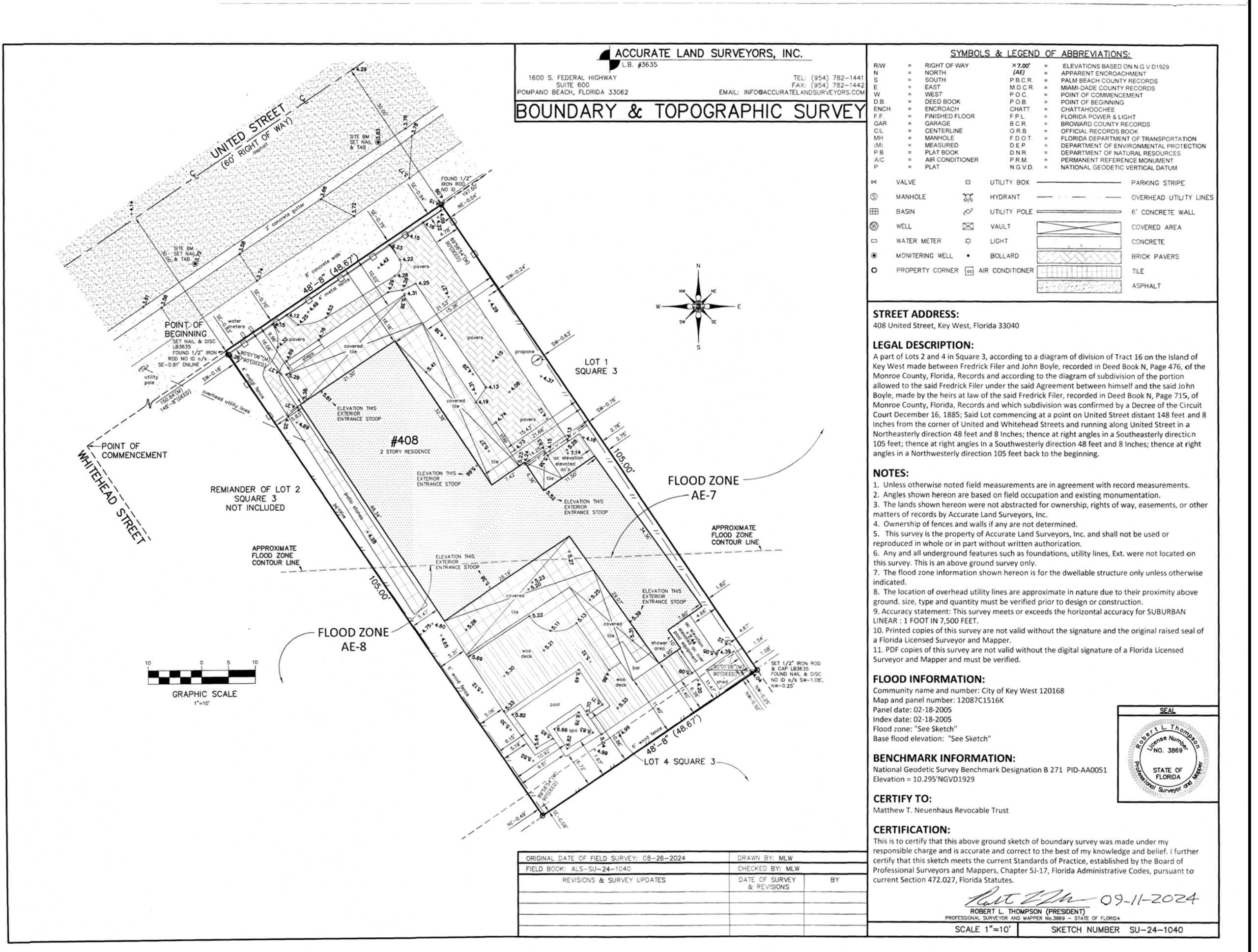
Robert C. Barrilleaux, P.E.
FL REG. NO. 97952

Table with columns: NO., DESCRIPTION, REVISIONS, DATE, BY. Contains multiple revision entries with dates and initials.

408 United St.
Key West, Florida
Monroe, State of Florida
GEN. NOTES, SURVEY, E.C.
DESIGNED BY: R.J.C.
APPROVED BY: R.C.B.
DATE: 11/01/24
SHEET NO: S.000

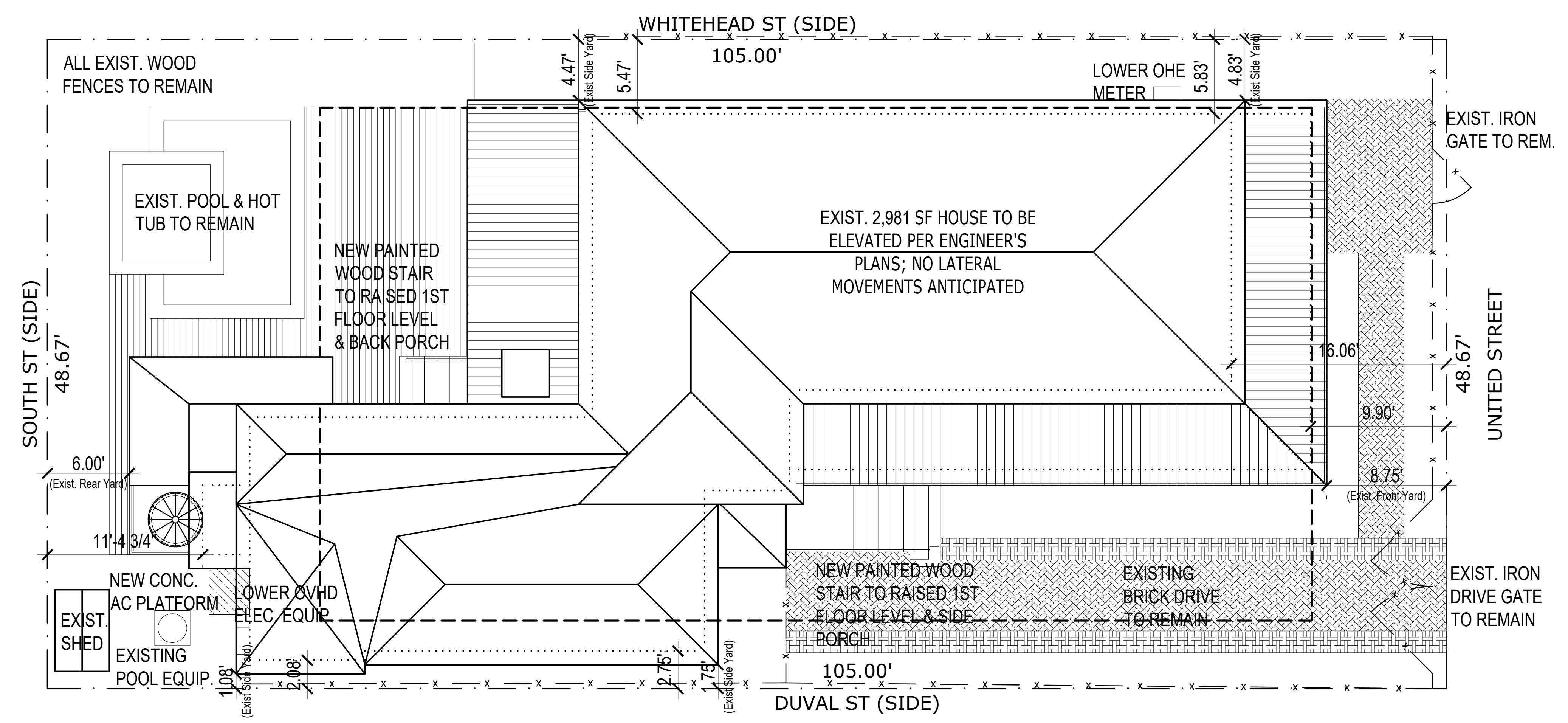
FEMA Form FF-206-FY-22-152 (formerly 989-9-33) (8/23) ELEVATION CERTIFICATE. Section A - Property Information, Section B - Flood Insurance Rate Map (FIRM) Information. Includes building owner details, flood zone information, and FIRM map data.

FEMA Form FF-206-FY-22-152 (formerly 086-0-33) (8/23) ELEVATION CERTIFICATE. Section C - Building Elevation Information (Survey Required), Section D - Surveyor, Engineer, or Architect Certification. Includes survey data, surveyor details, and certification statement.



MOST UP TO DATE BENCHMARK CERTIFICATE AND SURVEY SHALL BE VALID FOR THIS PROJECT ONLY AS PROVIDED BY THE LICENSED SURVEYOR NOTED ABOVE; REFER TO COMPLETE BENCHMARK CERTIFICATE PROVIDED BY THIRD PARTY FOR ADDITIONAL INFORMATION; NOT TO SCALE; REFER TO ORIG. ISSUED FILE.

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PROPOSED SITE PLAN
EXIST. ROOFLINES REMAIN (NO CHANGE)

1
S.001

SCALE 3/16" = 1'-0"

SITE NOTES

1. EXISTING AND PROPOSED SITE PLANS ARE BASED UPON SURVEY INFORMATION PROVIDED TO THE MODERN HOUSE & BUILDING MOVERS, INC., AND UPON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK.
2. EXISTING STRUCTURE IS LOCATED IN A SUBURBAN RESIDENTIAL NEIGHBORHOOD. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT NEIGHBORING STRUCTURES, FENCES, PUBLIC STREETS, AND UTILITIES.
3. THE CONTRACTOR SHALL COORDINATE WITH EXISTING UTILITY PROVIDERS REGARDING DISCONNECTION PRIOR TO THE WORK, TEMPORARY SERVICE DURING THE WORK, AND RECONNECTION OF UTILITY SERVICE AFTER THE WORK IS COMPLETED.
4. THE CONTRACTOR SHALL COORDINATE WITH THE GOVERNING MUNICIPALITY'S TRAFFIC ENGINEERING DEPARTMENT, REGARDING ANY NECESSARY ROAD CLOSURES.
5. NO NEW CURB CUTS OR DRIVEWAYS ARE ANTICIPATED AS A PART OF THIS WORK.
6. EXISTING LANDSCAPING AROUND PERIMETER OF THE HOME TO REMAIN. DO NOT DISTURB ANY NATIVE VEGETATION IN THE COURSE OF THE WORK. THE GC SHALL PRESERVE & PROTECT NATIVE TREES AND SHRUBS THROUGHOUT THE COURSE OF THE WORK. REPLACE SOILS, GRADE, AND SOD UPON COMPLETION OF THE WORK.
7. THE DEVELOPMENT OF THE PROPERTY AS SHOWN SHALL NOT HAVE ADVERSE HYDROLOGICAL EFFECTS ON ADJACENT PROPERTIES.

ZONING NOTES

EXISTING ZONING DISTRICT:
HISTORIC HIGH DENSITY RESIDENTIAL (HHDR)

SETBACKS	LEGAL	EXIST.	PROP.
FRONT YARD:	10.00'	9.00'	9.00'
REAR YARD:	20.00'	6.00'	6.00'
SIDE YARD (LEFT):	5.00'	1.08'	1.08'
SIDE YARD (RIGHT):	5.00'	4.47'	4.47'

EXIST. LOT AREA:	5,110.0 SF
EXIST. LIVING AREA:	2,668.00
EXIST. BUILDING HEIGHT:	23.58'
PROP. BUILDING HEIGHT:	28.58'
EXIST. FLOOR AREA RATIO:	0.52
PROP. FLOOR AREA RATIO:	0.52
EXIST. BUILDING COVERAGE:	46.3%
PROP. BUILDING COVERAGE:	49.4%
EXIST. LOT IMPERV. COVERAGE:	2,974.0 SF
EXIST. IMPERV. PERCENTAGE:	58.2%
PROP. LOT IMPERV. COVERAGE:	3,065.0 SF
PROP. IMPERV. PERCENTAGE:	59.8%

HOME ELEVATION NOTES

EXISTING CONDITIONS

EXISTING ELEVATIONS	NGVD29	NAVD88*
LOWEST ADJACENT GRADE:	4.13'	3.72'
HIGHEST ADJACENT GRADE:	5.27'	3.93'
BASE FLOOD ELEVATION:	8.00'	6.65'
EXIST. 1ST FL. ELEVATION:	5.38'	4.97'
EXIST. 2ND FL. ELEVATION:	15.88'	14.54'

PROPOSED CONDITIONS

PROPOSED ELEVATIONS	NGVD29	NAVD88*
PROP. 1ST FL. ELEVATION:	10.40'	9.06'
PROP. 2ND FL. ELEVATION:	20.90'	19.55'

* ELEVATION CERTIFICATE PROVIDED BY THE SURVEYOR SHOWS A FIRM PANEL EFFECTIVE DATE OF 02/18/2005, FLOOD ZONE AE, BASE FLOOD ELEVATION OF 8'7"NGVD29 (FOR ZONE AO USE BASE FLOOD DEPTH). TO CONVERT FROM NGVD29 DATUM TO NAVD88 SUBTRACT 1.345'.
BASED ON NGS COORDINATE CONVERSION AND TRANSFORMATION TOOL (NCAT) WHICH MAY BE FOUND AT: <https://geodesy.noaa.gov/NCAT/>

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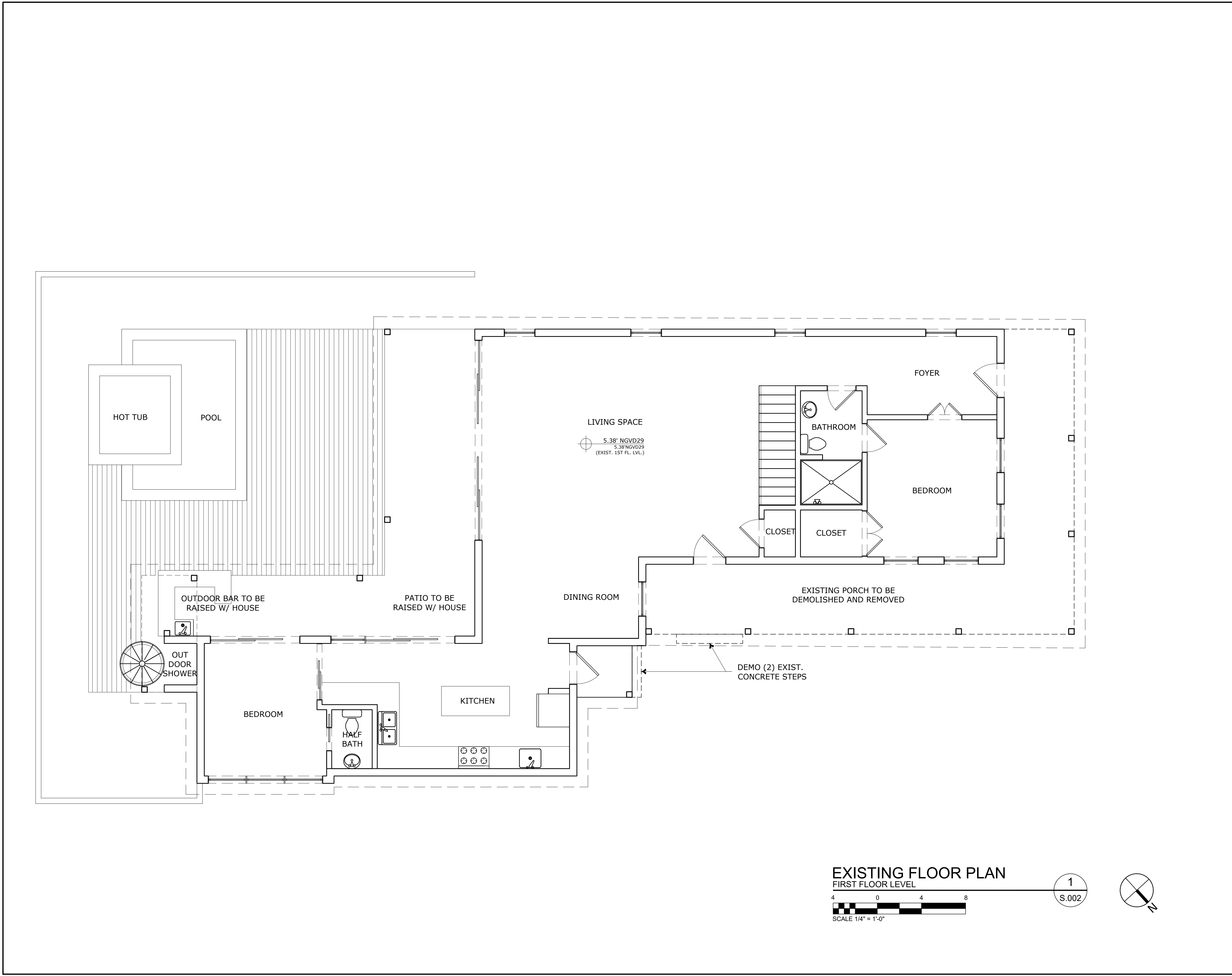
REVISIONS

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408 United St.
Key West, Florida
Monroe, State of Florida
PROPOSED SITE PLAN(S)

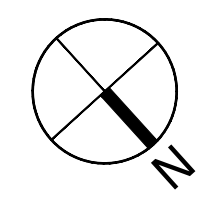
DESIGNED BY: R.J.C.
APPROVED BY: R.C.B.
DATE: 11/01/24
SHEET NO: S.001

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EXISTING FLOOR PLAN
 FIRST FLOOR LEVEL
 SCALE 1/4" = 1'-0"

1
S.002



DESIGNED BY:	R.J.C.
APPROVED BY:	R.C.B.
DATE:	11/01/24
SHEET NO:	S.002

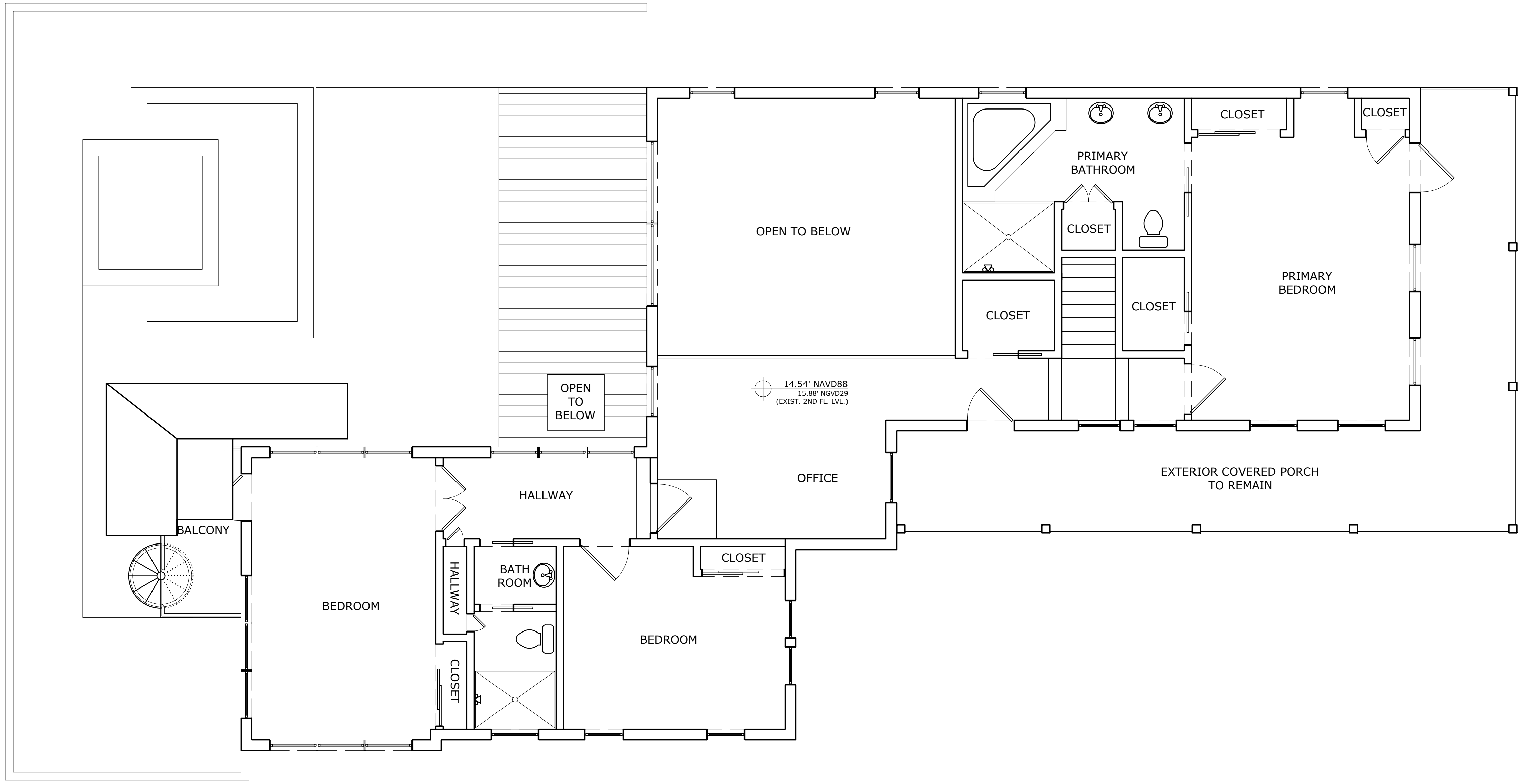
NO.	DESCRIPTION	DATE	BY

408 United St.
 Key West, Florida
 Monroe, State of Florida
 EXISTING FLOOR PLAN(S)

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 4254 Old Lake Place, Suite 3, Hammond, LA 70403

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EXISTING FLOOR PLAN
SECOND FLOOR LEVEL

1
S.003

408 United St.
Key West, Florida
Monroe, State of Florida
EXISTING FLOOR PLAN(S)

DESIGNED BY: R.J.C.
APPROVED BY: R.C.B.
DATE: 11/01/24
SHEET NO: S.003

NO.	DESCRIPTION	REVISIONS	DATE	BY

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Robert C. Barrilleaux, P.E.
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EXISTING FRONT ELEVATION
UNITED STREET

1
S.004

SCALE 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
WHITEHEAD STREET (SIDE)

2
S.004

SCALE 1/4" = 1'-0"

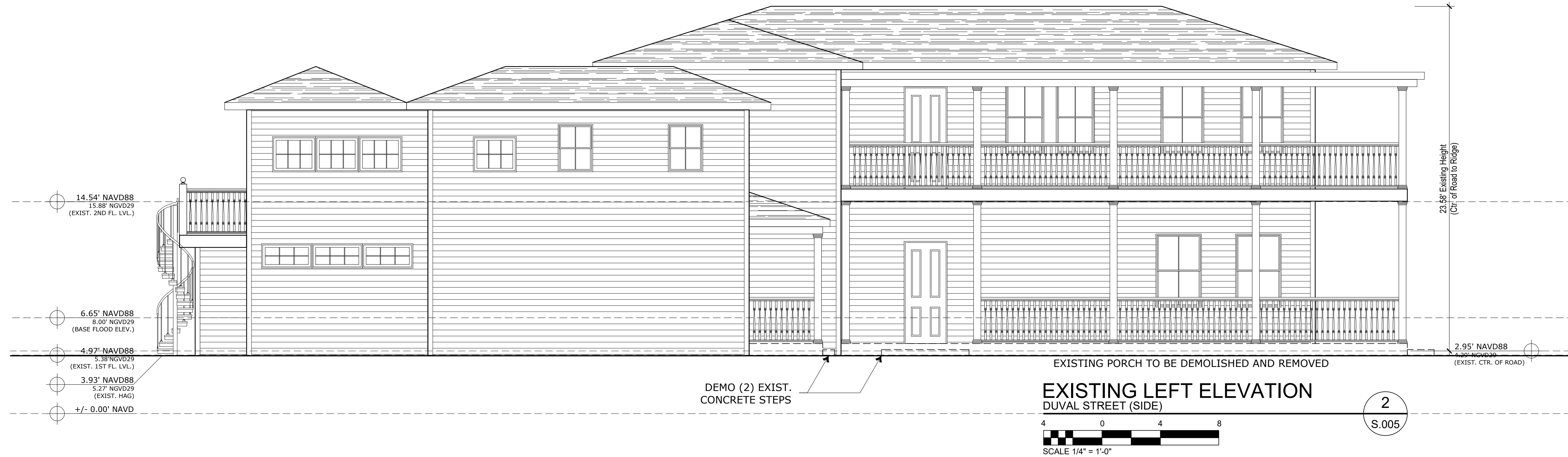
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NO.	DESCRIPTION	DATE	BY

408 United St.
Key West, Florida
Monroe, State of Florida
EXISTING ELEVATION(S)

DESIGNED BY:	R.J.C.
APPROVED BY:	R.C.B.
DATE:	11/01/24
SHEET NO:	S.004



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REVISIONS

NO.	DESCRIPTION	DATE	BY

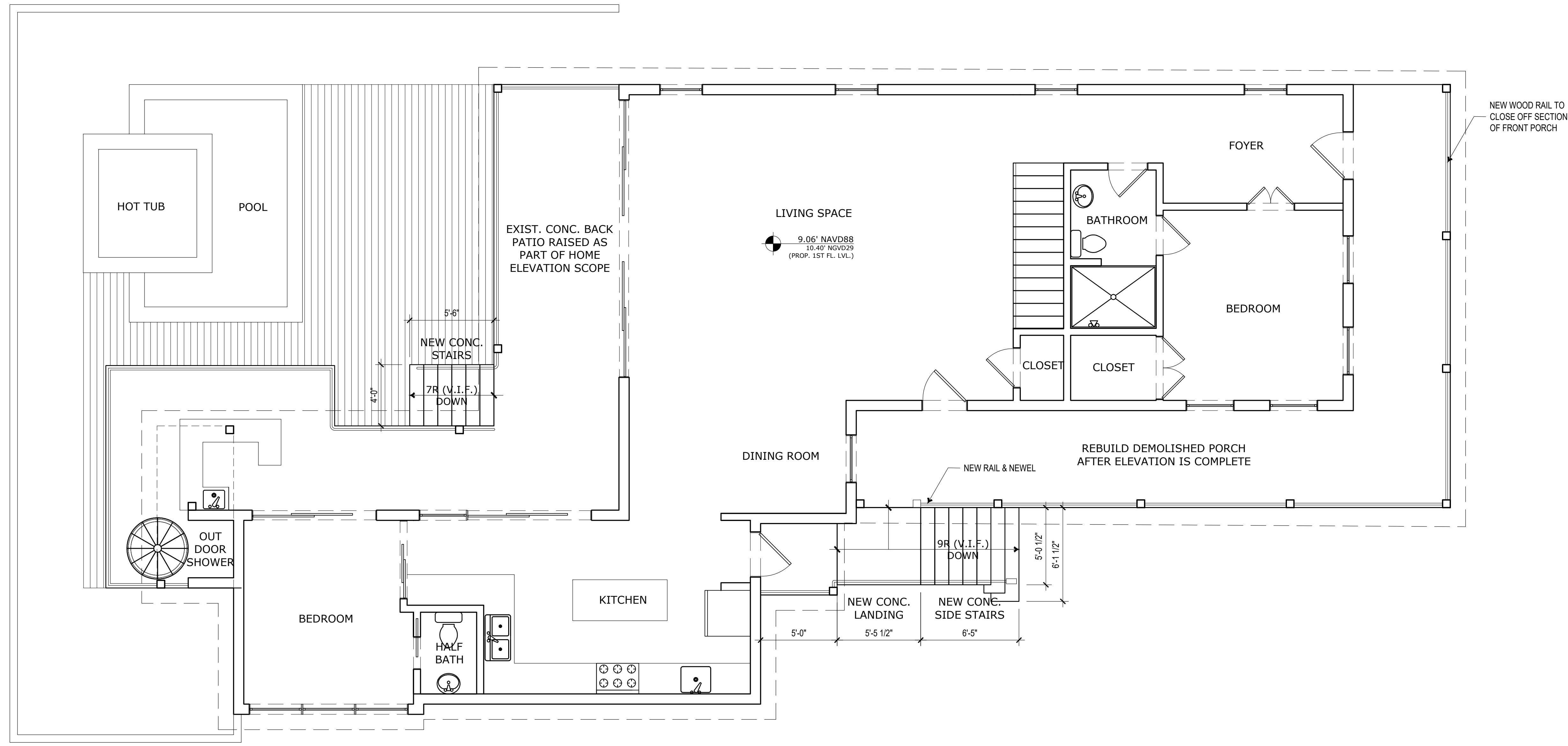
408 United St.
Key West, Florida
Monroe, State of Florida
EXISTING ELEVATION(S)

DESIGNED BY:	R.J.C.
APPROVED BY:	R.C.B.
DATE:	11/01/24
SHEET NO:	S.005

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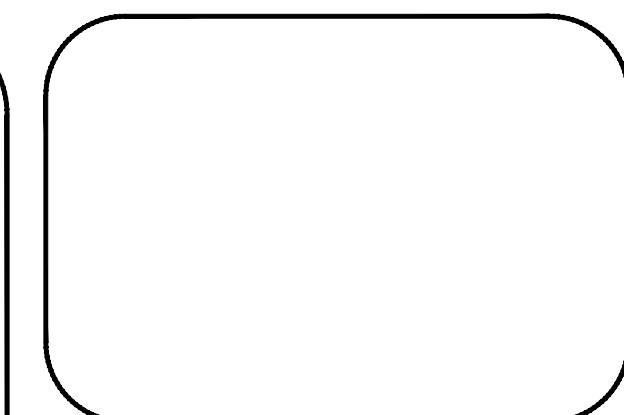
LEGEND OF GRAPHIC SYMBOLS

	INDICATES EXISTING ELEVATION		INDICATES PROPERTY LINE
	INDICATES PROPOSED ELEVATION		INDICATES OVERHANG
	INDICATES LOCATION OF SCOPE		INDICATES WOOD STUD WALL (2x4 TYPICAL UNLESS NOTED OTHERWISE)
	INDICATES LOCATION ON FLOOR		INDICATES INSULATION @ CAVITY
	INDICATES LOCATION ON CEILING		INDICATES NEW STUD WALL (RENOVATIONS / ADDITIONS ONLY)
	INDICATES DOOR DESIGNATION (DOOR WIDTH) (DOOR HEIGHT)		INDICATES BRICK VENEER WALL ON STUD WALL
	INDICATES WINDOW DESIGNATION (WINDOW WIDTH) (WINDOW HEIGHT)		INDICATES GAS LINE W/ SHUTOFF VALVE
	INDICATES ELEVATION DESIGNATION (DRAWING NUMBER) (SHEET NUMBER)		INDICATES DOMESTIC WATER SUPPLY W/SHUTOFF VALVE
	INDICATES SECTION DESIGNATION (DRAWING NUMBER) (SHEET NUMBER)		INDICATES NORTH ON SITE PLAN
	INDICATES DRAWING DESIGNATION, SCALE, & PAGE NUMBER		



PROPOSED FLOOR PLAN
FIRST FLOOR LEVEL

1
S.006



Robert Barrilleaux & Associates, Inc.
Civil and Environmental Engineers, Environmental
Phytoremediation & Design, Project Management
Ph: (850) 942-0331 Fax: (850) 542-6516
42254 Duane Plaza, Suite 3, Hammond, LA 70403

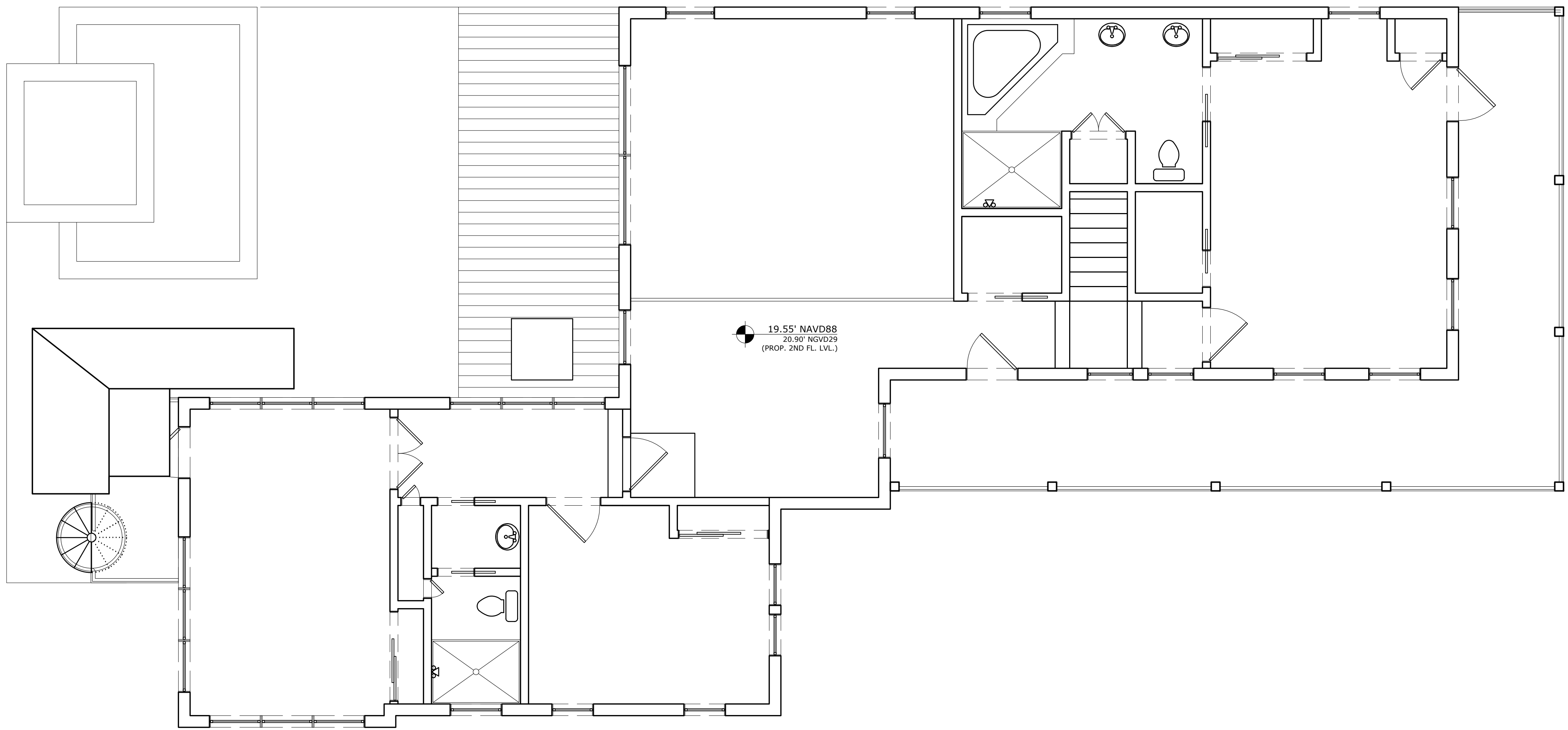
Robert C. Barrilleaux, P.E.
FL REG. NO. 97952

NO.	DESCRIPTION	DATE	BY

408 United St.
Key West, Florida
Monroe, State of Florida
PROPOSED FLOOR PLAN(S)

DESIGNED BY:	R.J.C.
APPROVED BY:	R.C.B.
DATE:	11/01/24
SHEET NO.:	S.006

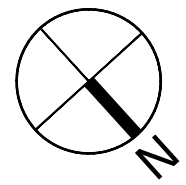
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PROPOSED FLOOR PLAN
SECOND FLOOR LEVEL



1
S.007



408 United St.
Key West, Florida
Monroe, State of Florida
PROPOSED FLOOR PLAN(S)

DESIGNED BY: R.J.C.
APPROVED BY: R.C.B.
DATE: 11/01/24
SHEET NO: S.007

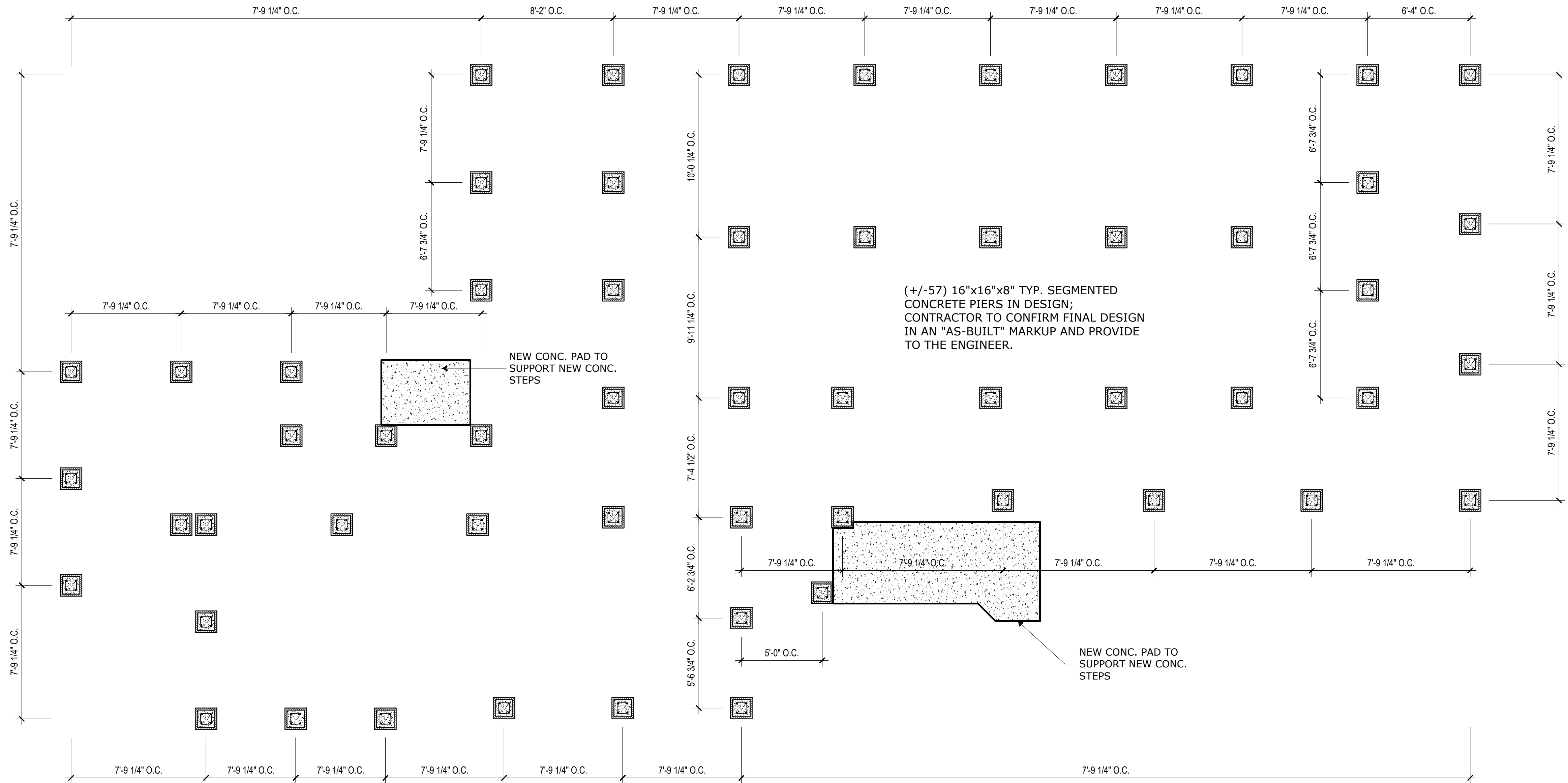
NO.	DESCRIPTION	DATE	BY

Robert Barrilleaux & Associates, Inc.
Civil and Environmental Engineers, Environmental Planning & Design - Project Management
PH: (850) 942-1391 Fax: (850) 942-6516
4254 Orange Plaza, Suite 2, Hammond, LA 70403

Robert C. Barrilleaux, P.E.
FL REG. NO. 87952

LIFT METHOD:

1. EXISTING PILINGS (IF ANY) BELOW THE BUILDING SHALL FIRST BE EXPOSED BY REMOVING ALL OF THE SURROUNDING SOILS FOR A DEPTH OF APPROXIMATELY 3'-0".
2. APPROXIMATELY EVERY OTHER PILE IS CUT LEAVING ROOM FOR A HYDRAULIC JACK TO BE INSTALLED BETWEEN CUT OFF PILE & THE HOME'S EXISTING CONCRETE SLAB.
3. A UNIFIED HYDRAULIC JACKING SYSTEM SHALL BE USED TO RAISE THE BUILDING IN A UNIFIED MODE UNTIL THE DESIGNED HEIGHT IS ACHIEVED.
4. 4' LONG, 6"x6" CRIBBING BLOCKS SHALL BE STACKED AS NEEDED TO TEMPORARILY SUPPORT THE ELEVATED STRUCTURE.
5. FORM NEW DEEP FOUNDATION PILINGS BY AUGER-DRILLING THE NEW FOUNDATION TO A DEPTH OF NOT LESS THAN 3'0" INTO THE CORAL ROCK SHELF.
6. FINE GRAVEL SHALL BE POURED INTO THE HOLE AND COMPACTED TO FORM A SUITABLE BED FOR NEW STRUCTURAL PILINGS. GRAVEL BED DEPTH TO BE NOT LESS THAN 6".
7. CONSTRUCT NEW CONTINUOUS SUB GRADE PILE & ABOVE GRADE PIER WITH 16"x16"x8" CMU STRUCTURAL BLOCK, & FULLY MORTARED JOINTS. AND FILL WITH MIN. 4,000 PSI CONCRETE.
8. EACH NEW STRUCTURAL PIER SHALL HAVE (4) #5 VERTICAL REBARS AND SHALL BE FILLED W/ MIN. 4,000 PSI CONCRETE. NEW PIERS SHALL BE TESTED TO ENSURE A MIN. LOAD CAPACITY OF NOT LESS THAN 4 TONS.
9. CONTRACTOR TO VERIFY BUILDING RAISE HEIGHT WITH ELEVATION CERTIFICATE & LOCAL BUILDING DEPARTMENT.



FLOOD ZONE: AE 8.0' NAVD88
 FBC ELEVATION RULE: BFE +1.0'

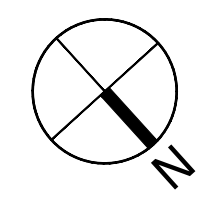
NOTE: WIND DESIGN CRITERIA TO REFLECT EXPOSURE C, DESIGN WIND SPEED OF 166 MPH (3 SECOND GUST) PER **2023 FBC - RESIDENTIAL** 301.2.1 & FIGURE 301.2(4)

NOTE: STRUCTURAL CONDITIONS & DESIGN OF FOUNDATION & FRAMING SHALL BE REVIEWED & RE-EVALUATED AS NECESSARY AFTER HOUSE IS RAISED, AND BEFORE SETDOWN.

FOUNDATION PLAN
 PROPOSED NEW CONCRETE PIERS



1
 S.101



Robert Barrilleaux & Associates, Inc.
 Civil and Environmental Engineers, Environmental Planning & Design - Project Management
 Ph: (850) 842-0301 Fax: (850) 842-0518
 4258 Osborn Plaza, Suite 3, Hammond, LA 70403

Robert C. Barrilleaux, P.E.
 FL REG. NO. 97952

NO.	DESCRIPTION	DATE	BY

408 United St.
 Key West, Florida
 Monroe, State of Florida
 PROP. FOUNDATION PLAN(S)

DESIGNED BY:	R.J.C.
APPROVED BY:	R.C.B.
DATE:	11/01/24
SHEET NO:	S.101

STEEL FRAMING NOTES:

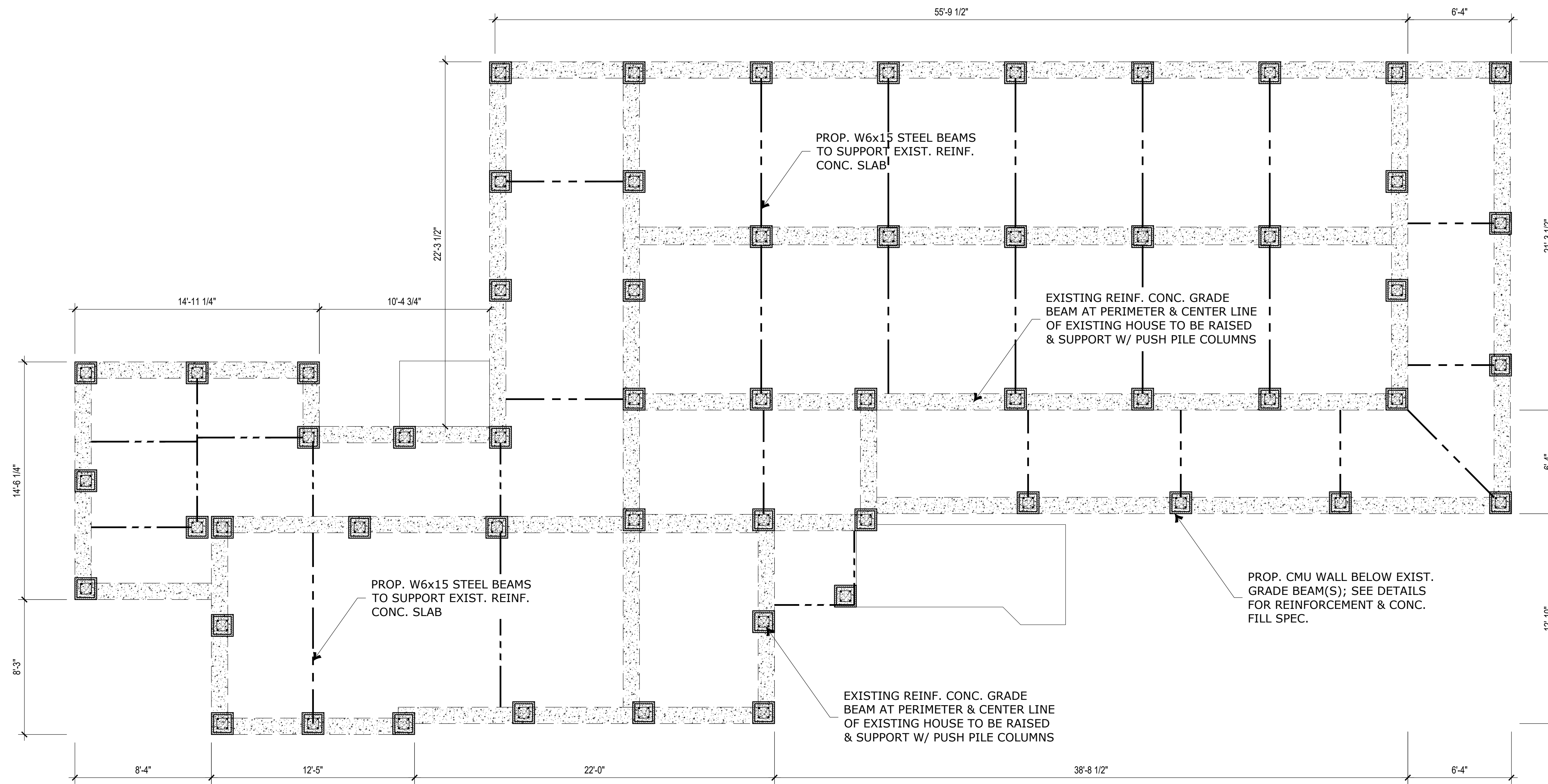
1. PIER LOCATION WILL DEPEND UPON EXISTING GRADE BEAMS. ACTUAL PLACEMENT OF PIERS WILL BE FIELD VERIFIED ONCE HOUSE IS RAISED. REVISED PIERS SHALL BE PLACED NO FURTHER THAN 12.0' ALONG GRADE BEAMS & NO OPEN UNSUPPORTED SPAN OF EXISTING CONCRETE SLAB SHALL BE MORE THAN 8.0'.
2. PIERS SHALL BE 16"x16" CMU CONCRETE FILLED COLUMNS WITH THE CMU BLOCK FORMING THE 12"x12" MOLD FOR THE CONCRETE & REBAR.
3. THE CONDITION OF EXTERIOR SLABS IS DETERMINED TO THE BEST OF THE ABILITY OF THE FIELD ENGINEER. IF IT IS REALIZED A SLAB ON THE LIFT PLAN IS INCORRECTLY LABELED, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY SO THAT STRUCTURAL SUPPORT CAN BE REVISED ACCORDINGLY.

4. IF GRADE BEAMS ARE FOUND TO BE IN A DIFFERENT LOCATION THAN ASSUMED ON THESE PLANS, ENGINEER SHOULD BE CONTACTED TO VERIFY THAT STEEL BEAMS WILL FULLY SUPPORT THE NEW LAYOUT.
5. STEEL SUPPORT BEAMS SHALL BE INSTALLED BASED ON THE PROPOSED LAYOUT **--OR--** AS DETERMINED IN THE FIELD TO BE THE OPTIMAL LAYOUT. PRIOR TO FINAL SET-DOWN ON PERMANENT STRUCTURE, AN AS-BUILT FRAMING PLAN WILL BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
6. STEEL BEAMS SHALL BE SUPPORTED FULLY BY SITTING ON NEW CONCRETE COLUMNS **--OR--** BY MEANS OF ANGLE BRACKETS SECURELY AFFIXED TO SIDE OF COLUMNS.

BUILDING NOTES:

- 1ST FLOOR LIVING AREA: 1,422 FT²
 MONOLITHIC PORCH UNDER ROOF: 778 FT²
 2ND FLOOR LIVING AREA: 1,559 FT²
 MONOLITHIC PORCH UNDER ROOF: 783 FT²
 NEW CONCRETE PORCH UNDER ROOF: 0 FT²
 STRUCTURAL PIERS = +/- 69
 METAL RAILING = +/- 167'-0"LF

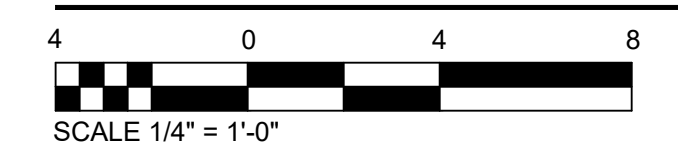
NEW 1ST STORY VENTILATION:
 NO VENTILATION CALCULATIONS ARE REQUIRED FOR PROPOSED OPEN FOUNDATION DESIGN.



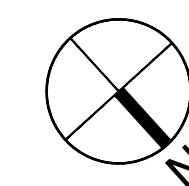
FLOOD VENT CALCULATION - CRAWL SPACE

UNDER FLOOR CRAWL SPACE TO REMAIN OPEN. NO FOUNDATION WALLS ARE TO BE CONSTRUCTED AS A PART OF THIS SCOPE OF WORK. NO FLOOD VENTS, ACCESS DOORS, OR OTHER FLOODPROOFING DEVICES ARE REQUIRED.

**FRAMING PLAN
 CONCRETE PIERS & STEEL BEAMS**



1
 S.102



408 United St.
Key West, Florida
 Monroe, State of Florida
PROPOSED FRAMING PLAN(S)

DESIGNED BY:	R.J.C.
APPROVED BY:	R.C.B.
DATE:	11/01/24
SHEET NO.:	S.102

NO.	DESCRIPTION	DATE	BY

Robert Barrilleaux & Associates, Inc.
 Civil and Environmental Engineers, Environmental Planning & Design - Project Management
 P.O. Box 10501, Ft. Lauderdale, FL 33310
 Phone: (954) 542-1616 Fax: (954) 542-1618
 4234 Duval Plaza, Suite 3, Hammond, LA 70403

Robert C. Barrilleaux, P.E.
 FL REG. NO. 97952

HOME ELEVATION CALCULATIONS
LOWEST ADJACENT GRADE: 4.13'NGVD
HIGHEST ADJACENT GRADE: 5.27'NGVD
EXISTING 1ST FL. ELEVATION: 5.38'NGVD
BASE FLOOD ELEVATION: 8.0'NGVD
FBC ELEVATION RULE (BFE+1)': 9.0'NGVD
PROPOSED 1ST FL. ELEVATION: 10.4' NGVD

Robert Barilleaux & Associates, Inc.
Civil and Environmental Engineers, Environmental Planners & Design - Project Management
Ph: (985) 852-1331 Fax: (985) 842-6616
4254 Oakview Plaza, Suite 3, Hammond, LA 70403

Robert C. Barilleaux, P.E.
FL REG. NO. 97952



PROPOSED FRONT ELEVATION
UNITED STREET 1
SCALE 1/4" = 1'-0"



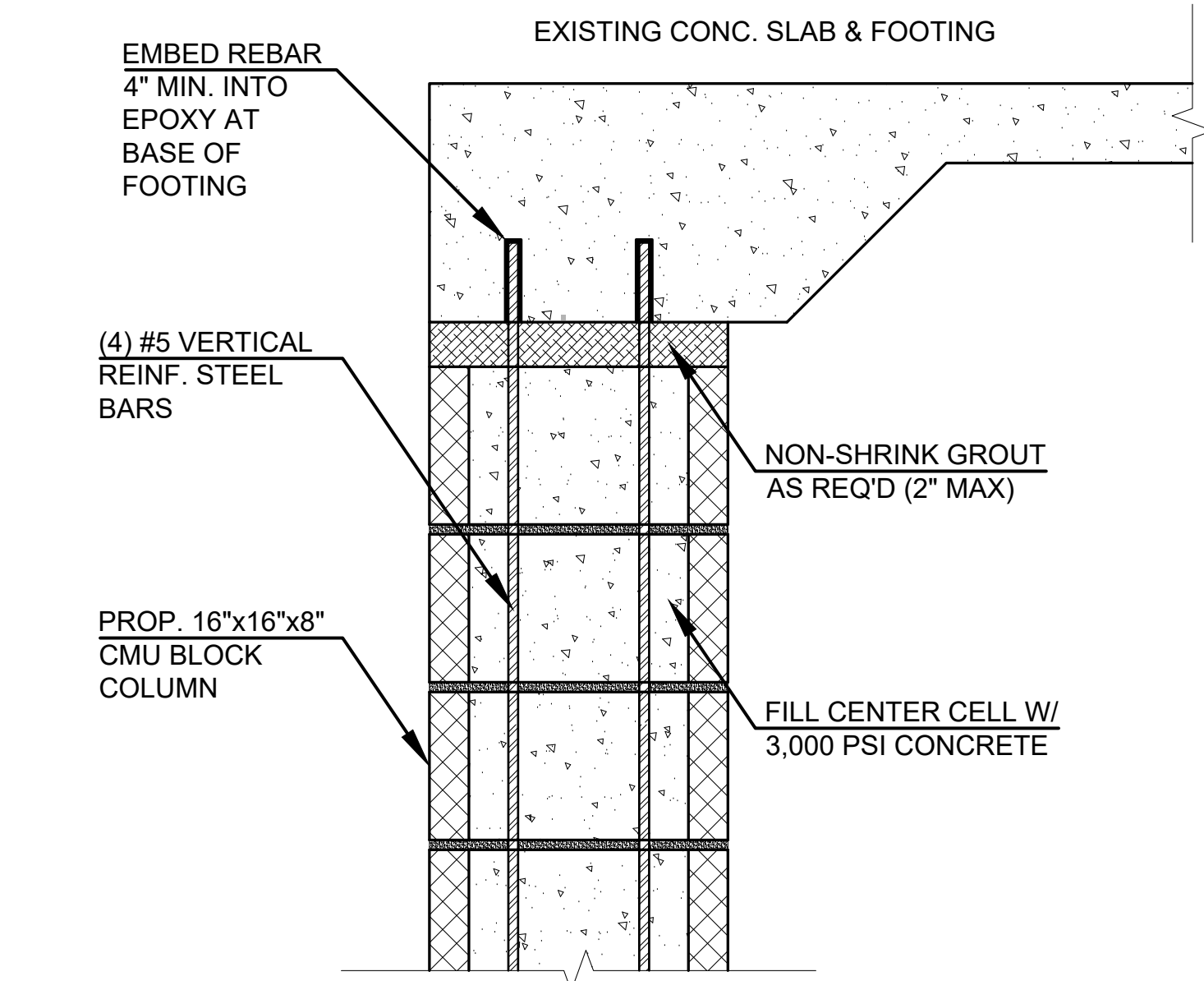
PROPOSED RIGHT ELEVATION
WHITEHEAD STREET (SIDE) 2
SCALE 1/4" = 1'-0"

NO.	DESCRIPTION	DATE	BY

408 United St.
Key West, Florida
Monroe, State of Florida
PROPOSED ELEVATION(S)

DESIGNED BY: R.J.C.
APPROVED BY: R.C.B.
DATE: 11/01/24
SHEET NO: S.103

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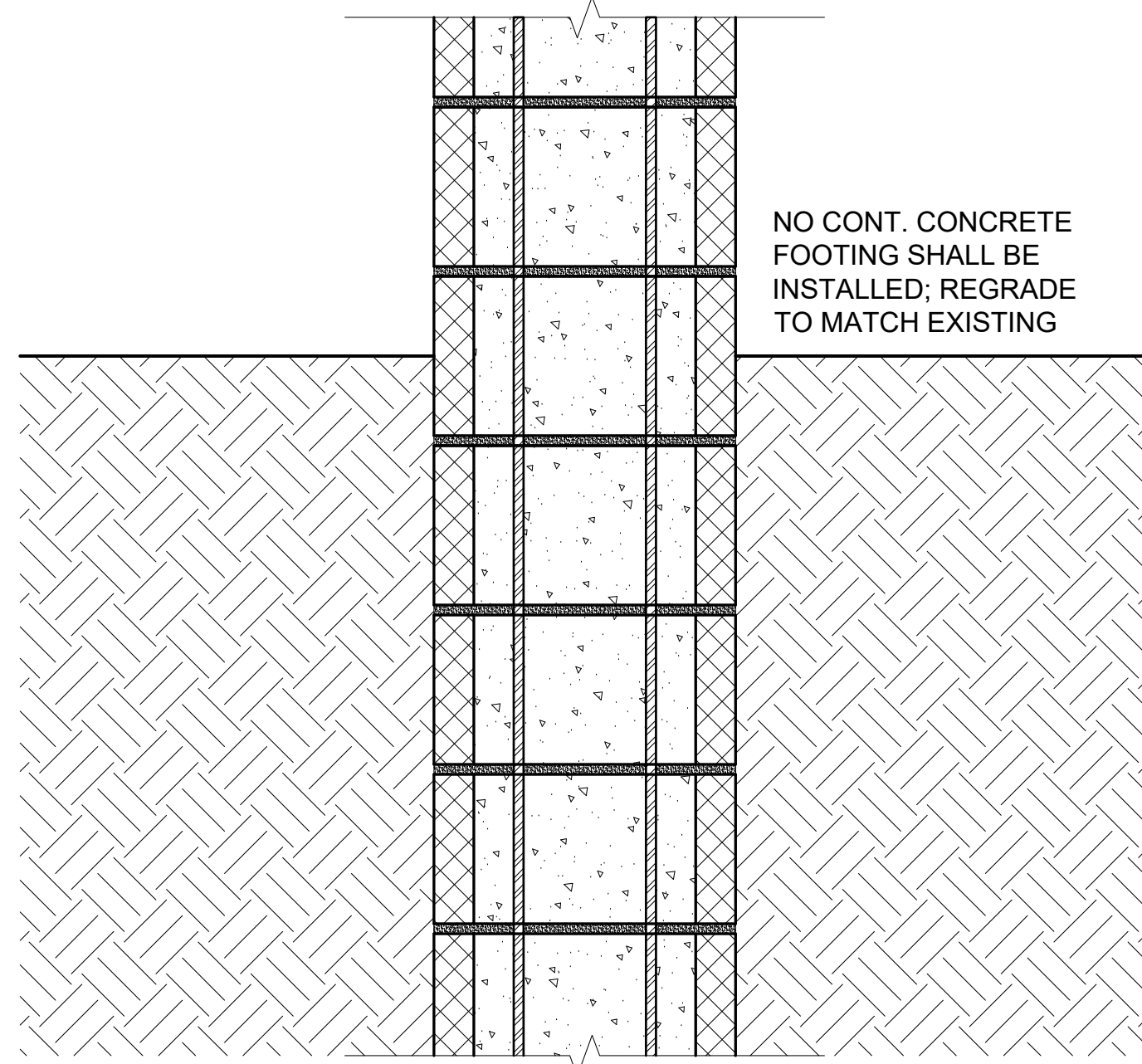


PROP. STRUCTURAL DETAIL
CONNECTION OF SLAB TO CONCRETE PIER 1
 NO SCALE S.105

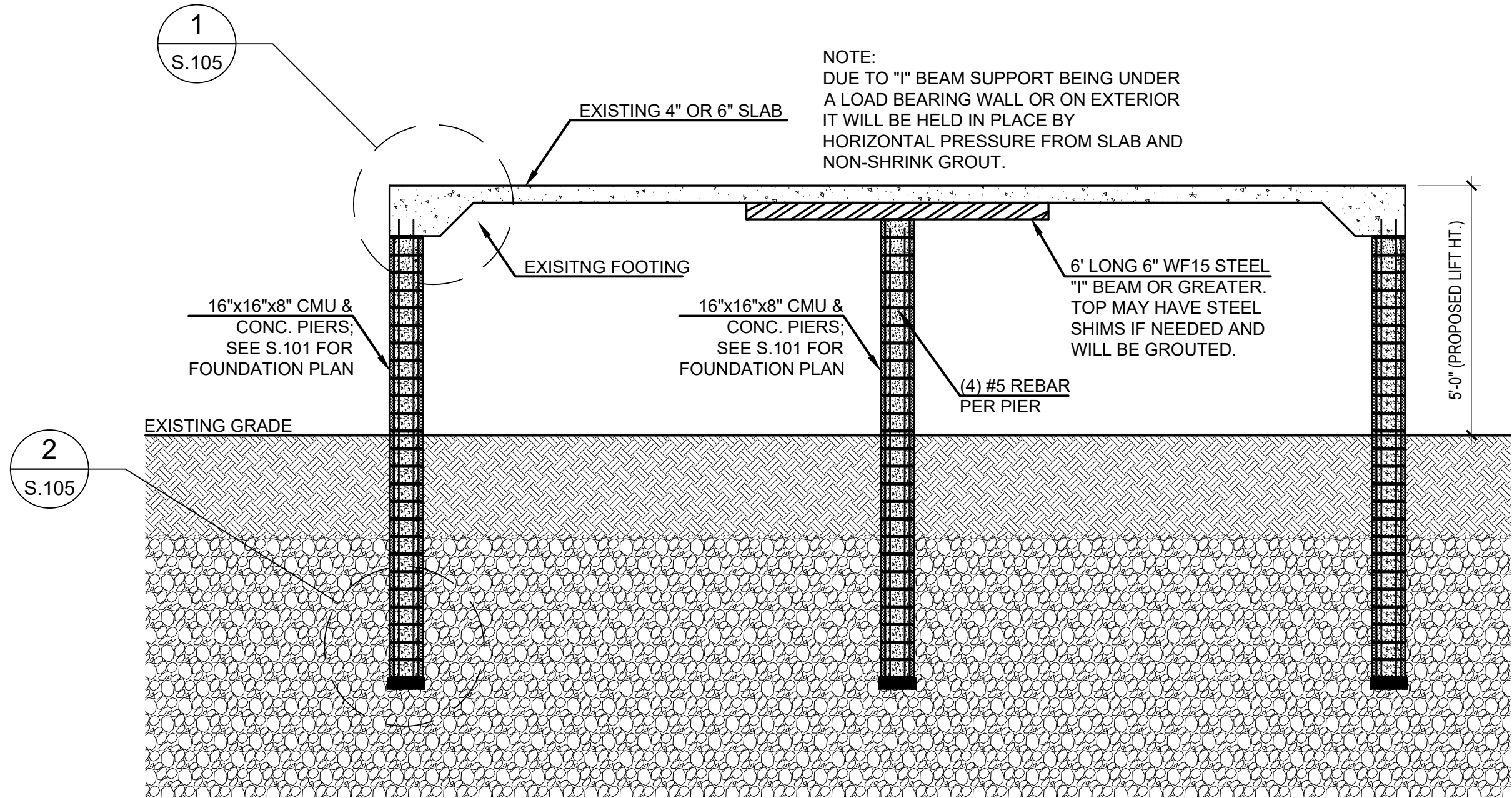
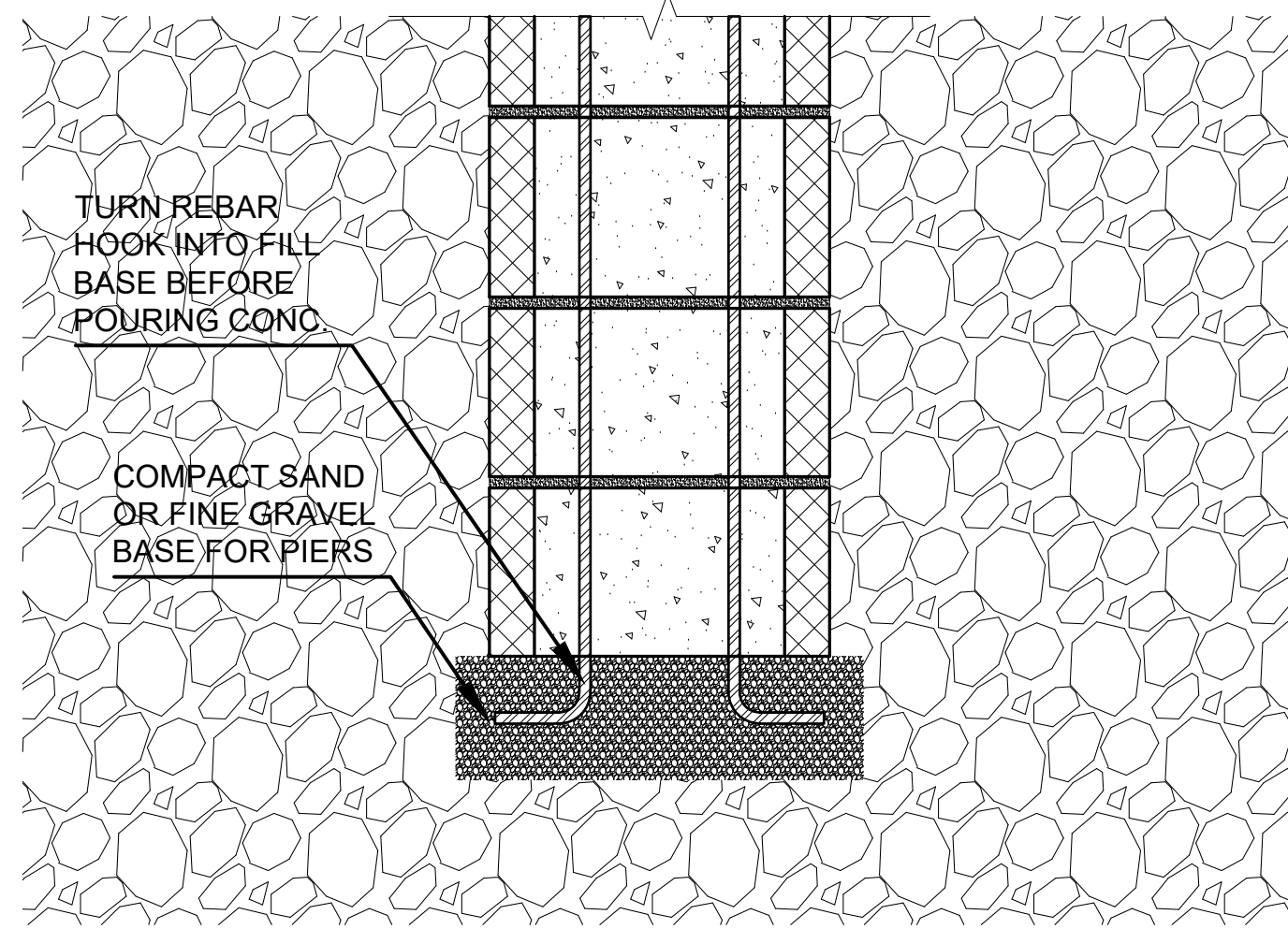
CONSTRUCTION NOTES:

- I. GENERAL
 1. THE ENGINEER IS RESPONSIBLE FOR THE DESIGN OF FOUNDATION ONLY, AND HAS NOT BEEN RETAINED TO SUPERVISE CONSTRUCTION AND WORKMANSHIP. THE ENGINEER'S SEAL DOES NOT WARRANTY ANY MEMBER OUTSIDE OF FOUNDATION.
 2. ALL WORK AND MATERIALS SHALL MEET LOCAL, STATE AND FEDERAL CODES INCLUDING **2023 FLORIDA BUILDING CODE, RESIDENTIAL, 8TH ED.**
 3. THE ENGINEER SHALL BE NOTIFIED IN WRITING IN CASE OF MISSING INFORMATION OR QUERIES REGARDING THESE PLANS.
- II. SITE PREPARATION
 1. FORM NEW DEEP FOUNDATION PILING BY AUGER DRILLING THE SUBGRADE CORAL SHELF TO A DEPTH OF NOT LESS THAN 5'0". FILL BOTTOM OF SHAFT WITH FINE GRAVEL OR SAND COMPACTED TO 95% PROCTOR.
 2. CREATE FORM FOR NEW CONCRETE PIER BY STACKING 16"x16"x8" CMU COLUMN BLOCKS, FULLY GROUTED JOINTS, AND PROVIDE VERTICAL REINFORCEMENT AS CALLED FOR BY ENGINEER. "SONOTUBE" OR OTHER CONCRETE FORM MAY BE USED IN PLACE OF CMU COLUMN BLOCK WITH ENGINEER'S **PRIOR** APPROVAL.
 3. POUR SHALL BE MADE DURING DRY CONDITIONS. IN THE EVENT OF RAIN AFTER FORMATION OF TRENCH BUT BEFORE CONCRETE IS POURED, ALL FREE WATER AND WET EARTH SHALL BE REMOVED. TRENCH SHALL BE FREE OF DEBRIS.
 4. CONTRACTOR SHALL PLACE CONCRETE AS SOON AS POSSIBLE AFTER SOIL HAS BEEN PREPARED FOR CONSTRUCTION IN ORDER TO MINIMIZE EXPOSURE OF THE SOIL TO THE ELEMENTS. DO NOT PLACE CONCRETE ON SOILS THAT HAVE BEEN DISTURBED BY RAINFALL, PONDING WATER OR DESICCATED SOILS.
 5. FLORIDA ONE CALL SUNSHINE 811 SHALL BE CONTACTED BEFORE ANY EXCAVATION.

- III. CONCRETE
 1. ALL CONCRETE WORK (INCLUDING MIX DESIGN, FORMWORK & MATERIALS) SHALL COMPLY WITH ACI 301.
 2. STRUCTURAL CONCRETE: NORMAL WEIGHT, MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45 U.N.O.
 3. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.
 4. TOTAL AIR CONTENT SHALL BE 5%
 5. FOOTING REINFORCEMENT SHALL BE SUPPORTED AT 4 FT ON CENTER MAX. IN BOTH DIRECTIONS (THE USE OF CONCRETE BRICKS OF AN EQUAL OR GREATER COMPRESSIVE STRENGTH AS REQUIRED FOR THE SLAB IS ACCEPTABLE).
 6. CONTRACTOR SHALL THOROUGHLY CONSOLIDATE CONCRETE (ESPECIALLY AT ANCHORAGES AND DOWELS).
 7. CONTRACTOR SHALL CURE CONCRETE IN ACCORDANCE WITH ACI-3008 IMMEDIATELY AFTER FINISHING TO MINIMIZE THE APPEARANCE OF SHRINKAGE CRACKS.
 8. ALL REBAR SHALL CONFORM TO ASTM A615, GRADE 60.
 9. MINIMUM CLEAR COVER FOR REBAR SHALL BE 2".
 10. PROVIDE CORNER BARS AT ALL BEAM CORNERS AND "T" INTERSECTIONS TO MATCH HORIZONTAL REBAR REINFORCEMENT. MINIMUM LAP LENGTH OF EACH LEG IS 30".



PROP. STRUCTURAL DETAIL
BASE OF CONCRETE PIER 2
 NO SCALE S.105



- GENERAL NOTES:**
1. 4" THICK SLAB SHALL HAVE AN UNSUPPORTED SPAN OF 8' MAX.
 2. NO SPREAD FOOTINGS OR CONTINUOUS CONCRETE GRADE BEAMS SHALL BE ALLOWED.
 3. NEW CMU & CONCRETE COLUMNS PLACED PER PLANS, OR AS REQUIRED BASED ON LOAD POINTS IDENTIFIED BY OBSERVATION OF THE ON-SITE EXISTING CONDITIONS.
 4. ANY HELICAL PILES USED, IF ANY, ARE TO BE DRIVEN TO AN ALLOWABLE CAPACITY OF 5 TONS.

PROPOSED SECTION
 EXIST. SLAB HOME ON NEW FOUNDATION & FRAMING 3
 NO SCALE S.105

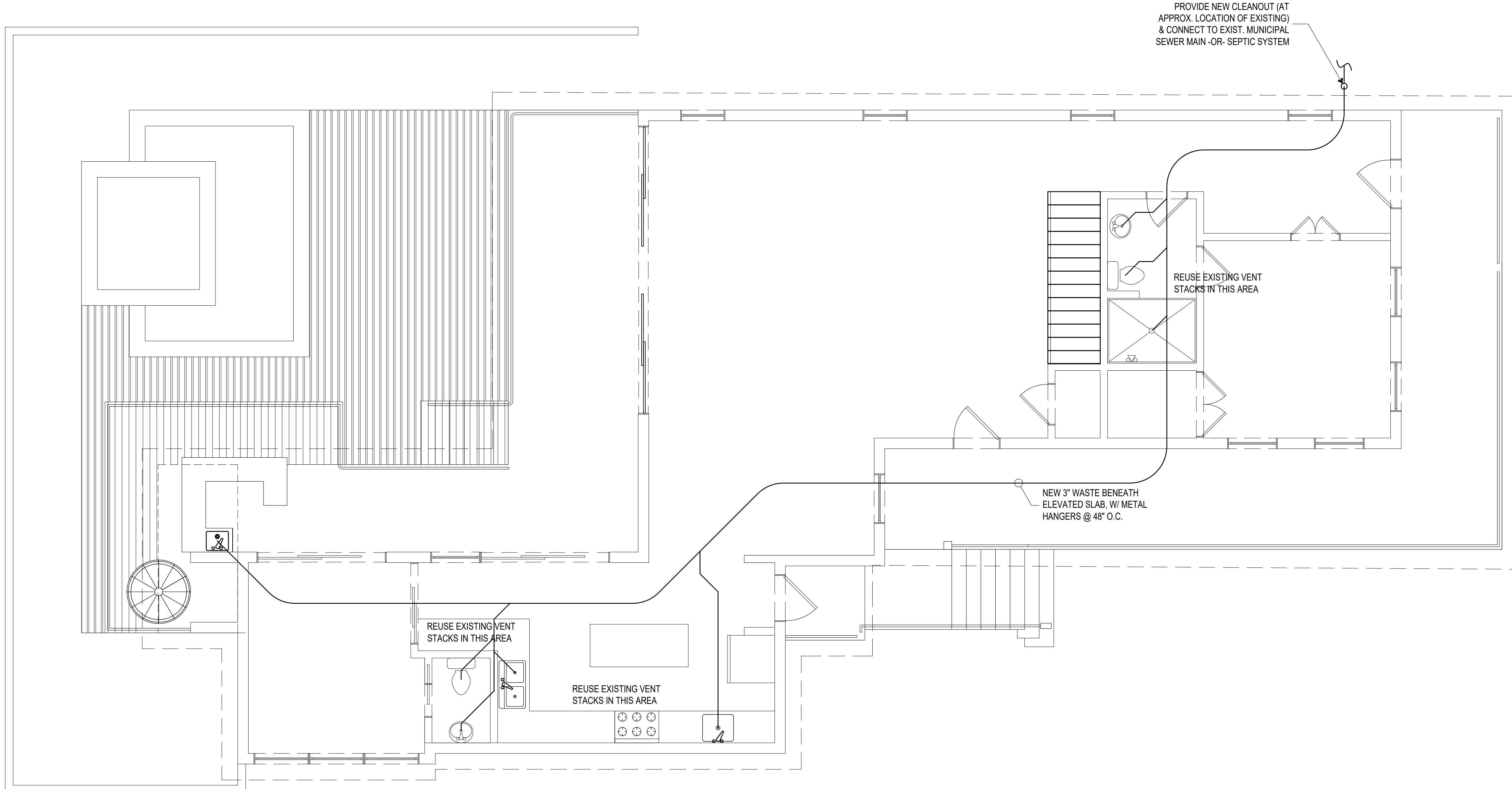
NO.	DESCRIPTION	DATE	BY

408 United St.
Key West, Florida
Monroe, State of Florida
PROP. STRUCTURAL DETAIL(S)

DESIGNED BY:	R.J.C.
APPROVED BY:	R.C.B.
DATE:	11/01/24
SHEET NO:	S.105

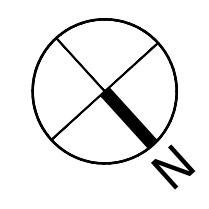
PLUMBING NOTES

1. ALL NEWLY INSTALLED PLUMBING WASTE PIPING, CONNECTIONS, CLEANOUT (IF ANY ARE REQUIRED) AND OTHER ACCESSORIES SHALL BE IN ACCORDANCE WITH **FBC 2023 RESIDENTIAL (8TH EDITION)**.
2. NEW, SANITARY SEWER WASTE PIPE SHALL BE INSTALLED AND BROUGHT UP TO CODE BENEATH EXISTING CONCRETE SLAB TO BE ELEVATED.
3. METAL HANGERS TO BE INSTALLED EVERY 48 INCHES BENEATH SLAB.
4. HOT AND COLD WATER SUPPLY IS EXISTING WITHIN THE HOUSE AND SHALL REMAIN IN PLACE.
5. VENT PIPING IS EXISTING WITHIN THE HOUSE AND SHALL REMAIN IN PLACE. NEW WASTE TO TIE INTO VENTS AND BE CODE COMPLIANT.
6. NO "T" CONNECTIONS TO BE USED, ONLY "Y"s AND LONG-SWEEP "90"s.
7. INSTALL NEW CLEANOUT AND CONNECT TO EXISTING WASTE MAIN.



PROPOSED PLUMBING PLAN
FIRST FLOOR LEVEL
SCALE 1/4" = 1'-0"

1
S.107



408 United St.
Key West, Florida
Monroe, State of Florida
PROPOSED PLUMBING PLAN(S)

DESIGNED BY: R.J.C.
APPROVED BY: R.C.B.
DATE: 11/01/24
SHEET NO: S.107

Robert Barrilleaux & Associates, Inc.
Civil and Environmental Engineers, Environmental
Planning & Design - Project Management
PH: (850) 942-1351 Fax: (850) 942-1616
4225A Duane Plaza, Suite 3, Hammond, LA 70403

Robert C. Barrilleaux, P.E.
FL REG. NO. 97952

NO.	DESCRIPTION	REVISIONS	DATE	BY

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NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., November 18, 2024, at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99. If you wish to participate virtually, please contact HARC staff at 305-809-3973. The purpose of the hearing will be to consider a request for:

**ELEVATE HOME AND REAR PORCH FROM 4.97' TO 9.06',
NEW WOOD STEPS, AND NEW FOUNDATIONS.**

#408 UNITED STREET

Applicant –Douglas Pat Burdette Application #H2024-0051

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Alonso Milon, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 408 United St Key West, FL 33040 on the 13 day of November, 2024.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on 18 November, 2024.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is _____.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant: [Signature]

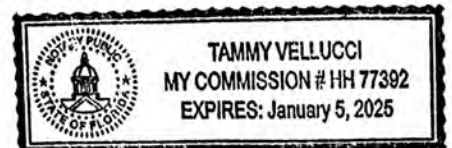
Date: 11/13/2024
Address: 4019 Arkansas ave
City: Kenner
State, Zip: LA, 70065

The forgoing instrument was acknowledged before me on this 13 day of November, 2024.

By (Print name of Affiant) Alonso Milon who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

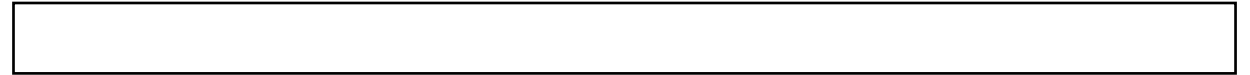
Sign Name: [Signature]
Print Name: Tammy Vellucci
Notary Public - State of Florida (seal)
My Commission Expires: 1-5-25





MODERN MOVERS

THE SLAB HOME ELEVATION EXPERTS



PROPERTY APPRAISER INFORMATION

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00036100-000000
 Account# 1036960
 Property ID 1036960
 Millage Group 10KW
 Location 408 UNITED St, KEY WEST
 Address
 Legal KW FILER BOYLE SUB N-476 PT LOTS 2 & 4 SQR 3 TR 16 OR35-105/106 OR698-249 OR1031-129/130 OR1490-936/937 OR1650-1613/14 OR1736-1442/43 OR1736-1444/45R/S OR1887-1542/46 OR2730-2396/98 OR2814-476/78 OR2907-2478 OR3267-2018
 Description (Note: Not to be used on legal documents.)
 Neighborhood 6108
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

NEUENHAUS MATTHEW T REVOCABLE TRUST 08/17/2023
 27 Denison Dr
 Saddle River NJ 07458

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$1,816,622	\$1,752,164	\$1,412,851	\$1,237,497
+ Market Misc Value	\$17,314	\$17,993	\$18,672	\$19,351
+ Market Land Value	\$1,267,359	\$1,086,419	\$823,162	\$608,829
= Just Market Value	\$3,101,295	\$2,856,576	\$2,254,685	\$1,865,677
= Total Assessed Value	\$2,483,217	\$2,257,470	\$2,052,245	\$1,865,677
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$3,101,295	\$2,856,576	\$2,254,685	\$1,865,677

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,267,359	\$1,816,622	\$17,314	\$3,101,295	\$2,483,217	\$0	\$3,101,295	\$0
2023	\$1,086,419	\$1,752,164	\$17,993	\$2,856,576	\$2,257,470	\$0	\$2,856,576	\$0
2022	\$823,162	\$1,412,851	\$18,672	\$2,254,685	\$2,052,245	\$0	\$2,254,685	\$0
2021	\$608,829	\$1,237,497	\$19,351	\$1,865,677	\$1,865,677	\$0	\$1,865,677	\$0
2020	\$1,115,601	\$618,748	\$20,029	\$1,754,378	\$1,754,378	\$0	\$1,754,378	\$0
2019	\$1,147,604	\$625,127	\$20,710	\$1,793,441	\$1,793,441	\$0	\$1,793,441	\$0
2018	\$972,672	\$774,328	\$21,388	\$1,768,388	\$1,768,388	\$0	\$1,768,388	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	5,109.00	Square Foot	48.7	105

Buildings

Building ID 2871
 Style 2 STORY ELEV FOUNDATION
 Building Type S.F.R. - R1 / R1
 Building Name
 Gross Sq Ft 4239
 Finished Sq Ft 3042
 Stories 2 Floor
 Condition AVERAGE
 Perimeter 479
 Functional Obs 0
 Economic Obs 0
 Depreciation % 4
 Interior Walls WALL BD/WD WAL
 Exterior Walls CUSTOM
 Year Built 1938
 EffectiveYearBuilt 2019
 Foundation WD CONC PADS
 Roof Type GABLE/HIP
 Roof Coverage METAL
 Flooring Type MARBLE
 Heating Type FCD/AIR DUCTED
 Bedrooms 5
 Full Bathrooms 3
 Half Bathrooms 1
 Grade 650
 Number of Fire PI 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	1,088	0	388
FLA	FLOOR LIV AREA	3,042	3,042	554
O UU	OP PR UNFIN UL	24	0	20
PTO	PATIO	61	0	45
SBF	UTIL FIN BLK	24	0	20
TOTAL		4,239	3,042	1,027

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
RES POOL GNIT	2003	2004	8 x 15	1	120 SF	5
WROUGHT IRON	2003	2004	4 x 49	1	196 SF	1
BRICK PATIO	1985	1986	8 x 47	1	376 SF	2
HOT TUB	2003	2004	0 x 0	1	1 UT	1
FENCES	1992	1993	5 x 103	1	515 SF	2
WOOD DECK	2003	2004	0 x 0	1	410 SF	2
BRICK PATIO	2003	2004	3 x 22	1	66 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
3/20/2024	\$4,000,000	Warranty Deed	2455349	3267	2018	01 - Qualified	Improved		
5/17/2018	\$2,150,000	Warranty Deed	2170190	2907	2478	02 - Qualified	Improved		
8/29/2016	\$2,295,000	Warranty Deed		2814	476	01 - Qualified	Improved		
3/5/2015	\$1,785,000	Warranty Deed		2730	2396	02 - Qualified	Improved		
4/29/2003	\$2,050,000	Warranty Deed		1887	1542	Z - Unqualified	Improved		
10/25/2001	\$1	Warranty Deed		1736	1442	M - Unqualified	Improved		
8/22/2000	\$1	Warranty Deed		1650	1613	M - Unqualified	Improved		
12/1/1997	\$700,000	Warranty Deed		1490	0936	M - Unqualified	Improved		
10/1/1987	\$1	Warranty Deed		1031	129	M - Unqualified	Improved		
2/1/1977	\$80,000	Conversion Code		698	249	Q - Qualified	Improved		

Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
18-1627	09/24/2021	Completed	\$1,960	Residential	REPAIR WINDOW SILLS- 12. N.O.C. EXEMPT. HARC INSPECTION REQUIRED.
21-0117	09/03/2021	Completed	\$8,500	Residential	Install 350 sf white slate (quartzite) on existing concrete porch (front/side)
21-1979	09/03/2021	Expired	\$15,000	Residential	AM Replace (5) doors with new Impact Rated wood doors. (1)Front door is 2 lights over 2 panels and (4) doors- 10 lights. Replace (4) sets of 3 awning windows with aluminum Impact Rated. **NOC Required** **HARC Inspection Required** PDM ***Windows to be located on non-historic portions of the house.
15-0732	04/28/2015	Completed	\$9,000		PAINT 1ST AND 2ND FLOOR DECKS GRAY (FRONT OF HOUSE). ADD 5 SECTIONS OF RAILING TO LOWER FRONT PORCH TO MATCH 2ND FLOOR AS CLOSELY AS POSSIBLE (PAINTED WHITE ECT.) THERE WILL BE 6 SECTIONS OF RAILINGS- THE ONLY NON- RAILINGS SECTIONS WILL BE DUE TO ACCESS/WALKWAYS. NEW RAILINS WILL MATCH UPSTAIRS RAILINGS AS CLOSE AS POSSIBLE.
02-0611	10/18/2002	Completed	\$378,750		ELIMINATE 400SF 2ND FLOOR
02-2612	10/02/2002	Completed	\$525		MODIFIED CURB
02-2630	10/02/2002	Completed	\$9,000		IRONWORK - FENCE
02-1799	07/05/2002	Completed	\$20,000		PAINT EXTERIOR
01-3943	04/08/2002	Completed	\$537,500		COMPLETE RENOVATIONS
01-3471	03/06/2002	Completed	\$8,500		SILL BEAMS
02-0251	02/04/2002	Completed	\$18,850		BUILD POOL (8X15)
01-3583	10/31/2001	Completed	\$450		INSTALL HANGERS
00-3618	11/03/2000	Completed	\$2,500		REPLACE PORCH FLOOR

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Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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