



Staff Report for Item 10b

To: Chairman Michael Miller and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: April 28, 2015

Applicant: Glenn Anderson, Owner

Application Number: H15-01-0408

Address: #1233 South Street

Description of Work:

Demolition of rear patio, carport, and shed.

Site Facts:

#1233 South Street is listed as a contributing resource and was constructed in 1951 according to the survey. It is located at the corner of South and Tropical Streets, located at the edge of the historic district. The structure first appears on the 1962 Sanborn map, but seems to be a smaller footprint than what exists today. The proportion of the building looks much larger, suggesting there have been some additions already to the house. A more modern siding has been applied over the old novelty siding, which has been previously approved to remove. Unfortunately, there are no historic photographs of this house. The back porch, shed, and carport are not historic and do not appear on the 1962 Sanborn map.

Ordinance Cited in Review:

Sec. 102-217 (2): Demolition of non-historic or non-contributing buildings, Sec. 102-218: Criteria for demolitions, and Sec. 102-125: Historic architectural review commission findings precedent to issuance in the Land Development Regulations.

Staff Analysis

This Certificate of Appropriateness proposes the demolition of a rear patio, shed, and carport. The demolition of the shed and the carport were added to the application after the plans were submitted, which is why the plans are inconsistent with the application in regards to those structures. The rear

patio, carport, and shed do not show up on the 1962 Sanborn map, and therefore are not historic. Staff believes the proposed demolition does not meet any of the criteria listed in Sec.102-125, and therefore it can be considered by the Commission. As it is not historic, only one reading is required for demolition.

APPLICATION

Blody

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER <i>15-01-408</i>	BUILDING PERMIT NUMBER <i>15-1041</i>	INITIAL & DATE
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
		SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %

ADDRESS OF PROPOSED PROJECT:	1233 South St Key West Fl 33040		# OF UNITS
RE # OR ALTERNATE KEY:	1042684		
NAME ON DEED:	Glenn R Anderson	PHONE NUMBER	305-922-2480
OWNER'S MAILING ADDRESS:	1233 South St Key West Fl	EMAIL	glenn.anderson82@yahoo.com
CONTRACTOR COMPANY NAME:	Owner	PHONE NUMBER	<i>MAR 2, 2015</i>
CONTRACTOR'S CONTACT PERSON:		EMAIL	<i>BY MC 8:45</i>
ARCHITECT / ENGINEER'S NAME:	Jim Reynolds	PHONE NUMBER	305-394-5987
ARCHITECT / ENGINEER'S ADDRESS:	22330 Lafitte Dr. Cudjoe Key	EMAIL	jim@reynoldsengeeringservices.com
Note: Owner is architect & builder, please contact owner first w/questions.			

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MATL., LABOR & PROFIT: *20,000.00*

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input checked="" type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input checked="" type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input type="checkbox"/> WITHIN FLOOD ZONE	
	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., *partial demo of rear patio and patio roof.*

and construction of 483 sq.ft. Master Suite addition. Addition includes bedroom, 1 and 1/2 baths and closet.

Addition includes two exterior doors and 7 exterior windows. *Scrap part of shed.*

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME: Glenn R Anderson	QUALIFIER PRINT NAME:
OWNER SIGNATURE: <i>[Signature]</i>	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <i>19</i> DAY OF <i>March</i> , 20 <i>15</i> .	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____ * BUILDING PERMIT # _____
<i>Marta Cabaleiro</i>	User: KEYWBLD Type: BP Drawer: 1 Date: 3/23/15 5:00 Receipt no: 17867 Trans number: 1.00 \$50.00 CK CHECK 1661 \$230.00 Trans date: 3/23/15 Time: 8:18:02
Personally known or produced _____ as identification.	Personally known or produced _____ as identification.



2270-199-0K

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW

SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: New addition will match existing structure siding and color.

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
See roofing permit		

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:		INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

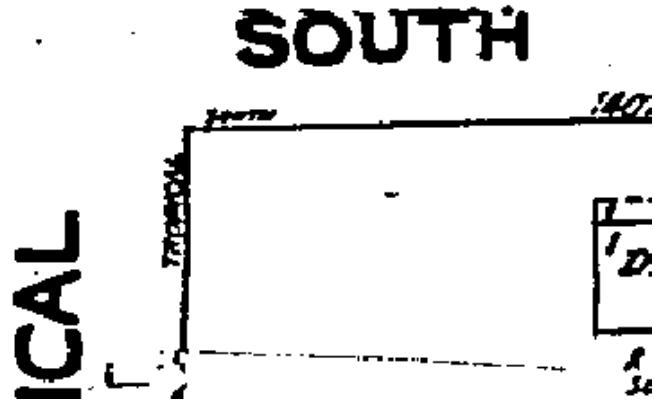
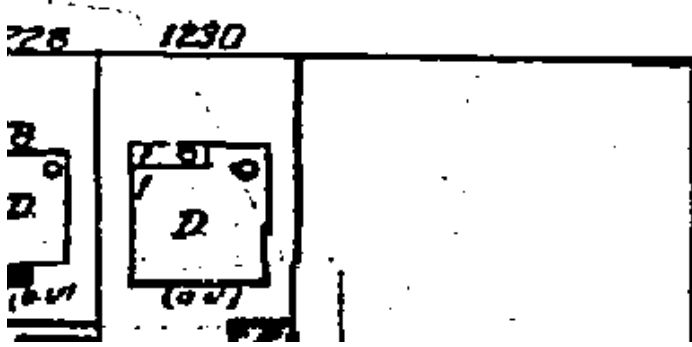
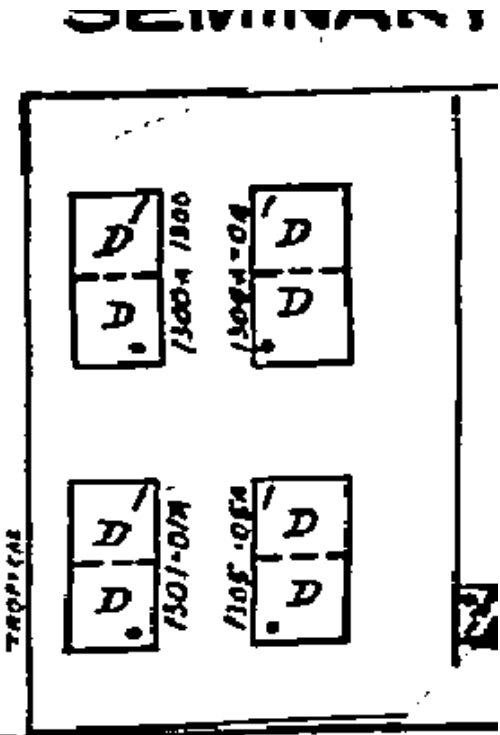
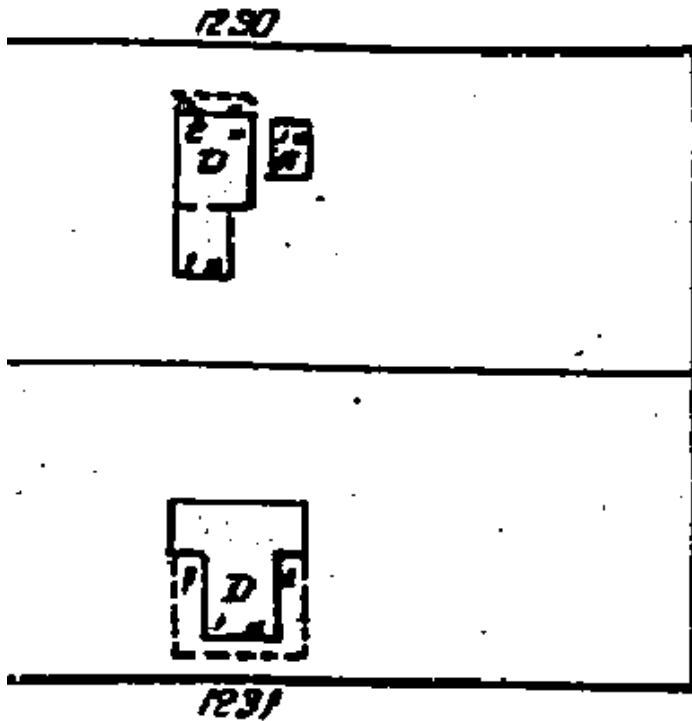
FLORIDA STATUTE 469: ASBESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

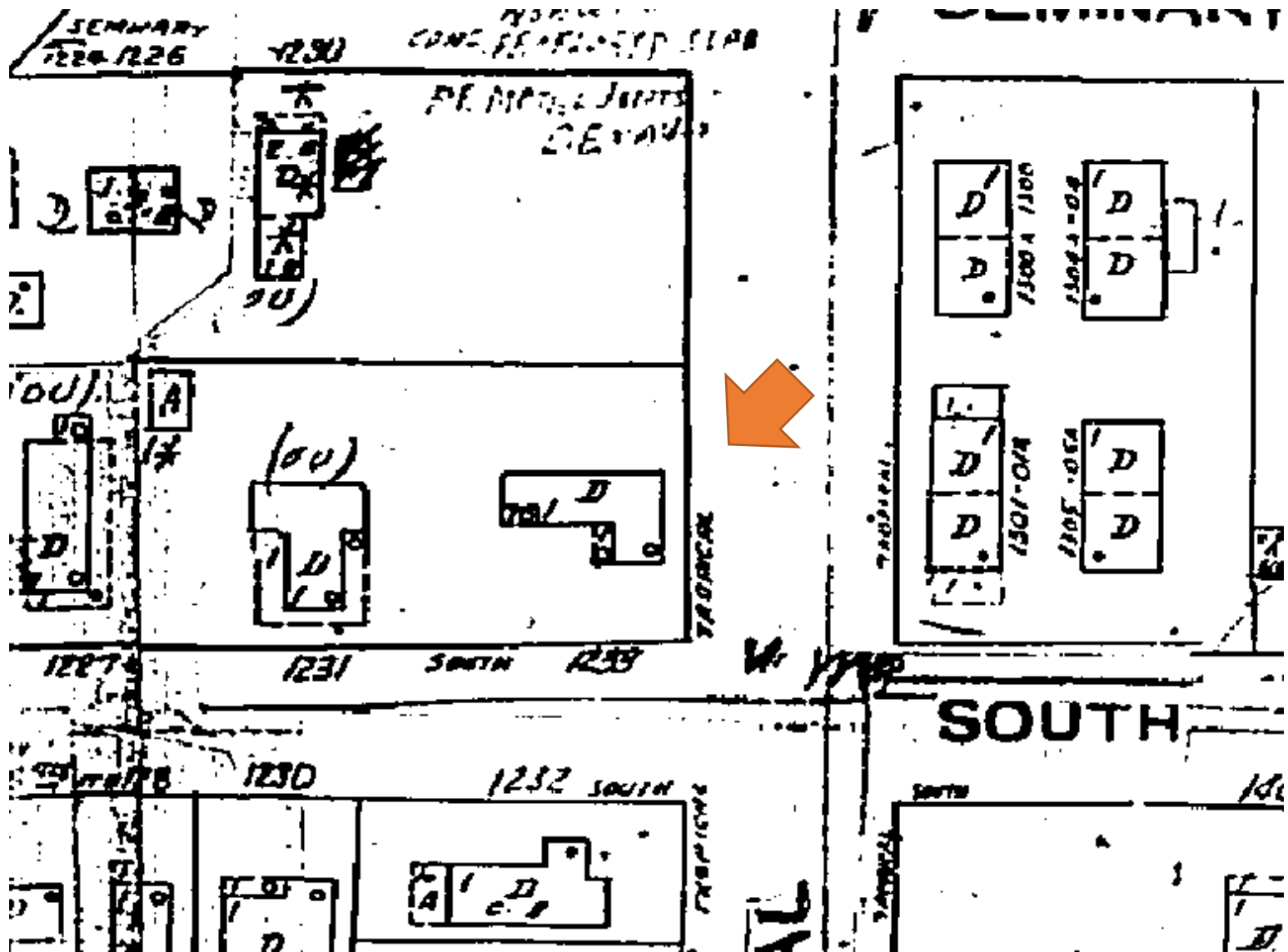
OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:	
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:		
Oper: KEYWBLD Date: 4/01/15 50 2015 1000438 PT * BUILDING PERMITS NEW Trans number: CK CHECK 1664 \$38.00 Trans date: 4/01/15 Time: 8:55:43	Type: BP Drawer: 1 Receipt no: 15044 1.00 \$50.00 3044805			Oper: KEYWBLD Date: 3/23/15 50 2015 1000007E PT * BUILDING PERMITS-NEW Trans number: CK CHECK 1661 \$20.00 Trans date: 3/23/15 Time: 8:18:02	Type: BP Drawer: 1 Receipt no: 17067

**Paid \$100.00 total
for HARC app fee.**

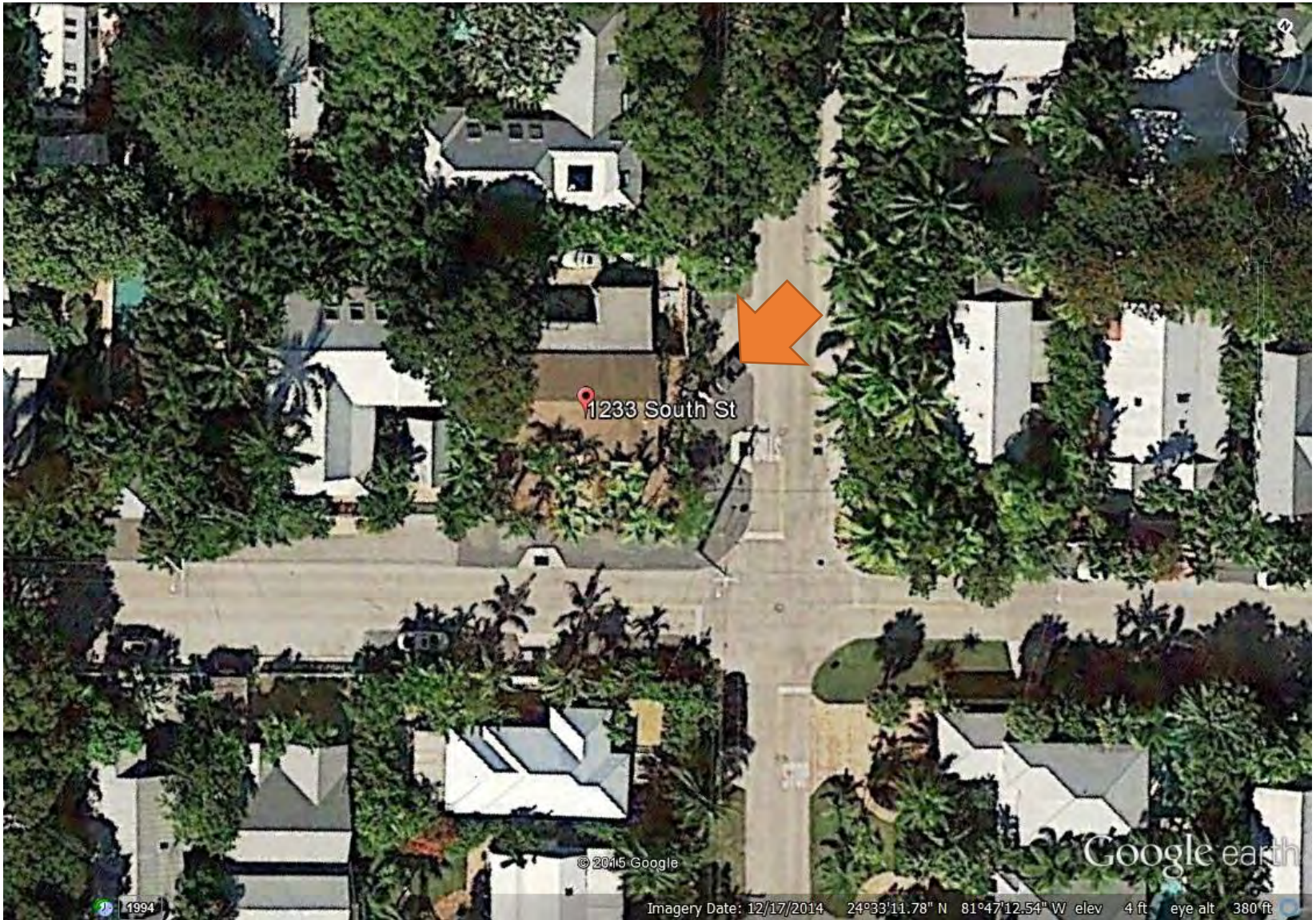
SANBORN MAPS



1948 Sanborn Map



1962 Sanborn Map



2011 Google Earth Aerial

PROJECT PHOTOS













COUNTROCK SAND
56 80

Home
800-447-7777
www.
The



Wood novelty siding found underneath.



SURVEY

PROPOSED DESIGN

MAP OF BOUNDARY SURVEY

BEARING BASE:
ALL BEARINGS ARE BASED
ON N70° 19' 23"W ASSUMED
ALONG THE CENTERLINE OF
SOUTH STREET

ALL ANGLES DEPICTED
ARE 90 DEGREES UNLESS
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN
U.S. SURVEY FEET

ALL ELEVATIONS SHOWN ARE
RELATIVE TO THE NGVD29 DATUM

ADDRESS:
1233 SOUTH STREET
KEY WEST, FL 33040

COMMUNITY NO.: 120168
MAP NO.: 12087C-1516K
MAP DATE: 02-18-05
FLOOD ZONE: AE
BASE ELEVATION: 6

LEGEND

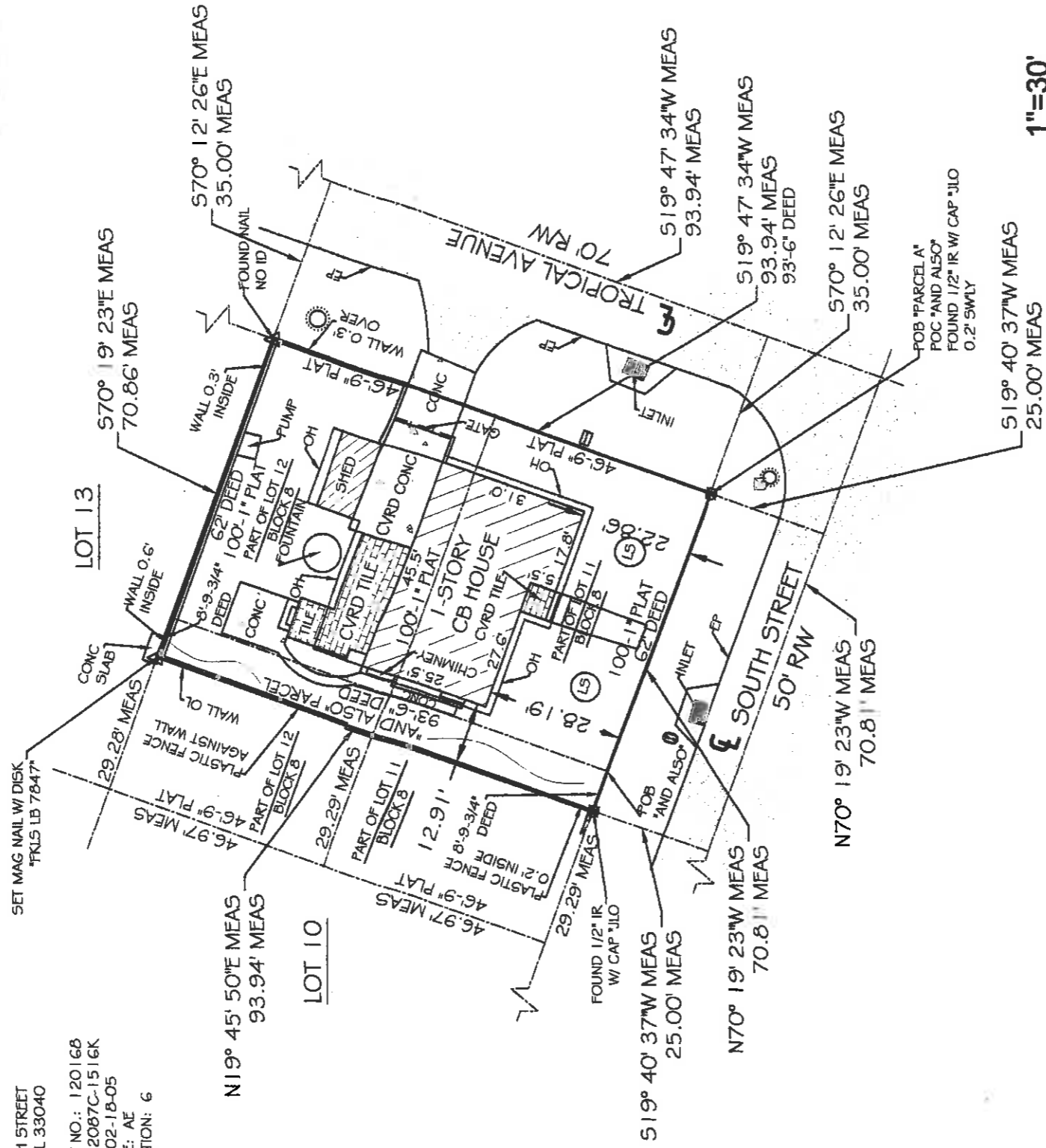
- WATER METER
- SANITARY SEWER CLEAN OUT
- MAILBOX
- WOOD POWER POLE
- CONCRETE POWER POLE



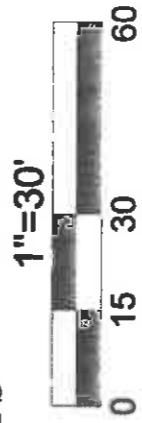
LEGEND



LOCATION MAP - NTS
SEC. 05-T1685-R25E



TOTAL UPLAND AREA = 6,654.36 SQFT ±



THE SURVEY MAP (SHEET 1 OF 2) IS NOT COMPLETE
AND VALID WITHOUT THE ATTACHED SURVEY REPORT
(SHEET 2 OF 2)

CERTIFIED TO

Glenn R. Anderson & Catherine M. Anderson;
Smith | Oropeza, P.L.;
Old Republic National Title Insurance Company;

SCALE:	1" = 30'
FIELD WORK DATE:	5/07/2014
REVISION DATE:	XXXXXX
SHEET:	1 OF 2
DRAWN BY:	MFB
CHECKED BY:	
INVOICE NO.:	

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5L-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

SIGNED:

NOT VALID WITHOUT THE
SIGNATURE AND THE RAISED
SEAL OF A FLORIDA
SURVEYOR AND MAPPER

ERIC A. ISAACS, F5M #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

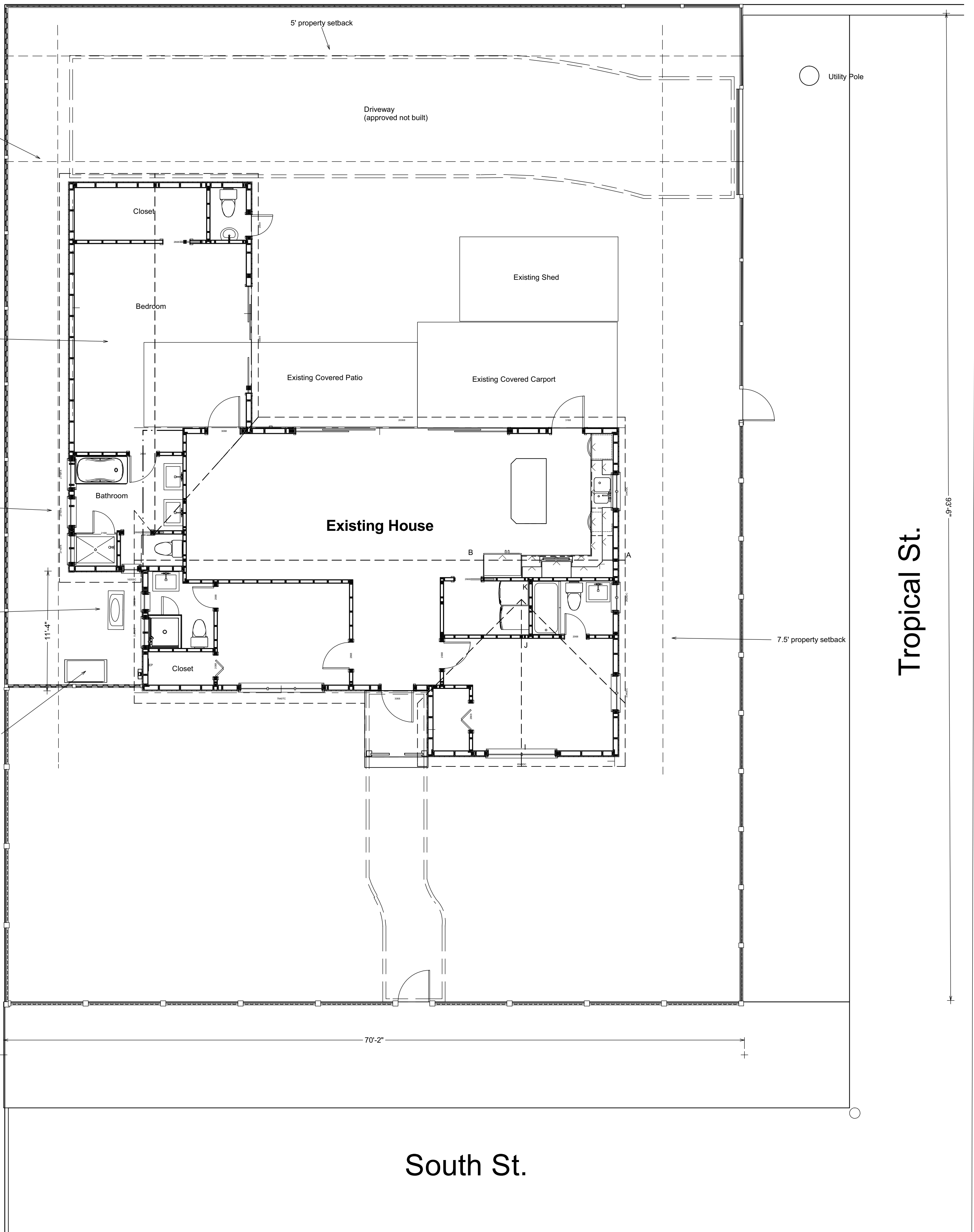


**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5email@gmail.com

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- BFP = BACK-FLOW PREVENTER
- BO = BLOCK
- BO-G = BLOCK WITH GUTTER
- CA = CONCRETE BLOCK
- CBW = CONCRETE BLOCK WALL
- CL = CENTERLINE
- CLF = CHAINLINK FENCE
- CM = CONCRETE
- CONC = CONCRETE
- CPP = CONCRETE POWER POLE
- CVRD = COVERED
- DELTA = CENTRAL ANGLE
- DEASE = DRAINAGE EASEMENT
- EL = ELEVATION
- ENCL = ENCLOSURE
- EP = EDGE OF PAVEMENT
- FF = FINISHED FLOOR ELEVATION
- FI = FENCE INSIDE
- FO = FENCE OUTSIDE
- FOI = FOUND
- FOI = FENCE ON LINE
- GLY = GUY WIRE
- HB = HOSE BIB
- IR = IRON PIPE
- IR = IRON ROD
- L = ARC LENGTH
- LS = LANDSCAPING
- MB = MAILBOX
- MEAS = MEASURED
- MF = METAL FENCE
- MHWL = MEAN HIGH WATER LINE
- NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)
- NTS = NOT TO SCALE
- OH = 8' FOOT OVERHANG
- OHM = OVERHEAD WIRE
- PC = POINT OF CURVE
- PM = PARKING METE
- PFC = POINT OF COMPOUND CURVE
- PCT = PERMANENT CONTROL POINT
- PCB = POINT OF BEGINNING
- PI = POINT OF INTERSECTION
- PP = POINT OF COMMENCEMENT
- PRC = POINT OF REVERSE CURVE
- PPM = PERMANENT REFERENCE MONUMENT
- PT = POINT OF TANGENT
- R = RADIUS
- R/W = RIGHT OF WAY LINE
- SW = SITE WALK
- SW = SANITARY SEWER CLEAN OUT
- TEMP = TEMPORARY BENCHMARK
- TOB = TOP OF BANK
- TOE = TOP OF SLOPE
- TS = TRAFFIC SIGN
- TY = TYPICAL
- UN = UNDESIRABLE
- UE = UTILITY EASEMENT
- WD = WOOD DECK
- WF = WOOD FENCE
- WM = WOOD WATER
- WPT = WOOD WATER POLE
- WRACK LINE = LINE OF DECKS ON SHORE
- WW = WATER VALVE



H-1

SHEET:

4/1/2015

DATE:

DRAWINGS by:
 Glenn R Anderson
 1233 South St Key West Fl 33040
 Tel: 305-922-2480

PROJECT DESCRIPTION:

1233 South St.
 Key West FL 33040

SHEET TITLE:

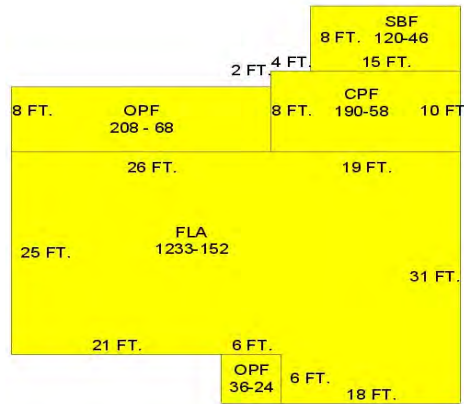
Site Plan f/ HARC Review

Structure and Impervious Coverage Calculation

Address: 1233 South St. Alt Key # 1042684
 Key West Fl 33040 Prepared by Glenn Anderson

Lot 6606 sq ft
 Structure 40% 2642.4 sq ft
 Impervious 60% 3963.6 sq ft

From the County Appraisers office



Existing Structure Calculation:	Structure	Additonal Overhang	Totals	
House (FLA)	1233	82	1315 sq ft	
Front Porch (OPF)	36	6	42 sq ft	
Rear Porch (OPF)	208	52	260 sq ft	
Carport (CPF)	190	0	190 sq ft	
Shed (SBF)	120	30	150 sq ft	
Totals	1787	170	1957 sq ft	29.62%

Proposed Structural Calculation

Existing			1957 sq ft	
Less porch demo			-100 sq ft	
Proposed Addition	483	77	560 sq ft	
Total			2417 sq ft	36.59%

Impervious Calculation

Structure			2417 sq ft	
Front walkway			141 sq ft	
Driveway (approved/not built)			900 sq ft	
Total			3458 sq ft	52.35%

Project Information:

Address: 1233 South St. Key West Fl 33040
Owner/Contractor: Glenn R Anderson 305-922-2480
Parcel ID: 00042040-00000

Legal address:

KW TROPICAL BLDG AND INVESTMENT CO SUB PT LOT 11-12 SQR 8 TR 19
PB 1-34 G43-309-310 OR278-152/53 OR2687-365/66 OR2700-1076/77C

Flood Zone: AE, Base elevation 6'

Zoning: HMDR

HARC: Yes.

Project Description: Remove portion of existing rear patio and patio roof and construct 483 sf.ft. Master Suite addition

Coverage calculations:

Lot: 6606 s/f

Coverage limits: Structure - 40% (2642 s/f) & Impervious - 60% (3963 s/f)

Existing: Structure - 18.7% (1233 s/f) & Impervious* - 36% (2345 s/f)

Planned: Structure - 26% (1717 s/f) & Impervious - 43% (2829 s/f)

*note: impervious calculation includes 900 s/f brick driveway that has been permitted but not built. See permit: 14-00003371-000-000

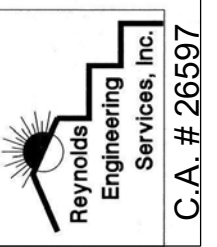
Setbacks: Front yard (South St.) - 10', Front side (Tropical) 7.5', Side - 5', Rear - 15'

All Elevations Based on NGVD29 Datum

General Engineering Notes:

1. All work shall comply with applicable codes.
2. Owner/Builder shall follow the manufacture specifications and recommendations when selecting the correct connector for the environment and wood type.
3. The Builder using these plans shall be responsible for the means, methods, techniques, sequences, procedures and all safety aspects of construction.
4. The Builder shall check and verify all dimensions and elevations.
5. This design is based on the 2010 Florida Building Code.
6. Existing underground utilities are not shown and Builder shall contact all utility companies prior to any excavation. Builder shall protect all utilities and shall be responsible for any damages at his expense.
7. All lumber for structural members shall be pressure treated Southern Pine.
8. Exterior wall windows and doors must be certified and/or listed by an independent laboratory to be structurally capable of resisting a 180 mph wind load as determined by ASCE Standard 7-10 Minimum Design Loads for Building and Other Structures.
9. Connections: all connections and connectors for this project have been specified in this design and cannot be changed or substituted without written permission from the engineer of record. Connectors shall be installed as recommended and specified by the manufacturer.
10. Concrete shall be a mix designed by a recognized testing lab to achieve a strength of 4000 psi at 28 days with a plastic and workable mix. Concrete to be mixed, placed and cured according to ACI standards and specifications.
11. Reinforcing steel shall be ASTM A 615 Grade 60 deformed bars of new billet steel free from oil, scale and loose rust and placed in accordance with ACI standards and specifications.
- 12 Soil supporting concrete slabs on grade shall be compacted to a density of not less than 95 percent of the maximum density as determined by the Standard Proctor Method.

Site Plan



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
FLORIDA P.E.#46885
28330 LAFFITE DRIVE GULF BEECH, FL 39042
(908) 394-5987

Site Plan

SHEET TITLE:

PROJECT DESCRIPTION:
**Master Suite addition at
1233 South St.
Key West FL 33040**

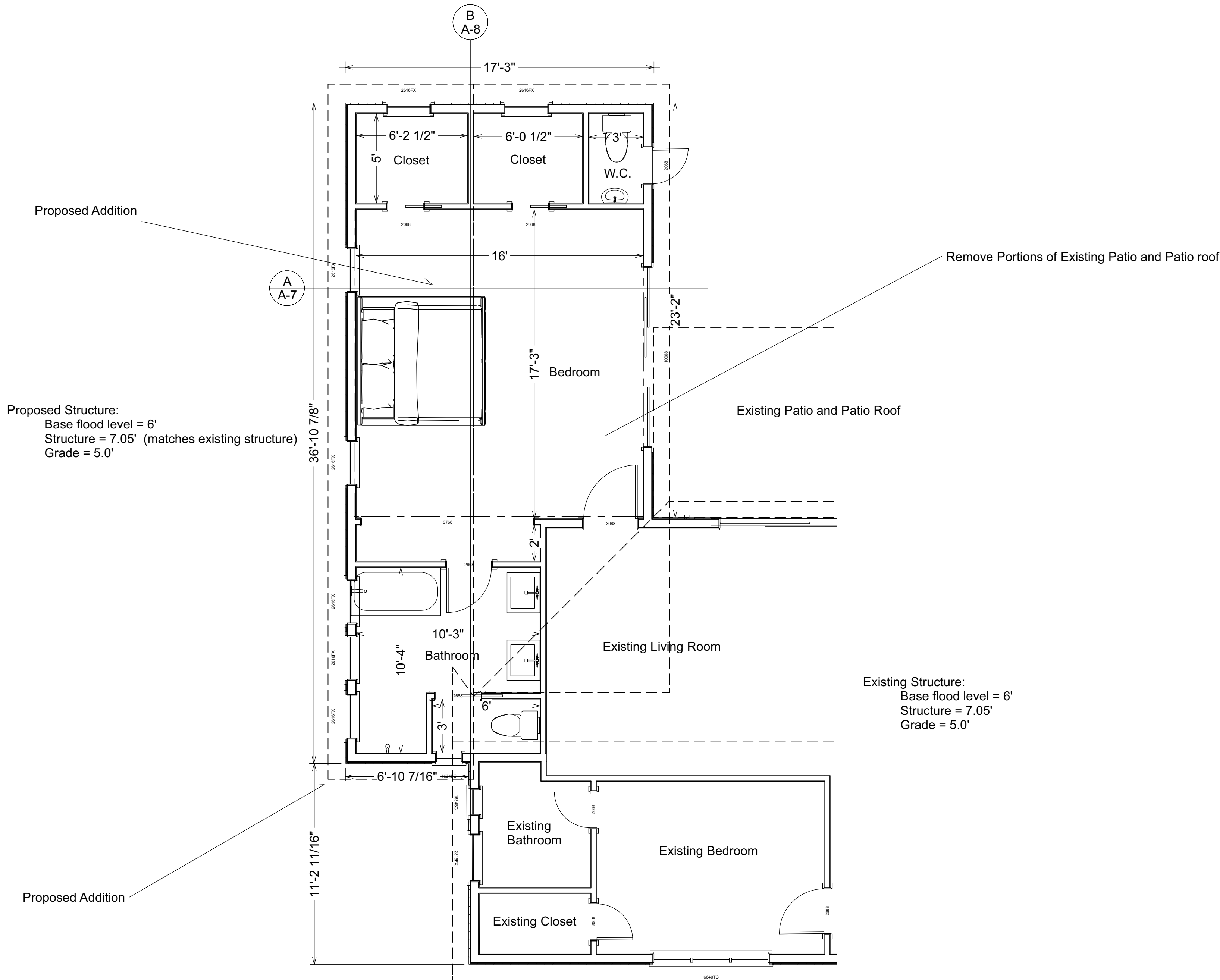
DRAWINGS by:
Glenn R. Anderson
1233 South St Key West Fl 33040
Tel: 305-922-2480

DATE:

3/12/2015

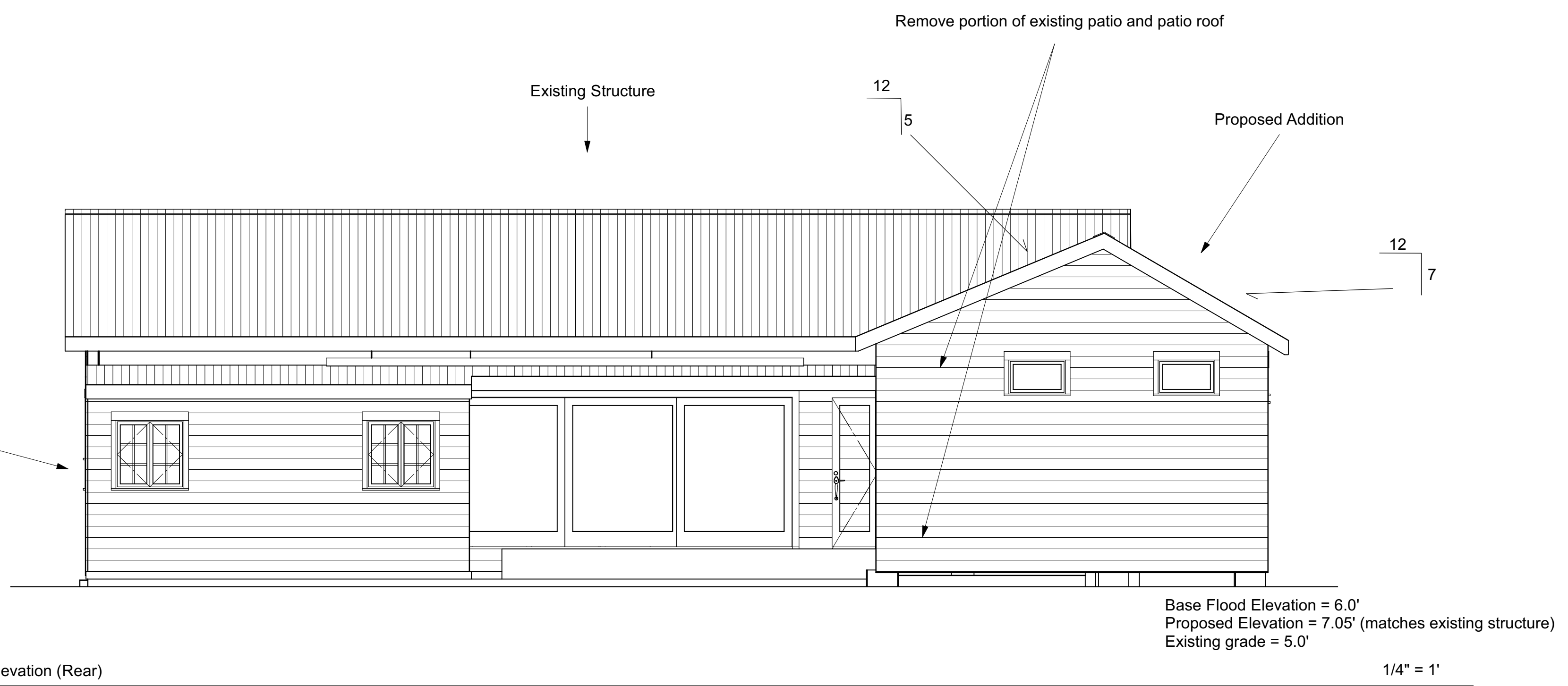
SHEET:

A-1
of 10



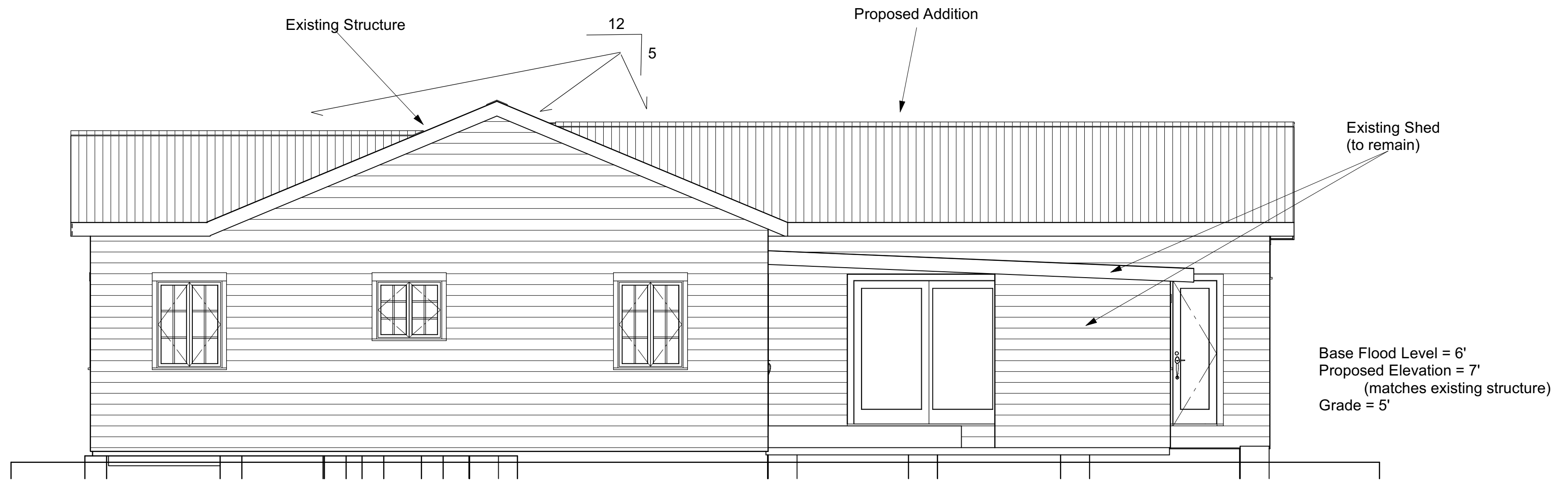
Floor Plan - Addition

1/4" = 1'



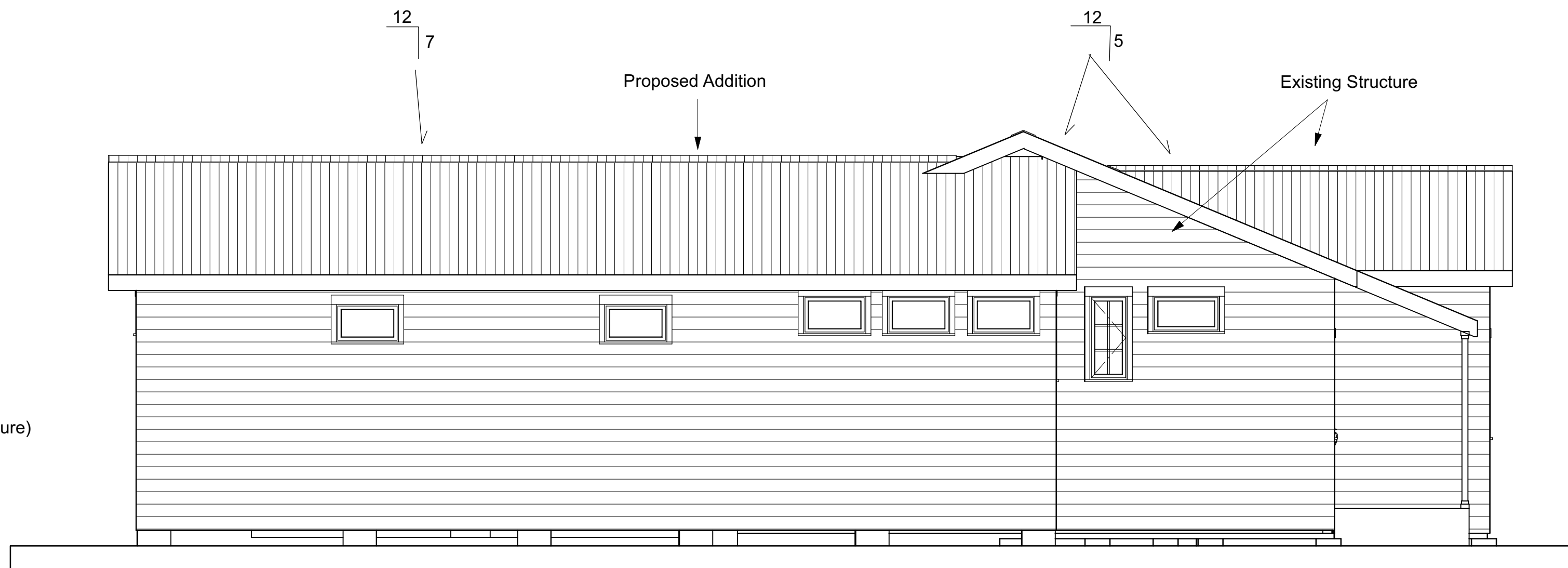
Existing Shed
(To remain)

Remove portion of existing patio and patio roof



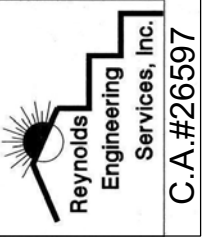
North East Elevation

1/4" = 1'



South West Elevation

1/4" = 1'



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
FLORIDA P.E.#46885
28350 LAUREL DRIVE SUITE 101, FL 33042
(305) 394-5987

SHEET TITLE:
Side Elevations

PROJECT DESCRIPTION:
**Master Suite Addition at
1233 South St.
Key West FL 33040**

DRAWINGS BY:
Glenn R. Anderson
1233 South St Key West FL 33040
Tel: 305-922-2480

DATE:
3/13/2015

SHEET:

A-4
of 10

GENERAL NOTES:

- Design based on Florida Building Code 2010
- All work shall comply with applicable codes
- Contractor (owner) shall follow the manufacture specifications and recommendations when selecting the correct connector for the environment and wood type.
- The Builder (owner) using these plans shall be responsible for the means, methods, techniques, sequences, procedures an all safety aspects of construction.
- Design loads are as follows:
 - Wind load @180 MPH ASCE 7-10 Exposure C
 - Floor Live 40, Dead 20, Deflection L/360
 - Ceiling Live 20, Dead 10, Deflection L/240
 - Roof Live 20, Dead 20, Deflection L/240
- Roof Wind pressures: Zone 1 = +17.3 psf, -34.7 psf Zone 2 = +23.3 psf, -64.6 psf Zone 3 = +23.9 psf, -97.6 psf
- Existing underground utilities are not shown and contractor (owner) shall contact all utility companies prior to any excavation.
- All lumber for structural members shall be Pressure-Treated Southern Pine. #2 or better.
- See Windows/Doors section of this package for window and door NOA and Design Pressure calculations.

Materials: walls & roof

- Exterior Wall studs and plates: 2 x 6 @16" o.c. w/solid blocking mid-span. Treated Southern Pine #2 Lumber
- Interior wall studs and plates: 2 x 4 @ 16" o.c. w/solid blocking mid-span. Treated Southern Pine #2 Lumber
- Plates: all walls (1) bottom plate, (2) top plates. Minimum 48" overlap on plate ends.
- Exterior wall sheathing: 5/8" Treated plywood sheathing. Any seams will be backed by solid 2x4" blocking.
- Exterior wall wrap: Tyvek wrap
- Exterior cladding: 1x8" Novelty (profile #105) treated wood siding - siding will match siding on front of existing structure
- Interior walls: 1/2" mold resistant gypsum drywall
- Roof framing: trusses - see Deco Truss design package for details on trusses and scissor truss portion of roof assembly. See design for detail on the stick-built portion of the roof.
- Roof sheathing - 5/8" treated plywood sheathing installed with spacing clips
- Roof underlayment - Grace Ice & Water shield HT membrane or equivalent installed per manufacture specifications. Miami-Dade County Code Report NOA10-0415.02 and Florida State Approval Report No. FL14166.1
- Roof panels: Firestone 5-V-Crimp Metal Roof Panel System or equivalent. NOA 10-1214.01
- Insulation: Exterior Walls and Attic: Open cell foam insulation. Approx. R-21 on walls and R-50 in attic. Under subfloor: Closed cell foam insulation. Approx. R-21.

Connections: walls and roof (all connectors to be installed per manufacturer specifications.)

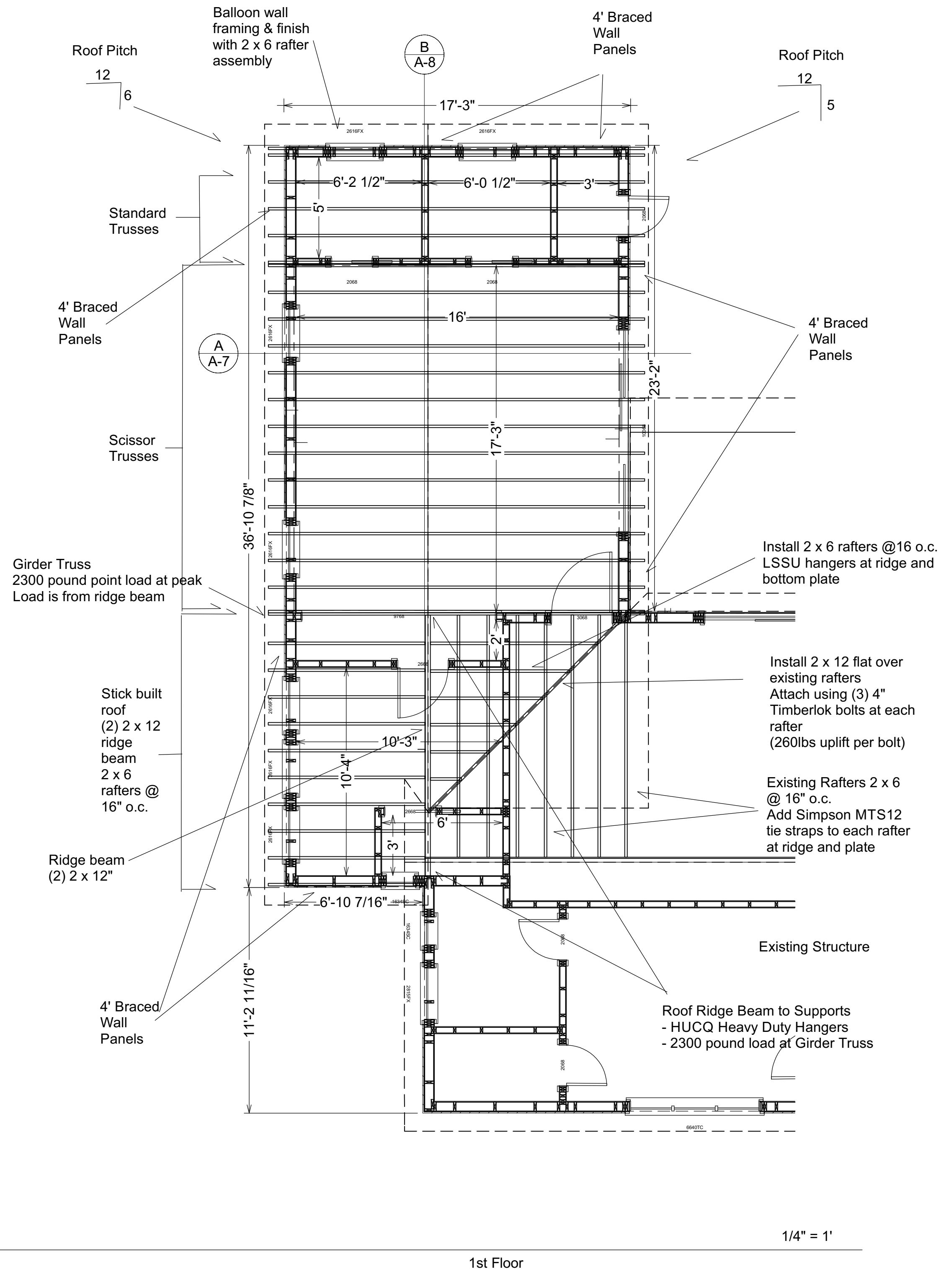
- Studs to Bottom Plate and perimeter beam (at every stud): (3) 10d nails at each stud to plate connection, (2) 10d nails @ 8" o.c. plate to perimeter beam and Simpson H6 straps
- Double top plate to stud: (3) 10d nails for plate to stud and (2) 10d nails @ 8" o.c. for plate to plate connections and Simpson H6 Straps. Minimum 48" overlap on plate ends
- Sheathing to Bottom plate: 8d nails or screws @ 3" o.c.
- Sheathing to studs: 10d nails or screws @ 6" o.c.
- Sheathing to top plates: 8d nails or screws @ 2" o.c. staggered into both top plates.
- Rafter/trusses top plates and walls: Simpson MTS16
- Ridge beam to girder truss and wall: Simpson HUCQ412 SDS Heavy duty hanger
- Rafters to ridge beam: Simpson LSSU
- Rafter to Rafter (over ridge beam): Simpson MTS12
- Roof sheathing: 8d nails @ 4" o.c. edge and @ 6" o.c. field.
- Roof underlayment: self-adhesive
- Roof panels: Panel overlap and center ribs are to be installed using #9 x 1 1/2" HWD wood screws 1" from the panel end and maximum fastener spacing of 12" o.c. thereafter.

Wall Bracing:

Continuous Sheathing - Wood Structural Panel Method (CS-WSP) Wall bracing usings 5/8" Treated Plywood sheathing. Locations as indicated on plan. Braced Wall Panels are 48" wide using connection schedule outlined above. Panels are within 12.5' of corners and two per 25' of braced wall line.

Window/Door Headers:

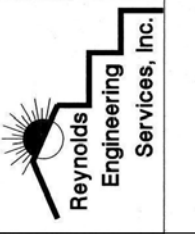
Eight small windows & WC door (32" RO): (2) 2x6" header w/ one Jack w/ Simpson MTS12 straps on each end.
 10' sliding glass door: (3) 2x12" header w/ two Jacks w/ Simpson MTS 24 straps on each end.



Wall and Roof Framing Plan - Addition

1/4" = 1'

1st Floor



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#46885
 2830 LAUREL DRIVE SUITE 101
 GULF BAY, FL 33707
 (813) 394-5987

SHEET TITLE:
Wall and Roof Framing Plan

PROJECT DESCRIPTION:
**Master Suite Addition at
 1233 South St.
 Key West FL 33040**

DRAWINGS BY:
 Glenn R. Anderson
 1233 South St Key West FL 33040
 Tel: 305-922-2480

DATE:

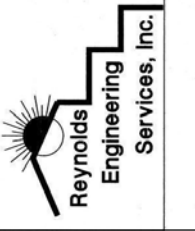
3/10/2015

SHEET:

A-6
 of 10

GENERAL NOTES:

For Foundation and Flooring materials, connector, and connection details, see A-5, Foundation plan
 For Walls and Roof materials, connector, and connection details, see A-6, Wall Roof plan
 Roof trusses designed by delegate engineer licensed in the state of Florida, see Deco Truss attachment



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#46885
 28380 LAFFITE DRIVE SUITE 101, FL 33042
 (305) 394-5987

Profile A

SHEET TITLE:

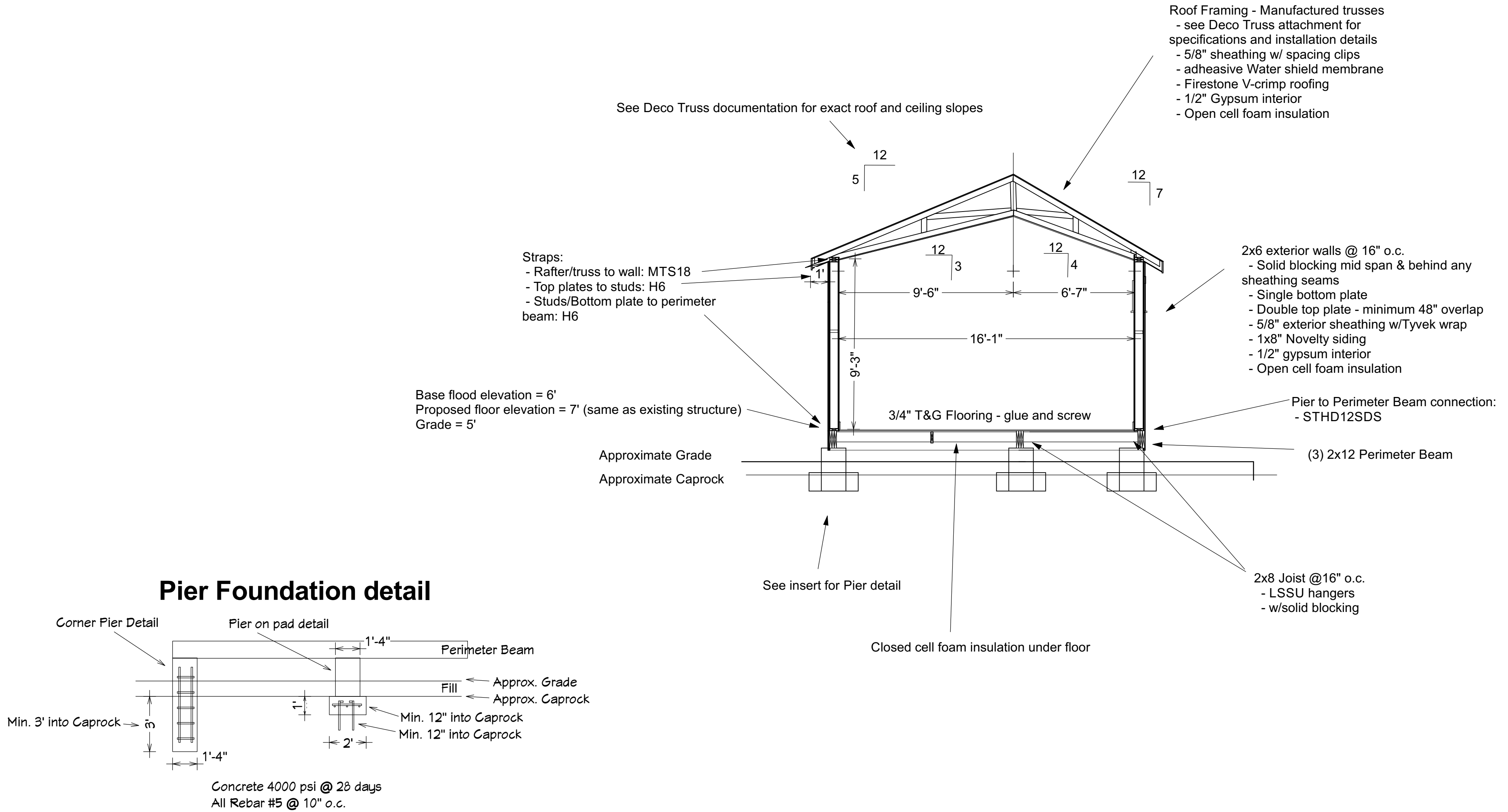
PROJECT DESCRIPTION:
Master Suite Addition at
1233 South St.
Key West FL 33040

DRAWINGS BY:
 Glenn R. Anderson
 1233 South St Key West FL 33040
 Tel: 305-922-2480

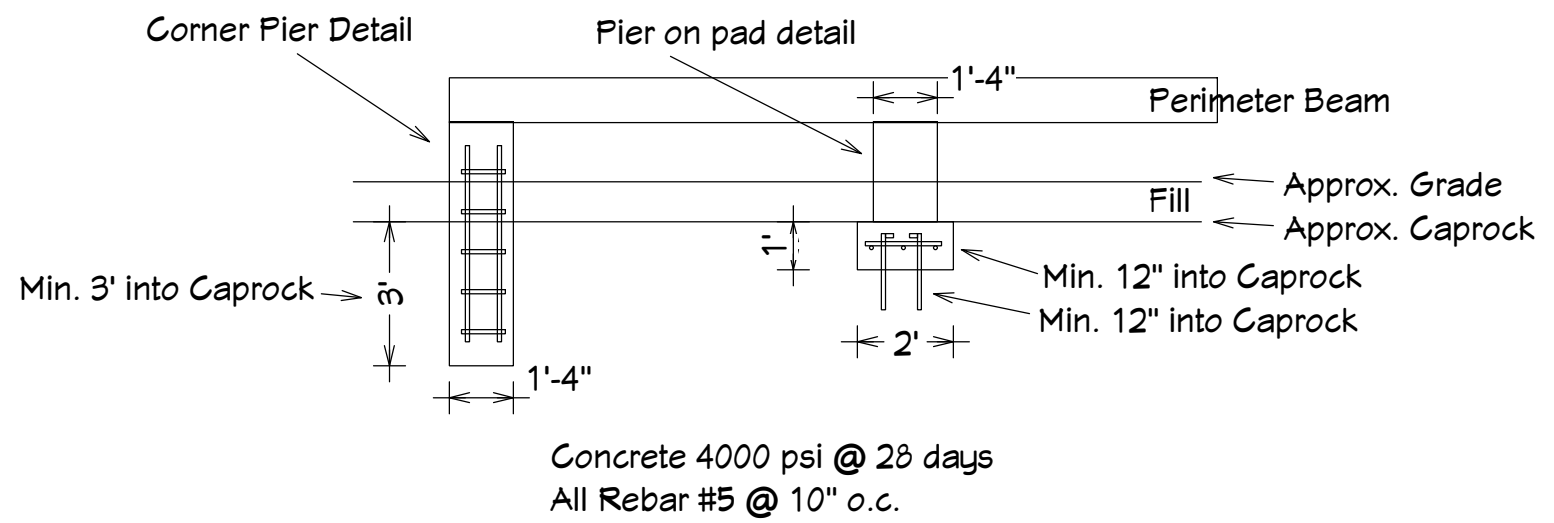
DATE:
 3/12/2015

SHEET:

A-7
 of 10



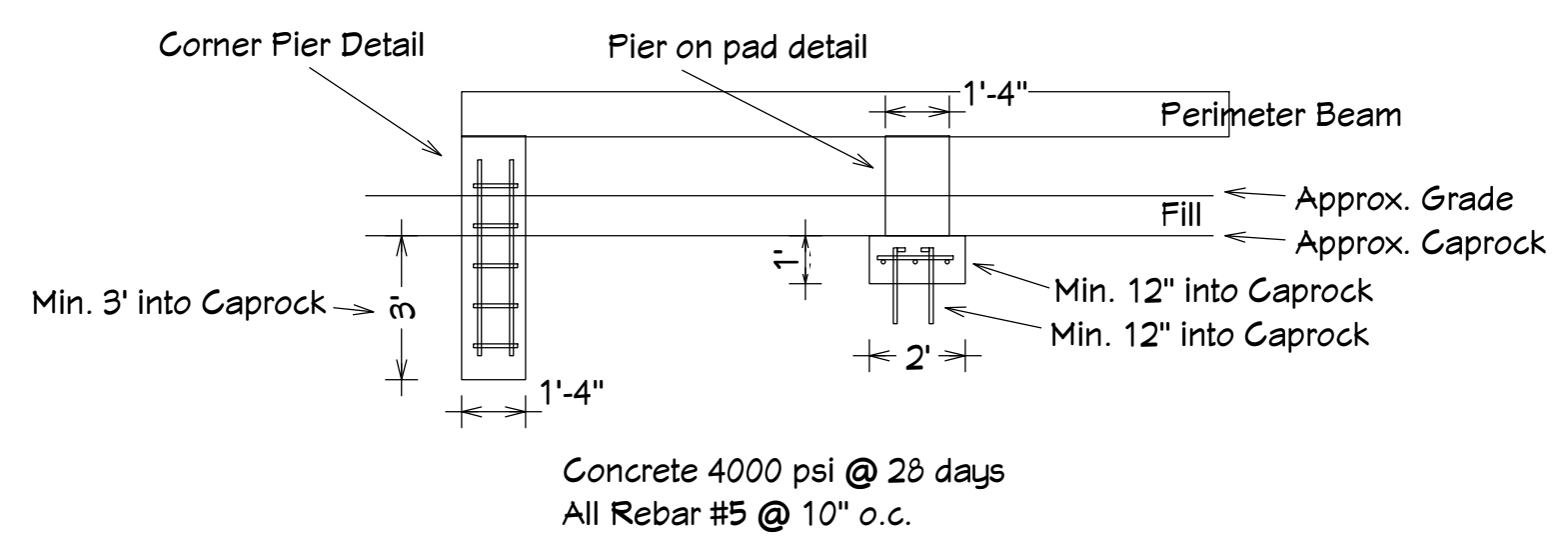
Pier Foundation detail



Profile A

1/4" = 1'

Pier Foundation Detail

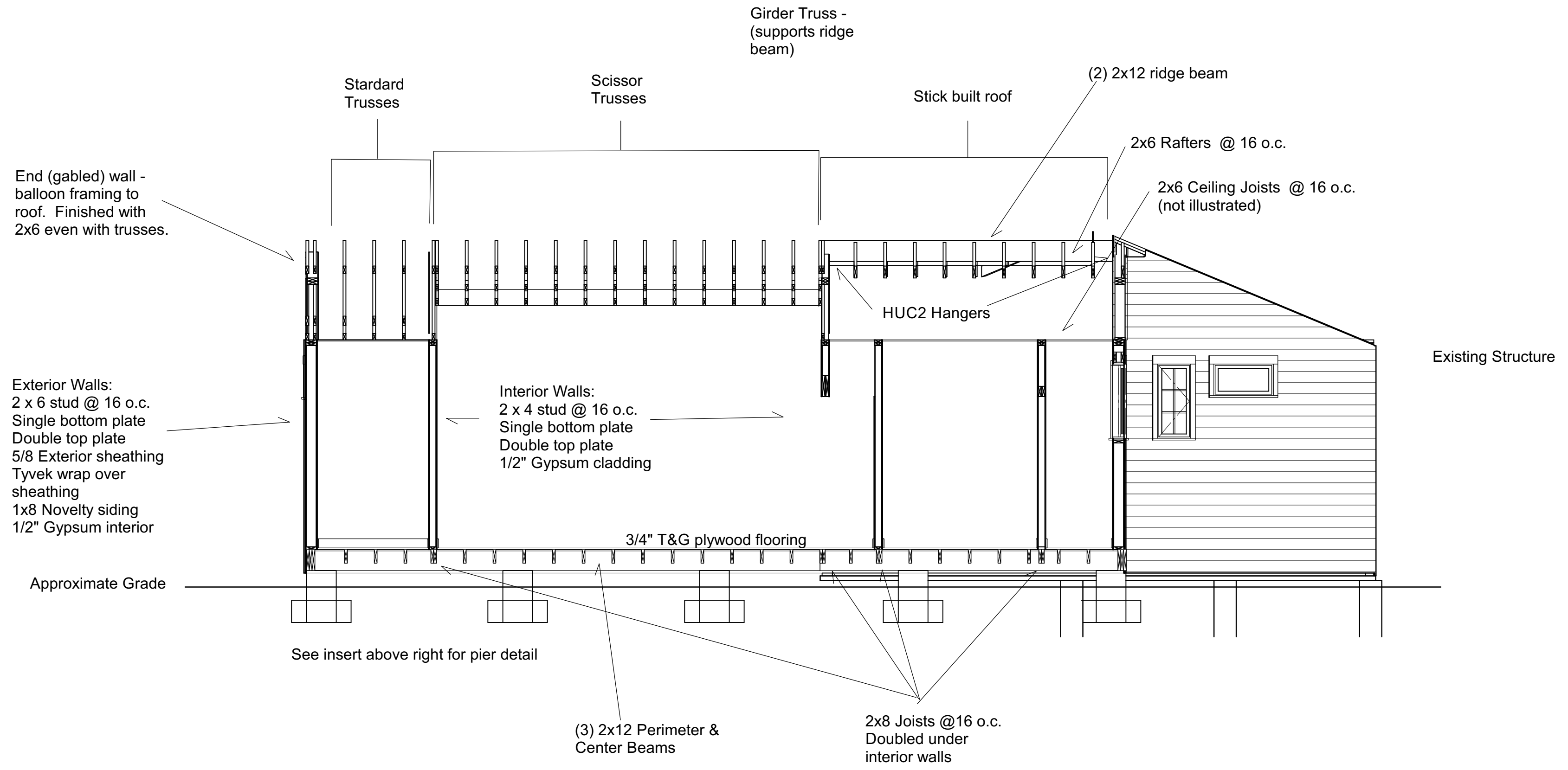


GENERAL NOTES:

For Foundation and Flooring materials, connector, and connection details, see A-5, Foundation plan

 For Walls and Roof materials, connector, and connection details, see A-6, Wall Roof plan

 Roof Truss designed by delegate engineer licensed in the state of Florida. See Deco Truss attachment












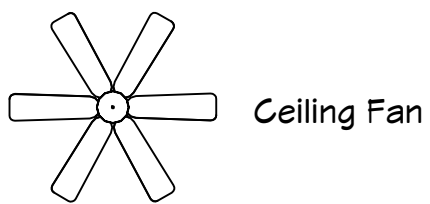
Profile B

1/4" = 1'

GENERAL NOTES, Electrical:

1. 200 Electrical Panel, 40 breaker - Existing
2. New circuits (all circuits AFCI protected)
 - a. Master Suite outlets, 15 amp, 110v, 14 gauge first outlet GFCI
 - b. Master Suite lights, 15 amp, 110v, 14 gauge
 - c. Master Bath outlets, 15 amp 110v, 14 gauge, first outlet GFCI
 - d. Master Bath Lights, 15 amp, 110v, 14 gauge
 - e. Jucuzzi tub power, 20 amp, 110v, 12 gauge, GFCI
 - f. Exterior Lights, 15 amp, 110v, 14 gauge
3. Two outlets, 20 amp, 110v, 12 gauge will be added to an existing circuit for the airhandlers. Airhandler draw is 2.8 amp max.

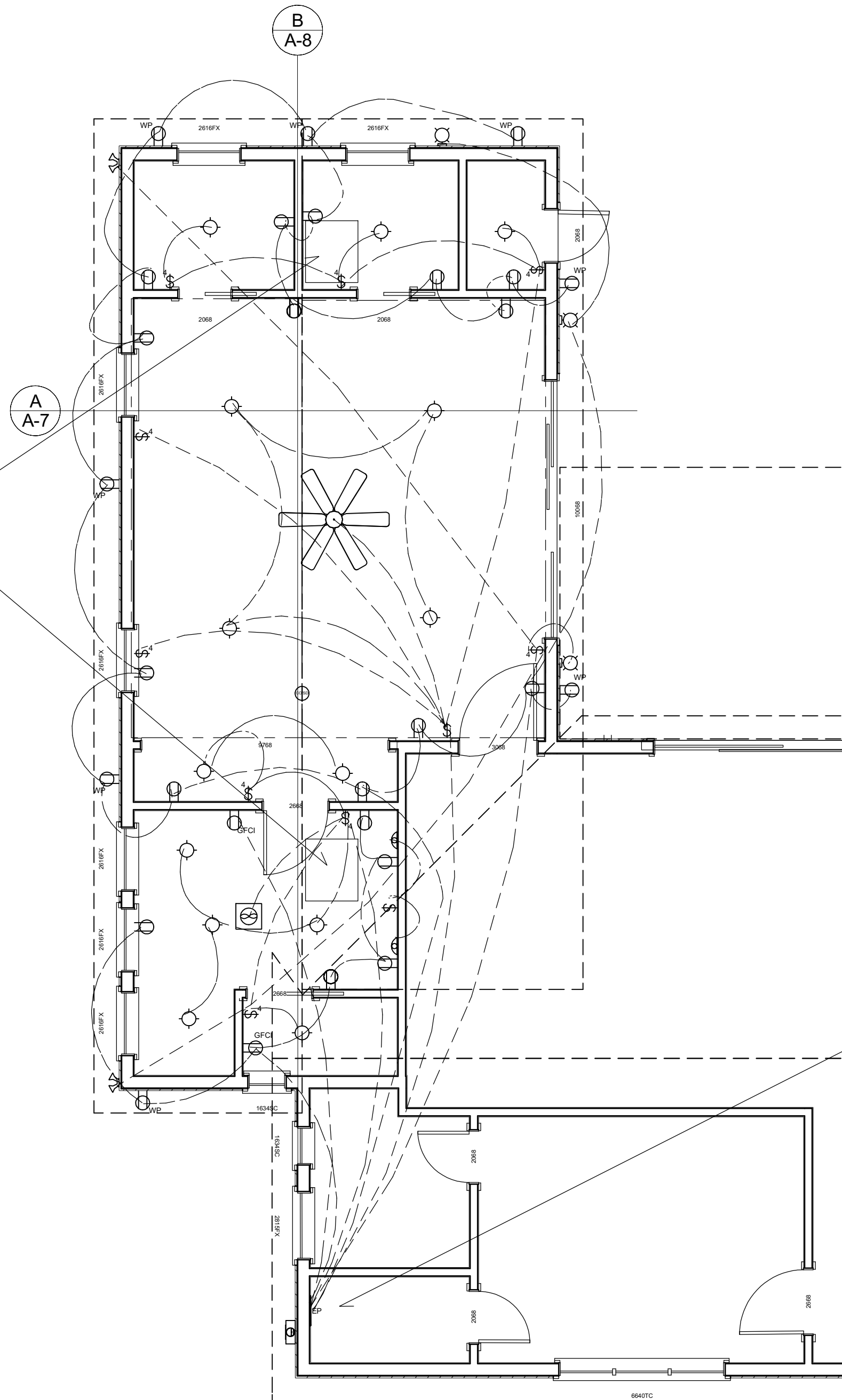
-  Duplex Outlet, GFCI
-  Duplex Outlet
-  Single Pole Switch
-  Multi Pole Switch
-  CO and Smoke Detector
-  Outside Light
-  Outside Floodlight
-  Recessed Light
-  Bathroom Vent



GENERAL NOTES, HVAC:

Air Conditioning and Heat to be provided by (2) SZSP Spacepak Airhandlers, 38 lbs each.
 Air handlers to be connected into existing Spacepak Chiller system
 Spacepak Chiller system was designed and sized to include these two Airhandlers under work permit # 14-00004743 (HARC #14-01001661)
 Manual J worksheet submitted under that work permit included this addition and equipment
 Ducting is via (16) 2" ducts that are routed to various locations throughout the addition

Spacepak SZSP Airhandlers
(in attic)



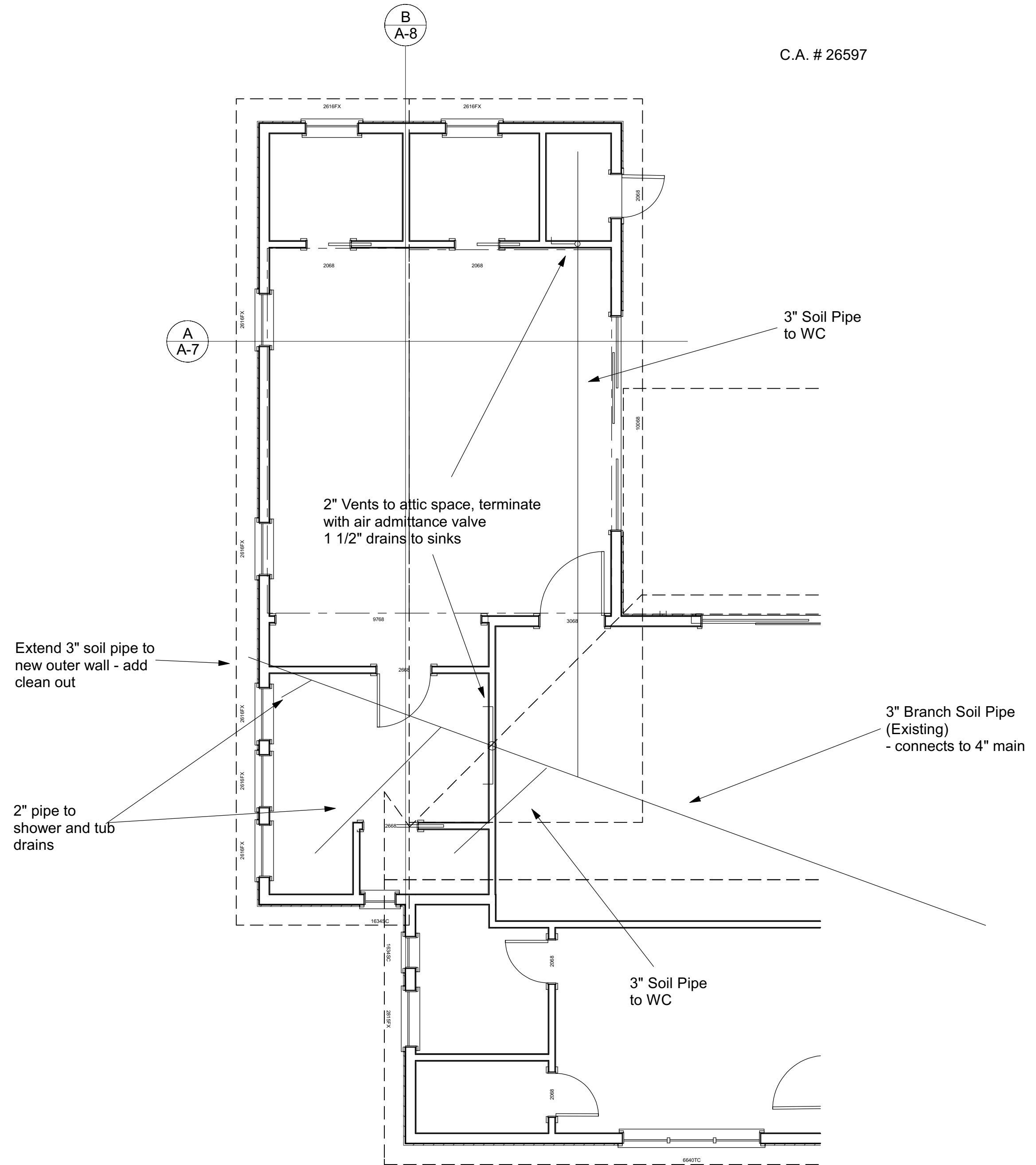
Electrical Plan

1/4" = 1'

GENERAL NOTES:

1. Design based on Florida Building Code 2010
2. All work shall comply with applicable codes
3. Materials - PVC
4. Trap/Drain and Vent sizing:
 - Main soil pipe - 3"
 - WC - 3"
 - Shower and Bath - 2"
 - Sinks - 1 1/2"
 - Vents - 2"
4. DFU calculations:
 - Branch soil pipe (Existing, connects to 4" main) 20 DFU available
 - WC (2) - 8 DFU
 - Shower and Bath (2) - 4 DFU
 - Sinks (3) - 3
 - total DFU 15*
 - *or two bathroom groups = 12 DFU

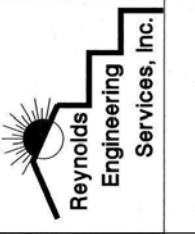
C.A. # 26597



Plumbing Plan

1st Floor

1/4" = 1'



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#46885
 28350 LAUREL DRIVE SUITE 101, FL 33042
 (305) 394-5987

SHEET TITLE:
Plumbing Plan

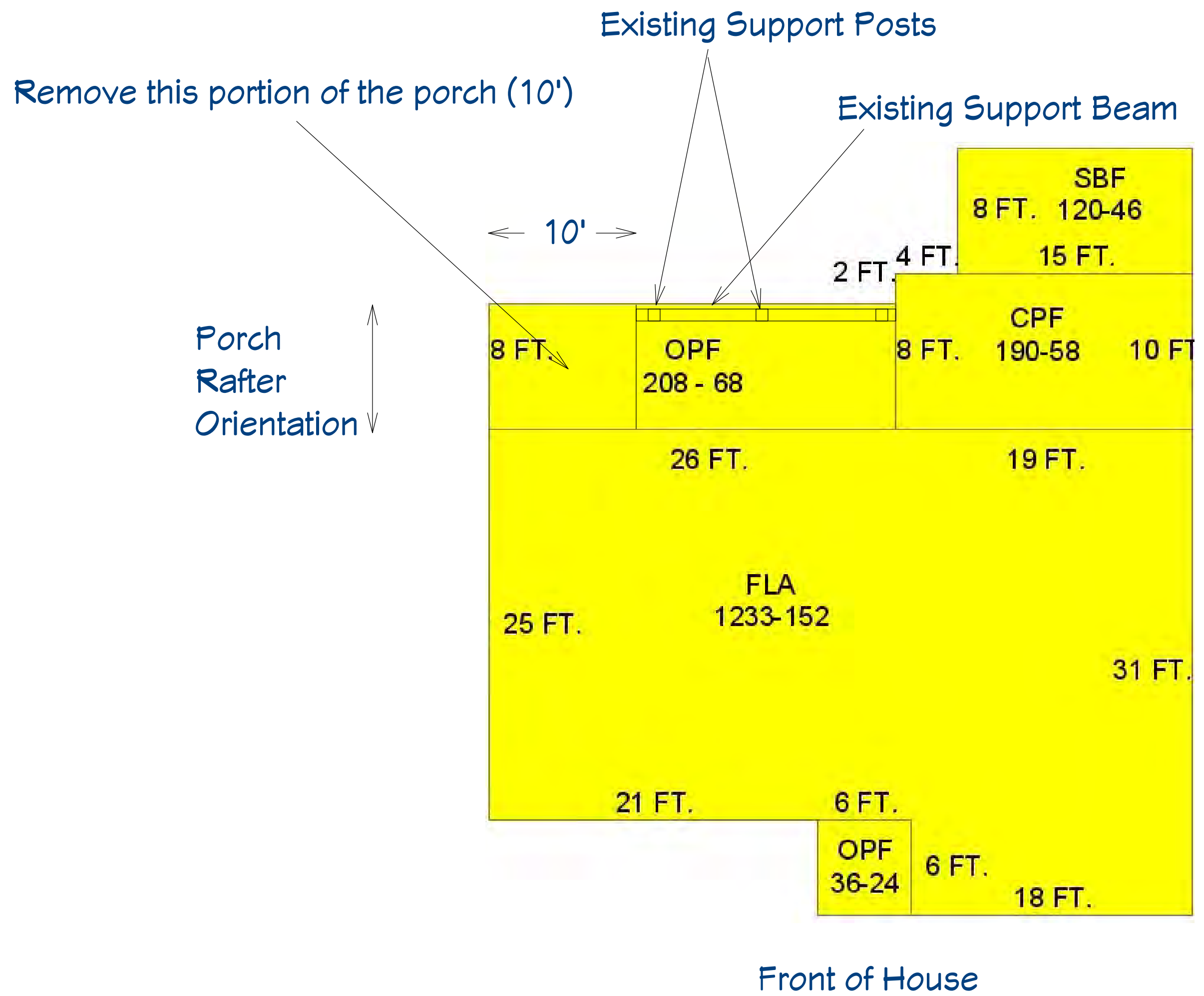
PROJECT DESCRIPTION:
**Master Suite Addition at
 1233 South St.
 Key West FL 33040**

DRAWINGS by:
 Glenn R. Anderson
 1233 South St Key West Fl 33040
 Tel: 305-922-2480

DATE:
 3/12/2015

SHEET:

A-10
 of 10



SHEET TITLE:
Rear Porch Demo Plan

PROJECT DESCRIPTION:
1233 South St.
Key West FL 33040

DRAWINGS by:
Glenn R. Anderson
1233 South St Key West Fl 33040
Tel: 305-922-2480

DATE:
3/30/2015

SHEET:

D-1

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., April 28, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW ADDITION ON CONTRIBUTING HOUSE. DEMOLITION OF
REAR PATIO, CARPORT, AND SHED.**

FOR- #1233 SOUTH STREET

Applicant – Glenn Anderson

Application # H15-01-0408

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION



HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared _____
____ Glenn Anderson _____, who, first being duly sworn, on oath, depose and
says that the following statements are true and correct to the best of his/her
knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural
Review Commission (HARC) was placed on the following address:
_____ 1233 South St _____ on the ___ 22 ___ day
of ___ April _____, 2015 _____.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic
Architectural Review Commission to be held on ___ April
28th _____, 2015 _____.

The legal notice(s) is/are clearly visible from the public street adjacent to the
property.

The Certificate of Appropriateness number for this legal notice is H15-01-0408.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:



Date: _ April 22, 2015 _____

Address: _ 1233 South St _____

City: _ Key West _____

State, Zip: _ Fl 33040 _____

The forgoing instrument was acknowledged before me on this ___ 22 ___ day of
___ April _____, 2015 _____.

By (Print name of Affiant) ___ Glenn Anderson _____ who is personally known to
me or has produced _____ as identification and
who did take an oath.

NOTARY PUBLIC

Sign Name: 

Print Name: Miriam Cleare

Notary Public - State of Florida (seal)

My Commission Expires: 03/30/19



PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1042684 Parcel ID: 00042040-000000

Ownership Details

Mailing Address:

ANDERSON GLENN R AND CATHERINE M
1233 SOUTH ST
KEY WEST, FL 33040-3405

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

Affordable Housing: No

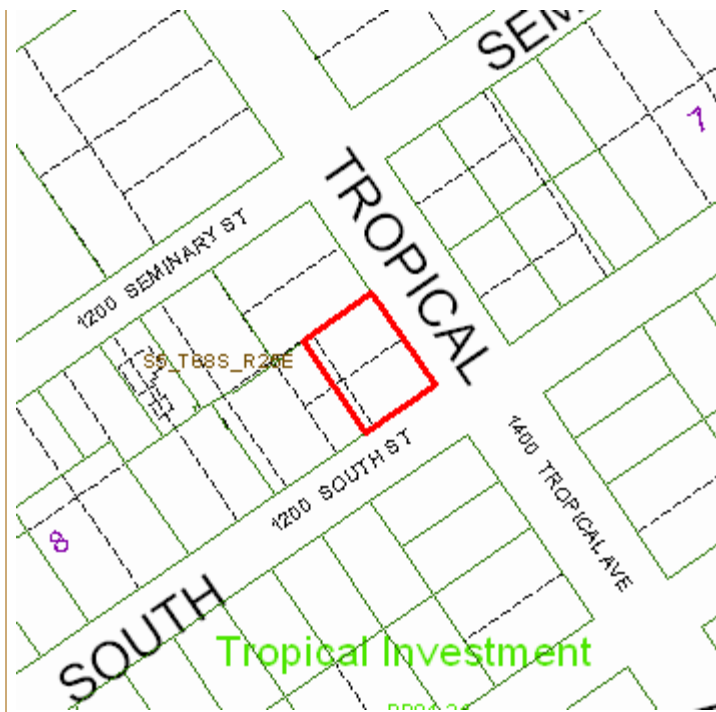
Section-Township-Range: 05-68-25

Property Location: 1233 SOUTH ST KEY WEST

Subdivision: Tropical Building and Investment Co

Legal Description: KW TROPICAL BLDG AND INVESTMENT CO SUB PT LOT 11-12 SQR 8 TR 19 PB 1-34 G43-309-310
OR278-152/53 OR2687-365/66 OR2700-1076/77C

Click Map Image to open interactive viewer



Exemptions

Exemption	Amount
39 - 25000 HOMESTEAD	25,000.00
44 - ADDL HOMESTEAD	25,000.00

Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	70	93	6,606.00 SF

Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 0
Total Living Area: 1233
Year Built: 1950

Building 1 Details

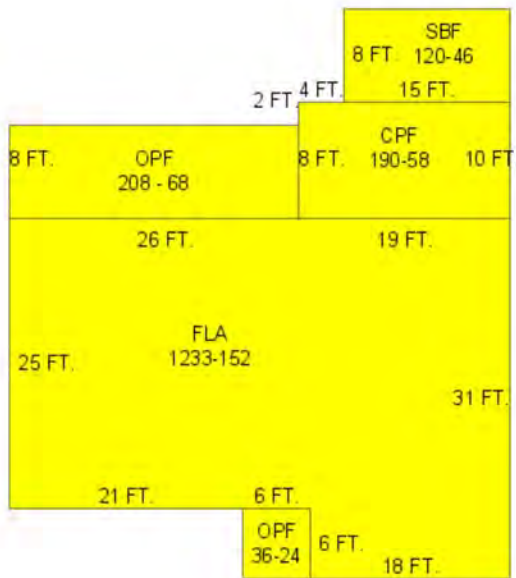
Building Type R1	Condition A	Quality Grade 450
Effective Age 20	Perimeter 152	Depreciation % 27
Year Built 1950	Special Arch 0	Grnd Floor Area 1,233
Functional Obs 0	Economic Obs 0	

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP	Roof Cover ASPHALT SHINGL	Foundation WD CONC PADS
Heat 1 NONE	Heat 2 NONE	Bedrooms 3
Heat Src 1 NONE	Heat Src 2 NONE	

Extra Features:

2 Fix Bath 1	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	OPF		1	2002					208
1	FLA	9:STONE/BRICK	1	1949	N	Y	0.00	0.00	1,233

2	<u>OPF</u>	1	1949	N	N	0.00	0.00	36
3	<u>CPF</u>	1	1949	N	N	0.00	0.00	190
4	<u>SBF</u>	1	1949	N	N	0.00	0.00	120

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	PT2:BRICK PATIO	88 SF	22	4	2014	2015	2	50
1	FN2:FENCES	146 SF	0	0	2014	2015	5	30
2	PO2:LOW COST POOL	100 SF	0	0	1984	1985	2	40

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
14-3263	07/15/2014	12/01/2014	20,000		REMOVE FACADE AND REPLACE WITH T&G SIDING, REMOVE CLAMSHELL SHUTTERS AND SECURITY BARS, REPLACE 5 WINDOWS. CLOSE IN WINDOWS AND DOORS ON 2 OUTER WALLS AND DOORS, REPLACE FRONT DOOR, INSTALL NEW WALKWAY
14-3264	07/15/2014	12/01/2014	1,000		REMOVE EXISTING FENCE ON WEST SIDE, INSTALL 6'SOLID FENCE BETWEEN WES FRONT CORNER REMOVE AND REPLACE FENCE FROM NORTH CORNER AND REPLACE WITH 4'SOLE2'OPEN
14-4743	10/27/2014	12/16/2014	7,500		INSTALL HVAC 5 TO 10 TON AND STANDBY GENERATOR
14-5188	11/19/2014		750		REPLACE WOOD SIDING AS NEEDED . BUILD BATHROOM AND CLOSET IN EXSISTING SPACE INCLUDES SHOWER, TOILET , AND SINK.
14-5186	11/19/2014		150		INSTALL LIGHTS AND OUTLETS IN BATHROOM WITH FAN
14-5187	11/19/2014		800		INSTALL SINK, TOILET AND SHOWER IN NEW BATH
A951588	05/01/1995	09/01/1995	3,785		16 SQS ASPHALT SHINGLES
01-3816	12/07/2001	10/03/2002	1,200		UPGRADE ELECTRIC
02-0872	04/11/2002	10/03/2002	2,500		ROOFING

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	130,360	1,150	402,751	534,261	206,926	25,500	181,426
2013	111,628	1,166	376,089	488,883	203,868	25,500	178,368
2012	113,345	1,182	354,598	469,125	200,460	25,500	174,960
2011	113,345	1,198	343,853	458,396	194,621	25,500	169,121
2010	115,063	1,214	214,908	331,185	191,745	25,500	166,245
2009	128,330	1,230	349,226	478,786	186,704	25,500	161,204
2008	125,997	1,246	506,048	633,291	186,517	25,500	161,017
2007	145,108	1,262	926,100	1,072,470	181,084	25,500	155,584

2006	224,208	1,278	496,125	721,611	176,667	25,500	151,167
2005	224,208	1,294	363,825	589,327	171,521	25,500	146,021
2004	145,320	1,310	363,825	510,455	166,525	25,500	141,025
2003	174,384	1,326	152,145	327,855	163,421	25,500	137,921
2002	126,383	1,342	152,145	279,870	159,591	25,500	134,091
2001	114,231	1,358	114,109	229,698	157,078	25,500	131,578
2000	110,369	1,153	97,571	209,093	152,503	25,500	127,003
1999	101,280	1,069	97,571	199,920	148,494	25,500	122,994
1998	75,744	809	97,571	174,123	146,156	25,000	121,156
1997	69,251	747	84,341	154,339	143,713	25,000	118,713
1996	58,431	664	84,341	143,436	139,528	25,000	114,528
1995	53,237	636	84,341	138,214	136,125	25,000	111,125
1994	47,610	596	84,341	132,547	132,547	25,000	107,547
1993	47,651	151	84,341	132,143	132,143	25,000	107,143
1992	47,651	151	84,341	132,143	132,143	25,000	107,143
1991	47,651	151	84,341	132,143	132,143	25,000	107,143
1990	47,651	151	67,804	115,606	115,606	25,000	90,606
1989	43,319	137	66,150	109,606	109,606	25,000	84,606
1988	21,796	137	56,228	78,161	78,161	25,000	53,161
1987	21,532	137	37,375	59,044	59,044	25,000	34,044
1986	21,644	137	35,721	57,502	57,502	25,000	32,502
1985	20,986	137	25,028	46,151	46,151	25,000	21,151
1984	19,581	137	25,028	44,746	44,746	25,000	19,746
1983	19,626	137	25,028	44,791	44,791	25,000	19,791
1982	20,025	137	18,754	38,916	38,916	25,000	13,916

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.

Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/20/2014	2700 / 1076	0	<u>WD</u>	<u>11</u>
6/2/2014	2687 / 365	636,000	<u>WD</u>	<u>02</u>

This page has been visited 215,183 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176