

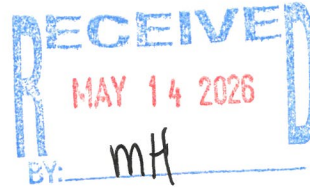
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OF COUNSEL:

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May 14, 2026


Taylor Brown, Planning Director
City of Key West Planning Department
1300 White Street
Key West, FL 33040

RE: 1623-1624 Spalding Court Redevelopment
AH of Monroe County, Inc./dba Keys Health & Housing, Phase III – Peacock House

Mr. Brown:

Please find enclosed an application for Phase III of a Major Development Plan and Conditional Use, along with the corresponding submittal packet, on behalf of our client, AH of Monroe County Inc., a Florida non-profit corporation (“Applicant”), for the redevelopment of the structures identified as 1623 and 1624 Spalding Court. These structures are part of the Poinciana housing complex located at 3401 Duck Avenue, Key West, Florida 33040 (the “Property”). The Property is the primary location for providing social services to local residents in need under the Continuum of (CoC) program. These specific structures will be redeveloped for the continued permanent supportive housing needs of Peacock House residents.

As always, we appreciate your assistance and guidance with this project. If you or staff have any questions, please feel free to reach out to me. We look forward to the successful completion of this much-needed redevelopment to provide better affordable housing for the residents of Key West.

Sincerely,

Richard J. McChesney, Esq.

Enclosures:
As stated

Cc: Scott Pridgen (via email)

Application Form



DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: www.cityofkeywest-fl.gov

Fees listed below include a **\$376.81 advertising/noticing fee** and a **\$134.01 fire review fee** where applicable. Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule.

Development Plan and Conditional Use Application Fee Schedule	
Development Plan	
Minor Development Plan	
Within Historic District Total Application Fee	\$ 3,618.26
Outside Historic District Total Application Fee	\$ 2,814.20
Conditional Use Total Application Fee	\$ 1,474.11
Extension Total Application Fee	\$ 670.05
Major Development Plan Total Application Fee	\$ 4,958.35
Conditional Use Total Application Fee	\$ 1,474.11
Extension Total Application Fee	\$ 670.05
Administrative Modification Fee	\$ 972.41
Minor Modification Fee	\$ 1,853.65
Major Modification Fee	\$ 2,619.41
Conditional Use (not part of a development plan) Total Application Fee	\$ 3350.24
Extension (not part of a development plan) Total Application Fee	\$ 670.05
Revision or Addition (not part of a development plan) Fee	\$ 2431.01

Applications will not be accepted unless complete

Development Plan

Major _____

Minor _____

Conditional Use

Historic District

Yes _____

No _____

Please print or type:

- 1) Site Address: 1623 - 1624 Spalding Court as part of 3401 Duck Avenue
- 2) Name of Applicant: Richard McChesney/Spottswood Law Firm
- 3) Applicant is:
 Property Owner: _____
 Authorized Representative: _____
 (attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: 500 Fleming Street, Key West, FL 33040
- 5) Applicant's Phone #: 305-294-9556 Email: Richard@spottswoodlaw.com
- 6) **Email Address:** Richard@spottswoodlaw.com
- 7) Name of Owner, if different than above: City of Key West
- 8) Address of Owner: 1300 White Street

9) Owner Phone #: 305-809-3945 Email: _____

10) Zoning District of Parcel: MDR-1 RE# 00064740-000000

11) Is Subject Property located within the Historic District? Yes _____ No X

If Yes: Date of approval _____

HARC approval # _____

OR: Date of meeting _____

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Subject project is phase 3 of the redevelopment for structures within Poinciana Housing at 3401 Duck Ave. This project involves the demo of two deteriorating 1960s structures and replacing them with a 3-story structure for 42 residents of the existing CoC/social services operation on site.

13) Has subject Property received any variance(s)? Yes _____ No X **The structures as part of this redevelopment have not and none are requested.**
If Yes: Date of approval _____ Resolution # _____
Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?
Yes X No _____

If Yes, describe and attach relevant documents.

This project is under a master lease which requires the continued social service use on the site.

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

Planning Analysis

Peacock House Redevelopment
1623-1624 Spalding Court

**Phase III of a Major Development Plan
and Conditional Use**

**Parcel Address: 3401 Duck Avenue
Parcel ID: 00064740-000000**



SOLUTION STATEMENT

A.H. of Monroe County, Inc., (“AH”), dba Keys Health & Housing, and the City of Key West (“City”) have partnered to redevelop the social service assisted living program at 1623 and 1624 Spalding Court, to provide social services to residents of the Peacock House.

The project will consist of a total of 4.2 BPAS units or forty-two (42) beds. The redevelopment will consist of three stories with 19 auto parking spaces, be FEMA and hurricane-compliant and meet green building standards. The site layout has been designed to enhance the current conditions of the site and buildings and is planned to be cohesive with the landscape and site design of the recently approved redevelopment of phases I and II. Both existing structures have exceeded their useful life and are below base flood elevation.

BACKGROUND

The two existing structures at 1623 - 1624 Spalding were built as two-story quadplexes as part of the Naval Air Station Key West (NASKW) naval housing in the 1950s and 60s. Now owned by the City of Key West, the parcel consists of 14 structures and is officially addressed as 3401 Duck Avenue with secondary addresses assigned to interior buildings. This Property provides affordable housing and social services to residents of the 67¹ units. The Monroe County Continuum of Care (CoC) manages 57 housing units operated by eight nonprofit organizations within the CoC network. A.H. Monroe, a member of the CoC, operates 30 of these units, including the properties subject to this application.

Per City Memo dated November 21, 2025, the City of Key West Land Development Regulations (LDRs) provide specific BPAS (Building Permit Allocation System) equivalency factors for certain categories of residential and institutional living facilities. Under these provisions, nursing homes, rest homes, assisted living facilities, and convalescent homes are permitted to use an adjusted BPAS conversion rate that recognizes the unique characteristics of group-living residential models.

Pursuant to Sec. 108-994, Table 1.0, these facilities are assigned an equivalency factor of 0.10 BPAS units, meaning that ten (10) individual living units or resident beds equate to one (1.0) BPAS unit allocation. This provision is consistent with Section 86-9 (definition of terms), which classifies assisted living and congregate residential care facilities separately from traditional residential dwelling units.

Phase III:

¹ Per City of Key West Utility Department

This Phase III, involving the redevelopment of 1623 and 1624 Spalding Court, proposes to use 4.2 of the existing 9 units for the 42 beds in the new facility. The remaining 4.8 units (48 beds) will be banked.

AH of Monroe, Inc. previously applied for and was approved for 38.8 early evacuation BPAS units in July 2025. Those units are included in the bundle of rights for this Property and may be returned to the city if it is determined that they are not needed.

Phase III of a Major Development Plan: Per code Sec. 108-91.B.2(a), the addition or reconstruction of eleven or more permanent residential development requires approval as a Major Development Plan. As presented, the three phases of redevelopment constitutes the review and approval as a Major Development Plan.

Conditional Use: Per Sec. 122-278(3), a conditional use approval is required due to the redevelopment defined under code Sec. 86-9 as an assisted living and congregate care facility. A conditional use request accompanies this application.

ANALYSIS

The following is an analysis of the proposed project pursuant to major development plan and conditional use approval criteria.

Existing development is depicted in attached surveys and plans, and includes: the name of development, name of owner/developer, scale, north arrow, preparation and revision dates, location/street address, size of site, buildings, structures, parking, FEMA flood zones, existing grade, easements, utility locations, existing vegetation, and existing storm water.

The proposed redevelopment depicted in attached plans were prepared by licensed architects, and engineers. They include existing and proposed new buildings, required setbacks, parking, driveway dimensions and materials, utility locations, garbage and recycling, signs, lighting, project statistics, building elevations, height of buildings, finished floor elevations, grade, drainage plan, and landscape plan.

MAJOR DEVELOPMENT PLAN. ARTICLE II. DIVISION 7.

Sec. 108-226. Scope.

This application seeks to redevelop 1623-1624 Spalding Court located within the larger parcel addressed as 3401 Duck Avenue. The existing two structures will be replaced by a single three-story structure, be FEMA and hurricane-compliant and meet green building standards. The project aims to provide landscaping that is cohesive with the parcel as a whole.

Sec. 108-227. Title block.

Name of Development:	Peacock House
Property Owner:	City of Key West
Developer:	AH of Monroe County, Inc./dba Keys Health & Housing
Scale (architectural):	As noted on plans
Preparation & Revision Dates:	As noted on plans
Location:	1623-1624 Spalding Court (Part of 3401 Duck Avenue)

Sec. 108-228. Identification of additional key persons.

Authorized Agent: Richard McChesney/Spottswood, Spottswood, Spottswood & Sterling
Architect: MHK Architecture
Engineer: Allen Perez, Perez Engineering
Surveyor: Florida Keys Land Surveying
Landscape Architect: Keith Oropeza, GAI Consultants

Sec. 108-229. Project description.

This proposed Phase III of the major development project is the last phase of a multi-phase redevelopment. Phase I was approved by City Commission on September 3, 2025. Phase II was recommended for approval by Planning Board on 2/19/2026 and unanimously approved by the City Commission meeting on 5/7/2026. All phases are proposed as single-phase construction. Phase III proposes to demolish the two existing 1960's structures and replace them with a single three-story structure to house forty-two CoC residents. As the property is operated as a CoC facility, it qualifies for the adjusted BPAS conversion rate one (1) BPAS unit equal to ten (10) beds. The result is to use 4.2 of the existing 9 BPAS units for this redevelopment and leaving a remaining 4.8 BPAS units.

The breakdown of utilizing the 4.2 BPAS units for the proposed redevelopment is as follows:

3.0 BPAS units: (30) 1 bedrooms, (30 beds)

1.2 BPAS units: (6) 2 bedrooms, (12 beds)

TOTAL: 4.2 BPAS units (42 beds)

	Allowed	Existing	Proposed	Compliance
Zoning	MDR-1	MDR-1	No Change	Complies
Use	Multi-family; Special needs/social services	Multi-family and Special needs/social services	No Change	Conditional Use
FLUM	MDR	MDR	No Change	Complies
Flood	Current: AE-7	AE-9 (NAVD)	No Change	Complies
Site Size	10,000 sq. ft.	281,204 sq ft (6.46 acres)	No Change	Complies
Height	35'-0"	≤ 35'-0	33'-4"	Complies
Density	16 du/ac (103.36 units) ----- Live Local: 40 du/ac (258.4 units)	(Parcel: 67 units total ²) Multi-family: 10 units 57 BPAS ----- 1623: 5 BPAS 1624: 4 BPAS	(Parcel: 67 units total) Multi-family: 10 units 57 BPAS ----- 1623-1624: 4.2 BPAS	Complies
Floor Area	1.0 FAR (281,204 Sq ft), ----- Live Local: 1.5 FAR (421,806 sq ft)	Parcel: 0.489 FAR (137,416 sq ft)	Parcel: 0.521 FAR (146,634 sq ft)	Complies
Open Space Minimum	35% (98,421 sq ft)	53.3% (149,903 Sq ft)	52.1% (146,636 Sq ft)	Complies
Impervious Surface Max	60% (168,722 sq ft)	46.7% (131,301 sq ft)	47.9% (134,568 sq ft)	Complies
Building Coverage Max	40% (112,482 sq ft)	19.3% (54,391 sq ft)	19.8% (55,602 sq ft)	Complies
Front Setback	30 ft	1623-1624 Spalding: NA	No Change .	Complies
East Side Setback	25 ft	1623-1624 Spalding: NA	No Change	Complies
West Side Setback	25 ft	1623-1624 Spalding: +25 ft.	1623-1624 Spalding: +25 ft.	Complies
Rear Setback	25 ft	1623-1624 Spalding: +25 ft.	1623-1624 Spalding: +25 ft.	Complies
Auto Parking	57 BPAS (231 beds): 1 sp/4 beds = 57.75 (58 spaces) 10 Multi-family units: 2 sp/unit = 20 spaces (Total Parcel: 78 spaces) Phase III/1623-1624 Spalding: 42 beds = 10.5 spaces	Total Parcel: 114 spaces (includes 2 Handicap) ----- 1623-1624 Spalding: 20 auto spaces 0 Handicap	113 spaces (includes 3 Handicap) ----- 1623-1624 Spalding: 19 auto spaces (includes 1 Handicap)	Complies
Bicycle Parking 10% auto	Parcel: 10% auto (8 bike spaces) 1623-1624 Spalding (19 auto = 2 spaces)	1623-1624 Spalding: 0 spaces	1623-1624 Spalding: 12 spaces	Complies

Sec. 108-230. Other project information.

(1) The project is proposed to be developed in a single phase.

² Per City of Key West Utility Department

- (2) Commencement is intended to immediately follow entitlement approvals and is anticipated to be completed within two (2) years following entitlement approvals.
- (3) The expected date of completion is within two (2) years of commencement. If needed, per Sec. 108-203, extensions can be requested and granted.
- (4) The proposed development plan for the site is included in the attached plans.
- (5) The proposed development plan is a single-phase project, and written description of characteristics of the proposed development are contained herewith.
- (6) The proposed development is not a planned unit development.
- (7) The proposed redeveloped building will comply with federal flood insurance regulations.
- (8) The property north of the project site is zoned CM and the proposed redeveloped building is located over 250 ft away from land zoned CM.

Sec. 108-231. Residential developments.

The following information has been updated to reflect the capacity of the CoC programs on site. Those numbers are not based on the total of 4 unrelated occupants but include the overall capacity of the program and the residents and families they serve.

Parcel:

	Market Rate Dwelling Units	CoC Resident Bed Capacity	Total Parcel
Existing	10 (Operated by Housing Authority)	57 BPAS units/271 CoC beds (Operated by various CoC agencies on site)	67 BPAS units 271 CoC beds
Proposed	10 (Operated by Housing Authority)	57 BPAS units/271 CoC beds (Operated by various CoC agencies on site)	67 BPAS units 271 CoC beds
Change			No Change

1623-1624 Spalding Court (Subject Site):

Beds added to this location will accommodate residents from another CoC building within the parcel to eliminate overcrowding.

	Market Rate Dwelling Units	CoC Resident Bed Capacity
Existing	9 BPAS units	36 CoC beds
Proposed	4.2 BPAS units	42 CoC beds
Change		+6 beds relocated from another building on the parcel

Phase III (Peacock House) Project Site: 1623-1624 Spalding:

(30) 1 bedrooms, (30 beds)

(6) 2 bedrooms, (12 beds)

TOTAL: 42 Beds = 4.2 BPAS units

In coordination with the City's Utility Department, it is determined that 67 dwelling units exist on the subject parcel. The property currently contains a mix of 10 multi-family (affordable) dwelling units operated by the Key West Housing Authority. The remaining 57 units are managed by AH of Monroe, Inc. and consist of a mix of Continuum of Care (CoC) social service programmatic housing.

It was previously reported that 239 beds were part of the CoC program, however, that number was based on previous documentation that used the definition of family (maximum number of four unrelated adults living in one unit) and did not take into consideration the number of families served or program capacity. The information contained in this report is reflective of the agencies that have operated on the site for many years. The number of beds and units for each proposed redevelopment has not changed.

Sec. 108-232. Intergovernmental coordination.

Coordination will occur through the development review process of the City of Key West and as otherwise required. The anticipated development approval schedule is below.

1. Major Development Plan application submittal
2. Development Review Committee (DRC) hearing
3. Tree Commission application submittal
4. Tree Commission application (Conceptual design and tree removal approval)
5. Tree Commission final approval
6. Planning Board hearing
7. Art in Public Places
8. City Commission hearing
9. Local appeal period (30 days)
10. Rendering to Department of Commerce (DOC)
11. DOC review period (max 45 days)

Sec. 108-233. Concurrency facilities and other utilities or services.

Levels of Service (LOS) – Due to the number of residents remaining the same throughout the property, no impacts to the levels of service for the parcel are anticipated. The impacts of the proposed project are generally summarized as follows:

Trip Generation: The proposed redevelopment of 1623-1624 Spalding is not expected to change the current trip generation. See policy 2-1.1.1 below for a complete discussion on trip generation.

- Parking: The proposed parking for Phase III maintains the parcel’s compliance. The proposed redevelopment will decrease the existing parking while still maintaining compliance. Two existing spaces will be converted to provide one handicap space. See sec. 108-244 below for a complete discussion on parking.
- Potable Water: The proposed redevelopment of 1623-1624 Spalding is not expected to increase the potable water LOS. Potable water usage remains the same at 30,240 gallons per day. See policy 4-1.1.2.C below for a complete discussion on potable water.
- Wastewater: The proposed redevelopment is not expected to increase wastewater LOS. Wastewater will remain the same at 30,240 gallons per day. See policy 4-1.1.2.A below for a complete discussion on wastewater.
- Recycling: The proposed redevelopment is not expected to increase recycling LOS. Recycle is expected to remain the same at 151.2 pounds per day. See policy 4-1.1.2.D below for a complete discussion on recycling.

- Solid Waste: Solid waste demand for resident beds is measured in total person capacity. The proposed redevelopment is not expected to increase solid waste LOS. Solid waste is expected to remain the same at 804.36 pounds per day. See policy 4-1.1.2.D below for a complete discussion on solid waste.
- Stormwater: The expected impacts to stormwater LOS is as depicted on the stormwater management plans. Changes to the existing stormwater management system are depicted on the attached plans. See policy 4-1.1.2.E and article VIII below for a complete discussion on stormwater.
- Parks & Open Space: The impacts to the recreation LOS complies with comprehensive plan policy 7-1.1.9, inclusive of all three types of parks identified: urban open spaces, neighborhood, and community.
- Fire Protection: The team will coordinate with FKAA to ensure the water pressure and flow will be adequate for fire protection for the type of construction proposed.
- Nearshore Waters: No adverse impacts to quality of receiving waters are anticipated before, during, and after construction.

Sec. 108-234. Appearance, design and compatibility.

The proposed development plan satisfies criteria established in Chapter 102; Articles III, IV, and V of Chapter 108; Section 108-956; and Article II of Chapter 110 of the land development regulations in the following manner:

- Chapter 102 - This property is located outside of and does not impact the Historic District.
- Article III, IV, and V of Chapter 108 - As demonstrated by the site plan, LOS analysis, and the site data calculations, the project complies with the requirements of the Articles.
- Chapter 110 - As demonstrated in this application, the proposed redevelopment complies with the resource protection requirements of Chapter 110.

Sec. 108-235. Site location and character of use.

- (a) Compliance: The redevelopment plan complies with the requirements set forth in the land development regulations as they pertain to Concurrency Management, Outdoor Displays and Nuisances, Resource Protection, Signs, and Articles I and III to IX of Chapter 108 of the Key West land development regulations.
- (b) Vicinity Map: The vicinity map is depicted as part of the attached plans.
- (c) Land Use Compatibility: The project site is located in the Medium Density Residential-1 (MDR-1) zoning district. The purpose and intent of the MDR-1 district is to implement comprehensive plan policies for areas designated "MDR-1" on the comprehensive plan future land use map. The MDR-1 district shall provide the Poinciana Housing Parcel with a designation appropriate to the existing medium density multiple-family development on the site and compatible with the existing and future land uses. The MDR-1 district shall accommodate a mixture of multiple-family structure types, supportive community facilities, and accessory land uses.
- (d) Historic and Architectural Resource Protection: The site is not affected by the Historic District, and any archeological resources will be protected as required.
- (e) Subdivision of Land: No subdivisions are proposed with this application.

Sec. 108-236. Appearance of site structures.

The attached site plan complies with Section 108-278 through 108-288 of the land development regulations.

Sec. 108-237. Site plan.

The site plan is drawn consistent with this Section and is attached.

Sec. 108-238. Architectural drawings.

All architectural or engineering drawings were prepared and sealed by a professional architect or engineer registered in the state pursuant to F.S. Ch. 471 and 481, respectively, consistent with the provisions of this Section.

Sec. 108-239. Site amenities.

The attached site plan includes existing and proposed amenities which are required to comply with appearance, design, and compatibility regulations outlined in chapter 102; articles III, IV, and V of this chapter; section 108-956; and article II of chapter 110.

Sec. 108-240. Site survey.

The site survey is attached.

Sec. 108-241. Soil survey.

Soil surveys will be performed on an as-needed basis.

Sec. 108-242. Environmentally sensitive areas.

The project is not located within an environmentally sensitive area.

Sec. 108-243. Land clearing, excavation and fill, tree protection, landscaping and irrigation plan.

All proposed clearing, excavation, and landscaping are depicted on attached plans. A Landscape Waiver or Modification request is being submitted concurrently with this Major Development Plan application. The existing and proposed landscaping is greater than 35% of the total area of the property.

Sec. 108-244. On-site and off-site parking and vehicular, bicycle, and pedestrian circulation.

The project plans demonstrate compliance with on- and off-site vehicular and bicycle circulation, and parking requirements.

Project Site:

Parking requirement per code Sec. 108-572(12)	Required	Proposed
Auto 1 sp/4 beds	42/4 = 10.5 (11) spaces	18 spaces
Handicap	1	1
Bicycle 10% of required auto	1.1 (1 space)	12

The project site meets the parking and bicycle requirements for the proposed redevelopment. Currently there is no handicapped accessibility for the existing structures. The proposed redevelopment will bring the subject project into compliance. In addition to the required parking and handicap spaces, there are programmatic multi-person shuttle busses that currently service all CoC operations which will accommodate the residents of Peacock House as well.

Sec. 108-245. Housing.

The proposed use will continue to be operated as a CoC assisting residents with a variety of social services within new and safe affordable housing.

Sec. 108-246. Economic resources.

- (a) Ad Valorem Estimates: Not applicable. 1623-1624 Spalding is owned by the City of Key West and operated by the nonprofits of the Continuum of Care.
- (b) Construction Expenditure: To be determined.

Sec. 108-247. Special considerations.

The proposal complies with the goals, objectives, and policies of the comprehensive plan.

Sec. 108-248. Construction management plan and inspection schedule.

See attached Construction Management Plan and Inspection Schedule.

Sec. 108-249. Truman Waterfront Port facilities.

The project is not located at the Truman Waterfront Port.

SITE PLAN (ARTICLE III)

Sec. 108-276. Scope.

This site plan conforms to all necessary and applicable sections of land development regulations.

Sec. 108-277. Site Location and Character of Use.

As depicted, the site has sufficient size, adequate specifications, and infrastructure to accommodate the proposed uses in the manner proposed. As described in detail above, this site is designed as a multi-modal development, placing equal importance on the bicycle and pedestrian as on the automobile. This development furthers the goals of the City's plans as detailed in this report.

Sec. 108-278. Appearance of Site and Structures.

This proposed development plan exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in sections 108-278 through 108-288.

Sec. 108-279. Location and Screening of Mechanical Equipment, Utility Hardware and Waste Storage Areas.

All mechanical equipment and utility hardware will be appropriately screened. All waste storage areas are existing on site.

Sec. 108-280. Front-Ended Loaded Refuse Container Requirements.

Any front-end loaded refuse container as required will be located in such a manner to facilitate convenient access.

Sec. 108-281. Roll-Off Compactor Container Location Requirements.

Any required roll-off container will meet the requirements of this section, as depicted on the site plan.

Sec. 108-282. Utility Lines.

Any required installation of new utility services will be coordinated with the appropriate utility agencies and in accordance with this section.

Sec. 108-283. Commercial and Manufacturing Activities Conducted in Enclosed Buildings.

No new commercial activities are proposed for this development.

Sec. 108-284. Exterior Lighting.

All proposed lighting will be shielded, and lighting sources shall be arranged to eliminate glare from roadways and streets and shall direct light away from properties lying outside the district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades.

Sec. 108-285. Signs.

All new signage proposed will adhere to this section.

Sec. 108-286. Pedestrian Sidewalks.

The project, as proposed, complies with this section. Refer to plans for precise placement of sidewalks and concrete paths that align with existing sidewalks on adjacent sites.

Sec. 108-287. Loading Docks.

No loading docks are required or proposed.

Sec. 108-288. Storage Areas.

Storage areas, if developed for use by tenants, will be located at the rear of the principal structure per sec. 108-288.

Sec. 108-289. Land Clearing, Excavation, and Fill.

Land clearing is for demolition of existing structures. Any impacted canopy or protected trees and/or landscaping and subsequent landscape infill will be reviewed and approved by the City's Urban Forester and the Tree Commission.

ARTICLES V & VI OF CHAPTER 108. OPEN SPACE, SCREENING, BUFFERS AND LANDSCAPING.

The immediately adjacent open space and landscaping of the proposed new structure will be enhanced as depicted on the plans.

Sec. 108-571. Waivers or Modifications.

No waiver or modification is proposed at this time.

ARTICLE VII. OFF-STREET PARKING AND LOADING.

Please see "Sec. 108-244. On-site and off-site parking and vehicular, bicycle, and pedestrian circulation" above for a complete discussion regarding parking.

ARTICLE VIII. STORMWATER AND SURFACE MANAGEMENT.

The proposed redevelopment proposes to improve stormwater and surface water management of the site.

Sec. 108-794. General criteria. (3) e. Flood hazard zones.

The flood zone of the site is AE-7 (NGVD22). The preliminary flood maps change the flood zone of the property to AE-9 (NAVD88).

ARTICLE IX. UTILITIES.

The City's Comprehensive Plan directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

The following specific issues are outlined: Roads/Trip Generation; Potable Water; Sanitary Sewer; Solid Waste; Recyclables; Drainage.

Policy 2-1.1.1. Transportation.

There is no anticipated change in overall trip generation as part of the redevelopment. Trip generation as provided by the Institute for Transportation Engineers (ITE) manual, 12th Edition, for assisted living facilities and is measured by the number of beds. With the number of residents/beds remaining the same, trip generation for the overall parcel remains the same. For the redevelopment of Spalding Court where six (6) additional beds will be added to the subject site, the increase in trip generation is less than two (2) trips.

Parcel - Trip Generation LOS

Using the land use code for Assisted Living (ITE 254) 12th Edition

	Multi-Family		Resident Beds		Total
	ITE (220) Rate	Capacity	ITE (254) Rate	Capacity	
Existing	6.21 trips / du/day	6.21 x 10 = 62.1 trips/du/day	4.14 trips/ Per bed	271 x 4.14 trips/day = 1,121.94 trips/day	1,184.04 trips/day
Proposed	6.21 trips/ du/day	6.21 x 10 = 62.1 trips/du/day	4.14 trips/ Per bed	271 x 4.14 trips/day = 1,121.94 trips/day	1,121.94 trips/day
Change					No Change

Phase III: Trip generation during peak hours for just Phase III structures:

Phase III 1623-1624 Spalding Ct.	ITE (254) Rate x beds	
	AM Hours	Peak Hours
Existing	≈ 0.19 x 36 beds	≈ 0.24 x 36 beds
	6.84 trips	8.64 trips
Proposed	≈ 0.19 x 42 beds	≈ 0.24 x 42 beds
	7.98 trips	10.08 trips

Change	+1.14 trips	+1.44 trips
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Notwithstanding the proposed trip generation, Policy 2-1.1.3: Dense Urban Land Area effectively eliminates the transportation concurrency requirement in favor of a prioritization of safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development)

Policy 2-1.1.3: Dense Urban Land Area. The City of Key West is a substantially developed dense urban land area and is thereby exempted from transportation concurrency requirements for roadways. The City recognizes that its development characteristics make substantive expansion of capacity of the roadway system prohibitive. The City will therefore prioritize improving the safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development) as its primary strategies for addressing current and projected transportation needs.

Policy 4-1.1.2.C. Potable Water.

Pursuant to Policy 4-1.1.2.C, the potable water LOS for residential and nonresidential is 100 gal/capita/day. Based on the City of Key West adopted level of service the potable water demand is anticipated to increase slightly as the site is the residential capita is going from bed count to dwelling units.

Potable water demand is expected to remain the same at 30,240 gal/day.

Potable Water LOS

	Residential Rate	Dwelling Unit Capacity	Resident Bed Capacity ³	Total
Existing	100 gal/capita/day	10 x 3.14 ⁴ x 100 gal = 3,140 gal/capita/day	271 beds x 100 gal = 27,100 gal/capita/day	30,240 gal/day
Proposed	100 gal/capita/day	10 x 3.14 x 100 gal = 3,140 gal/capita/day	271 beds x 100 gal = 27,100 gal/capita/day	30,240 gal/day
Change				No Change

Potable water to the City of Key West is provided by the Florida Keys Aqueduct Authority (FKAA). The FKAA has the capacity to provide 23 million gallons per day to Momoe County as a result of: The South Florida Water Management District's issuance of Water Use Permit #13-0005, which allocates 17 million gallons per day in the dry season; 17.79 million gallons per day which can be withdrawn from the Biscayne Aquifer; and six million gallons per day provided by a reverse osmosis treatment plant in Florida City. As documented above, the City is meeting its Level of Service Standard for Potable Water. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development during short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements will be necessary to maintain and improve standards and service delivery.

Policy 4-1.1.2.A. Sanitary Sewage.

³ The typical assisted living home bed contains 1 person per bed

⁴ Capita based on average household size of 3.14.

Pursuant to Policy 4-1.1.2.A, the sanitary sewer LOS for nonresidential is 660 gal/acre/day and residential is 100 gal/capita/day. Based on the City of Key West adopted level of service the sanitary sewer demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Sanitary sewer demand is expected to remain the same at 30,240 gal/day.

	Residential Rate	Dwelling Unit Capacity	Resident Bed Capacity	Total
Existing	100 gal/capita/day	$10 \times 3.14^5 \times 100 \text{ gal} = 3,140 \text{ gal/capita/day}$	$271 \text{ beds} \times 100 \text{ gal} = 27,100 \text{ gal/capita/day}$	30,240 gal/day
Proposed	100 gal/capita/day	$10 \times 3.14 \times 100 \text{ gal} = 3,140 \text{ g gal/capita/day}$	$271 \text{ beds} \times 100 \text{ gal} = 27,100 \text{ gal/capita/day}$	30,240 gal/day
Change				No Change

The City contracts out the operation of the Richard A Heyman Environmental Pollution Control Facility, its wastewater treatment plant (Plant), and the associated collection system to Operations Management International, Inc. (OMI). The Plant currently has the capacity to treat 10 million gallons per day, exceeding the capacity required to achieve the existing Level of Service Standard by approximately seven million gallons per day. Actual daily flow is 4.5 million gallons per day.

This is a reduction from eight (8) million gallons per day due to a 67 million dollars capital improvement to the City's wastewater treatment during the past short-term planning period, including \$56 million for collection system rehabilitation.

As documented above, the City is exceeding its Level of Service Standard for Wastewater. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements and continuing conservation efforts will continue to maintain and improve service delivery.

Policy 4-1.1.2.D. Solid Waste.

Pursuant to Policy 4-1.1.2.D, the solid waste LOS for residential is 2.66 lbs/capita/day. Based on the City of Key West adopted level of service the solid waste demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Solid waste demand is expected to remain the same at 804.36 lbs/day.

	Residential Rate	Dwelling Unit Capacity	Resident Bed Capacity	Total
Existing	2.66 lbs/capita/day	$10 \times 3.14 \times 2.66 \text{ lb/day} = 83.5 \text{ lb/capita/day}$	$271 \text{ beds} \times 2.66 \text{ lb/day} = 720.86 \text{ lb/day}$	804.36 lbs/day

Proposed	2.66 lbs/capita/day	$10 \times 3.14 \times 2.66 \text{ lb/day} = 83.5 \text{ lb/capita/day}$	$271 \text{ beds} \times 2.66 \text{ lb/day} = 720.86 \text{ lb/day}$	804.36 lbs/day
Change				No Change

The City currently contracts with Waste Management of Florida, Inc. to collect, transfer and dispose of solid waste and residential recyclables. Commercial recyclables and other non-franchised collection services such as construction and demolition debris and yard waste are available on the open market to all licensed haulers. The City owns and operates a solid waste transfer station on Rockland Key that received 45,402.10 tons of solid waste for disposal and 3,607 tons of recyclables in 2009/10. Waste Management disposes of the solid waste collected in Monroe County, including the City of Key West, at its Central Sanitary Landfill in Broward County. In 2009 Waste Management Inc. reported a reserve capacity of 17 years at this facility. There is therefore an estimated reserve capacity of 15 years as of the date of this report.

As documented above, the City is meeting its Level of Service Standard for solid waste. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, and the current capacity should remain adequate. Ongoing capital improvements will be necessary to improve standards and service delivery.

Policy 4-1.1.2.D. Recyclable Waste Generation.

Pursuant to Policy 4-1.1.2.D, the recyclable waste LOS for nonresidential is 0.25 lbs/capita/day and residential is 0.5 lbs/capita/day. Based on the City of Key West adopted level of service the recyclable waste demand is anticipated to increase slightly.

Recycling waste demand is expected to remain to the same at 151.2 lbs. lbs/day.

	Residential Rate	Dwelling Unit Capacity	Resident bed Capacity	Total
Existing	0.5 lbs/capita/day	$10 \times 3.14 \times 0.5 \text{ lbs/day} = 15.7 \text{ lbs/capita/day}$	$271 \text{ beds} \times 0.5 \text{ lbs/day} = 135.5 \text{ lbs/capita/day}$	151.2 lbs/day
Proposed	0.5 lbs/capita/day	$10 \times 3.14 \times 0.5 \text{ lbs/day} = 15.7 \text{ lbs/capita/day}$	$271 \text{ beds} \times 0.5 \text{ lbs/day} = 135.5 \text{ lbs/capita/day}$	151.2 lbs/day
Change				No Change

Policy 4-1.1.2. E- Drainage Facilities Level of Service

Please refer to the attached Drainage plans for pre and post-development analysis. The redevelopment will comply with all applicable Federal, state and local standards.

Existing Level of Service Standard

1. Post development runoff shall not exceed the pre-development runoff rate for a 25-year storm event, up to and including an event with a 24-hour duration.
2. Storm water treatment and disposal facilities shall be designed to meet the design and performance standards established in Chapter 62-25 Section 25.025, Florida Administrative

Code, with treatment of the runoff from the first one inch of rainfall on-site to meet the water quality standards required by Chapter 62-302, Florida Administrative Code. Storm water facilities which directly discharge into "Outstanding Florida Waters" (OFW) shall provide an additional treatment pursuant to Section 62-25.025 (9), Florida Administrative Code.

3. Storm water facilities must be designed so as to not degrade the receiving water body below the minimum conditions necessary to assure the suitability of water for the designated use of its classification as established in Chapter 62-302 Florida Administrative Code.

CONDITIONAL USES. ARTICLE III.

Sec. 122-62. Specific criteria for approval.

(a) Findings.

A conditional use shall be permitted upon a finding by the planning board that the proposed use, application and, if applicable, development plan complies with the criteria specified in this section, including specific conditions established by the planning board and or the city commission during review of the respective application in order to ensure compliance with the comprehensive plan and land development regulations. If the proposed conditional use is a major development pursuant to sections 108-165 and 108-166, the city commission shall render the final determination pursuant to section 122-63. A Conditional Use shall be denied if the city determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public's interest. An application for a Conditional Use shall describe how the specific land use characteristics proposed meet the criteria described in subsection (c) of this section and shall include a description of any measures proposed to mitigate against possible adverse impacts of the proposed conditional use on properties in the immediate vicinity.

(b) Characteristics of use described.

(1) Scale and intensity.

- a. **Floor area ratio:** See site data table above.
- b. **Traffic generation:** See sec. 108-233 and policy 2-1.1.1 above.
- c. **Square feet of enclosed building for each specific use:** See site data table above.
- d. **Proposed employment:** The project proposes to maintain existing employment services related to current programmatic services.
- e. **Proposed number and type of service vehicles:** No changes are proposed.
- f. **Off-street parking needs:** See sec. 108-244 above.

(2) On- or off-site improvement needs.

- a. **Utilities:** See sec. 102-233 and article IV above.
- b. **Public facilities:** See sec. 102-233 and article IV above.
- c. **Roadway of signalization improvements, or other similar improvements:** See sec. 108-284 and sec. 108-286 above.
- d. **Accessory structure or facilities:** No accessory structures or facilities are proposed as part of this use.
- e. **Other unique facilities / structures proposed as part of site improvements:** The project proposes a state-of-the-art facility for the continuum of care services provided by Poinciana Royale operated by AH Monroe, Inc.

(3) On-site amenities

- a. **Open space:** See article V and VI above.

- b. **Setbacks from adjacent properties:** See attached plans and site data above.
- c. **Screening and buffers:** See article V and VI above.
- d. **Landscape berms proposed to mitigate against impact to adjacent sites:**
See article V and VI above.
- e. **Mitigative techniques for abating smoke, odor, noise, and other noxious impacts:**
No smoke, odor, noise, or other noxious impacts are proposed as part of this project.

(c) **Criteria for conditional use review and approval.**

(1) **Land use compatibility.**

See sec. 108-234 above.

(2) **Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use.**

The redevelopment of 1623-1624 Spalding proposes sufficient size, adequate site specifications, and infrastructure to accommodate the proposed project.

(3) **Proper use of mitigative techniques.**

N/A. No adverse impacts are anticipated as part of the redevelopment of 1623-1624 Spalding.

(4) **Hazardous waste.**

N/A. No hazardous waste is anticipated as part of the proposed project.

(5) **Compliance with applicable laws and ordinances.**

The redevelopment of 1623-1624 Spalding will comply with all applicable laws and ordinances.

(6) **Additional criteria applicable to specific land uses.**

a. **Land uses within a conservation area:** N/A. The redevelopment of 1623-1624 Spalding is not within a conservation area.

b. **Residential development:** See sec. 108-231 above.

c. **Commercial or mixed-use development:** See sec. 108-234 above.

d. **Development within or adjacent to historic district:** N/A. The redevelopment of 1623-1624 Spalding is not located within or adjacent to a historic district.

e. **Public facilities or institutional development:** See solution statement above.

f. **Commercial structures uses and related activities within tidal waters:**
N/A. The redevelopment of 1623-1624 Spalding is not proposed within tidal waters.

g. **Adult entertainment establishments:** N/A. The redevelopment of 1623-1624 Spalding does not propose adult entertainment establishments.

Authorization



AH of Monroe County, Inc. - Phase III
3401 Duck Avenue
1623 -1624 Spalding Court

**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Brian L. Barroso as
Please Print Name of person with authority to execute documents on behalf of entity

City Manager of City of Key West
Name of office (President, Managing Member) *Name of owner from deed*

authorize Richard McChesney/Spottswood Law Firm
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Brian L. Barroso
Signature of person with authority to execute documents on behalf of entity owner

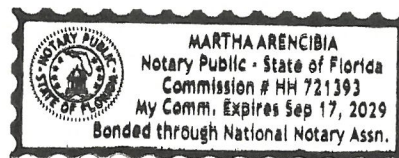
Subscribed and sworn to (or affirmed) before me on this 8th day of April 2026
Date

by Brian L. Barroso
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented N/A as identification.

Martha Arencibia
Notary's Signature and Seal

Martha Arencibia
Name of Acknowledger typed, printed or stamped



HH 721393
Commission Number, if any

Verification



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Richard J. McChesney, in my capacity as Attorney
(print name) (print position; president, managing member)

of Spottswood, Spottswood, Spottswood & Sterling, PLLC
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1623 - 1624 Spalding Court

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Handwritten Signature]
Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this May 13, 2026 by
date

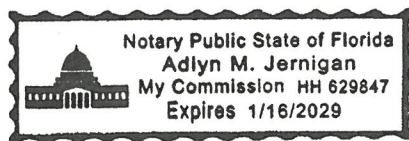
Richard McChesney
Name of Applicant

He/She is personally known to me or has presented _____ as identification.

[Handwritten Signature]
Notary's Signature and Seal

Adlyn Jernigan

Name of Acknowledger typed, printed or stamped



Commission Number, if any

Property Record Card

Monroe County, FL

PROPERTY RECORD CARD

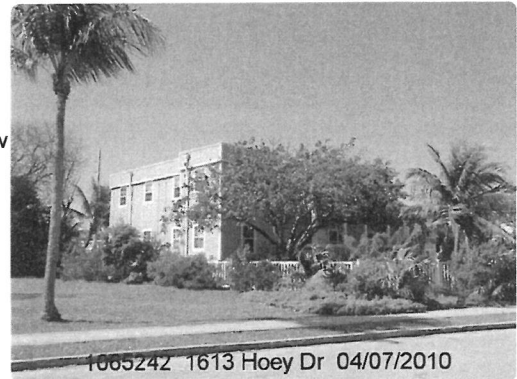
Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00064740-000000
Account# 1065242
Property ID 1065242
Millage Group 10KW
Location 3401 DUCK Ave, KEY WEST
Address
Legal Description BK 19 LTS 2 THRU 10 AND PT LT 11 AND PT OF LAND LYING N OF SAID BLK KW KW FWDN SUB PLAT 2 PB1-189 (6.45 AC) (A/K/A POINCIANA HOUSING COMPLEX - HOMELESS HOUSING) G11-147/148 OR1655-1771/1845Q/C OR2410-271 OR2410-272/75ESMT
(Note: Not to be used on legal documents.)
Neighborhood 31100
Property Class MUNICIPAL (8900)
Subdivision Key West Foundation Co's Plat No 2
Sec/Twp/Rng 34/67/25
Affordable Housing No



Owner

CITY OF KEY WEST
 PO Box 1409
 Key West FL 33041

Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$11,333,192	\$11,333,192	\$11,333,192	\$11,333,192
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$3,141,213	\$3,141,213	\$3,141,213	\$3,141,213
= Just Market Value	\$14,474,405	\$14,474,405	\$14,474,405	\$14,474,405
= Total Assessed Value	\$14,474,405	\$14,474,405	\$14,474,405	\$14,474,405
- School Exempt Value	(\$14,474,405)	(\$14,474,405)	(\$14,474,405)	(\$14,474,405)
= School Taxable Value	\$0	\$0	\$0	\$0

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$3,141,213	\$11,333,192	\$0	\$14,474,405	\$14,474,405	\$14,474,405	\$0	\$0
2023	\$3,141,213	\$11,333,192	\$0	\$14,474,405	\$14,474,405	\$14,474,405	\$0	\$0
2022	\$3,141,213	\$11,333,192	\$0	\$14,474,405	\$14,474,405	\$14,474,405	\$0	\$0
2021	\$3,141,213	\$11,333,192	\$0	\$14,474,405	\$14,474,405	\$14,474,405	\$0	\$0
2020	\$3,141,213	\$11,333,192	\$0	\$14,474,405	\$14,474,405	\$14,474,405	\$0	\$0
2019	\$3,141,213	\$11,333,192	\$0	\$14,474,405	\$14,474,405	\$14,474,405	\$0	\$0
2018	\$3,141,213	\$11,333,192	\$0	\$14,474,405	\$14,474,405	\$14,474,405	\$0	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	281,030.00	Square Foot	0	0

Buildings

Building ID	5367	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	6674	Roof Type	GABLE/HIP
Finished Sq Ft	4620	Roof Coverage	ROLLED COMPOS
Stories	2 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	NONE with 0% NONE
Perimeter	428	Bedrooms	8
Functional Obs	0	Full Bathrooms	4
Economic Obs	0	Half Bathrooms	0
Depreciation %	36	Grade	550
Interior Walls	PLASTER	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,620	4,620	0
PTO	PATIO	1,924	0	0
SBF	UTIL FIN BLK	130	0	0
TOTAL		6,674	4,620	0

Building ID	5368	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	R6 / R6	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	9540	Roof Type	GABLE/HIP
Finished Sq Ft	6384	Roof Coverage	ROLLED COMPOS
Stories	2 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	NONE with 0% NONE
Perimeter	568	Bedrooms	12
Functional Obs	0	Full Bathrooms	6
Economic Obs	0	Half Bathrooms	0
Depreciation %	36	Grade	550
Interior Walls	PLASTER	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	6,384	6,384	0
PTO	PATIO	2,961	0	0
SBF	UTIL FIN BLK	195	0	0
TOTAL		9,540	6,384	0

Building ID	5369	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	7120	Roof Type	GABLE/HIP
Finished Sq Ft	5280	Roof Coverage	ASPHALT SHINGL
Stories	2 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	472	Bedrooms	12
Functional Obs	0	Full Bathrooms	12
Economic Obs	0	Half Bathrooms	4
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,280	5,280	0
PTO	PATIO	1,690	0	0
SBF	UTIL FIN BLK	150	0	0
TOTAL		7,120	5,280	0

Building ID	5370	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1965
Building Name		Foundation	CONCR FTR
Gross Sq Ft	7886	Roof Type	GABLE/HIP
Finished Sq Ft	5880	Roof Coverage	ASPHALT SHINGL
Stories	2 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	512	Bedrooms	16
Functional Obs	0	Full Bathrooms	12
Economic Obs	0	Half Bathrooms	4
Depreciation %	54	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,880	5,880	0
PTO	PATIO	1,796	0	0

Code	Description	Sketch Area	Finished Area	Perimeter
SBF	UTIL FIN BLK	210	0	0
TOTAL		7,886	5,880	0

Building ID	5371	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONC BLOCK
Gross Sq Ft	9540	Roof Type	GABLE/HIP
Finished Sq Ft	6384	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	512	Bedrooms	16
Functional Obs	0	Full Bathrooms	8
Economic Obs	0	Half Bathrooms	0
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	6,384	6,384	0
PTO	PATIO	2,961	0	0
SBF	UTIL FIN BLK	195	0	0
TOTAL		9,540	6,384	0

Building ID	5372	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	R6 / R6	EffectiveYearBuilt	1965
Building Name		Foundation	CONCR FTR
Gross Sq Ft	7120	Roof Type	GABLE/HIP
Finished Sq Ft	5280	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	568	Bedrooms	12
Functional Obs	0	Full Bathrooms	6
Economic Obs	0	Half Bathrooms	0
Depreciation %	54	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,280	5,280	0
PTO	PATIO	1,690	0	0
SBF	UTIL FIN BLK	150	0	0
TOTAL		7,120	5,280	0

Building ID	5373	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	6510	Roof Type	GABLE/HIP
Finished Sq Ft	5280	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	472	Bedrooms	12
Functional Obs	0	Full Bathrooms	4
Economic Obs	0	Half Bathrooms	4
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,280	5,280	0
PTO	PATIO	1,080	0	0
SBF	UTIL FIN BLK	150	0	0
TOTAL		6,510	5,280	0

Building ID	5374	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	R6 / R6	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	6510	Roof Type	GABLE/HIP
Finished Sq Ft	5280	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	568	Bedrooms	12
Functional Obs	0	Full Bathrooms	6
Economic Obs	0	Half Bathrooms	0
Depreciation %	36	Grade	550

Interior Walls		WALL BD/WD WAL		Number of Fire PI	0
Code	Description	Sketch Area	Finished Area	Perimeter	
FLA	FLOOR LIV AREA	5,280	5,280	0	
PTO	PATIO	1,080	0	0	
SBF	UTIL FIN BLK	150	0	0	
TOTAL		6,510	5,280	0	

Building ID	5375	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	6510	Roof Type	GABLE/HIP
Finished Sq Ft	5280	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	472	Bedrooms	16
Functional Obs	0	Full Bathrooms	8
Economic Obs	0	Half Bathrooms	0
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,280	5,280	0
PTO	PATIO	1,080	0	0
SBF	UTIL FIN BLK	150	0	0
TOTAL		6,510	5,280	0

Building ID	5376	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	7886	Roof Type	GABLE/HIP
Finished Sq Ft	5880	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	428	Bedrooms	8
Functional Obs	0	Full Bathrooms	4
Economic Obs	0	Half Bathrooms	0
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,880	5,880	0
PTO	PATIO	1,796	0	0
SBF	UTIL FIN BLK	210	0	0
TOTAL		7,886	5,880	0

Building ID	5377	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	7886	Roof Type	GABLE/HIP
Finished Sq Ft	5880	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	512	Bedrooms	16
Functional Obs	0	Full Bathrooms	8
Economic Obs	0	Half Bathrooms	4
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,880	5,880	0
PTO	PATIO	1,796	0	0
SBF	UTIL FIN BLK	210	0	0
TOTAL		7,886	5,880	0

Building ID	5378	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	7886	Roof Type	GABLE/HIP
Finished Sq Ft	5880	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE

Perimeter	472	Bedrooms	16
Functional Obs	0	Full Bathrooms	8
Economic Obs	0	Half Bathrooms	4
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,880	5,880	0
PTO	PATIO	1,796	0	0
SBF	UTIL FIN BLK	210	0	0
TOTAL		7,886	5,880	0

Building ID	5379	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	CONCR FTR
Gross Sq Ft	7886	Roof Type	GABLE/HIP
Finished Sq Ft	5880	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	512	Bedrooms	16
Functional Obs	0	Full Bathrooms	8
Economic Obs	0	Half Bathrooms	4
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,880	5,880	0
PTO	PATIO	1,796	0	0
SBF	UTIL FIN BLK	210	0	0
TOTAL		7,886	5,880	0

Building ID	5380	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	NONE
Gross Sq Ft	7886	Roof Type	NONE
Finished Sq Ft	5880	Roof Coverage	NONE
Stories	1 Floor	Flooring Type	NONE
Condition	POOR	Heating Type	NONE with 0% NONE
Perimeter	512	Bedrooms	0
Functional Obs	0	Full Bathrooms	8
Economic Obs	0	Half Bathrooms	4
Depreciation %	36	Grade	550
Interior Walls	NONE	Number of Fire PI	0

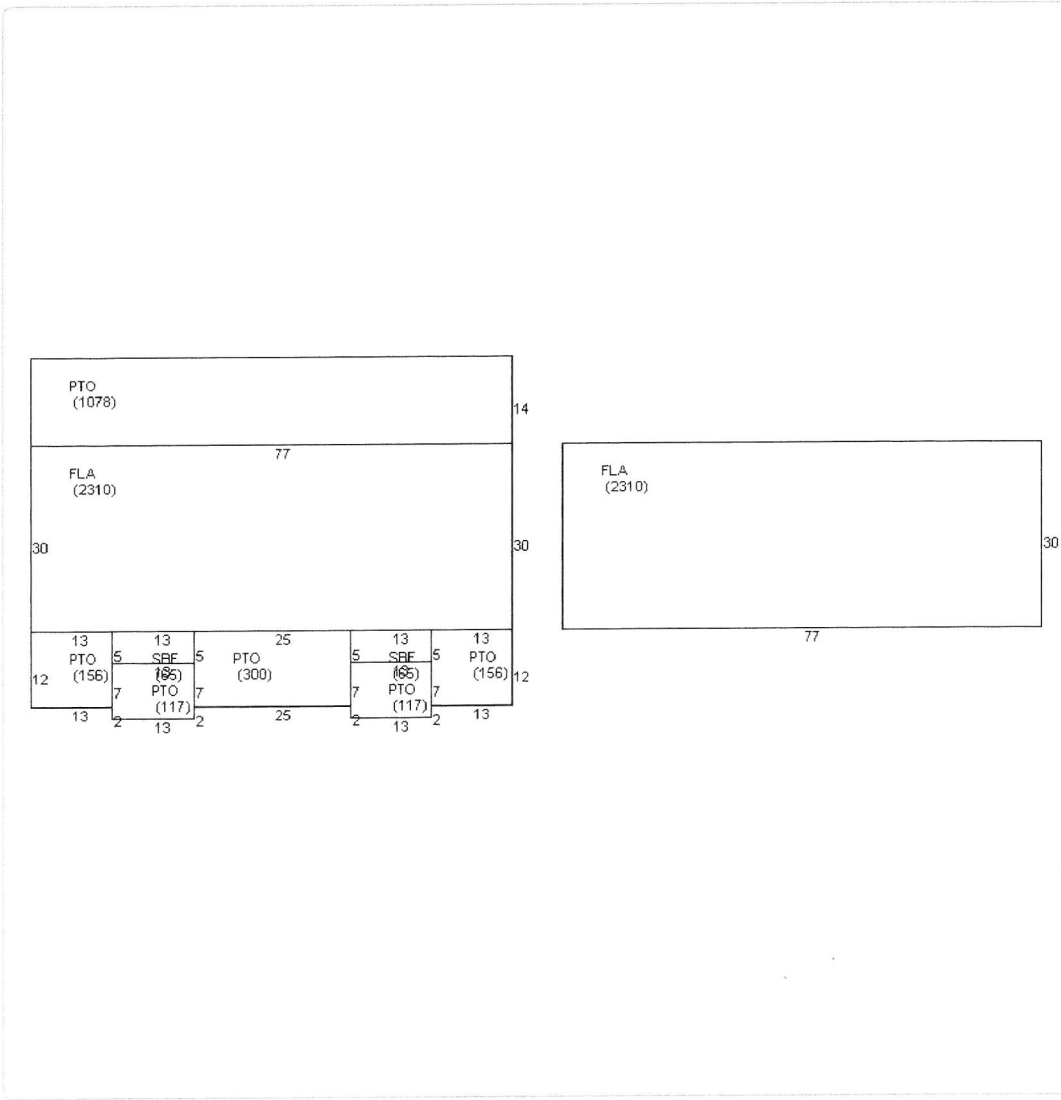
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,880	5,880	0
PTO	PATIO	1,796	0	0
SBF	UTIL FIN BLK	210	0	0
TOTAL		7,886	5,880	0

Building ID	5381	Exterior Walls	C.B.S.
Style		Year Built	1966
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	1992
Building Name		Foundation	WD CONC PADS
Gross Sq Ft	6674	Roof Type	GABLE/HIP
Finished Sq Ft	4620	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	POOR	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	428	Bedrooms	8
Functional Obs	0	Full Bathrooms	4
Economic Obs	0	Half Bathrooms	0
Depreciation %	36	Grade	550
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,620	4,620	0
PTO	PATIO	1,924	0	0
SBF	UTIL FIN BLK	130	0	0
TOTAL		6,674	4,620	0

Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
25-2109	09/04/2025	Active	\$2,500	Residential	Add wall with pass through window as well as additional door to office.



Map



No data available for the following modules: Yard Items, Sales, TRIM Notice.



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Construction Management Plan

**Construction Management Plan
Peacock House – 1623-1624 Spalding Court**

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**Construction Management Plan
Peacock House – 1623-1624 Spalding Court**

1.0 GENERAL

1.1 PURPOSE

The purpose of this Construction Management Plan Manual is to provide a consistent policy under which certain physical aspects of construction management will be implemented. The elements contained in this document are related to the development process.

These standards cannot anticipate all situations. They are intended to assist, but not to substitute for competent work by design and construction professionals. The Construction Management Plan does not intend to limit any innovative or creative efforts that could result in better quality, greater cost savings, or both. Any proposed departure from this plan will be judged on the likelihood that such variance will produce a comparable result, adequate for the user over the duration of the improvement/ project.

1.2 APPLICABILITY

This plan shall govern the construction and development of the project.

1.3 DEFINITIONS AND TERMS

Construction Management Plan (CMP) - A combination of diagrams, documents, drawings, and specifications that clearly define the steps that will be taken to demonstrate how the impacts to the community will be minimized and how the impacts associated with any construction project will be managed.

Construction Mitigation Officer - An appointed employee of the contractor whose charge is to ensure that all aspects of a CMP are followed, and to further ensure that the impacts associated with construction activities within the site are effectively managed and impacts associated with the project are the least necessary to accomplish the project.

Disturbance Area - A portion of land where topsoil or native soils have been removed for purposes of construction (development).

Best Management Practices (BMPs) - Schedules of activities, prohibitions of practices, maintenance procedures, and other management practices to prevent or reduce the pollution of waters of the state. BMPs also include treatment requirements, operating procedures, and practices to control site runoff, spillage or leaks, waste disposal, or drainage from material storage.

Tree Dripline and Protection Zone - Use the longest branch of the tree as a radius from the center of the tree and make a circle. The circle is then defined as the dripline and thus is the tree protection zone.

Final Stabilization - Uniform vegetative cover has been re-established.

2.0 PROJECT LOCATION

2.1 DISTURBANCE AREA

The disturbance area is depicted on the associated proposed site plan.

2.2 LOCATION

**Construction Management Plan
Peacock House – 1623-1624 Spalding Court**

A project vicinity map is depicted on the associated proposed site plan.

2.3 DESCRIPTION

See associated project analysis for full description and details.

3.0 PROJECT DOCUMENTATION

3.1 PERMITS / OTHER DOCUMENTS

The contractor shall maintain all applicable local, state, and federal licenses and permits that apply to the construction project. The contractor shall obtain new local building permits whenever construction is not commenced within 90 days from the time the permit was released, construction activity is dormant for a period of six months or more, the contractor fails to call for and achieve approved inspections within planned 120-day intervals, and/or a new phase of the phased development is commenced.

3.2 PUBLIC NOTIFICATION

Compliance with all required public notifications shall be met.

3.3 PROJECT SIGN

A project sign shall be constructed and posted that identifies, at a minimum, the property owner, contractor, and land use planner.

3.4 ACKNOWLEDGEMENT

The applicant acknowledges the burden of demonstrating that the construction activity is consistent with the development plan and has occurred in a timely manner consistent with the approved CMP and inspection schedule is borne by the applicant.

The applicant further acknowledges that, upon failure to meet the inspection schedule, the building permit shall expire. A new building permit shall be required to undertake construction activity on a site where a building permit has expired.

4.0 PROJECT IMPLEMENTATION

4.1 DATES OF CONSTRUCTION

Construction is expected to commence immediately following project approval. Local building permits shall not be valid for a period exceeding 2 years¹, and no phase of development shall extend for a period longer than 2 years². Planned 120-day interval inspections shall be maintained for the life of construction.

4.2 HOURS OF CONSTRUCTION

Construction hours shall comply with all applicable City Ordinances.

¹ Local building permits may be extended beyond 2 years pursuant to FL Statute Sec. 252.363.

² Development order phases may be extended beyond 2 years pursuant to FL Statute Sec. 252.363.

**Construction Management Plan
Peacock House – 1623-1624 Spalding Court**

4.3 SEQUENCE (PHASING) OF CONSTRUCTION

Project shall be constructed in a single phase. Project construction phasing is depicted on the associated proposed site plan.

Single Phase: Commencement is intended to immediately follow entitlement approvals. Including project bids, to be completed within 2 years following entitlement approvals. Bids and Redevelopment of 1621-1622 into Poinciana Royale II.

Expected date of completion is within 2 years of commencement.

Action	Date
Entitlement Approvals	TBD
Commencement	Immediately following entitlement approvals
Completion	Within 2 years of commencement

4.4 ADJOINING PROPERTIES

No person shall excavate on land close enough to a property line to endanger any adjacent public street, sidewalk, alley, other public or private property, or easement, without supporting and protecting the property from any damage that might result from construction operations.

4.5 PROJECT FENCING

All construction areas shall have a non-removable construction fence or other approved device securely placed around the areas to be protected.

4.6 PUBLIC HEALTH AND WELFARE

The construction project shall uphold respect to public health and welfare.

4.7 NATURAL ENVIRONMENT

Project construction shall be oriented to minimize harm to all aspects of the property's natural environment.

5.0 PARKING MANAGEMENT

5.1 PARKING MANAGEMENT

The contractor shall maintain continuous emergency vehicle access, on and around site, including but not limited to police, fire, and ambulance services. This includes projects adjacent to roads and alleys.

5.2 STAGING AREAS

The project shall accommodate construction staging areas on site.

5.3 CONSTRUCTION TRAILER, MATERIALS STORAGE, AND WASTE MANAGEMENT

**Construction Management Plan
Peacock House – 1623-1624 Spalding Court**

Construction trailers, job materials storage, portable restrooms, waste management and recycling containers shall be stored on private property and not within ROW, without the required approvals.

6.0 TRAFFIC CONTROL

6.1 GENERAL

All traffic control operations shall be managed by the designated traffic control supervisor.

6.2 HAUL ROUTES

Project haul routes shall be oriented to minimize traffic congestion and maximize pedestrian safety.

7.0 SEDIMENT AND EROSION CONTROL

7.1 REQUIREMENTS

The project shall employ Best Management Practices (BMPs), which will minimize erosion and sediment transport.

- a. Stockpiles must be protected with erosion control devices.
- b. City and near shore water inlets, gutters, swales and irrigation ditches shall be protected with erosion control devices and such protection maintained for the duration of the project.

8.0 EMISSIONS

8.1 GENERAL

All vehicles and equipment used on site will be properly maintained such that the engines will function within manufacture's standards or parameters.

9.0 NOISE SUPPRESSION

9.1 GENERAL

The noise limit for construction shall comply with any and all requirements of the City Code. All construction equipment shall be adequately muffled and maintained to minimize project noise.

Architectural Plans



1623-1624 SPALDING COURT
KEY WEST, FL

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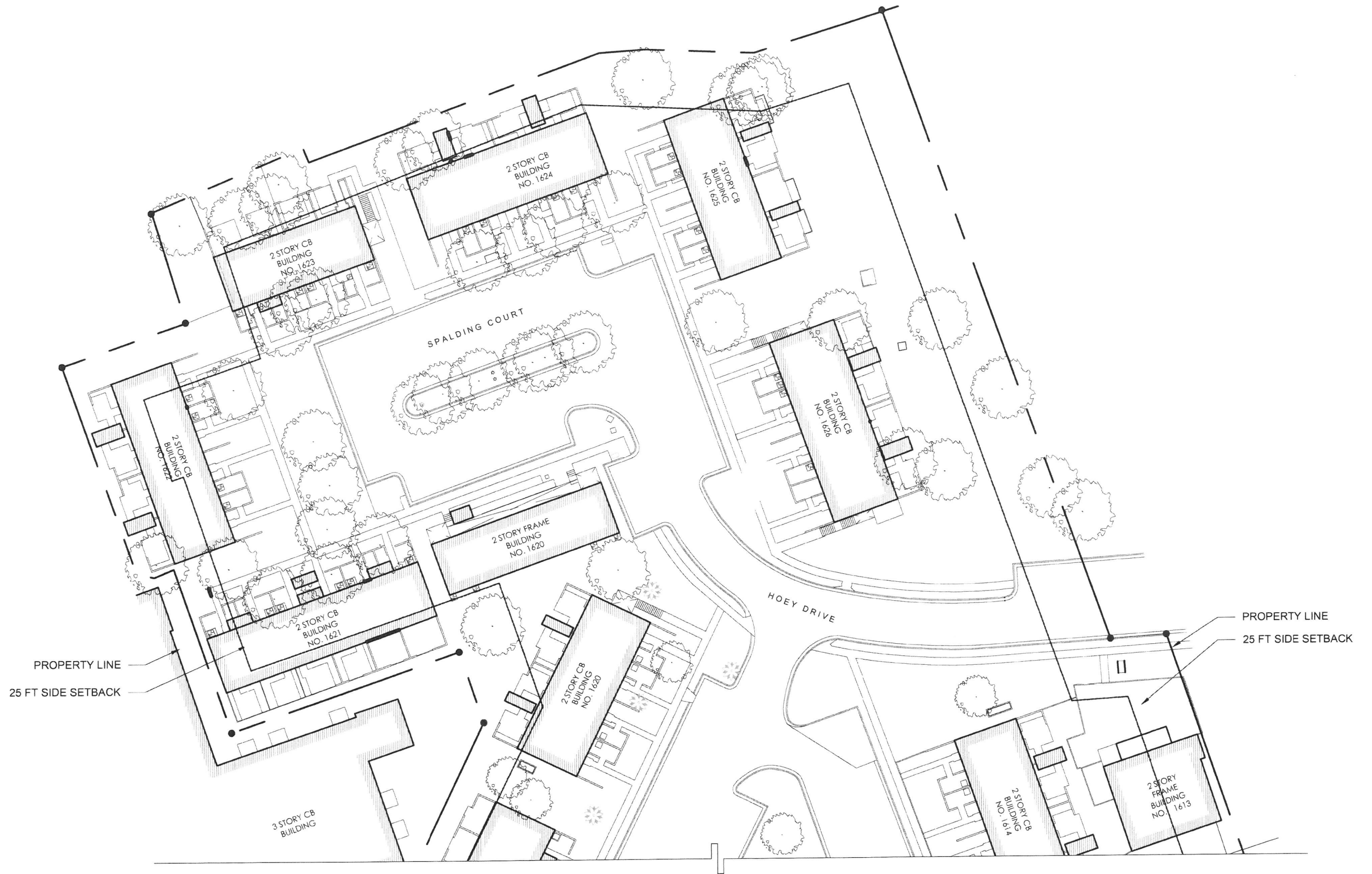


OVERALL AREA MAP
SCALE: 1" = 100'-0"

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EXISTING SITE PLAN
SCALE: 1" = 50'-0"

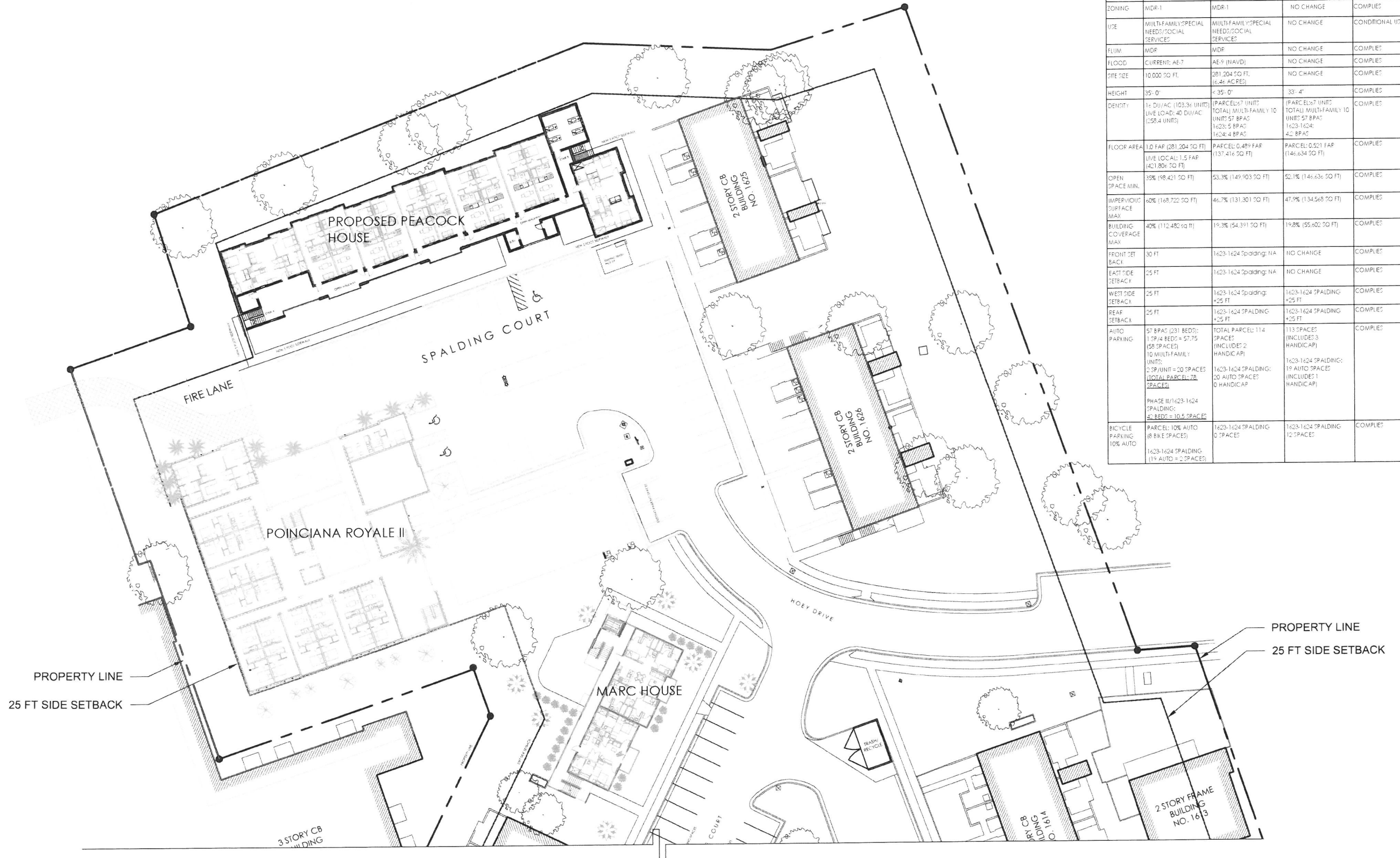
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PEACOCK

(30) 1-BEDROOM UNITS = 30 BEDS=30 BEDROOMS
 (4) 2-BEDROOM UNITS = 12 BEDS=12 BEDROOMS
 36 UNITS TOTAL = 42 BEDS TOTAL = 42 BEDROOMS TOTAL



	ALLOWED	EXISTING	PROPOSED	COMPLIANCE
ZONING	MDR-1	MDR-1	NO CHANGE	COMPLIES
USE	MULTI-FAMILY/SPECIAL NEEDS/SOCIAL SERVICES	MULTI-FAMILY/SPECIAL NEEDS/SOCIAL SERVICES	NO CHANGE	CONDITIONAL USE
FLOOD	MDR	MDR	NO CHANGE	COMPLIES
FLOOD	CURRENT: AE-7	AE-9 (HAZD)	NO CHANGE	COMPLIES
SITE SIZE	10,000 SQ. FT.	281,204 SQ. FT. (6.46 ACRES)	NO CHANGE	COMPLIES
HEIGHT	35'-0"	< 35'-0"	33'-4"	COMPLIES
DENSITY	16 DU/AC (103.34 UNITS/LIVE LOAD: 40 DU/AC (58.4 UNITS))	(PARCEL 6) UNITS TOTAL: MULTI-FAMILY 10 UNITS: 57 BPAC 1623-1624: 42 BPAC	(PARCEL 7) UNITS TOTAL: MULTI-FAMILY 10 UNITS: 57 BPAC 1623-1624: 42 BPAC	COMPLIES
FLOOR AREA	1.0 FAR (281,204 SQ. FT.) LIVE LOCAL: 1.5 FAR (421,806 SQ. FT.)	PARCEL 6: 0.489 FAR (137,416 SQ. FT.)	PARCEL 7: 0.521 FAR (146,634 SQ. FT.)	COMPLIES
OPEN SPACE MIN.	35% (98,421 SQ. FT.)	53.3% (149,103 SQ. FT.)	52.1% (146,634 SQ. FT.)	COMPLIES
IMPERVIOUS SURFACE MAX	40% (112,482 SQ. FT.)	46.7% (131,301 SQ. FT.)	47.9% (134,568 SQ. FT.)	COMPLIES
BUILDING COVERAGE MAX	40% (112,482 SQ. FT.)	19.3% (54,391 SQ. FT.)	19.2% (55,602 SQ. FT.)	COMPLIES
FRONT SETBACK	30 FT	1623-1624 Spalding: NA	NO CHANGE	COMPLIES
EAST SIDE SETBACK	25 FT	1623-1624 Spalding: NA	NO CHANGE	COMPLIES
WEST SIDE SETBACK	25 FT	1623-1624 Spalding: +25 FT	1623-1624 SPALDING: +25 FT	COMPLIES
REAR SETBACK	25 FT	1623-1624 SPALDING: +25 FT	1623-1624 SPALDING: +25 FT	COMPLIES
AUTO PARKING	57 BPAC (231 BEDS): 1 SP/4 BEDS = 57.75 (58 SPACES) 10 MULTI-FAMILY UNITS: 2 SP/UNIT = 20 SPACES TOTAL PARCEL 6: 78 SPACES	TOTAL PARCEL 114 SPACES (INCLUDES 2 HANDICAP)	113 SPACES (INCLUDES 3 HANDICAP) 1623-1624 SPALDING: 19 AUTO SPACES (INCLUDES 1 HANDICAP)	COMPLIES
BICYCLE PARKING 10% AUTO	PARCEL 10% AUTO (8 BKE SPACES) 1623-1624 SPALDING (19 AUTO = 2 SPACES)	1623-1624 SPALDING 0 SPACES	1623-1624 SPALDING 12 SPACES	COMPLIES

PROPERTY LINE
25 FT SIDE SETBACK

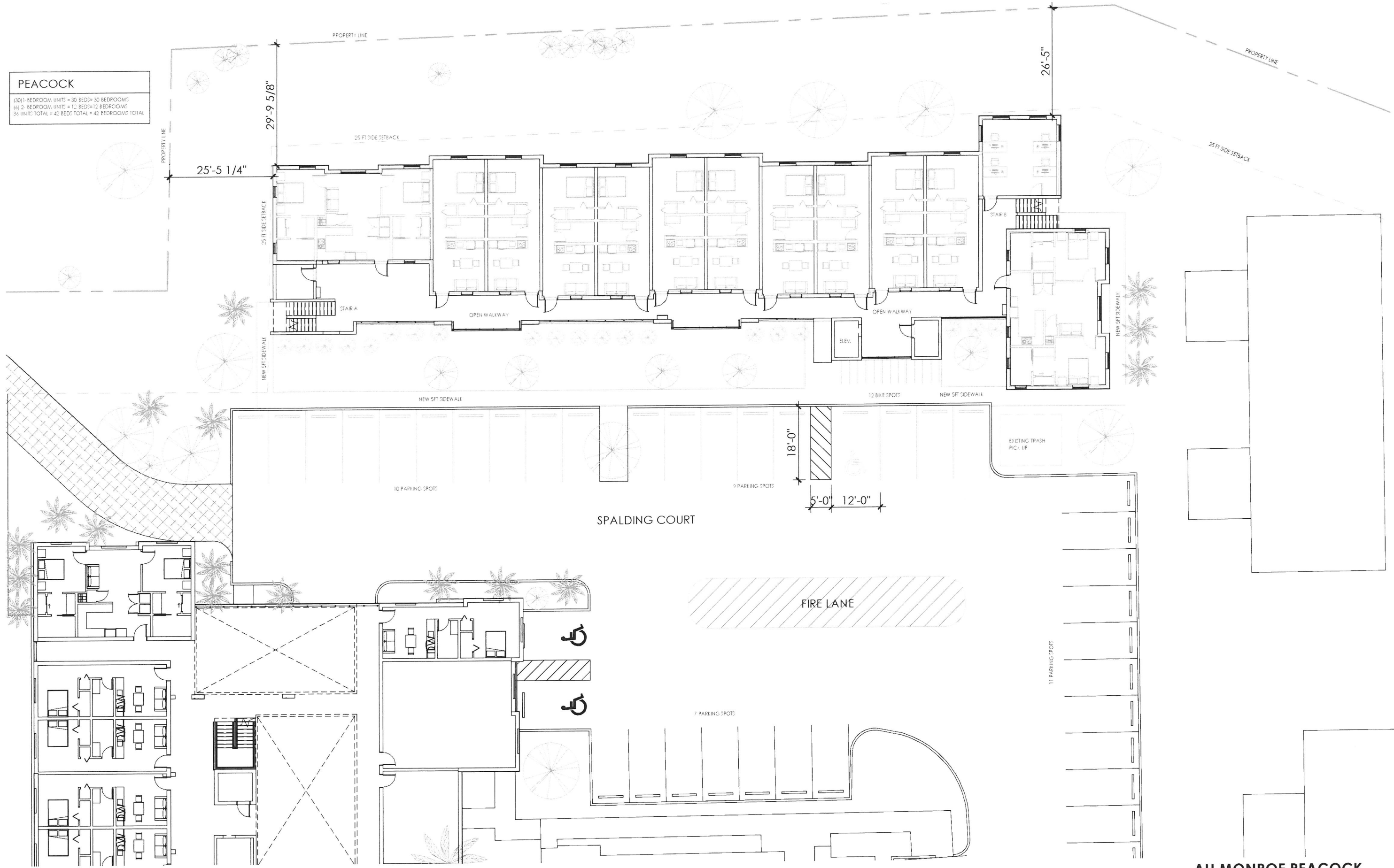
PROPERTY LINE
25 FT SIDE SETBACK

PROPOSED SITE PLAN
SCALE: 1" = 50'-0"

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PEACOCK

(30) 1-BEDROOM UNITS = 30 BEDS = 30 BEDROOMS
 (6) 2-BEDROOM UNITS = 12 BEDS = 12 BEDROOMS
 36 UNITS TOTAL = 42 BEDS TOTAL = 42 BEDROOMS TOTAL



ENLARGED SITE PLAN
 SCALE: 3/64" = 1'-0"

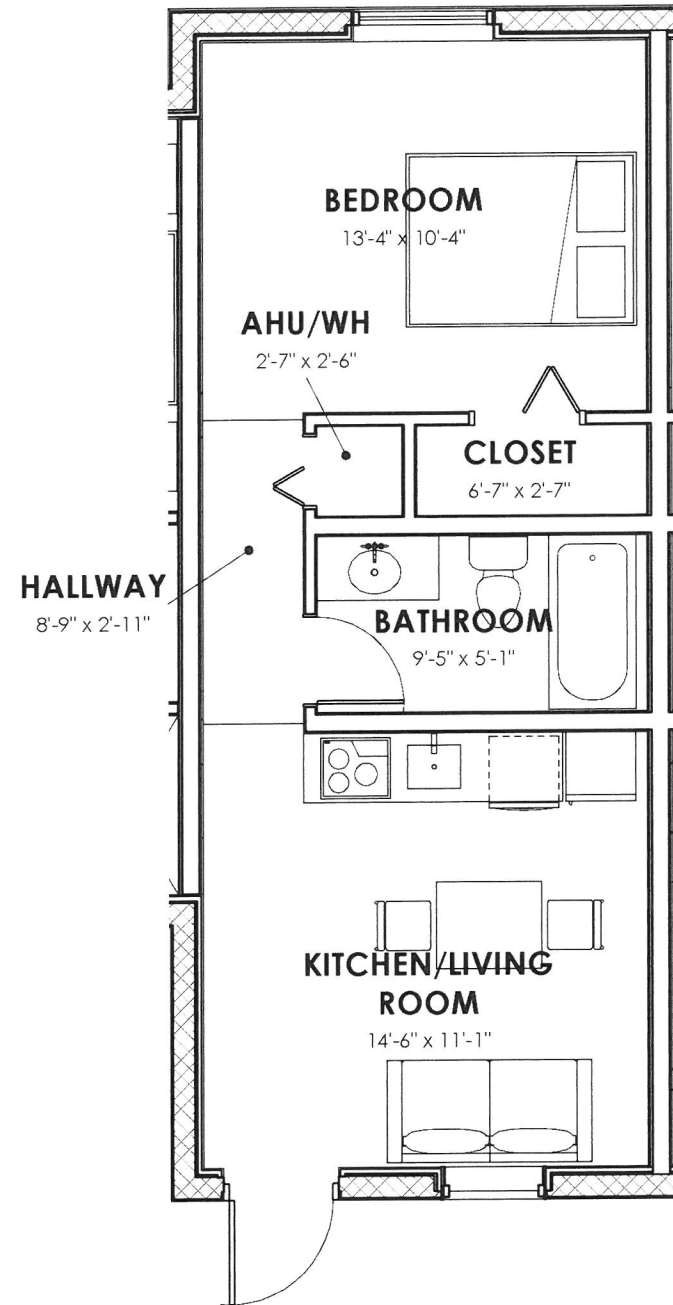


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SK5 **MHK ARCHITECTURE**

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**1 BEDROOM
468 SQ FT**



1 BEDROOM UNIT ENLARGED (1)
SCALE: 3/16" = 1'-0"

**2 BEDROOM
920 SQ FT**

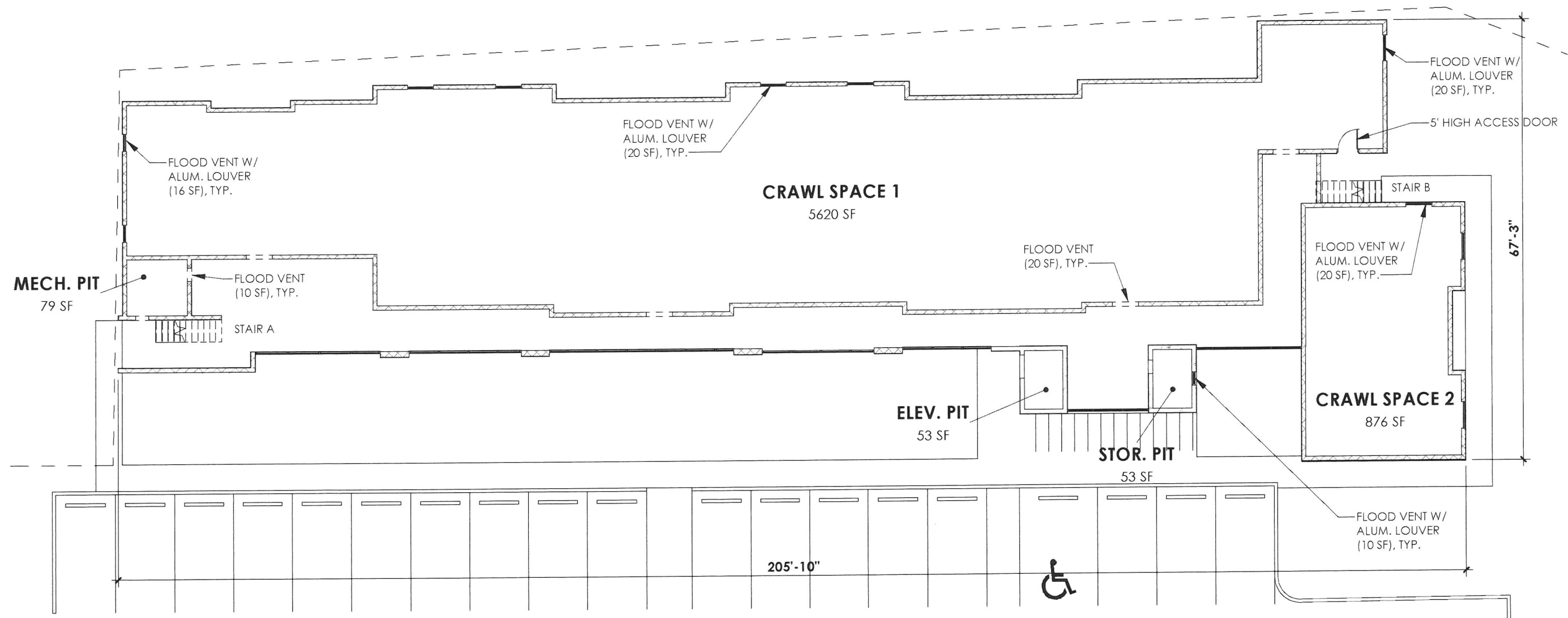


2 BEDROOM UNIT ENLARGED (2)
SCALE: 3/16" = 1'-0"

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SK6 MHK ARCHITECTURE

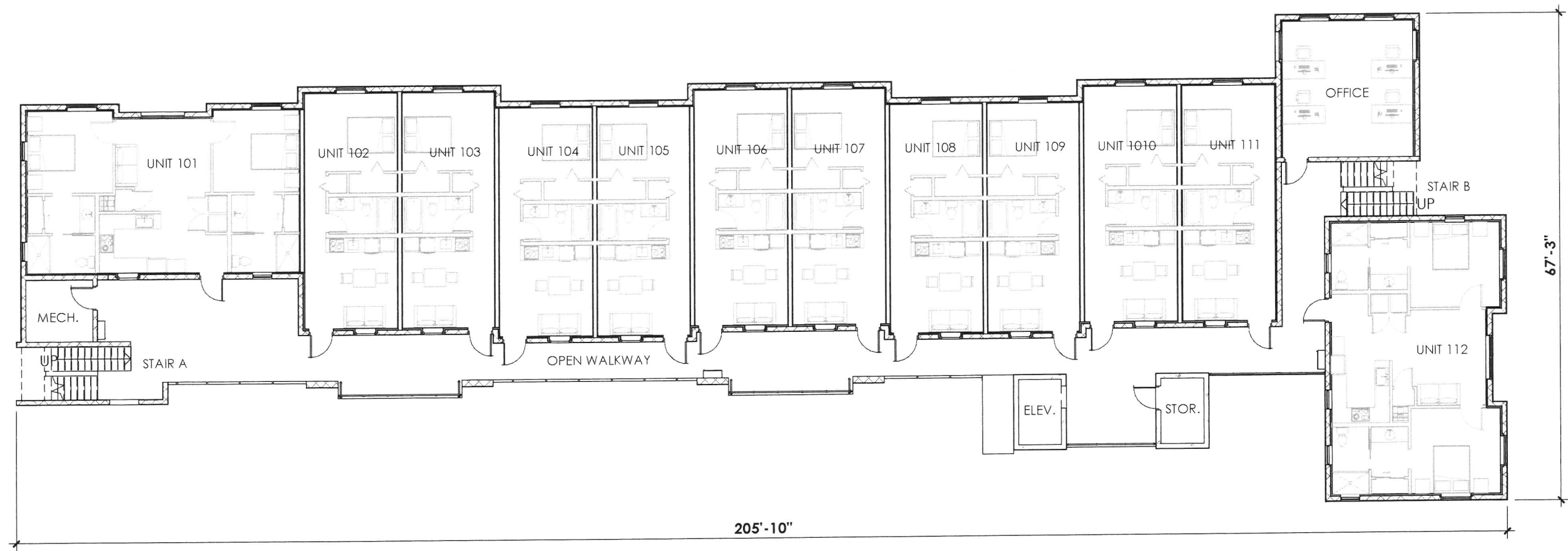
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CRAWL SPACE FLOOR PLAN
SCALE: 1/16" = 1'-0"

	AREA	AREA/VENT RATIO	REQUIRED VENT AREA	PROVIDED VENT AREA
CRAWL SPACE 1	5621 SF	144	5621 : 144 = 39.03 SF	(9) X 20 SF + (2) X 16 = 212 SF
CRAWL SPACE 2	877 SF	144	877 : 144 = 6.09 SF	(3) X 20 SF = 60 SF
STORAGE PIT	53 SF	144	53 : 144 = 0.37 SF	(2) X 10 SF = 20 SF
MECHANICAL PIT	79 SF	144	79 : 144 = 0.55 SF	(2) X 10 SF = 20 SF

FLOOD VENT CALCULATION
NTS



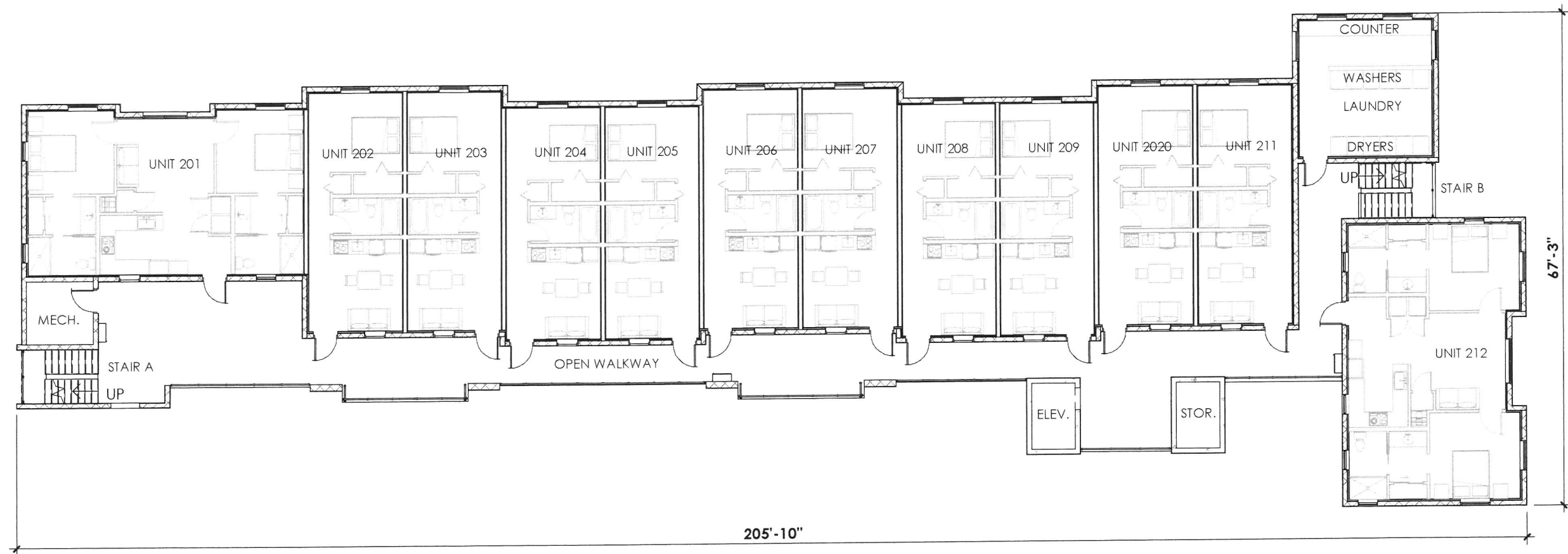
FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"



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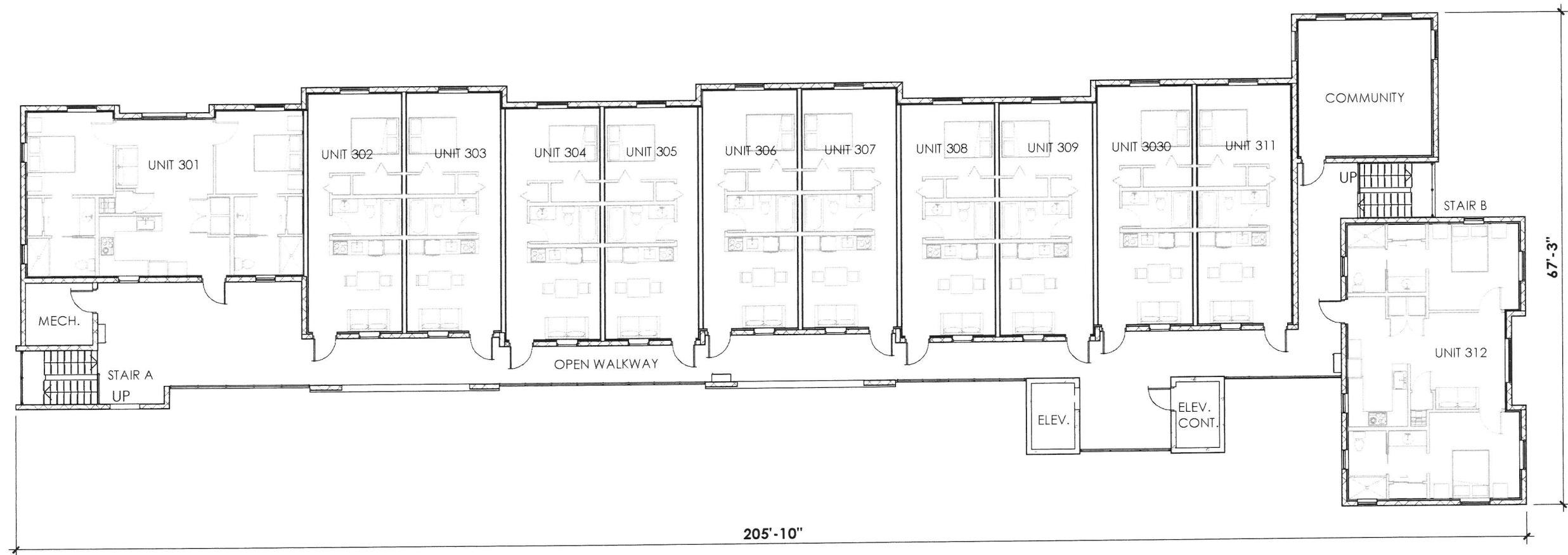
SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



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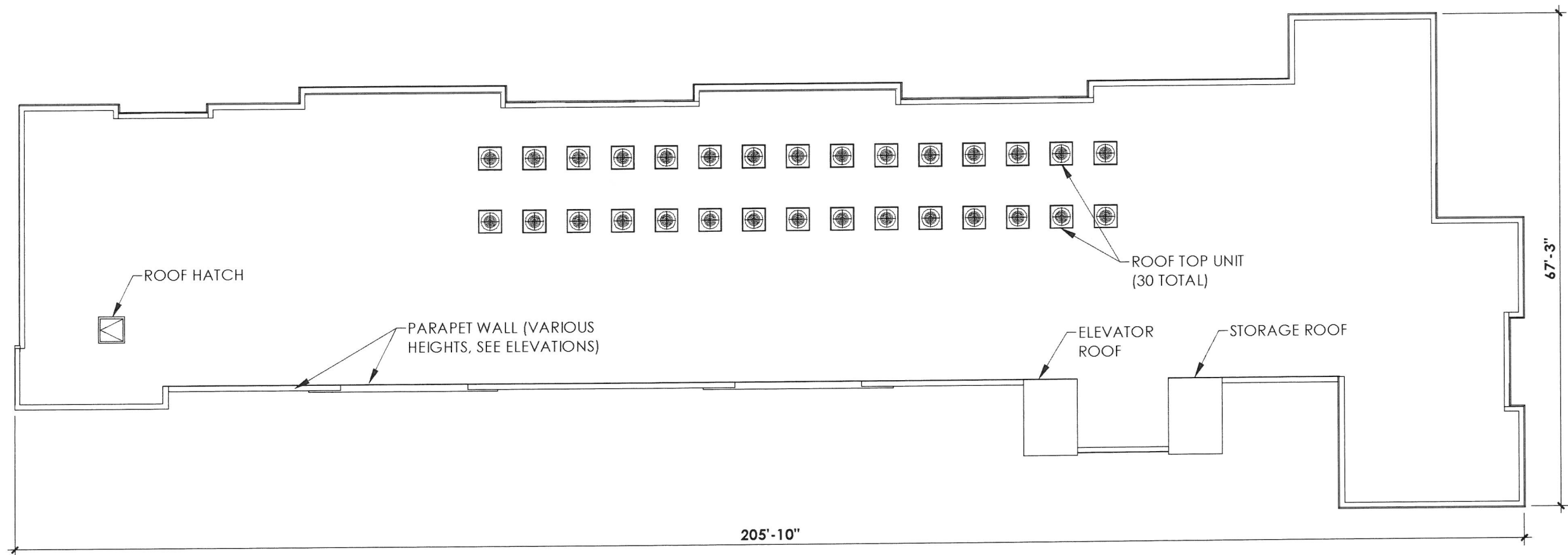
THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



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ROOF PLAN
 SCALE: 1/16" = 1'-0"

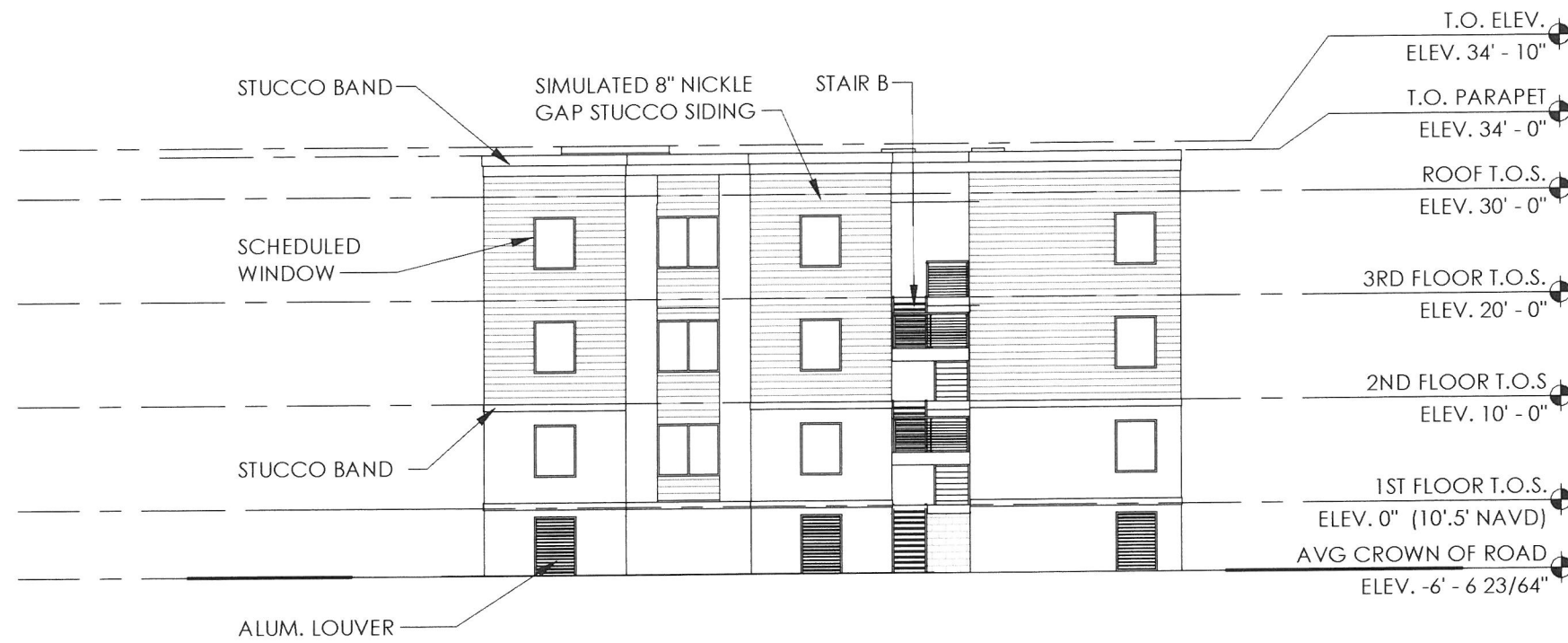




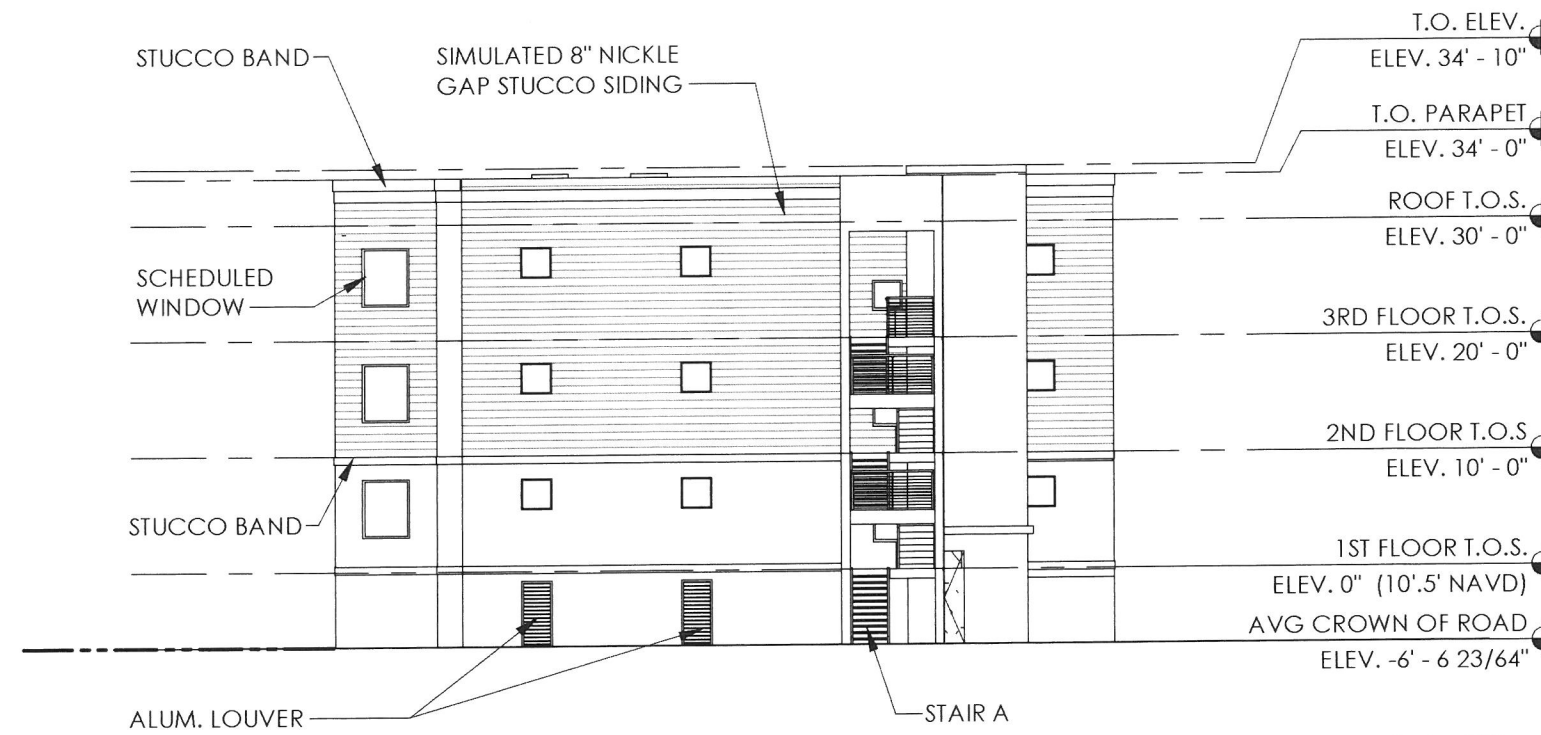
SOUTH ELEVATION
 SCALE: 1/16" = 1'-0" 1



NORTH ELEVATION
 SCALE: 1/16" = 1'-0" 2



EAST ELEVATION 1
SCALE: 1/16" = 1'-0"



WEST ELEVATION 2
SCALE: 1/16" = 1'-0"

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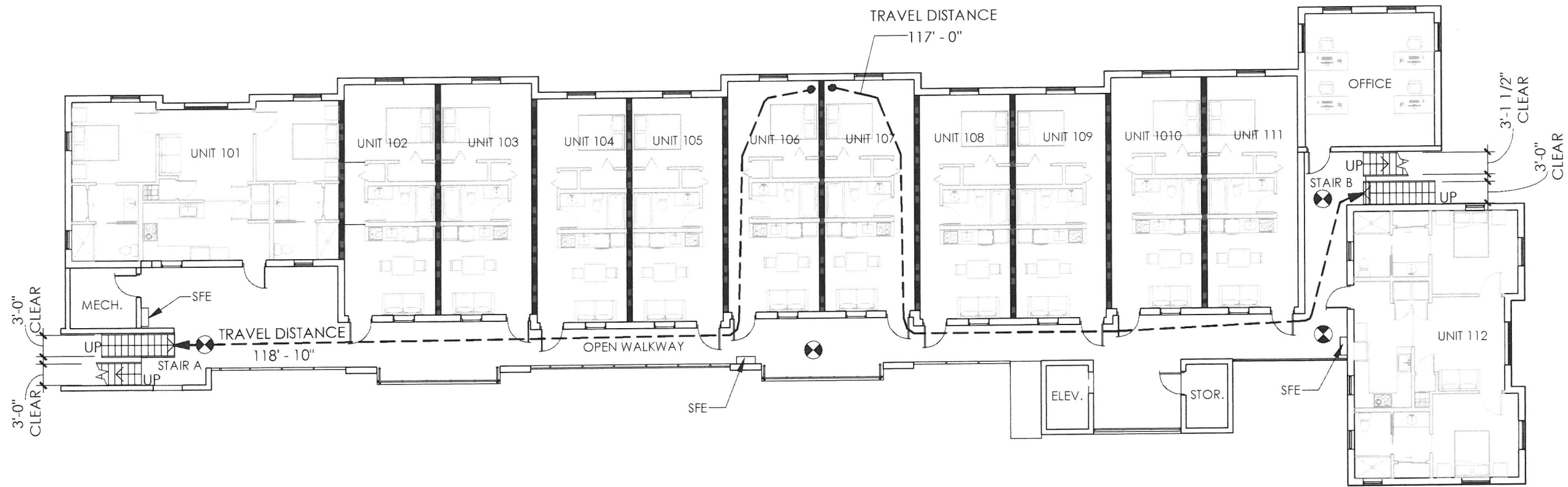
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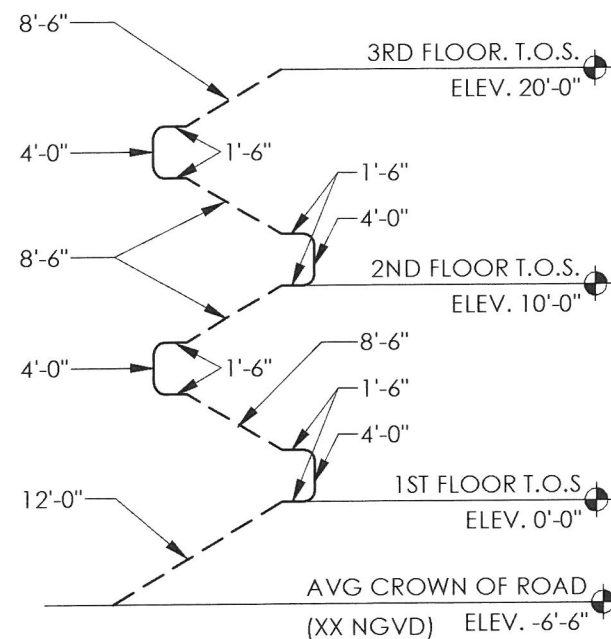


LIFE SAFETY PLAN - FIRST FLOOR

SCALE: 1/16" = 1'-0"



STAIR A & B, VERTICAL DIST 74'-0"
STAIR FROM 3RD FLOOR TO AVG
CROWN OF ROAD



EGRESS STAIR DIAGRAM

NTS

LIFE SAFETY LEGEND	LIFE SAFETY NOTES	EGRESS DISTANCE CALCULATIONS				
		DISTANCE TO EGRESS STAIR	VERTICAL DISTANCE	DISTANCE TO CLEAR	TRAVEL DISTANCE	
INDICATES LOCATION OF 1-HOUR RATED BARRIER. INDICATES LOCATION OF 2-HOUR RATED BARRIER. SFE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET EXIT SIGNAGE / DIRECTION TRAVEL DISTANCE	1. FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM. 2. PROVIDE AT EACH STAIR TOWER SIGNAGE ON EACH FLOOR LEVEL STATING THE FOLLOWING: "STAIR LOCATION, YOUR CURRENT LEVEL YOU ARE ON, # OF LEVELS TO EXIT W/ DIRECTIONAL ARROW, INDICATE IF STAIR EXTENDS TO THE ROOF, INDICATE LEVEL THE STAIR TOWER TERMINATES AT." EXAMPLE: STAIR #1: YOU ARE ON LEVEL #3 EXIT (W/ DIRECTIONAL ARROW AND # OF FLOORS TO EXIT. THIS STAIR EXTENDS FROM GROUND FLOOR TO THIRD FLOOR BRAILLE MARKING	1ST FLOOR	118'-10"	12'-0"	N/A	128'-10"
		2ND FLOOR	123'-5"	12'-0"+31'-0" =43'-0"	N/A	166'-5"
		3RD FLOOR	123'-5"	43'-0"+31'-0" =74'-0"	N/A	197'-5"
		MAX TRAVEL DISTANCE ALLOWED: 200' W/ SPRINKLER: 250' MAX TRAVEL DISTANCE PROVIDED: 197'-5"				

LIFE SAFETY LEGEND & CALCS.

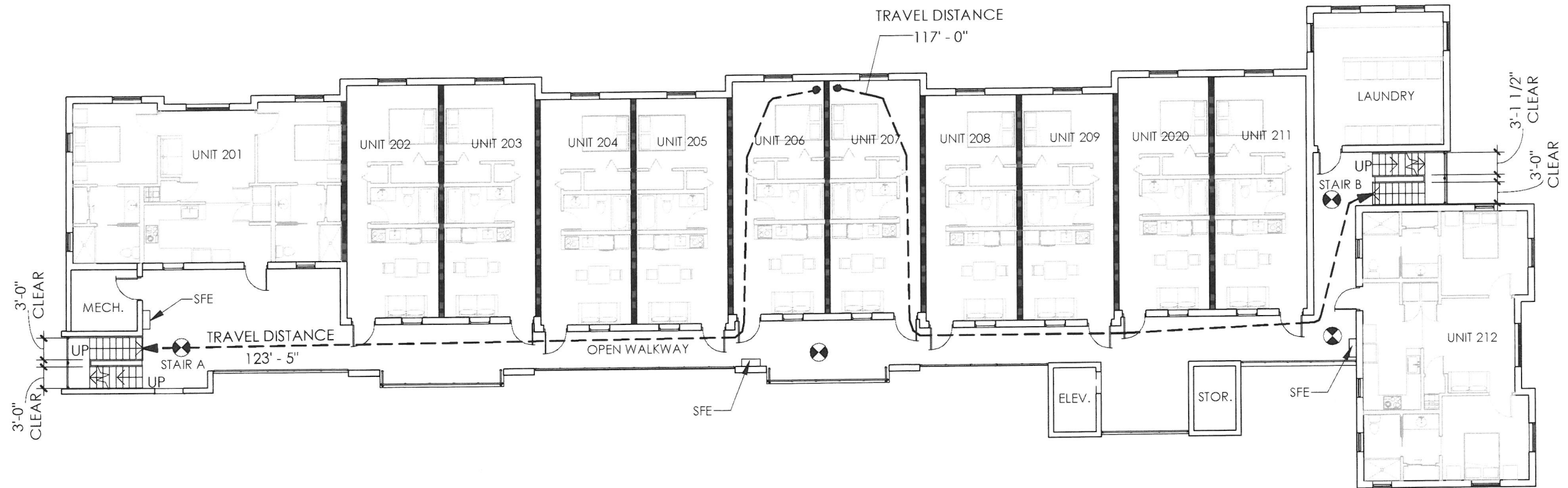
NTS

AH MONROE PEACOCK

SK15

MHK ARCHITECTURE

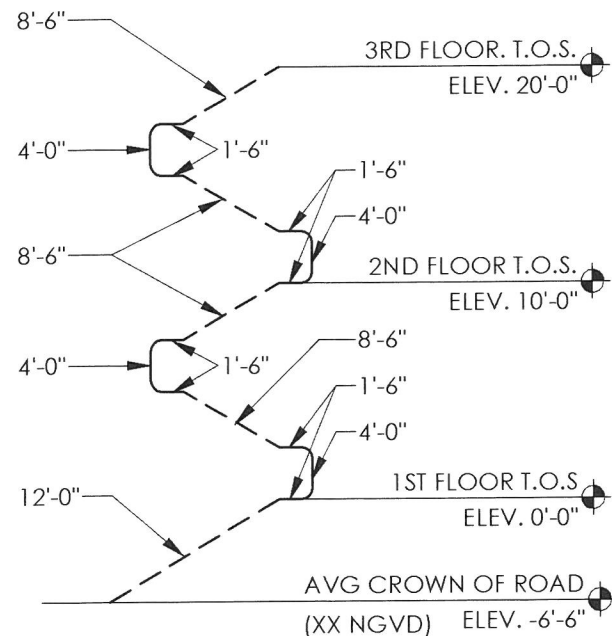
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LIFE SAFETY PLAN - SECOND FLOOR
SCALE: 1/16" = 1'-0"



STAIR A & B, VERTICAL DIST 74'-0"
STAIR FROM 3RD FLOOR TO AVG
CROWN OF ROAD



EGRESS STAIR DIAGRAM
NTS

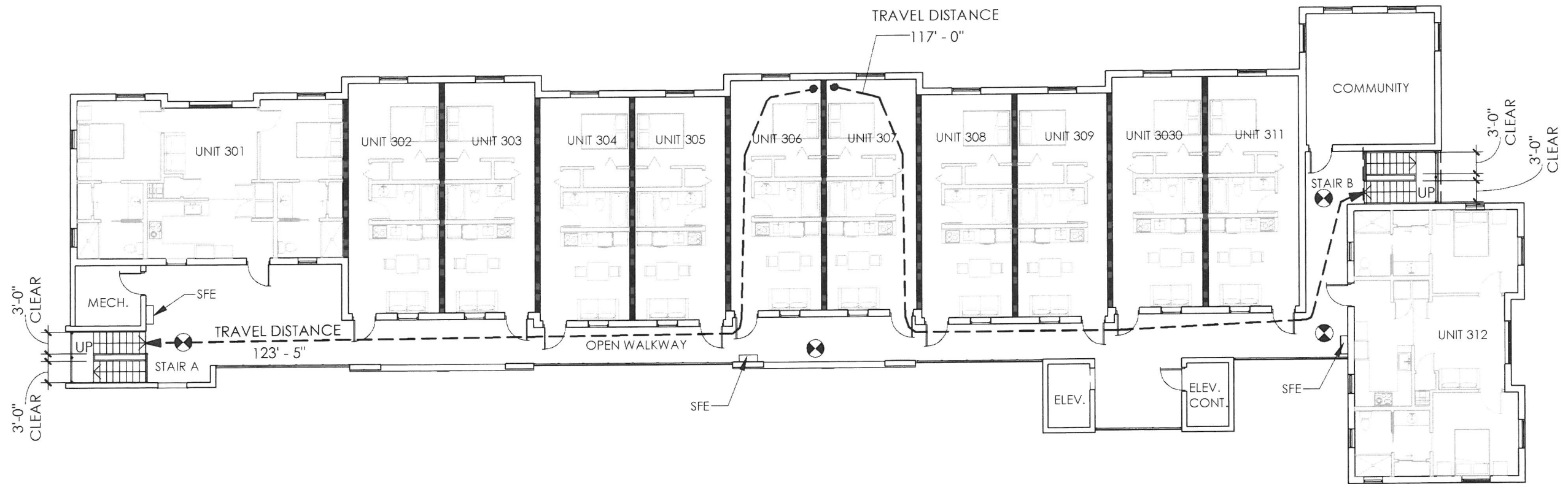
LIFE SAFETY LEGEND	LIFE SAFETY NOTES	EGRESS DISTANCE CALCULATIONS				
		DISTANCE TO EGRESS STAIR	VERTICAL DISTANCE	DISTANCE TO CLEAR	TRAVEL DISTANCE	
INDICATES LOCATION OF 1-HOUR RATED BARRIER. INDICATES LOCATION OF 2-HOUR RATED BARRIER. SFE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET EXIT SIGNAGE / DIRECTION TRAVEL DISTANCE	1. FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM. 2. PROVIDE AT EACH STAIR TOWER SIGNAGE ON EACH FLOOR LEVEL STATING THE FOLLOWING: "STAIR LOCATION, YOUR CURRENT LEVEL YOU ARE ON, # OF LEVELS TO EXIT W/ DIRECTIONAL ARROW, INDICATE IF STAIR EXTENDS TO THE ROOF, INDICATE LEVEL THE STAIR TOWER TERMINATES AT." EXAMPLE: STAIR #1: YOU ARE ON LEVEL #3 EXIT (W/ DIRECTIONAL ARROW AND # OF FLOORS TO EXIT. THIS STAIR EXTENDS FROM GROUND FLOOR TO THIRD FLOOR BRAILLE MARKING	1ST FLOOR	118'-10"	12'-0"	N/A	128'-10"
		2ND FLOOR	123'-5"	12'-0"+31'-0" =43'-0"	N/A	166'-5"
		3RD FLOOR	123'-5"	43'-0"+31'-0" =74'-0"	N/A	197'-5"
		MAX TRAVEL DISTANCE ALLOWED: 200' W/ SPRINKLER: 250' MAX TRAVEL DISTANCE PROVIDED: 197'-5"				

LIFE SAFETY LEGEND & CALCS.
NTS

AH MONROE PEACOCK

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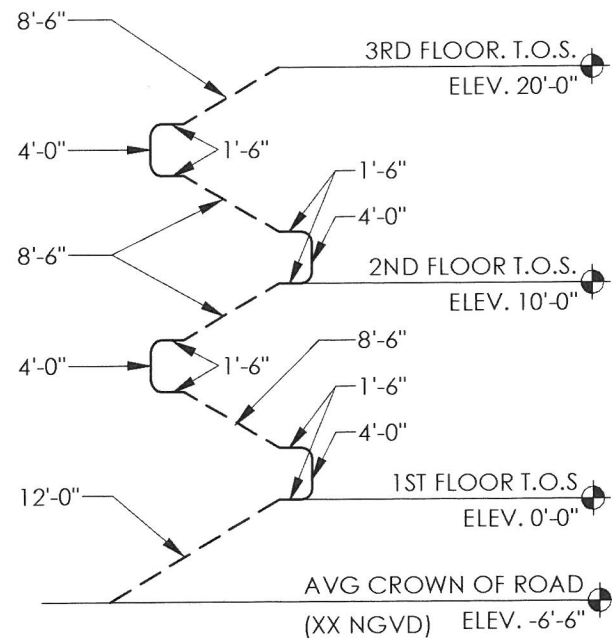


LIFE SAFETY PLAN - THIRD FLOOR

SCALE: 1/16" = 1'-0"



STAIR A & B, VERTICAL DIST 74'-0"
STAIR FROM 3RD FLOOR TO AVG
CROWN OF ROAD



EGRESS STAIR DIAGRAM

NTS

LIFE SAFETY LEGEND		LIFE SAFETY NOTES		EGRESS DISTANCE CALCULATIONS				
	INDICATES LOCATION OF 1-HOUR RATED BARRIER.	1. FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM. 2. PROVIDE AT EACH STAIR TOWER SIGNAGE ON EACH FLOOR LEVEL STATING THE FOLLOWING: "STAIR LOCATION, YOUR CURRENT LEVEL YOU ARE ON, # OF LEVELS TO EXIT W/ DIRECTIONAL ARROW, INDICATE IF STAIR EXTENDS TO THE ROOF, INDICATE LEVEL THE STAIR TOWER TERMINATES AT." EXAMPLE: STAIR #1: YOU ARE ON LEVEL #3 EXIT (W/ DIRECTIONAL ARROW AND # OF FLOORS TO EXIT. THIS STAIR EXTENDS FROM GROUND FLOOR TO THIRD FLOOR BRAILLE MARKING		DISTANCE TO EGRESS STAIR	VERTICAL DISTANCE	DISTANCE TO CLEAR	TRAVEL DISTANCE	
	INDICATES LOCATION OF 2-HOUR RATED BARRIER.		1ST FLOOR	118'-10"	12'-0"	N/A	128'-10"	
	S FE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET		2ND FLOOR	123'-5"	12'-0"+31'-0" =43'-0"	N/A	166'-5"	
	EXIT SIGNAGE / DIRECTION		3RD FLOOR	123'-5"	43'-0"+31'-0" =74'-0"	N/A	197'-5"	
	TRAVEL DISTANCE	MAX TRAVEL DISTANCE ALLOWED: 200' W/ SPRINKLER: 250' MAX TRAVEL DISTANCE PROVIDED: 197'-5"						

LIFE SAFETY LEGEND & CALCS.

NTS

AH MONROE PEACOCK

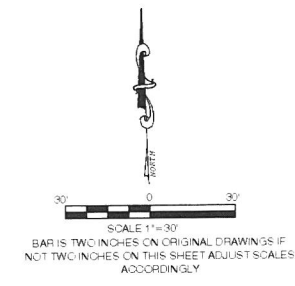
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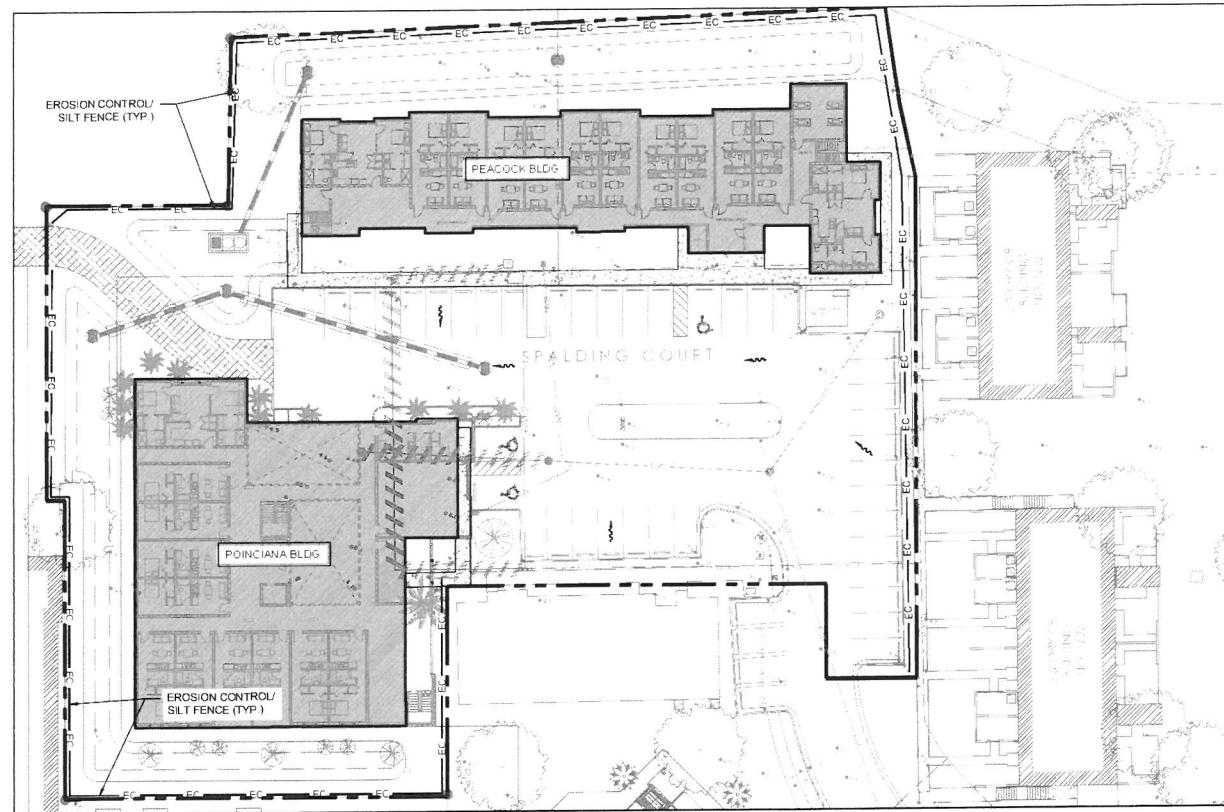
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EROSION CONTROL PLAN

SCALE: 1"=30'

- SWPPP GENERAL NOTES**
- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECT TO SOIL DISTURBANCE.
 - THE ATTACHED BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE SWPPP.
 - THE CONTRACTOR SHALL SUBMIT A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621 300(4)(B)," ALSO KNOWN AS NOTICE OF INTENT OR NOI, TO THE DEPARTMENT, AND SUBMIT THE PERMIT FEE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN, AND SPECIFICATION.
 - THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

Seal:

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FLORIDA KEYS OUTREACH COALITION
Spalding Court, Key West, FL 33040
PEACOCK BUILDING

Consultants:

Submissions:

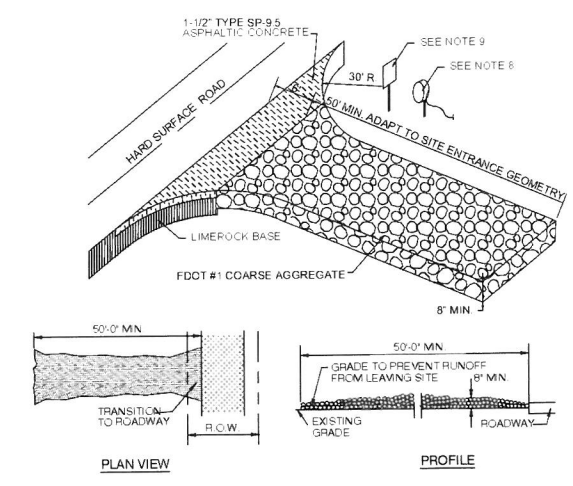
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Drawn By: AEP
Checked By: AEP

Title:
EROSION CONTROL PLAN

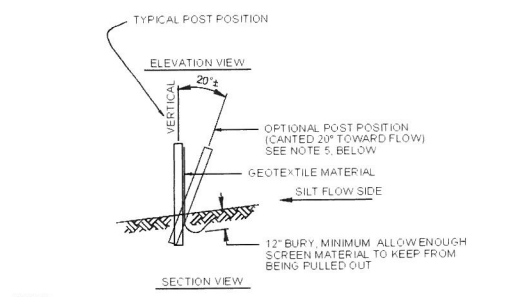
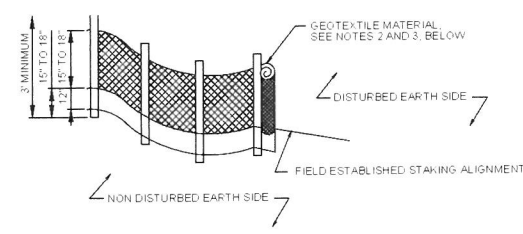
Sheet Number:

C-100

Date: May 11, 2026



- NOTES:**
- STONE SIZE: 3 TO 5 INCH OPEN GRADED ROCK
 - LENGTH: AS EFFECTIVE, BUT NOT LESS THAN 50 FEET
 - THICKNESS: NOT LESS THAN 8 INCHES
 - WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
 - WASHING OF ALL VEHICLE UNDERCARRIAGE, WHEEL WELLS AND WHEELS IS MANDATORY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ON TO PUBLIC ROADWAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRIP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
 - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSINGS WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON TO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 - DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 - PROVIDE WATER SUPPLY AND MINIMUM 100 FT. LONG HOSE AND SPIGOT AT EACH DESIGNATED CONSTRUCTION EXIT.
 - PROVIDE SIGNAGE AT EACH DESIGNATED EXIT REQUIRING WASHING OF ALL VEHICLES LEAVING SITE.
 - ENTRANCE LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE. CONTRACTOR TO COORDINATE ACTUAL LOCATIONS ACCORDING TO PHASING PLANS.



- NOTES:**
- POST: 2X2\"/>
 - GEOTEXTILE: GRAB TENSILE AT 90 LBS, TRAPEZOIDAL TEAR AT 35 LBS, MULLEN BURST AT 180 PSI
 - GEOTEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12\"/>
 - ALSO SEE FDOT INDEX 199 \"GEOTEXTILE CRITERIA\" EROSION CLASS
 - OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:2

1 Staked Silt Barrier Detail
NTS

2 GRAVEL CONSTRUCTION ENTRANCE
NTS

PRELIMINARY - NOT FOR CONSTRUCTION

EROSION CONTROL NOTES

- EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
- FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH FDOT STANDARDS.
- CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ONSITE.
- BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT STANDARDS.
- SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
- PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCK ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURES DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
- EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, FILTER SOCK AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.

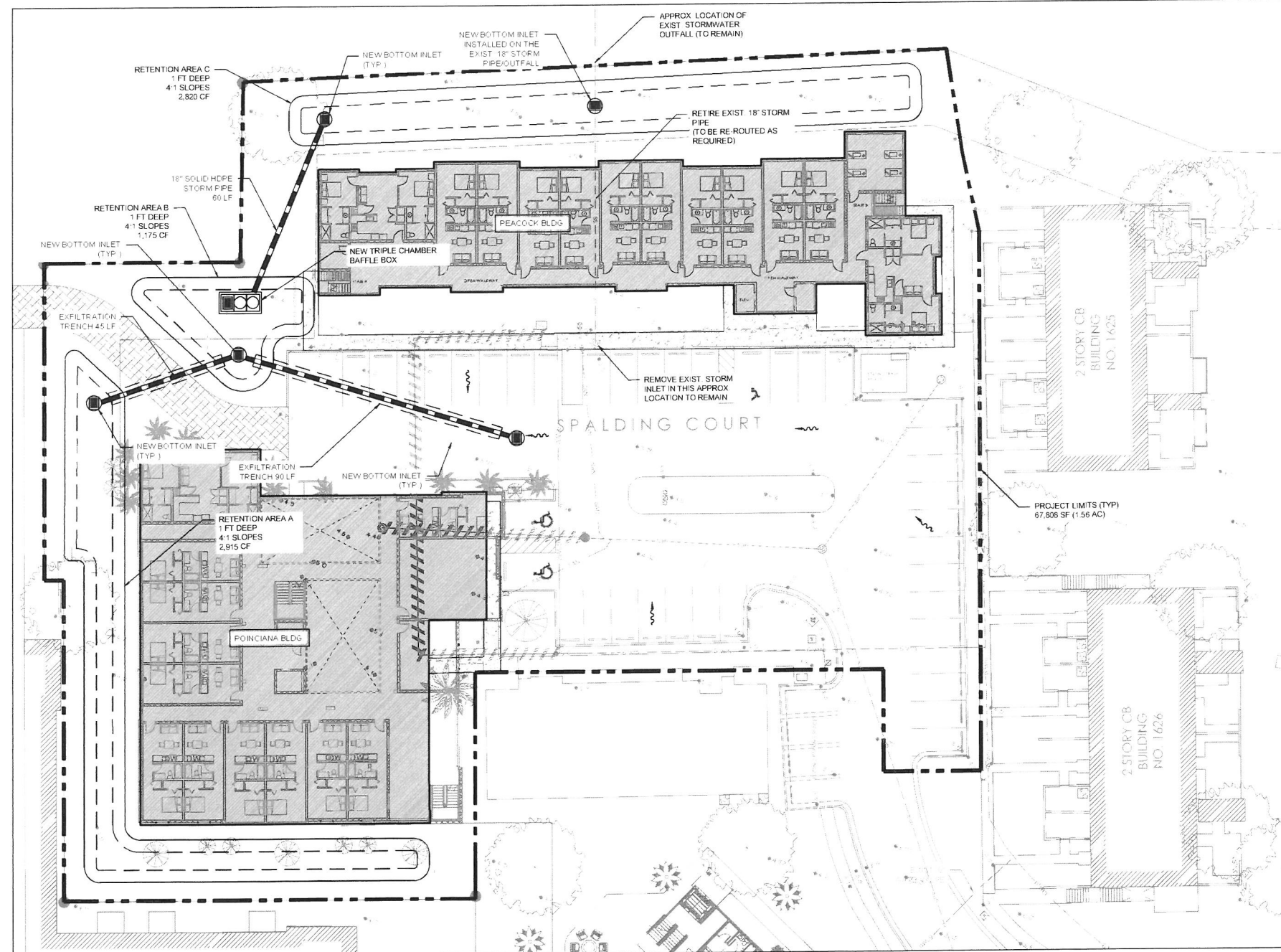
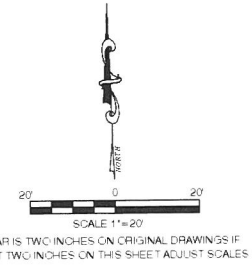


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CONCEPTUAL GRADING AND DRAINAGE PLAN

SCALE: 1"=20'

GENERAL NOTES

1. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES. THE CONTRACTOR SHALL CONTACT BELL SOUTH, THE LOCAL TELEPHONE COMPANY AND COMCAST, THE LOCAL CABLE TV PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE TV UTILITIES. NONE HAVE BEEN INDICATED ON THE DRAWINGS. CALL 1-800-432-4770 BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGES TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CLIENT.

DRAINAGE CALCULATIONS

Water Quality Calculations			
Water Quality:			
Project Area	1.557	ac	67,860
Surface Water	0.000	ac	0
Roof Area	2.480	ac	30,106
Pavement/Walkways	0.418	ac	16,201
Pervious Area	0.677	ac	29,502
Pervious Area for Water Quality (Site Area for Water Quality - Pervious Area)			
	0.418	ac	16,201
% Impervious for Water Quality			
	27%		
A) One inch of runoff from project area			
	1.357	ac-in	
B) 2.5 inches, least percent impervious (2.5 x percent impervious x site area - surface water)			
	1.045	ac-in	
Total Treatment Volume Required			
	1.557	ac-in	5,851
Pond Volume Provided			
	1.904	ac-in	6,910
Exfiltration Volume Provided			
	0.831	ac-in	3,018
Total Volume Provided			
	2.735	ac-in	9,928

Exfiltration Trench Design	
Required trench length (L) =	$\frac{V}{K(2H+D_u) + 2 + 2HGD_s + 1.39 \times 10^{-10} - 4(WI)D_u}$
Assumed Hydraulic Conductivity (K) =	0.0000633
H =	5
W =	4
D _u =	3
D _s =	2
Volume of Trench (V) =	0.831
Trench Length Provided =	195

NOTE: CONTRACTOR TO COORDINATE CONVEYANCE OF ROOF DRAINS/RUNOFF TO NEW STORMWATER MANAGEMENT SYSTEM

- STORMWATER MANAGEMENT
- THE LOCATIONS AND SHAPES OF THE SWALES ARE SHOWN AS A GENERAL CONCEPT FOR THIS PLAN TO CONFIRM THAT ADEQUATE RETENTION CAN BE OBTAINED.
 - THE EXACT LOCATION/CONFIGURATION OF THE SWALES MAY BE ADJUSTED ACCORDINGLY AT THE TIME OF BUILDING DEPARTMENT SUBMISSION.

Seal:

ALLEN E. PEREZ, P.E.
FL. P.E. NO. 51468

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FLORIDA KEYS OUTREACH COALITION
Spalding Court, Key West, FL 33040
PEACOCK BUILDING

Consultants:

Submissions:

Job #:
251035
Drawn By:
AEP
Checked By:
AEP

Title:
CONCEPTUAL
DRAINAGE PLAN

Sheet Number:

C-200

Date: May 11, 2026

PRELIMINARY - NOT FOR CONSTRUCTION

ELEVATIONS BASED ON NGVD 29

Landscape Plan

Tree #	Common	Scientific Name	Diameter/Height	Condition	City of Key West LDR	Action	Notes
4.1	Spanish Stopper	Eugenia foetida	6.3' dbh	Poor	Protected	Remain	two trunks-one growing sideways, growing between bldg 1620 (1621B) and 1621 Spalding
4.2	Spanish Stopper	Eugenia foetida	5.0' dbh	Fair to Poor	Protected	Remain	elongated trunk growth, growing between bldg 1620 (1621B) and 1621 Spalding
4.3	No Tree/Shrub						
4.4	Spanish Stopper	Eugenia foetida	9.5' dbh	Fair to Poor	Protected	Remain	multiple trunks, a few trunks flat cut to 3 ft, growing between bldg 1620 (1621B) and 1621 Spalding
4.5	No Tree/Shrub						
4.6	Spanish Stopper	Eugenia foetida	11.1' dbh	Fair	Protected	Remain	multiple trunks, growing between bldg 1620 (1621B) and 1621 Spalding
4.7	Spanish Stopper	Eugenia foetida	15.2' dbh	Fair	Protected	Remain	multiple trunks-one trunk has decay, growing between bldg 1620 (1621B) and 1621 Spalding
4.8	Wild Coffee	Psychotria nervosa	NA	Fair	Not Regulated	Remain	Shrub, front of bldg 1620 (1621B) Spalding
4.9	Wild Coffee	Psychotria nervosa	NA	Poor	Not Regulated	Remain	Shrub, front of bldg 1620 (1621B) Spalding
4.10a	Wild Coffee	Psychotria nervosa	NA	Fair	Not Regulated	Remain	Manicured hedge, front of bldg 1620 (1621B) Spalding
4.10b	Cootie	Zamia integrifolia	NA	Fair to Poor	Not Regulated	Remain	Manicured hedge, front of bldg 1620 (1621B) Spalding
4.11a	Wild Coffee	Psychotria nervosa	NA	Fair	Not Regulated	Remain	Shrub, front of bldg 1620 (1621B) Spalding
4.11b	Green Island Ficus	Ficus microcarpa	NA	Fair	Not Regulated	Remain	Shrub, front of bldg 1620 (1621B) Spalding
4.12	Firebush	Hamelia patens	NA	Fair	Not Regulated	Remain	Shrub, front of bldg 1620 (1621B) Spalding
4.13	Gumbo Limbo	Bursera simaruba	7' dbh	Fair to Poor	Protected	Remain	two trunks with smaller trunk growing from base, growing at corner of Hoey and Spalding in front of bldg 1620 (1621B) Spalding
3.159	No Tree						
3.160	Blolly	Guapira discolor	19.1' dbh	Fair to Poor	Protected	Remain	multiple trunks, poor structure, bad cuts, growing behind bldg 1620 Spalding (1621B)
3.161	No Shrub						
3.162	Fiddlewood	Citharexylum fruticosum	NA	Poor	Not Regulated	Remain	Shrub, growing behind bldg 1620 Spalding (1621B)
3.163	Silver Buttonwood	Conocarpus erectus var. sericeus	7.6' dbh	Poor	Protected	Remain	topped, butchered, lightning damage, hgrown behind bldg 1620 Spalding (1621B)
3.164	Spicewood	Calypttranthes pallens	7' dbh	Fair	Protected	Remain	Shrubby tree, growing behind bldg 1620 Spalding (1621B)
3.165	Blolly	Guapira discolor	26.7' dbh	Poor	Protected	Remain	poor cuts, included bark, decay, growing behind bldg 1620 Spalding (1621B)
3.166	Spicewood	Calypttranthes pallens	7.3' dbh	Fair	Protected	Remain	Shrubby tree, growing behind bldg 1620 Spalding (1621B)
3.167	Gumbo Limbo	Bursera simaruba	6.6' dbh	Fair	Protected	Remain	elongated trunk growth, growing behind bldg 1620 Spalding (1621B)
3.168	Spicewood	Calypttranthes pallens	7' dbh	Fair	Protected	Remain	Shrubby tree, growing behind bldg 1620 Spalding (1621B)
3.169	Blolly	Guapira discolor	15.2' dbh	Poor	Protected	Remain	decay, growing behind bldg 1620 Spalding (1621B)
3.170	Spicewood	Calypttranthes pallens	10' dbh	Fair	Protected	Remain	Shrubby tree, growing behind bldg 1620 Spalding (1621B)
3.171	Brazilian Pepper	Schinus terebinthifolia	NA	Invasive	Invasive	Remove	growing behind bldg 1620 Spalding (1621B)
3.172	Spicewood	Calypttranthes pallens	10' dbh	Fair	Protected	Remain	Shrubby tree, growing behind bldg 1620 Spalding (1621B)
3.173	No Shrub						
3.174	Blolly	Guapira discolor	11.4' dbh	Fair to Poor	Protected	Remain	multiple trunks-shrubby tree, growing behind bldg 1620 Spalding (1621B)
3.175	Firebush	Hamelia patens	NA	Poor	Not Regulated	Remain	Shrub, growing with tree 3.176 behind bldg 1620 Spalding
3.176	Silver Buttonwood	Conocarpus erectus var. sericeus	10.1' dbh	Poor	Protected	Remain	Poor structure, growing at bldg 1620 Spalding
4.14	Hedge	Numerous spec	NA	Poor	Not Regulated	Remain	Manicured hedge includes Wild Coffee, Jamaican Caper shrubs, growing along side of bldg 1620 Spalding (1621a)
4.15	Bougainvillea	Bougainvillea spp	NA	Fair	Not Regulated	Remove	Hedged, growing in front of bldg 1621
4.16	Strangler Fig	Ficus aurea	15.6' dbh	Fair	Protected	Remove	Growing immediately adjacent to concrete wall, growing in front of bldg 1621
4.17	Ixora	Ixora spp	NA	Fair	Not Regulated	Remove	Shrub, growing in front of bldg 1621
4.18a	Bougainvillea	Bougainvillea spp	NA	Poor	Not Regulated	Remove	Shrub, growing in front of bldg 1621
4.18b	Coconut Palm	Cocos nucifera	3 ft CT	Good	Protected	Remove	Young palm, growing in front of bldg 1621
4.19	Coconut Palm	Cocos nucifera	>10 ft CT	Fair	Protected	Remove	Lifting walls, growing in front of bldg 1621
4.2	White Bird of Paradise	Strelitzia nicolai	NA	Poor	Not Regulated	Remove	growing in front of bldg 1621
4.21	Christmas Palm	Aconitida Merrillii	8.5 ft CT	Poor	Not Regulated	Remove	diseased, growing in front of bldg 1621
4.22	No Tree/Shrub						
4.23	Ixora (A, B & C)	Ixora spp	NA	Fair	Not Regulated	Remove	Three Shrubs, growing in front of bldg 1621 Spalding
4.24	Ixora	Ixora spp	NA	Fair	Not Regulated	Remove	Shrub, growing in front of bldg 1621 Spalding
4.25	Silver Buttonwood	Conocarpus erectus var. sericeus	14.3' dbh	Fair to Poor	Protected	Remove	some decay from breaks/poor cuts in canopy, growing in front of bldg 1621
4.26	Gumbo Limbo	Bursera simaruba	16.8' dbh	Poor	Protected	Remove	North limb damaged, gummosis, growing between bldgs 1621 & 1622
4.27a	Coconut Palm	Cocos nucifera	>10 ft CT	Fair	Protected	Remove	growing behind bldg 1621
4.27b	Podocarpus	Podocarpus sp.	NA	Fair	Not Regulated	Remove	Shrubs, growing behind bldg 1621
4.27c	Ixora and Podocarpus		NA	Fair to Poor	Not Regulated	Remove	Shrubs, growing behind bldg 1621
4.28	Gumbo Limbo	Bursera simaruba	*est 24' dbh total	Poor	Protected	Remove	(2) codominant trunks, future growth will create extensive included bark, growing behind bldg 1621
4.29	Dracena	Dracena spp	NA	Poor	Not Regulated	Remove	growing behind bldg 1621
4.30	Weeping Fig	Ficus benjamina	<24' dbh	Poor	Not Regulated	Remove	growing behind bldg 1621
4.31a	Jamaica Dogwood	Piscidia piscipula	*est 5' dbh	Poor	Protected	Remove	growing close to structure- no room for growth, growing behind bldg 1621 (need access into yard area to measure tree)
4.31b	Coconut Palm	Cocos nucifera	3 ft CT	Fair	Protected	Remove	growing behind bldg 1621
4.32	Dracena	Dracena spp	NA	Fair	NA	Remove	growing behind bldg 1621
4.33a	White Bird of Paradise	Strelitzia nicolai	NA	Fair	NA	Remove	in alley behind wall
4.33b	non native plant	Unidentified	NA	Fair	NA	Remove	viney type ornamental plant, growing behind bldg 1621
4.34	Coconut Palm	Cocos nucifera	3 ft CT	Fair	Protected	Remove	growing behind bldg 1621
4.35	Weeping Ficus	Ficus benjamina	<24' dbh	Poor	Not Regulated	Remove	next to bldg, growing behind bldg 1621
4.36	Dracena	Dracena spp	NA	Fair	NA	Remove	growing behind bldg 1621
4.37	Bottlebrush	Callistemon citrinus	*est 20' dbh	Poor	Regulated	Remove	major trunk decay, growing behind bldg 1621 (need access into yard area to measure tree)
4.38a	Mahogany	Swietenia mahagoni	11.7' dbh	Fair	Protected	Remove	center parking lot planter
4.38b	Tropical Almond	Terminalia catappa	1' dbh	Poor	Not Regulated	Remove	juvenile tree, center parking lot planter
4.39a	Coconut Palm	Cocos nucifera	>10 ft CT	Fair	Protected	Remove	center parking lot planter
4.39b	Tropical Almond	Terminalia catappa	<1' dbh	Poor	Not Regulated	Remove	juvenile tree, center parking lot planter
4.41b	Tropical Almond	Terminalia catappa	<1' dbh	Poor	Not Regulated	Remove	juvenile tree, center parking lot planter
4.41a	Jamaica Dogwood	Piscidia piscipula	4' dbh	Fair	Protected	Remain	center parking lot planter
4.41b	Tropical Almond	Terminalia catappa	4' dbh	Poor	Not Regulated	Remove	
4.42	Mahogany	Swietenia mahagoni	11.7' dbh	Fair	Protected	Remain	center parking lot planter
4.43	Coconut Palm	Cocos nucifera	>10 ft CT	Fair	Protected	Remove	lawn in front of bldg 1622
4.44	Poinciana	Delonix regia	10.8' dbh	Poor	Protected	Remove	lawn in front of bldg 1622, circling roots
4.45	Poinciana	Delonix regia	15.9' dbh	Fair	Protected	Remove	lawn in front of bldg 1622, storm damage in canopy
4.46a	Gumbo Limbo	Bursera simaruba	8.9' dbh	Poor	Protected	Remove	lawn in front of bldg 1622, no lead, beginning to dog leg
4.46b	Sea Grape	Coccoloba uvifera	NA	Poor	Not Regulated	Remove	Shrub, growing at base of Gumbo Limbo
4.47	Poinciana	Delonix regia	11.7' dbh	Fair	Protected	Remove	multiple trunks, lawn in front of bldg 1622
4.48	Arecia Palm	Dypsis lutescens	NA	Fair	Not Regulated	Remove	front of bldg 1622
4.49	misc ornamental plants	NA	NA	NA	Not Regulated	Remove	front of bldg 1622
4.50	No Tree/Shrub						
4.51	misc ornamental plants	NA	NA	NA	Not Regulated	Remove	front of bldg 1622
4.52	Sabal Palm	Sabal palmetto	>10 ft CT	Fair	Protected	Remove	front of bldg 1622
4.53	Barbados Cherry	Malpighia punicifolia	Shrub	Fair	Not Regulated	Remove	Hedged, front of bldg 1622
4.54a	No Tree						
4.54b	Croton	Codiaeum sp.	NA	Fair	Not Regulated	Remove	Shrub, behind bldg 1622

Tree #	Common	Scientific Name	Diameter/Height	Condition	City of Key West LDR	Action	Notes
4.55	Simpson Stopper	Myrcianthes fragrans	6.3' dbh	Fair	Regulated	Remove	2 trunks, behind bldg 1622
4.56	Banana	Musa sp.	NA	NA	Not Regulated	Remove	behind bldg 1622
4.57a	Washingtonia Palm	Washingtonia robusta	10 ft CT	Fair	Regulated	Remove	behind bldg 1622
4.57b	Banana and Croton		NA	Fair	Not Regulated	Remove	behind bldg 1622
4.58	Pigeon Plum	Coccoloba diversifolia	18.4' dbh	Fair	Protected	Remove	three trunks, behind bldg 1622
4.59a	Simpson Stopper	Myrcianthes fragrans	NA	Poor	Not Regulated	Remove	Shrub, behind bldg 1622
4.59b	Jamaican Dogwood	Piscidia piscipula	0.5' dbh	Fair	Not Regulated	Remove	Sapling, behind bldg 1622
4.59c	Simpson Stopper	Myrcianthes fragrans	3' dbh	Fair	Not Regulated	Remove	behind bldg 1622
4.60	Gumbo Limbo	Bursera simaruba	14.9' dbh	Fair	Protected	Remove	poor location-against concrete shed structure, behind bldg 1622
4.61	Gumbo Limbo	Bursera simaruba	14.8' dbh	Fair	Protected	Remove	behind bldg 1622
4.62a	Unidentified Nonnative	NA	NA	Poor	Not Regulated	Remove	shrub plant growing inside dead tree stump, behind bldg 1622
4.62b	Yellow Tabebuia	Tabebuia aurea	12.4' dbh	Poor	Regulated	Remove	B Pepper tree growing against tree, behind bldg 1622
4.62c	Brazilian Pepper	Schinus terebinthifolia	NA	Invasive	Invasive	Remove	growing against Yellow Tabebuia tree start behind 1621 SE corner Poinciana Royal side of fence
*4.63	Spicewood	Calypttranthes pallens	*	Good	*	Remain	
*4.64	Jamaica Caper	Capparis cynophallophora	*	Good	*	Remain	behind fence-Poinciana Royal property
*4.65	Jamaica Caper	Capparis cynophallophora	*	Good	*	Remain	behind fence-Poinciana Royal property
*4.66	Jamaica Caper	Capparis cynophallophora	*	Good	*	Remain	behind fence-Poinciana Royal property
*4.67	Jamaica Caper	Capparis cynophallophora	*	Good	*	Remain	behind fence-Poinciana Royal property
*4.68	Jamaica Dogwood	Piscidia piscipula	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.69	Dwarf Jasmine	Radermachera kunming	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.70	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.71	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.72	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.73	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.74	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.75	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.76	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.77	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.78	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.79	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.80	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.81	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.82	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.83	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.84	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.85	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.86	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.87	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.88	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
4.89	No Tree						
*4.90	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.91	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.92	No Tree						
*4.93	Crabwood	Ateramnus lucidus	*	Poor	*	Remain	behind fence-Poinciana Royal property
*4.94	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.95	Wild Coffee	Psychotria nervosa	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.96	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.97	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.98a	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.98b	Gumbo Limbo	Bursera simaruba	2.5' dbh	Fair	*	Remain	behind fence-Poinciana Royal property
*4.99	Dead Tree		NA	NA	Not Regulated		behind fence-Poinciana Royal property
*4.100	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.101a	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.101b	Crabwood	Ateramnus lucidus	*	Fair	*	Remain	behind fence-Poinciana Royal property
*4.102	Firebush	Hamelia patens	*	Fair	Not Regulated	Remain	Shrub, Poinciana Royal property
*4.103	Jasmine	Jasmine spp	*	Fair	Not Regulated	Remain	Shrub, Poinciana Royal property
*4.104	Firebush	Hamelia patens	*	Fair	Not Regulated	Remain</	

Survey And Legal Description of Property

BOUNDARY & TOPOGRAPHIC
SURVEY MAP OF
3401 DUCK AVENUE
KEY WEST, MONROE COUNTY, STATE OF FLORIDA

**FLORIDA KEYS
LAND SURVEYING**
31240 CUSHING WAY, SUITE 104
KEY WEST, FL 34042
PHONE: (305) 854-2000
FAX: (305) 856-7373
EMAIL: FLKLS@earthlink.net

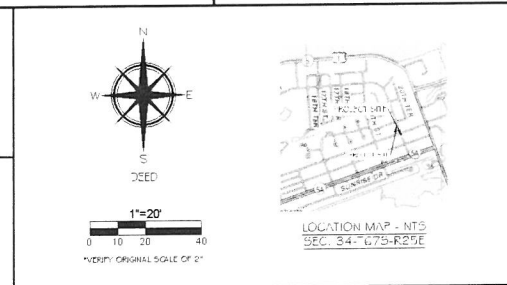
THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 473, F.S. AND THE RULES OF THE BOARD OF SURVEYING AND MAPPING, CHAPTER 61G, F.A.C. THE SURVEY WAS CONDUCTED ON 09/11/2002. THE SURVEY WAS CONDUCTED BY EAI AND MPB. THE SURVEY WAS CHECKED BY MPB. THE SURVEY WAS DRAWN BY MPB. THE SURVEY WAS REVISION DATED 02/24/2003. THE SURVEY WAS CHECKED BY MPB. THE SURVEY WAS DRAWN BY MPB. THE SURVEY WAS REVISION DATED 02/24/2003. THE SURVEY WAS CHECKED BY MPB. THE SURVEY WAS DRAWN BY MPB.

DATE: 09/11/2002 SURVEY BY: EAI PROJECT: TRUSSDALE COURT
REVISION DATE: 02/24/2003 DRAWN BY: MPB SCALE: 1"=20'
JOB NO: 22-259 CHECKED BY: SHEET 2 OF 3

SYMBOL	DESCRIPTION
(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	GRAVEL
(Symbol)	PAVEMENT
(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	GRAVEL
(Symbol)	PAVEMENT
(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	GRAVEL
(Symbol)	PAVEMENT

SYMBOL LEGEND

(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	GRAVEL
(Symbol)	PAVEMENT
(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	GRAVEL
(Symbol)	PAVEMENT
(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	GRAVEL
(Symbol)	PAVEMENT



FRESH LOOK ELEVATIONS

BUILDING #	ELEVATION
1614	6.7' ABOVE
1615	6.1' ABOVE
1616	6.0' ABOVE
1617	6.4' ABOVE
1618	6.0' ABOVE
1619	6.9' ABOVE
1620	6.4' ABOVE
1621-B	6.0' ABOVE
1621	6.4' ABOVE
1622	6.0' ABOVE
1623	6.4' ABOVE
1624	6.6' ABOVE
1625	6.7' ABOVE
1626	6.0' ABOVE



MATCH LINE SHEET 2
MATCH LINE SHEET 1

