



Historic Architectural Review Commission
Staff Report for Item 8

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Enid Torregrosa, MSHP
Historic Preservation Planner

Meeting Date: October 24, 2017

Applicant: Annalise Mannix

Application Number: H17-03-0042

Address: #717 Galveston Lane

Description of Work:

Replace existing rear attached addition with slightly change of pitch slope of one-story frame structure. Replacement of existing footers of historic house at same height.

Site Facts:

The house in review is a contributing resource to the historic district. The one-story frame vernacular structure was build circa 1920. Through the Sanborn maps, it is evident that the original fabric had an addition at the rear of the house, which extended the width of the structure towards the south. The circa 1965 Property Appraisers records photograph depicts the addition having a shed roof. Actual footers of the house are in poor condition, making the house unstable.

Guidelines Cited on Review:

- Secretary of the Interior's Standards (pages 16-23), specifically standards 4, 9, and 10.
- Guidelines for Additions and Alterations (pages 37a-37k), specifically guidelines 1, 4, 11, 12, 13, 19, 20, 22, and 26.

Staff Analysis

The Certificate of Appropriateness in review is for the reconstruction of a non-original rear addition that requires additional height in order to conform to minimum code requirements for habitable space. The rear addition presents deterioration due to inappropriate reconstruction materials used on a previous work and failing foundations. In addition, the interior height of the rear addition barely conforms minimum code requirements for habitable space.

The reconstruction of the rear addition will extend an additional 1'- 2" towards the rear yard and 1'- 8 1/4" to the internal height of the structure. The roof form and width of the addition will be maintained as the existing one, with a slightly change on the pitch of the roof. The plan includes wood novelty siding and metal v-crimp for the reconstruction. The plan also includes new foundations for the main house as the existing ones are failing and creating stabilization problems that are reflecting in the house's roof, walls, and floors.

Consistency with Guidelines and Secretary of the Interior's Standards

It is staff's opinion that the proposed design meets the cited Secretary of the Interior's Standards and HARC guidelines. The proposed reconstruction of the rear addition will have a scale and mass that is appropriate to the existing building and surrounding structures. The proposed new foundations for the historic house are much in need, as the structure requires at this point a permanent solution to its stabilization. The new footers will not increase the height of the existing contributing house.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

1300 WHITE STREET
KEY WEST, FLORIDA 33040
Phone: 305.809.3956
BLDG@CITYOFKEYWEST-FL.GOV

HARC PERMIT NUMBER 17-00300042		BUILDING PERMIT NUMBER 17	INITIAL & DATE
FLOODPLAIN PERMIT		ZONING	REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %

ADDRESS OF PROPOSED PROJECT:

RE # OR ALTERNATE KEY:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

CONTRACTOR COMPANY NAME:

CONTRACTOR'S CONTACT PERSON:

ARCHITECT / ENGINEER'S NAME:

ARCHITECT / ENGINEER'S ADDRESS:

717 GALVESTON LN, KEY WEST, FL, 33040		# OF UNITS
EDGAR S. & SUNE HOUSTON		PHONE NUMBER 618-534-7908
3314 NORTHSIDE DR. #152 KEY WEST, FL 33040		EMAIL ezhouston@gmail.com
		PHONE NUMBER
		EMAIL
ANNALISE MANNIX		PHONE NUMBER 305-797-0463
3739 PAULA AVE. KEY WEST, FL 33040		EMAIL amannix@aol.com

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES ___ NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$ 41,400

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

DETAILED Project Description... (The applicant further hereby acknowledges that the scope of work as described shall be the scope of work that is considered by the City. Should further action be taken by the City for exceeding the scope of the description of work as described herein versus the scope of work shown on the plans or other documents submitted with the application, the aforementioned description of work shall be controlling.)

Replace decrepit 182 S.F. living area addition with new 189 S.F. living area addition on a historic wooden structure in the X-Zone. Proposed addition provides for one level house replacing one bedroom and both in the same footprint. Building coverage due to smaller porch overhang reduces by 9 S.F. Work includes plumbing, electric + structural work. Replacement of

Printed name of property owner or licensed contractor.

Edgar S Houston

Signature.

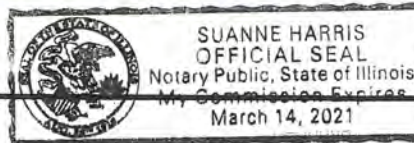
Edgar S Houston

Notary Signature as to applicant. State of Florida, County of Monroe, Sworn to and subscribed before me.

Suanne Harris

Personally known or produced Florida D.L. as identification.

Official Use Only:



Date: 8/23/17 53
2017 300042
PT * BUILDING PERMITS-NEW
1.00 \$100.00
3113387 \$100.00
Trans number:
VISA/MASTERC
Trans date: 8/23/17 Time: 10:33:14

24468-14447-01K

Project Description Cont'd :

(Replacement of) existing piles on the original historic structure and leveling of the silt in a few locations.

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW

SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE, OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: *Demo + replace an existing addition to historic structure.*

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
BEDROOM SHED ROOF	BUILT-UP ROOFING	V-CRIMP HIP ROOFING
BATHROOM SHED ROOF	BUILT-UP ROOFING	SINGLE PLY ROOFING
BED + BATHROOMS SIDING	NOVELTY SIDING	NOVELTY SIDING on N. + W. Sides. HARDIE SIDING on S. + E. Sides
BED + BATHROOMS WINDOWS	ALUMINUM	ALUMINUM
BACK DOOR	WOODEN DOOR	INSULATED METAL DOOR

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APPENDIX FOR DEMOLITIONS
APPLICATION NUMBER H- H-17-03-0042



This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West's Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a *bona fide* Code Compliance case, in which case staff may review and approve the demolition request. **The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.**

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

CRITERIA FOR DEMOLITIONS

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

- (a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

The original building condition is poor and deteriorated. However, it is being maintained with some foundation and sill repair.
The rear addition consists of a bathroom addition and a long thin bedroom addition. The additions are in severe deterioration.
They also have differing elevations and the floors are sloping. This addition needs to be removed, and a level and true addition installed.
The future phase will true up the original building walls to the new plumb addition.

OR THAT THE BUILDING OR STRUCTURE;

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

The addition has no distinctive characteristics

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

There is no indication of any significant historical records.

- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

There is no significant historical or cultural characteristics associated with this site.

- (d) Is not the site of a historic event with a significant effect upon society.

It is not a historical site.

- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

The addition does not exemplify any cultural heritage of the City.

- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

This addition does not have a distinctive architectural style.

- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

N/A

- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

N/A

- (i) Has not yielded, and is not likely to yield, information important in history.

NA

CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APPENDIX FOR DEMOLITIONS
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(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

Yes Number of pages and date on plans 8 pages; June 15, 2017

No Reason _____

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

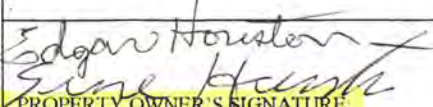
AND

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

(4) Removing buildings or structures that would otherwise qualify as contributing.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR** to proceeding with the work outlined above and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

 PROPERTY OWNER'S SIGNATURE	7-17-17 DATE AND PRINT NAME: Edgar Houston Sune Houston
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OFFICE USE ONLY

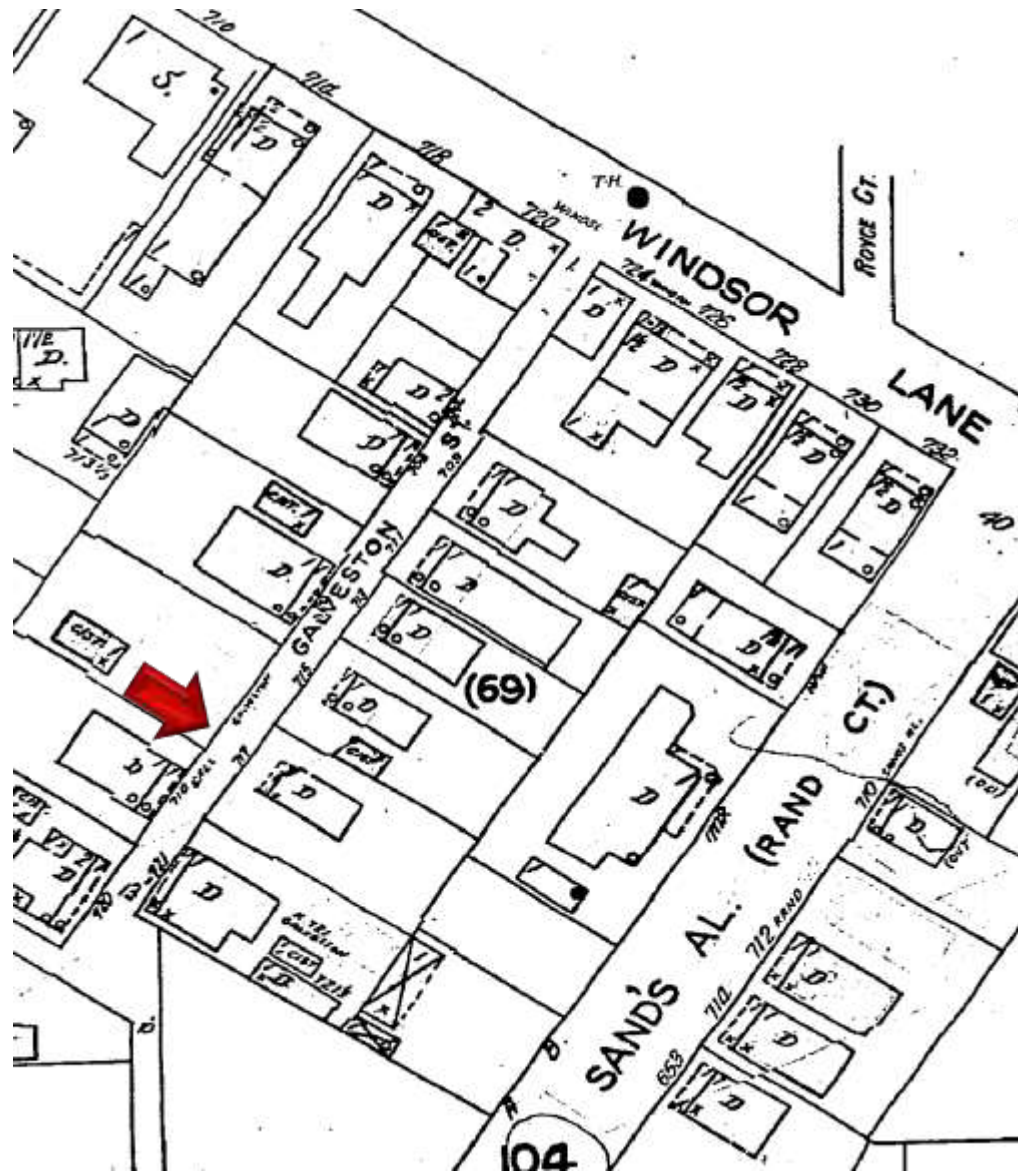
BUILDING DESCRIPTION:	
<input type="checkbox"/>	Contributing Year built _____ Style _____ Listed in the NRHP _____ Year _____
<input type="checkbox"/>	Not listed Year built _____ Comments _____

<input type="checkbox"/> Reviewed by Staff on _____ <input type="checkbox"/> Notice of hearing posted _____ First reading meeting date _____ Second Reading meeting date _____ TWO YEAR EXPIRATION DATE _____	Staff Comments
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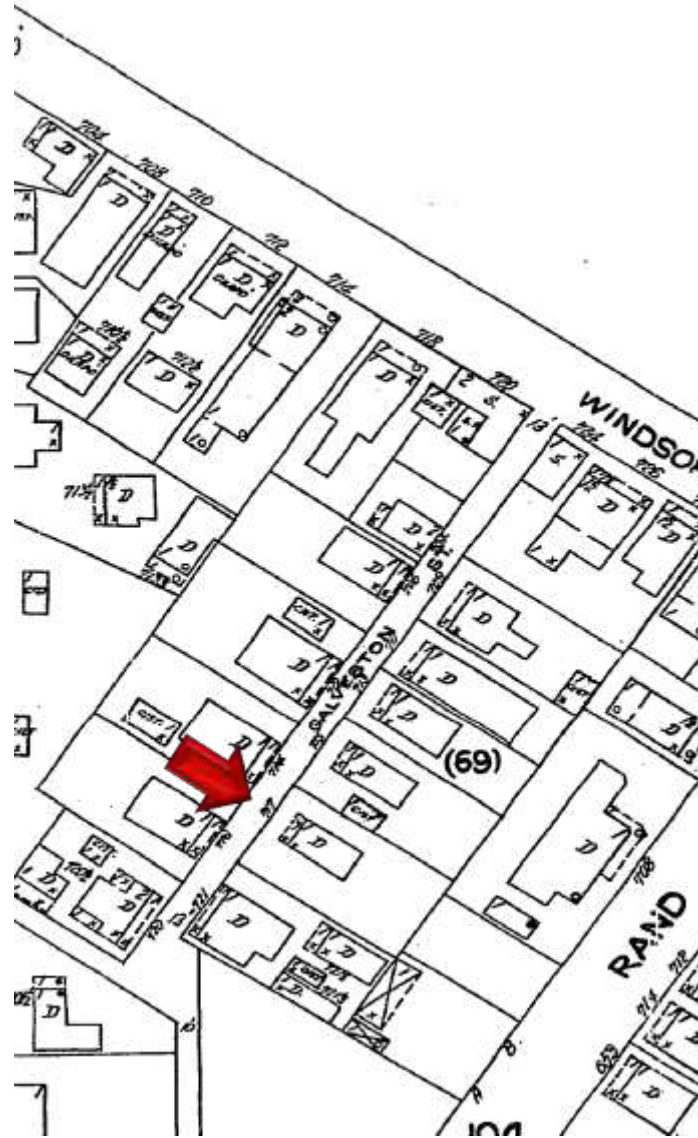
SANBORN MAPS



1962 Sanborn Map



1948 Sanborn Map



1926 Sanborn Map

PROJECT PHOTOS



717 Galveston Lane circa 1965. Monroe County Library.

Photographs

717 Galveston Lane Photographs

Front



North Side



South Side



Existing bathroom addition-low slope roof, and shed roof over bedroom

Rear



Bedroom addition

Bath



Proposed Scale:

Bath room addition to be replaced but higher to have an 8 foot ceiling height (now it is in the 5-foot range). The bedroom roof behind will be a hip roof tying into the original structure and the new shed roof (yellow).



Adjacent Houses

715 Galveston Lane



Continued...

721 Galveston Lane



Buildings Opposite on Galveston Lane

716 Galveston Lane



712 Galveston Lane



PROPOSED DESIGN

Scanned

MAP OF BOUNDARY SURVEY

BEARING BASE:
ALL BEARINGS ARE BASED ON SCOPED OUT ASSUMED ALONG THE CENTERLINE OF CHARLES ALLEY, (AKA GALVESTON LANE).

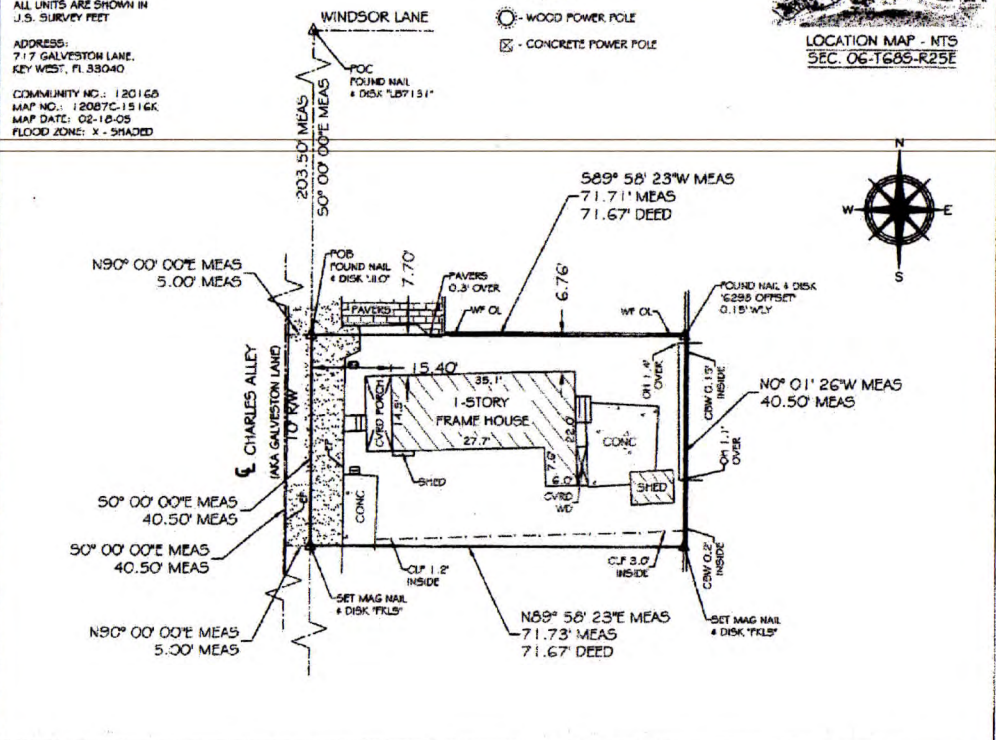
ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED.

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.

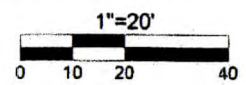
ADDRESS:
717 GALVESTON LANE, KEY WEST, FL 33040.

COMMUNITY NO.: 120168
MAP NO.: 12087C-1516K
MAP DATE: 02-18-05
FLOOD ZONE: X - SHADED

- LEGEND**
- - WATER METER
 - - SANITARY SEWER CLEAN OUT
 - - MAILBOX
 - - WOOD POWER POLE
 - ⊗ - CONCRETE POWER POLE



LEGAL DESCRIPTION -
Commence at the intersection of the Southerly right of way line of Windsor Lane and Easterly right of way line of Galveston Lane (Charles Alley) and run thence Southerly along the Easterly right of way line of Galveston Lane, 203.5 feet to the Point of Beginning of the parcel of land herein described; thence continue Southerly along the said Easterly right of way line of Galveston Lane, 40.5 feet to a point; thence Easterly at right angles, 71.67 feet to a point; thence Northerly at right angles, 40.5 feet to a point, thence Westerly at right angles, 71.67 feet back to the Point of Beginning.



- NOTE:** FOLIATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.
- | | | |
|-----------------------------------|------------------------|-----------------------------|
| BPI = BACKLASH PREVENTER | CH = CHAIN | PC = POINT OF COMMENCEMENT |
| BO = BURN OUT | CH = CHAIN | PE = POINT OF REVERSE CURVE |
| C & G = 2" CONCRETE CURB & GUTTER | CI = CONCRETE INTERIOR | PI = POINT OF INTERSECTION |
| CB = CONCRETE BLOCK | CI = CONCRETE INTERIOR | PT = POINT |
| CCW = CONCRETE CURB WALL | CL = CONCRETE | RA = RIGHT ANGLE |
| CL = CONCRETE | CL = CONCRETE | RD = ROAD |
| CL = CONCRETE | CL = CONCRETE | RF = RIGHT OF WAY |
| CL = CONCRETE | CL = CONCRETE | RI = RIGHT ANGLE |
| CL = CONCRETE | CL = CONCRETE | RS = RIGHT ANGLE |
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| CL = CONCRETE | CL = CONCRETE | SV = SET MAG NAIL & DISK |
| CL = CONCRETE | CL = CONCRETE | SW = SET MAG NAIL & DISK |
| CL = CONCRETE | CL = CONCRETE | SY = SET MAG NAIL & DISK |
| CL = CONCRETE | CL = CONCRETE | SZ = SET MAG NAIL & DISK |

CERTIFIED TO -

Manus Venter;
Stones and Cardenas;
Group One Mortgage, Inc., ISAOA, ATIMA;
Chicago Title Insurance Company;

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/her REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ANY OTHER OVERLAYS OR RIGHTS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE: 1"=20'

FIELD WORK DATE: 1/20/2014

REVISION DATE: XXXXXXXXXX

SHEET 1 OF 1

DRAWN BY: MPB

CHECKED BY:

INVOICE NO.:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 2014-147 & 2017-05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPILED WITH CHAPTER 177, PART II FLORIDA STATUTES.

FLORIDA KEYS LAND SURVEYING
1990 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: PKLS@aol.com

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

ERIC A. ISAACS, PLS #6768, PROFESSIONAL SURVEYOR AND MAPPER, LBN 7647

PROJECT INFORMATION:

Project Scope of Work: replace decrepit 182 SF living area addition with new 189 SF living area addition on a historic wooden structure in the X-Zone. Proposed addition provides for one level house replacing one bedroom and bath in approximately the same footprint. Building coverage due to smaller porch overhang reduces by 9 SF. Work includes plumbing, electric and structural work.

Additional work provides for replacement of existing piles on the original historic structure and leveling of the sill in a few locations.

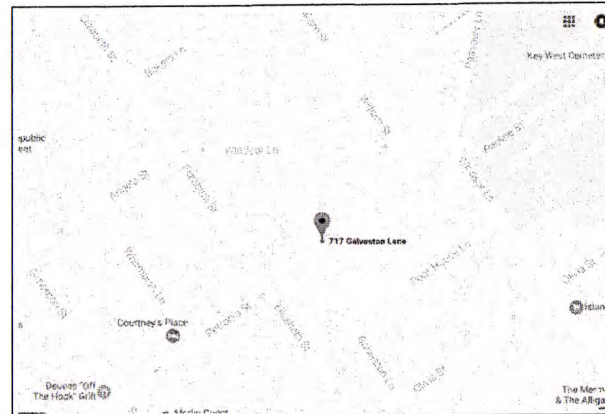
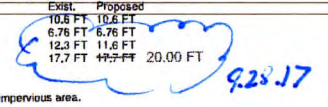
Design:
2014 Florida Building Code and ASCE 7-10 and ASCE 24-05
Designed for Exposure C, 180 miles per hour, Structural Category II
Type V Building - Residential R-3 Single Family.
Work: Addition and Level 2 Alteration (replace piles).

Zoning: Historic High Density Residential (H-HDR)
Maximum density: 22 dwelling units per acre
Maximum height: 30 FT
Minimum lot size: 4,000 SF
Minimum lot dimensions:
Existing lot dimensions:
Maximum building coverage: 50%
Proposed 25.7%
Bldg. coverage:
Proposed 733.7 SF
Existing main structure roof area
Existing shed roof area
Maximum impervious surface ratio: 80%
Proposed 45.4%
Existing 1325.7 SF

Minimum Setbacks:
Side: Greater of 5 feet or 10% of lot width to a maximum of 15 feet
Front: 10 FT
North: 5 FT
South: 5 FT
Rear: 20 FT

Stormwater Calculations:
9 SF reduction in lot coverage and no increase in impervious area.

Flood Zone:
Community No. 120168
Map No. 12087C-1516K
Map Date 02-18-05



ANNALISE MANNIX, P.E., M.S., M. ASCE

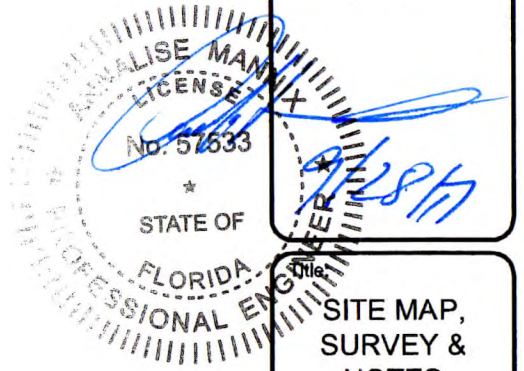
ANNALISE MANNIX ENGINEERING AND CONSULTING, LLC
3739 Paula Avenue
Key West, Florida 33040

Tel: 305-797-0463
Email: amannix@aol.com
FLORIDA REG. P.E. #57533
CA #27779

Submissions:
9.28.2017 - Remove work in Setback

Revisions:

**RENOVATION
717 GALVESTON LANE
RE #: 00018930-000000
Key West 33040**



SITE MAP, SURVEY & NOTES

Sheet Number: C1
Date: 15 JUNE 2017

1 COPY OF SURVEY
SCALE: NTS

2 LOCATION MAP
SCALE: NTS

EXISTING

REVISED 9.28.17

Scanned

MAP OF BOUNDARY SURVEY

BEARING BASE:
ALL BEARINGS ARE BASED ON 500°00'00" ASSUMED ALONG THE CENTERLINE OF CHARLES ALLEY, (AKA GALVESTON LANE).

ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED

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KEY WEST, FL 33040

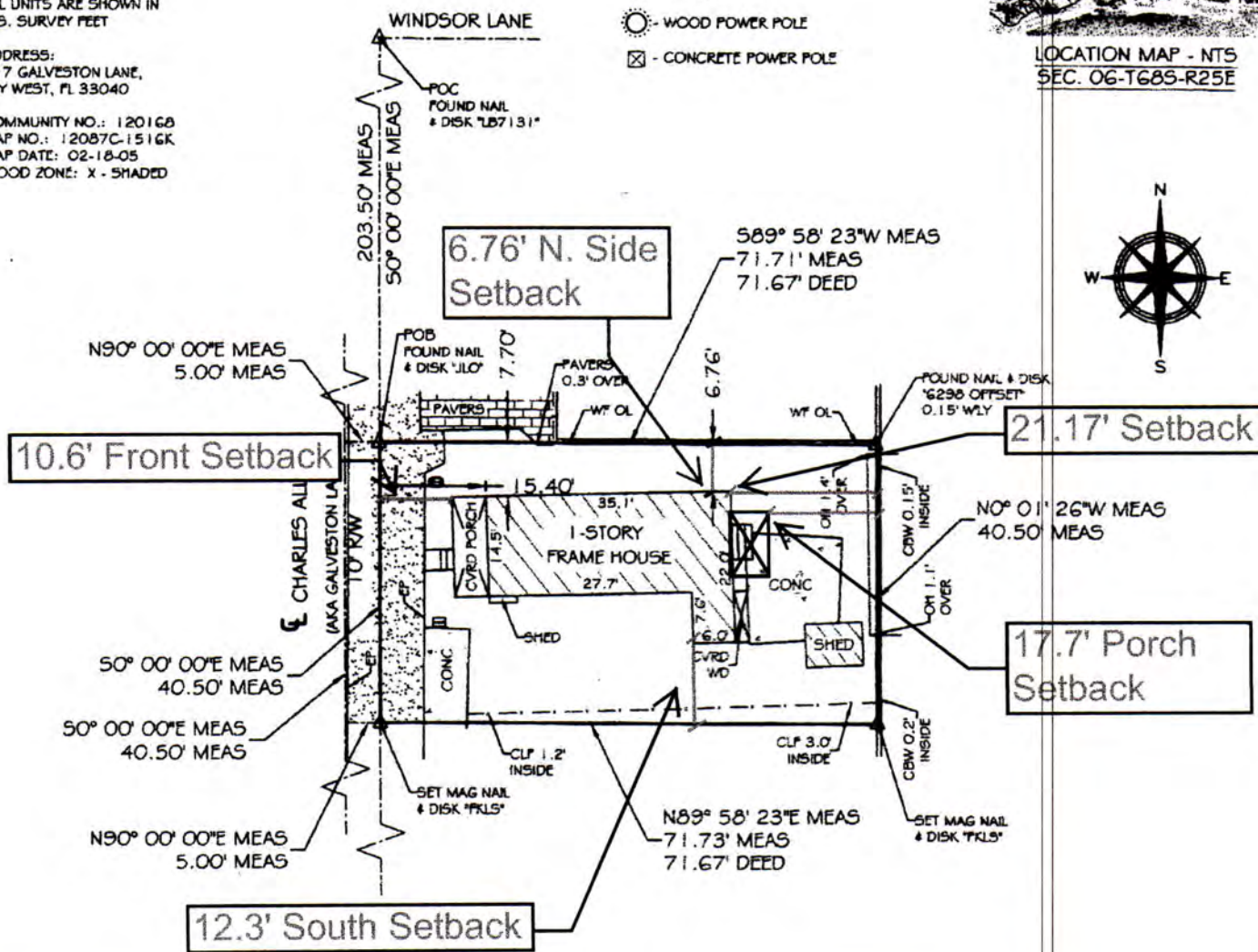
COMMUNITY NO.: 1201GB
MAP NO.: 120B7C-1516K
MAP DATE: 02-18-05
FLOOD ZONE: X - SHADED

LEGEND

- ⊕ - WATER METER
- ⊞ - SANITARY SEWER CLEAN OUT
- ☐ - MAILBOX
- ⊙ - WOOD POWER POLE
- ⊠ - CONCRETE POWER POLE

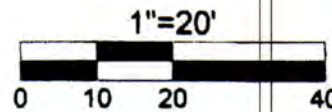


LOCATION MAP - NTS
SEC. 06-T685-R25E



LEGAL DESCRIPTION -

Commence at the intersection of the Southerly right of way line of Windsor Lane and Easterly right of way line of Galveston Lane (Charles Alley) and run thence Southerly along the Easterly right of way line of Galveston Lane, 203.5 feet to the Point of Beginning of the parcel of land herein described; thence continue Southerly along the said Easterly right of way line of Galveston Lane, 40.5 feet to a point; thence Easterly at right angles, 71.67 feet to a point; thence Northerly at right angles, 40.5 feet to a point, thence Westerly at right angles, 71.67 feet back to the Point of Beginning.



NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BFP = BACK-FLOW PREVENTER	GUW = GUY WIRE	POC = POINT OF COMMENCEMENT
BO = BLOW-OUT	PE = POLE END	PRC = POINT OF REVERSE CURVE
C + G = 2" CONCRETE CURB & GUTTER	IP = IRON PIPE	PRM = PERMANENT REFERENCE
CB = CONCRETE BLOCK	IR = IRON ROD	MENTHMENT
CBW = CONCRETE BLOCK WALL	L = ARC LENGTH	PT = POINT OF TANGENT
CL = CENTERLINE	LS = LANDSCAPING	R = RADIUS
CLF = CHAINLINK FENCE	MS = MANHOLE	R/W = RIGHT OF WAY LINE
CM = CONCRETE MENTHMENT	MSAS = MEASURED	SSCO = SANITARY SEWER CLEAN-OUT
CONC = CONCRETE	MF = METAL FENCE	SW = SIDE WALK
CPF = CONCRETE FORMER POLE	MFWL = METAL FRESH WATER LINE	TBM = TEMPORARY BENCHMARK
COVERD = COVERED	NAD83 = NATIONAL GEODETIC	TOS = TOP OF BANK
DELTA = CENTRAL ANGLE	VERTICAL DATUM (1929)	TOS = TOP OF SLOPE
DEADE = DRAINAGE EASEMENT	HTS = NOT TO SCALE	TR = TRAFFIC SIGN
EL = ELEVATION	OH = ROOF OVERHANG	TYP = TYPICAL
ENCL = ENCLOSURE	OW = OVERHEAD WIRE	UNE = UNREASONABLE
EP = EDGE OF PAVEMENT	PC = POINT OF CURVE	UE = UTILITY EASEMENT
FF = FINISHED FLOOR ELEVATION	PM = PARKING METER	WD = WOOD DISK
FI = FIRE HYDRANT	PCC = POINT OF COMPOUND CURVE	WF = WOOD FENCE
F = FENCE INSIDE	PCP = PERMANENT CONTROL POINT	WL = WOOD LANDING
FND = FOUND	PKM = PARKER KALON MAIL	WM = WATER METER
FO = FENCE OUTSIDE	POB = POINT OF BEGINNING	WPP = WOOD POWER POLE
FOL = FENCE ON LINE	PI = POINT OF INTERSECTION	WEAK LINE = LINE OF DEEDS ON SHORE
		WV = WATER VALVE

CERTIFIED TO -

Manus Venter;
Stones and Cardenas;
Group One Mortgage, Inc., ISAOA, ATIMA;
Chicago Title Insurance Company;

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR STATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE: 1"=20'

REVISION DATE: XX/XX/XXXX

SHEET 1 OF 1

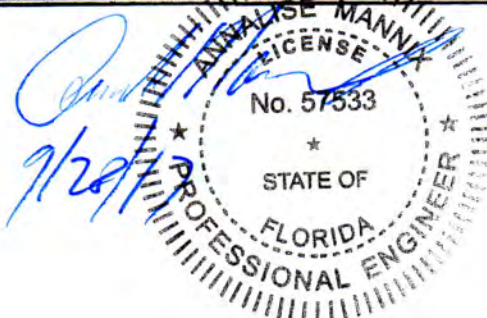
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CHECKED BY: _____

INVOICE NO.: _____

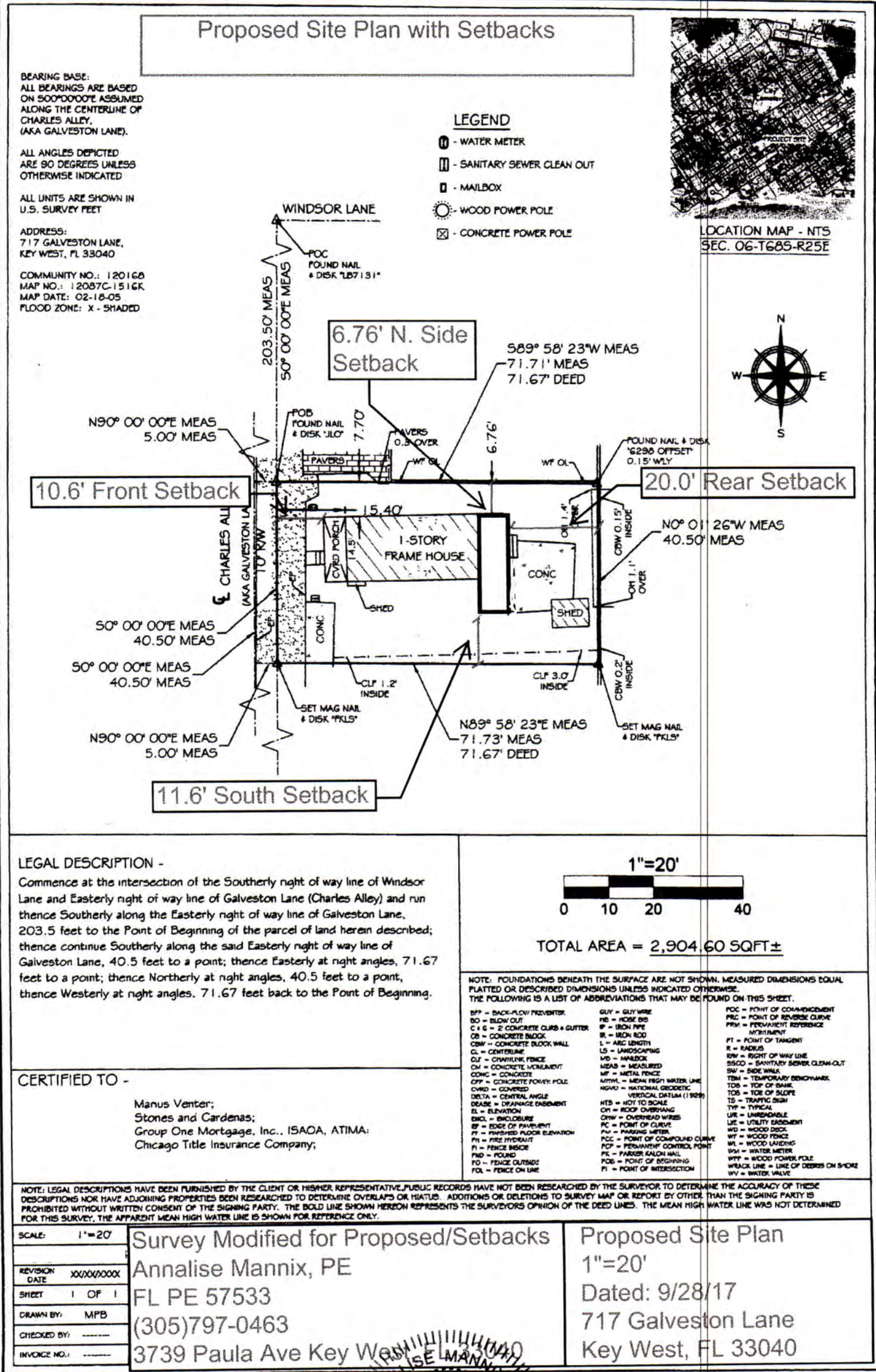
Survey modified for setbacks
Annalise Mannix, PE
FL PE 57533
(305)797-0463
3739 Paula Ave Key West, FL 33040

Existing Site Plan
1"=20'
Dated: 9/28/17
717 Galveston Lane
Key West, FL 33040



Proposed

Scanned



BEARING BASE:
ALL BEARINGS ARE BASED ON 500°00'00" ASSUMED ALONG THE CENTERLINE OF CHARLES ALLEY, (AKA GALVESTON LANE).

ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET

ADDRESS:
717 GALVESTON LANE, KEY WEST, FL 33040

COMMUNITY NO.: 120168
MAP NO.: 12087C-1516K
MAP DATE: 02-18-05
FLOOD ZONE: X - SHADED

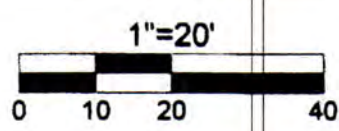
- LEGEND**
- ⊕ - WATER METER
 - ⊓ - SANITARY SEWER CLEAN OUT
 - ☐ - MAILBOX
 - ⊙ - WOOD POWER POLE
 - ⊠ - CONCRETE POWER POLE



LOCATION MAP - NTS
SEC. 06-T685-R25E



LEGAL DESCRIPTION -
Commence at the intersection of the Southerly right of way line of Windsor Lane and Easterly right of way line of Galveston Lane (Charles Alley) and run thence Southerly along the Easterly right of way line of Galveston Lane, 203.5 feet to the Point of Beginning of the parcel of land herein described; thence continue Southerly along the said Easterly right of way line of Galveston Lane, 40.5 feet to a point; thence Easterly at right angles, 71.67 feet to a point; thence Northerly at right angles, 40.5 feet to a point, thence Westerly at right angles, 71.67 feet back to the Point of Beginning.



- NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.
- | | | |
|-----------------------------------|--|------------------------------------|
| BFP = BACK-FLOW PREVENTER | GUY = GUY WIRE | PCC = POINT OF COMPOUND CURVE |
| BO = BLOW OUT | HS = HOSE DIS | PRC = POINT OF REVERSE CURVE |
| C & G = 2" CONCRETE CURB & GUTTER | IR = IRON PIPE | PRM = PERMANENT REFERENCE MONUMENT |
| CB = CONCRETE BLOCK | IR = IRON ROD | PT = POINT OF TANGENT |
| CDW = CONCRETE BLOCK WALL | L = ARC LENGTH | R = RADIUS |
| CL = CENTERLINE | LS = LANDSCAPING | RHW = RIGHT OF WAY LINE |
| CLF = CHAINLINK FENCE | MB = MAILBOX | SSCO = SANITARY SEWER CLEAN-OUT |
| CM = CONCRETE MORTAR/IT | MSAB = MEASURED | SW = SIDE WALK |
| CONC = CONCRETE | MP = METAL FENCE | TBM = TEMPORARY BENCHMARK |
| CPF = CONCRETE FORM/ POLE | MTWL = MEAN HIGH WATER LINE | TOS = TOP OF BANK |
| COVERD = COVERED | NGVD = NATIONAL GEODETIC VERTICAL DATUM (1989) | TOS = TOP OF SLOPE |
| DELTA = CENTRAL ANGLE | NTS = NOT TO SCALE | TS = TRAFFIC SIGN |
| DEASE = DRAINAGE EASEMENT | OH = ROOF OVERHANG | TYP = TYPICAL |
| EL = ELEVATION | OW = OVERHEAD WIRE | UL = UNDESIRABLE |
| ENCLOSURE | PC = POINT OF CURVE | ULI = UTILITY EASEMENT |
| EP = EDGE OF PAVEMENT | PV = PARKING METER | WD = WOOD DECK |
| FF = FINISHED FLOOR ELEVATION | PCC = POINT OF COMPOUND CURVE | WF = WOOD FENCE |
| FI = FENCE INSIDE | PCP = PERMANENT CONTROL POINT | WL = WOOD LANDING |
| FIB = FOUND | PS = PAVEMENT SLOPE | WM = WATER METER |
| FO = FENCE OUTSIDE | POB = POINT OF BEGINNING | WPP = WOOD POWER POLE |
| FOL = FENCE ON LINE | PI = POINT OF INTERSECTION | WV = WATER VALVE |

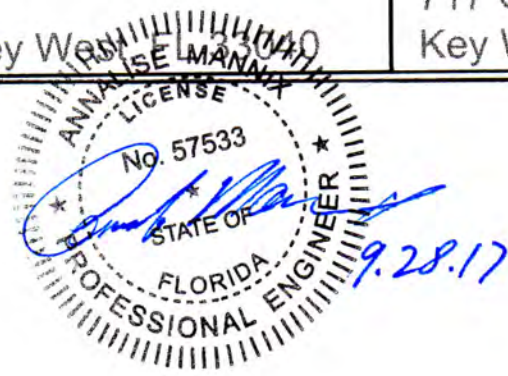
CERTIFIED TO -
Manus Venter;
Stones and Gardens;
Group One Mortgage, Inc., ISAOA, ATIMA;
Chicago Title Insurance Company;

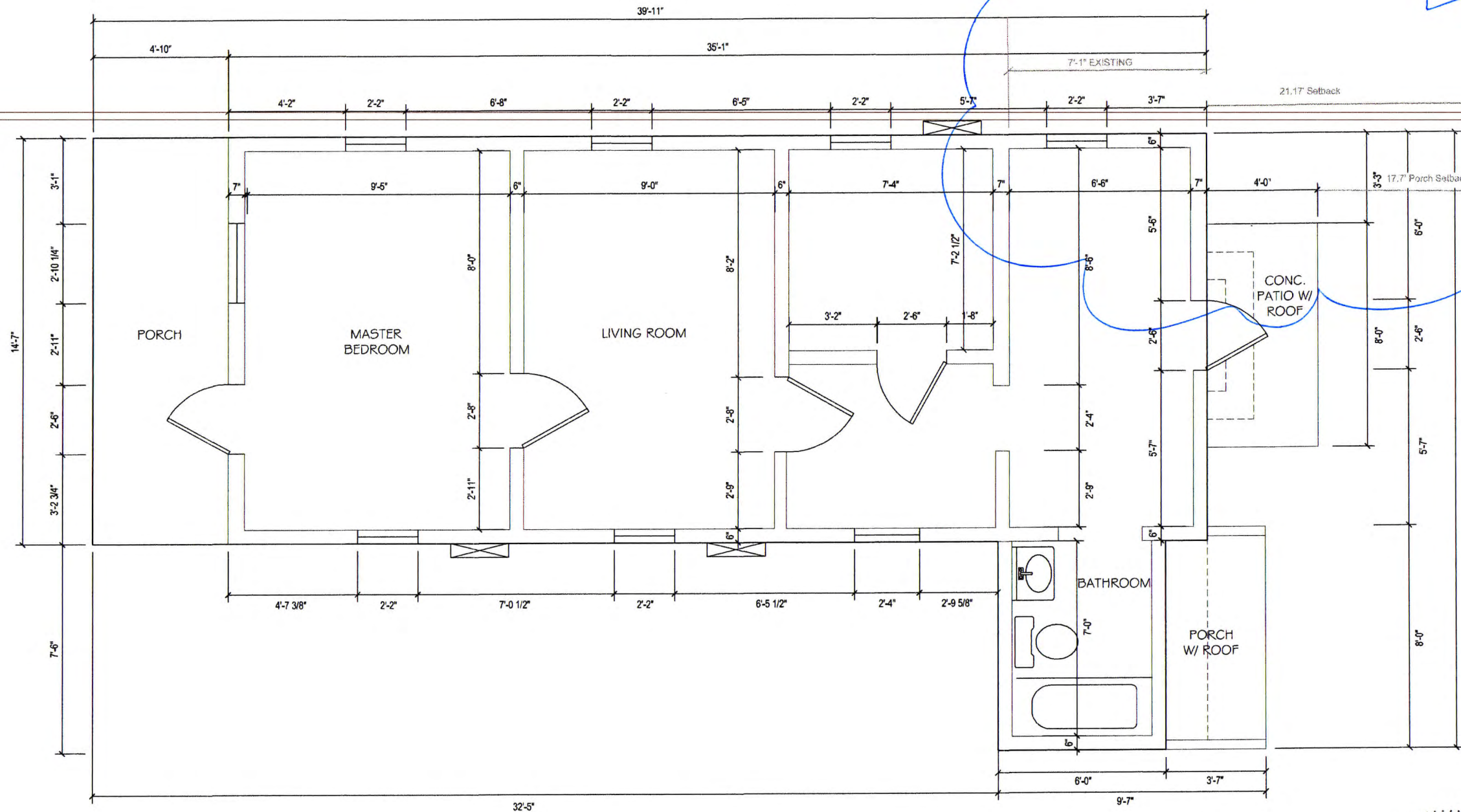
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SCALE:	1"=20'
REVISION DATE:	XX/XX/XXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
CHECKED BY:	-----
INVOICE NO.:	-----

Survey Modified for Proposed/Setbacks
Annalise Mannix, PE
FL PE 57533
(305)797-0463
3739 Paula Ave Key West, FL 33040

Proposed Site Plan
1"=20'
Dated: 9/28/17
717 Galveston Lane
Key West, FL 33040





1 EXISTING FLOOR PLAN
SCALE: 1/2" = 1'-0"

**ANNALISE MANNIX, P.E.,
M.S., M. ASCE**

**ANNALISE MANNIX
ENGINEERING
AND CONSULTING, LLC**
3739 Paula Avenue
Key West, Florida 33040

Tel: 305-797-0463
Email: amannix@aol.com
FLORIDA REG. P.E. #57533
CA #27779

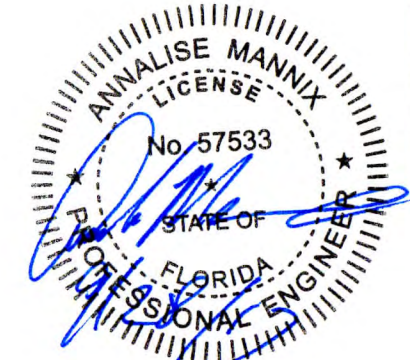
Submissions:

Revisions:
9.28.2017 - Remove work in
setback

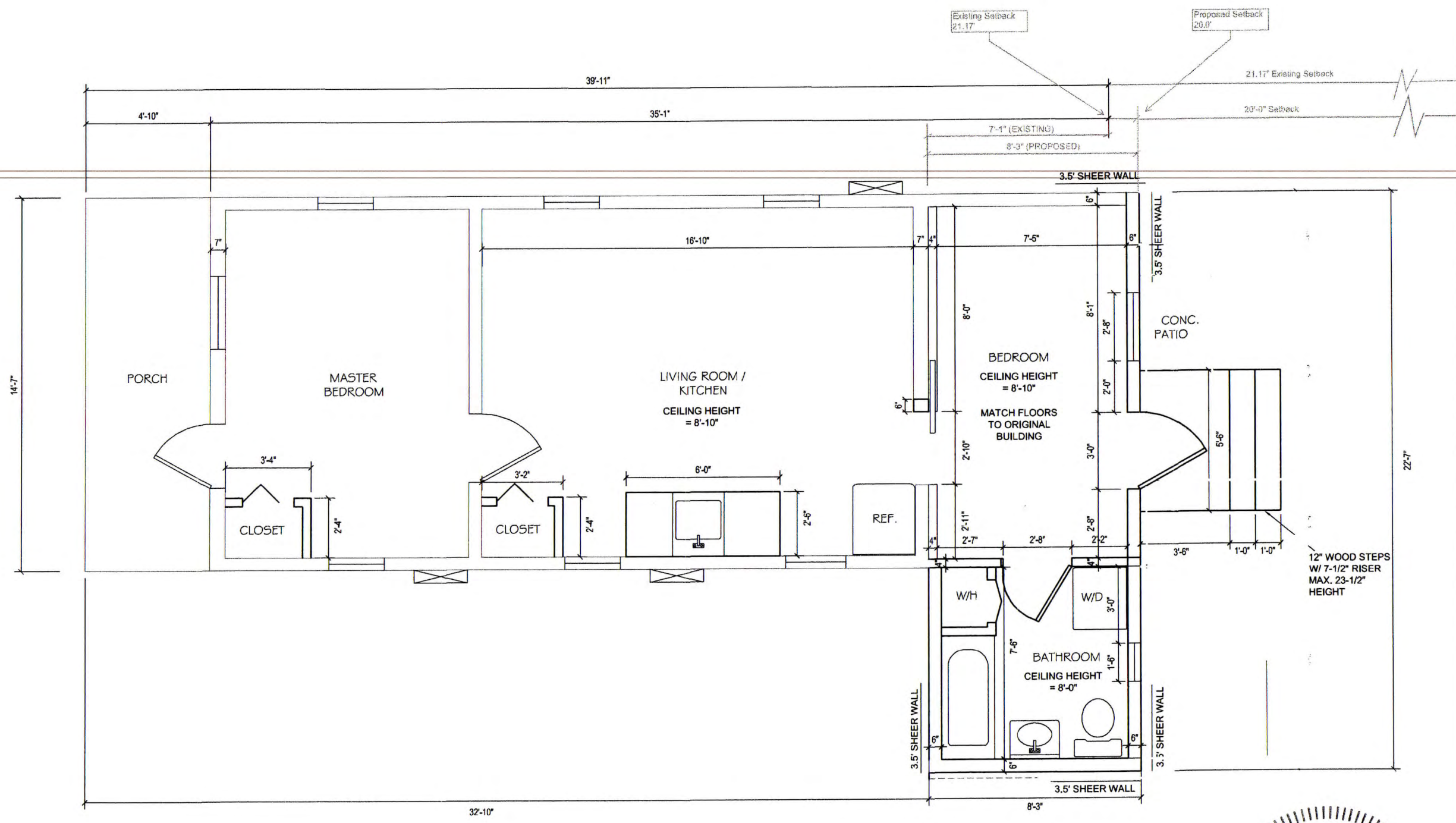
**RENOVATION
717 GALVESTON LANE
RE #: 00018930-000000
Key West 33040**

Title:
**EXISTING
FLOOR PLAN**

Sheet Number:
C3
Date: 15 JUNE 2017



REMOVED ALL WORK IN 20' SETBACK ADDED SET BACK DIMENSIONS 9.28.17



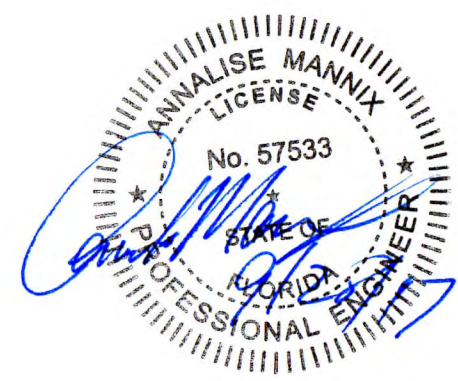
ANNALISE MANNIX, P.E., M.S., M. ASCE
 ANNALISE MANNIX ENGINEERING AND CONSULTING, LLC
 3739 Paula Avenue
 Key West, Florida 33040
 Tel: 305-797-0463
 Email: amannix@aol.com
 FLORIDA REG. P.E. #57533
 CA #27779

Submissions:

Revisions:
 9.28.2017 - Remove work in setback

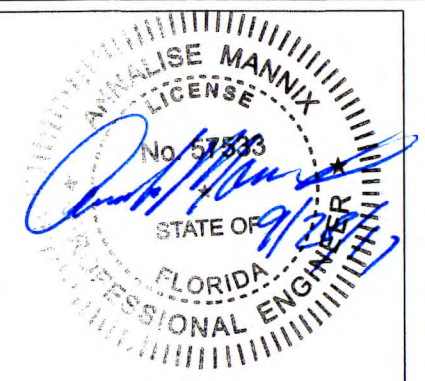
RENOVATION
717 GALVESTON LANE
RE #: 00018930-000000
Key West 33040

1 PROPOSED FLOOR PLAN
 SCALE: 1/2" = 1'-0"



Title:
PROPOSED FLOOR PLAN

Sheet Number:
C6
 Date: 15 JUNE 2017



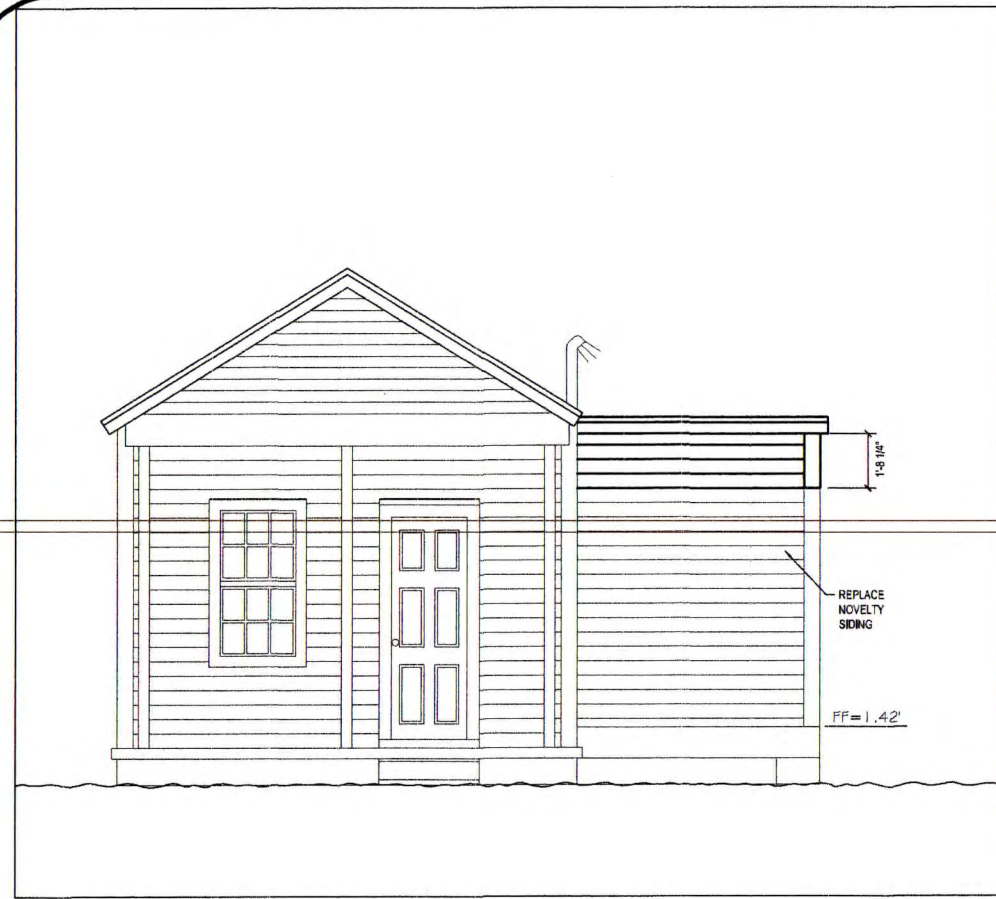
ANNALISE MANNIX, P.E.,
M.S., M. ASCE

ANNALISE MANNIX
ENGINEERING
AND CONSULTING, LLC
3739 Paula Avenue
Key West, Florida 33040

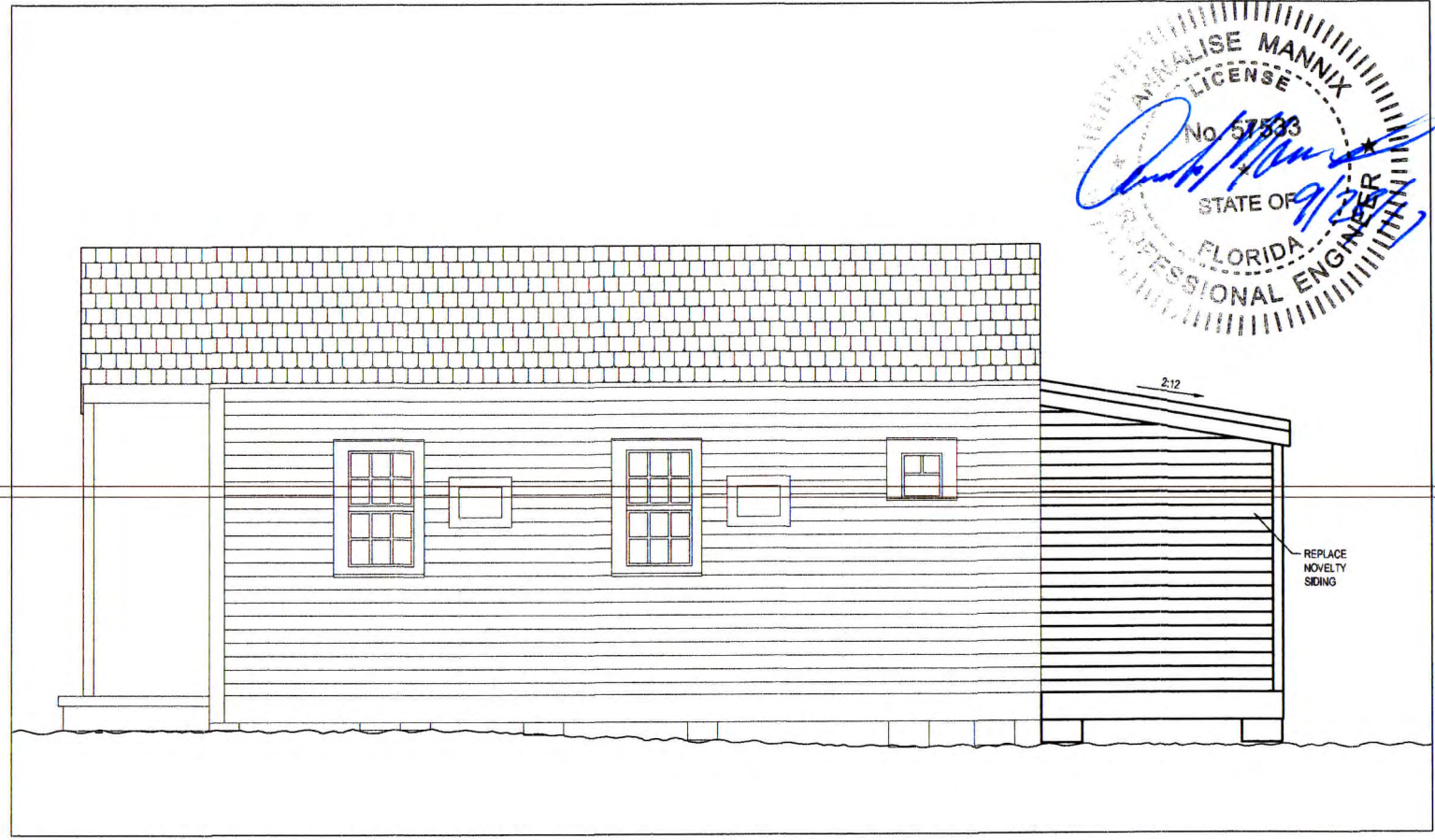
Tel: 305-797-0463
Email: amannix@aol.com
FLORIDA REG. P.E. #57533
CA #27779

Submissions:
9/28/2017 - Remove all work in
setback

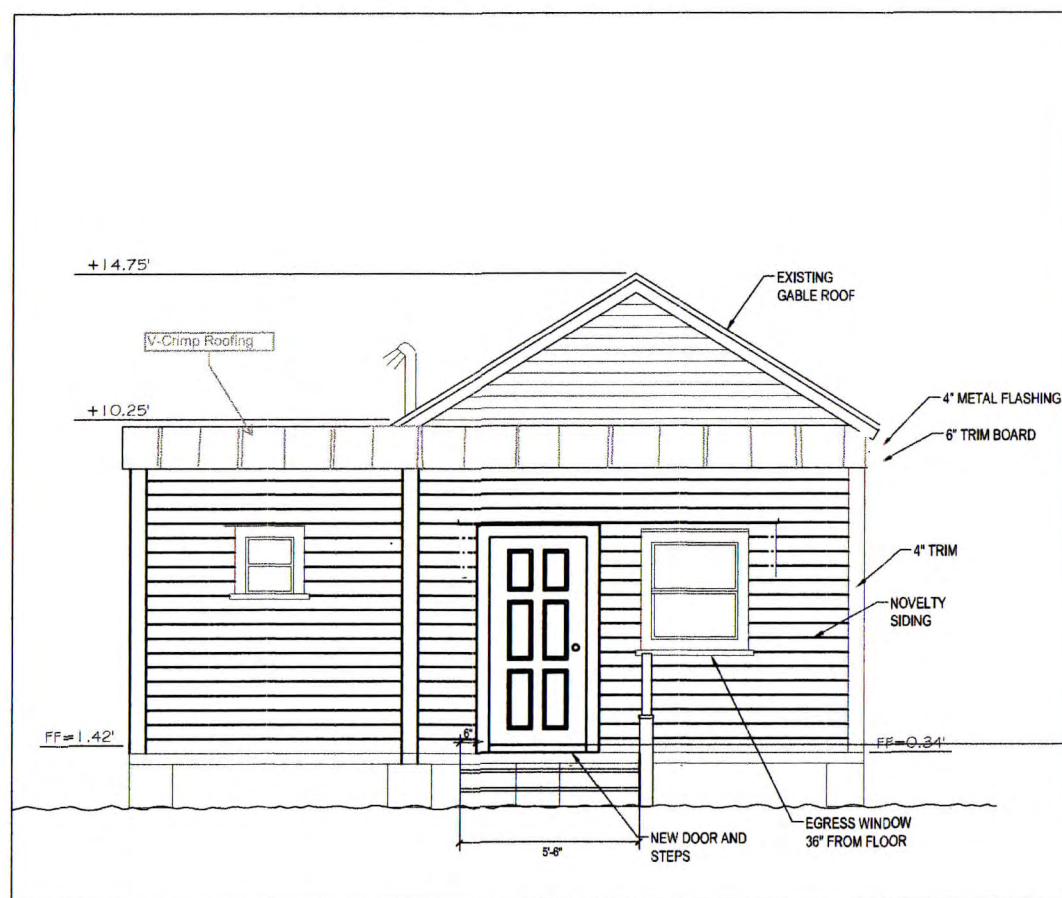
Revisions:



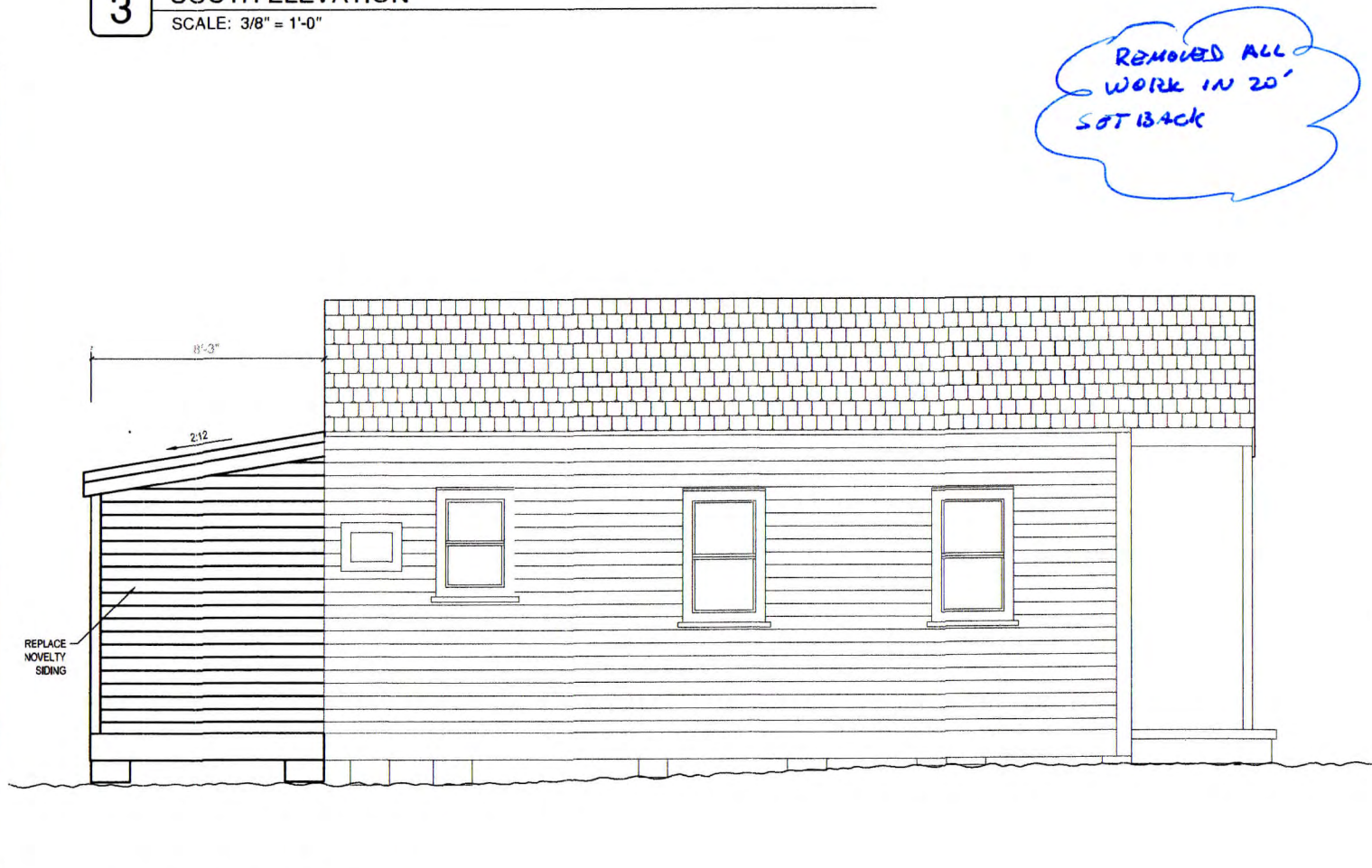
1 WEST ELEVATION (FRONT)
SCALE: 3/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



2 EAST ELEVATION (REAR)
SCALE: 3/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 3/8" = 1'-0"

RENOVATION
717 GALVESTON LANE
RE #: 00018930-000000
Key West 33040

Title:
**PROPOSED
ELEVATIONS**

Sheet Number:
C7
Date: 15 JUNE 2017

Siding

The existing siding on the front of the home is lap. The sides and rear have novelty, except the rear peak above the bedroom addition which also has lap.



Proposed Color Scheme: White on white: Sherwin Williams color Superwhite SW6995

SW 6995
Superwhite

Paint

Sort By

1 - 1 of 1 items



★★★★☆ 26 Reviews

Emerald Exterior Acrylic Latex
Paint

Save 10% Every Day with
PaintPerks™

List Price:
\$77.49 - \$81.49 / Gallon

+

SAVE

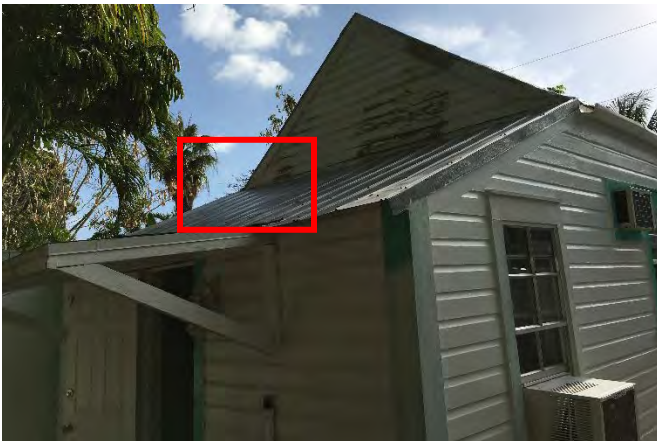
Compare | Data Sheets

Siding Style: Novelty Siding to match what is currently seen from the street. Any repairs to the foundation on the existing structure will be repairs with this matching siding as well.



Roofing:

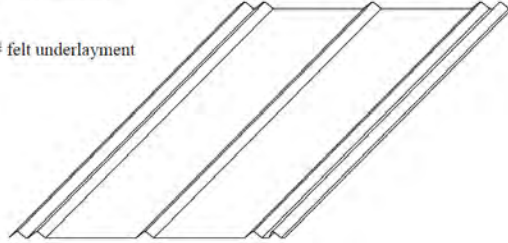
The roof of the original home has metal shingles. That roof will not be touched. The rear bedroom has v-crimp while the bath shed roof and covered porches have roll roofing.



Proposed Roofing: V-Crimp Galvalume roofing white or unpainted silver in color

PANEL OVERVIEW

- ▶ Finishes: MS Colorfast45® and Acrylic-Coated Galvalume®
- ▶ Corrosion Protection: AZ55 per ASTM A 792 for unpainted Galvalume®
AZ50 per ASTM A 792 for painted Galvalume®
G90 per ASTM A 653 for Galvanized
- ▶ Gauges: 26 ga standard; 24 ga optional
- ▶ 24" panel coverage, 1/2" rib height
- ▶ Panel Length: Minimum: 5'; Maximum: 45' recommended
- ▶ Residential, 'V' rib roof system
- ▶ Minimum roof slope: 3:12
- ▶ Applies over plywood with minimum 30# felt underlayment



Low Slope Shed Roof over bathroom: Liberty Self Adhering - white in color

Soffit

There is no current soffit. The proposed soffit is very small to nonexistent. On the North side it will match the existing wall (see below) on the rear there will be a nominal **6"** soffit and the bathroom side it will have a **3"** one to meet code. The soft material will be Hardie Soffit, .



No North soffit to match existing:


Windows: All windows are for new addition facing rear of property. The street facing windows are 6/6 lite. All other large windows in existing home are aluminum SH 4/4 lite units. The kitchen and bath are 2/2:



This is the north side of the building Kitchen (south)


Proposed Windows: PGT Windguard units are proposed for the addition. Both face the rear. One is an egress window, one a small bathroom window. No grid styles are proposed, however, if HARC desires, it can specify a grid style 4/4 or 6/6 or 2/3 or none.

WINDOWS




Single Hung (SH700)

- Pre-tensioned spiral balance system
 - Provides smooth, easy opening and closing
- Integrated lift rails and deluxe swivel locks
 - Allow easy fingertip operation



Radius Top



Proview/Oriel

Series 700 Window Grid Styles



Raised / Flat Grids

- 1" wide raised muntin applied to exterior
- 1" wide flat bar applied to interior

Standard Features

Products in this series come standard with clear laminated glass and a white or bronze frame that is ideal for new construction and remodeling projects. Operable windows also include a screen with 1816 mesh.

Standard Frame Colors



GLASS TINTS

EXTERIOR REFLECTION

LOOKING OUTSIDE



CLEAR



BRONZE



GREY



GREEN



AZURE BLUE



GREYLITE II



OBSCURE
(TEXTURED)



WHITE
OPAQUE
INTERLAYER
(PRIVACY)



SOLAR COOL
BRONZE

Tint swatches are for reference only. Ask your dealer about final color matching.

Door

The existing rear door is a wood 6 panel door hanging down over the sill (because the door is 6'-8" tall and the opening of the doorway is only about 5'-8" tall). We are raising the floors up to match the main house, and will raise the ceiling to meet code so the door will have a proper with a 6'-8" opening.



Proposed Door: A 6 panel 3'-0" Masonite Brand pre-hung impact rated insulated steel door. It faces the sun much of the day so insulated steel is best.

Lights

Two exterior LED wall mount lights will be placed on either side of the **rear** door.



NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:30 p.m., October 24, 2017 at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

REPLACE EXISTING REAR ATTACHED ADDITION WITH SLIGHTLY CHANGE ON PITCH SLOPE OF ONE-STORY FRAME STRUCTURE. REPLACEMENT OF EXISTING FOOTERS OF HISTORIC HOUSE AT SAME HEIGHT. DEMOLITION OF EXISTING REAR ADDITION.

#717 GALVESTON LANE

Applicant – Annalise Mannix Application #17-03-0042

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Swelynn Stampler, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

717 GALVESTON LN, KEY WEST, FL 33040 on the 13 day of October, 2017.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on OCTOBER, 2017.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is Application # 17-03-0042

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Swelynn Stampler

Date: 10.13.17

Address: 1540 WILCREST AVE

City: LANCASTER

State, Zip: SC, 29720

The forgoing instrument was acknowledged before me on this 13th day of October, 2017.

By (Print name of Affiant) Swelynn Stampler who is personally known to me or has produced Drivers Licence as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]

Print Name: Anais Orraca

Notary Public - State of Florida (seal)
My Commission Expires: 03/31/2019





717

Public Meeting Notice

717

Public
Meeting
Notice

PROPERTY APPRAISER INFORMATION



Summary

Parcel ID 00018930-000000
Account # 1019607
Property ID 1019607
Millage Group 10KW
Location 717 GALVESTON LN, KEY WEST
Address
Legal KW LT 5 OF TR 5 G9-415 OR506-207 OR802-1088 OR1023-782
Description OR1638-2027/31P/R OR2265-2061ORD OR2510-1370D/C OR2716-2267/68 OR2832-2281/82
 (Note: Not to be used on legal documents)
Neighborhood 6103
Property Class SINGLE FAMILY RESID (0100)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

HOUSTON EDGAR S
 3314 Northside DR
 Apt 152
 Key West FL 33040

HOUSTON SUNE H/W
 3314 Northside DR
 Apt 152
 Key West FL 33040

Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$28,192	\$42,636	\$44,407	\$57,129
+ Market Misc Value	\$686	\$182	\$158	\$144
+ Market Land Value	\$359,972	\$402,508	\$393,512	\$367,278
= Just Market Value	\$388,850	\$445,326	\$438,077	\$424,551
= Total Assessed Value	\$388,850	\$445,326	\$438,077	\$366,197
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$388,850	\$445,326	\$438,077	\$424,551

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,903.00	Square Foot	0	0

Buildings

Building ID	1431	Exterior Walls	WD FRAME	
Style	1 STORY ELEV FOUNDATION	Year Built	1933	
Building Type	S.F.R. - R1 / R1	Foundation	WD CONC PADS	
Gross Sq Ft	612	Roof Type	GABLE/HIP	
Finished Sq Ft	532	Roof Coverage	METAL	
Stories	1 Floor	Flooring Type	CONC S/B GRND	
Condition	POOR	Heating Type	NONE with 0% NONE	
Perimeter	112	Bedrooms	1	
Functional Obs	25	Full Bathrooms	1	
Economic Obs	0	Half Bathrooms	0	
Depreciation %	60	Grade	450	
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0	
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	532	532	112
OPF	OP PRCH FIN LL	80	0	58
TOTAL		612	532	170

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
LC UTIL BLDG	1949	1950	1	80 SF	1
WALL AIR COND	1989	WALL AIR COND (AC2)	0	2 UT	2
PATIO	1949	PATIO (PT3)	0	260 SF	

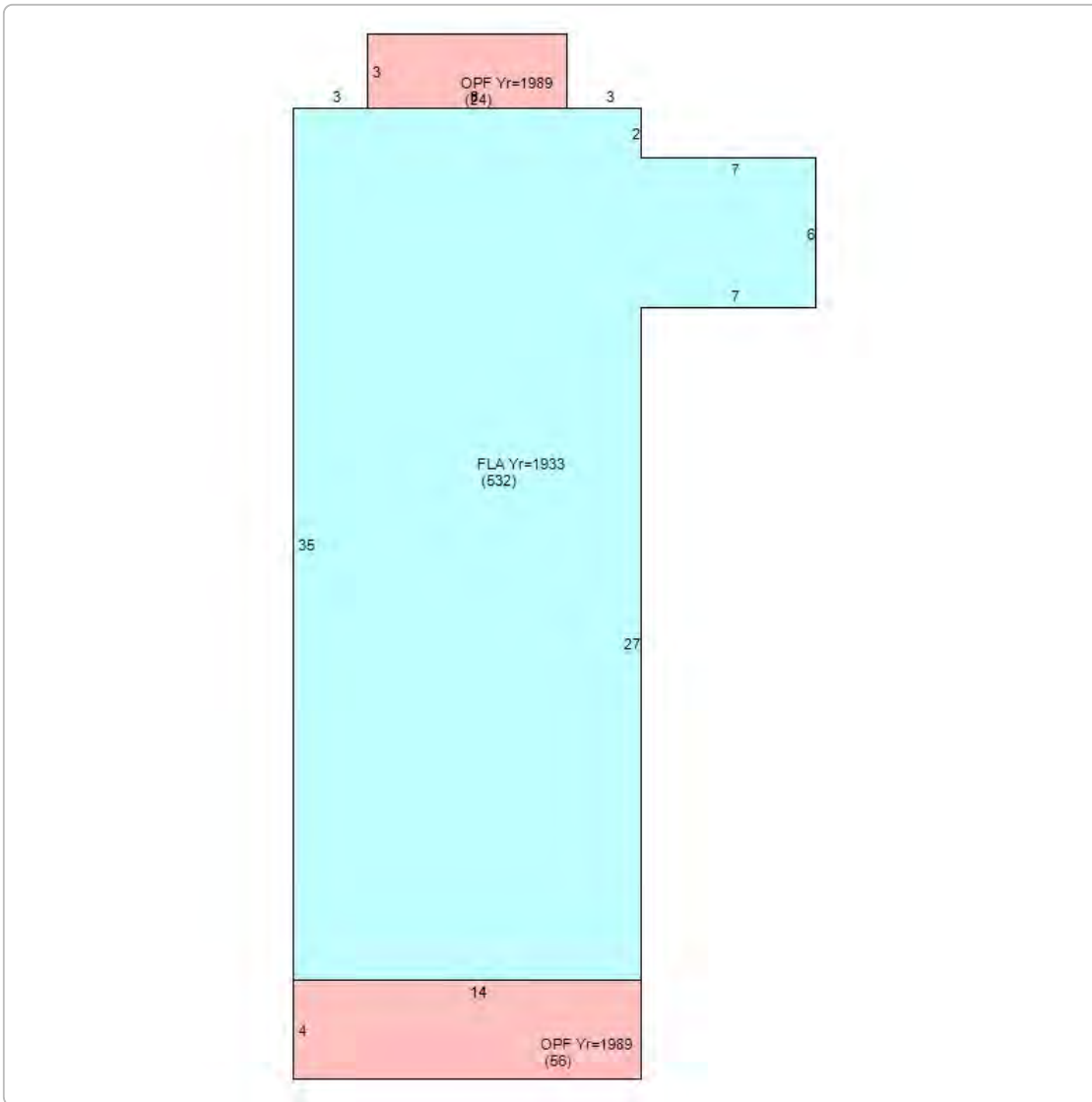
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/21/2016	\$438,000	Warranty Deed	2105034	2832	2281	02 - Qualified	Improved
12/16/2014	\$360,000	Warranty Deed		2716	2267	19 - Unqualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
9801620	10/20/1998	12/5/1998	\$8,500	Residential	INSTALL FLOORS/WALLS ETC
9801620	5/27/1998	12/5/1998	\$2,000	Residential	REPAIR SIDING & 5 WINDOWS

Sketches (click to enlarge)



Photos



Map



No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

Last Data Upload: 10/13/2017 6:37:52 AM

