

**THE CITY OF KEY WEST  
PLANNING BOARD  
Director's Report**



**To:** Chairman and Planning Board Members

**From:** Thaddeus Cohen, Planning Director

**Meeting Date:** October 20, 2016

**Director's Report:**

A request for Minor Modification to a Major Development Plan to Planning Board Resolution 2016-27 and City Commission Resolution 16-215 to relocate the proposed new residential units on the east side of the property approximately five (5) feet, add five (5) additional vehicular parking spaces and add six (6) finger piers totaling in 936.55 square feet located at 5555 College Road in the General Commercial (CG) zoning district per Section 108-91(C)(2)(a),(b) and (e) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

**Request:**

The applicant is proposing to relocate the proposed new residential units on the east side of the property approximately five (5) feet, add five (5) additional vehicular parking spaces and add six (6) finger piers totaling in 936.55 square feet per the attached site plan.

**Applicant / Owner:** Sunset Marina, LLC

**Location:** 5555 College Road

**Zoning:** General Commercial (CG)

**Analysis:**

The criteria used for evaluating the proposal is Section 108-91(C) (2)(e) of the Land Development Regulations. The criteria affected is as follows:

- (a) Relocation of at least ten feet of pools, parking spaces, drives and driveways, or buildings from the location shown on the approved plan*
  
- (b) Addition of parking spaces not to exceed 25 percent (including fractions thereof) of the total number of existing parking spaces or five spaces, whichever is the lesser amount, and no such additional parking shall consume the approved landscaped area*

*(e) Any use, except single-family dwelling units and accessory structures thereto, or change in use resulting in less than 1,000 square feet of impervious surface area on the entire site*

**Recommendation:**

Approval based on the criteria established in the Land Development Regulation for a minor modification to a Major Development Plan.

Minor Modifications are to be approved by the following:

---

Sam Holland, Planning Board Chairman

Date

---

Thaddeus Cohen, Planning Director

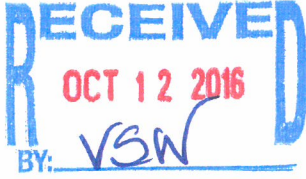
Date

---

James Bouquet P.E., Engineering Director

Date

SMITH | OROPEZA | HAWKS  
ATTORNEYS AT LAW



Barton W. Smith, Esq.  
Telephone – 305.296.7227  
Facsimile – 305.296.8448  
bart@smithoropeza.com

October 11, 2016

**VIA HAND DELIVERY**

Patrick Wright, Assistant City Planner  
City of Key West Planning Department  
3132 Flagler Avenue  
Key West, Florida 33040

Re: Sunset Marina, LLC 5555 College Road, Key West, Florida 33040  
Minor Modifications to Major Development Plan approved per Planning  
Board Resolution No. 2016-27

Dear Patrick,

On behalf of Sunset Marina, LLC (“Sunset”), please consider this letter a request for the approval of minor modifications to the site plans dated May 12, 2016 by Weiler Engineering that were included in the Major Development Plan approved per Planning Board Resolution No. 2016-27 (the “Development Plan”).

Pursuant to Section 108-91(C)(2) of the City of Key West Code of Ordinances (“City Code”), the following or similar minor modifications “*must be approved by the city planner, city engineer and planning board chairperson and reported to the planning board at a regularly scheduled meeting:*”

- (a) *Relocation of at least ten feet of pools, parking spaces, drives and driveways, or buildings from the location shown on the approved plan;*
- (b) *Addition of parking spaces not to exceed 25 percent (including fractions thereof) of the total number of existing parking spaces or five spaces, whichever is the lesser amount, and no such additional parking shall consume the approved landscaped area;*
- (c) *Attached or detached additions to buildings in the historic district that do not increase the floor area in excess of 500 square feet;*
- (d) *Installation of utility system improvements including buildings not exceeding 200 square feet; or*

Patrick Wright  
October 11, 2016  
Page 2

*(e) Any use, except single-family dwelling units and accessory structures thereto, or change in use resulting in less than 1,000 square feet of impervious surface area on the entire site.”*

As shown and bubbled in the enclosed revised site plan prepared by Weiler Engineering (“Revised Site Plan”), Sunset would like to (i) move back the residential buildings approximately five (5) feet from the location shown in the approved Development Plan, (ii) add an additional five (5) parking spaces and (iii) add six (6) finger piers totaling 936.55 square feet to the dock labeled on the Revised Site Plan. Pursuant to Code Sections 108-91(C)(2)(a), (b) and (e) respectively, these requests are minor modifications that can be approved by the city planner, city engineer and planning board chairperson and reported to the planning board at a regularly scheduled meeting. Please note that the three (3) parking spaces required by the City Code in relation to the six new finger piers, are part of the five (5) additional parking spaces requested herein.

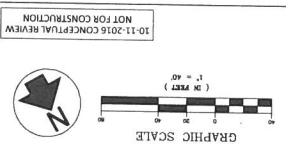
Please do not hesitate to contact me with any questions so that we may move as efficiently as possible toward the approval of the requested minor modifications.

Sincerely,

Barton W. Smith

Enclosures

PRELIMINARY  
CONCEPTUAL  
PLANS  
NOT FOR  
CONSTRUCTION



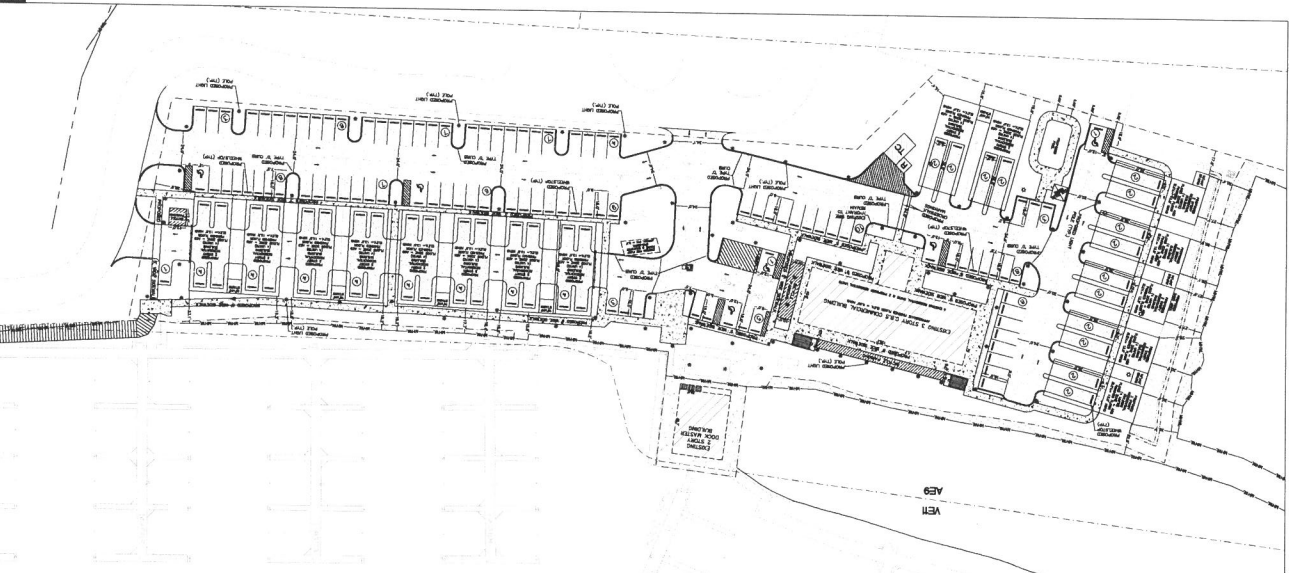
10-11-2016 CONCEPTUAL REVIEW  
NOT FOR CONSTRUCTION

Revision	Description

**SITE & DOCK EXHIBIT**  
for  
**SUNSET MARINA**

WE CONSULTING INC. **INCORPORATED**  
201 W. MARION AVE, SUITE 1300  
PUNTA GORDA, FLORIDA 33950  
888.336.1700

Approved By: *[Signature]* Date: 12/01/2016  
Scale: 1" = 40'  
Job No: 18011001  
Checked: JNB  
Design: JNB



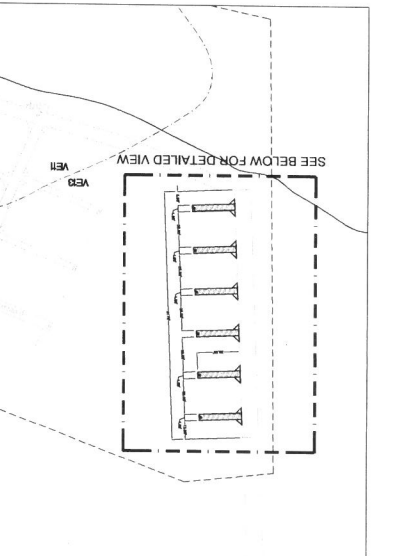
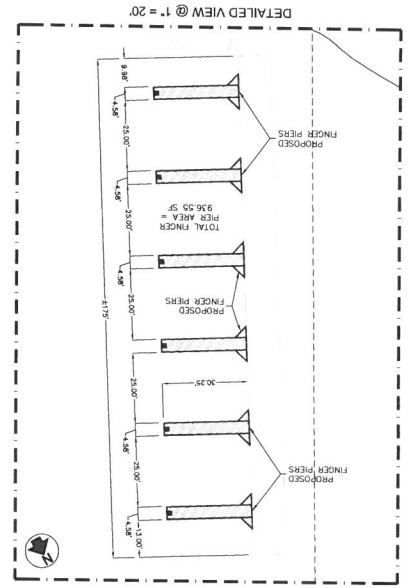
**LOT COVERAGE SUMMARY**  
1. EXISTING BUILDING AREA IS SHOWN. REMAINING UNCOVERED AREA IS SHOWN.

COMPARISON AREA OR % OF LOTS	N/A	N/A
TOTAL PARKING SPACES PROVIDED	159	159
TOTAL RESIDENTIAL UNITS	140	140
ACCESSIBLE SPACES	0	0
PARKING	159	159
STANDARD SPACES	159	159
ACCESSIBLE SPACES	0	0
EXISTING CONCRETE TO REMAIN	4,708.29 SF	0.11 AC
PROPOSED CONCRETE TO REMAIN	11,431.86 SF	0.26 AC
PROPOSED CONCRETE SIDEWALK	27,000.00 SF	0.62 AC
PROPOSED CURBING	19,840.00 SF	0.45 AC
PROPOSED POOL	1,968.67 SF	0.04 AC
PROPOSED DRIVEWAYS & PAVEMENT	504.00 SF	0.01 AC
PROPOSED ASPHALT PAVEMENT	45,204.53 SF	1.04 AC
TOTAL PAVEMENT AREA	97,541.40 SF	2.24 AC
TOTAL SITE AREA	184,368.85 SF	4.23 AC
EXISTING SURFACE WATER	41,179.3 SF	0.95 AC
EXISTING SURFACE WATER + IMPERVIOUS AREA	130,224.0 SF	3.17 AC

**PARKING SUMMARY:**

COMPARISON AREA OR % OF LOTS	N/A	N/A
STANDARD SPACES	159	159
ACCESSIBLE SPACES	0	0
PROPOSED CONCRETE	13,133.76 SF	0.30 AC
PROPOSED ASPHALT PAVEMENT	32,070.77 SF	0.73 AC
PROPOSED FINGER PER	159	159

- LEGEND:**
- 1. ALL NEW BUILDINGS, CONCRETE SIDEWALKS, AND PAVEMENT SHALL BE CONSTRUCTED OF MATERIALS WITH AN STRENGTH OF 28 OR GREATER.
  - 2. ALL EXISTING ON-SITE POWER LINES ARE LOCATED UNDERGROUND.
  - 3. ROLL OUT MAN QUARTERS WILL BE PROVIDED IN THE GARAGE OF EACH BUILDING.
  - 4. REQUIRED WATER WILL BE UTILIZED ON SITE FOR IRRIGATION AND BOAT WASHING, AND FIRE SUPPRESSION.
  - 5. EACH RESIDENTIAL UNIT CONSISTS OF 2 BATHROOMS & 2 BATHROOM MANIFEST.





**SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
ENVIRONMENTAL RESOURCE PERMIT NO. 44-00646-P  
DATE ISSUED: October 5, 2016**

**PERMITTEE:** SUNSET MARINA L L C  
5555 COLLEGE ROAD  
KEY WEST, FL 33040

**PROJECT DESCRIPTION:** Construction and operation of a 3.10-acre project known as Sunset Marina.

**PROJECT LOCATION:** MONROE COUNTY, SEC 27 TWP 67S RGE 25E

**PERMIT DURATION:** See Special Condition No:1.

This is to notify you of the District's agency action for Permit Application No. 160719-13, dated July 19, 2016. This action is taken pursuant to the provisions of Chapter 373, Part IV, Florida Statutes (F.S).

Based on the information provided, District rules have been adhered to and an Environmental Resource Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 18 General Conditions (See Pages : 2 - 4 of 6),
3. the attached 16 Special Conditions (See Pages : 5 - 6 of 6) and
4. the attached 2 Exhibit(s)

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

**CERTIFICATE OF SERVICE**

I HEREBY CERTIFY THAT this written notice has been mailed or electronically transmitted to the Permittee (and the persons listed in the attached distribution list) this 5th day of October, 2016, in accordance with Section 120.60(3), F.S. Notice was also electronically posted on this date through a link on the home page of the District's website ([my.sfwmd.gov/ePermitting](http://my.sfwmd.gov/ePermitting)).

BY: \_\_\_\_\_  
Ricardo A. Valera, P.E.  
Bureau Chief - Environmental Resource  
Regulation Division

## GENERAL CONDITIONS

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized shall subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the "State of Florida Erosion and Sediment Control Designer and Reviewer Manual" (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the "Florida Stormwater Erosion and Sedimentation Control Inspector's Manual" (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice" indicating the expected start and completion dates. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
  - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex- "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit"[Form 62-330.310(3)]; or
  - b. For all other activities- "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
  - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
  - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as- built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Applicant's Handbook Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
  - b. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that

## GENERAL CONDITIONS

require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.

9. This permit does not:
  - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - b. Convey to the permittee or create in the permittee any interest in real property;
  - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
  - a. Immediately if any previously submitted information is discovered to be inaccurate; and
  - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other



### GENERAL CONDITIONS

uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.

17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

### SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on October 5, 2021.
2. Operation and maintenance of the stormwater management system shall be the responsibility of SUNSET MARINA LLC, the permittee.
3. Discharge Facilities:  
  
1-3' WIDE SHARP CRESTED weir with crest at elev. 3.35' NGVD 29.  
1-4' W X 8.58' L drop inlet with crest at elev. 5' NGVD 29.  
  
Receiving body : GULF  
Control elev : 1.5 feet NGVD 29.
4. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
5. The following are exhibits to this permit. Exhibits noted as incorporated by reference are available on the District's ePermitting website (<http://my.sfwmd.gov/ePermitting>) under this application number.  
Exhibit No. 1 Location Map  
Exhibit No. 2 Plans, Pages 1 - 13
6. Prior to initiating construction activities associated with this Environmental Resource Permit (ERP), the permittee is required to hold a pre-construction meeting with field representatives, consultants, contractors, District Environmental Resource Compliance (ERC) staff, and any other local government entities as necessary.  
  
The purpose of the pre-construction meeting is to discuss construction methods, sequencing, best management practices, identify work areas, staking and roping of preserves where applicable, and to facilitate coordination and assistance amongst relevant parties.  
  
To schedule a pre-construction meeting, please contact ERC staff from the West Palm Beach Office at (561) 686-8800 or via e-mail at: [pre-con@sfwmd.gov](mailto:pre-con@sfwmd.gov). When sending a request for a pre-construction meeting, please include the application number, permit number, and contact name and phone number.
7. Minimum building floor elevation: BASIN: Site - 13.50 feet NGVD 29.
8. Minimum parking lot elevation: BASIN: Site - 4.60 feet NGVD 29.
9. Any fill material around newly installed structures shall be fully compacted with permittee being responsible for correction of any erosion problems.
10. Bahia grass (*Paspalum notatum*) sod shall be planted and maintained on the waterward side of the fill slopes as depicted in Exhibit 2, within 48 hours of completing final grade, to prevent erosion, sedimentation or turbid discharges into adjacent mangrove fringe wetlands and tidal surface waters.
11. All contractors must be provided with a copy of the staff report and permit conditions prior to the commencement of construction. The permittee is responsible for ensuring that all contractors adhere to the project construction details and methods indicated on the attached permit Exhibits and described herein.

### SPECIAL CONDITIONS

12. No construction dewatering is proposed. However, if in the future, the permittee determines that dewatering is required, an application for dewatering authorization must be submitted to the District and approved prior to the dewatering being conducted.
13. No root structure, including aerial prop-roots of red mangroves, may be altered, regardless of their size or height. Additionally, all mangrove ground cover and leaf litter are to remain undisturbed.
14. Spoil generated from excavation activities must be placed on an upland site and contained in such a manner as to prevent erosion into wetlands or other surface waters.
15. Silt fencing shall be installed around project limits in accordance with the Best Management Plan included in Exhibit 2. The silt fencing shall be installed prior to the commencement of construction and shall remain in place until all adjacent construction is completed. All waterward sides of the fill slopes shall be stabilized and planted with Bahia grass (*Paspalum notatum*) immediately after construction to prevent erosion into adjacent wetlands and surface waters.
16. The permittee shall comply with applicable state water quality standards including:
  - a)62-302.500 - Minimum criteria for all surface waters at all places and all times;
  - b)62-302.510 - Surface waters: general criteria
  - c)62-302.560 - Class III waters; recreation, propagation and maintenance of a healthy, well balanced population of fish and wildlife;
  - d)62-302.600 - Classified waters.

## **NOTICE OF RIGHTS**

As required by Sections 120.569 and 120.60(3), Fla. Stat., the following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all of the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

### **RIGHT TO REQUEST ADMINISTRATIVE HEARING**

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on a SFWMD decision which affects or may affect their substantial interests shall file a petition for hearing with the Office of the District Clerk of the SFWMD, in accordance with the filing instructions set forth herein, within 21 days of receipt of written notice of the decision, unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Fla. Stat.; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, or posting that the SFWMD has or intends to take final agency action, or publication of notice that the SFWMD has or intends to take final agency action. Any person who receives written notice of a SFWMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action which materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional Rule 28-106.111, Fla. Admin. Code, point of entry.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Fla. Stat., shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The SFWMD may, for good cause, grant the request. Requests for extension of time must be filed with the SFWMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the SFWMD and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

### **FILING INSTRUCTIONS**

A petition for administrative hearing must be filed with the Office of the District Clerk of the SFWMD. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at SFWMD headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day. Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, P.O. Box 24680, West Palm Beach, Florida 33416.

- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the SFWMD's security desk does not constitute filing. It will be necessary to request that the SFWMD's security officer contact the Office of the District Clerk. An employee of the SFWMD's Clerk's office will receive and file the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at [clerk@sfwmd.gov](mailto:clerk@sfwmd.gov). The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document. A party who files a document by e-mail shall (1) represent that the original physically signed document will be retained by that party for the duration of the proceeding and of any subsequent appeal or subsequent proceeding in that cause and that the party shall produce it upon the request of other parties; and (2) be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed.

### **INITIATION OF AN ADMINISTRATIVE HEARING**

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Fla. Stat., and Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the SFWMD in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, SFWMD file number or any other SFWMD identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the SFWMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the SFWMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the SFWMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the SFWMD to take with respect to the SFWMD's proposed action.

### **MEDIATION**

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401–405, Fla. Admin. Code. The SFWMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

### **RIGHT TO SEEK JUDICIAL REVIEW**

Pursuant to Section 120.68, Fla. Stat., and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal with the Office of the District Clerk of the SFWMD in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the clerk of the appropriate district court of appeal.

**Last Date For Agency Action:** December 2, 2016

**INDIVIDUAL ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT**

**Project Name:** Sunset Marina

**Permit No.:** 44-00646-P

**Application No.:** 160719-13

**Application Type:** Environmental Resource (New Construction/Operation)

**Location:** Monroe County, S27/T67S/R25E

**Permittee :** Sunset Marina L L C

**Operating Entity :** Sunset Marina L L C

**Project Area:** 3.10 acres

**Permit Area:** 3.10 acres

**Project Land Use:** Commercial

Residential

**Drainage Basin:** GULF OF MEXICO

**Receiving Body:** Gulf of Mexico

**Class:** OFW

**Special Drainage District:** NA

**Conservation Easement To District :** No

**Sovereign Submerged Lands:** No

**PROJECT SUMMARY:**

This Environmental Resource Permit authorizes construction and operation of a stormwater management system serving 3.10 acres of residential development for a project known as Sunset Marina.

The existing dockmaster building and commercial building will remain. The applicant plans to construct multi-family residential buildings, new parking lot, a stormwater management system and utilities. This redevelopment project will utilize some of the existing catch basins while others will be relocated or replaced along with the installation of exfiltration trench and an outfall structure pursuant to Exhibit 2.

Issuance of this permit constitutes certification of compliance with state water quality standards in accordance with Rule 62-330.062 Florida Administrative Code (F.A.C.).

**PROJECT EVALUATION:**

**PROJECT SITE DESCRIPTION:**

Sunset Marina is located at 5555 College Road in Key West, Florida. Refer to Exhibit 1 for a location map.

There are no permitted water management facilities within the project area. The site is a commercial marina with a dock master building, two-story commercial building, and a parking lot. The property is bounded to the northeast by a marina, the southwest by the Monroe County Jail, and the northwest by the Gulf of Mexico. Stormwater runoff from the parking lot is currently collected and conveyed offsite without treatment.

Although the project is located directly adjacent to mangrove fringe wetlands and tidal surface waters, there are no wetlands or other surface waters located within the project area or affected by this project.

**LAND USE:**

**Construction Project:**

**Total Project**

Building Coverage	.80	acres
Impervious	1.42	acres
Pervious	.88	acres
<b>Total:</b>	<b>3.10</b>	

**WATER QUANTITY :**

**Discharge Rate :**

The post development discharge rate will not exceed the existing conditions.

**Control Elevation :**

Basin	Area (Acres)	Ctrl Elev (ft, NGVD 29)	WSWT Ctrl Elev (ft, NGVD 29)	Method Of Determination
Site	3.10	1.5	1.50	Mean High Water

**Receiving Body :**

Basin	Str.#	Receiving Body
Site	OCS-1	GULF

**Discharge Structures:** Note: The units for all the elevation values of structures are (ft, NGVD 29)

**Inlets:**

Basin	Str#	Count	Type	Width	Length	Dia.	Crest Elev.
Site	OCS-1	1	Fdot Mod H Drop Inlet	4'	8.58'		5

**Discharge Structures:****Weirs:**

Basin	Str#	Count	Type	Width	Height	Length	Dia.	Elev.
Site	OCS-1	1	Sharp Crested	3'				3.35 (crest)

**WATER QUALITY :**

Water quality treatment will be provided in exfiltration trench. The project provides the required 0.60 acre-feet of water quality treatment volume based on 3.75 inches times the impervious percentage.

Pursuant to Appendix E of Volume II, the water quality treatment volume provided includes an additional 50% treatment volume above the requirements in Section 4.2 of Volume II to provide reasonable assurance that the project will not degrade the adjacent Outstanding Florida Waterbody.

The project also includes implementation of a Best Management Plan, included in Exhibit 2, as additional reasonable assurance of compliance with water quality criteria during construction of the project.

Basin	Treatment Method	Vol Req.d (ac-ft)	Vol Prov'd
Site	Treatment Exfiltration Trench	.6	.6

**CERTIFICATION, OPERATION, AND MAINTENANCE:**

Pursuant to Chapter 62-330.310 Florida Administrative Code (F.A.C.), Individual Permits will not be converted from the construction phase to the operation phase until construction completion certification of the project is submitted to and accepted by the District. This includes compliance with all permit conditions, except for any long term maintenance and monitoring requirements. It is suggested that the permittee retain the services of an appropriate professional registered in the State of Florida for periodic observation of construction of the project.

For projects permitted with an operating entity that is different from the permittee, it should be noted that until the construction completion certification is accepted by the District and the permit is transferred to an acceptable operating entity pursuant to Sections 12.1-12.3 of the Applicant's Handbook Volume I and Section 62-330.310, F.A.C., the permittee is liable for operation and maintenance in compliance with the terms and conditions of this permit.

In accordance with Section 373.416(2), F.S., unless revoked or abandoned, all stormwater management systems and works permitted under Part IV of Chapter 373, F.S., must be operated and maintained in perpetuity.

The efficiency of stormwater management systems, dams, impoundments, and most other project components will decrease over time without periodic maintenance. The operation and maintenance entity must perform periodic inspections to identify if there are any deficiencies in structural integrity, degradation due to insufficient maintenance, or improper operation of projects that may endanger public health, safety, or welfare, or the water resources. If deficiencies are found, the operation and maintenance entity will be responsible for correcting the deficiencies in a timely manner to prevent compromises to flood protection and water quality. See Section 12.4 of Applicant's Handbook Volume I for Minimum Operation and Maintenance Standards.



**RELATED CONCERNS:**

**Water Use Permit Status:**

The applicant has indicated that public water supply will be used as a source for irrigation water for the project.

The applicant has indicated that dewatering is not required for construction of this project.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

**CERP:**

The proposed project is not located within or adjacent to a Comprehensive Everglades Restoration Project component.

**Potable Water Supplier:**

Florida Keys Aqueduct Authority

**Waste Water System/Supplier:**

Florida Keys Aqueduct Authority

**Right-Of-Way Permit Status:**

A District Right-of-Way Permit is not required for this project.

**Historical/Archeological Resources:**

The District has received correspondence from the Florida Department of State, Division of Historical Resources indicating that no significant archaeological or historical resources are recorded in the project area and the project is therefore unlikely to have an effect upon any such properties.

**DEO/CZM Consistency Review:**

The issuance of this permit constitutes a finding of consistency with the Florida Coastal Management Program.

**Third Party Interest:**

No third party has contacted the District with concerns about this application.

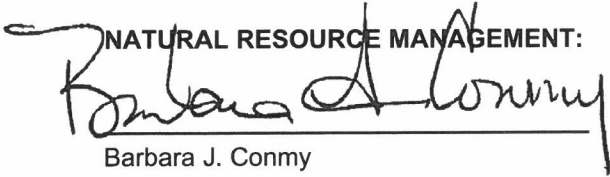
**Enforcement:**

There has been no enforcement activity associated with this application.

**STAFF REVIEW:**

**DIVISION APPROVAL:**

**NATURAL RESOURCE MANAGEMENT:**

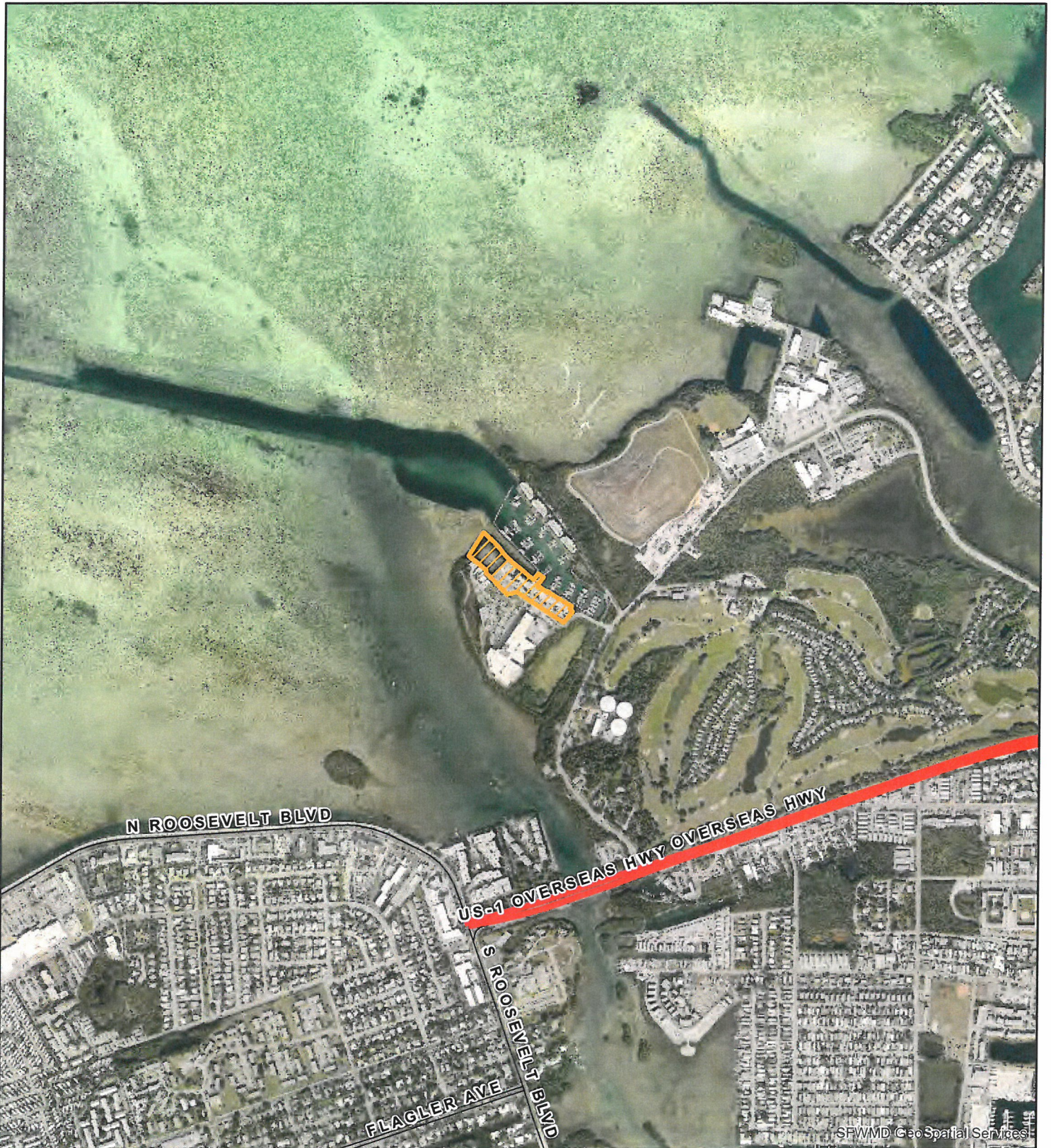
  
Barbara J. Conmy

**DATE:** 04 Oct 2016


**SURFACE WATER MANAGEMENT:**

  
Carlos A. de Rojas, P.E.

**DATE:** 04-OCT-2016



SFWMD GeoSpatial Services

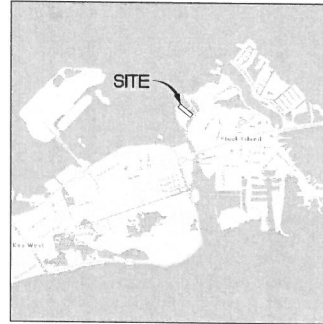
<p><b>Exhibit No: 1</b></p>	<p>Exhibit Created On: 2016-07-20</p>	<p>MONROE COUNTY, FL</p>	<div data-bbox="966 1722 1234 1774" data-label="Text"> <p> Application</p> </div> <div data-bbox="966 1795 1258 1837" data-label="Text"> <p>Permit No: 44-00646-P</p> </div> <div data-bbox="966 1858 1339 1900" data-label="Text"> <p>Application Number: 160719-13</p> </div> <div data-bbox="1380 1722 1477 1890" data-label="Image"> </div>
<div data-bbox="292 1795 722 1879" data-label="Section-Header"> <p><b>REGULATION DIVISION</b> Project Name: SUNSET MARINA</p> </div> <div data-bbox="138 1900 243 1995" data-label="Image"> </div> <div data-bbox="324 1942 738 2026" data-label="Figure"> </div> <div data-bbox="820 1879 885 2005" data-label="Image"> </div>			

[sfwmd.gov](http://sfwmd.gov)

South Florida Water Management District

# CONSTRUCTION PLANS FOR SUNSET MARINA

SECTION 27, TOWNSHIP 67 S, RANGE 25 E  
MONROE COUNTY, FLORIDA



LOCATION MAP

**OWNER**

SUNSET MARINA, LLC  
5555 COLLEGE ROAD  
KEY WEST, FLORIDA 33040

**PREPARED BY**

THE WEILER ENGINEERING CORPORATION  
201 W. MARION AVE, SUITE 1306  
PUNTA GORDA, FLORIDA 33950  
(941) 505-1700



EB # 6656

**INDEX OF DRAWINGS**

- C-1.0 COVER SHEET
- C-2.0 2015 AERIAL PHOTOGRAPH
- C-3.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C-4.0 SITE PLAN
- C-5.0 PAVING, GRADING, & DRAINAGE PLAN
- C-5.1 CROSS SECTIONS 1
- C-5.2 CROSS SECTIONS 2
- C-5.3 PAVING, GRADING, & DRAINAGE DETAILS 1
- C-5.4 PAVING, GRADING, & DRAINAGE DETAILS 2
- ~~C-6.0 OVERALL UTILITY PLAN WATER~~
- ~~C-6.1 OVERALL UTILITY PLAN SEWER~~
- ~~C-6.2 GRAVITY SEWER PLAN & PROFILE 1~~
- ~~C-6.3 GRAVITY SEWER PLAN & PROFILE 2~~
- ~~C-6.4 GRAVITY SEWER PLAN & PROFILE 3~~
- ~~C-6.5 UTILITY DETAILS 1~~
- ~~C-6.6 UTILITY DETAILS 2~~
- C-7.0 PRE-DEVELOPMENT FLUCCS MAP
- C-7.1 POST-DEVELOPMENT FLUCCS MAP
- C-8.0 BEST MANAGEMENT PLAN
- C-9.0 GENERAL NOTES AND SPECIFICATIONS

THIS ITEM HAS BEEN  
ELECTRONICALLY SIGNED AND  
SEALED BY MICHAEL J.  
GUARDALUCCI, P.E. ON 04/23/2016  
USING A DIGITAL SIGNATURE  
PRINTED COPIES OF THIS  
DOCUMENT ARE NOT  
CONSIDERED SIGNED AND  
SEALED AND THE SIGNATURE  
MUST BE VERIFIED ON ANY  
ELECTRONIC COPIES.

Michael J. Guardalucci  
Professional Engineer  
State of Florida  
Registration No. 35935

SHEET NO. C-10  
WEC PROJECT NO.  
1607001



Approved By:	BRW/MSZ	Design:	JMB/BRW
Scale:	1" = 60'	Drawn:	JMS
Job No.:	160719-01	Checked:	JMB/BRW
Date Issued:	10/03/2016		

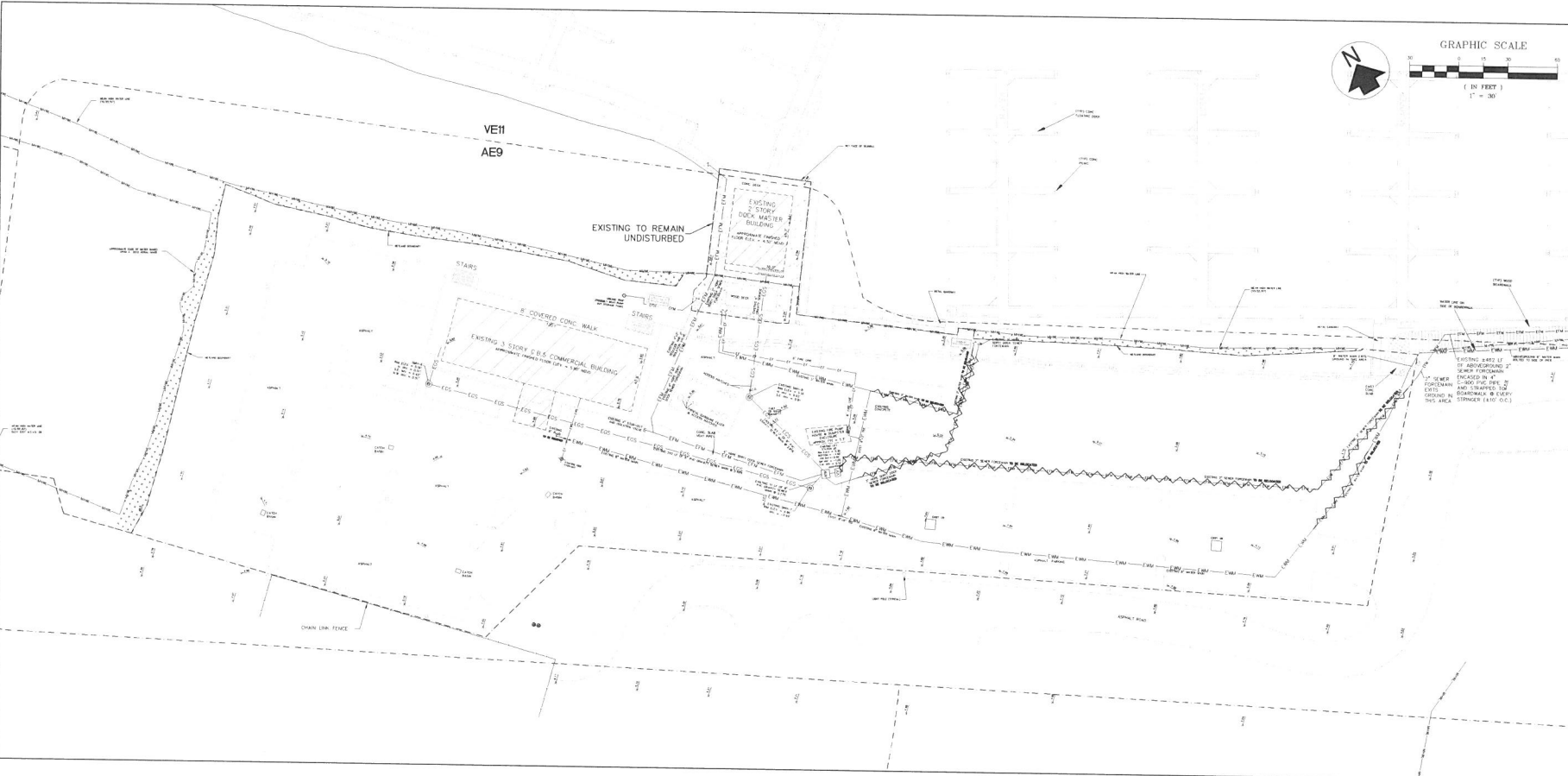
WEGECO INCORPORATED  
**WEGECO** in engineering  
 201 W. MARION AVE., SUITE 1306  
 PUNTA GORDA, FLORIDA 33950  
 888.506.1700    BIL #4656

**2015 AERIAL PHOTOGRAPH**  
 for  
**SUNSET MARINA**

Revisions	Description	Date
1	REVISIT FOR SHOWN FOR 8/7/2015	07/2016 JMS

THIS SET HAS BEEN  
 ELECTRONICALLY SIGNED AND  
 VERIFIED BY METALFORM, INC.  
 USING A DIGITAL SIGNATURE  
 PRIVATE KEY OF THE  
 DOCUMENT ARE NOT  
 CHANGED AND THE SIGNATURE  
 WILL BE VALID IN ANY  
 ELECTRONIC FORMS

Matthew J. Bonwick  
 Professional Engineer  
 State of Florida  
 Registration No. 12483



**LEGEND:**

PROJECT BOUNDARY	---
MEAN HIGH WATER LINE	---
FLOOD ZONE BOUNDARY	---
NOTE: FLOOD ZONE BOUNDARY SHOWN FOR 1% A.P. (AGE NO. 15-04-001)	---
EXISTING FURNISHMENT	---
EXISTING BUILDING	---
EXISTING WETLANDS	---
EXISTING UNDERGROUND ELECTRICAL	---
EXISTING SPOT ELEVATION	---
FEATURES TO BE DEMOLISHED	---
EXISTING TO REMAIN UNDISTURBED	---

Approved By:	BRW/MJC	Design:	JNB/BRW
Scale:	1" = 30'	Drawn:	JNB
Job No.:	160719-13	Checked:	JNB/BRW
Date Issued:	10/03/2016		

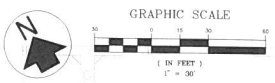
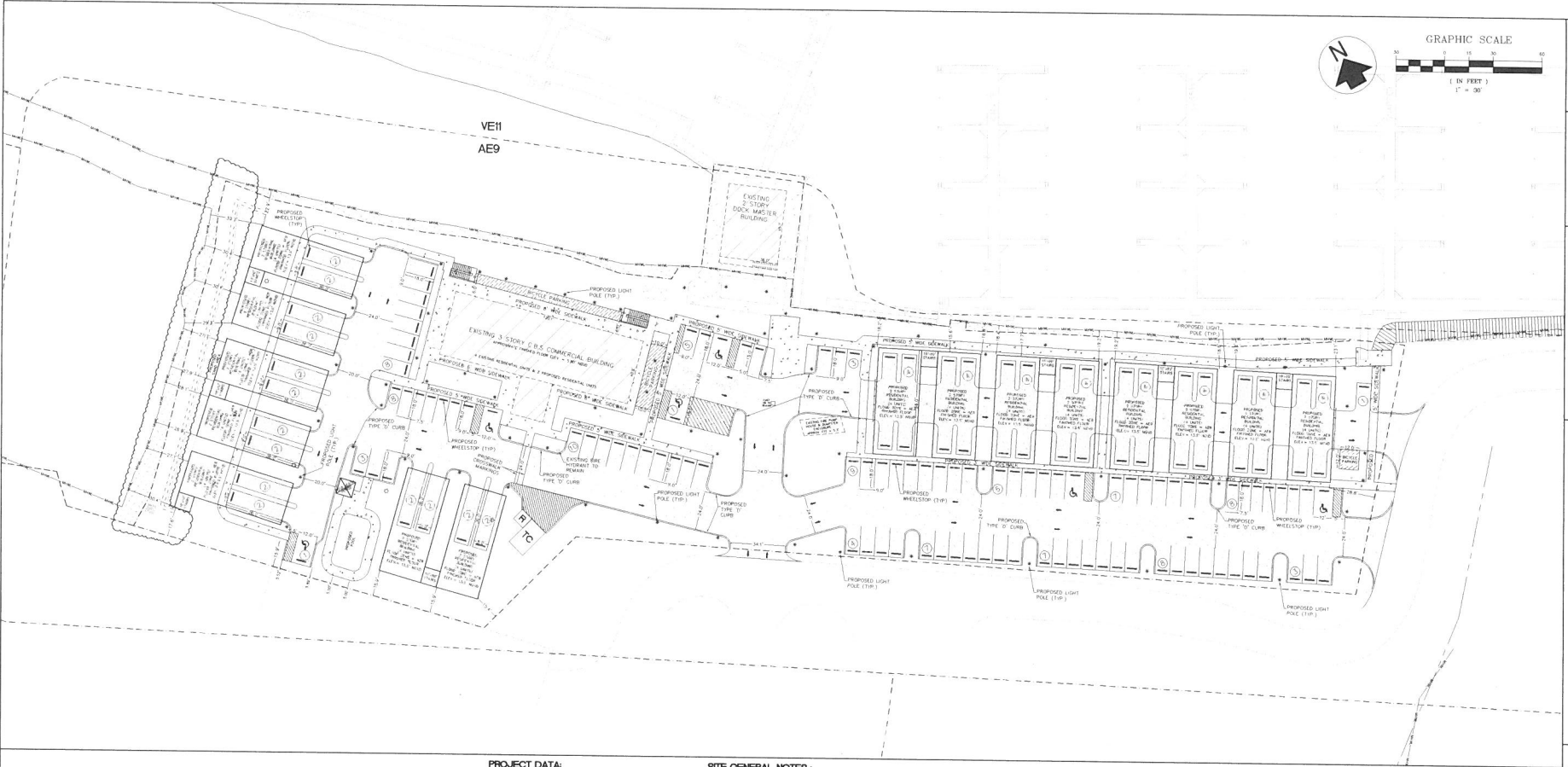
**WE** *Engineering*  
 SUITE 7-9  
 PORT CHARLOTTE, FLORIDA 33964  
 (813) 761-6447  
 EIT #2505

**EXISTING CONDITIONS AND DEMOLITION PLAN  
 FOR  
 SUNSET MARINA**

Description	Revisions
REVISED PER 3/24/2016	10/2016 JNB

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL J. GARDNER, P.E. ON 10/03/2016 UNDER A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Michael J. Gardner  
 Professional Engineer  
 State of Florida  
 Registration No. 06216



**PROJECT DATA:**  
 PROJECT ADDRESS: 5455 COLLEGE ROAD  
 441 WEST, FLORIDA 33040  
 REAL ESTATE #: 0007280-001400  
 PROPERTY OWNER: SUNSET MARINA, LLC  
 801 BOYD 2029  
 KEY WEST, FLORIDA 33040  
 SLOVER: WREY CONSULTING GROUP  
 WATER: FLORIDA KEY'S ADVISORY AUTHORITY (FKAA)  
 GARBAGE: WASTE MANAGEMENT (WAM)  
 ENGINEER: MICHAEL J. GARFIELD, P.E. NO. 7038  
 WELER ENGINEERING CORPORATION (E9 #9905)  
 201 W. MARION AVE. SUITE 5300  
 PUNTA GORDA, FLORIDA 33950  
 941.505.1700  
 SURVEYOR: ERIC A. ISAACS, P.S.W. NO. 6742  
 FLORIDA LAND SURVEYING (L.S. #7847)  
 1960 OVERSEAS HIGHWAY  
 GULFSTREAM CITY, FLORIDA 33042  
 305.594.8680

- SITE GENERAL NOTES:**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF KEY WEST AND THE STATE OF FLORIDA.
  - THERE SHALL BE NO CHANGE OR DEVIATION FROM THE PLAN OR SPECIFICATIONS UNLESS APPROVED BY THE ENGINEER'S OFFICE.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AND WHEN A PROPOSED METHOD OF WORKING IN THE PLANS OR SPECIFICATIONS VIOLATES ANY CITY, STATE OR FEDERAL LAW, RULE, ORDER, DECREE, OR ANY OTHER APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  - THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES FROM THE BEGINNING OF ANY EXCAVATION OR OFF-SITE CONSTRUCTION TO THE END OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL UTILITIES AND FOR MARKING THEM WITH REFLECTOR PINS AT REGULAR INTERVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  - CONTRACTOR SHALL INCLUDE IN HIS BID THE COST OF EROSION CONTROL, EROSION AND SEDIMENT CONTROL, AND BEST MANAGEMENT PRACTICES (BMP) IMPLEMENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  - CONTRACTOR SHALL PLACE AND MAINTAIN ALL NECESSARY EROSION CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL OFF-SITE EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE MONITORING OF WATERSHED LEVELS OF WATER DISCHARGE OFFSITE. WATERSHED SAMPLING LOCATIONS SHALL BE MARKED BY THE ENGINEER PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE THE ROOT SYSTEMS OF TREES AND OTHER SENSITIVE FEATURES WHICH ARE TO BE SAVED AND/OR SALVAGED FOR RESTORATION PURPOSES. NO EQUIPMENT, SUPPLIES OR TRUCKS SHALL BE STORED OR OPERATED WITHIN THE DRY LINE OF TREES TO BE SAVED AND PRESERVED.
  - CONTRACTOR SHALL MAINTAIN ALL EXISTING RUN-OFF SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM.
  - THE CONTRACTOR SHALL FILL ALL DRAINAGE RETENTION AND STORAGE AREAS. EXISTING AREAS SHALL BE FILLED AND GRADED TO THE ORIGINAL FINISH ELEVATION UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
  - AS PART OF CLEARING AND GRUBBING, ALL DEBRIS IS TO BE REMOVED FROM THE PROJECT SITE AND SALVAGED BY THE CONTRACTOR OR TRANSPORTED TO A LEGAL DISPOSAL AREA.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING BUFFERS, TREE PRESERVATION, RESTORATION STANDARDS, BROWN PAVING, LANDSCAPE, ETC.

- RIGHT-OF-WAY NOTES:**
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF KEY WEST PRIOR TO COMMENCING ANY WORK WITHIN THE RIGHT-OF-WAY. KEY WEST PUBLIC WORKS DEPARTMENT SHALL APPROVE ALL RIGHT-OF-WAY PERMITS. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  - ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO CITY OF KEY WEST REGULATIONS.
  - ALL AREAS DISTURBED BY CONSTRUCTION IN CITY RIGHT-OF-WAY SHALL BE RESTORED AND GRADED.
  - CONTRACTOR SHALL COMPLY WITH CITY OF KEY WEST MAINTENANCE OF TRAFFIC (MOT) POLICY, AND BE PRE-APPROVED PRIOR TO ANY WORK BEING PERFORMED WITHIN THE CITY RIGHT-OF-WAY.

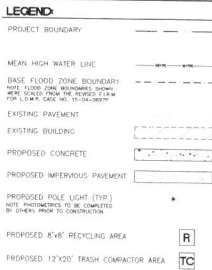
- MAINTENANCE REQUIREMENTS:**
- REMOVE ANY TRASH OR DEBRIS FROM SITES, NEAR CONDUITS, AND PILES. SPECIAL CARE SHOULD BE TAKEN TO INSPECT THE DRAINAGE STRUCTURES FOR ANY COLLAPSE PRIOR TO REMOVAL AND OF GRASS CLIPPINGS MUST BE TRUCKED TO AN APPROPRIATE DISPOSAL FACILITY.
  - INSPECT ANY AREAS SUBJECT TO DRAGON AND SEED OF SOIL AS NECESSARY.
  - ADVISE TO ALL SPECIAL MAINTENANCE AGENCIES AS PROVIDED BY THE VARIOUS MATERIAL SUPPLIERS, MANUFACTURERS, AND MADE AVAILABLE VIA THE GENERAL CONTRACTOR'S PROJECT CONSTRUCTION.
  - COMPLY WITH ALL MAINTENANCE, INSPECTION AND REPORTING REQUIREMENTS AS SPECIFIED IN ANY REGULATORY AGENCY PERMITS (E.G. SPREAD SURFACE WATER MANAGEMENT PERMIT).
  - ALL WORK PERFORMED ON THESE PLANS MUST COMPLY WITH THE CONTRACT TECHNICAL SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.

**ALL BACKFILL IMPORTED TO THE SITE SHALL BE TYPE OF GENERAL BACKFILL OR APPROVED EQUAL.**

**CONTRACTOR TO FIELD VERIFY ALL EXISTING FINISHED FLOOR ELEVATIONS AND SUBMIT THEIR FINDINGS TO THE ENGINEER PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.**

**UNLESS OTHERWISE NOTED, ALL ELEVATIONS SHOWN ARE REFERENCED TO NAVD 83/29.**

**ALL SITE WALKWAYS SHALL BE ADA COMPLIANT WITH MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE.**



Approved By:	BRW/AJC	Design:	JMB/BRW
Scale:	1" = 30'	Drawn:	JMB/BRW
Job No.:	15011/001	Checked:	JMB/BRW
Date Issued:	10/07/2016		

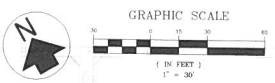
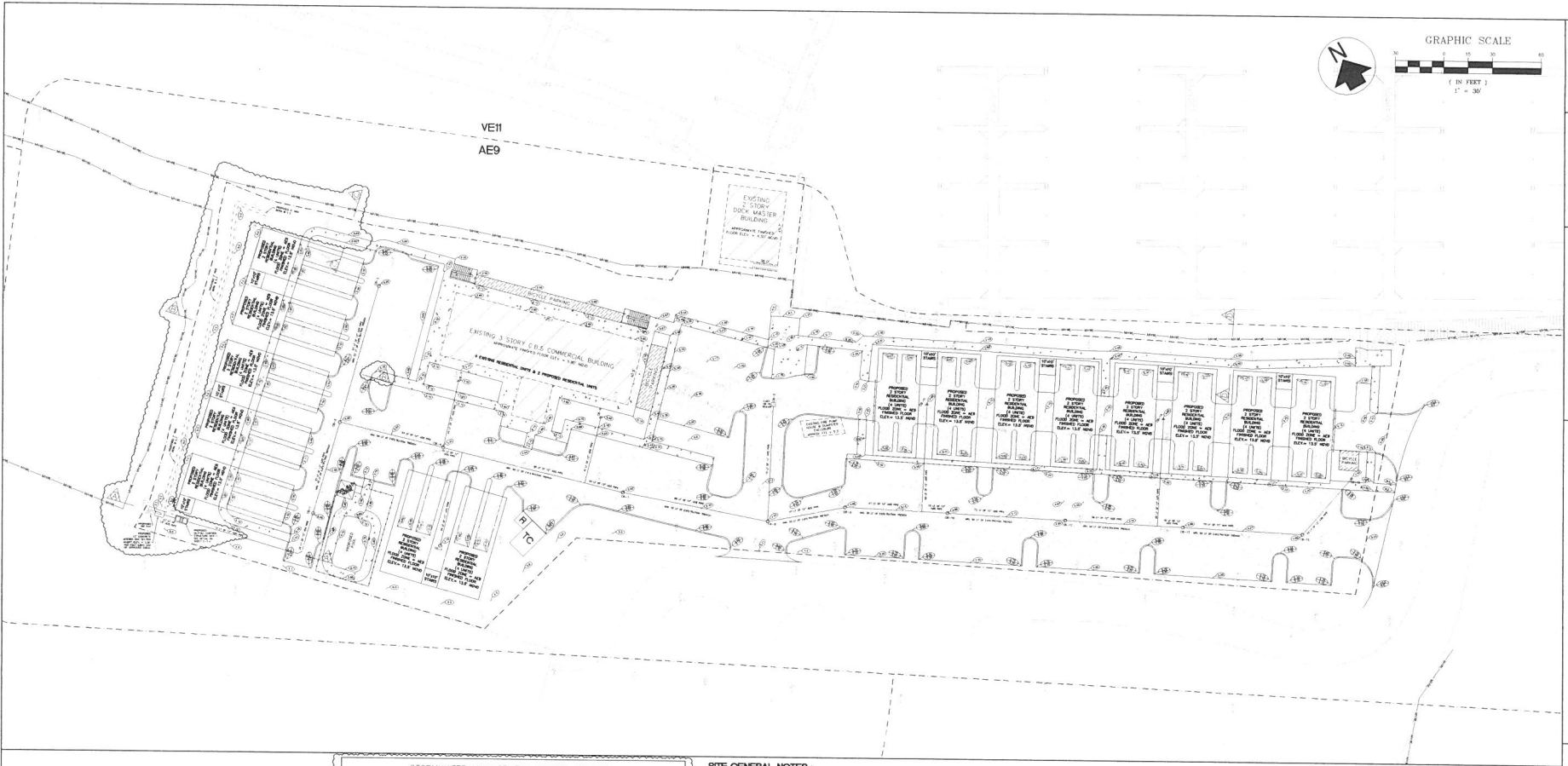
**WELER ENGINEERING CORPORATION**  
**Science in engineering**  
 201 W. MARION AVE. SUITE 1300  
 PUNTA GORDA, FLORIDA 33950  
 941.505.1700  
 FILE #0558

**SITE PLAN FOR SUNSET MARINA**

Revision	Date	Description
1	10/20/16	ISSUED FOR PERMITS
2	10/20/16	REVISED PER STATE REG. 2016

THIS SET HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL J. GARFIELD, P.E. ON 10/20/2016 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Michael J. Garfield  
 Professional Engineer  
 State of Florida  
 Registration No. 70616



STORMWATER MANAGEMENT SYSTEM SUMMARY					
TOTAL PROJECT AREA (AC)	IMPERVIOUS PROJECT AREA (AC)	PERVIOUS PROJECT AREA (AC)	NUMBER OF INLET STRUCTURES	EXFILTRATION TRENCH PROVIDED (LF)	OUTFALL STRUCTURE
3.10	2.21	0.89	17	460.0	1

STORMWATER INLET STRUCTURE SCHEDULE					
INLET I.D.	TYPE	SIZE	RIM ELEV.	INVERT ELEVATIONS	SUMP ELEV.
EB-1	EXISTING FOOT STANDARD	"C"	4.60	NE, SW @ 1.50'	EXIST
CB-1	NYLOPLAST CATCH BASIN	18"	5.30	NE, SW @ 1.50'	-1.50
CB-2	NYLOPLAST CATCH BASIN	18"	5.35	NE, SE, SW @ 1.50'	-1.50
CB-3	NYLOPLAST CATCH BASIN	18"	5.30	SW @ 1.50'	-1.50
CB-4	NYLOPLAST CATCH BASIN	18"	5.35	NE, SE, SW @ 1.50'	-1.50
CB-5	NYLOPLAST CATCH BASIN	18"	5.60	SW @ 1.50'	-1.50
CB-6	NYLOPLAST CATCH BASIN	18"	5.60	SW @ 1.50'	-1.50
CB-7	NYLOPLAST CATCH BASIN	18"	5.00	SW, NE @ 1.50'	-1.50
CB-8	NYLOPLAST CATCH BASIN	18"	4.95	NE, E, NW @ 1.50'	-1.50
CB-10	NYLOPLAST CATCH BASIN	18"	4.85	SE, SW @ 1.50'	-1.50
CB-11	NYLOPLAST CATCH BASIN	18"	4.85	SW @ 1.50'	-1.50
CB-12	NYLOPLAST CATCH BASIN	18"	4.80	SE, NW @ 1.50'	-1.50
CB-13	NYLOPLAST CATCH BASIN	18"	4.80	SW @ 1.50'	-1.50
CB-14	NYLOPLAST CATCH BASIN	18"	4.85	E, NW @ 1.50'	-1.50
CB-15	NYLOPLAST CATCH BASIN	18"	4.85	E, NW @ 1.50'	-1.50
CB-16	NYLOPLAST CATCH BASIN	18"	4.90	W @ 1.50'	-1.50
YD-1	NYLOPLAST RIMLINE DRAIN	18"	5.75	N/A	N/A

- SITE GENERAL NOTES:**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PEEDEE AND THE STATE OF FLORIDA.
  - THERE SHALL BE NO CHANGE OF HEIGHT OR INVERT ELEVATION OF THESE PLANS OR SPECIFICATIONS UNLESS PRIOR WRITTEN APPROVAL FROM THE ENGINEER'S OFFICE.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AND WHEN A POSSIBLE ERROR IS FOUND IN THE PLANS OR SPECIFICATIONS AND/OR DISCREPANCIES ARE FOUND. THE ENGINEER SHALL BE RESPONSIBLE TO ACCOMMODATE CONDITIONS OF CONSTRUCTION NEARBY THE PROJECT OR TO REDESIGN THE PROJECT AS NECESSARY.
  - CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES FROM THE CITY OF PEEDEE AND ALL STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PEEDEE AND ALL STATE AND FEDERAL AGENCIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
  - CONTRACTOR SHALL INCLUDE IN HIS BID THE COST OF EROSION CONTROL, EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) AND OTHER APPROVED METHODS TO CONTROL EROSION.
  - CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND A MINIMUM OF 3 FEET TO MAINTAIN ROAD AND STORM DRAINAGE ELEVATION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF GUESTS AND ALL OTHER PERSONS ENTERING THE PROJECT SITE DURING CONSTRUCTION BY USING WATER PROOFING AND/OR FENCING AND BY LOCKING GATES BEHIND VISITORS TRANSPORTING GOODS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF NEARBY UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF NEARBY UTILITIES AND SERVICES.
  - AS PART OF CLEARING AND GRUBBING, ALL DEBRIS IS TO BE REMOVED FROM THE PROJECT AND SALVAGED BY THE CONTRACTOR OR TRANSPORTED TO LEGAL DISPOSAL SITES.
  - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE PLANTING, TREE PRESERVATION, IRRIGATION STANDARDS, IRRIGATION LAYOUT, ETC.
  - REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SERVICE CONNECTION, POWER POLE ALTERNATE, POWER TRANSFORMER DETAILS AND LOCATIONS, CONSULT HEATING, COOLING AND/OR FURNACE, ETC.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY FOR, OBTAIN, AND COMPLY WITH ALL APPLICABLE NATIONAL POLLUTION CONTROL ACT (NPDES) PERMITS AND ALL APPLICABLE LOCAL REGULATIONS.
  - ALL GUESTS SHALL BE KEPT AWAY FROM THE PROJECT SITE UNLESS OTHERWISE SPECIFIED IN WRITING BY THE PROJECT ENGINEER.

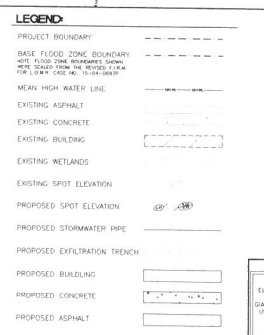
- RIGHT-OF-WAY NOTES:**
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF PEEDEE PRIOR TO COMMENCING ANY WORK WITHIN THE RIGHT-OF-WAY. KEY MEASUREMENTS FOR THE RIGHT-OF-WAY SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL CITY AND STATE REQUIREMENTS FOR THE RIGHT-OF-WAY PERMIT.
  - ALL AREAS DESTROYED BY CONSTRUCTION IN CITY RIGHT-OF-WAY SHALL BE RESTORED AND GRADED.
  - CONTRACTOR SHALL COMPLY WITH CITY OF PEEDEE MAINTENANCE OF TRAFFIC (MOT) POLICY, AND BE PRE-APPROVED PRIOR TO ANY WORK BEING PERFORMED WITHIN THE CITY RIGHT-OF-WAY.
- MAINTENANCE REQUIREMENTS:**
- REMOVE ANY BRUSH OR DEBRIS FROM SITES, NEAR CONDUIT LINES, AND STRUCTURES ON A REGULAR BASIS TO PREVENT TRIP AND/or SLIP OR OTHER SAFETY HAZARDS TO THE PUBLIC.
  - PROTECT ANY AREAS SUBJECT TO EROSION AND SEED OR SOIL AS NECESSARY.
  - REMOVE ALL SPECIAL MAINTENANCE REQUIREMENTS AS PROVIDED BY THE VARIOUS MATERIAL SUPPLIER/MANUFACTURERS, AND MAKE AVAILABLE ON THE PROJECT SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL SPECIAL MAINTENANCE REQUIREMENTS (E.G. SPREAD SURFACE WATER MANAGEMENT PERMITS).
  - COMPLY WITH ALL MAINTENANCE, PROTECTION AND REPORTING REQUIREMENTS AS SPECIFIED IN ANY REGULATORY AGENCY PERMITS (E.G. SPREAD SURFACE WATER MANAGEMENT PERMITS).
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENT SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.

**ALL BACKFILL IMPORTED TO THE SITE SHALL BE TYPE "B" GENERAL BACKFILL OR APPROVED EQUAL.**

**CONTRACTOR TO FIELD VERIFY ALL EXISTING FINISHED FLOOR ELEVATIONS AND SUBMIT THEIR FINDINGS TO THE ENGINEER PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.**

**INLET/BOX OTHERWISE NOTED, ALL ELEVATIONS SHOWN ARE REFERENCED TO NGVD 83.**

**ALL SITE WALKWAYS SHALL BE ADA COMPLIANT WITH MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE.**



Approved By:	BHW/MJC	Design:	JMS/BHW
Scale:	1" = 30'	Drawn:	JMS
Job No.:	160719-13	Checked:	JMS/BHW
Date Issued:	10/23/2016		

**WEG**  
**WEG** *WEG* **WEG**  
 201 W. MARION AVE., SUITE 1306  
 PUNTA GORDA, FLORIDA 33950  
 941.305.1700

**PAVING, GRADING, & DRAINAGE PLAN FOR SUNSET MARINA**

Revision Table:

Rev.	Description	Date
1	REVISED PER PLAN BAR #07/2016	10/23/2016

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL J. GARDUOLO, P.E. ON 10/23/2016. DOCUMENT AND SIGNATURE PROVIDED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THE ORIGINAL SEALER AND THE SIGNATURE MATCH THE INFORMATION ON ANY ELECTRONIC COPIES.

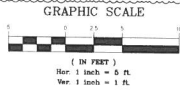
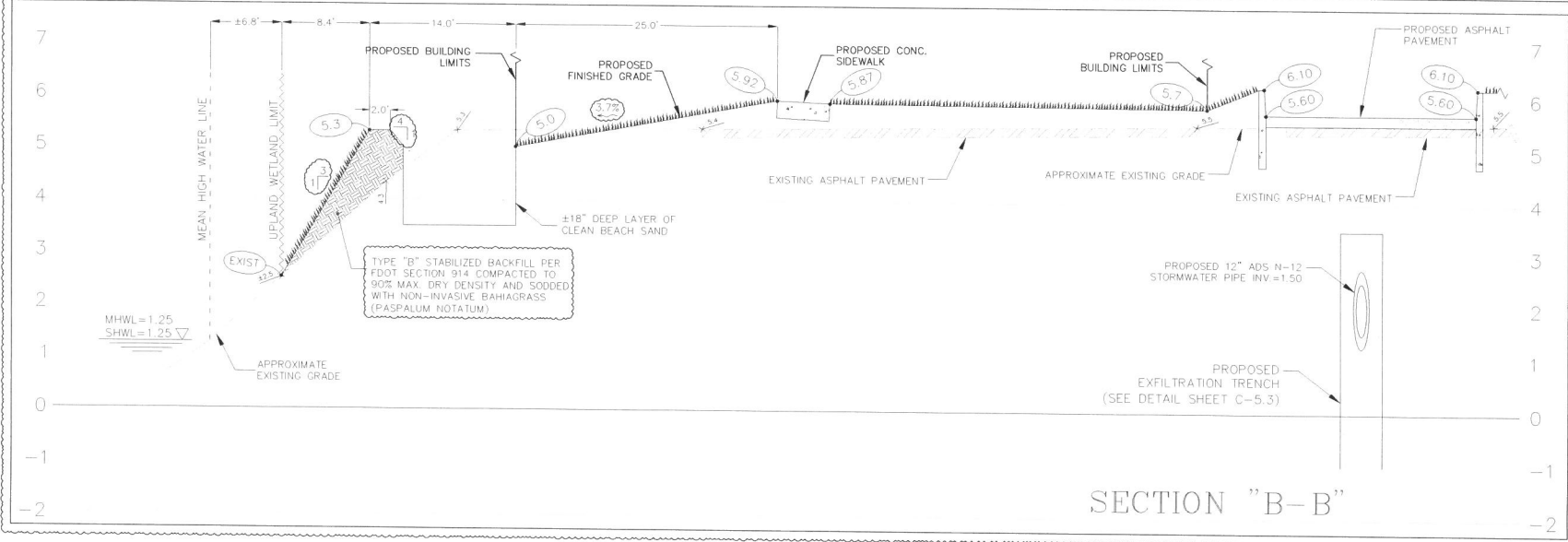
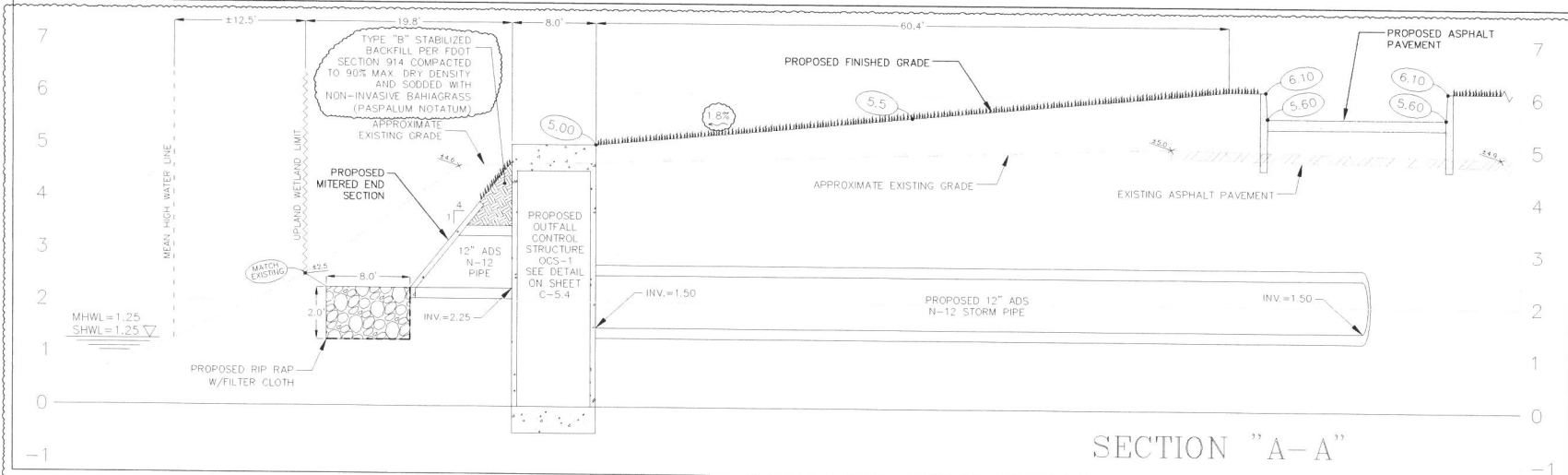
Michael J. Garduolo  
 Professional Engineer  
 State of Florida  
 Registration No. 15876

99-10-2016 CONCEPTUAL REVIEW NOT FOR CONSTRUCTION

Sheet No. **C-50**



USER: n:\engineer\exhibits\160719-13\160719-13.dwg  
 PLOT DATE: 10/23/2016 10:01:00 AM  
 PLOT SCALE: 1/8" = 1'-0"  
 PLOT SHEET: 6 OF 13  
 PLOT TITLE: CROSS SECTIONS FOR SUNSET MARINA



SECTIONS ARE EXAGGERATED VERTICALLY BY A FACTOR OF 5

ALL BACKFILL IMPORTED TO THE SITE SHALL BE TYPE "B" STABILIZED GENERAL BACKFILL OR APPROVED EQUAL.

CONTRACTOR TO FIELD VERIFY ALL EXISTING FINISHED FLOOR ELEVATIONS AND REPORT THEM TO THE ENGINEER PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.

UNLESS OTHERWISE NOTED, ALL ELEVATIONS SHOWN ARE REFERENCED TO NGVD 1929

Approved By:	JNB/BRW
Design:	JNB/BRW
Scale:	1" = 20'
Job No.:	160719-13
Date Issued:	10/23/2016

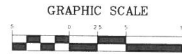
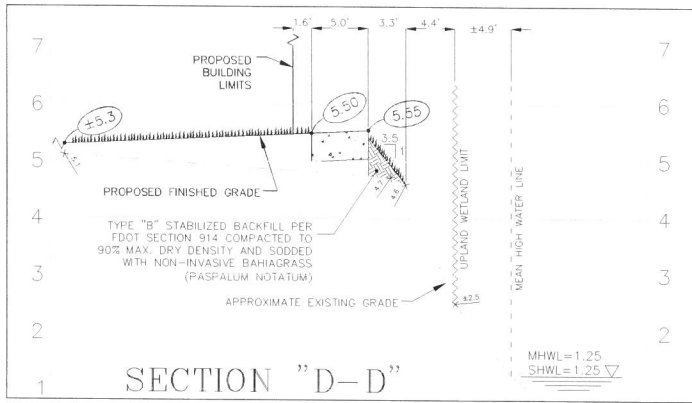
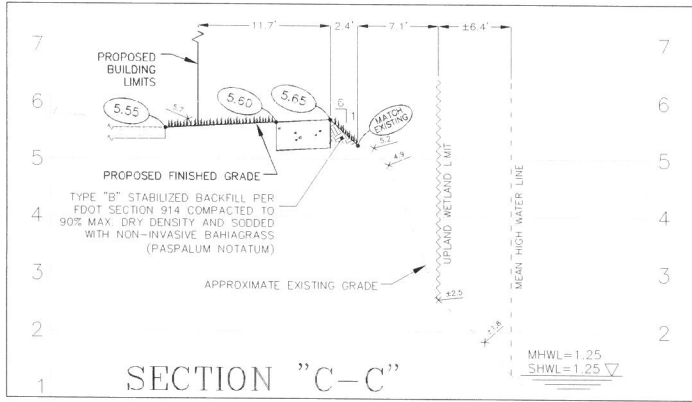
**WELLS**  
 science in engineering  
 201 W. MARION AVE. SUITE 1300B  
 PUNTA GORDA, FLORIDA 33950  
 941.505.1700

**CROSS SECTIONS 1 FOR SUNSET MARINA**

Revision	Date	Description
1	10/23/2016	REVISED PER SHEET 10/23/2016

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL J. GARIBOLDI, P.E. ON 10/23/2016 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THEY ARE SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Michael J. Gariboldi  
 Professional Engineer  
 State of Florida  
 Registration No. 70676



SECTIONS ARE  
EXAGGERATED  
VERTICALLY BY  
A FACTOR OF 5

ALL BACKFILL IMPORTED TO THE SITE  
SHALL BE TYPE "B" STABILIZED GENERAL  
BACKFILL OR APPROVED EQUAL.

CONTRACTOR TO FIELD VERIFY ALL EXISTING  
FINISHED FLOOR ELEVATIONS AND REPORT  
THEM TO THE ENGINEER PRIOR TO THE  
BEGINNING OF ANY CONSTRUCTION.

UNLESS OTHERWISE NOTED, ALL  
ELEVATIONS SHOWN ARE REFERENCED  
TO NGVD 89.

Approved By:	BRW/MLD	Design:	JNB/BRW
Scale:	1" = 20'	Drawn:	JNB
Job No.:	16011001	Checked:	JNB/BRW
Date Issued:	10/03/2018		

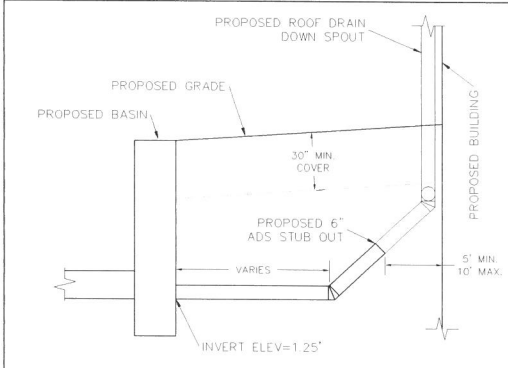
**WBE**  
WILLIAMS BROS. ENGINEERING  
2801 W. PALM BEACH AVENUE, SUITE 1306  
PUNTA GORDA, FLORIDA 33950  
941.300.1700

**CROSS SECTIONS 2  
FOR  
SUNSET MARINA**

Revisions	Description	Date
1	REVISED PER STAMP 308.879/2018	10/20/2018

THIS ITEM HAS BEEN  
ELECTRONICALLY SIGNED AND  
SEALED BY MICHAEL J. GORDA  
USING A DIGITAL SIGNATURE  
PROVIDED UNDER 65C.07, F.S.  
THIS DOCUMENT IS NOT  
CONSIDERED SIGNED AND  
SEALED AND THE SIGNATURE  
MUST BE VERIFIED ON ANY  
ELECTRONIC COPIES.

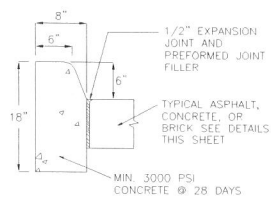
Michael J. Gorda  
Professional Engineer  
State of Florida  
Registration No. 75316



**GENERAL NOTES:**

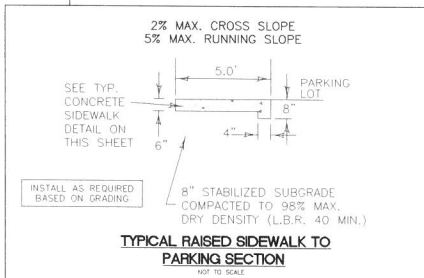
1. THE STUB OUT PIPE SHALL BE 6" N-12 ADS OR APPROVED EQUAL.
2. STORMWATER CONTRACTOR SHALL INSTALL PIPE FROM THE STRUCTURE TO THE STUB OUT LOCATION.
3. BUILDING CONTRACTOR SHALL INSTALL THE ROOF DRAIN DOWN SPOUT FROM THE BUILDING TO THE STUB OUT LOCATION.
4. ALL STORMWATER PIPES AND ROOF DRAIN DOWN SPOUTS SHALL HAVE A MINIMUM OF 30" OF COVER.
5. THE EXACT LOCATION OF ROOF DRAINS ARE SHOWN ON THE ARCHITECTURAL AND MECHANICAL PLANS. THE EXACT LOCATION OF DRAINAGE BASINS IS SHOWN WITHIN THIS SET. ALL LOCATIONS SHALL BE COORDINATED WITH THE APPLICABLE PLANS AND DETAILS.
6. ALL WORK SHALL CONFORM TO THE PROJECT TECHNICAL SPECIFICATIONS.
7. TYPICAL BASIN INSTALLATION IS SHOWN. SOME LOCATIONS WILL CONNECT DIRECTLY TO THE STORMWATER MAIN. IN THESE INSTANCES A 12" W6" REDUCING TEE IS REQUIRED.

**TYPICAL ROOF DRAIN CONNECTION TO STORMWATER SYSTEM**  
NOT TO SCALE



NOTE: CURE CONCRETE AND PROTECT FROM DAMAGE FOR A MINIMUM OF 7 DAYS. USE HOT WEATHER CONCRETING PER ACI-305R-10.

**TYPE D CONCRETE CURB**  
NOT TO SCALE

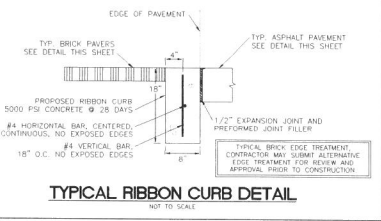


INSTALL AS REQUIRED BASED ON GRADING.

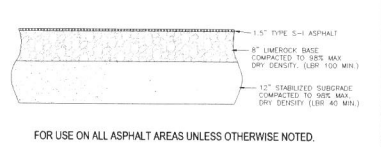
**TYPICAL RAISED SIDEWALK TO PARKING SECTION**  
NOT TO SCALE

**ALL BACKFILL IMPORTED TO THE SITE, SHALL BE TYPE 'B' GENERAL BACKFILL OR APPROVED EQUAL.**

**EXISTING SUBGRADE SHALL BE STABILIZED USING FOOT TYPE 'B' STABILIZATION OR AS APPROVED BY THE ENGINEER**

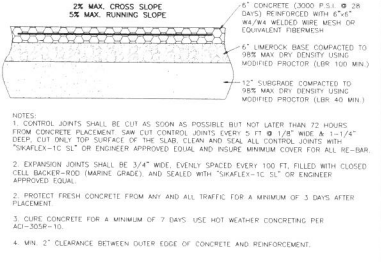


**TYPICAL RIBBON CURB DETAIL**  
NOT TO SCALE



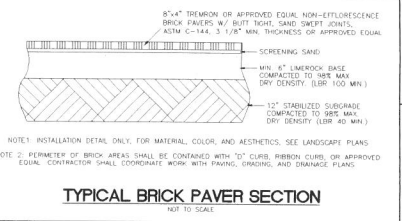
FOR USE ON ALL ASPHALT AREAS UNLESS OTHERWISE NOTED.

**TYPICAL ASPHALT PAVEMENT SECTION**  
NOT TO SCALE

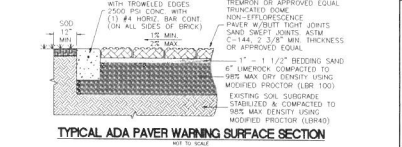


**TYPICAL CONCRETE SIDEWALK SECTION**  
NOT TO SCALE

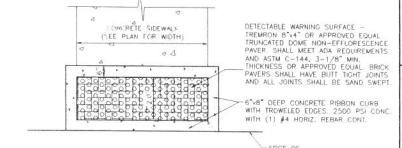
- NOTES:
1. CONTROL JOINTS SHALL BE CUT AS SOON AS POSSIBLE BUT NOT LATER THAN 72 HOURS FROM CONCRETE PLACEMENT. SAW CUT CONTROL JOINTS EVERY 5 FT @ 1/8" WIDE & 1-1/4" DEEP. CUT ONLY TOP SURFACE OF THE SLAB. CLEAN AND SEAL ALL CONTROL JOINTS WITH 'SKAFLEX-1C SL' OR ENGINEER APPROVED EQUAL AND INSURE MINIMUM COVER FOR ALL RE-BAR.
  2. EXPANSION JOINTS SHALL BE 3/4" WIDE, EVENLY SPACED EVERY 100 FT, FILLED WITH CLOSED CELL BACKER-FOAM (MARINE GRADE), AND SEALED WITH 'SKAFLEX-1C SL' OR ENGINEER APPROVED EQUAL.
  3. CURE CONCRETE FOR A MINIMUM OF 7 DAYS. USE HOT WEATHER CONCRETING PER ACI-305R-10.
  4. MIN. 2" CLEARANCE BETWEEN OUTER EDGE OF CONCRETE AND REINFORCEMENT.



**TYPICAL BRICK PAVER SECTION**  
NOT TO SCALE

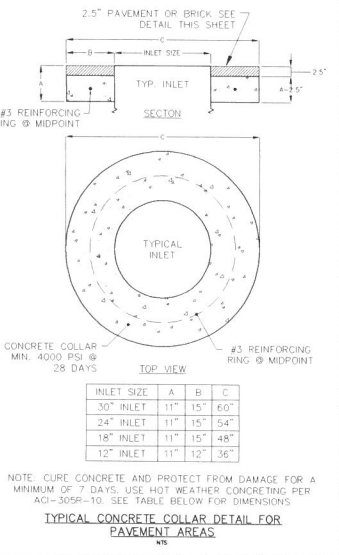


**TYPICAL ADA PAVER WARNING SURFACE SECTION**  
NOT TO SCALE



**TYPICAL ADA PAVER WARNING SURFACE**  
NOT TO SCALE

- NOTE:
1. FOR INSTALLATION PURPOSES ONLY, SEE LANDSCAPE PLANS FOR COLOR, MATERIALS, AND AESTHETICS.
  2. PAVERS SHALL BE PLACED ON A 1" TO 1-1/2" BEDDING SAND WHICH IS PLACED ON 8" LIMONOCK BASE COMPACTED TO 95% MAX. DRY DENSITY USING MODIFIED PROCTOR (LEB 100).
  3. EXISTING SOIL SUBGRADE SHALL BE STABILIZED AND COMPACTED TO 95% MAX. DRY DENSITY USING MODIFIED PROCTOR (LEB 40).



CONCRETE COLLAR - MIN. 4000 PSI @ 28 DAYS

TOP VIEW

INLET SIZE	A	B	C
30" INLET	11"	15"	60"
24" INLET	11"	15"	54"
18" INLET	11"	15"	48"
12" INLET	11"	12"	36"

NOTE: CURE CONCRETE AND PROTECT FROM DAMAGE FOR A MINIMUM OF 7 DAYS. USE HOT WEATHER CONCRETING PER ACI-305R-10. SEE TABLE BELOW FOR DIMENSIONS.

**TYPICAL CONCRETE COLLAR DETAIL FOR PAVEMENT AREAS**  
NOT TO SCALE

Approved By: \_\_\_\_\_  
Scale: \_\_\_\_\_  
Job No: 16011.D01  
Date Issued: 10/02/2016

WPC  
Science in engineering  
201 W. MARION AVE. SUITE 1306  
PUNTA GORDA, FLORIDA 33950  
941.505.1700

**PAVING, GRADING, & DRAINAGE DETAILS 1**  
for  
**SUNSET MARINA**

Revision	Description	Date
1	REVISED PER DRAWING NO. 09/29/2016	10/2/2016

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL J. CARROLL, PROFESSIONAL ENGINEER, STATE OF FLORIDA, REGISTRATION NO. 12882.

Michael J. Carroll  
Professional Engineer  
State of Florida  
Registration No. 12882

**1890CSL**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**Section 5721**  
Engineered Surface Drainage Products

GENERAL:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST DRAIN BASIN WITH REMOVABLE INTERNAL PIPE BAFFLE**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST 12" IN. LINE DRAIN 2712G\_X**

GENERAL NOTES:  
1. SEE SHEET 1890CSL FOR GENERAL NOTES.  
2. SEE SHEET 1890CSL FOR MATERIALS.  
3. SEE SHEET 1890CSL FOR DIMENSIONS.  
4. SEE SHEET 1890CSL FOR FINISHES.  
5. SEE SHEET 1890CSL FOR ELEVATIONS.  
6. SEE SHEET 1890CSL FOR CONNECTIONS.  
7. SEE SHEET 1890CSL FOR SPECIAL NOTES.  
8. SEE SHEET 1890CSL FOR NOTES ON CONSTRUCTION.  
9. SEE SHEET 1890CSL FOR NOTES ON MAINTENANCE.  
10. SEE SHEET 1890CSL FOR NOTES ON SAFETY.

**NYLOPLAST**

Approved By: JMD/STW  
Scale: 1/8" = 1'-0"  
Date Issued: 10/27/2016

201 W. MARION AVE., SUITE 1306  
PUNTA GORDA, FLORIDA 33950  
941.505.1700

**FOR PAVING, GRADING, & DRAINAGE DETAILS 2**

**for**

**SUNSET MARINA**

REVISED FIELD MANUAL NO. 187/2016

MODIFIED TYPE - H DBI  
FD.DT. index No. 232

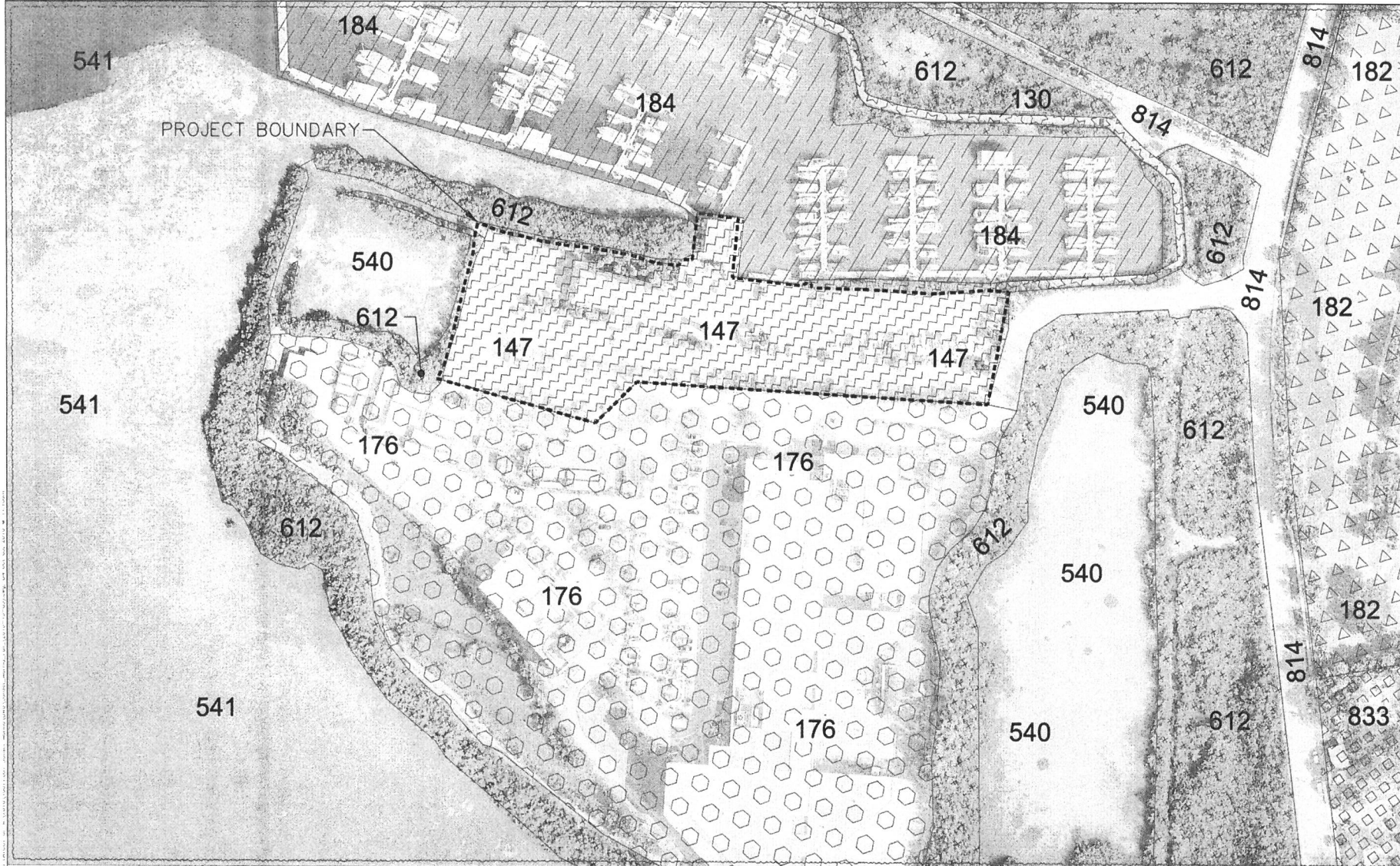
NOTE: CONCRETE STRUCTURES MAY BE USED IN LIEU OF NYLOPLAST STRUCTURES WITH BAFFLES. CONTRACTOR SHALL SUBMIT PRODUCTS INTENDED FOR USE TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING ANY MATERIAL.

NOTE: FOR CB-10 AND CB-13, THE EXISTING CONCRETE STRUCTURES MAY BE ADJUSTED AND REUSED IN PLACE. CONTRACTOR SHALL SUBMIT METHOD OF ADJUSTMENT TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

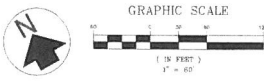
THIS ITEM HAS BEEN FIELD TESTED AND SEaled BY NYLOPLAST. IT IS NOT TO BE USED IN ANY OTHER APPLICATIONS. NYLOPLAST IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS CAUSED BY THE USE OF THIS PRODUCT. NYLOPLAST IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS CAUSED BY THE USE OF THIS PRODUCT.

Manual J. Conroy  
Project No. 160719-13  
Date of Issuance: 10/27/2016

Sheet No. C-54



PROJECT BOUNDARY



FLUCS BOUNDARIES AND CLASSIFICATIONS WERE INTERPRETED USING THE 2011 LAND USE AND COVER SHAPFILE PRODUCED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT, 2015 MONROE COUNTY AERIAL PHOTOGRAPHS, AND SITE SPECIFIC INFORMATION.

PRE-DEVELOPMENT FLUCCS SUMMARY		
FLUCCS CODE	FLUCCS TITLE	SIZE (AC)
130	RESIDENTIAL, HIGH DENSITY	0.32
147	MIXED COMMERCIAL AND SERVICES	3.23
176	CORRECTIONAL	11.26
182	GOLF COURSES	3.24
184	MARINAS AND FISH CAMPS	6.10
540	BAYS AND ESTUARIES	4.33

PRE-DEVELOPMENT FLUCCS SUMMARY (CONTINUED)		
FLUCCS CODE	FLUCCS TITLE	SIZE (AC)
541	EMBAYMENTS OPENING DIRECTLY TO THE GULF...	72.14
612	MANGROVE SWAMPS	6.97
619	EXOTIC WETLAND HARDWOOD	0.00
740	DISTURBED LAND	0.00
814	ROADS AND HIGHWAYS	2.77
833	WATER SUPPLY PLANTS	0.75

Approved By: JNE/BRW Design: JNE/BRW  
 Scale: 1" = 60' Drawn: JNE  
 Job No: 160719-001 Checked: JNE/BRW  
 Date Issued: 10/03/2016

WEG  
 2901 W. STATE AVE. SUITE 1806  
 PUNTA GORDA, FLORIDA 33950  
 941.505.1700 PR #656

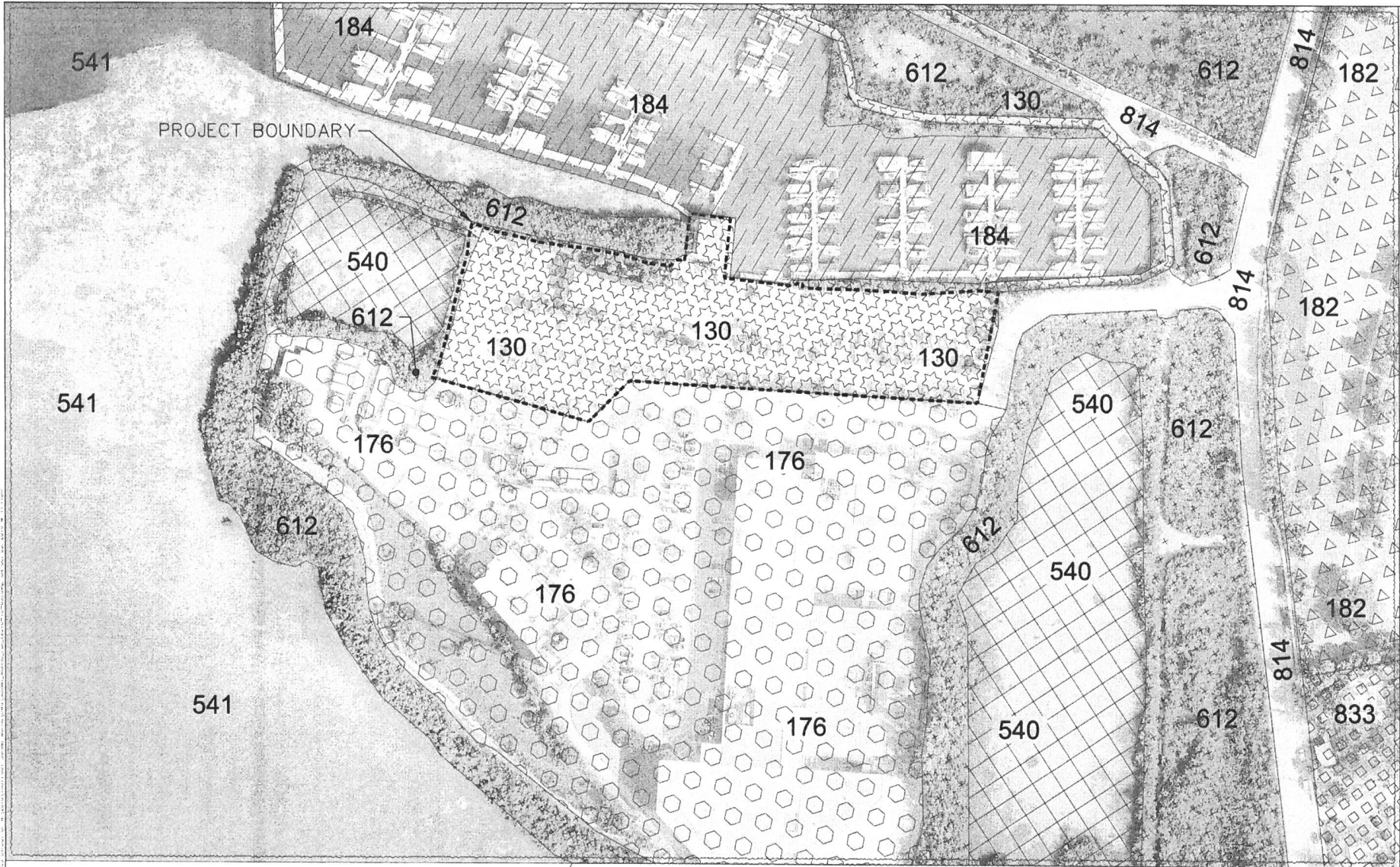
PRE-DEVELOPMENT FLUCCS MAP  
 for  
 SUNSET MARINA

Description	Revisions
1. RECEIVED PER 160719-001	10/2/2016 JNE

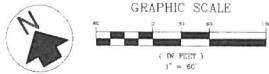
THIS ITEM HAS BEEN REVISIONED, RECALCULATED, AND RESEALED BY MANUAL AND GRAPHICALLY. ALL CHANGES MUST BE A COPY SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THEY ARE VERIFIED BY THE ORIGINAL FLUCCS MAP COPIES.

Michael J. Conklin  
 State of Florida  
 Registration No. 2586

Sheet No. C-70



PROJECT BOUNDARY



FLUCCS BOUNDARIES AND CLASSIFICATIONS WERE INTERPRETED USING THE 2011 LAND USE AND COVER SHAFFLE PRODUCED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT. 2015 MONROE COUNTY AERIAL PHOTOGRAPHS, AND SITE SPECIFIC INFORMATION.

FLUCCS CODE	FLUCCS TITLE	SIZE (AC)
130	RESIDENTIAL, HIGH DENSITY	3.55
147	MIXED COMMERCIAL AND SERVICES	0.00
176	CORRECTIONAL	11.25
182	GOLF COURSES	3.24
184	MARINAS AND FISH CAVPS	6.10
540	BAYS AND ESTUARIES	4.33

FLUCCS CODE	FLUCCS TITLE	SIZE (AC)
541	EMBAYMENTS OPENING DIRECTLY TO THE GULF...	12.14
612	MANGROVE SWAMPS	8.97
619	EXOTIC WETLAND - HARDWOOD	0.00
740	DISTURBED LAND	0.00
814	ROADS AND HIGHWAYS	2.22
833	WATER SUPPLY PLANTS	0.75

Approved By: BHW/MJC  
 Scale: 1" = 60'  
 Job No: 16011.001  
 Date Issue: 10/02/2018

**WE**  
 301 W. MARION AVE. SUITE 1306  
 PUNTA GORDA, FLORIDA 33950  
 941.505.1700

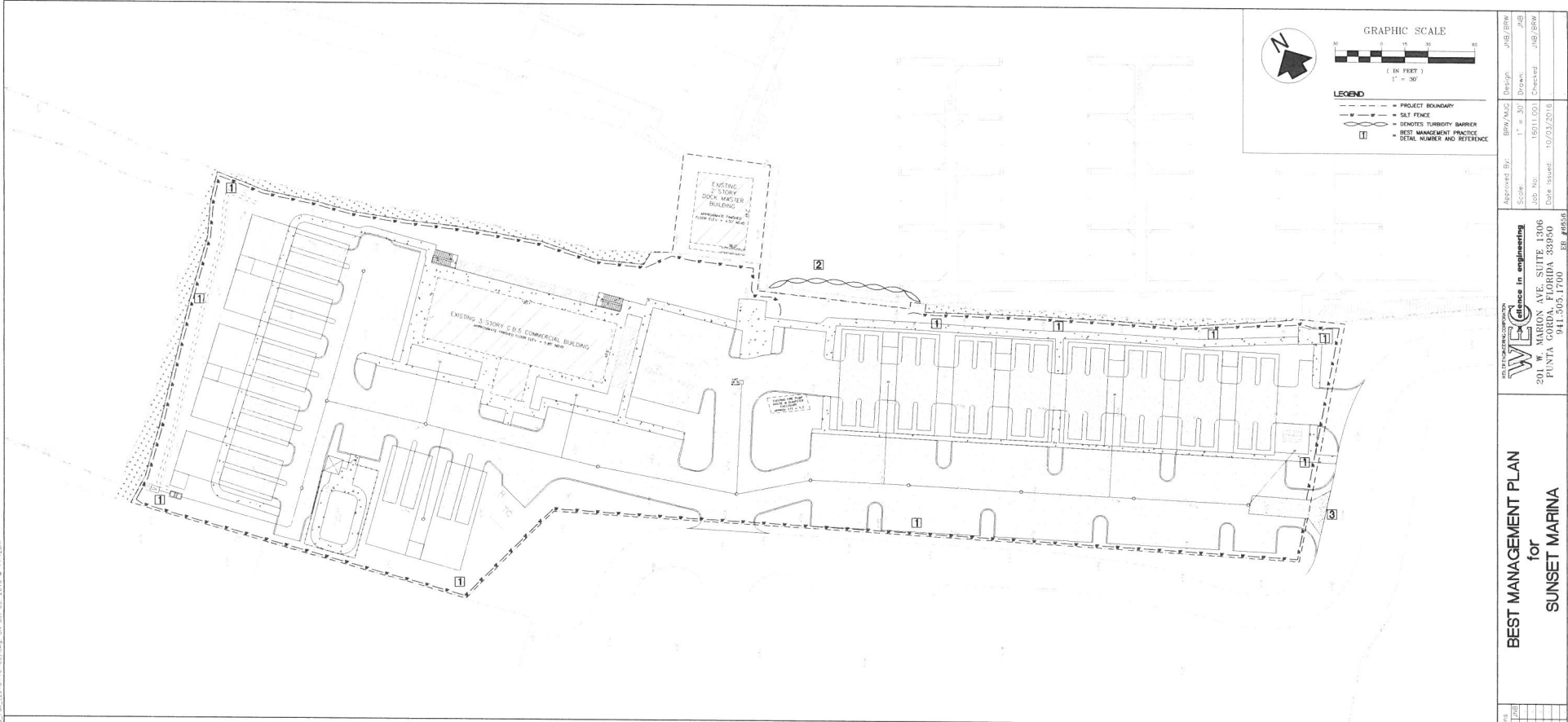
POST-DEVELOPMENT FLUCCS MAP  
 for  
 SUNSET MARINA

Revisions	Description
02/26/2018	REVISION PER TRWD 001 8/9/2018

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ME AND I AM A QUALIFIED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER MUST BE ADVISED THAT THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE USED FOR ANY OTHER PURPOSES.

Witness J. [Name]  
 Professional Engineer  
 State of Florida  
 Registration No. 12416

Sheet No. C-71



Approved By:	BW/MJC	Design:	JNB/ERW
Scale:	1" = 30'	Drawn:	JNB
Job No.:	15011.001	Checked:	JNB/ERW
Date Issued:	10/03/2016		

**WRE**  
**Science in engineering**  
 201 W. MARION AVE. SUITE 1306  
 PUNTA GORDA, FLORIDA 33950  
 941.505.1700  
 EE #0505

**BEST MANAGEMENT PLAN**  
**for**  
**SUNSET MARINA**

**EROSION CONTROL MAINTENANCE SCHEDULE**

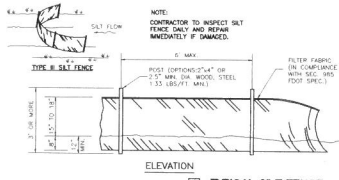
THE CONTRACTOR SHALL INSTALL SILT FENCE, STAKED BALES, AND OTHER EROSION CONTROL DEVICES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. THESE INSTALLATIONS AS SHOWN ON THE DRAWINGS SHALL BE CONSIDERED THE MINIMUM EROSION/SILTATION PROTECTION REQUIRED FOR THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING ANY ADDITIONAL EROSION SEDIMENTATION CONTROL/TURBIDITY PROTECTION MEASURES REQUIRED TO ENSURE NO SEDIMENTATION OR TURBIDITY TO WETLANDS, SURFACE WATER OR OFFSITE AREAS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION PROTECTION FACILITIES THROUGH COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF THE FACILITIES TO ENSURE THAT THE EROSION PROTECTION FACILITIES ARE MAINTAINING THEIR PROTECTION FUNCTIONS AND INTEGRITY.

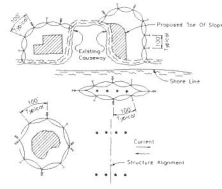
ALL EROSION PROTECTION FACILITIES SHALL BE REMOVED AFTER CONSTRUCTION COMPLETION, AND WHEN A VEGETATIVE COVER HAS BEEN WELL ESTABLISHED OVER THE CONSTRUCTED AREAS. PER THE PLANS: THE CONTRACTOR SHALL REMOVE PROTECTION FACILITIES ONLY UPON APPROVAL BY THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE.

SILT FENCE MAY BE INSTALLED IN STAGES WITH ENGINEERS APPROVAL. SILT FENCING MUST BE INSTALLED PRIOR TO THE START OF ANY WORK OR STAGING/STORAGE OF EQUIPMENT/MATERIALS WITHIN THE VICINITY TO THE EXTENTS DETERMINED BY THE ENGINEER.

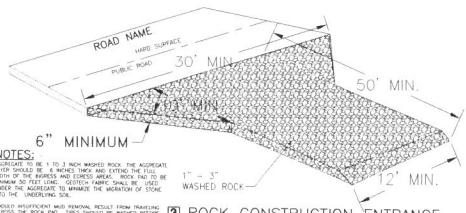
SILT FENCE AROUND SITE MAY BE COMPLETED IN SECTIONS AND REMOVED ONCE BERM HAS BEEN CONSTRUCTED AND SOD IS ESTABLISHED AND WITH ENGINEER APPROVAL.



**1 TYPICAL SILT FENCE**  
 NOT TO SCALE



- 2 TURBIDITY BARRIERS**  
 NOT TO SCALE
- TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER RELEASED OR WATERS RECEIVING.
  - NUMBER AND SPACING OF ANCHORS DETERMINED ON CURRENT VELOCITIES.
  - DEVELOPMENT OF BARRIERS AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
  - REMOVAL MAY REQUIRE SEPARATING BARRIERS DURING CONSTRUCTION OPERATIONS.
  - FOR ADDITIONAL INFORMATION, SEE SECTION 104 OF THE STANDARD SPECIFICATIONS.



**3 ROCK CONSTRUCTION ENTRANCE**  
 NOT TO SCALE

- NOTES:**
- MINIMUMS TO BE 1 TO 3 NON-WASHED ROCK. THE AGGREGATE WATER CONTENT BE 6. BARS TO BE 6 INCHES THICK AND EXTEND THE FULL WIDTH OF THE BARRIERS AND STAKED AREAS. ROCK TO BE UNDER THE AGGREGATE TO BARRIERS THE MINIMUM OF 10 FEET.
  - WASHED ROCK SHALL BE USED INTO THE UNDERLIEING SOIL.
  - WASHED ROCK AND BARRIERS SHALL BE REMOVED FROM PERMANENT BODIES OF WATER IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. UNLESS A PERMANENT ROAD WHICH WATER SHOULD BE DIRECTED TO A SETTING AREA TO REMOVE TURBIDITY.

Revisions	Description	Date
1	RECEIVED FOR REVIEW	07/20/16 JNB
2		
3		
4		
5		

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND CERTIFIED BY MICHAEL J. GORDIN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED BY VISUAL AND ELECTRONIC COPIES.

Michael J. Gordin  
 Professional Engineer  
 State of Florida  
 Registration No. 55216





## STAFF REPORT DISTRIBUTION LIST

SUNSET MARINA

**Application No:** 160719-13

**Permit No:** 44-00646-P

### INTERNAL DISTRIBUTION

- X Rosalyn W. Ellington
- X Trisha Stone
- X Carlos A. de Rojas, P.E.
- X Barbara J. Conmy
- X A. Waterhouse, P.E.
- X J. Markle, P.E.

### EXTERNAL DISTRIBUTION

- X Permittee - Sunset Marina L L C
- X Agent - Weiler Engineering Corporation
- X Engr Consultant - The Weiler Engineering Corporation
- X Env Consultant - Terramar Environmental Services, Inc

### GOVERNMENT AGENCIES

- X Bruce Franck, Environmental Manager - FDEP - South District Branch Office
- X City Engineer, City of Key West
- X Department of Environment and Economic Opportunity  
Jerry Buckley
- X Div of Recreation and Park - District 5 - Miranda Cunningham, FDEP
- X Monroe County Engineer

## STAFF REPORT DISTRIBUTION LIST

### ADDRESSES

Weiler Engineering Corporation  
201 W Marion Avenue Suite 1306  
Punta Gorda FL 33950-3395  
bwilliamson@weilerengineering.org

Sunset Marina L L C  
5555 College Road  
Key West FL 33040  
bart@smithoropeza.com

The Weiler Engineering Corporation  
201 W Marion Avenue Suite 1306  
Punta Gorda FL 33950-3395  
mgiardullo@weilerengineering.org

Terramar Environmental Services, Inc  
  
terramar@bellsouth.net

Bruce Franck, Environmental Manager - FDEP - South  
District Branch Office  
2796 Overseas Highway  
Suite 221  
Marathon FL 33050  
bruce.franck@dep.state.fl.us

City Engineer, City of Key West  
Po Box 1409  
Key West  
Key West FL 33041  
dbradshaw@cityofkeywest-fl.gov;jcastro@cityofkeywest-  
fl.gov

Department of Environment and Economic Opportunity  
Jerry Buckley  
107 East Madison  
Msc 160  
Tallahassee FL 32399-4120  
dcppermits@deo.myflorida.com

Div of Recreation and Park - District 5 - Miranda  
Cunningham, FDEP  
13798 Se Federal Highway  
Hobe Sound FL 33455  
miranda.cunningham@dep.state.fl.us

Monroe County Engineer  
1100 Simonton Street  
Suite 2-216  
Key West FL 33040  
wilson-kevin@monroecounty-fl.gov