

# Historic Architectural Review Commission

## Staff Report Item 7

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**Meeting Date:** May 27, 2014

**Applicant:** Peter Pike, Architect

**Application Number:** H14-01-0756

**Address:** #907 Whitehead Street

**Description of Work:** Construction of brick paver pad. Pad is to be 30' by 70' with a terracotta grid pattern- Hemingway house, individually listed in the National Register of Historic Places- National Historic Landmark.

**Building Facts:** The Ernest Hemingway House is one of the two historic structures listed as a Historic National Landmark in Key West; Fort Zachary Taylor is the other landmark. The house was listed in the National Register in 1968 and elevated to Landmark status in 1977. Originally known as the Tift house it is one of the oldest structures in Key West. It is believed that the two story masonry structure was built circa 1850. The house has been well preserved and it is open to the public as a museum since the late 1960's. The house has a unique setting since it sits on a large site where trees, curvilinear brick paths and green spaces complement the unique architecture of the main building.

The house has a brick perimeter fence that was built ca. 1936, using street pavers. The swimming pool was built around 1938 and was the first pool built in the island. The period of significance stated in the nomination is from 1931 to 1961, when the house was owned by Ernest Hemingway. Hemingway died in July 2, 1961.

**Guidelines Cited in Review:** U.S. Secretary of the Interior's Standards (pages 16-23), specifically Standards 1, 2, 4, 9 and 10.

Secretary of the Interior's Guidelines (from the U.S. Secretary of Interior's Standards and Guidelines which are stipulated under Section 102-154 of the LDR's), specifically building site pages 31-33.

Parking areas, landscaping and open space environment (page 43), specifically guidelines 1, 4, 5 and 7.

### **Staff Analysis**

The Certificate of Appropriateness for review proposes the installation of 2,100 square feet of concrete pavers over an existing lawn. The proposed pad will be rectangular in footprint. The applicant submitted samples of the concrete pavers; green pavers will be used for the field and white pavers for the border. According to data the footprint of the main house is 2,784 square feet; 1, 392 square feet without the porches. The plan depicts the pad to be over an underground trench capacity drain for storm water runoff.

Staff had meet in the past with a contractor on site regarding the possibility of installed brick pavers in the same proposed area. There is a need from the owners to have a platform to install removable tents for special events that are celebrated in the site. The main house and the gardens are well kept. The applicant had submitted a letter from National Park Services as part of the application. Staff has contacted NPS regarding the content of the letter dated March 21, 2014.

### **Consistency with Guidelines**

1. The proposed 2,100 square feet of concrete pavers will be impacting the only still open green space in the house, compromising the historic character of the period of significance of the site.
2. The proposed pavers will radically change and will obscure the past appearance of the property. According to photographs from the period of significance of the house, 1930's-1961, the site has always had a green open space on the southwest part of the lot.
3. The large amount of proposed pavers will be out of scale with actual historic elements in the site; the square feet area proposed will be larger than the historic swimming pool and larger than the footprint of the house without counting the porches. (US Secretary of the Interior's Standards and Guidelines page 33).
4. The introduction of pavers over existing lawn will be contrary to the retention of such an important green feature.
5. The selected color of bricks will not be harmonious with existing brick elements found in the house, like the historic wall and pathways.

6. The design fails in preserving the historic relationship between a building, landscape features and open space, as recommended on the US Secretary of the Interior's Standards and Guidelines (page 33).
7. The design fails in retaining an important character defining element of the historic site and the relationship of the house to its landscape environment.
8. The proposed concrete bricks are not a compatible substitute material that will convey the same visual appearance of grass.
9. The introduction of 2,100 square feet of pavers over existing lawn is contrary with Standard 1 (page 16) that states that the new use requires minimal change to the defining characteristics of the building, and its site and environment.

The proposed design fails to comply with many Guidelines found in the Historic Architectural Guidelines and the US Secretary of the Interior's Standards and Guidelines. Under Sec. 102-154 the LDR's recognizes that the Commission shall not approve any work which will be in conflict with the U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. It is staff opinion that the design will be in conflict with many of the Standards and Guidelines. It is staff opinion that the existing open green area is a character defining feature of the site and landscape, which is and integral part of the overall visual experience of this unique National Landmark.



Enid Torregrosa &lt;etorregr@keywestcity.com&gt;

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**907 Whitehead Street Hemingway House Key West**

2 messages

Enid Torregrosa &lt;etorregr@keywestcity.com&gt;

Fri, May 9, 2014 at 5:02 PM

To: David\_Hasty@nps.gov

Cc: "Walton, Cynthia" &lt;cynthia\_walton@nps.gov&gt;, "Michael F. Zimny" &lt;MFZimny@dos.state.fl.us&gt;

**Dear David:**

Good afternoon! I am sorry I was not on my desk when you returned my phone call. I received a Certificate of Appropriateness application for the installation of approximately 2,100 square feet of bricks to cover substantial green lawn area of the Hemingway House site. As part of the application I received two pages of a letter signed by Dr. Turkiya L. Lowe dated March 21, 2014 addressed to Mr. Morawski. On the letter there is a contact name for Ms. Cynthia Walton, to whom I spoke yesterday and who gave me your contact information.

I wanted to have a conversation with you regarding the content of the letter and your conclusion of no adverse effect. I will be drafting a staff report for the Historic Architectural Review Commission next week. I have been approached few times for the past three years by a contractor and by the applicant and my opinion is that the installation of the bricks, their quantity, as proposed will be inconsistent with our Guidelines and with the Secretary of the Interior's Standards and Guidelines for Rehabilitation. This undertaking will cover a green area, which is really the only green area that is still open in the whole site. My opinion is that by covering the green area with bricks, that will have a larger footprint than the footprint of the house, will destroy the historic relationship between the house and its landscape, compromising the character of the period of significance of the house.

It will be very helpful if we can exchange our opinions regarding this specific project. The Hemingway house is one of the only two National Historic Landmarks structures that we have here in our unique island. I understand that the museum have done a wonderful job preserving the character of this historic site and that they want to have more area available to promote events in the site, but there are other sensitive ways to make this happen without compromising the only green open space area that is left in this historic site.

I am attaching some historic photos from the period of significance of the house (1930's) which are available through the website of the Monroe County Library, as well as the plans submitted by the architect of the project.

I hope I can hear from you soon.

*Enjoy your day!*

**Enid Torregrosa-Silva, MSHP**

Historic Preservation Planner

City of Key West  
3140 Flagler Avenue  
Key West, Florida 33040  
305.809.3973 Direct  
305.809.3978 Fax

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529K

Enid Torregrosa &lt;etorregr@keywestcity.com&gt;

Wed, May 14, 2014 at 3:51 PM

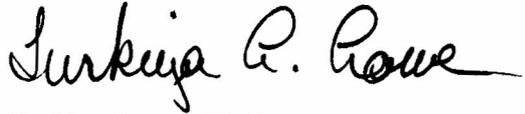
To: "Zimny, Michael F." &lt;Michael.Zimny@dos.myflorida.com&gt;

Hope you are well!!

*Enjoy your day!*

If you have any questions, or require further clarification, please contact Cynthia Walton, National Historic Landmark Program Manager, at (404) 507-5792, or, Cynthia\_Walton@nps.gov.

Sincerely,

A handwritten signature in black ink that reads "Turkiya A. Lowe". The signature is written in a cursive style with a long, sweeping tail on the letter "e".

Turkiya Lowe, Ph.D.  
Chief, Cultural Resources Research and Science Branch



# United States Department of the Interior



NATIONAL PARK SERVICE  
Southeast Regional Office  
Atlanta Federal Center  
1924 Building  
100 Alabama St., SW.  
Atlanta, Georgia 30303

IN REPLY REFER TO:  
I.A..2

Enid Torregrosa  
Historic Preservation Planner  
City of Key West  
3140 Flagler Avenue  
Key West, Florida 33040

5-19-2014

Ms. Torregrosa:

Recently you contacted this office to request clarification of an opinion that the National Park Service (NPS) provided to Michael Morawski, CEO and President of the Hemingway Home and Museum. In a letter, dated March 21, 2014, NPS advised Mr. Morawski that a proposed paving project would not adversely affect the property.

NPS first became aware of the proposed project when Mr. Morawski contacted our office in September of 2013. Initially NPS expressed concern that the addition of a paved area would diminish the integrity of property. The proposed 70' x 30' paved area would be a substantial addition to the 190' x 197' lot on which the Hemingway House sits. Adding a non-historic feature on this scale would unquestionably diminish the property's integrity of design and setting by altering spatial relationships within the landscape, changing circulation patterns, and increasing the proportion of paved versus unpaved land. Furthermore, the introduction of a paved area, intended to facilitate events, would formalize a non-historic function.

NPS offered guidance on how to mitigate the effects of the planned paving project; specifically we suggested that the paved area, which was proposed to be a rectangle, take a more organic, curvilinear form, and that a planting design, which could soften the edges, be incorporated into the project. NPS was unaware that the Hemingway Home and Museum was applying for a Certificate of Appropriateness. We offered our opinion believing that the proponent, as a private property owner not subject to Section 106 or 110(f) of the National Historic Preservation Act, was intending to execute the project and seeking our opinion to ensure that their NHL designation was not placed in jeopardy. Our letter of March 21, 2014, was meant to communicate that NPS believed that with the above mentioned mitigations in place, the project would not so diminish the integrity of the property that the NHL designation would be threatened.

*Enid*



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# Application



**CITY OF KEY WEST  
BUILDING DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS** -28-2014 010756  
APPLICATION # \_\_\_\_\_

OWNER'S NAME: **907 Whitehead Street Corp.** DATE: **4/28/14**

OWNER'S ADDRESS: **907 Whitehead Street** PHONE #: **305-296-1692**

APPLICANT'S NAME: **Peter Pike Architect** PHONE #: **305-797-4230**

APPLICANT'S ADDRESS: **471 US Highway #1 suite 101 Key West Florida**

ADDRESS OF CONSTRUCTION: **907 Whitehead Street** # OF UNITS: **1**

**THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT**

**DETAILED DESCRIPTION OF WORK:**

Construct brick paver pad over existing lawn area. Pad is to be 30' x 70' with a terracotta grid pattern. Pavers are placed on a compacted sand base. Storm water runoff is controlled by underground trench capacity drain. ~~See enclosed drawings.~~

*Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083*

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 4-28-14  
Applicant's Signature:

**Required Submittals**

<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
<input type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC

DT 2014 1000756  
 \* BUILDING PERMITS-NEW  
 Staff Use Only  
 Trans number: 3002159  
 CK CHECK Date: 4/28/14 \$50.00  
 Trans date: 4/28/14 Time: 16:51:01  
 Fee Due: \$ \_\_\_\_\_

HISTORIC ARCHITECTURAL REVIEW APPLICATION

# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

\*\*\*\*\*

Approved

Denied

Deferred

\_\_\_\_\_

Reason for Deferral or Denial:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HARC Comments:

*Main building is individually listed in the NRHP and since 1977 it is listed as a National Historic Landmark.*  
*• US Secretary of Interior's Standards & Guidelines*  
*• Guidelines for open space environment.*

Limit of Work Approved, Conditions of Approval and/or Suggested Changes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Historic Architectural  
Review Commission



## United States Department of the Interior



IN REPLY REFER TO:  
(SERO-CRD)

**NATIONAL PARK SERVICE**  
Southeast Regional Office  
Atlanta Federal Center  
1924 Building  
100 Alabama St., SW  
Atlanta, Georgia 30303

21 March 2014

To: Michael Morawski, CEO/President  
Hemingway Home and Museum  
907 Whitehead Street  
Key West, Florida 33040  
305-294-1136  
907whitehead@gmail.com

Re: Ernest Hemingway House NHL – 68000023, Proposed Landscape Enhancement Project

Dear Mr. Morawski:

In September 2013, you asked NPS for an opinion regarding the proposed Landscape Enhancement Project for the Hemingway House and Museum, which was listed as a National Historic Landmark in 1968. The goals of the project are to maintain the initial impression of the house as visitors entering the property, while also providing a seating area to the side of the house for after-hours events. The museum already uses the existing lawn for events, but it impacts the turf – requiring it to be replaced 3-4 times a year.

The proposal involved the replacement of an existing section of mulch and vegetation on the right (SE) side of the house with a 70' x 30' rectangle of paving. In order to make room for such a large area of paving, a number of trees and shrubs will need to be moved or removed entirely. The proposal mentioned moving only six out of eight thrinax palms to another area of the property; the remaining two thrinax palms are diseased and would be removed. Paving alternatives include red brick – to match other bricked areas on the property, or green pavers with white or grey accent bricks.

In October 2013, NPS returned comments expressing concern regarding the potential for adverse impact resulting from the paving and removal of trees and shrubbery. NPS requested more information regarding the history and significance summary of the vegetation and circulation features of the Hemingway property to determine the effect, if any, of the proposed changes on the overall integrity of the Home.

On December 17, 2013, NPS received additional historic photographs and a letter responding to our request for information. The additional information included photographs and descriptions of prior impacts to the lawn's integrity caused by Hurricane Georges in 1998 and Hurricane

The additional material provided - letter and photographs - was very helpful in providing a context for the proposed project, and for the Hemingway NHL property as a whole.

The information about the historical use of paving material, as well as the character of the property and gardens during the period of significance compared to present-day, was especially useful in assessing this project.

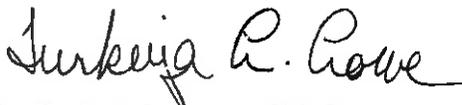
Based on that information, the proposed paving would not have an adverse effect on the property and the NPS has no objections to the Home moving forward with the project.

On a related note, it is certainly unfortunate that hurricanes toppled the giant banyan tree, as well as the Kapok trees that the Hemingway House planted in its place. The \$30K cost certainly was a hefty price to pay for the three Kapok trees. NPS would encourage you, during this paving project, to leave enough space to replant in the area of the original banyan. We suggest that the Home consider replanting a much younger, less costly, smaller-rootballed tree there, in among the existing mid-size plantings. A variety that in due time would come to evoke the grandeur of that original banyan, and more closely reflect the setting of the period of significance.

For your information, Cynthia Walton has now assumed management of the Southeast Region's National Historic Landmarks Program and will become your direct contact for any technical assistance or questions in the future. You can contact Ms. Walton at 404-507-5792, [Cynthia\\_walton@nps.gov](mailto:Cynthia_walton@nps.gov).

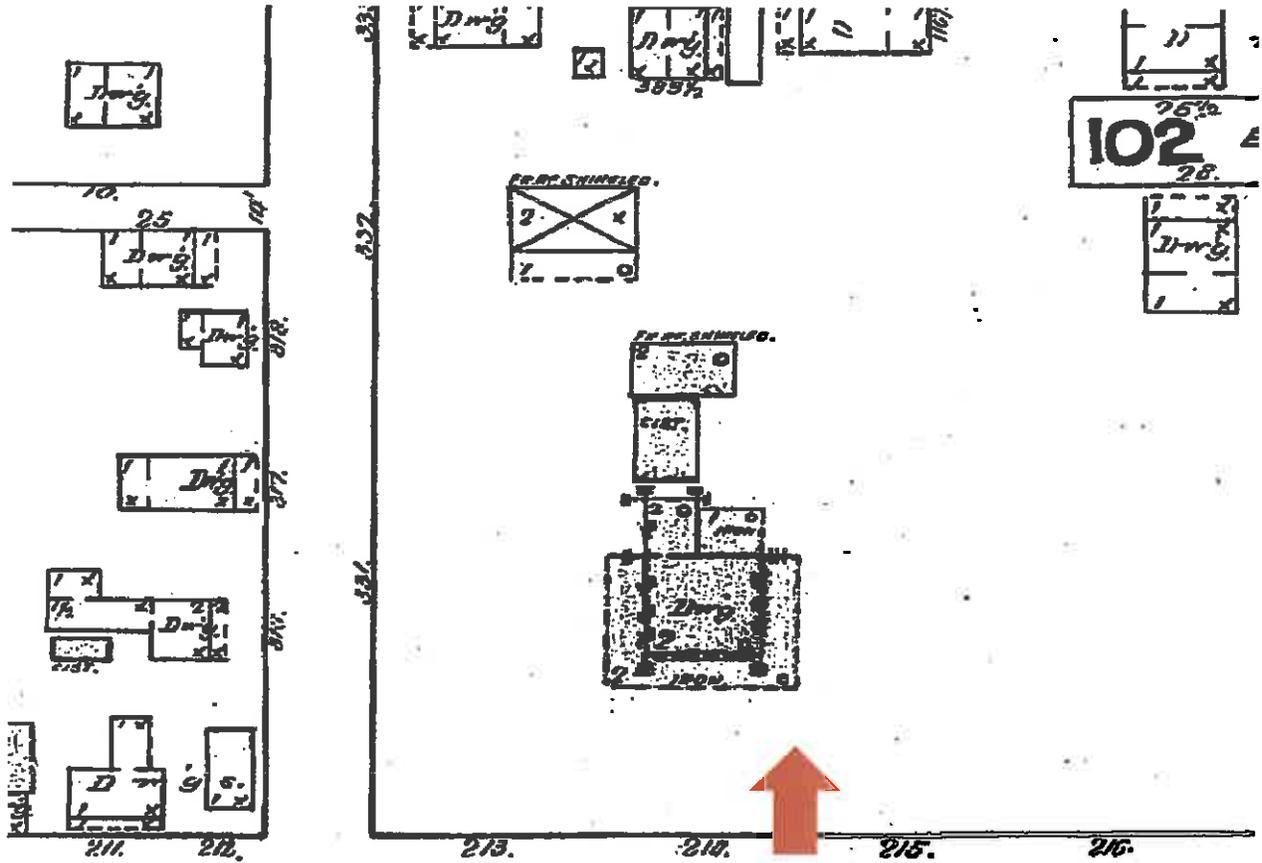
The NPS greatly appreciates the dedication and care with which the Ernest Hemingway Home and Museum preserves one of our National treasures. We look forward to working with you in the future.

Sincerely,

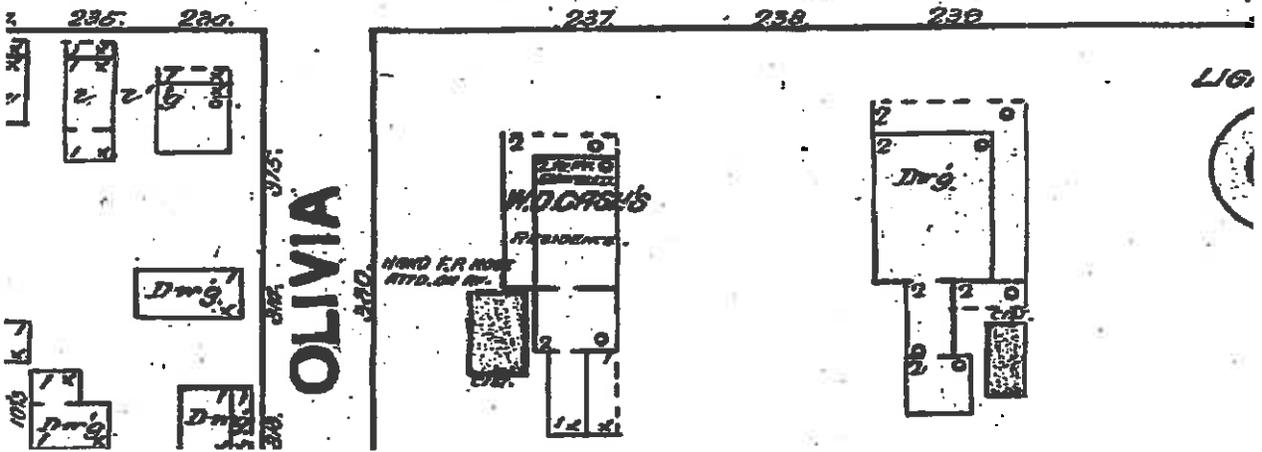


Dr. Turkiya L. Lowe, Chief  
Research and Science Branch, Cultural Resources Division  
Southeast Regional Office, National Park Service

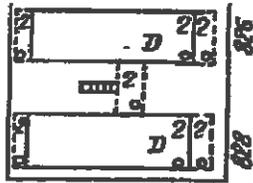
# **Sanborn Maps**



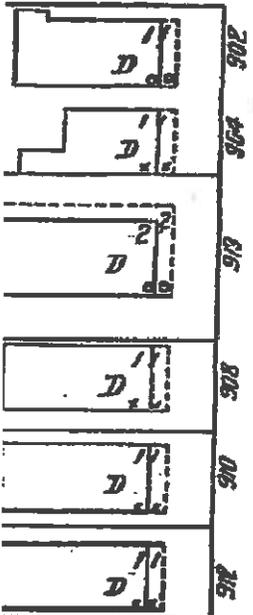
**WHITEHEAD**



#907 Whitehead Street Sanborn map 1889

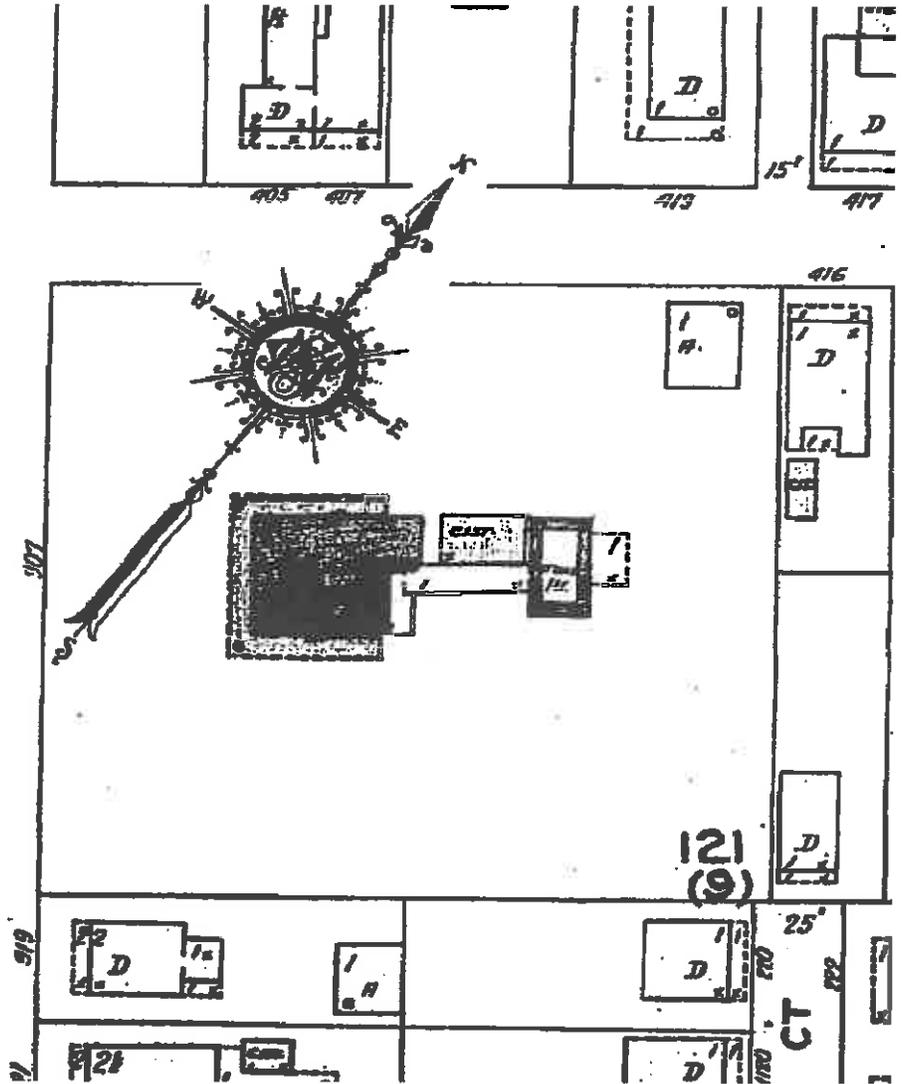


LIVIA

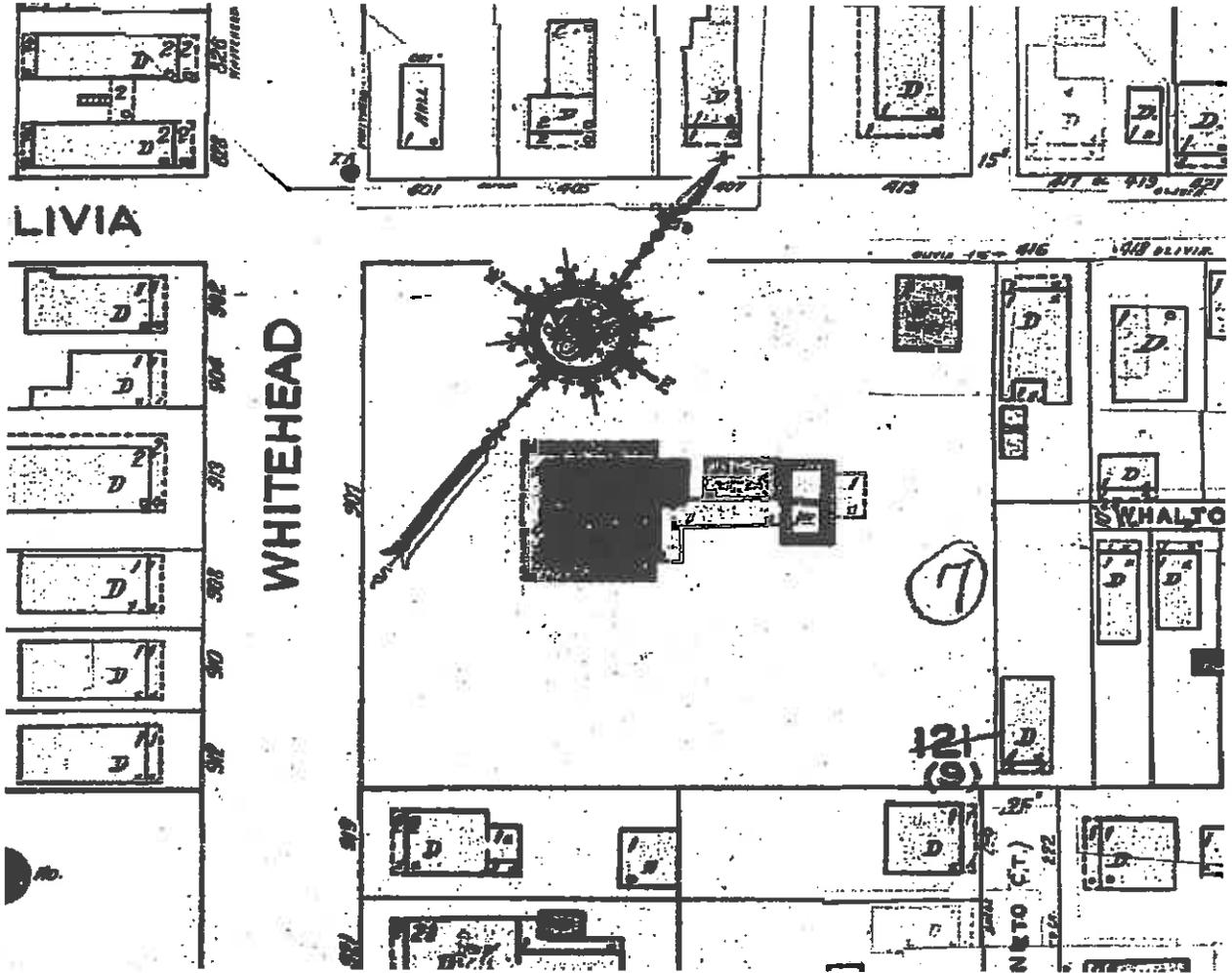


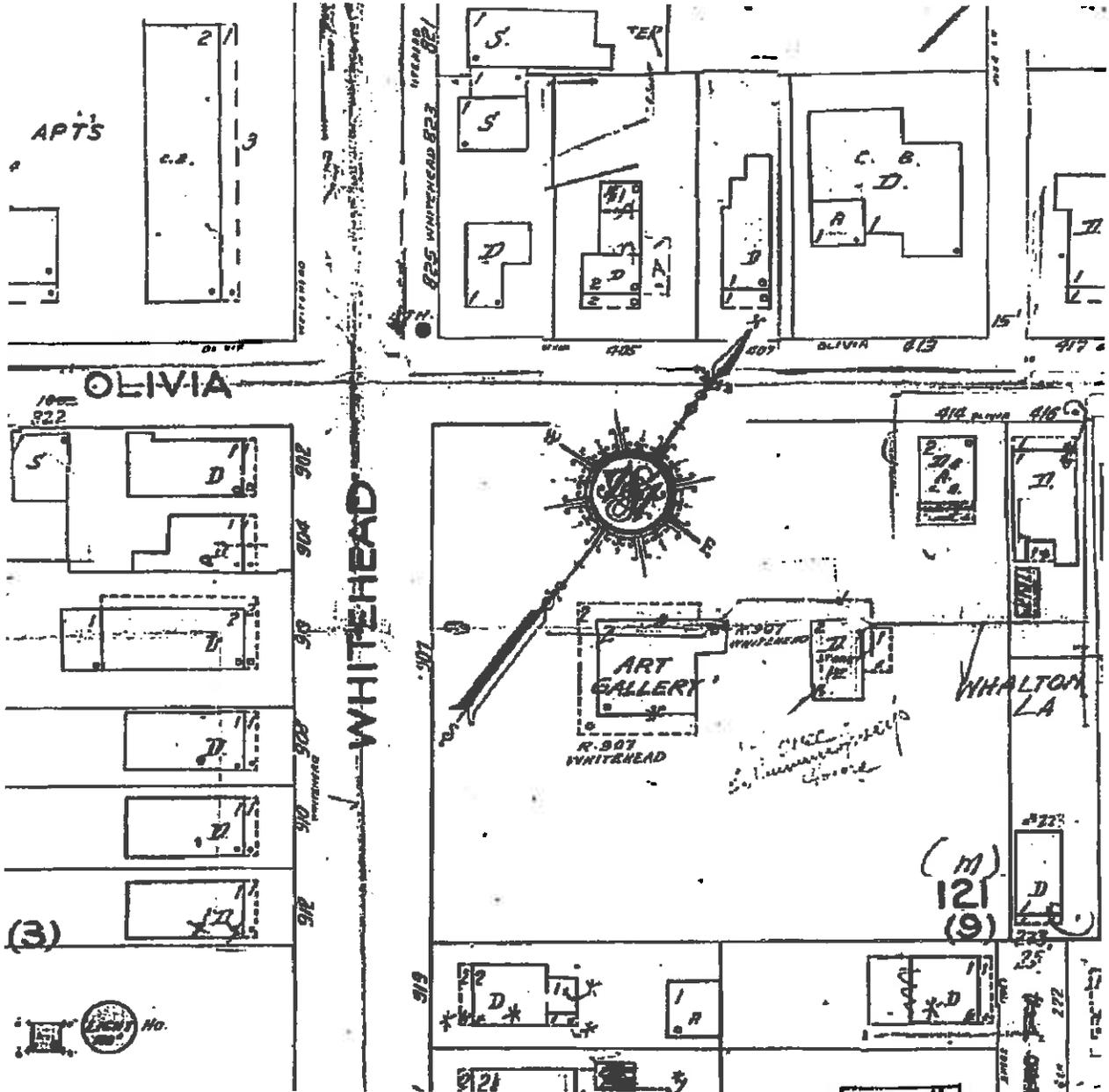
No.

WHITEHEAD



#907 Whitehead Street Sanborn map 1926





#907 Whitehead Street Sanborn map 1962

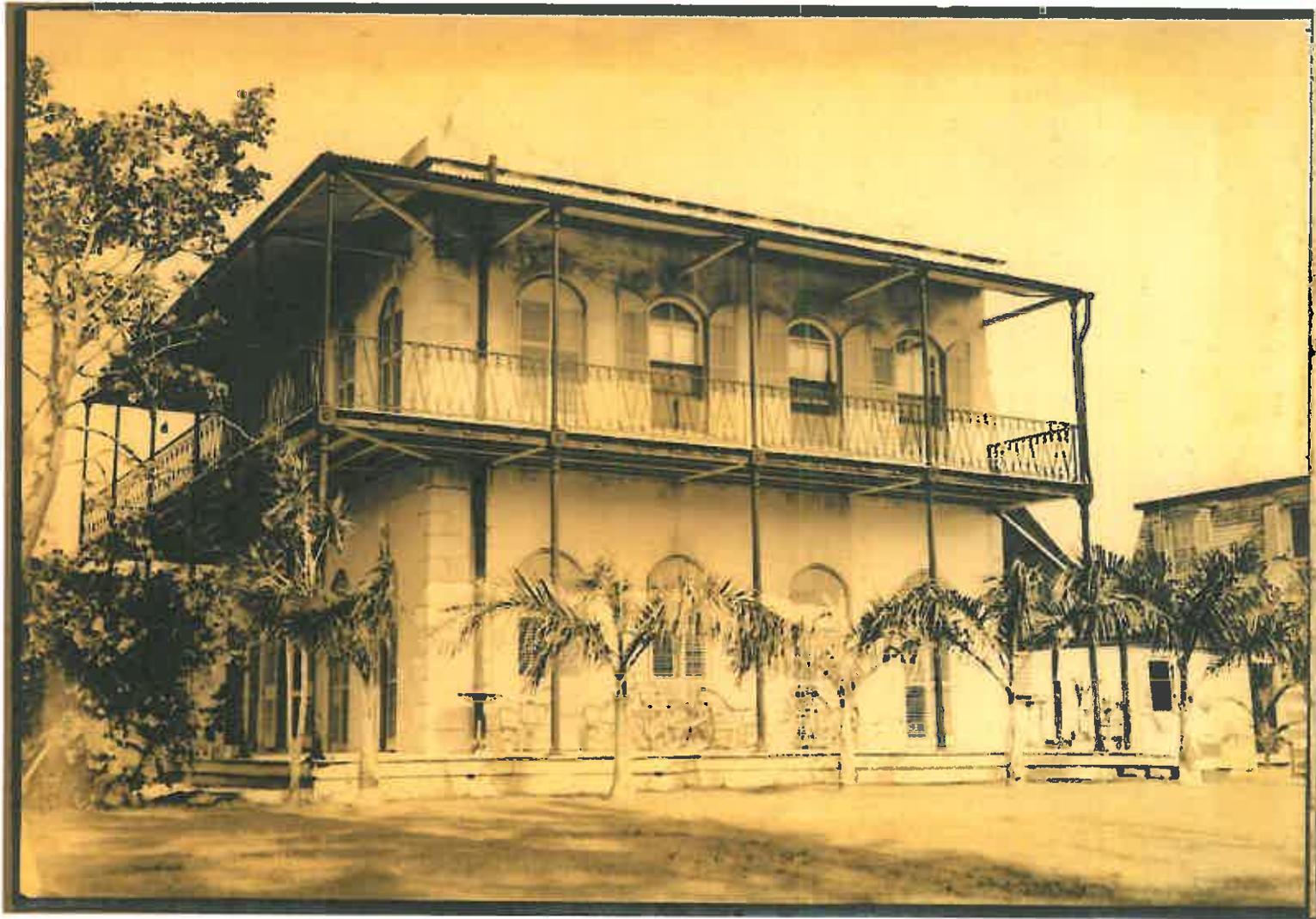
## Project Photos



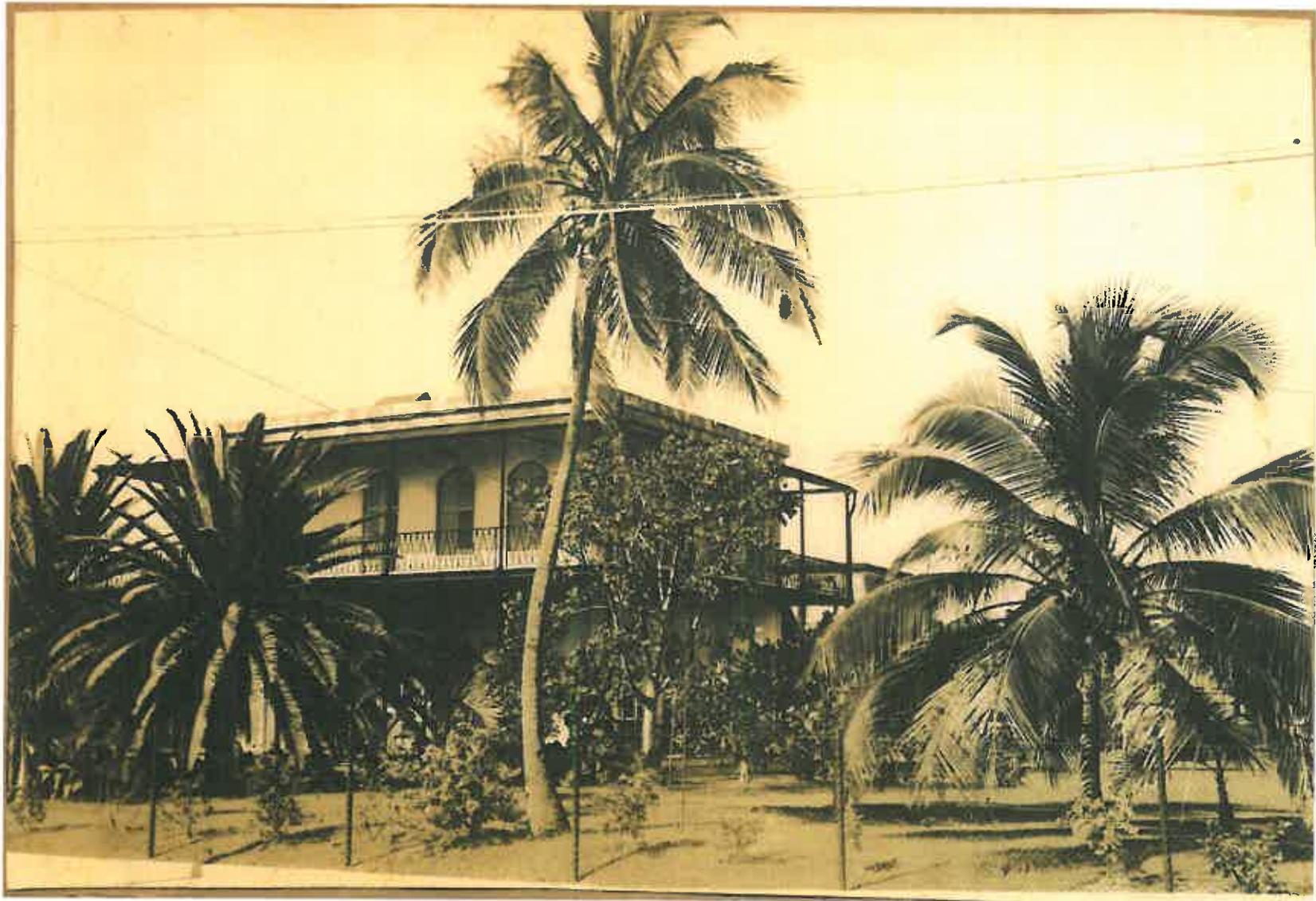
#907 Whitehead Street, on the left side, circa 1890 photo taken from the lighthouse. Monroe County Library.



#907 Whitehead Street, on the left side, circa 1910 photo taken from the lighthouse. Monroe County Library.



#907 Whitehead Street in the 1930's photo taken from the southwest side of the lot facing north. Monroe County Library. The Heritage House Collection.



#907 Whitehead Street in the 1930's photo taken from Whitehead Street. Monroe County Library. The Heritage House Collection.



#907 Whitehead Street in the 1930's photo taken from Whitehead Street. Monroe County Library. The Heritage House Collection.



#907 Whitehead Street in the 1930's photo taken from the lighthouse. Monroe County Library. The Heritage House Collection.



**Credit this photo:** State Archives of Florida, *Florida Memory*, <http://floridamemory.com/items/show/153507> (1939).



#907 Whitehead Street in 1993 photo taken from the lighthouse. Monroe County Library. Alex Vega.

**Miscellaneous Information  
NRHP Nomination  
HABS Report  
US Secretary of The Interior's  
Guidelines for Site**

Form No. 10-300 (Rev. 10-74) **Salb, The Contemplative Society; Fiction**UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE**NATIONAL REGISTER OF HISTORIC PLACES  
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED

DATE ENTERED

SEE INSTRUCTIONS IN HOW TO COMPLETE NATIONAL REGISTER FORMS  
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS**1 NAME**

HISTORIC

**Ernest Hemingway House**

AND/OR COMMON

**Ernest Hemingway House****2 LOCATION**

STREET &amp; NUMBER

**907 Whitehead Street**

--NOT FOR PUBLICATION

CITY, TOWN

**Key West**

CONGRESSIONAL DISTRICT

**fifteenth**

STATE

**Florida**

-- VICINITY OF

CODE

**12**

COUNTY

**Monroe**

CODE

**87****3 CLASSIFICATION**

CATEGORY	OWNERSHIP	STATUS	PRESENT USE
<input type="checkbox"/> DISTRICT	<input type="checkbox"/> PUBLIC	<input checked="" type="checkbox"/> OCCUPIED	<input type="checkbox"/> AGRICULTURE
<input checked="" type="checkbox"/> BUILDING(S)	<input checked="" type="checkbox"/> PRIVATE	<input type="checkbox"/> UNOCCUPIED	<input checked="" type="checkbox"/> MUSEUM
<input type="checkbox"/> STRUCTURE	<input type="checkbox"/> BOTH	<input type="checkbox"/> WORK IN PROGRESS	<input type="checkbox"/> COMMERCIAL
<input type="checkbox"/> SITE	<input type="checkbox"/> PUBLIC ACQUISITION	<input type="checkbox"/> ACCESSIBLE	<input type="checkbox"/> EDUCATIONAL
<input type="checkbox"/> OBJECT	<input type="checkbox"/> IN PROCESS	<input checked="" type="checkbox"/> YES: RESTRICTED	<input type="checkbox"/> ENTERTAINMENT
	<input type="checkbox"/> BEING CONSIDERED	<input type="checkbox"/> YES UNRESTRICTED	<input type="checkbox"/> GOVERNMENT
		<input type="checkbox"/> NO	<input type="checkbox"/> INDUSTRIAL
			<input type="checkbox"/> MILITARY
			<input type="checkbox"/> PARK
			<input type="checkbox"/> PRIVATE RESIDENCE
			<input type="checkbox"/> RELIGIOUS
			<input type="checkbox"/> SCIENTIFIC
			<input type="checkbox"/> TRANSPORTATION
			<input type="checkbox"/> OTHER

**4 OWNER OF PROPERTY**NAME **Mrs. Bernice Dickson**

STREET &amp; NUMBER

**907 Whitehead Street**

CITY, TOWN

**Key West**

-- VICINITY OF

STATE

**Florida****5 LOCATION OF LEGAL DESCRIPTION**COURTHOUSE,  
REGISTRY OF DEEDS, ETC. **Monroe County Courthouse**

STREET &amp; NUMBER

**Whitehead Street**

CITY, TOWN

**Key West**

STATE

**Florida****6 REPRESENTATION IN EXISTING SURVEYS**TITLE **Historic American Buildings Survey**DATE **1967** FEDERAL  STATE  COUNTY  LOCALDEPOSITORY FOR  
SURVEY RECORDS **Division of Prints and Photographs, Library of Congress**

CITY, TOWN

**Washington**

STATE

**District of Columbia**

## 7 DESCRIPTION

CONDITION		CHECK ONE	CHECK ONE
<input type="checkbox"/> EXCELLENT	<input type="checkbox"/> DETERIORATED	<input type="checkbox"/> UNALTERED	<input checked="" type="checkbox"/> ORIGINAL SITE
<input checked="" type="checkbox"/> GOOD	<input type="checkbox"/> RUINS	<input checked="" type="checkbox"/> ALTERED	<input type="checkbox"/> MOVED DATE _____
<input type="checkbox"/> FAIR	<input type="checkbox"/> UNEXPOSED		

### DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

This house, one of the older buildings in Key West, was constructed by Asa F. Tift, 19th century owner of one of the major wharf areas in Key West, ca. 1850. The house is a two-story rectangular structure built of native limestone quarried from the site, which enabled it to be built with a full basement, a feature unique in that area. The stuccoed exterior is highlighted by quoins and a keystone in the arches above the doors and windows.

The house is surrounded on all sides by a corrugated metal canopy over a two-story veranda, and is topped by a flat roof with plain parapet. The veranda is ornamented by fluted cast iron posts with acanthus pattern capitols supporting an iron lintel decorated with rosette medallions. The balustrade which surrounds the second story is wrought iron worked in a heart pattern.

On the west facade, the first floor main entrance is composed of a large French door with a round arched transom light. This entrance is flanked by smaller French doors with segmental arched transoms on the south and a single French door of the same style on the north. The segmental arched French door is repeated on the second story above the main entrance, flanked by two-over-two double hung sash windows with segmental arches, two on the south and one on the north. All windows and doors are protected by full-length, operable, louvered shutters.

On the north side of the house an outside stairway ascends to the second level. Otherwise the north and south facades are identical in treatment with four of the segmental arched French doors on the first floor, and four of the double hung sash windows of the same style on the second story.

The house has a central hall plan and on the ground floor to the left of the entrance is the dining room, and behind it the pantry and kitchen. To the right is a large living room, used presently as a gift shop and bookstore. The staircase to the second floor is just to the right of the entrance. To the right at the top of the stairs is the master bedroom which has the same dimensions as the living room. To the left are two smaller bedrooms and a bath once shared by Patrick and Gregory, Hemingway's sons.

Doors in all of the rooms on both floors open onto porches, windows reach nearly from floor to ceiling. Some of the furnishings in the house belonged to the writer and his family and the present owners would like to acquire more of the Hemingway furnishings which are apparently kept in storage by Patrick Hemingway who is a hunter's guide in Africa.

The Hemingway House stands on a 190 by 197 foot lot at the southeast corner of Olivia and Whitehead Streets. The property is enclosed by a six foot high masonry wall of paving bricks, wrought iron gates and lush tropical foliage which obscure the view of the property from the street. A variety of tropical shrubs and trees, many brought from Havana and Africa by Hemingway, surround the house. The 65 foot long concrete swimming pool was constructed by Hemingway in 1938 and was the first on the island.

Besides the main house and pool house, there is a garage with furnished apartment on the second floor. A cistern is located in a small ell on the northeast corner of the

Form No. 10-300a  
(Rev. 10-74)UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICENATIONAL REGISTER OF HISTORIC PLACES  
INVENTORY -- NOMINATION FORM

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DATE ENTERED

CONTINUATION SHEET Hemingway House ITEM NUMBER 7 PAGE 2

building. A small circular pool with tulip fountain interrupts the main entrance walkway and another fountain-planter resembling a Civil War monitor is also in the west yard. Concrete and cement tile walks provide access from gateways on each street and the patio beside the pool house is covered with tile from the Cuban Presidential Palace.

The pool house is located at the northeast corner of the property and the first floor presently serves as living quarters for the owners, but the study above is open to the public. The study is reached by a wrought iron stairway on the west side of the house. The catwalk between the master bedroom and the study disappeared years ago, after Pauline and Ernest Hemingway separated. The study is a large open room with a tile floor, occupying the section of the structure covered by mansard roof. A bookcase, a table and a few chairs are the only furnishings. Little has changed on the ground floor; the plan is the same, and the east half of the building (as when Mrs. Hemingway constructed this) is occupied by the living room, kitchen and bedroom.

The buildings on the Hemingway property are well-maintained, and open to the public as a museum operated by the owners who live in the pool house.

## 8 SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW				
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION	
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE	
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input checked="" type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE	
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN	
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER	
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION	
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)	
		<input type="checkbox"/> INVENTION			

SPECIFIC DATES 1931-1961

BUILDER/ARCHITECT

### STATEMENT OF SIGNIFICANCE

Ernest Hemingway bought this Spanish style house in Key West, Florida in 1931. He lived there with his second wife, Pauline until 1940 when they separated. During this important period of his career he wrote many books, including Death in the Afternoon, Green Hills of Africa, Winner Take Nothing, and To Have and Have Not, which has a Key West setting, and he probably also worked on For Whom the Bells Tolls, which appeared in 1940. While living here Hemingway worked long hours, rising very early to write in the study above the pool house, but he also traveled extensively and cultivated the image of rugged Papa Hemingway.

Owned by the Hemingway family until 1961, the house is now a museum, opened to the public.

### History

Early in 1928 Ernest Hemingway and his wife returned to America from Europe. Pauline was pregnant and wanted to have the baby near her parental home in Piggott, Arkansas. To begin with the couple settled in Key West, Florida, the southernmost town in the United States, so that Pauline could get plenty of sun and rest. In the years that immediately followed, the Hemingways returned to Key West again and again and soon established permanent residence there.

In the next four years the writer and his wife rented several houses in the area. Finally the Hemingways decided to buy a house, a large two-story, Spanish house made of native stone with a rather flat roof, yellow shutters, and wrought iron balconies on three-and-one-half sides. Later they built a pool house in the rear, the upper story of which Hemingway used for a study. The pool house was also made of native stone and had a mansard roof. A catwalk from the master bedroom balcony gave Ernest quick access from the main house to his study, where he worked in the early morning.

Although the Hemingways spent much time in Key West between 1931 and 1939, before their marriage ended in divorce, they traveled a great deal, vacationing in Wyoming, Montana, and Idaho, in Arkansas during quail season, in Europe, and in Africa. After the beginning of the Spanish Civil War, Hemingway spent a great deal of time in Spain, where he became involved with Martha Gellhorn, a newspaper reporter whom he married in 1940. At various times Hemingway went to Havana to get peace and quiet for his writing and often stayed at the Hotel Ambos Mundos on Obispo Street. Consequently it is difficult to say exactly what he wrote at the house at Key West and what he wrote elsewhere. It is probably safe to say, however, that he worked on the following books there in one stage of production or another: Death in the Afternoon, God Rest You Merry Gentlemen, Winner Take Nothing, Green Hills of Africa, and To Have and Have Not, which has a Key

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CONTINUATION SHEET Hemingway House ITEM NUMBER 8 PAGE 2

West setting. It is also quite likely that he may have written some of For Whom the Bell Tolls in his Key West home. Two famous short stories written in the pool house were "The Snows of Kilimanjaro" and "A Way You'll Never Be."

Hemingway always wrote standing up, using the top of a bookcase for a desk. He rose with the sun in the morning and when in the process of writing a book he stuck strictly to schedule. A. E. Hotchner described the routine in his reminiscence, Papa Hemingway:

When Ernest was book-writing...the change in him was dramatic. The discipline of morning work was absolute. The door of his bedroom was inviolate until one o'clock, when he would emerge and mix a drink to cool out before lunch. While having his drink he would read newspapers and magazines because, he said, he was too empty to talk. In the afternoon he would nap, having started work at five or six in the morning, but by late afternoon he was ready for the drinking and companionship he enjoyed. Toward the end of dinner, however, he would begin to withdraw into himself, for his mind had turned to the creative problems of the morning, and by the time he went to bed, which was always early when he was working, he knew the people, the events, the places and even some of the dialogue he would encounter the following day.

The years spent at Key West were also important in the structuring of an image and in the making of myth of Hemingway as the two-fisted, hard-drinking, monosyllabic taker of big fishes. "The Key West period for Ernest," wrote his brother Leicester, "begins in the public mind with a picture of a bronzed giant fighting huge fish, then heading inshore for the roughest, toughest bar to celebrate the catch, possibly pausing somewhere to beat off a letter to Esquire, using words growled from one corner of the mouth." According to Leicester, it was never like that, but perhaps it would be better to say that it was much more than that. *Hemingway was a disciplined writer, and he labored faithfully at the makeshift desk in his bedroom.*

As a part of the divorce settlement in 1940, Pauline received 51 percent of the Key West property, and she continued to live in the house until her death in 1950. During the decade she lived alone, Pauline had the pool house enlarged and equipped with a kitchen. The addition was flat-roofed and provided space for a living room and bedroom. After her death, her sons did not want to live in the houses, so Ernest rented them. Hemingway apparently returned to the house to stay there only once, in 1955. Mary Hemingway, however, made repeated visits to Key West to spend time at the estate. Mr. and Mrs. Jack Daniels bought the Hemingway property in 1961, four months after Hemingway's death.

The history is from the special Historic Sites Survey report by John D. McDermott, October 2, 1968.

**9 MAJOR BIBLIOGRAPHICAL REFERENCES**

Historic American Buildings Survey. "Tift-Hemingway House" (FLA-179), prepared by F. Blair Reeves, AIA, July 1967.  
 McDermott, John D. "Sites Associated with Ernest Hemingway in Michigan, Florida and Idaho," special report for Historic Sites Survey, October 2, 1968.  
 Little, Rodney. Architectural description of the Tift-Hemingway House prepared for Florida State Historic Preservation Office's files, 1974.

**10 GEOGRAPHICAL DATA**

ACREAGE OF NOMINATED PROPERTY less than one acre

UTM REFERENCES

A	1, 7	4 1, 8 8, 8, 0	2, 7 1, 5 2, 8, 0	B			
	ZONE	EASTING	NORTHING		ZONE	EASTING	NORTHING
C				D			

VERBAL BOUNDARY DESCRIPTION

The boundary of the landmark is the current property line, which is the same as when the property was owned by Hemingway. A rectangle of 190 by 197 feet, just less than an acre, the land is surrounded by a brick wall, and bounded on the west by the east curb of Whitehead Street, on the north by the south curb of Olivia Street, and on the east and south by the property line between the Hemingway property and other residences.

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
STATE	CODE	COUNTY	CODE

**11 FORM PREPARED BY**

NAME / TITLE

special report

Blanche Higgins Schroer, Landmark Review Project; John D. McDermott, Oct. 2, 1968

ORGANIZATION

DATE

STREET & NUMBER

TELEPHONE

CITY OR TOWN

STATE

**12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION**

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL     

STATE     

LOCAL     

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

FEDERAL REPRESENTATIVE SIGNATURE

TITLE

DATE

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

DATE

DIRECTOR, OFFICE OF ARCHEOLOGY AND HISTORIC PRESERVATION

ATTEST:

DATE

KEEPER OF THE NATIONAL REGISTER

3/4/77

NATIONAL HISTORIC LANDMARKS

NATIONAL HISTORIC LANDMARKS

NATIONAL HISTORIC LANDMARKS

Form No. 10-301a  
(Rev. 10-74)

UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES  
PROPERTY PHOTOGRAPH FORM**



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TYPE ALL ENTRIES -- ENCLOSE WITH PHOTOGRAPH

**1 NAME**

HISTORIC

Ernest Hemingway House

AND/OR COMMON

Ernest Hemingway House / Tift-Hemingway House

**2 LOCATION**

CITY, TOWN  
Key West

\_\_\_\_VICINITY OF

COUNTY  
Monroe

STATE  
Florida

**3 PHOTO REFERENCE**

PHOTO CREDIT J. F. Brooks, HABS (FLA-179)

DATE OF PHOTO

NEGATIVE FILED AT Division of Prints and Photographs, Library of Congress

**4 IDENTIFICATION**

DESCRIBE VIEW, DIRECTION, ETC IF DISTRICT. GIVE BUILDING NAME & STREET

PHOTO NO.

southeast side of house, facing north

INT: 2908-75









Tift-Hemingway House  
907 Whitehead Street  
Key West  
Monroe County  
Florida

HABS. No. FL-179

HABS,  
FLA,  
44-KEY,  
11-

PHOTOGRAPHS

HISTORICAL AND DESCRIPTIVE DATA

## HISTORIC AMERICAN BUILDINGS SURVEY

HABS No. FL-179.

## TIFT-HEMINGWAY HOUSE

- Location: 907 Whitehead Street, Key West, Monroe County, Florida.  
USGS Key West Quadrangle, Universal Transverse Mercator Coordinates: 17.418900.2715280.
- Present Owner: Mr. and Mrs. Jack Daniels  
907 Whitehead Street, Key West, Florida.
- Present Occupant: Owner resides in pool house, main house is open to public.
- Present Use: Ernest Hemingway Museum.
- Significance: The house possesses both architectural and historic interest. Built by Asa F. Tift, a prominent early settler who was active in the Confederate cause during the Civil War, the house is best known as the Key West residence of author Ernest Hemingway. The house is constructed of native limestone and has a distinctive architectural character.

PART I. HISTORICAL INFORMATION

## A. Physical History:

1. Date of erection: The first mention of any building existing on the property was found in Monroe County, Florida, Tax Rolls of 1876. Popular tradition dates the building as being pre-Civil War; however, a local historian, writer and neighbor says, "The home of Asa Tift is of native stone and was built after the Civil War." (Cappick, Coral Tribune, December 6, 1951).
2. Architect: No record has been found. There is, however, a strong possibility that William Kerr may have designed and built the main house as well as the original outbuildings. He is credited with building several structures of native stone. As an architect and builder he showed more versatility and originality than other builders of that period. (A Guide to Key West; pp. 69, 70, 71).
3. Original and subsequent owners: The property was purchased by Asa F. Tift in 1850 (Monroe County Deed Book E, p. 285). As part of Asa F. Tift's estate, it was sold at Public Auction to Adolph M. Ferguson in 1903 (Monroe County Commissioner's Deed Book U, p. 375). Ferguson deeded the property to Arleen B. Shephard 1925 (Monroe County Deed Book B-5, p. 128). Arleen B. and Arthur R. Shephard deeded it to Paul Lumley in 1929 (Monroe County Deed Book G-2, p. 453). Paul and Zoila Lumley sold the property in 1931 to Jerry J. Trevor (Monroe County Deed Book D-3, p. 152). Trevor deeded the property to Ernest

Hemingway April 29, 1931 (Monroe County Deed Book D-3, p. 153). Mary Hemingway, widow, and Patrick and Gregory Hemingway, sons of Ernest Hemingway, sold the property to Jack and Bernice Daniels, Lot 2, Sq. 9, in Tract 4, on March 28, 1963 (Monroe County Deed Book 275, p. 560-565).

4. Builder, contractor, suppliers: Builder is believed to be William Kerr, who may also have been supplier of basic building materials. Mr. Tift may have brought the iron work from New Orleans or Cuba in his own ships.
5. Original plan and construction: A two-story masonry building with a two-story gallery.
6. Alterations and additions: An early photograph, circa 1890, shows two outbuildings in the rear of the main house. Both buildings had mansard roofs. At some point one of the buildings was removed or destroyed.

At the time the property was purchased by the Hemingways in 1931, the buildings were in poor condition. The Hemingways did extensive repairs and remodeling. A partition wall on the southeast side of the house was removed creating a large living room. The windows leading onto the porch at the rear were sealed over. A similar partition on the second floor above was removed to make a larger master bedroom. A private bath was built at the southwestern end of the room. The Hemingways also added the double porches on the northeast side of the house.

At the time the Hemingways purchased the property a long wooden hallway connected the main house and the building at the rear. The Hemingways built a wrought iron catwalk on top of this wooden structure which leads from the upstairs porch of the main house to the mansard room in the outbuilding which the author used for his studio. A spiral stairway leads from the studio to the patio below.

About 1936 a wall was built around three sides of the property, utilizing old paving brick from the city streets. The swimming pool was built about 1938, and was the first pool on the island. A dressing room and showers were installed in the downstairs of the outbuilding, which became known as the pool house. In the 1940s, Mrs. Hemingway enlarged and remodeled this building, adding a living room with a fireplace, a kitchen and back porch. She then made the pool house her residence and rented the main house.

Sometime in the 1940s Mrs. Hemingway removed the wood gallery on the main house. The Daniels have rebuilt the gallery with concrete block and handmade concrete tiles. (Bruce Interview, August 1, 1965)

B. Historical Events and Persons Connected with this Structure:

Asa F. Tift, the son of Amos Tift, was born in Groton, Connecticut, in 1812. He came to Key West with his father, a sea captain and merchant, who established a business here as early as 1826. The Tifts became owners of one of the major wharf areas on the island. At the outbreak of the Civil War he left the island and went to Georgia, where other members of his family were prominent citizens. Tift County and Tifton, Georgia were named for this family.

To aid in meeting the Confederate need for ships, Asa and his brother Nelson devised a design for ships that could be built by ordinary house carpenters. The Tifts, who were old Key West friends of Stephen R. Mallory, Secretary of the Confederate Navy, placed their plans before the Naval Board and offered their services to superintend the construction without compensation. The plans were accepted and construction began on the first of two ironclads at New Orleans. The fall of New Orleans forced the destruction of the almost completed ship. After the war, Asa Tift returned to Key West and lived there until his death in 1889. (Rerick, n.p; Browne, p. 219; Durkin, n.p.)

Before purchasing this house Ernest and Pauline Pfeiffer Hemingway had lived in rented quarters in Key West. This was the first house the writer had ever purchased, and he retained his ownership until his death. It was in this house that Hemingway wrote many of his best selling novels and a number of his short stories. Writers, painters, publishers and sportsmen from all over the world came to fish and visit with the Hemingways during the years they resided here.

Although the writer moved to Cuba in about 1940, he returned periodically through the years, and after Pauline Hemingway's death took full responsibility for maintaining the house. He refused all offers to sell the house during his lifetime. (Thompson Interview, n.d; Bruce Interview, August, 1965)

The building was opened as a Hemingway Museum February 8, 1964 by Mr. and Mrs. Jack Daniels. (Key West Citizen, February 1, 1964).

C. Sources of Information:

1. Old views:

Crane, Horatio, Key West, Florida, Photogravure, The Albertype Co., New York, 1896. Bird's eye view taken from Key West Light House shows three original buildings.

Old Island Restoration Foundation, Inc. Collection, Monroe County Public Library, Key West, Florida. Bird's eye view of studio and walkway from main house.

2. Bibliography:

a. Primary and unpublished sources:

Monroe County Courthouse Records and Deedbooks, County Clerk's Records, Key West, Florida.

Monroe County Tax Rolls, 1845-1860, 1866-1879, Microfilm, Genealogy Society, Salt Lake City, Utah. Also Monroe County, Public Library, Key West, Florida.

Sanborn Map of Key West, Florida, 1886, 1892, 1899, 1912, 1926, Sanborn Map Co., New York.

b. Secondary and published sources:

American Guide Series, A Guide to Key West, Revised Second Edition, Hastings House, New York 1949. pp. 69-71.

Browne, Jefferson B., Key West: The Old and New, St. Augustine, Florida, 1912, p. 219.

Cappick, Marie, "The Key West Story," Chapter 4, Coral Tribune, December 6, 1951. Key West, Florida.

Durkin, Joseph T., S.J., Stephen Mallory, Confederate Navy Chief, University of North Carolina Press, Chapel Hill, North Carolina, 1954.

Rerick, Rowland, Memories of Florida, Southern Historical Association, Vol. 235, Atlanta, Georgia, 1902.

c. Interviews:

Bruce, T.O., 611 Simonton Street, Key West, Florida, August 1, 1965.

Thompson, Mr. and Mrs. Charles, 1314 Seminary Street, Key West, Florida, n.d.

Prepared by: Betty M. Bruce  
Old Island Restoration  
Foundation, Inc.  
Project Historian  
HABS Key West Project  
September 1966

PART II. ARCHITECTURAL INFORMATION

A. General Statement:

1. Architectural character: The house has a two-story gallery, a feature which distinguishes many Key West houses. The cast iron columns and railing of the gallery, the limestone walls, flat roof, and arched windows and doors, however, are not features commonly seen in Key West architecture and make the building distinctive.

B. Description of Exterior:

1. Overall dimensions: A two-story block with an ell, 52'-7" x 52'-8".
2. Foundations: Limestone foundation walls and 5" x 7" wood columns.
3. Wall construction: Limestone rubble, stucco finish scored to resemble coursed dressed ashlar, simulated quoins at exterior corners; stucco finish at opening scored to express arch and projecting keystone, 10 1/2" board nailing strip at underside of gallery roof at all elevations, projecting base.
4. Structural system: Masonry bearing wall, post and lintel; wood framing for floor consisting of 8" x 9" beams, 2 1/4" x 12" joists, and 2 1/2" x 3 1/2" nailing strips notched through joists; all structural members radial sawed.

5. Porches:

Two-story gallery on the southwest, southeast, northwest and part of the northeast elevations.

First floor: Cement tile floor, tiles of various sizes and hues in random pattern; concrete and/or limestone bases for columns; cast iron columns and base, fluted columns with acanthus pattern at capitals; iron flanged beam between columns with rosette decorations on exterior of web; plinth blocks with rosette decoration serve as bases for second floor columns; wood beams and flooring of second floor porch exposed, chamfered edges on beams, joists are squared.

Second floor: Wood boards 3 1/4" wide painted green, floor slopes to the exterior; wrought iron balustrade in heart pattern; columns are similar to those on the first story, but smaller in diameter; iron flanged peripheral beam, corrugated sheet metal roof curves downwards and out from below the parapet to the line of columns and peripheral beam.

6. Stairways: Modern concrete steps from porch to grade; modern concrete stairway from first floor porch down to basement entrance east side of house at ell.

7. Chimney: Limestone masonry foundation, brick chimney (2 flues), header course in diagonal cornice pattern.
8. Openings: Openings are segmentally arched with projecting keystones.

- a. Doorways and doors: Wood surround and frame, two two-panel screen doors out swinging, fixed screen fan; two three-panel doors fit into arched opening, top panel glazed, heavy molding, inswinging; wood threshold; fragments indicate exterior shutters out swinging have been removed.

French doors: Two three-panel screen doors, outswinging, fixed screen panel above doors; two three-panel inswinging doors per opening, glazed panels. Two three-panel louvered (operating) shutters per opening, outswinging.

Doorway at rear of stair hall to porch: Two two-panel screen doors outswinging, four-panel inswinging to fit around head. Exterior shutters removed, pintles remain.

Doorway to second floor porch: Six-panel inswinging door, top four panels glazed; two three-panel screen doors outswinging, two three-panel outswinging louvered wood shutters.

- b. Windows and shutters:

First floor windows: Two inswinging casement sashes, three lights each, glazed rounded top panel, fragments indicate original windows were single sash; outswinging, wood louvered shutters.

Second floor windows: Fixed screen panel over lower half of window only; two-over-two-light double hung sash; outswinging, wood, louvered shutters.

9. Roof:

- a. Shape, covering: Flat roof over house and ell, parapet wall, built-up roof; area over ell slightly raised to accommodate cistern between roof and ceiling below; porch roof of corrugated sheet metal. Hatch provides access to cistern; stair housing wood frame, horizontal lapped siding painted green, gable roof.

- b. Eaves: Wide overhanging eaves are supported by metal rods.

C. Description of Interior:

1. Floor plans:

- a. Basement: One open space.

- b. First floor: Central stair hall between living and dining rooms (portion of dining room cut off to serve as serving pantry), kitchen in ell; stairway to second floor.

- c. Second floor: Central stair hall, bedrooms and bathrooms to each side, stairway to roof.
2. Stairway:
  - a. Stairway between first and second floor: Steep wood, open-string stairs, molded hand rail, turned and fluted balusters, paneled eight-sided and tapered newel post, disc finial.
  - b. Stairway between second floor and roof: Straight, steep run, wood treads and risers.
3. Flooring: Pine boards 3 1/2" x 5" wide, varnished; Cuban and French glazed tiles in bathrooms, composition tile in kitchen and partry. Basement floor is earth and limestone.
4. Wall finish: Plaster; wood base boards; plaster cornices in principal rooms. Glazed tile wainscot in kitchen and bathroom.  
  
Basement: Wall finish is rough rubble ashlar above grade level and exposed limestone from grade to basement floor level. Ceiling is unfinished.
5. Ceiling finish: Plaster; plaster center piece in stair hall first floor at entrance, living room, dining room and bedroom.
6. Doorways and doors: Four-panel wood doors, three lights in transoms; wood saddles; molded trim surrounds.
7. Notable hardware: Porcelain door knobs (white), pivoted key hole covers.
8. Lighting: Electric; chandeliers of brass and crystal, Venetian crystal, and Spanish metal and brass lantern.
9. Fireplaces:  
  
Dining room fireplace: Marble with deeply incised pattern, cast iron grilled front in rectangular opening, cement hearth.  
  
Bedroom fireplace: Marble with incised and gilded pattern, cast iron grille front in rectangular opening, cement hearth.

D. **Site:**

1. General setting and orientation: The building faces southwest. It is situated on the southeast corner of Whitehead and Olivia Streets, enclosed by a chain link fence faced to the exterior by a masonry wall of paving bricks, wrought iron gates; lush tropical trees, plants and shrubs surround the house; concrete and cement tile walks provide access from gateways on each street; a fountain-planter in a shape resembling a Civil War monitor is near the front entrance; cement and stone pool at the northeast porch.

2. Outbuildings: The wood slat fence separates the house from a concrete slab over a cistern, a terrace paved with Cuban tile, a carriage house (not included in this survey) and a concrete swimming pool to the east and southeast. A guest house is at the northeast corner of the site.

Prepared by: F. Blair Reeves AIA  
Supervisory Architect  
HABS Key West Project  
July 1967

### PART III. PROJECT INFORMATION

These records were prepared in 1967 during a summer project jointly sponsored by the Old Island Restoration Foundation, Inc. of Key West, and the Historic American Buildings Survey. Twenty-two structures were recorded, ranging from commercial structures, residences and hospitals to a convent, a lighthouse, and the Memorial to the Victims of the Disaster of the U.S. Battleship Maine.

The project was under the direction of F. Blair Reeves, AIA, Associate Professor, Department of Architecture, University of Florida. Measured drawings were prepared by student architects John D. Davenport and John F. Grimm of Texas A. and M. University, and John O. Crosby of the University of Florida. Mrs. Betty M. Bruce of the Old Island Restoration Foundation, Inc., and Professor Reeves were responsible for the historical and architectural data. They were assisted by members of the Foundation. J. Frank Brooks, Photographer, of Key West, supplied the photographs.

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# site



## -GUIDELINES-

### The Approach

#### Exterior Materials

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[Wood](#)  
[Architectural Metals](#)

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[Windows](#)  
[Entrances + Porches](#)  
[Storefronts](#)

#### Interior Features

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#### Site

#### Setting

#### Special Requirements

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## THE STANDARDS

[Identify](#) [Stabilize](#) [Protect](#) [Repair](#) [Replace in Kind](#)

## Identify, Retain and Preserve

### RECOMMENDED

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character. Site features may include circulation systems such as walks, paths, roads, or parking; vegetation such as trees, shrubs, fields, or herbaceous plant material; landforms such as terracing, berms or grading; furnishings such as lights, fences, or benches; decorative elements such as sculpture, statuary or monuments; water features including fountains, streams, pools, or lakes; and subsurface archeological features which are important in defining the history of the site.

Retaining the historic relationship between buildings and the landscape.



*Drayton Hall, near Charleston, South Carolina, is an excellent example of an evolved 18th century plantation. Of particular note in this photograph are the landscape features added in the late 19th century—a reflecting pond and rose mound. With an overall Preservation treatment plan, these later features have been retained and protected. If a Restoration treatment had been selected, later features of the landscape as well as changes to the house would have been removed. Photo: Courtesy, National Trust for Historic Preservation.*

### NOT RECOMMENDED

Altering buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

Removing or relocating buildings or landscape features, thus destroying the historic relationship between buildings and the landscape.

## Stabilize

### RECOMMENDED

Stabilizing deteriorated or damaged building and site features as a preliminary measure, when necessary, prior to undertaking appropriate preservation work.

**NOT RECOMMENDED**

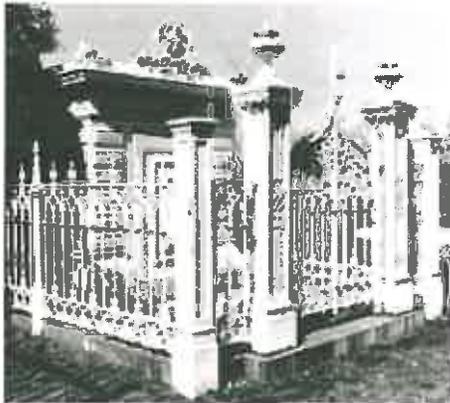
Failing to stabilize a deteriorated or damaged building or site feature until additional work is undertaken, thus allowing further damage to occur to the building site.

## Protect and Maintain

**RECOMMENDED**

Protecting and maintaining buildings and sites by providing proper drainage to assure that water does not erode foundation walls; drain toward the building; or damage or erode the landscape.

Minimizing disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archeological resources.



*The Slatter Family Tomb in Mobile, Alabama, consisting of a cast-iron mausoleum and fence, exhibits the wide range of uses of the material in the 19th century. These historic materials should be carefully maintained and repaired. Photo: Jack E. Boucher, HABS Collection.*

Surveying and documenting areas where the terrain will be altered to determine the potential impact to important landscape features or archeological resources.

Protecting, e.g., preserving in place, important archeological resources.

Planning and carrying out any necessary investigation using professional archeologists and modern archeological methods when preservation in place is not feasible.

Preserving important landscape features, including ongoing maintenance of historic plant material.

Protecting building and landscape features against arson and vandalism before preservation work begins, i.e., erecting protective fencing and installing alarm systems that are keyed into local protection agencies.

Providing continued protection of historic building materials and plant features through appropriate cleaning, rust removal, limited paint removal, and re-application of protective coating systems; and pruning and vegetation management.

Evaluating the existing condition of materials and features to determine whether more than protection and maintenance are required, that is, if repairs to building and site features will be necessary.

**NOT RECOMMENDED**

Failing to maintain adequate site drainage so that buildings and site features are damaged or destroyed; or alternatively, changing the site grading so that water no longer drains properly.

Introducing heavy machinery into areas where it may disturb or damage important landscape features or archeological resources.

Failing to survey the building site prior to beginning work which results in damage to, or destruction of, important landscape features or archeological resources.

Leaving known archeological material unprotected so that it is damaged during preservation work.

Permitting unqualified personnel to perform data recovery on archeological resources so that improper methodology results in the loss of important archeological material.

Allowing important landscape features to be lost or damaged due to a lack of maintenance.

Permitting the property to remain unprotected so that the building and landscape features or archeological resources are damaged or destroyed.

Removing or destroying features from the buildings or site such as wood siding, iron fencing, masonry balustrades, or plant material.

Failing to provide adequate protection of materials on cyclical basis so that deterioration of building and site feature results.

Failing to undertake adequate measures to assure the protection of building and site features.

101

## Repair

### RECOMMENDED

Repairing features of the building and site by reinforcing historic materials using recognized preservation methods. The new work should be unobtrusively dated to guide future research and treatment.

### NOT RECOMMENDED

Removing materials that could be repaired, using improper repair techniques, or failing to document the new work.

102

*The following work is highlighted to indicate that it represents the greatest degree of intervention generally recommended within the treatment Preservation, and should only be considered after protection, stabilization, and repair concerns have been addressed.*

## Limited Replacement in Kind

### RECOMMENDED

Replacing in kind extensively deteriorated or missing parts of the building or site where there are surviving prototypes such as part of a fountain, or portions of a walkway. New work should match the old in materials, design, color, and texture; and be unobtrusively dated to guide future research and treatment.

### NOT RECOMMENDED

Replacing an entire feature of the building or site when limited replacement of deteriorated and missing parts is appropriate.

Using replacement material that does not match the building site feature; or failing to properly document the new work.

**[HISTORICAL OVERVIEW](#) - [preserving](#) - **[REHABILITATING](#)** - **[RESTORING](#)** - **[RECONSTRUCTING](#)****

[main](#) - [credits](#) - [email](#)

# **Proposed design**

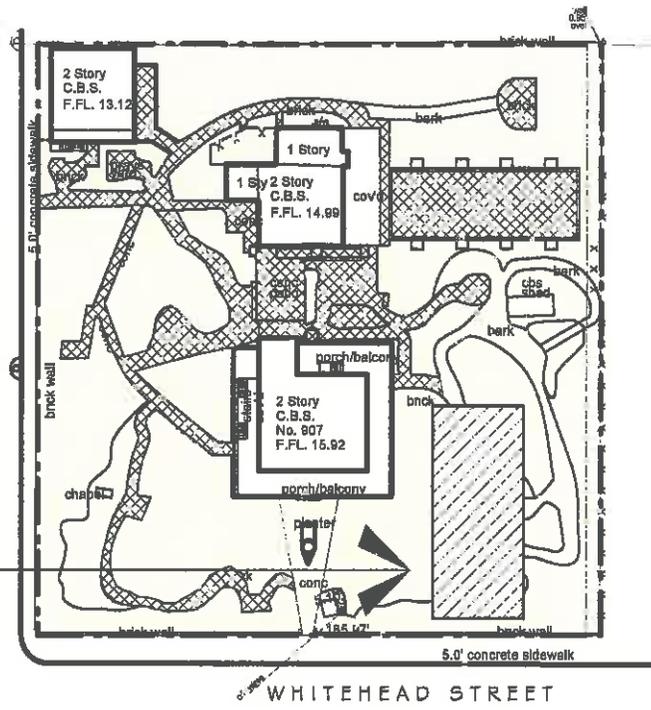
# SITE DATA

907 WHITEHEAD STREET  
ZONED HMDR HISTORIC MEDIUM DENSITY RESIDENTIAL

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HMDR		HMDR	
SITE AREA	36,160.0 SQ FT	4000 SQ FT	36,160.0 SQ FT	CONFORMING
BUILDING COV.	14.4%	40%	17.1%	CONFORMING
IMPERV. RATIO	31.3%	60%	37.0%	CONFORMING
F.A.R.	N.A.	N.A.	N.A.	N.A.
<b>SETBACKS</b>	ALL SETBACKS ARE EXISTING AND WILL REMAIN UNCHANGED			
FRONT		10'		
REAR		15'		
STREET SIDE		7.5'		
SIDE		5.0'		
BUILDING HT.		30'		

**PROPOSED SCOPE OF WORK::**  
NEW BRICK PAVED AREA - 30' X 70'  
ON GRADE. (2100 SQ FT)

FLOOD INSURANCE RATE MAP ZONE: ZONE "X"



## 3 HEMINGWAY HOUSE SITE PLAN

A-2 Scale: 1" = 40 ft

FLOOD ZONE X

- IMPERVIOUS (BRICK OR CONCRETE) 6184.0 SQ FT.
- IMPERVIOUS (STRUCTURE AND BUILDING COVERAGE) 5127.0 SQ FT.

### IMPERV. RATIO NOTES

- IMPERVIOUS (BRICK OR CONCRETE) 6184.0 SQ FT.
- IMPERVIOUS (STRUCTURE AND BUILDING COVERAGE) 5127.0 SQ FT.

THE FOLLOWING CALCULATIONS ARE USED FOR IMPERVIOUS & COVERAGE CALCULATIONS:

BUILDINGS.....5127.0 FT  
BRICK AND CDNG ....6184.0 SQ FT  
IMPERVIOUS = SITE AREA DIVIDED BY IMPERVIOUS AREA  
LOT AREA 36,160.0 / 11311.00  
IMPERVIOUS = 31.3 %

BUILDING COVERAGE = SITE AREA DIVIDED BY BUILDING AREA  
LOT AREA 36,160.0 / 5127  
LOT COVERAGE = 14.4 %

### APPLICANT INFORMATION

**HEMINGWAY HOUSE**  
907 WHITEHEAD ST., KEY WEST, FLA.

INDEX OF DRAWINGS	
A-1 SITE PLAN & DATA	A-4 SITE PLANDRAINAGE CALCS
A-2 SITE PLAN - EXISTING PLANTINGS	A-5 THRU A-7 PATTERN OPTIONS
A-3 TREE IDENTIFICATION PLAN	

DESIGN NOTES:	SEAL - ARCHITECT
THIS STRUCTURE DESIGNED TO MEET THE FOLLOWING: FBC 2010 A.S.C.E. 07-10 REGULATIONS LIVE LOAD SEE STRUCTURAL WIND LOAD 160 M.P.H. * *PER FBC 07/ASCE 07-10	

NO.	DATE

**PETER PIKE ARCHITECT**  
471 US HIGHWAY 1  
KEY WEST, FLA. 33940  
305-296-1692

**PROJECT:**  
THE ERNEST HEMINGWAY HOME & MUSEUM  
907 WHITEHEAD ST., KEY WEST, FLA.

**DRAWING TITLE:**  
SITE PLAN AND DATA

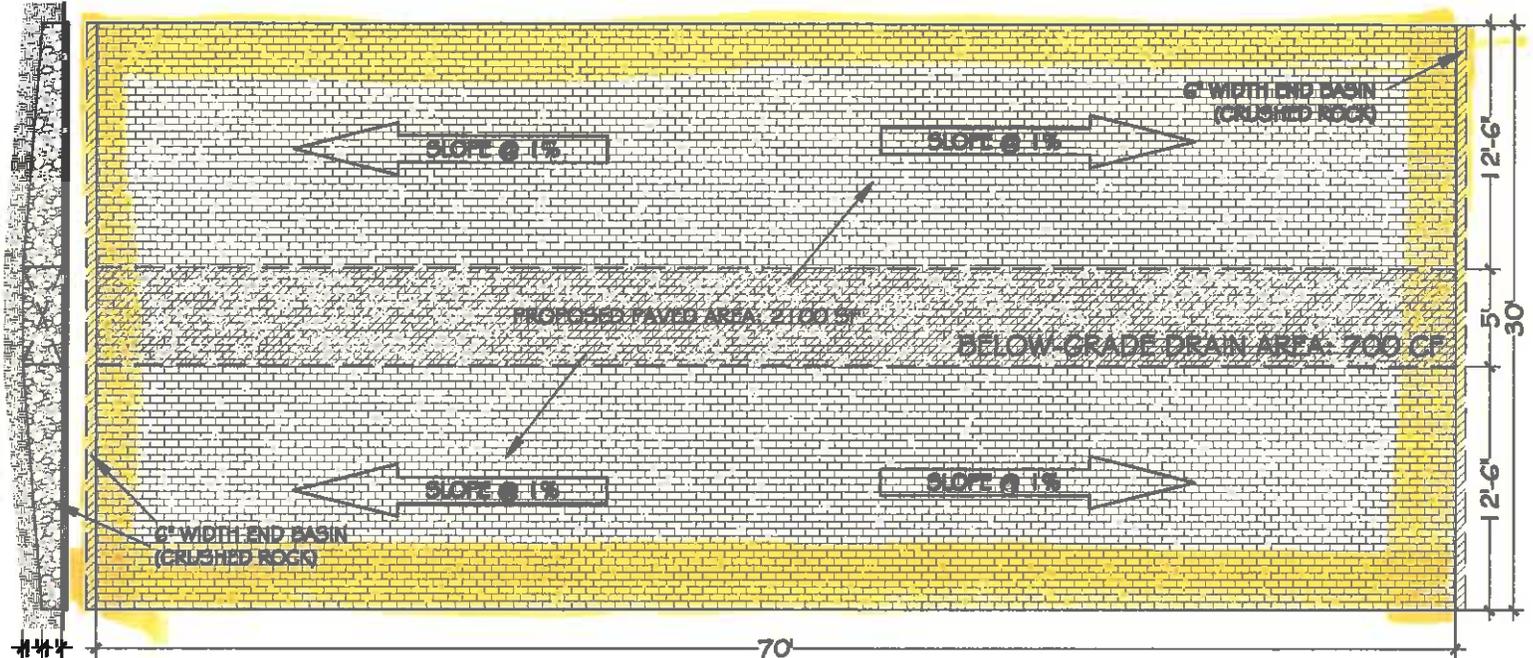
**PROJECT NUMBER:**  
13-04

RAWN: LJM  
CHECKED: PJP  
DATE: 04-17-14

**SHEET #**  
A-1  
OF

**2** END BASIN DETAIL  
**A-4** Scale: NOT TO SCALE

FLOOD ZONE: X



NOTE: ALL DRAINAGE AREAS BELOW EXISTING GRADE LEVEL.

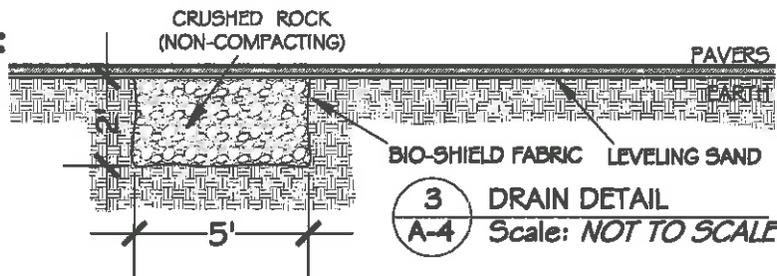
**1** PAVING PLAN  
**A-4** Scale: NOT TO SCALE

NOTE: THESE DRAWINGS COMPLY WITH THE REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE, ASCE 7-10, AND THE SPECIFIC CODES OF THE CITY OF KEY WEST, FLORIDA.

**RUNOFF CALCULATIONS:**

FIRST 1":  
 $30' \times 70' \times 1" (0.0833 \text{ FT}) = 175 \text{ CF}$

WITH CRUSHED STONE:  
 $175 \text{ CF} \times 4 = 700 \text{ CF}$   
 (25% ALLOWABLE CAPACITY PERCENTAGE)



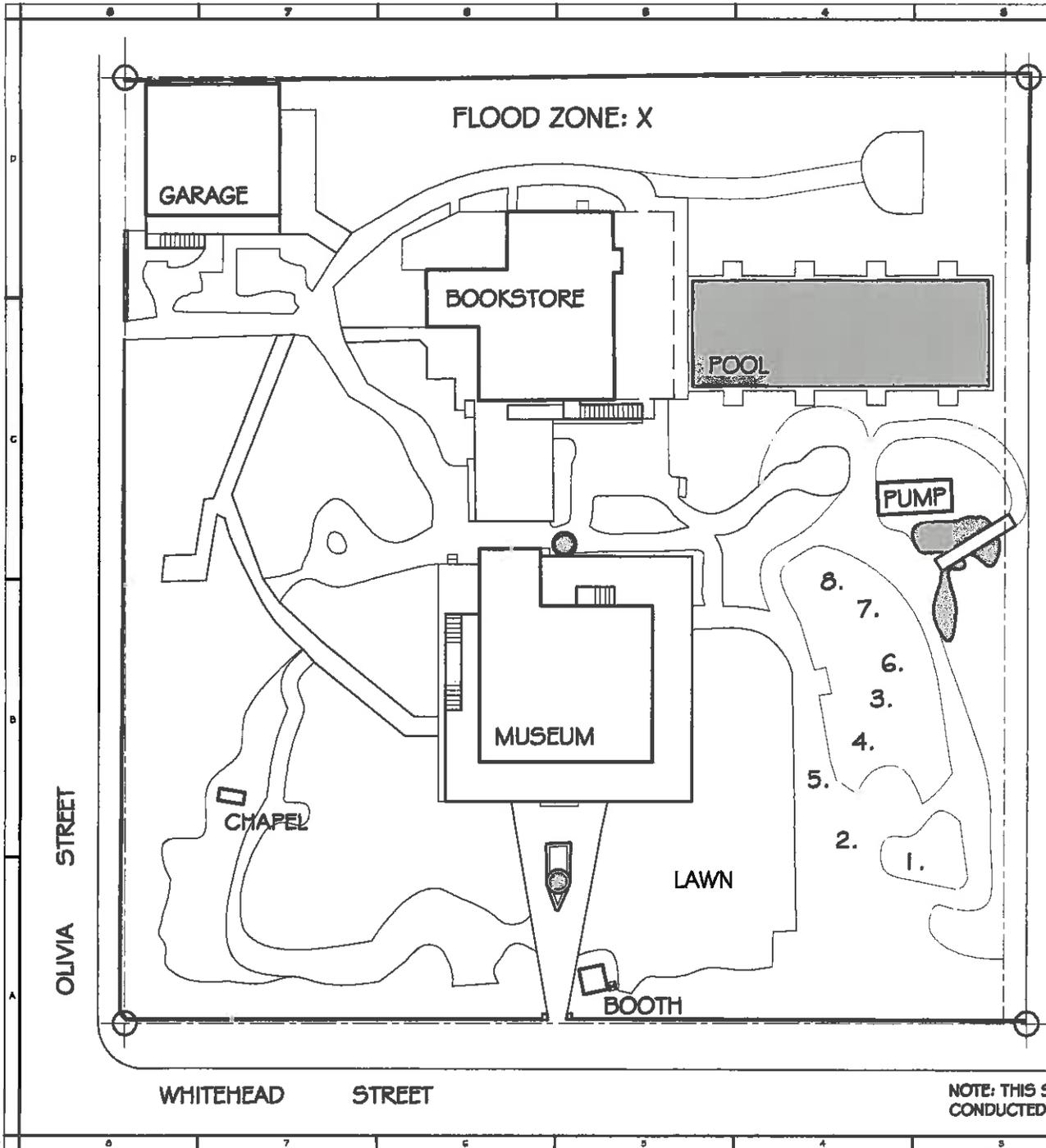
**3** DRAIN DETAIL  
**A-4** Scale: NOT TO SCALE

**CAPACITY:**

BELOW-GRADE DRAIN AREA:  
 $70' \times 5' \times 2' = 700 \text{ CF}$

NOTE: ALL DRAIN AREAS TO HAVE BIO-SHIELD FABRIC / MEMBRANE TO PREVENT SOIL INFILL OF CRUSHED-ROCK.

REV'S	DATE
PROJECT: 471 US HIGHWAY 1, SUITE 101, KEY WEST, FL 33040, 305-256-1522	
PROJECT: PROPOSED PAVED AREA, HEMINGWAY HOME, 907 WHITEHEAD STREET, KEY WEST, FL 33040	
<b>PROPOSED PAVING AREA &amp; DRAINAGE DETAILS</b>	
SHEET # <b>A-4</b>	



### THRINAX PALMS



TREE	NOTES
1.	20'-25'; RELOCATE TO PROPOSED AREA.
2.	15'; RELOCATE TO PROPOSED AREA.
3.	10'; RELOCATE TO PROPOSED AREA.
4.	DECEASED; REMOVE.
5.	DECEASED; REMOVE.
6.	10'; RELOCATE TO PROPOSED AREA.
7.	9'; RELOCATE TO PROPOSED AREA.
8.	9'; RELOCATE TO PROPOSED AREA.

1 EXISTING SITE PLAN  
A-2 Scale: 1/32" = 1'-0"

NOTE: THIS SITE PLAN WAS CREATED USING A SURVEY CONDUCTED BY ISLAND SURVEYING INC. (DATED: 02.02.06).

DATE

REVISION

PETER MIKE ARCHITECT

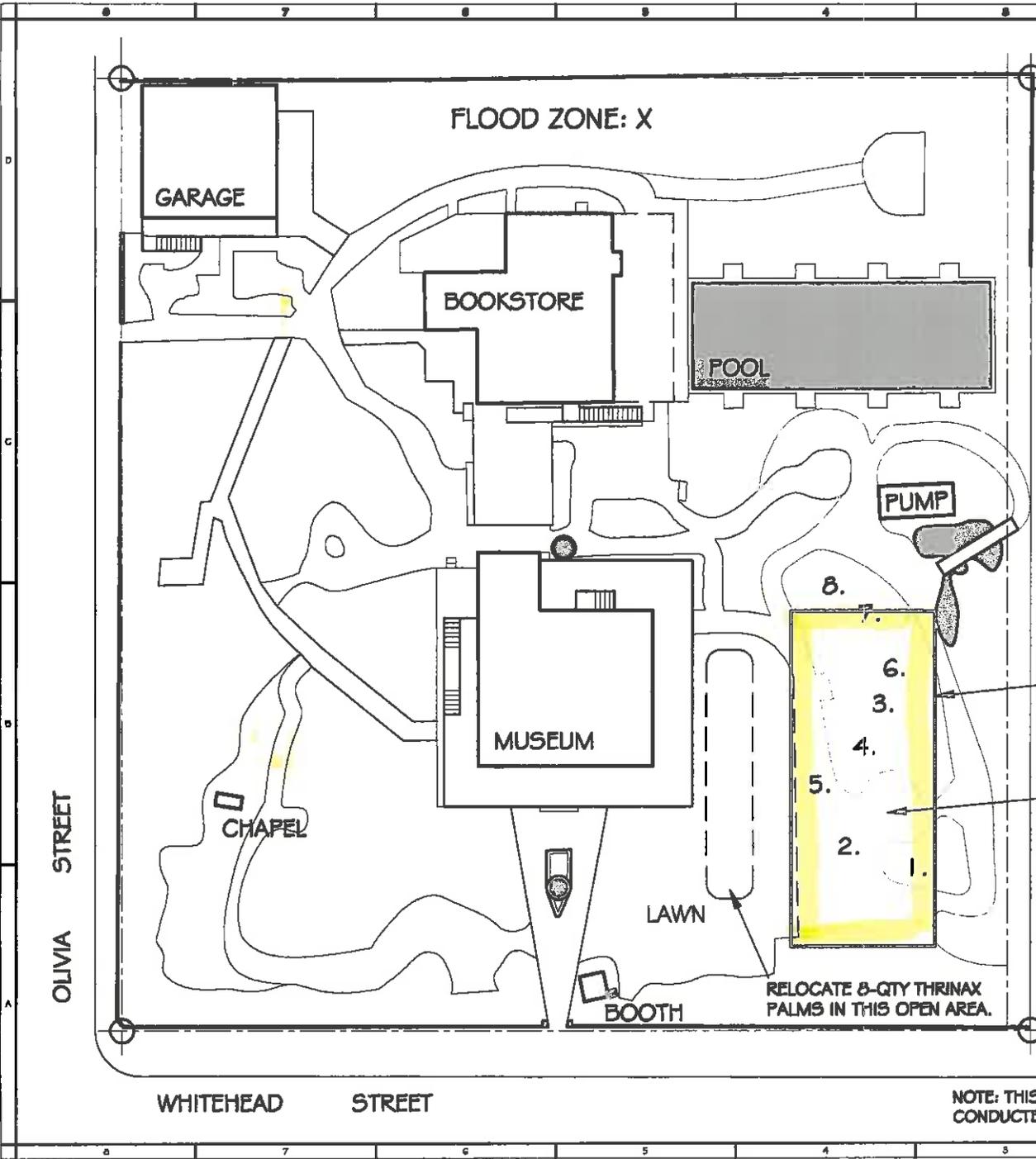
471 US HIGHWAY 1  
SUITE 101  
KEY WEST, FL 33916  
305-298-1622

PROJECT:  
PROPOSED PAVED AREA  
**HEMINGWAY HOME**  
907 WHITEHEAD STREET, KEY WEST, FL 33940

**EXISTING SITE PLAN &  
TREE LIST**

DRAWN BY: MANDY  
CHECKED BY: MANDY  
DATE: 02-20-06  
SCALE: AS SHOWN

SHEET #  
**A-2**



### THRINAX PALMS



- | TREE | NOTES                               |
|------|-------------------------------------|
| 1.   | 20'-25'; RELOCATE TO PROPOSED AREA. |
| 2.   | 15'; RELOCATE TO PROPOSED AREA.     |
| 3.   | 10'; RELOCATE TO PROPOSED AREA.     |
| 4.   | DECEASED; REMOVE.                   |
| 5.   | DECEASED; REMOVE.                   |
| 6.   | 10'; RELOCATE TO PROPOSED AREA.     |
| 7.   | 9'; RELOCATE TO PROPOSED AREA.      |
| 8.   | 9'; RELOCATE TO PROPOSED AREA.      |

PROPOSED PAVED AREA  
(30' X 70': 2100 SF)

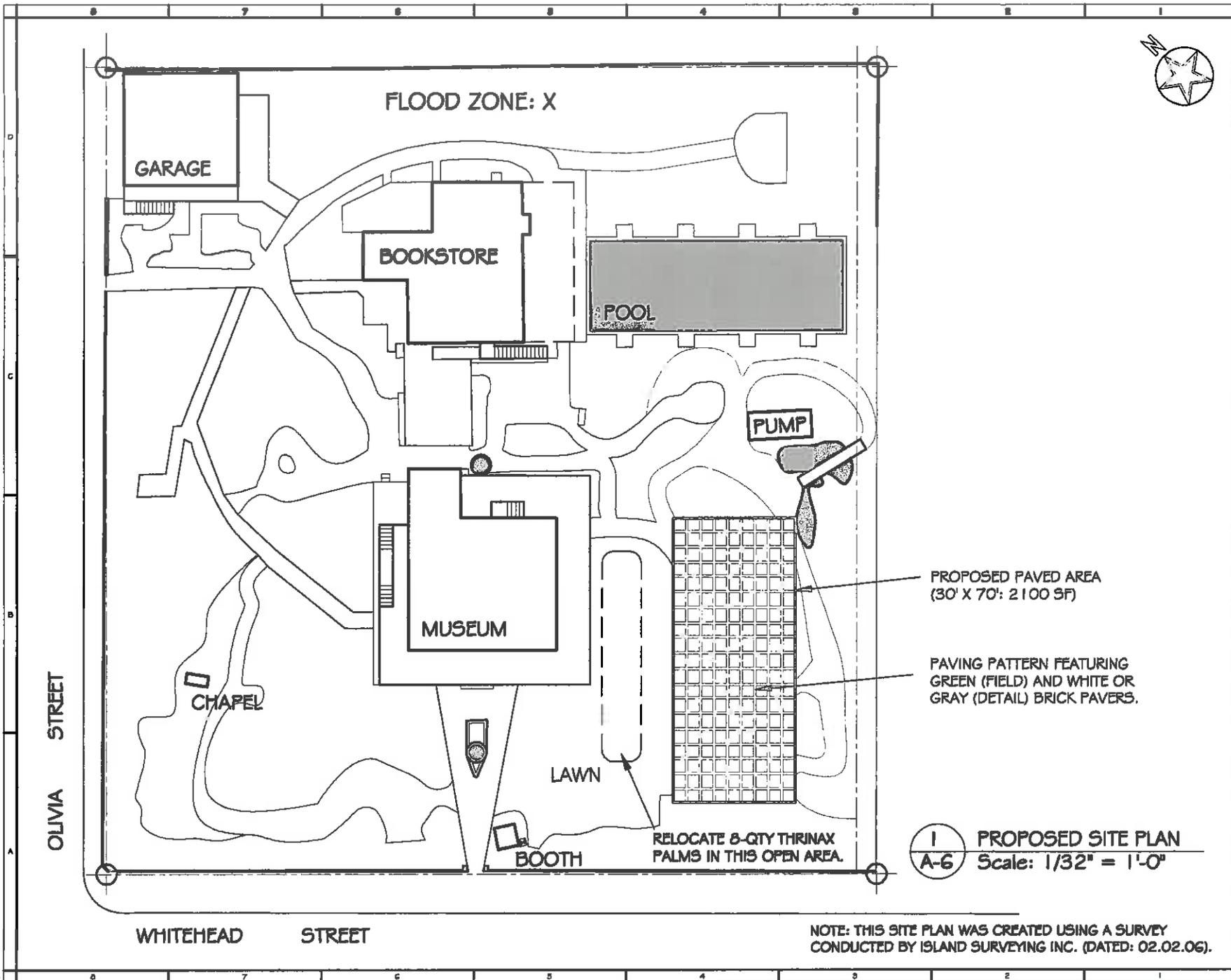
EXISTING PATHWAYS TO BE  
REMOVED TO ACCOMMODATE  
NEW PAVED AREA.

RELOCATE 8-QTY THRINAX  
PALMS IN THIS OPEN AREA.

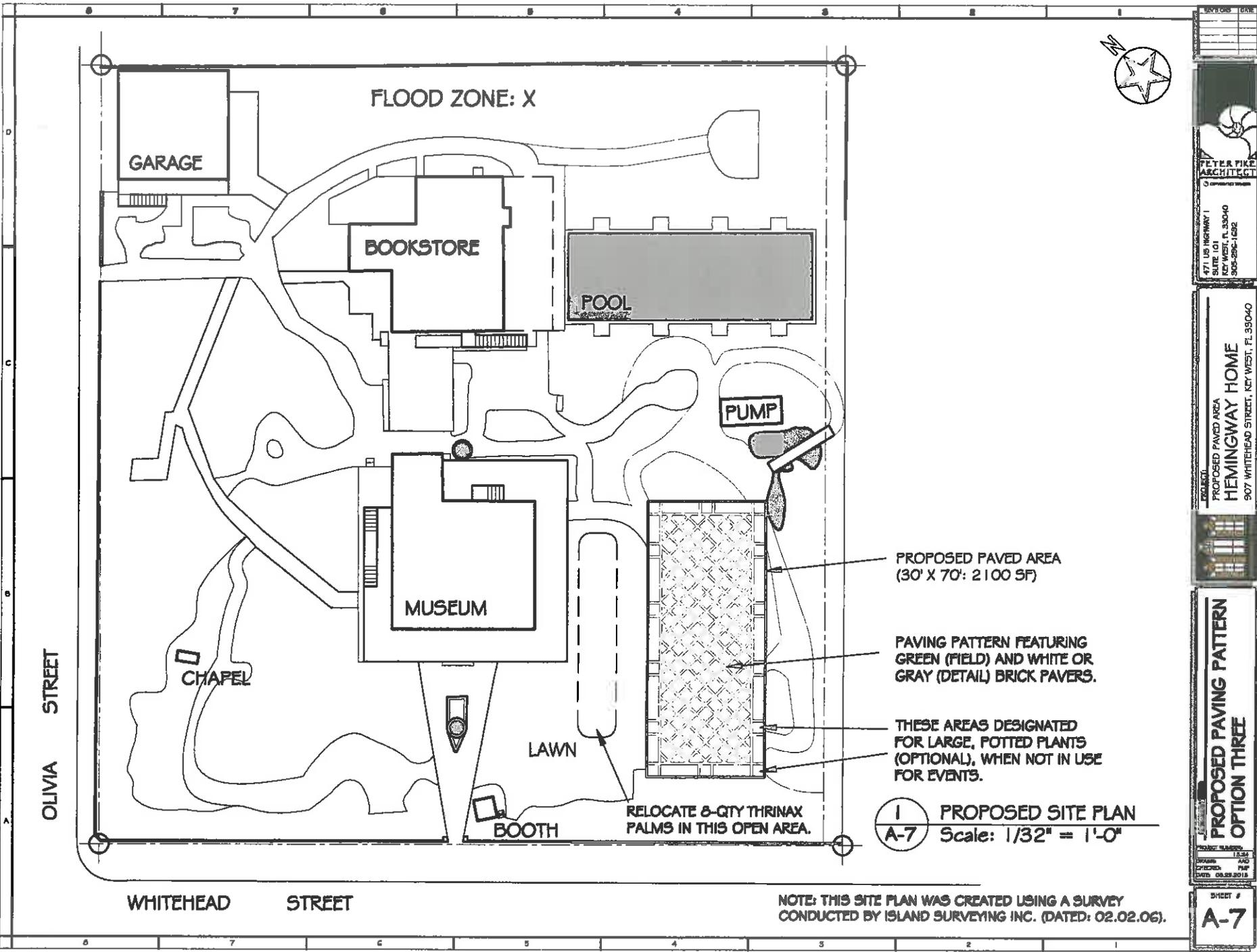
1  
A-3 PROPOSED SITE PLAN  
Scale: 1/32" = 1'-0"

NOTE: THIS SITE PLAN WAS CREATED USING A SURVEY  
CONDUCTED BY ISLAND SURVEYING INC. (DATED: 02.02.06).

DATE	
REVISED	
<b>PETER PIKE ARCHITECT</b> <small>171 US HIGHWAY 1 SALTE 101 SALT WEST, FL 33040 904-296-1932</small>	
<b>PROPOSED PAVED AREA</b> <b>HEMINGWAY HOME</b> <small>907 WHITEHEAD STREET, KEY WEST, FL 33040</small>	
<b>PROPOSED SITE PLAN</b> <b>PAVING AREA</b>	
<small>PROJECT NUMBER: 11551</small>	
<small>DESIGNER: PPK</small>	
<small>CHECKED: PPK</small>	
<small>DATE: 02.28.06</small>	
<small>SHEET #</small>	
<b>A-3</b>	



<p><b>PETER PIKE ARCHITECT</b></p> <p>471 US HIGHWAY 1 SUITE 101, FL 33040 305-294-1822</p>
<p><b>PROPOSED PAVED AREA</b> <b>HEMINGWAY HOME</b> 907 WHITEHEAD STREET, KEY WEST, FL 33040</p>
<p><b>PROPOSED PAVING PATTERN</b> <b>OPTION TWO</b></p>
<p><b>PROJECT #</b> <b>A-6</b></p>



FLOOD ZONE: X

GARAGE

BOOKSTORE

POOL

PUMP

MUSEUM

CHAPEL

LAWN

BOOTH

RELOCATE 8-QTY THRIXAX PALMS IN THIS OPEN AREA.

PROPOSED PAVED AREA  
(30' X 70': 2100 SF)

PAVING PATTERN FEATURING  
GREEN (FIELD) AND WHITE OR  
GRAY (DETAIL) BRICK PAVERS.

THESE AREAS DESIGNATED  
FOR LARGE, POTTED PLANTS  
(OPTIONAL), WHEN NOT IN USE  
FOR EVENTS.

1 PROPOSED SITE PLAN  
A-7 Scale: 1/32" = 1'-0"

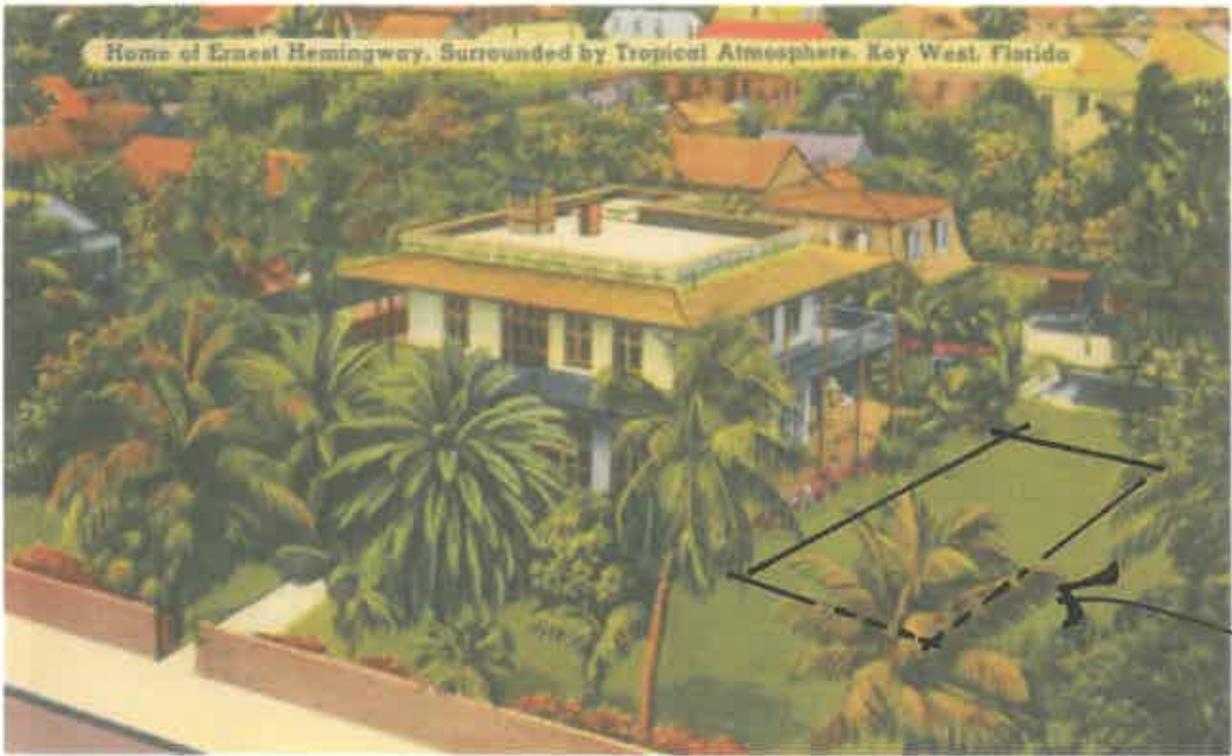
WHITEHEAD STREET

OLIVIA STREET

NOTE: THIS SITE PLAN WAS CREATED USING A SURVEY  
CONDUCTED BY ISLAND SURVEYING INC. (DATED: 02.02.06).



DATE	
REVISION	
<b>PETER PIKE ARCHITECT</b>	
<small>471 US HIGHWAY 1 SUITE 101 KEY WEST, FL 33040 305-859-1822</small>	
<b>PROPOSED PAVED AREA HEMINGWAY HOME 907 WHITEHEAD STREET, KEY WEST, FL 33040</b>	
<b>PROPOSED PAVING PATTERN OPTION THREE</b>	
<small>DATE: 08.29.2018</small>	
<b>SHEET # A-7</b>	



AREA OF PROPOSED  
PAYERS 30' x 70' L



AREA OF PROPOSED  
30' X 70' PAVERS  
SEE ENCLOSED PLANS







# Noticing

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing **at 5:30 p.m., May 27, 2014 at Old City Hall, 510 Greene Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

**CONSTRUCTION OF BRICK PAVER PAD OVER EXISTING LAWN AREA. PAD IS TO BE 30' BY 70' WITH A TERRACOTTA GRID PATTERN. HEMINGWAY HOUSE INDIVIDUALLY LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES AND NATIONAL HISTORIC LANDMARK.**

**FOR- #907 WHITEHEAD STREET**

**Applicant- Peter Pike, Architect**

**Application # H14-01-0579**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3973 or visit our website at [www.keywestcity.com](http://www.keywestcity.com).

**THIS NOTICE MUST BE VISIBLE FROM THE RIGH-OF-WAY AND CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**Property Appraiser  
Information**



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

**Property Record Card -**  
**Maps are now launching the new map application version**

Website tested on IE8,  
IE9, & Firefox.  
Requires Adobe Flash  
10.3 or higher

**Alternate Key: 1018392 Parcel ID: 00017930-000000**

**Ownership Details**

**Mailing Address:**  
907 WHITEHEAD STREET CORP  
907 WHITEHEAD ST  
KEY WEST, FL 33040-7473

**Property Details**

**PC Code:** 35 - TOURIST ATTRACTIONS (PC/LIST)  
**Millage Group:** 11KW  
**Affordable Housing:** No  
**Section-Township-Range:** 06-68-25  
**Property Location:** 907 WHITEHEAD ST KEY WEST  
**Legal Description:** KW LOT 2 SQR 9 TR 4 OR275-557/565 OR433-418/419 OR1153-960/964(WILL) PROB #90-287-CP-10 OR1309-1270/72(CERT) OR1309-1730/41(LG)

**Click Map Image to open interactive viewer**



### Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	189	198	37,440.00 SF

### Building Summary

Number of Buildings: 3  
Number of Commercial Buildings: 3

Total Living Area: 5894  
 Year Built: 1851

### Building 1 Details

Building Type  
 Effective Age 18  
 Year Built 1851  
 Functional Obs 0

Condition G  
 Perimeter 328  
 Special Arch 0  
 Economic Obs 0

Quality Grade 450  
 Depreciation % 23  
 Grnd Floor Area 2,784

**Inclusions:**

Roof Type  
 Heat 1  
 Heat Src 1

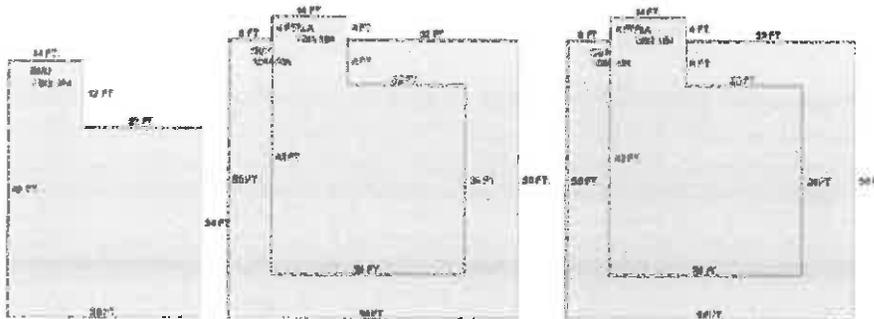
Roof Cover  
 Heat 2  
 Heat Src 2

Foundation  
 Bedrooms 0

**Extra Features:**

2 Fix Bath 0  
 3 Fix Bath 1  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 0

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	BMU		1	1942					1,392
2	OUF		1	1942					1,364
3	FLA		1	1942					1,392
4	OUF		1	1942					1,364
5	FLA		1	1942					1,392

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	3302	TOURIST ATTRAC-B-	100	N	N
	3304	TOURIST ATTRAC-B-	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
862	REIN CONCRETE	100

### Building 2 Details

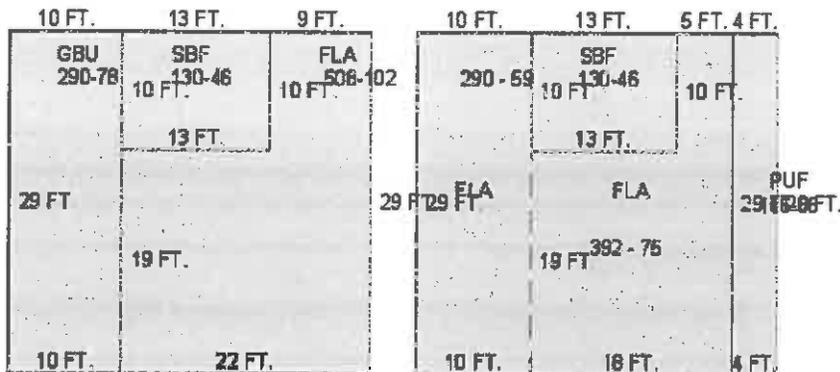
<b>Building Type</b>	<b>Condition</b> G	<b>Quality Grade</b> 450
<b>Effective Age</b> 18	<b>Perimeter</b> 236	<b>Depreciation %</b> 23
<b>Year Built</b> 1933	<b>Special Arch</b> 0	<b>Grnd Floor Area</b> 1,190
<b>Functional Obs</b> 0	<b>Economic Obs</b> 0	

Inclusions:

<b>Roof Type</b> MANSARD	<b>Roof Cover</b> TAR & GRAVEL	<b>Foundation</b> CONCR FTR
<b>Heat 1</b> NONE	<b>Heat 2</b> NONE	<b>Bedrooms</b> 1
<b>Heat Src 1</b> NONE	<b>Heat Src 2</b> NONE	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 2	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	4:CONC BLOCK	1	1993	N	N	0.00	0.00	508
2	GBU	4:CONC BLOCK	1	1993	N	N	0.00	0.00	290
3	SBF	4:CONC BLOCK	1	1993	N	N	0.00	0.00	130
4	FLA	4:CONC BLOCK	1	1993	N	N	0.00	0.00	392
5	SBF	4:CONC BLOCK	1	1993	N	N	0.00	0.00	130
6	FLA	4:CONC BLOCK	1	2001	N	N	0.00	0.00	290
7	PUF		1	1993	N	N	0.00	0.00	116

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
		TOURIST ATTRAC-B-	100	N	N
		TOURIST ATTRAC-B-	100	N	N
		TOURIST ATTRAC-B-	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
	C.B.S.	100

### Building 3 Details

Building Type  
 Effective Age 18  
 Year Built 1938  
 Functional Obs 0

Condition G  
 Perimeter 264  
 Special Arch 0  
 Economic Obs 0

Quality Grade 450  
 Depreciation % 23  
 Grnd Floor Area 1,920

Inclusions:

Roof Type FLAT OR SHED  
 Heat 1 NONE  
 Heat Src 1 NONE

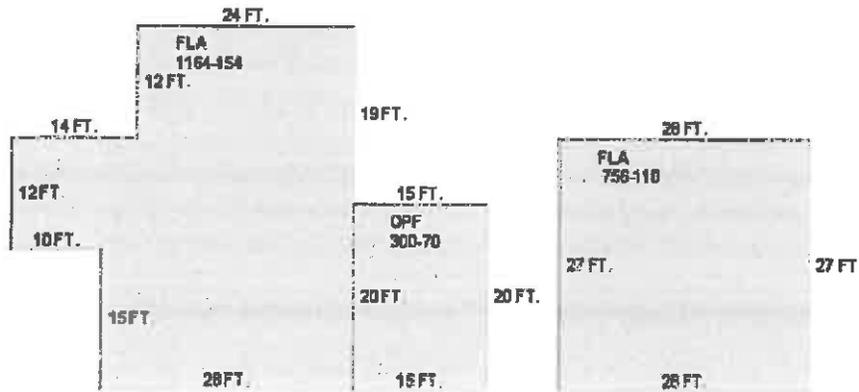
Roof Cover WOOD SHINGLE  
 Heat 2 NONE  
 Heat Src 2 NONE

Foundation CONCR FTR  
 Bedrooms 4

Extra Features:

2 Fix Bath 0  
 3 Fix Bath 1  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 0

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	1:WD FRAME/COMPOSITE	1	1993	N N	0.00	0.00	1,164
2	OPF		1	1993	N N	0.00	0.00	300
3	FLA	1:WD FRAME/COMPOSITE	1	1993	N N	0.00	0.00	756

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
		TOURIST ATTRAC-B-	100	N	N
		TOURIST ATTRAC-B-	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
	AB AVE WOOD SIDING	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PO5:COMM POOL	1,560 SF	0	0	2001	2002	5	50
2	FN2:FENCES	3,318 SF	0	0	1937	1938	5	30
3	PT5:TILE PATIO	150 SF	0	0	1939	1940	5	50
4	UB2:UTILITY BLDG	196 SF	0	0	1944	1945	5	50

5	PT3:PATIO	480 SF	0	0	1954	1955	1	50
6	PT5:TILE PATIO	350 SF	0	0	1954	1955	3	50
7	FN2:FENCES	960 SF	0	0	1984	1985	2	30
8	PT4:PATIO	600 SF	0	0	2004	2005	4	50

### Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
09-2429	10/23/2009		2,000	Commercial	SEAL EXISTING BALCKTOP WITH ROLL ON BLACK ASPHALT SESALER. REMOVE BROKEN CRUMBLING BLACKTOP AROUND TREE AND HAVE AS DIRT PAINTING PARKING AND BUMPERS.
B944075	12/01/1994	08/01/1995	4,500		REPAIR SPALLED CONCRETE
A950318	01/01/1995	08/01/1995	1,500		SIGN
A950419	02/01/1995	08/01/1995	1,775		8 SQS ASPHALT SHINGLE ROO
A953383	10/01/1995	12/01/1995	6,415		12 SQRS WOOD SHAKES
9601535	04/01/1996	08/01/1996	10,000		RENOVATION
9603150	07/01/1996	08/01/1996	20,000		RENOVATION
9603270	08/01/1996	08/01/1996	20,000		RENOVATION
9701810	06/01/1997	07/01/1997	200		PLUMBING
9701574	05/01/1997	07/01/1997	3,500		PLUMBING
9701852	08/01/1997	08/01/1997	89,445		RENOVATION
9800733	03/24/1998	12/12/1998	800		INSTALL 15 LIGHTS ONLY
9802542	08/26/1998	12/12/1998	19,083		ROOF
00-1646	06/16/2000	11/13/2001	65,000		2 BATHROOMS & ADDITION
01-3136	10/05/2001	11/13/2001	35,000		RESURFACE POOL
03-0572	02/28/2003	01/30/2003	2,300		REPAIR SOFFIT & FACIA
03-0572	02/28/2003	10/30/2003	2,300		REPAIRED EXTERIOR
03-3222	09/09/2003	10/30/2003	1,700		COVERED CHIMMY
04-2327	07/13/2004	11/23/2004	6,000		STONE PAVEMENT

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	957,165	113,948	1,295,443	2,366,556	2,366,556	0	2,366,556
2012	1,006,888	116,300	1,295,443	2,418,631	2,418,631	0	2,418,631
2011	880,674	94,476	1,727,257	2,702,407	2,702,407	0	2,702,407
2010	909,944	96,239	1,502,748	2,508,931	2,508,931	0	2,508,931
2009	919,122	98,001	2,358,846	3,375,969	3,375,969	0	3,375,969
2008	923,710	99,764	2,808,000	3,831,474	3,831,474	0	3,831,474
2007	779,339	82,362	2,808,000	3,669,701	3,669,701	0	3,669,701

2006	774,173	83,699	3,369,600	4,227,472	4,227,472	0	4,227,472
2005	778,490	85,036	2,620,800	3,484,326	3,484,326	0	3,484,326
2004	774,660	80,252	2,620,800	3,475,712	3,475,712	0	3,475,712
2003	752,191	81,469	936,000	1,769,660	1,769,660	0	1,769,660
2002	562,432	82,787	936,000	1,581,219	1,581,219	0	1,581,219
2001	544,771	46,417	936,000	1,527,188	1,527,188	0	1,527,188
2000	544,771	17,574	823,680	1,386,025	1,386,025	0	1,386,025
1999	487,859	17,611	823,680	1,329,150	1,329,150	0	1,329,150
1998	487,809	17,661	823,680	1,329,150	1,329,150	0	1,329,150
1997	562,651	17,699	748,800	1,329,150	1,329,150	0	1,329,150
1996	562,614	17,736	748,800	1,329,150	1,329,150	0	1,329,150
1995	562,564	17,786	748,800	1,329,150	1,329,150	0	1,329,150
1994	562,526	17,824	748,800	1,329,150	1,329,150	0	1,329,150
1993	571,752	8,598	748,800	1,329,150	1,329,150	0	1,329,150
1992	571,752	8,598	748,800	1,329,150	1,329,150	0	1,329,150
1991	571,752	8,598	748,800	1,329,150	1,329,150	0	1,329,150
1990	749,592	8,598	570,960	1,329,150	1,329,150	25,000	1,304,150
1989	758,952	8,598	561,600	1,329,150	1,329,150	25,000	1,304,150
1988	749,417	8,598	486,720	1,244,735	1,244,735	25,000	1,219,735
1987	754,248	8,598	458,640	1,221,486	1,221,486	25,000	1,196,486
1986	697,660	8,598	449,280	1,155,538	1,155,538	25,000	1,130,538
1985	693,456	8,598	449,292	1,151,346	1,151,346	25,000	1,126,346
1984	242,653	8,598	314,504	565,755	565,755	25,000	540,755
1983	242,787	8,598	178,877	430,262	430,262	25,000	405,262
1982	241,860	8,598	124,242	374,700	374,700	25,000	349,700

### Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/1/1994	1309 / 1730	2,500,300	WD	M

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Monroe County Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176