



**Historic Architectural Review Commission
Staff Report for Item 16**

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Jared Beck
Consultant

Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: February 27, 2024

Applicant: Owen Trepanier & Assoc. Inc.

Application Number: H2024-0011

Address: 718 Southard Street

Description of Work:

After-the-Fact demolition of a contributing house.

Site Facts:

The building under review was a contributing resource to the historic district. The one-story frame vernacular house was built c. 1889 according to the historic resources survey. The 1892, 1899, 1912, 1926, 1948, and 1962 Sanborn Maps depict the same structure on this parcel. Modifications were done with a rear addition, and concrete floors and steps on the front porch.

In April 2022 a Certificate of Appropriateness was approved at staff level for window replacements. The building permit scope of work (BLD2022-1004), was as follows with the note from the HARC Planner:

4/13/2022 3:50:23 PM (Enid Torregrosa)

NEW WINDOW INSTALLATION NEW WALL PETITION INSTALL FRAMING NEW INTERIOR DOORS & MILL WORK NEW FLOORING NEW COLUMNS BACK OF STRUCTURE POOL DECKING REPAIR POOL STORAGE AREA & ART STUCCO. N.O.C. REQUIRED. HARC INSPECTION REQUIRED. GH

All windows on historic portion of the house are specified as wood units. ET

The original contractor hired by the owner submitted the above scope of work on the building permit but on file there is no application for exterior demolition. The current state of the house is that new framing is supporting new exterior sheathing, the four front porch columns and front door are still standing, as well as the concrete front porch floor and steps. The roof was also demolished. The owner and the current new contractor were not involved in the destruction of the historic and contributing house.

A building permit had been submitted by a new contractor for “*Complete Build Out-floor to ceiling 2/2, living, kitchen*” for reconstruction of the house to return it to its original footprint. According to the building permit request “*Original contractor lost front new historic windows. (2) New wooden impact being ordered for those specifically.*”



Circa 1965 photograph of 718 Southard Street. Monroe County Library.



718 Southard Street prior to demolition.



Current front elevation.

Ordinance Cited on Review:

- Section 102-218 – Criteria for demolitions
 - (a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:
 - (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the criteria of section **102-125** (1) through (9).

Staff were never informed by the engineer of record that the house was irrevocably compromised by extreme deterioration. The CBO never opined that the historic house was unsafe before the demolition took place.

- (2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the historic architectural review commission.

There is no historic or contributing building on the site.

The following is the criteria of section 102-125:

- (1) *Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.*

Staff believes that the structure that used to be in the site was distinctive of the type and period of construction and added historic significance in the neighborhood and city. Unfortunately, as the structure was demolished no further assessment can be done.

- (2) *Is not specifically associated with events that have made a significant contribution to local, state, or national history.*

It is staff understanding that no significant events have ever happened in the site relevant to local, state, or national history.

- (3) *Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation, and is not associated with the life of a person significant in the past.*

The house was listed as a contributing resource therefore it used to have significant character in both the neighborhood and city's history. As the building has been demolished the character has been lost.

(4) Is not the site of a historic event with a significant effect upon society.

The site is not associated with any significant event.

(5) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

The house cannot be evaluated as an example of social, cultural, or historic heritage of the city as it has been destroyed due to the after the fact demolition.

(6) Does not portray the environment in an era of history characterized by a distinctive architectural style.

The house in question was a historic contributing resource. The house cannot be evaluated as a fine example of a distinctive architectural style or environment in an era as it has been destroyed due to the after the fact demolition.

(7) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

This is not the case.

(8) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and

The house cannot be evaluated as it has been destroyed due to the after-the-fact demolition.

(9) Has not yielded, and is not likely to yield, information important in history.

The house cannot yield information important in history as it is already demolished without a certificate of appropriateness.

Staff Analysis:

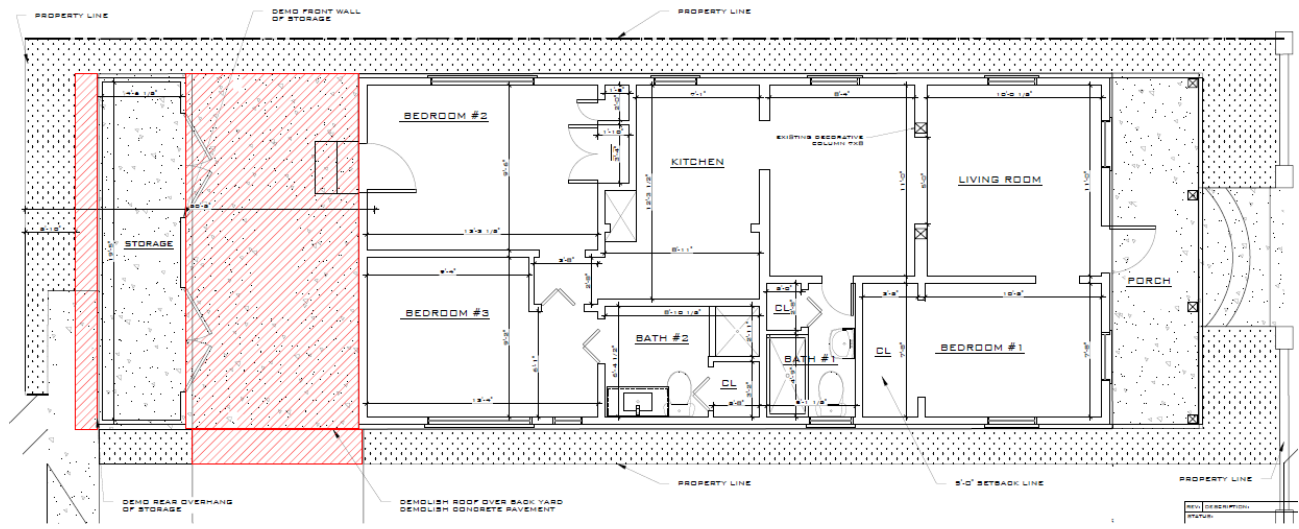
A Certificate of Appropriateness is under review for after-the-fact demolition of a contributing house. The house in its prior condition was a quality example of historic Key West architecture and the period of construction. Staff understands a permit had previously been issued for major interior renovation that would have retained the exterior historic fabric of the home, because of its historic significance in the neighborhood and city.



718 Southard Street prior to demolition.



718 Southard Street prior to demolition.



Original demolition plan.

Consistency with Guidelines Cited Ordinances

It is the staff’s opinion that the proposed After-the-Fact Certificate of Appropriateness H2024-0011 for the demolition of 718 Southard Street does not conform with the cited ordinances. The engineer of record never claimed that the historic house was irrevocable compromised by extreme deterioration. At this point, due to the demolition of the house, staff opines that this contributing building still possessed its architectural and historic qualities to continue its designation prior to its unfortunate demolition and therefore cannot recommend approval of this after the fact request.

If, on the contrary, the Commission finds the after-the-fact demolition to be consistent with the demolition criteria, this will be one of two required readings for demolition.

APPLICATION

* Received, but incomplete until pre-application is submitted + fee paid

RECEIVED
JAN 30 2024
BY: TK

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA # HARC 2024-0011	REVISION # 0011	INITIAL & DATE TAK 1/30/24
FLOOD ZONE X	ZONING DISTRICT HHDR	BLDG PERMIT # BLD2023-2466 BLD2023-2469

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	718 Southard Street, Key West, FL 33040	
NAME ON DEED:	Manfroy, Alicia Ann Sep Property Trust 11/15/2017	PHONE NUMBER c/o (305) 293-8983
OWNER'S MAILING ADDRESS:	29115 Guava Lane	EMAIL c/o owen@owentrepanier.com
	Big Pine Key, FL 33043	
APPLICANT NAME:	Trepanier & Associates Inc	PHONE NUMBER (305) 293-8983
APPLICANT'S ADDRESS:	1421 First Street, Unit 101	EMAIL owen@owentrepanier.com
	Key West, FL 33040	
APPLICANT'S SIGNATURE:	<i>[Signature]</i>	DATE 01/29/2024

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS Yes RELOCATION OF A STRUCTURE No ELEVATION OF A STRUCTURE No
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES X NO _____ INVOLVES A HISTORIC STRUCTURE: YES X NO _____
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES _____ NO X

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: Renovate the SFH back to its original footprint. No variances are required since this is a renovation that is not expanding any non-conformities. CBO has determined the the house is not vanquished, therefore this is to be considered a renovation project. Full set of plans & site data are attached to this application.
MAIN BUILDING: Approx. 885 square foot single-family residence, renovating from 3 BR/2 BA to 2BR / 2BA, no change in total square footage.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX): 90% of house is demo'ed. Previous contractor demo'ed much more than the permit allowed. There is still a front porch, some original roof trusses, and portions of the structural flooring. Previous contractor was cited & fines by Code Compliance and will be referred to CEB for disciplinary action.

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): Existing accessory storage structure at rear of property, approx. 100 square feet. Existing accessory structure being remodeled to house pool equipment, art studio & storage with no change in total square footage.	
PAVERS:	FENCES:
DECKS: New 170 square foot wood deck to surround new pool at rear of property between main house & accessory storage structure.	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT): New 80 square foot pool at rear of property between main house & accessory storage structure.
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA # <i>H 2024-0011</i>	INITIAL & DATE
ZONING DISTRICT HHDR	BLDG PERMIT # BLD2023-2466 BLD2023-2469

ADDRESS OF PROPOSED PROJECT:	718 Southard Street, Key West, FL 33040
PROPERTY OWNER'S NAME:	Manfroy, Alicia Ann Sep Property Trust 11/15/2017
APPLICANT NAME:	Owen Trepanier, Trepanier & Associates Inc

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.***

PROPERTY OWNER'S SIGNATURE <i>[Signature]</i> Agent	Alicia Manfroy, 01/29/2024 DATE AND PRINT NAME
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DETAILED PROJECT DESCRIPTION OF DEMOLITION
Previous contractor, Moore Builders, demo'ed much more than the previous permit allowed. There is still a front porch, some original roof trusses, and portions of the structural flooring. Contractor was cited & fined by Code Compliance and will be appearing at CEB for disciplinary action.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
<p>Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):</p> <p>(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:</p> <p style="margin-left: 40px;">(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.</p> <p>The Chief Building Official has determined that the house is not totally vanquished and will therefore be considered a renovation project. New contractor has submitted a new permit application to renovate the house back to its original footprint.</p>
<p>(2) Or explain how the building or structure meets the criteria below:</p> <p style="margin-left: 40px;">(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.</p>

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

(d) Is not the site of a historic event with significant effect upon society.

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):

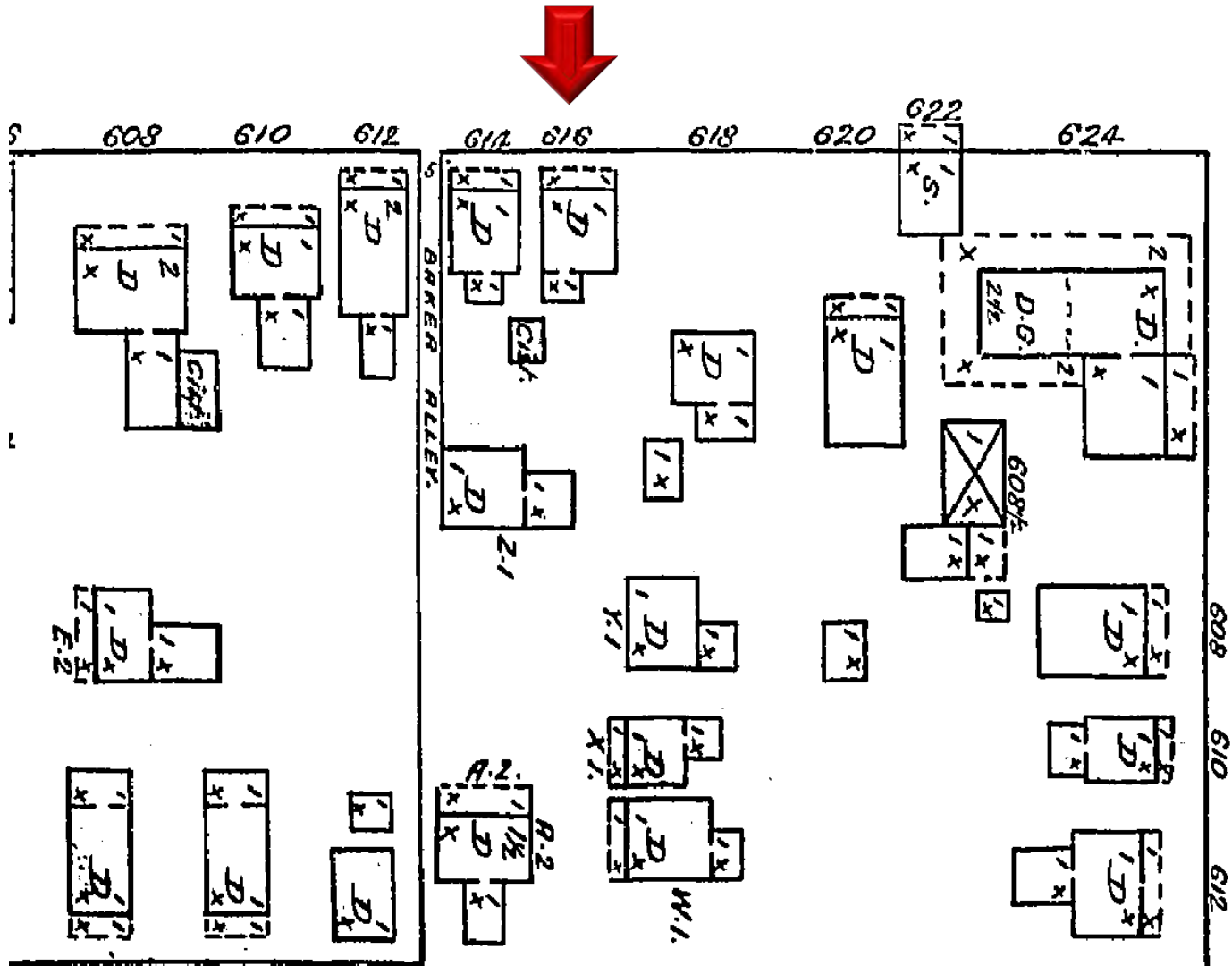
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

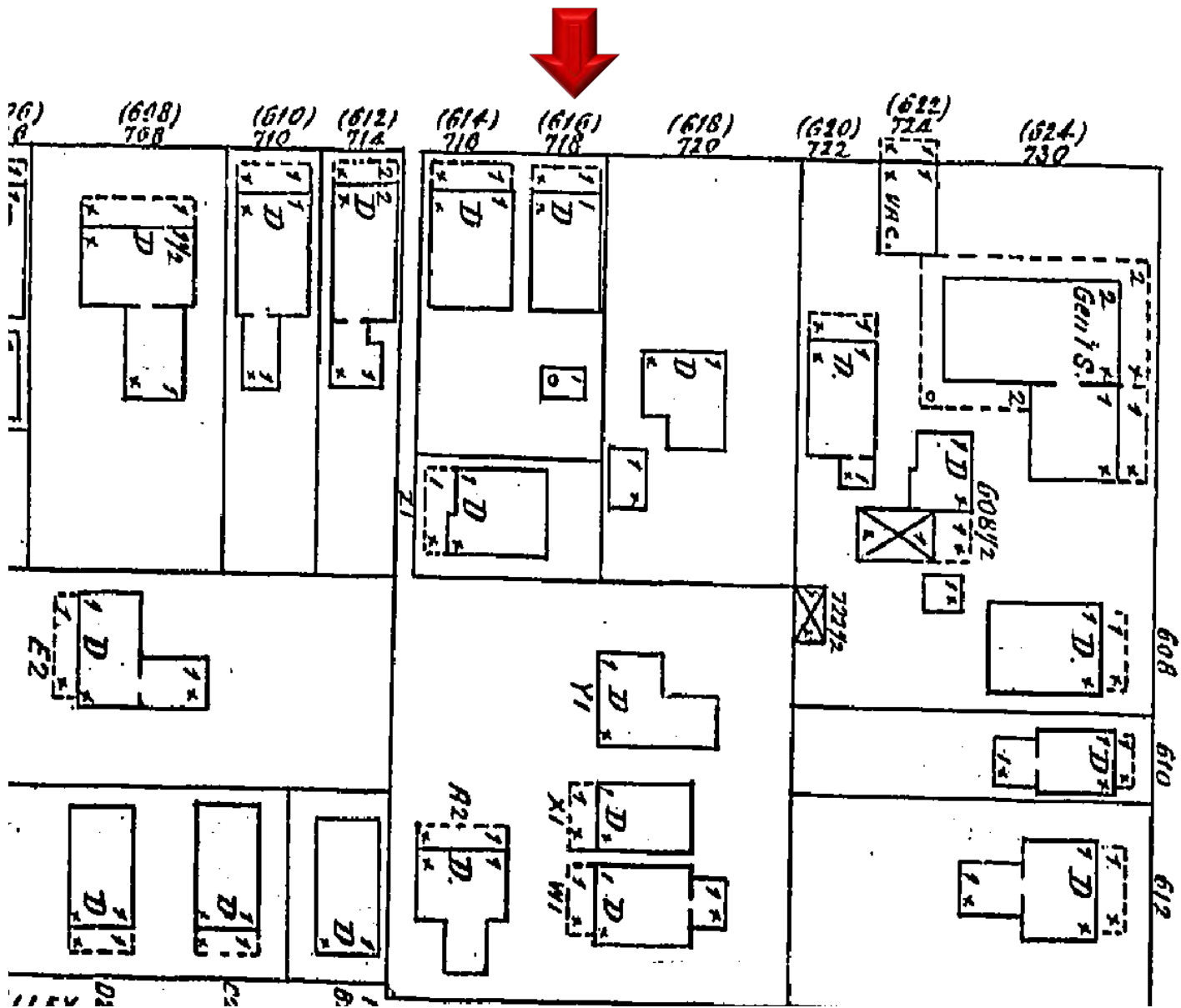
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

(4) Removing buildings or structures that would otherwise qualify as contributing.

SANBORN MAPS



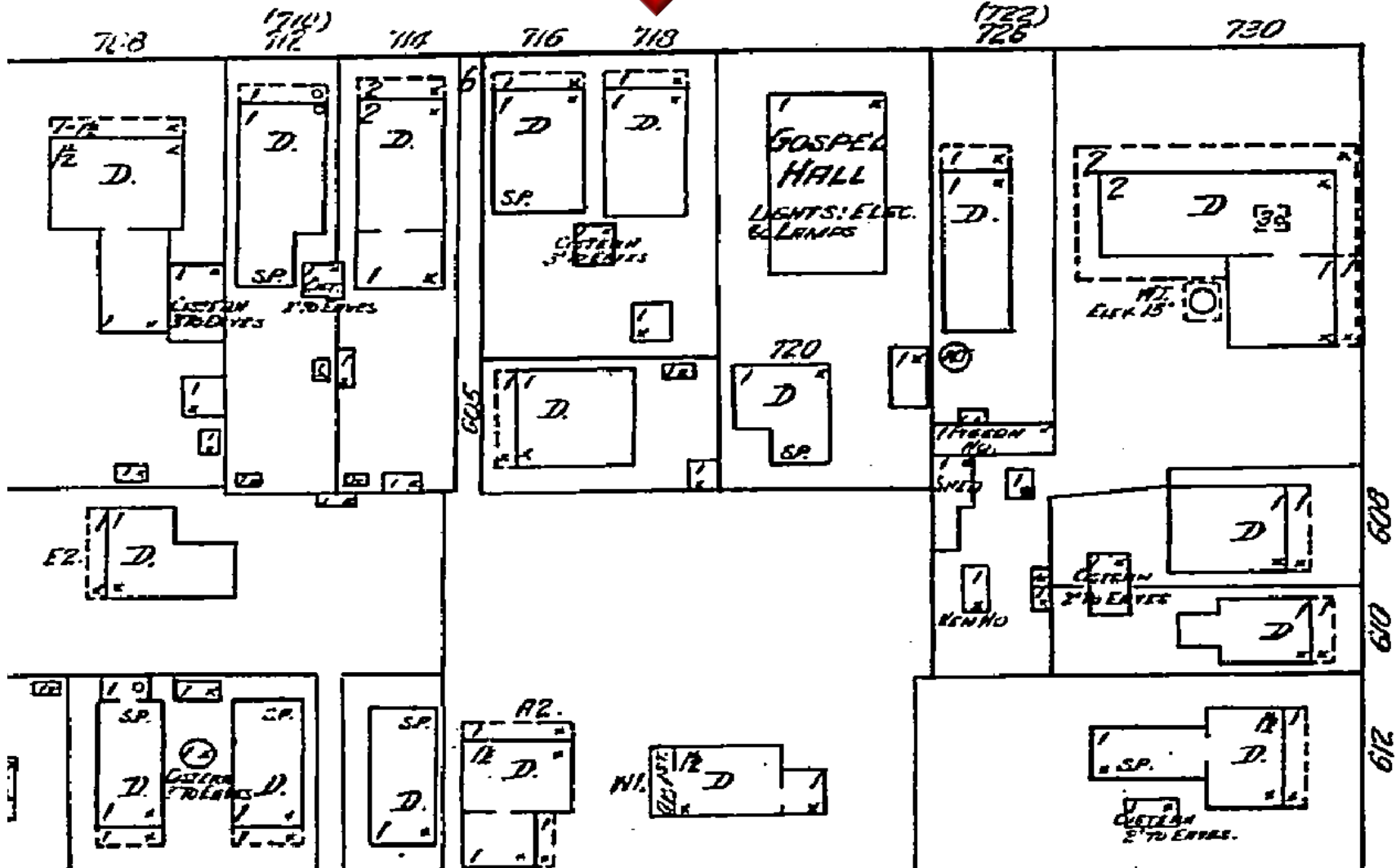
1892 Sanborn Map



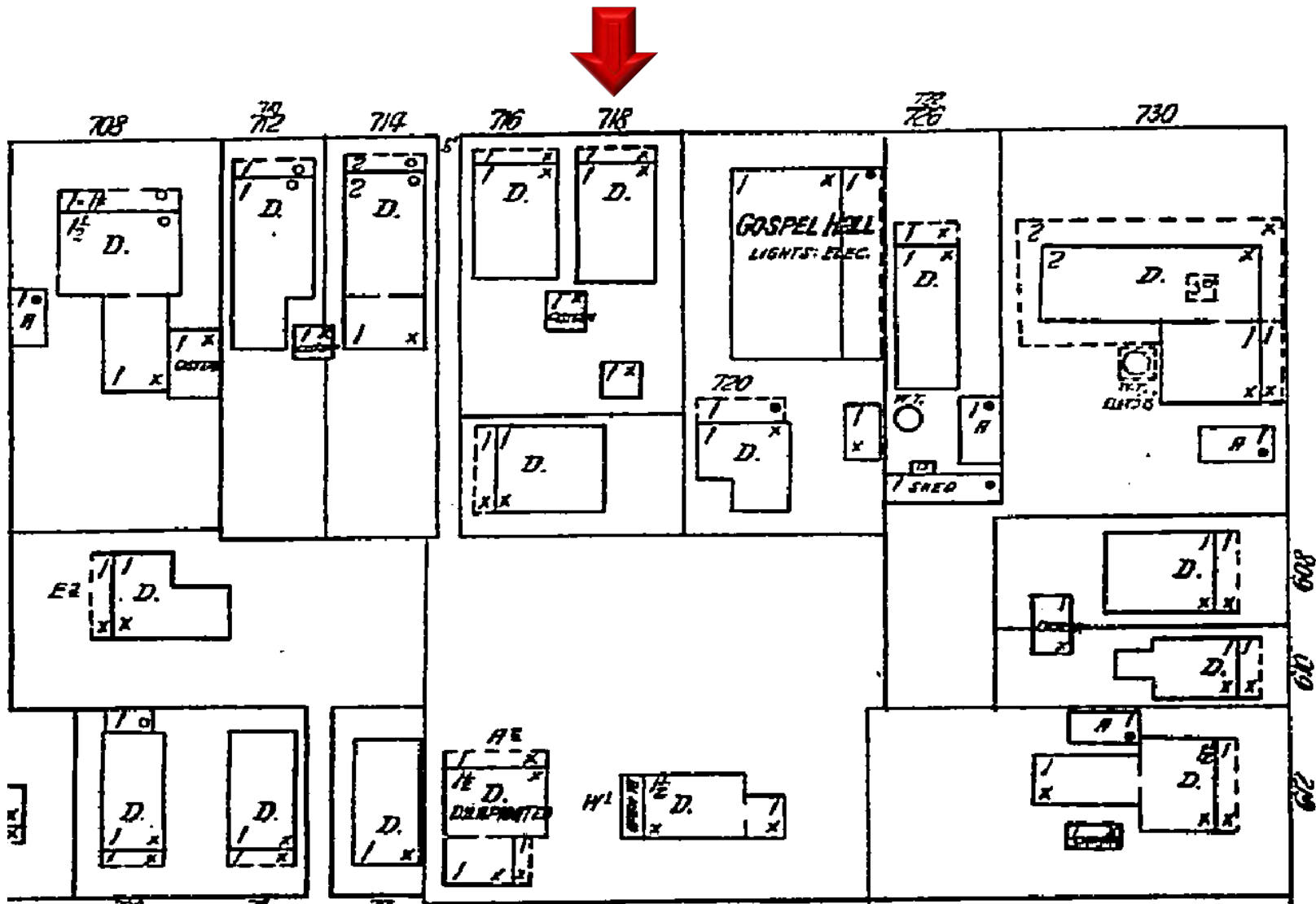
1899 Sanborn Map



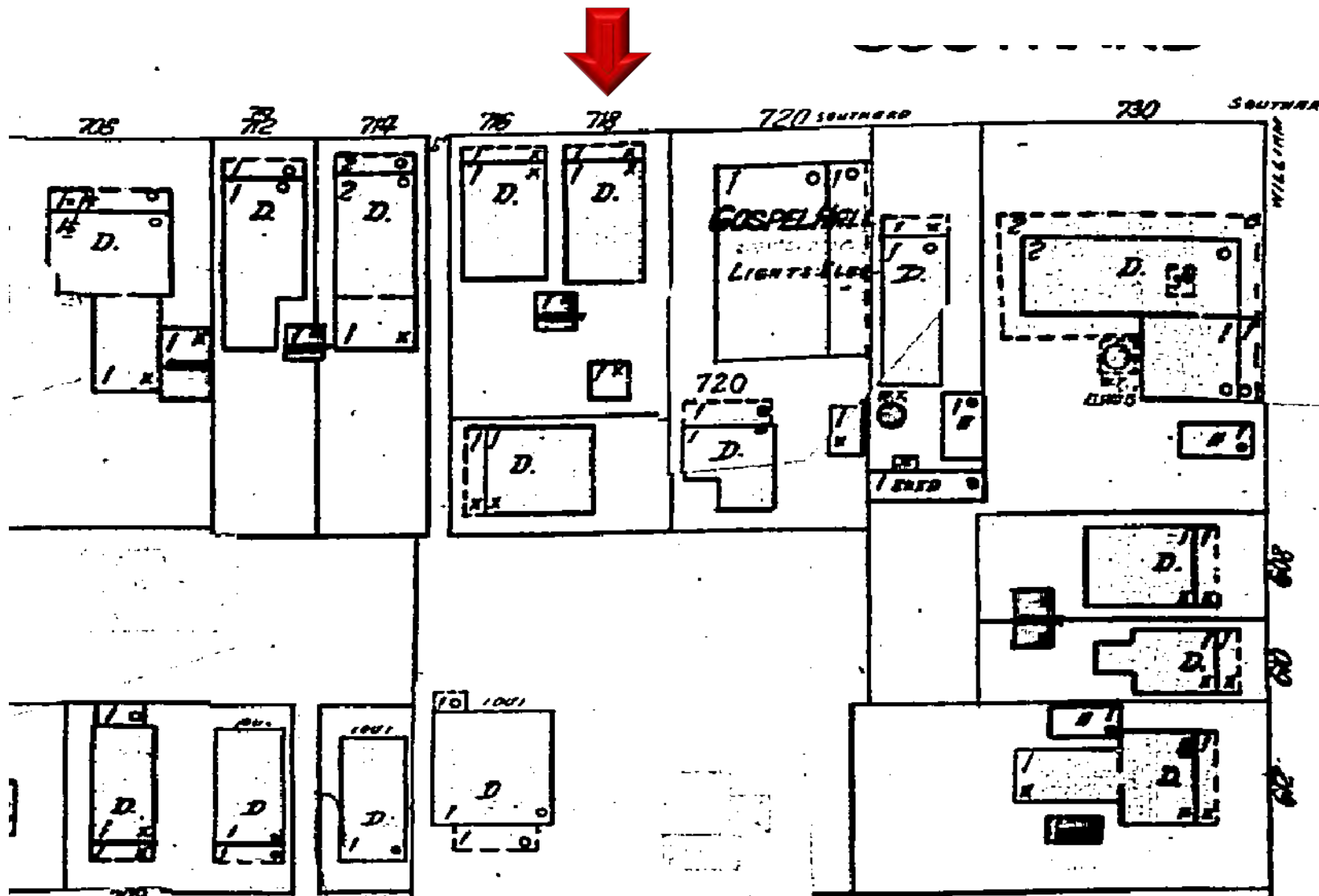
SOUTHWARD



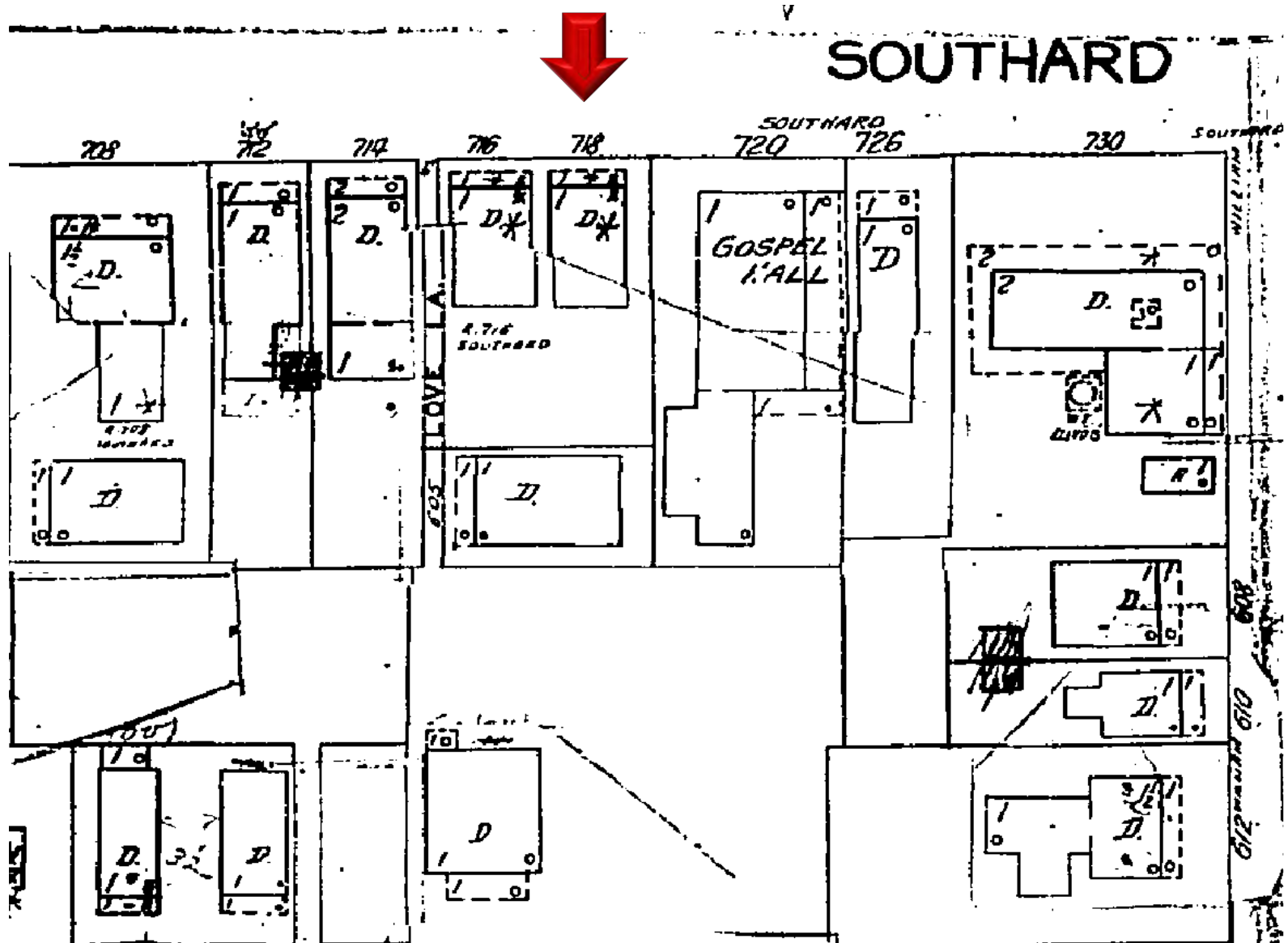
1912 Sanborn Map



1926 Sanborn Map



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



718 Southard Street circa 1965. Monroe County Library.

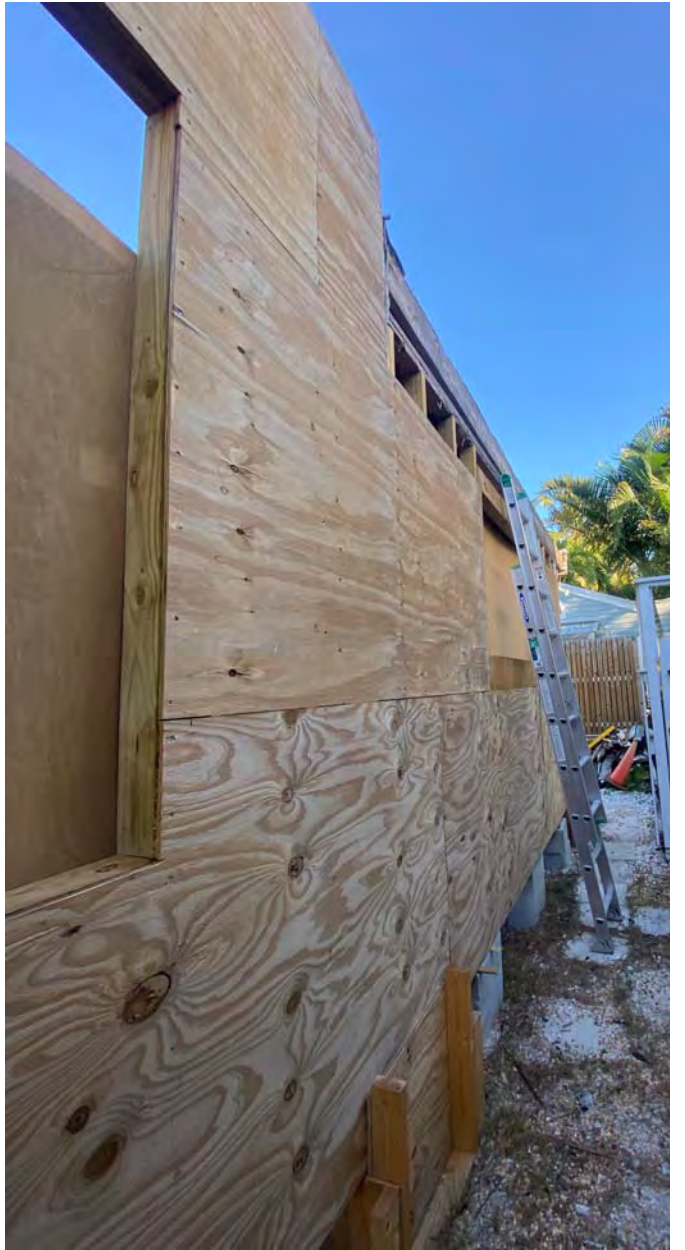
11-05-2020 01:29:17 PM GPS X= 24.556763 Y= -81.798963



11-05-2020 01:30:04 PM GPS X= 24.556808 Y= -81.798868

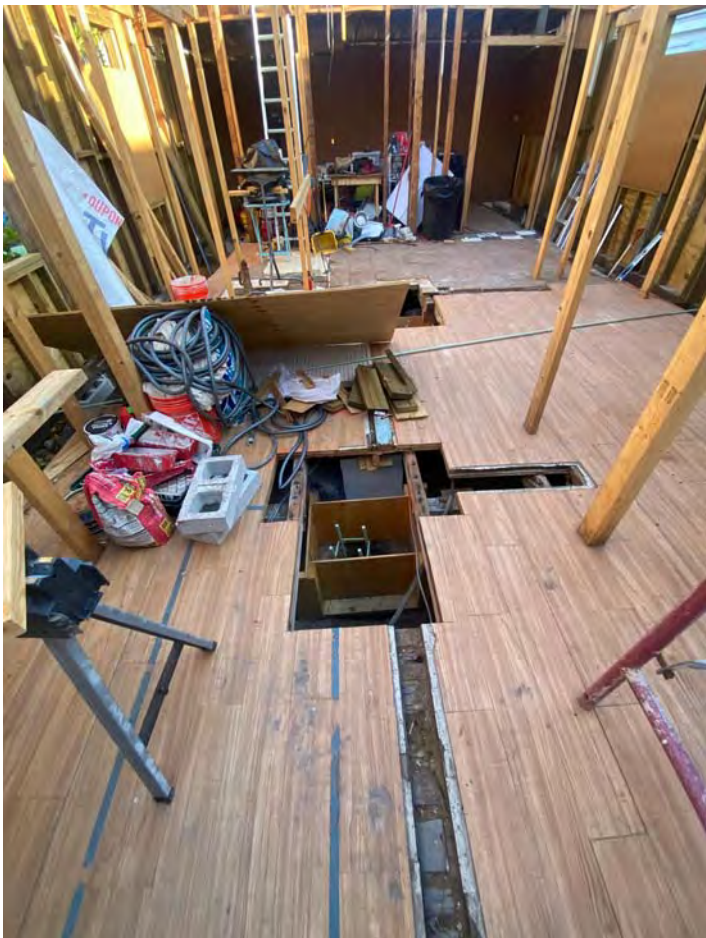










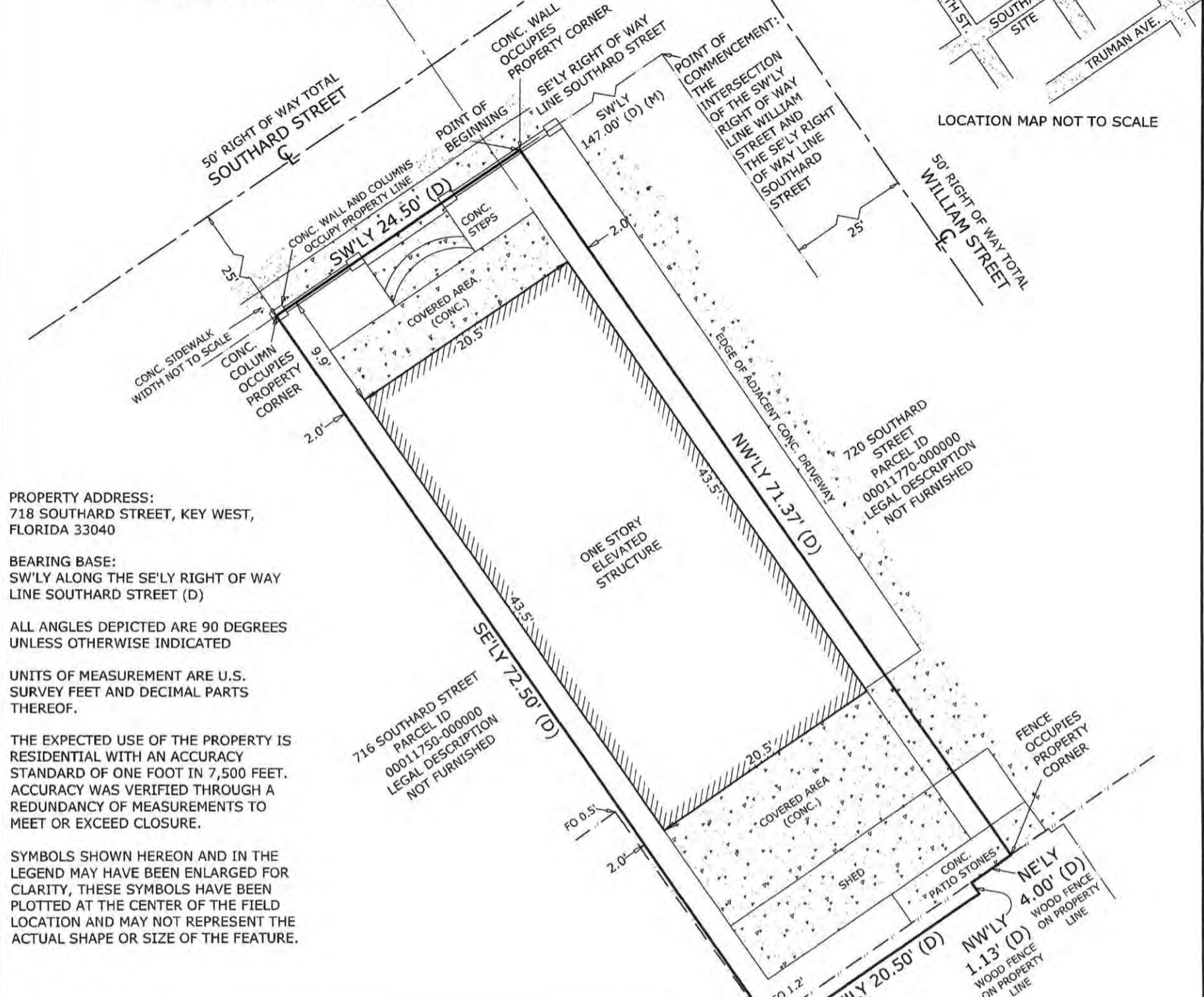




SURVEY

MAP OF BOUNDARY SURVEY

A PART OF LOT 2, SQUARE 59
WM. A. WHITEHEAD MAP OF KEY WEST
DELINEATED FEBRUARY A.D., 1829
MONROE COUNTY, FLORIDA



PROPERTY ADDRESS:
718 SOUTHARD STREET, KEY WEST,
FLORIDA 33040

BEARING BASE:
SW'LY ALONG THE SE'LY RIGHT OF WAY
LINE SOUTHARD STREET (D)

ALL ANGLES DEPICTED ARE 90 DEGREES
UNLESS OTHERWISE INDICATED

UNITS OF MEASUREMENT ARE U.S.
SURVEY FEET AND DECIMAL PARTS
THEREOF.

THE EXPECTED USE OF THE PROPERTY IS
RESIDENTIAL WITH AN ACCURACY
STANDARD OF ONE FOOT IN 7,500 FEET.
ACCURACY WAS VERIFIED THROUGH A
REDUNDANCY OF MEASUREMENTS TO
MEET OR EXCEED CLOSURE.

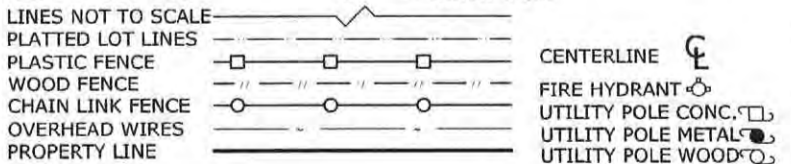
SYMBOLS SHOWN HEREON AND IN THE
LEGEND MAY HAVE BEEN ENLARGED FOR
CLARITY, THESE SYMBOLS HAVE BEEN
PLOTTED AT THE CENTER OF THE FIELD
LOCATION AND MAY NOT REPRESENT THE
ACTUAL SHAPE OR SIZE OF THE FEATURE.

CERTIFIED TO:
MICHAEL J. PHILLIPS

LEGAL DESCRIPTION (Official Records Book 1510, Page 964):
A parcel of land on the Island of Key West and known as part of Lot 2, in Square 59 according to Wm. A. Whitehead map of said Island delineated in February, A.D. 1829; said parcel being more particularly described by metes and bounds as follows: COMMENCING at the intersection of the SW'ly right of way line of William Street with the SE'ly right of way line of Southard Street and run thence SW'ly along the SE'ly right of way line of the said Southard Street for a distance of 147.0 feet to the point of Beginning; thence continue SW'ly along the said Southard Street for a distance of 24.50 feet; thence SE'ly and at right angles for a distance of 72.50 feet; thence NE'ly and at right angles for a distance of 20.50 feet; thence NW'ly and at right angles for a distance of 1.13 feet; thence NE'ly and at right angles for a distance of 4.0 feet; thence NW'ly and at right angles for a distance of 71.37 feet back to the point of Beginning.

GENERAL NOTES
1.) THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
2.) LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.
3.) THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.
4.) ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5.) FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN.
6.) MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

- ABBREVIATIONS:
- | | |
|-----------------------|-----------------------------|
| C = CALCULATED | M = MEASURED |
| CL = CENTERLINE | P = PLAT |
| CLF = CHAINLINK FENCE | POB = POINT OF BEGINNING |
| D = DEED | POC = POINT OF COMMENCEMENT |
| (F) = FIELD | ROL = ROOF OVERHANG LINE |
| FI = FENCE INSIDE | SCO = SANITARY CLEAN-OUT |
| FO = FENCE OUTSIDE | WDF = WOOD FENCE |
| FOL = FENCE ON LINE | WM = WATER METER |
| GW = GUY WIRE | WV = WATER VALVE |



SCALE:	1"=10'
FIELD WORK DATE:	06/22/20
REVISION DATE:	-/-
SHEETS:	1 OF 1
DRAWN BY:	GF
CHECKED BY:	RER
INVOICE NO.:	20061013

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1(SETBACKS), 1(B)3(ENCROACHMENTS), & 1(B)4(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

SIGNED: *[Signature]*
ROBERT E. REECE, PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS 5632

REECE & ASSOCIATES
PROFESSIONAL SURVEYORS AND MAPPERS
LICENSED BUSINESS (LB) NO. 7846
127 INDUSTRIAL ROAD, BIG PINE KEY, FL. 33043
OFFICE (305) 872 - 1348
EMAIL: INFO@REECESURVEYING.COM

PROPOSED DESIGN

CONSTRUCTION DRAWINGS FOR 718 SOUTHARD ST

SITE LOCATION



LOCATION MAP:

PROJECT LOCATION:
718 SOUTHARD,
KEY WEST, FL 33040

CLIENT:
ALICIA MANFROY

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS:		FINAL	



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT:
ALICIA MANFROY

PROJECT:
718 SOUTHARD ST

SITE:
718 SOUTHARD ST.
KEY WEST, FL 33040

TITLE:
COVER

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	02/05/22	DA	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	G-100	1	

GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

SUBMITTALS:

1. THE CONTRACTOR SHALL PROVIDE 5 ORIGINAL SUBMITTALS FOR ALL MATERIALS, PRODUCTS, AND ACCESSORIES USED FOR THIS PROJECT (NO EXCEPTIONS).
2. ALL SUBMITTALS SHALL BE REVIEWED, APPROVED, DATED AND SIGNED BY THE GENERAL CONTRACTOR REPRESENTATIVE PRIOR SUBMITTING FOR ENGINEERS REVIEW.
3. THE CONTRACTOR SHALL PREPARE AND MAINTAIN SUBMITTAL LOG FOR ALL PRODUCT WITH LIST OF ALL SUBMITTALS, THEIR STATUS AND DATES OF SUBMITTAL AND APPROVAL.
4. THE CONTRACTOR SHALL PLAN IN ADVANCE FOR TIMELY PREPARATION OF ALL SUBMITTALS AND ALLOW 2-3 WEEKS FOR REVIEW AND CORRECTION PROCESS.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC 7TH EDITION (2020)
2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-16
 ROOF LIVE LOAD: 20 PSF (300 LB CONC.)
 BASIC WIND SPEED: 180 MPH
 EXPOSURE: D
 STRUCTURAL CATEGORY: II
 FLOOD ZONE: X
 FLOOD RESISTANT DESIGN AND CONSTRUCTION PER ASCE 24-14
 FLOOD DESIGN CLASS 2, WET FLOOD PROOFING

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS:

FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH A ALLOWABLE LOAD BEARING PRESSURE OF 3,000 PSF. NOTIFY THE ENGINEER OF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUGERCAST PILES

1. AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #6 REBAR VERTICALLY WITH #3 HOOPS AT 10" O.C. CONTRACTOR SHALL USE PLASTIC CHAIRS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY THE INDEPENDENT SPECIALIZED COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF TESTING COMPANY.
 THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.
 MINIMUM SAMPLING FREQUENCY:
 A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
 B) EVERY 50 CUBIC YARDS;
 C) EVERY 2000 SQ.FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS.
 LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED & SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBERS ERECTION TOLERANCES SHALL BE AS SPECIFIED IN TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 * ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

STRUCTURAL LUMBER

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE SOUTHERN PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC4B GRADE PER AWWA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 2020. NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

HARDWARE

1. HARDWARE SHALL BE 316 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.
2. ALL CONNECTORS SHALL HAVE STAINLESS STEEL SCREWS AND FASTENERS OR ACQ APPROVED TREATED (FOR NON EXPOSED LOCATIONS).

REINFORCED MASONRY (CMU)

1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'm) BE 1500 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE 304 STAINLESS STEEL LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBAR @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

STRUCTURAL STEEL

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 2005 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 ksi).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 ksi) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A36 (FY=36 ksi).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2020, STRUCTURAL WELDING CODE - STEEL.
6. BOLTS: HOT DIP GALVANIZED. A325N, A563DH HEX NUTS, F436 WASHERS.
7. ANCHOR BOLTS: HOT DIP GALVANIZED. A307 GRADE A, A563DH HEX NUTS, F844 WASHERS.

STRUCTURAL STEEL COATING

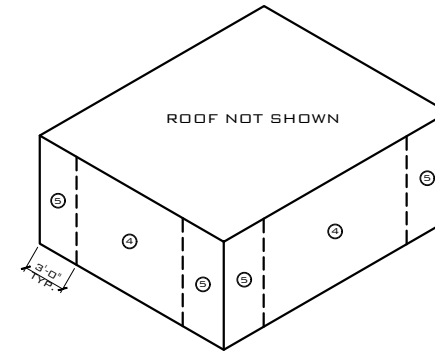
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10)
- EXPOSED STEEL:
 2. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
 3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
 4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
 5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
 6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
- NON-EXPOSED STEEL (INTERIOR):
 7. 2 COATS OF "SUMTER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL.

ALUMINUM COMPONENTS

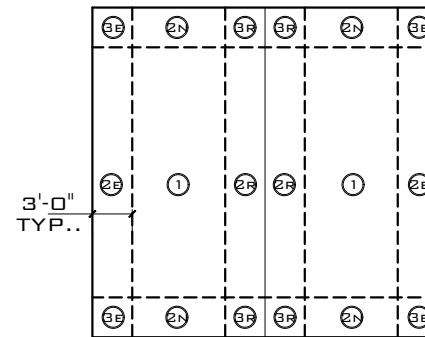
1. TYPE 6061-T6 ALUMINUM.
2. MIG WELDED ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.
- OPENINGS:
 1. ALL EXTERIOR WINDOWS & DOORS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED OR HAVE CODE COMPLIANT SHUTTERS.
 2. ALL EXTERIOR WINDOWS AND DOORS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NDA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
 3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

ENCLOSED - BUILDING - GABLE ROOF						
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)						
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT ²	MAX P, PSF	MIN P, PSF	
ZONE 1	1	1	1	+38.80	-71.14	
ZONE 2e	1	1	1	+38.80	-71.14	
ZONE 2N	1	1	1	+38.80	-78.33	
ZONE 2r	1	1	1	+38.80	-71.14	
ZONE 3e	1	1	1	+38.80	-121.44	
ZONE 3R	1	1	1	+38.80	-78.33	
ZONE 4	1	1	1	+42.20	-45.99	
ZONE 5	1	1	1	+42.20	-56.77	

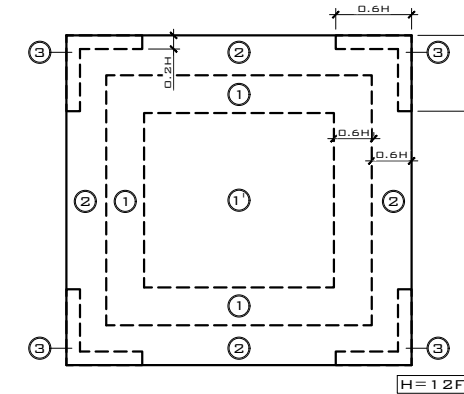
ENCLOSED - BUILDING - FLAT ROOF						
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)						
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT ²	MAX P, PSF	MIN P, PSF	
ZONE 1	1	1	1	+17.24	-67.51	
ZONE 1'	1	1	1	+17.24	-38.78	
ZONE 2	1	1	1	+17.24	-89.05	
ZONE 3	1	1	1	+17.24	-121.37	
ZONE 4	1	1	1	+42.20	-45.99	
ZONE 5	1	1	1	+42.20	-56.77	



WALLS WIND PRESSURES DIAGRAM
SCALE: NTS



ROOF WIND PRESSURES DIAGRAM GABLE ROOF
SCALE: NTS



ROOF WIND PRESSURES DIAGRAM FLAT ROOF
SCALE: NTS

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 DATE: _____

SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		

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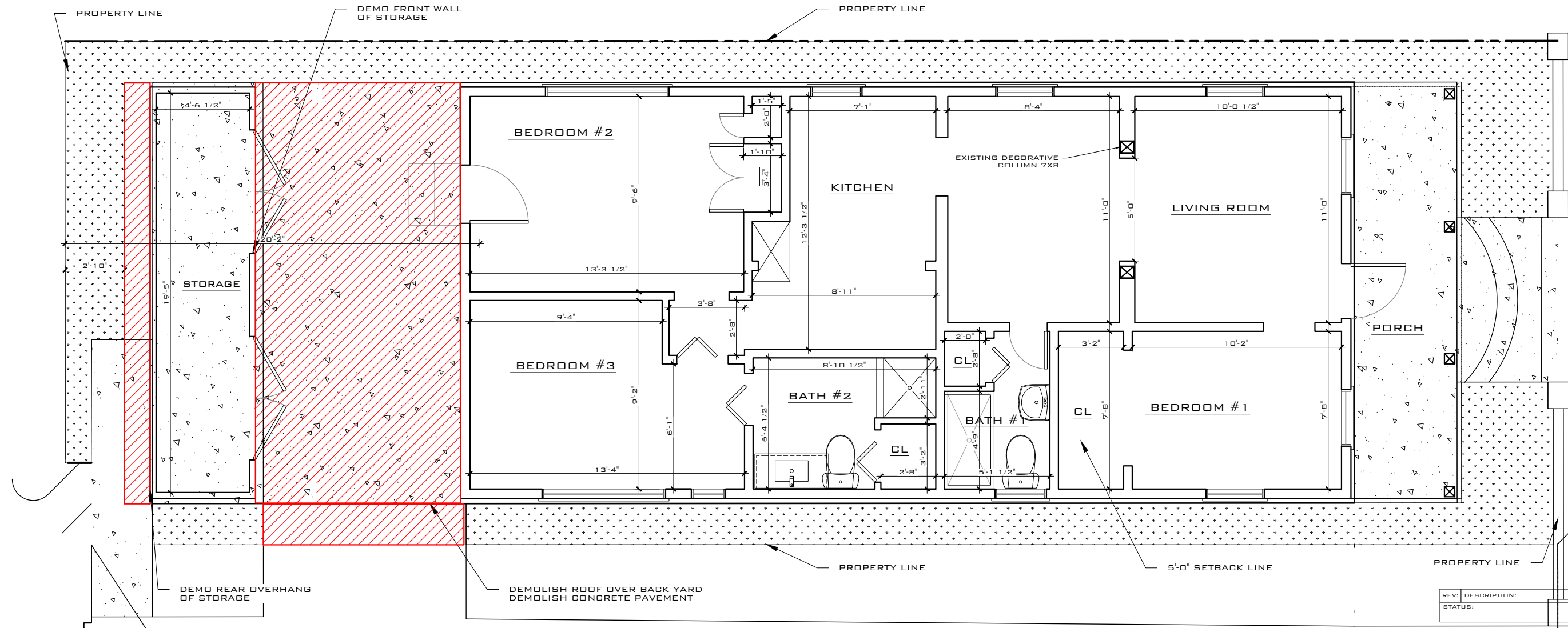
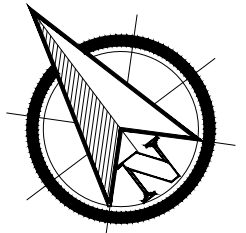
CLIENT: **ALICIA MANFROY**

PROJECT: **718 SOUTHARD ST**

SITE: **718 SOUTHARD ST.
KEY WEST, FL 33040**

TITLE: **GENERAL NOTES**

SCALE AT 1:1:	DATE:	DRAWN:	CHECKED:
AS SHOWN	02/05/22	OA	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	G-101	1	



EXISTING SITE PLAN / DEMO PLAN
 SCALE: 3/16" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			



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CLIENT:
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PROJECT:
718 SOUTHARD ST

SITE:
**KEY WEST, FL 33040
 718 SOUTHARD ST,**

TITLE:
EXISTING SITE PLAN

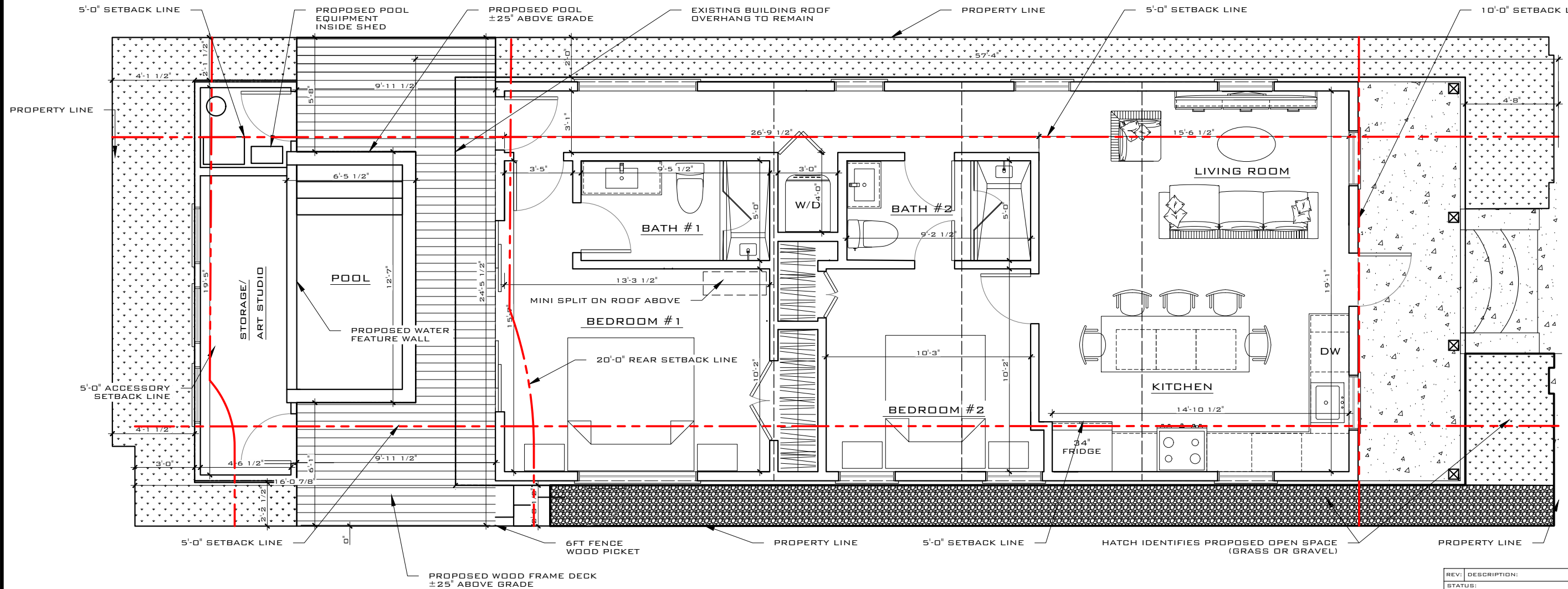
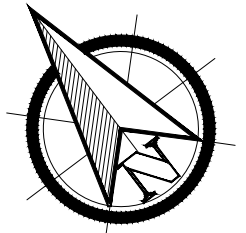
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AS SHOWN	10/27/21	DA	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	C-101	1	

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 STATE OF FLORIDA
 LICENSE NO 71480



PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"

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DATE: _____

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

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CLIENT:
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PROJECT:
718 SOUTHARD ST

SITE:
**KEY WEST, FL 33040
718 SOUTHARD ST,**

TITLE:
SITE PLAN

SCALE AT 11x17: AS SHOWN	DATE: 10/27/21	DRAWN: OA	CHECKED: SAM
PROJECT NO: 2109-08	DRAWING NO: C-102	REVISION: 1	

SITE DATA:

TOTAL SITE AREA: ±1,771.73 SQ.FT
LAND USE: HHDR (HISTORIC HIGH DENSITY RESIDENTIAL)
FLOOD ZONE: X

SETBACKS

FRONT:
REQUIRED 10'-0"
EXISTING 4'-8"
PROPOSED NO CHANGES

LEFT SIDE:
REQUIRED 5'-0"
EXISTING 2'-1/2"
PROPOSED NO CHANGES

RIGHT SIDE:
REQUIRED 5'-0"
EXISTING 2'-0"
PROPOSED NO CHANGES

REAR:
REQUIRED 20 FT
EXISTING 16'-1"
PROPOSED NO CHANGES

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED: 60% (1,063.04 SQ.FT.)
EXISTING 79.93 % (±1,416.13 SQ.FT.)
PROPOSED 70.70 % (±1,252.73 SQ.FT.)
IMPROVEMENT

MAXIMUM BUILDING COVERAGE:

REQUIRED 50% (885.86 SQ.FT.)
EXISTING 75.02% (±1,329.13 SQ.FT.)
PROPOSED 64.28% (±1,138.8 SQ.FT.)
IMPROVEMENT

OPEN SPACE MINIMUM:

REQUIRED 35% (620.1 SQ.FT.)
EXISTING 20.07% (±355.6 SQ.FT.)
PROPOSED 21.78% (±386.0 SQ.FT.)
IMPROVEMENT

ACCESSORY STRUCTURAL SETBACK:

FRONT:
REQUIRED 5'-0"
EXISTING 61'-8"
PROPOSED 57'-4"

LEFT SIDE:
REQUIRED 5'-0"
EXISTING 2'-2 1/2"
PROPOSED NO CHANGES

RIGHT SIDE:
REQUIRED 5'-0"
EXISTING 2'-3"
PROPOSED NO CHANGES

REAR:
REQUIRED 5'-0"
EXISTING 2'-9"
PROPOSED 4'-1-1/2"
IMPROVEMENT

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LICENSE NO 71480

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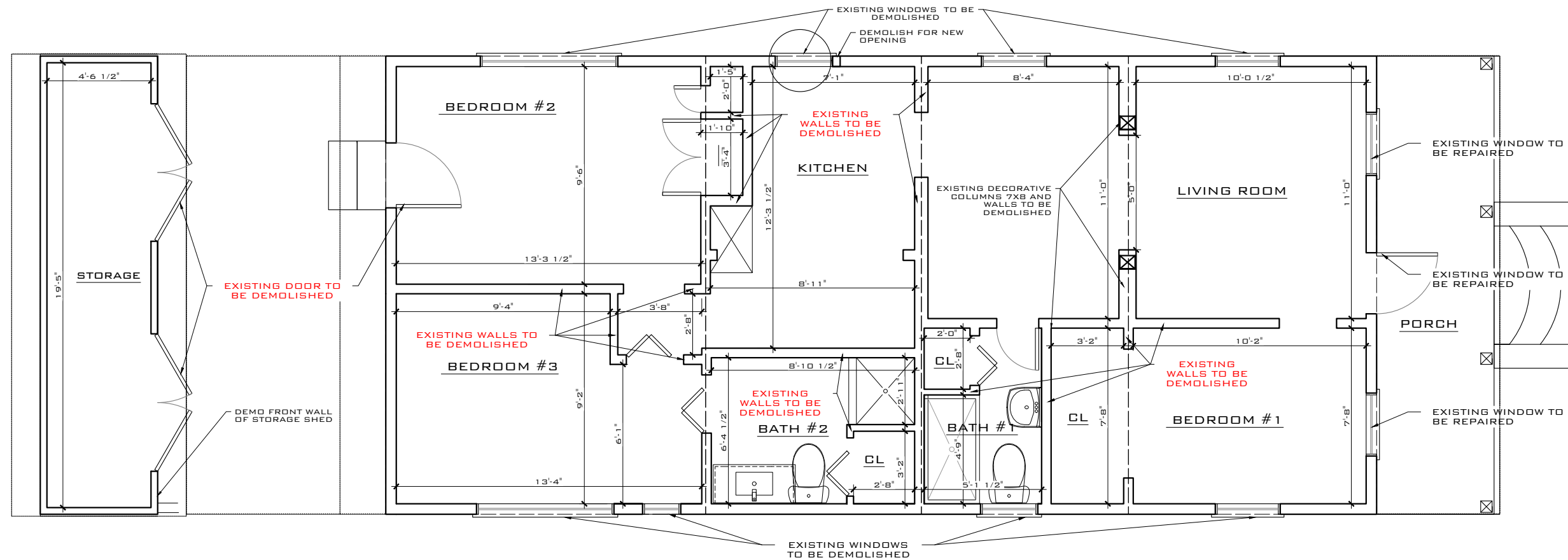
CLIENT:
ALICIA MANFROY

PROJECT:
718 SOUTHARD ST.

SITE:
718 SOUTHARD ST.
KEY WEST, FL 33040

TITLE:
SITE DATA

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	C-103	1	



EXISTING FLOOR PLAN
 SCALE: 3/16" = 1'-0"

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 STATE OF FLORIDA
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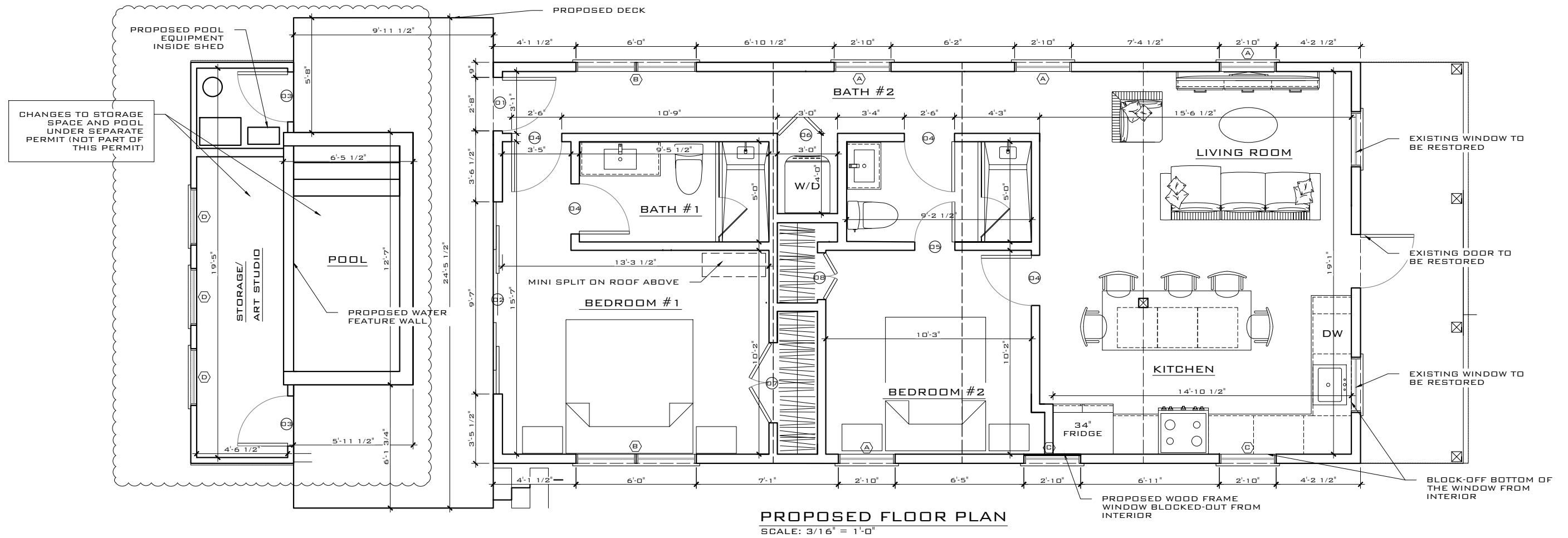
CLIENT:
ALICIA MANFROY

PROJECT:
718 SOUTHARD ST

SITE:
**718 SOUTHARD ST.
 KEY WEST, FL 33040**

TITLE:
EXISTING FLOOR PLAN

SCALE AT 1/16":	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	A-101	1	



PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

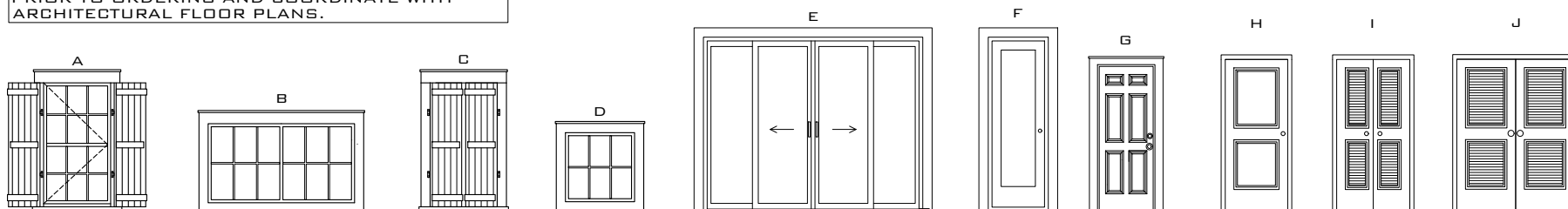
WINDOW SCHEDULE

SYMBOL	WIDTH	HEIGHT	DESCRIPTION	TYPE	MATERIALS	U FACTOR	SHGC	MANUFACTURER	+(PSF)	-(PSF)
A	2'-10"	5'-0"	CASEMENT, IMPACT, EGRESS	A	WOOD	SEE ENERGY CALCS	SEE ENERGY CALCS	MARVIN	+41.44	-45.03
B	6'-0"	3'-3"	CASEMENT, IMPACT	B	ALUMINUM	SEE ENERGY CALCS	SEE ENERGY CALCS	MARVIN	+42.02	-45.58
C	2'-10"	5'-0"	FIXED, IMPACT	C	WOOD	SEE ENERGY CALCS	SEE ENERGY CALCS	MARVIN	+40.56	-44.15
D	2'-10"	2'-10"	FIXED, IMPACT	D	ALUMINUM	SEE ENERGY CALCS	SEE ENERGY CALCS	MARVIN	+42.40	-45.99

DOOR SCHEDULE

SYMBOL	WIDTH	HEIGHT	DESCRIPTION	TYPE	MATERIALS	U FACTOR	SHGC	MANUFACTURER	+(PSF)	-(PSF)
D1	9'-7"	7'-0"*	SLIDING DOORS, IMPACT	E	ALUMINUM	SEE ENERGY CALCS	SEE ENERGY CALCS	MARVIN	+36.97	-40.57
D2	2'-8"	7'-0"*	SINGLE SWING, IMPACT	F	ALUMINUM	SEE ENERGY CALCS	SEE ENERGY CALCS	MARVIN	+40.48	-52.94
D3	2'-6"	6'-8"	ENTRY, SINGLE SWING, IMPACT	G	METAL	N/A	N/A	T.B.D.	+40.99	-53.95
D4	2'-6"	6'-8"	SINGLE SWING	H	WOOD	N/A	N/A	T.B.D.	N/A	N/A
D5	2'-0"	6'-8"	SINGLE SWING	H	WOOD	N/A	N/A	T.B.D.	N/A	N/A
D6	3'-0"	6'-8"	BI-FOLD, LOUVERED	I	WOOD	N/A	N/A	T.B.D.	N/A	N/A
D7	4'-0"	6'-8"	DOUBLE SWING, LOUVERED	J	WOOD	N/A	N/A	T.B.D.	N/A	N/A
D8	2'-4"	6'-8"	DOUBLE SWING, LOUVERED	J	WOOD	N/A	N/A	T.B.D.	N/A	N/A

NOTE: THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS OF FINISHED WALL SURFACES PRIOR TO ORDERING AND COORDINATE WITH ARCHITECTURAL FLOOR PLANS.



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STATUS:			



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CLIENT:
ALICIA MANFROY

PROJECT:
718 SOUTHARD ST.

SITE:
**KEY WEST, FL 33040
718 SOUTHARD ST.**

TITLE:
PROPOSED FLOOR PLAN

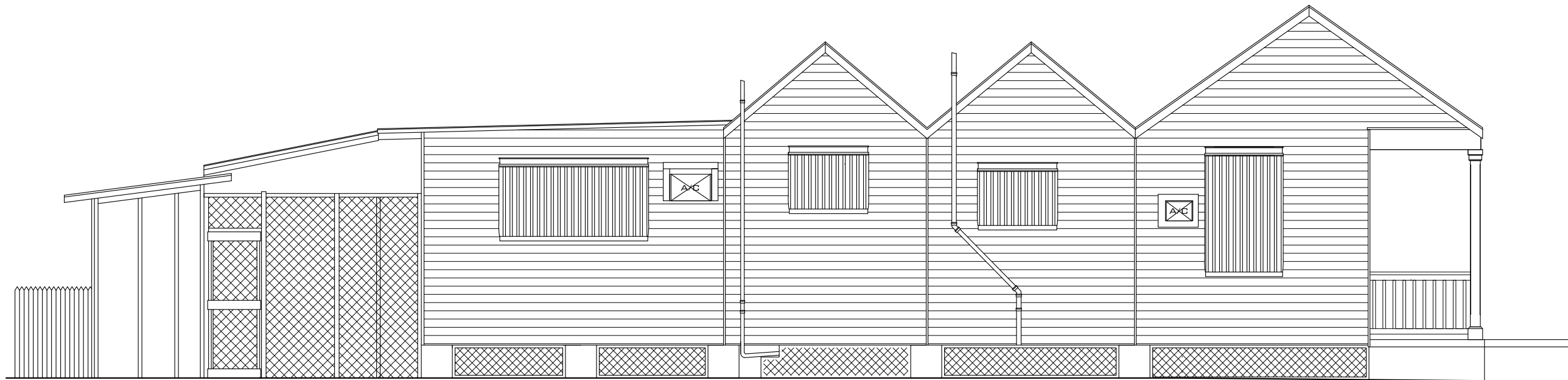
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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

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2109-08	A-102	1	



EXISTING LEFT ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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CLIENT:
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PROJECT:
718 SOUTHARD ST

SITE:
**718 SOUTHARD ST.
KEY WEST, FL 33040**

TITLE:
ELEVATIONS

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	02/05/22	DA	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	A-103	1	



EXISTING RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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DATE: _____

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STATE OF FLORIDA
LICENSE NO 71480

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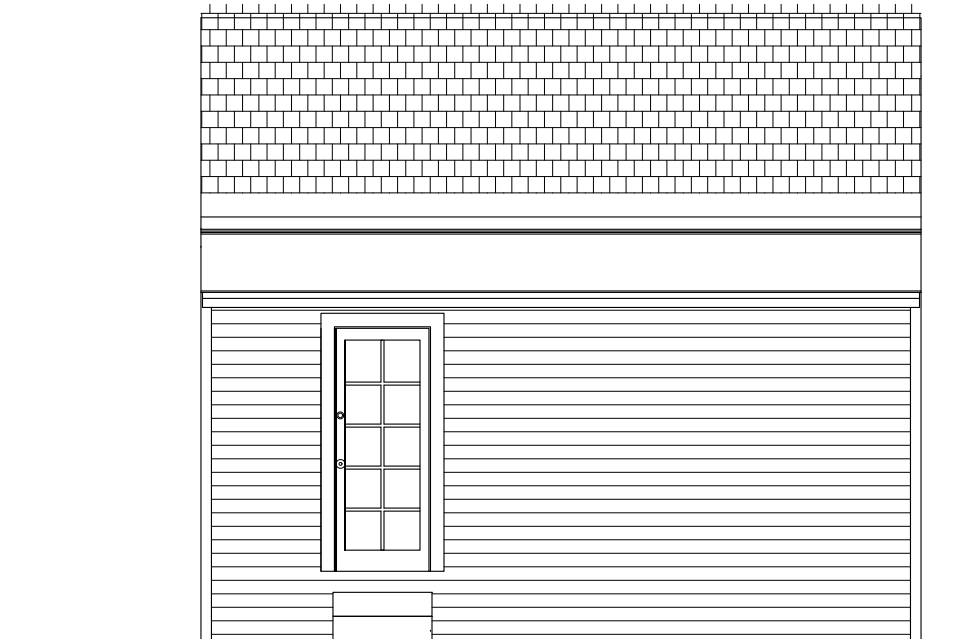
PROJECT:
718 SOUTHARD ST

SITE:
**718 SOUTHARD ST.
KEY WEST, FL 33040**

TITLE:
ELEVATIONS

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	02/05/22	DA	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	A-104	1	

- PROPOSED MINI SPLIT A/C
- PROPOSED WOOD FRAME WINDOWS
- PROPOSED WOOD SHUTTERS
- PROPOSED ALUMINUM WINDOWS
- PROPOSED DECK
- PROPOSED POOL
- PROPOSED WATER FEATURE WALL

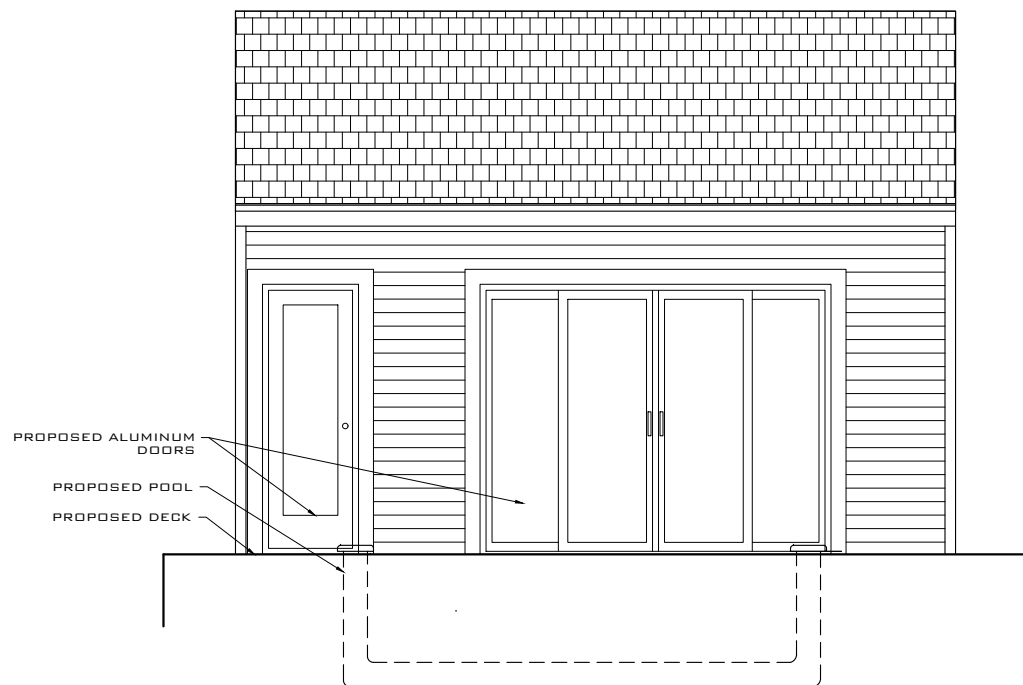


EXISTING REAR ELEVATION
SCALE: 3/16" = 1'-0"



NO CHANGES: REPAIR SIDING, DOORS AND WINDOWS

EXISTING FRONT ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED ALUMINUM DOORS
PROPOSED POOL
PROPOSED DECK

PROPOSED REAR ELEVATION
SCALE: 3/16" = 1'-0"

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SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

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	STATUS: FINAL		



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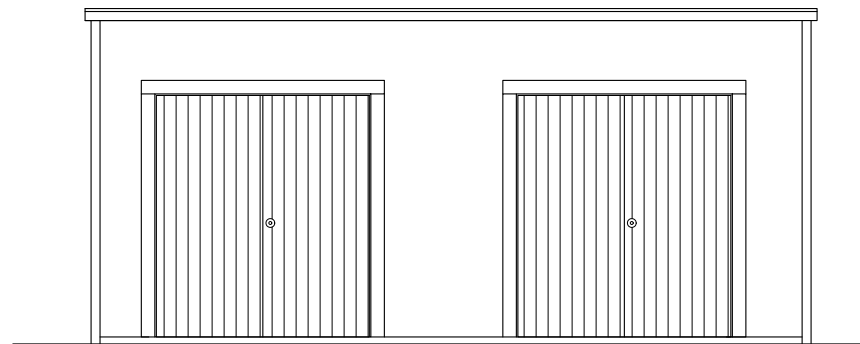
CLIENT:
ALICIA MANFROY

PROJECT:
718 SOUTHARD ST

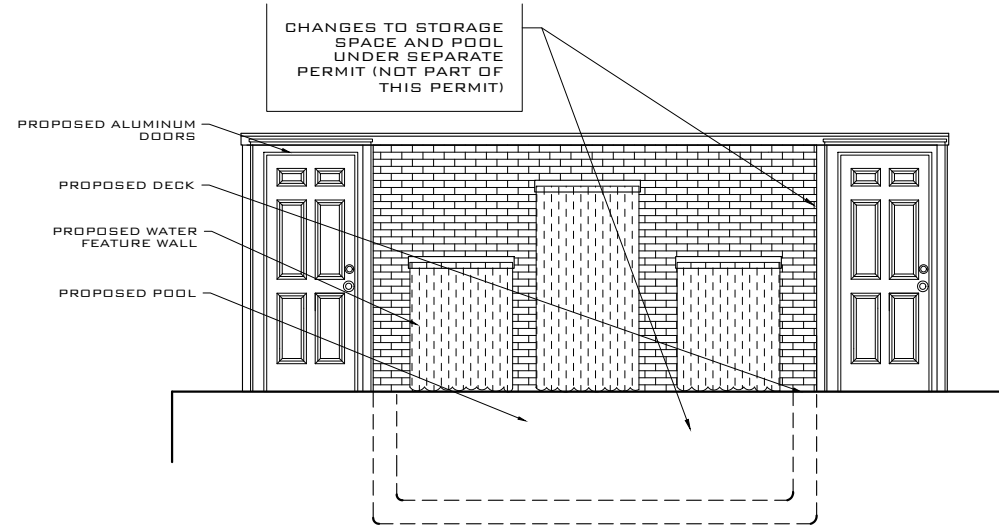
SITE:
**718 SOUTHARD ST.
KEY WEST, FL 33040**

TITLE:
ELEVATIONS

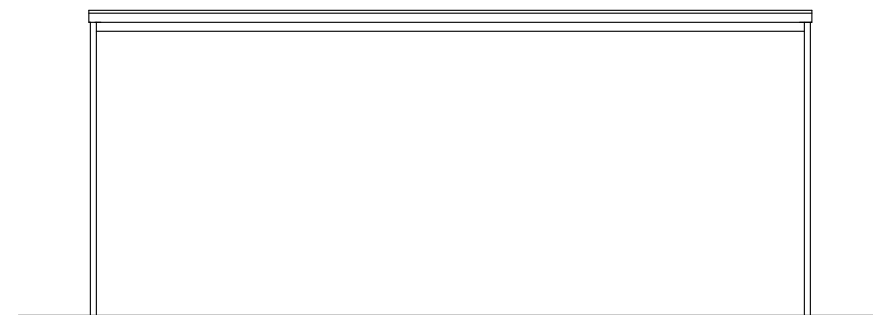
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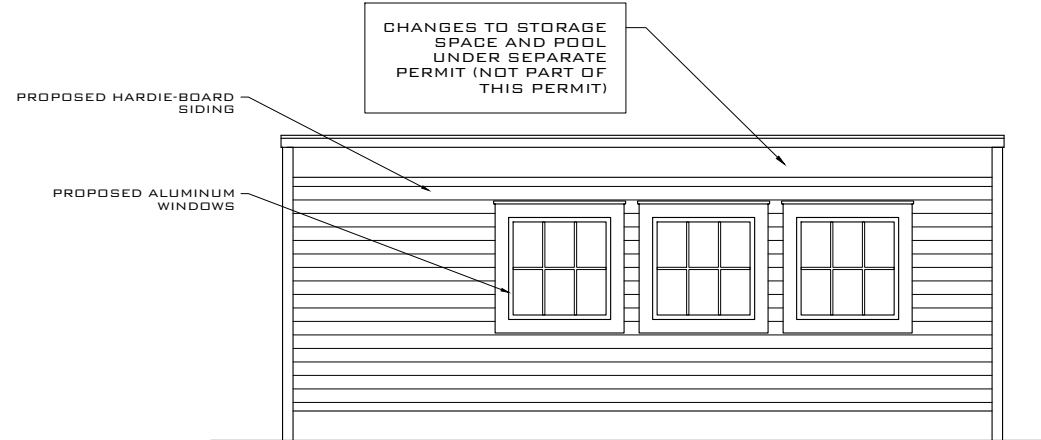
STORAGE
EXISTING FRONT ELEVATION
SCALE: 3/16" = 1'-0"



STORAGE
PROPOSED FRONT ELEVATION
SCALE: 3/16" = 1'-0"



STORAGE
EXISTING REAR ELEVATION
SCALE: 3/16" = 1'-0"



STORAGE
PROPOSED REAR ELEVATION
SCALE: 3/16" = 1'-0"

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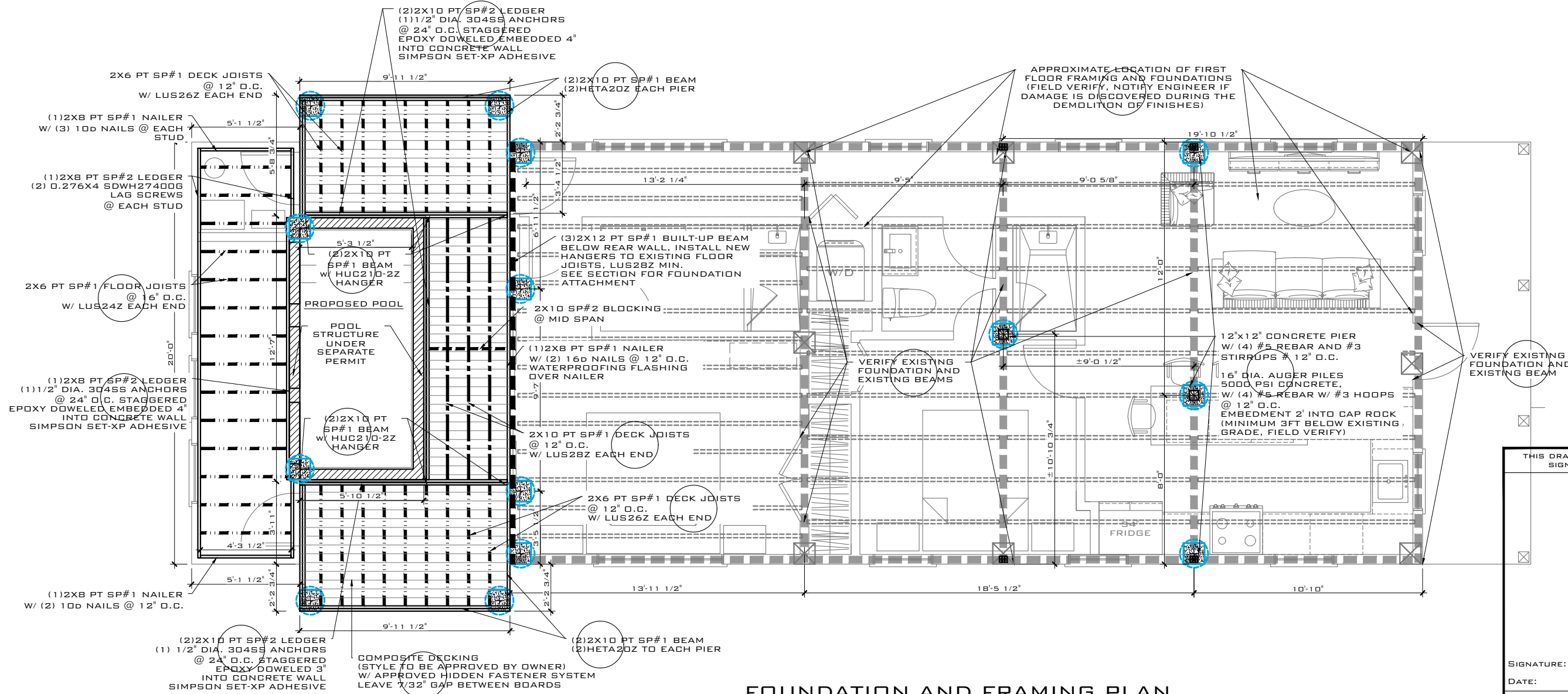
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SITE:
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KEY WEST, FL 33040**

TITLE:
STORAGE ELEVATIONS

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2109-08	A-106	1	



FOUNDATION AND FRAMING PLAN
SCALE: 3/16" = 1'-0"

FOUNDATION LEGEND	
SYMBOL	DESCRIPTION
	16" DIA. AUGER PILES 5000 PSI CONCRETE, W/ (4) #5 REBAR W/ #3 HOOPS @ 12" O.C. EMBEDMENT 2' INTO CAP ROCK (MINIMUM 3FT BELOW EXISTING GRADE, FIELD VERIFY)

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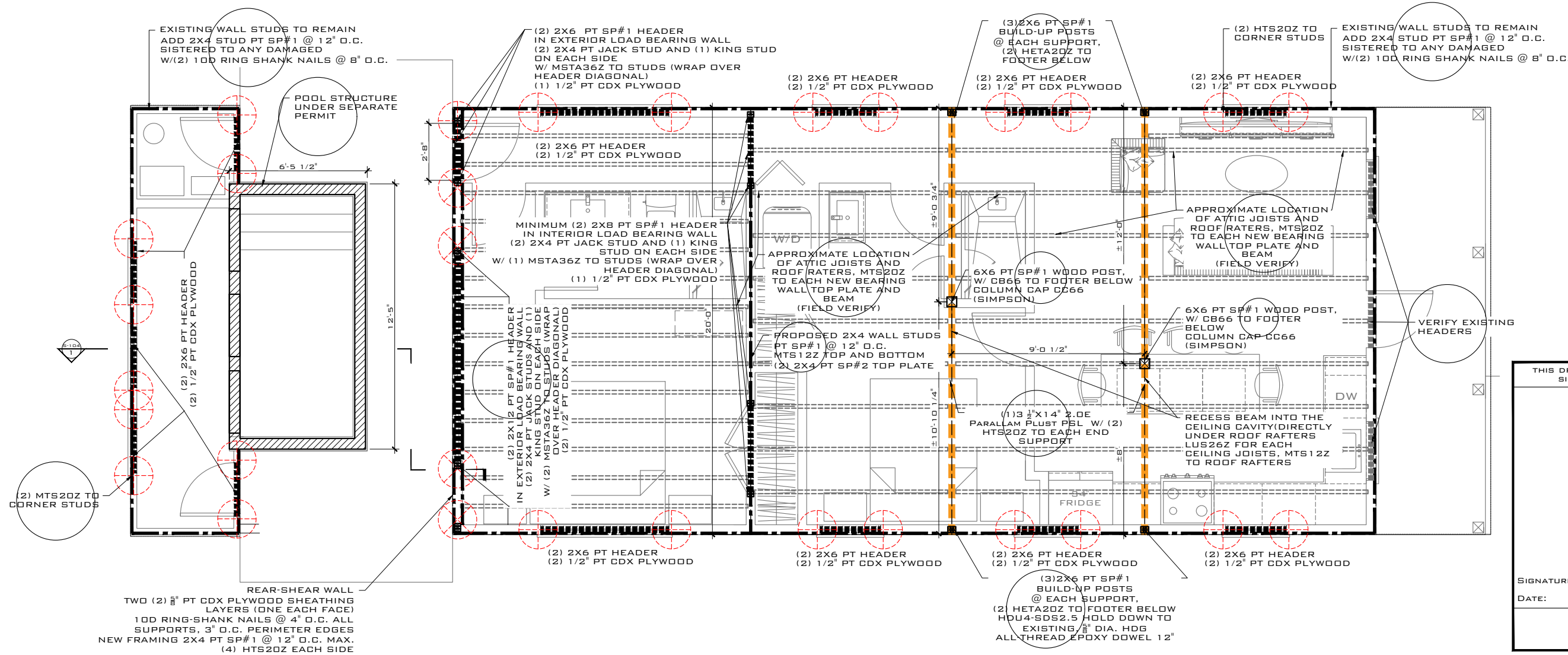
CLIENT:
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SITE:
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TITLE:
FOUNDATIONS & FRAMING

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FIRST FLOOR STRUCTURAL PLAN
 SCALE: 3/16" = 1'-0"

NOTE: EACH ENCLOSED ATTIC SPACE WITH HEIGHT > 24" SHALL HAVE ACCESS HATCH, 22"x30" - FIELD COORDINATE WITH OWNER FOR FINAL LOCATIONS

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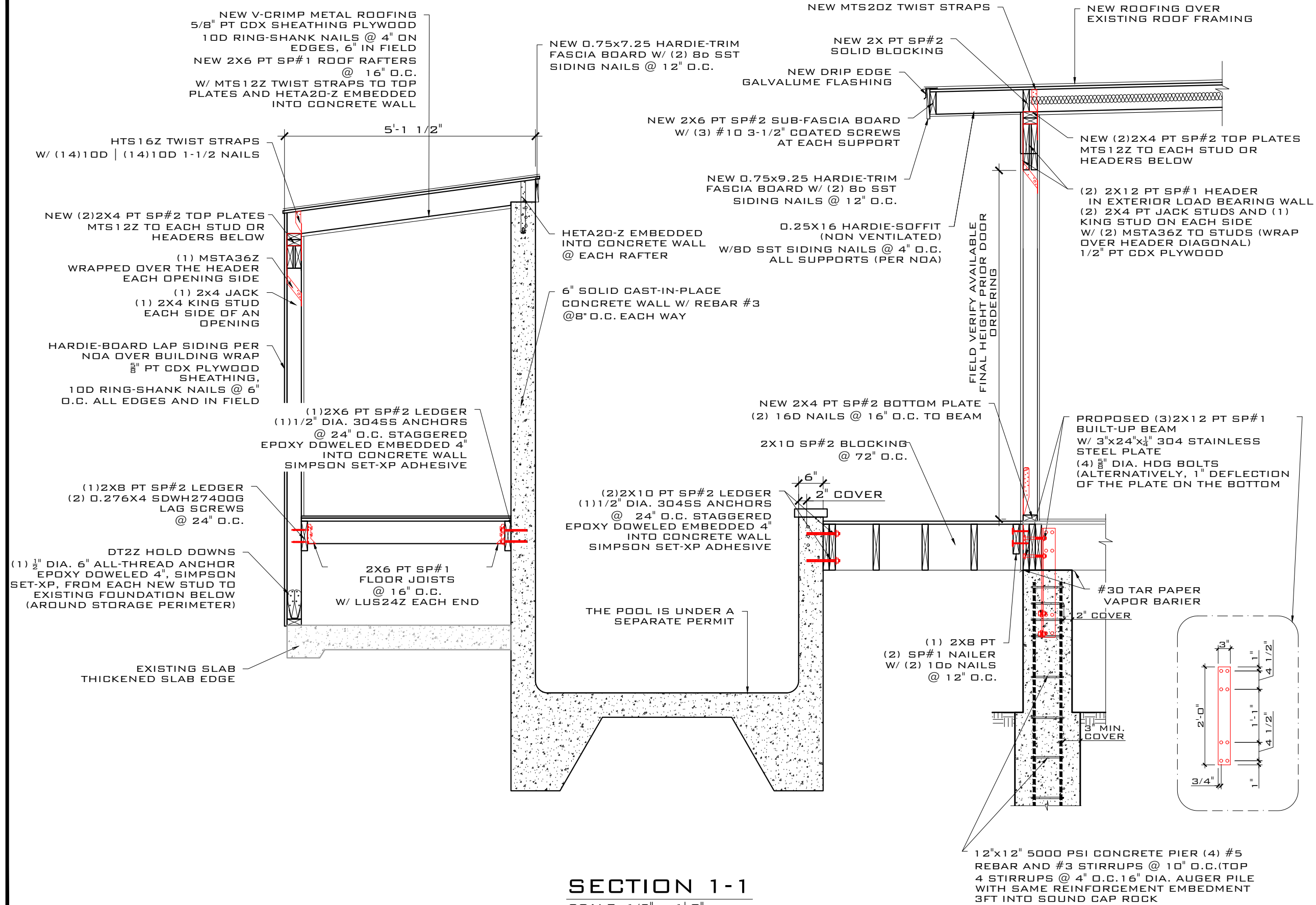
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TITLE:
FIRST FLOOR STRUCTURAL

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	S-101	1	



SECTION 1-1
SCALE: 1/2" = 1'-0"

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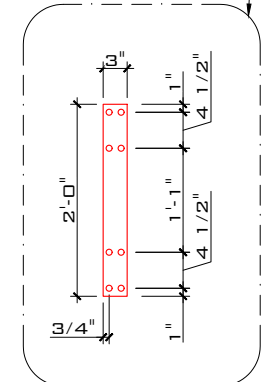
CLIENT:
ALICIA MANFROY

PROJECT:
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SITE:
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KEY WEST, FL 33040

TITLE:
SECTION 1-1

SCALE AT 1/2":	DATE:	DRAWN:	CHECKED:
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2109-08	S-102	1	



12"x12" 5000 PSI CONCRETE PIER (4) #5 REBAR AND #3 STIRRUPS @ 10" O.C. (TOP 4 STIRRUPS @ 4" O.C. 16" DIA. AUGER PILE WITH SAME REINFORCEMENT EMBEDMENT 3FT INTO SOUND CAP ROCK

ROOF FRAMING AND CONNECTORS ARE NOT SHOWN FOR CLARITY

2X4 PT BLOCKING AT EACH PLYWOOD SHEATHING EDGE @ 48" O.C. MAX

PROPOSED 2X4 PT SP#1 @ 12" O.C. WOOD WALL FRAMING (TYP.)

HTS20Z FROM EACH STUD TO NEW FRAMING BELOW (AROUND BUILDING PERIMETER)

(3) 2X12 PT SP# BUILT-UP BEAM W/ 3"x24"x¹/₄" 304 STAINLESS STEEL PLATE (4) ³/₈" DIA. HDG BOLTS (ALTERNATIVELY, 1" DEFLECTION OF THE PLATE ON THE BOTTOM

HTS20Z AT ALL STUDS TO FRAMING BELOW

SEE FOUNDATIONS PLAN

(2) 2X6 BUILD-UP HEADER

(2) 2X12 BUILD-UP HEADER

KING STUD ON EACH SIDE W/ (2) MST36Z TO STUDS (WRAP OVER HEADER DIAGONAL) (2) 1/2" PT CDX PLYWOOD

(2) MST36Z WRAPPED OVER THE HEADER EACH OPENING SIDE

(2) MST36Z WRAPPED OVER THE HEADER EACH OPENING SIDE

(2) 2X4 JACK (1) 2X4 KING STUD EACH SIDE OF AN OPENING

SOLID BLOCKING @ EACH PLYWOOD JOINT

REAR-SHEAR WALL TWO (2) ⁵/₈" PT CDX PLYWOOD SHEATHING LAYERS (ONE EACH FACE) 10D RING-SHANK NAILS @ 4" O.C. ALL SUPPORTS, 3" O.C. PERIMETER EDGES NEW FRAMING 2X4 PT SP#1 @ 12" O.C. (4) HTS20Z EACH SIDE

NEW 2X4 PT SP#2 BOTTOM PLATE (2) 16D NAILS @ 16" O.C. TO BEAM BELOW

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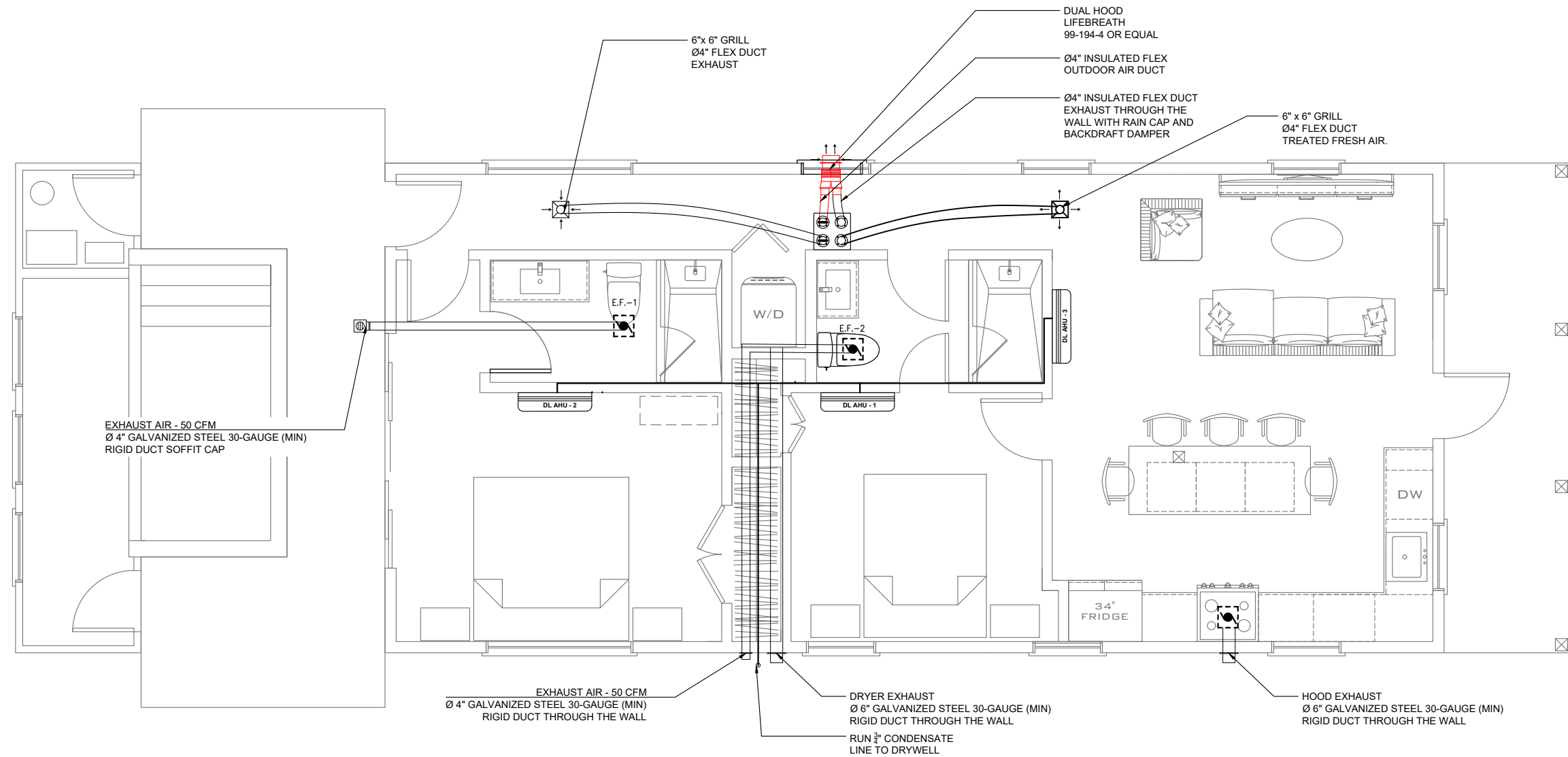
CLIENT:
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PROJECT:
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TITLE: WALL FRAMING VIEW			
SCALE AT 11x17: AS SHOWN	DATE: 02/05/22	DRAWN: OA	CHECKED: SAM
PROJECT NO: 2109-08	DRAWING NO: A-101	REVISION: 1	

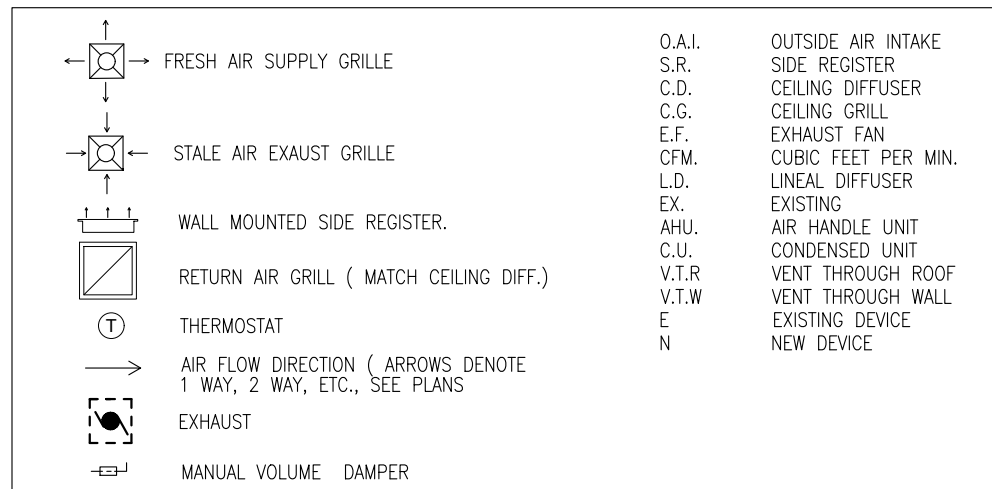
PROPOSED FRAMING PLAN
REAR WALL
SCALE: 1/2" = 1'-0"



PROPOSED HVAC FLOOR PLAN

SCALE: 3/16" = 1'-0"

MECHANICAL PLAN LEGEND:



MECHANICAL VENTILATION								
TYPE / TAG	MANUFACTURER	MODEL	LOW CFM	HIGH CFM	ELECTRICAL SPECIFICATIONS - 120 VAC @ 60 Hz			SENSIBLE RECOVERY EFFICIENCY (SRE)
					WATTS / LOW SPEED	WATTS / HIGH SPEED	AMP	
ERV-1	LIFEBREATH	30 ERV	38	50	44	57	0.4800	70 %

T = VENTILATOR WALL CONTROLLER 99-DET01.
SET UP ERV TO RUN CONTINUOUSLY ON LOW SPEED. TIMER WILL ACTIVATE HIGH SPEED UPON USER'S REQUES.
AIR SUPPLY AND EXHAUST SHALL BE BALANCED WITHIN 10%.
AIR INTAKE AND EXHAUST MAY BE INSTALLED THROUGH THE WALL OR ROOF MIN. 6' APART.
DUAL HOOD (P# 99-194) IS RECOMMENDED TO MINIMIZE WALL PENETRATIONS.
FOLLOW INSTRUCTIONS ON THE INSTALLATION AND OPERATION MANUAL.

EXHAUST FAN SCHEDULE										
TAG	MANUFACTURER	MODEL	VOLTAGE/PH	AMPS	SONES		CFM			DUCT SIZE
					NORMAL	HIGH	NORMAL	HIGH 0.25 IN.W.G.	HIGH 0.1 IN.W.G.	
E.F. 1-2	WhisperFit DC	FV-0511VF1	120 / 1	0.3	0.4	-	50	50	50	Ø 4"

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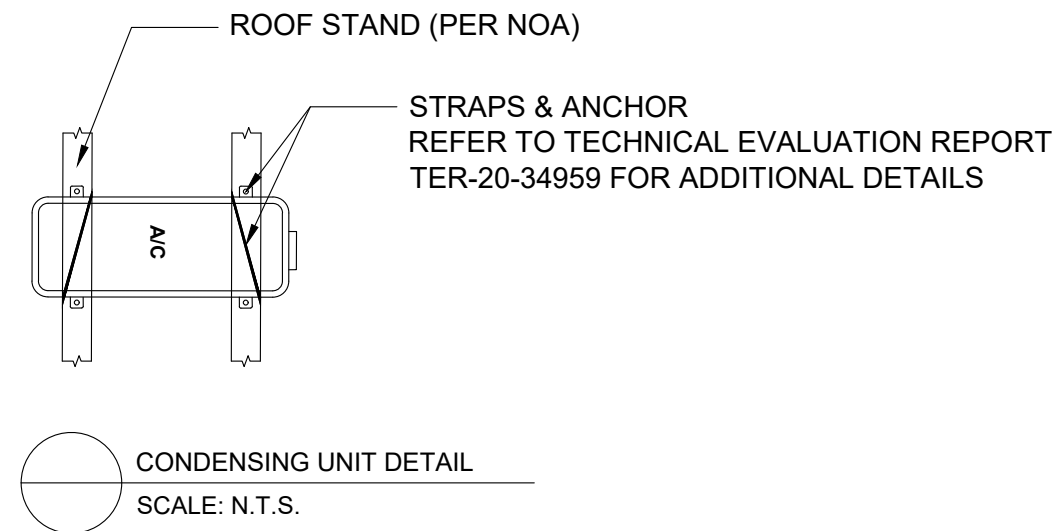
SITE:	718 SOUTHARD ST. KEY WEST, FL 33040
TITLE:	HVAC FLOOR PLAN
SCALE AT 11x17:	AS SHOWN
DATE:	02/05/22
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PROJECT NO:	2109-08
DRAWING NO:	M-101
REVISION:	1

GENERAL HVAC NOTES:

- MECHANICAL CONTRACTOR SHALL COORDINATE FINAL LOCATION OF ALL AIR DIFFUSERS SO AS TO MAINTAIN A MIN OF 3'-0" FROM ANY SMOKE DETECTOR.
- COORDINATE DUCTWORK FOR CLEARANCE AROUND ELECTRICAL PANEL.
- SEE ARCH BUILDING PLANS FOR ACTUAL LOCATION OF EXHAUST AIR DUCTS AND WALL CAPS.
- ALL DIFFUSER SHOWN OVER DOOR OPENINGS ARE TO BE CENTERED OVER OPENINGS. ALL OTHERS DIFFUSERS SHOULD BE CENTERED IN ROOM, SOFFIT OR WALL PANEL. VERIFY W/ ARCHITECT BEFORE INSTALLATION.
- MECHANICAL CONTRACTOR SHALL COORDINATE ALL MASONRY OPENINGS WITH GENERAL CONTRACTOR AND STRUCTURAL ENGINEER IN FIELD PRIOR TO CONSTRUCTION.
- COORDINATE DUCT & PIPING ROUTING BEFORE FABRICATION & HANG OF ANY PIPING OR DUCTWORK SYSTEMS.
- MECHANICAL CONTRACTOR SHALL COORDINATE FINAL SIZE AND LOCATION OF R/A PLENUM W/ ALL TRADES PRIOR TO FABRICATION AND INSTALLATION OF ANY DUCTWORK.
- A/C SYSTEM SHALL BE CONTROLLED BY A THERMOSTAT, MOUNT THERMOSTAT 5'-0" ABOVE FINISHED FLOOR. U.O.N. THERMOSTATS SHALL BE INSTALLED AT 48 INCHES ABOVE FINISHED FLOOR.
- SEE ARCH PLANS FOR DETAILS OF FIRESTOPPING.
- AREA ABOVE ELECT. PANEL IS DEDICATED SPACE. NO DUCTS OR PIPES SHALL CROSS THIS AREA.
- ALL FAN UNITS, MOTORS, COMPRESSORS, ETC. SHALL BE INSULATED, AS REQUIRED TO OPERATE QUIETLY SO THAT NO OBJECTIONABLE SOUND WILL BE HEARD IN THE HABITABLE SPACE DUE TO AIR VELOCITY, MOTOR HUM, VIBRATION, OR MECHANICAL MOVEMENT.
- RETURN PLENUM: MATERIALS EXPOSED WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50.
- EXTERIOR WALL MUST BE INSULATED WITH A MIN. R-VALUE OF 4.1 AND EXPOSED ROOF MUST BE INSULATED WITH A MIN. R-VALUE OF 30.
- COORDINATE LOCATIONS, SIZES & OPENINGS W/OTHER TRADES ON THE JOB. A/C CONTRACTOR SHALL PROVIDE THE COMPLETE DUCT SYSTEM WITH TURNING VANES AT ELBOWS, SPLITTERS & DAMPERS, AS REQUIRED. DIFFUSERS SHALL BE SELECTED, LOADED AND BALANCED IN ORDER THAT THEY DELIVER THE REQUIRED (FMT) THE ENTIRE ROOM EVENLY & DRAFT FREE TO MAINTAIN THE FOLLOWING DESIGN CONDITIONS:

	INSIDE	OUTSIDE	RELATIVE HUMIDITY
COOLING	- 75 DB	90 DB - 79	50 % TO 60 %
HEATING	- 70 DB	58 DB	
- DUCTWORK SHALL BE 1/2" THICK, 3 POUNDS PER CUBIC FOOT DENSITY FIBERGLASS WITH VAPOR BARRIERS. UNLESS OTHERWISE SPECIFIED. DUCTWORK SHALL BE FABRICATE AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & ACCORDING TO "ASHRAE" & "SMACNA" STANDARDS. DUCT DIMENSIONS ARE IN INCHES AND CORRESPOND TO INSIDE DIMENSION WITH X HEIGHT. DUCT SYSTEM SHALL COMPLY W/ "NFPA" STD NO. 90A AND/ OR 90B. DUCTWORK AND COMPONENTS SHALL BE CLASS 1 MATERIALS IN ACCORDANCE WITH U.L. 181 TESTS.
- DUCTWORK INSTALLED IN AN ATTIC SHALL BE INSULATED WITH INSULATION HAVING A MINIMUM R-VALUE OF R-6. AS PER FBC-EC 403.2.
- REFRIGERANT SUCTION LINE TO BE INSULATED WITH INSULATION HAVING A THERMAL RESISTIVITY OF AT LEAST R-4 & HAVING AN EXTERNAL PERMEANCE NOT EXCEEDING 0.05 PERM WHEN TESTED IN ACCORDANCE WITH ASTM E 96.
- DRAWINGS ARE DIAGRAMMATICALLY ONLY. FINAL LOCATION OF DIFFUSERS TO BE FINALIZED AND COORDINATED IN THE FIELD.
- 1" DOOR UNDERCUTTING

AIR CONDITIONER EQUIPMENT SCHEDULE				
Tag	ACU - 1	DL AHU - 1	DL AHU - 2	DL AHU - 3
Equipment Type	MULTIZONE DUCTLESS HEAT PUMP W/ VARIABLE SPEED COMPRESSOR			
Manufacturer	MITSUBISHI	MITSUBISHI	MITSUBISHI	MITSUBISHI
Model No	MXZ-3C30NA2	MSZ- GLO6NA	MSZ- GLO9NA	MSZ- GL18NA
Nominal Tons	2.5	0.50	0.75	1.50
Total Clg Capacity (Btuh)	28,400	6,000	9,000	17,200
Sens. Clg Capacity (Btuh)	21,300	4,500	6,750	12,900
Heating at 47°F	28,600	7,200	10,900	21,600
Heating at 17°F	16,000		n/a	
SEER			19.0	
AHRI EER			10.6	
HSPF			10.6	
Air Flow (cfm)	n/a	145	400	523
Outside Air CFM			40	
Fan Motor F.L.A.	2.43		0.76	0.67
Voltage/Hz/Phase	208-230/60/1		208-230/60/1	
MCA	22.1		1	
Max Fuse	25			
Power (KW)	3.0		n/a	



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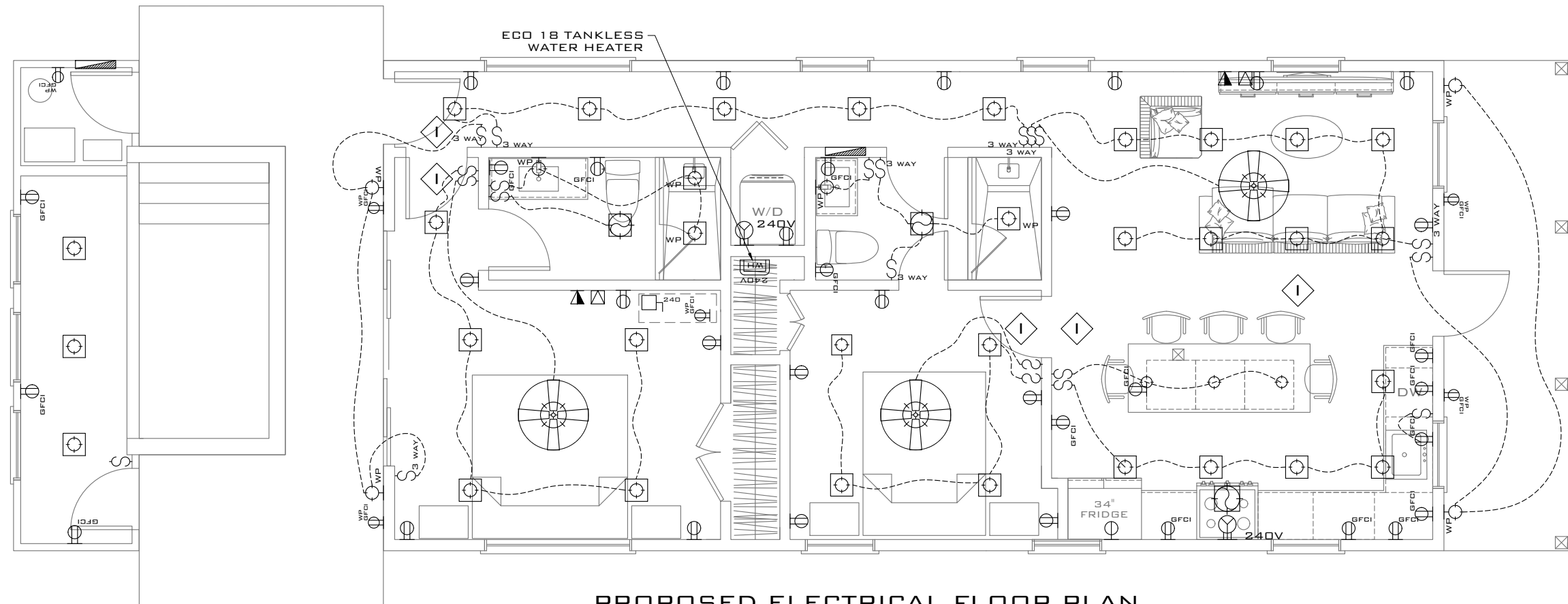
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PROJECT:
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SITE:
718 SOUTHARD ST.
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TITLE:
HVAC NOTES
DETAILS

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
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PROPOSED ELECTRICAL FLOOR PLAN
 SCALE: 3/16" = 1'-0"

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TITLE:
ELECTRICAL FLOOR PLAN

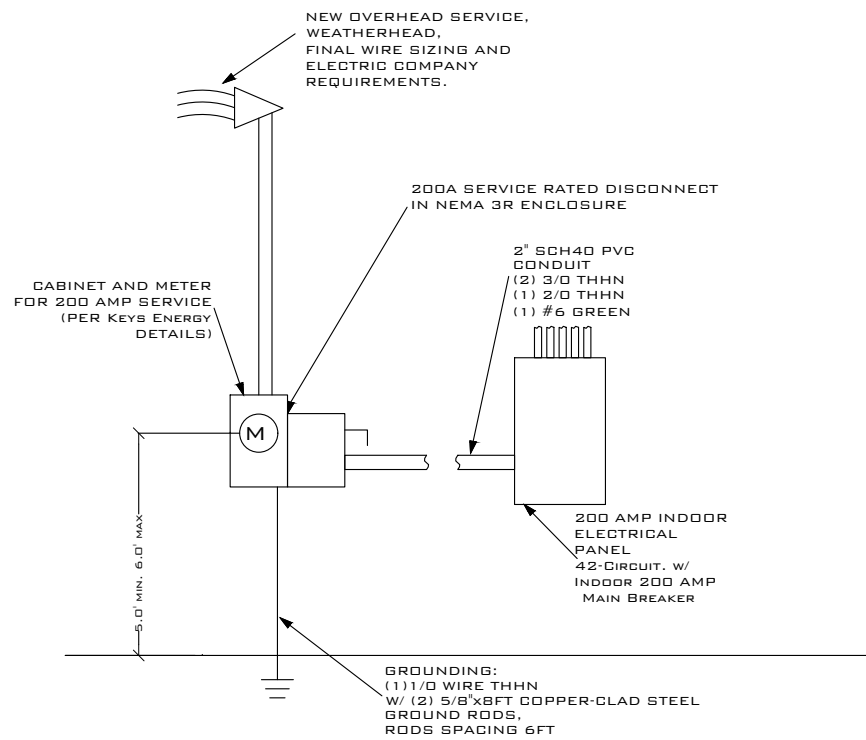
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ELECTRICAL SYMBOL LEGEND			
	20A/1 20V DUPLEX RECEPTACLE W/ GROUNDING		PHOTOCELL
	20A/1 20V SINGLE RECEPTACLE W/ GROUNDING		RECESSED LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	20A/1 20V SPLIT WIRED DUPLEX RECEPTACLE W/ GROUNDING		CEILING MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	20A/1 20V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET		WALL MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	20A/1 20V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET W/ WATERPROOF COVER		WALL MOUNT LIGHT FIXTURE WATERPROOFED, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	20A/1 20V FLOOR DUPLEX RECEPTACLE W/ GROUNDING		EMERGENCY LIGHT FIXTURE, RECHARGEABLE BATTERY TYPE
	SPECIAL PURPOSE OUTLET, SUBSCRIPT FOR IDENTIFICATION		CEILING MOUNT EXIT SIGN
	SINGLE POLE SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		WALL MOUNT EXIT SIGN
	2-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		TWO SIDE EXIT SIGN
	3-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		EXHAUST FAN
	4-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		EXHAUST FAN W/ LIGHT
	DIMMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		SERVICE RATED NON-FUSIBLE DISCONNECT SWITCH
	TIMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		GENERATOR
	JUNCTION BOX, WALL MOUNT		TV CABLE OUTLET
	JUNCTION BOX, CEILING MOUNT		TELEPHONE OUTLET
	DOOR BELL		TELEPHONE/DATA OUTLET
	TANKLESS WATER HEATER		TRACK LIGHTING SYSTEM LBL MONORAIL SYSTEM LAMP: "MDD" FINISH: BRONZE BULB: MR16 LAMP (6W LED) (OWNER SHALL APPROVE ALL FIXTURES PRIOR TO ORDERING AND INSTALL)
	EXTERIOR WALL SCONCE		PULL BOX
			GROUND
			IONIZATION SMOKE DETECTOR
			CARBON MONOXIDE DETECTOR
			POWER COMPANY METER
			UTILITY POLE

ELECTRICAL NOTES:

- ALL WORK SHALL BE PER NATIONAL ELECTRIC CODE, FBC 7TH EDITION (2020), LOCAL POWER COMPANY RULES AND ANY OTHER APPLICABLE STANDARDS.
- DRAWINGS SHOWN ARE DIAGRAMMATIC IN NATURE AND WILL NOT SHOW ALL FITTINGS, BENDS AND ACCESSORIES REQUIRED FOR THE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR EVALUATING FIELD CONDITIONS PRIOR COMMENCING THE WORK.
- CONTRACTOR SHALL VERIFY AND TEST GROUNDING AND INSURE IT COMPLIES WITH LATEST NEC.
- ELECTRICAL CONDUIT SHALL BE BEDDED IN COMPACTED CLEAN PEA-ROCK 6" ALL SIDES MINIMUM.
- ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR TEST.
- ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED PER NEC.
- ALL HARDWARE AND EQUIPMENT SHALL BE UL LABELED AND UV RATED FOR EXTERIOR USE.
- CONTRACTOR SHALL NOT CUT ANY STRUCTURAL MEMBERS WITHOUT PRIOR APPROVAL BY THE ENGINEER.
- MINIMUM WIRE SIZES SHALL BE #12 THHN/THWN UNLESS OTHERWISE IS SPECIFIED.
- ALL CONDUCTORS SHALL BE COPPER RUN IN GALVANIZED METALLIC CONDUITS UNLESS OTHERWISE IS SPECIFIED.
- ALL PULL AND JUNCTION BOXES SHALL BE ACCESSIBLE AT ALL TIMES.
- ALL CONDUCTORS SHALL BE RAN WITHOUT SPLICES.
- ALL FIXTURES SHALL BE SUPPORTED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND PER NEC.
- SMOKE DETECTORS SHALL BE HARDWIRED AND HAVE BATTERY BACK-UP. INTERCONNECTION OF THE DETECTORS SHALL ALLOW ALL TO SOUND AT ONCE.
- ALL BREAKERS SHALL BE COMBINATION AFCI UNLESS OTHERWISE IS PERMITTED BY THE LATEST NEC.
- ALL RECEPTACLES IN BATHROOMS, KITCHEN AND GARAGE SHALL BE GROUND FAULT CIRCUIT INTERRUPTED TYPE (GFCI).
- ALL OUTDOOR RECEPTACLES SHALL BE WATER AND TAMPERPROOF GFCI TYPE.
- BRANCH CIRCUITS SHALL BE PROPERLY BALANCED.
- ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES TO ELIMINATE CONFLICTS AND PROVIDE FUNCTIONAL SYSTEM.
- FOUNDATION REINFORCEMENT SHALL BE BONDED WITH GROUNDING PER NEC.
- ALL ELECTRICAL EQUIPMENT SHALL BE LOCATED ABOVE BASE FLOOD ELEVATION.
- STYLES OF ALL ELECTRICAL FIXTURES, OUTLETS, SWITCHES SHALL BE REVIEWED AND APPROVED BY THE OWNER PRIOR ANY PURCHASING OR INSTALLATION.

ELECTRIC CALCULATIONS & PANEL SCHEDULE LC1												
KVA	WIRE	POLE	BRK	DESCRIPTION	CKT	GKT	DESCRIPTION	BRK	POLE	WIRE	KVA	
10.0	6	2	50	COOKTOP	01	02	OVEN/MICROWAVE	40*	2	8	9.0*	
1.5	12	1	20	REFRIGERATOR	05	06	DISHWASHER	20	1	12	1.5	
1.5	12	1	20	DISPOSAL	07	08	SMALL APPLIANCE #1	20	1	12	1.5	
0.5	12	1	15	MASTER BEDROOM LIGHT&REC	09	10	SMALL APPLIANCE #2	20	1	12	1.5	
0.5	12	1	20	MASTER BATH LIGHT&REC	11	12	KITCHEN LIGHT&REC	20	1	12	1.0	
0.5	12	1	15	BEDROOM #2 LIGHT&REC	13	14	LIVING LIGHT&REC	20	1	12	1.0	
0.5	12	1	20	BATHROOM #2 LIGHT&REC	15	16	DRYER	40	2	8	5.0	
1.0	12	1	15	STORAGE LIGHT&REC	17	18						
1.0	12	1	20	REAR PORCH LIGHTS&REC	19	20	WASHER	20	1	12	1.5	
1.0	12	1	20	FRONT PORCH LIGHTS&REC	21	22	MINISPLIT A/C	30*	2	8	5.0*	
9.0*	8	2	40*	TANKLESS WATER HEATER ECDSMART ECO18 BR#1	23	24						
					25	26	SPACE	-	-	-	-	
9.0*	8	2	40*	TANKLESS WATER HEATER ECDSMART ECO18 BR#2	27	28	SPACE	-	-	-	-	
					29	30	SPACE	-	-	-	-	
12.0*	6	2	60*	POOL EQUIPMENT SUB-PANEL	31	32	SPACE	-	-	-	-	
					33	34	SPACE	-	-	-	-	
-	-	-	-	SPACE	35	36	SPACE	-	-	-	-	
-	-	-	-	SPACE	37	38	SPACE	-	-	-	-	
-	-	-	-	SPACE	39	40	SPACE	-	-	-	-	
-	-	-	-	SPACE	41	42	SPACE	-	-	-	-	
48.0	SUBTOTAL							SUBTOTAL			27.0	
											TOTAL (LC1)	75.0
NOTES: ALL WIRING SHALL BE SINGLE PHASE T.H.W. COPPER IN E.M.T. OR CONDUIT. * ALL BREAKER SIZES SHALL BE COORDINATED WITH FINAL EQUIPMENT REQUIREMENTS.											FIRST 10 KVA @ 100% DEMAND	10.0
											70.0 KVA @ 40% DEMAND	28.0
											DEMAND	38.0
											A/C DEMAND	5.0
											TOTAL DEMAND	43.0
43.0 KVA * 1000 / 240V = 179.2 AMPS												



ELECTRICAL RISER DIAGRAM
NTS

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV: DESCRIPTION: BY: DATE:
STATUS: FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

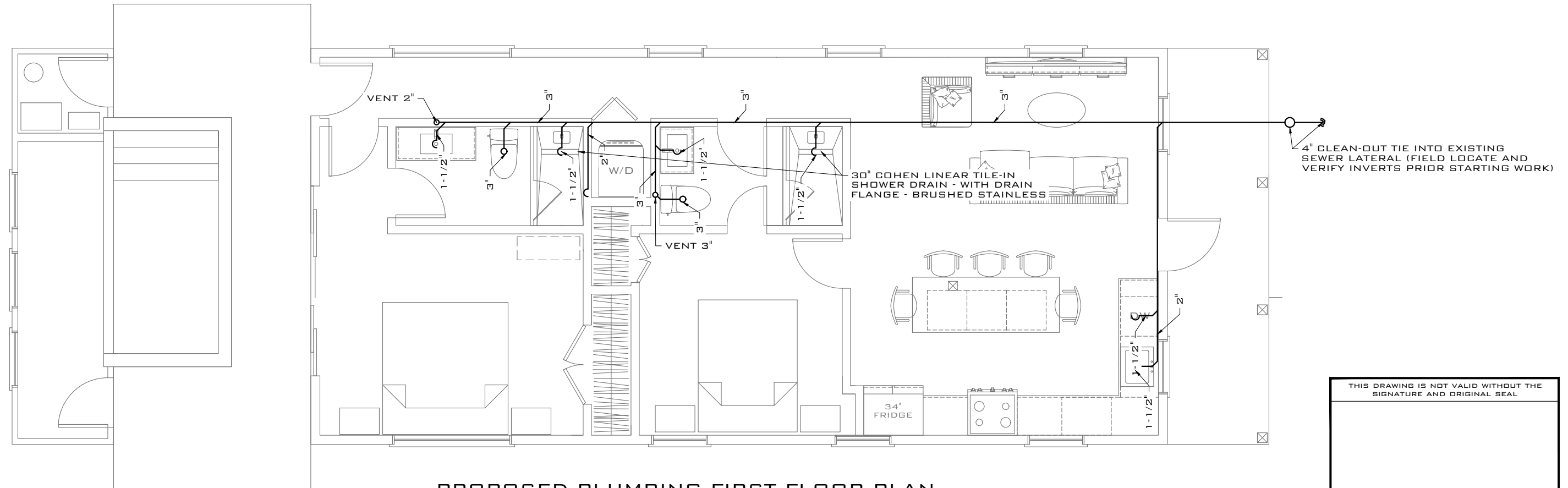
CLIENT: ALICIA MANFROY

PROJECT: 718 SOUTHARD ST

SITE: 718 SOUTHARD ST.
KEY WEST, FL 33040

TITLE: ELECTRICAL RISER,
LOAD CENTER

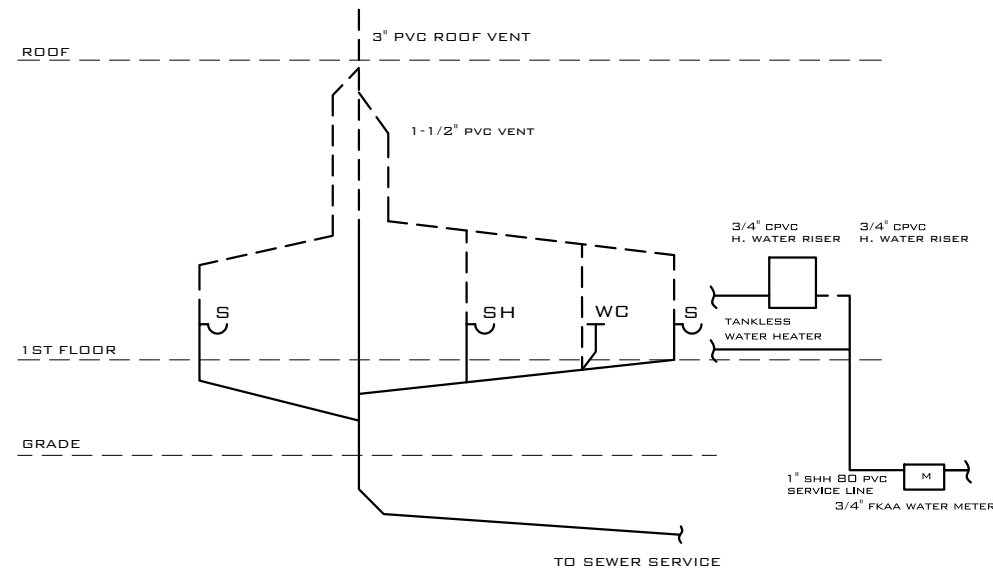
SCALE AT 1:1	DATE: 02/05/22	DRAWN: DA	CHECKED: SAM
PROJECT NO: 2109-08	DRAWING NO: E-102	REVISION: 1	



PROPOSED PLUMBING FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

NOTE: ALL FINISHES, FINAL LOCATION OF CABINETS, FIXTURES AND OUTLETS SHALL BE COORDINATED WITH FINAL OWNER APPROVED INTERIOR DESIGN DRAWINGS (BY OTHERS).



TYPICAL PLUMBING RISER

SCALE: NTS

PLUMBING NOTES:

1. ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH FBC 7TH EDITION (2020) PLUMBING AND LOCAL STANDARDS.
2. ALL SANITARY SEWER PIPING SHALL BE SCH 40 PVC.
3. ALL INTERIOR WATER SUPPLY PIPING SHALL BE CPVC. 1" DIA. FOR PIPING LINES AND 3/4" DIA. MIN FOR SERVICES.
4. PLUMBING CONTRACTORS SCOPE OF WORK INCLUDES ALL MATERIALS, VALVES, FITTINGS, VENTS ETC. REQUIRED FOR A COMPLETE AND OPERATIONS SYSTEM.
5. ALL PLUMBING FIXTURES SHALL BE APPROVED BY OWNER PRIOR PURCHASING AND INSTALLATION.
6. THE SYSTEM SHALL BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH FBC PLUMBING 2020 SECTION 312. ALL TESTS SHALL BE WITNESSED BY THE ENGINEER, UTILITY REPRESENTATIVE AND BUILDING INSPECTOR (UNLESS APPROVED OTHERWISE).
7. WATER HEATER SHALL BE INSTALLED WITH ALL NECESSARY VACUUM BREAKERS AND PRESSURE RELIEVE VALVES AS RECOMMENDED BY THE MANUFACTURER AND REQUIRED BY CODE.

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			

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CA # 30835

CLIENT:
ALICIA MANFROY

PROJECT:
718 SOUTHARD ST

SITE:
**718 SOUTHARD ST.
KEY WEST, FL 33040**

TITLE:
PLUMBING

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	02/05/22	DA	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2109-08	P-101	1	

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., February 27, 2024, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

RECONSTRUCTION OF A NON-CONFORMING SINGLE-FAMILY HOUSE. AFTER-THE-FACT DEMOLITION OF A CONTRIBUTING HOUSE.

#718 SOUTHARD STREET

Applicant – Trepanier & Associates Application #H2024-0011

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION

Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00011740-000000
Account# 1012050
Property ID 1012050
Millage Group 10KW
Location Address 718 SOUTHARD St, KEY WEST
Legal KW PT LOT 2 SQR 59 G21-63 OR1258-1302/03 OR1346-2323 OR1349-1230/43
Description OR1510-963 O3025-1044 OR3026-2256 OR3094-1768
 (Note: Not to be used on legal documents.)
Neighborhood 6108
Property Class SINGLE FAMILY RESID (0100)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

MANFROY ALICIA ANN SEP PROPERTY TRUST
 11/15/2017
 29115 Guava Ln
 Big Pine Key FL 33043

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$262,916	\$283,531	\$122,052	\$122,052
+ Market Misc Value	\$288	\$1,863	\$1,863	\$1,863
+ Market Land Value	\$694,022	\$525,849	\$388,930	\$385,954
= Just Market Value	\$957,226	\$811,243	\$512,845	\$509,869
= Total Assessed Value	\$884,641	\$811,243	\$512,845	\$276,935
- School Exempt Value	\$0	\$0	\$0	(\$25,000)
= School Taxable Value	\$957,226	\$811,243	\$512,845	\$251,935

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$525,849	\$283,531	\$1,863	\$811,243	\$811,243	\$0	\$811,243	\$0
2021	\$388,930	\$122,052	\$1,863	\$512,845	\$512,845	\$0	\$512,845	\$0
2020	\$385,954	\$122,052	\$1,863	\$509,869	\$276,935	\$25,000	\$251,935	\$232,934
2019	\$406,789	\$100,257	\$1,863	\$508,909	\$270,709	\$25,000	\$245,709	\$238,200
2018	\$358,173	\$101,710	\$1,863	\$461,746	\$265,662	\$25,000	\$240,662	\$196,084

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	1,771.73	Square Foot	0	0

Buildings

Building ID	832	Exterior Walls	ABOVE AVERAGE WOOD
Style	1 STORY ELEV FOUNDATION	Year Built	1943
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2006
Building Name		Foundation	CONC BLOCK
Gross Sq Ft	960	Roof Type	GABLE/HIP
Finished Sq Ft	860	Roof Coverage	METAL
Stories	1 Floor	Flooring Type	SFT/HD WD
Condition	AVERAGE	Heating Type	
Perimeter	126	Bedrooms	3
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	24	Grade	450
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	100	0	50
FLA	FLOOR LIV AREA	860	860	126
TOTAL		960	860	176

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
FENCES	1986	1987	0x0	1	76 SF	3

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
4/30/2021	\$860,000	Warranty Deed	2317673	3094	1768	01 - Qualified	Improved		
6/11/2020	\$100	Warranty Deed	2269422	3026	2256	30 - Unqualified	Improved		
5/18/2014	\$0	Death Certificate	2268261	3025	1044	11 - Unqualified	Improved		
4/1/1998	\$220,000	Warranty Deed		1510	0963	Q - Qualified	Improved		
4/1/1995	\$167,300	Warranty Deed		1349	1230	U - Unqualified	Improved		

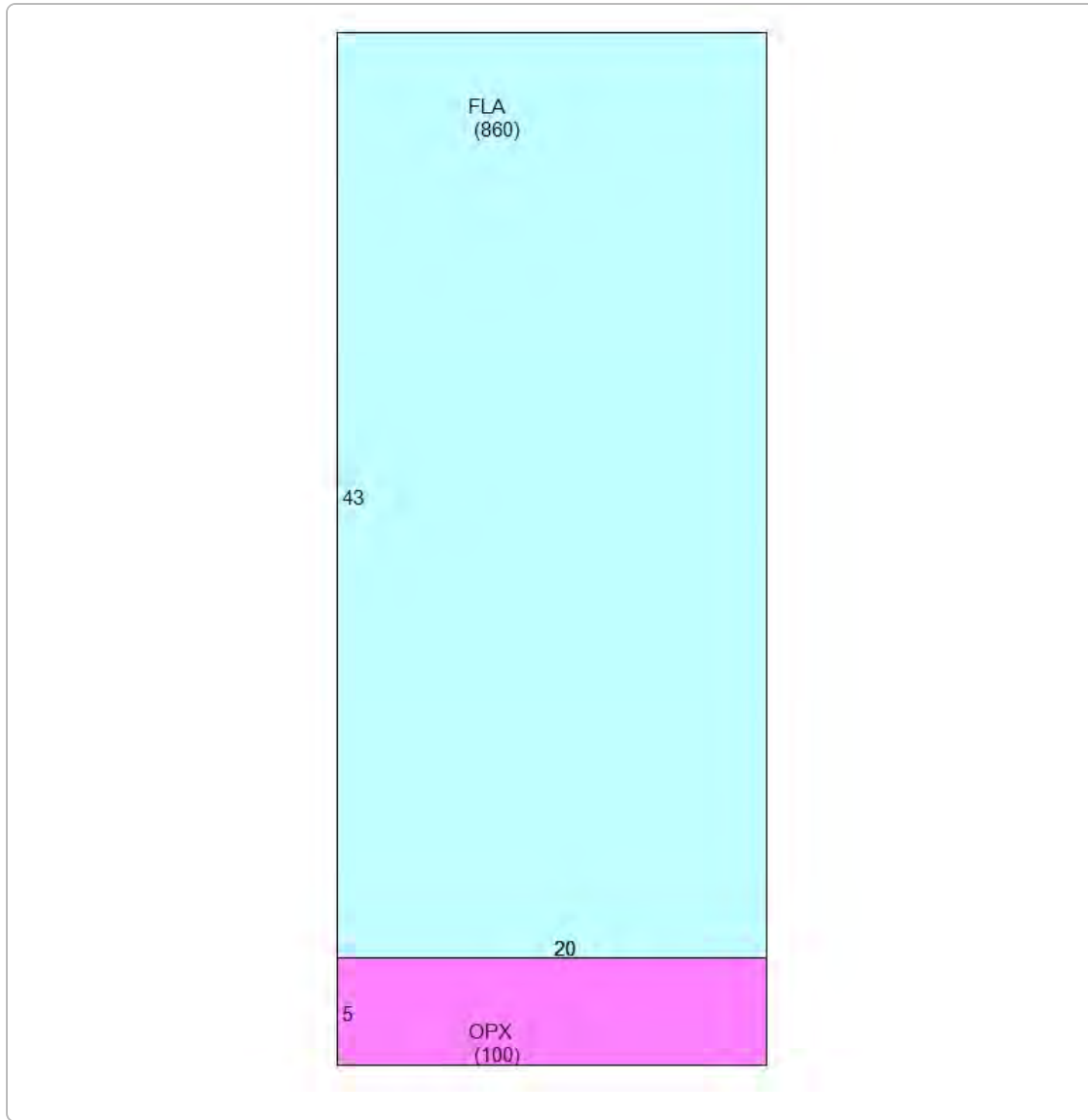
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
22-1493	6/3/2022		\$20,850	Residential	Run wires and conduit to install and power devices and appl with permit BLD2022-1004
22-1004	6/1/2022		\$40,000	Residential	NEW WINDOW INSTALLATION NEW WALL PETITION INSTALL FRAMING NEW INTERIOR DOORS & MILL WORK NEW FLOORING NEW COLUMNS BACK OF STRUCTURE POOL DECKING REPAIR POOL STORAGE AREA & ART STUCCO. N.O.C. REQUIRED. HARC INSPECTION REQUIRED.
22-1006	6/1/2022		\$75,000	Residential	NEW POOL IN GROUND 12' 7" LONG /6' 8 1/2 WIDE. ELECTRICAL AND PLUMBING DONE BY OTHERS
B954002	11/1/1995	8/1/1996	\$1,950	Residential	RENOVATIONS
E954210	11/1/1995	8/1/1996	\$750	Residential	ELECTRICAL

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

2023 TRIM Notice (PDF)

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Contact Us

