

**PLANNING BOARD  
RESOLUTION No. 2012-57**

**A RESOLUTION OF THE KEY WEST PLANNING BOARD  
FOR GRANTING APPROVAL TO A MINOR  
DEVELOPMENT PLAN AND CONDITIONAL USE  
APPROVAL ON PROPERTY LOCATED AT 701 PASSOVER  
LANE IN THE HPS ZONING DISTRICT PER SECTIONS 108-  
(A)(1)B, AND 122-958(1); (RE# 00020620-000000), KEY WEST,  
FLORIDA; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Section 108-91(A)(1)(b) of the Code of Ordinances allows applicants to request Minor Development Plan approval within the Historic District of addition to or reconstruction of 500 to 2,499 square feet of gross floor area; and

**WHEREAS**, The Key West Cemetery is located in the center of Old Town. It is approximately 19.15 acres in size and has a number of internal roadways which can be used by automobiles and is bounded by Frances, Angela, and Olivia Streets, and Windsor and Passover Lanes. The Sexton's House of the Cemetery is located at the corner of Angela and Margaret Streets. The cemetery is located in the Historic Public and Semipublic Service (HPS) zoning District, which is intended for use by the municipality and facilities of regional importance; cemeteries are a conditional use in this zoning district; and

**WHEREAS**, The applicant is proposing a Minor Development Plan and Conditional Use for the demolition and construction of the proposed one and a half story Sexton's House on City owned property. The total square footage proposed is approximately 1,521 square feet (827 sf Main floor

  
Chairman  
  
Planning Director

and 694 sf Attic), and the proposed development meets FEMA requirements. As part of this project, variances for front yard and street side setbacks, parking, and landscape waiver will be necessary. The associated variance requests are being addressed separately from this application and report (see data table below); and

**WHEREAS**, Conditions to be completed prior to the issuance of a Building Permit and ongoing through construction:

1. Plans cited as basis for approval on page 3 of 12 are incorporated by reference.
2. The ADA parking space must meet Federal guidelines.
3. Variances associated with the Minor Development Plan and Conditional Use request be approved by the Planning Board, as applicable.
4. In order to reduce impacts on the surrounding community, a Construction Management Plan will be followed with an emphasis on keeping noise, dust and debris to a minimum.

The Plan shall include:

- A. An eight foot opaque construction fence will be erected around the property;
- B. During demolition, the building will be pressure sprayed with water to control dust;
- C. Adjacent streets shall be cleared of dust, dirt, and debris at the end of each work day;
- D. All waste containers should be covered at the end of each working day;
- E. Current regulations as to the start and stop of each work day will be met: Monday through Friday 8 a.m. to 7 p.m. and Saturdays 9 a.m. to 5 p.m. with no Sundays or holidays; and
- F. Margaret and Angela Streets and Passover Lane remain open during construction;

**WHEREAS**, condition to be completed prior to the issuance of a certificate of occupancy:

5. All lighting fixtures shall meet “Dark Sky” lighting standards; and

**WHEREAS**, general condition:

6. Hours of operation of the public restrooms are limited to 8 AM to 10 PM daily; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on December 20, 2012; and


**WHEREAS**, the granting of a combined Conditional Use and Minor Development Plan is consistent with the criteria in the Code; and


**WHEREAS**, the recommendation of approval of the combined Conditional Use and Minor Development Plan is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare, and

**WHEREAS**, the approval is consistent with the criteria in the Code; and

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

  
\_\_\_\_\_  
Chairman

  
\_\_\_\_\_  
Planning Director


**Section 2.** This Conditional Use request and Minor Development Plan application recommended for approval to the City Commission, does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

**Section 3.** This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 4.** This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

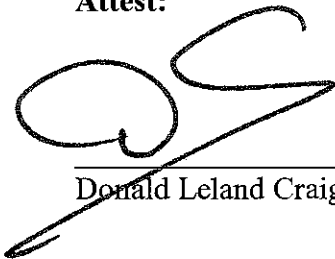
Read and passed on first reading at a regularly scheduled meeting held this 20th day of December, 2012.

Authenticated by the Chairman of the Planning Board and the Planning Director.

  
Richard Klitenick, Chairman  
Key West Planning Board

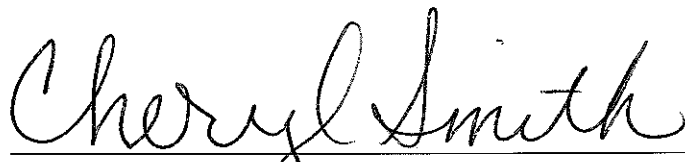
12/31/2012  
Date

Attest:

  
Donald Leland Craig, AICP, Planning Director

12/26/12  
Date

Filed with the Clerk:

  
Cheryl Smith, City Clerk

1-2-13  
Date

 Chairman

 Planning Director

**Surrounding Zoning and Uses:**

The surrounding land uses residential units.

- North: Residential on Angela Street HHDR Zoning District
- South: Residential on Olivia Street HHDR Zoning District
- East: Residential on Frances Street HHDR Zoning District
- West: Residential on Passover Lane HHDR Zoning District

**Uses Permitted in the HPS Zoning District, per Section 122-967 of the City Code**

The historic public and semipublic services district (HPS) is established to implement comprehensive plan policies for areas designated “HPS” on the future land use map. The HPS district shall accommodate existing public and semipublic services.

- (1) Community centers, clubs, and lodges.
- (2) Educational institutions and day care.
- (3) Hospitals and extensive care.
- (4) Nursing homes, rest homes and convalescent homes.
- (5) Parks and recreation, active and passive.
- (6) Places of worship.
- (7) Business and professional offices.
- (8) Medical services.
- (9) Parking lots and facilities.
- (10) Cemeteries.

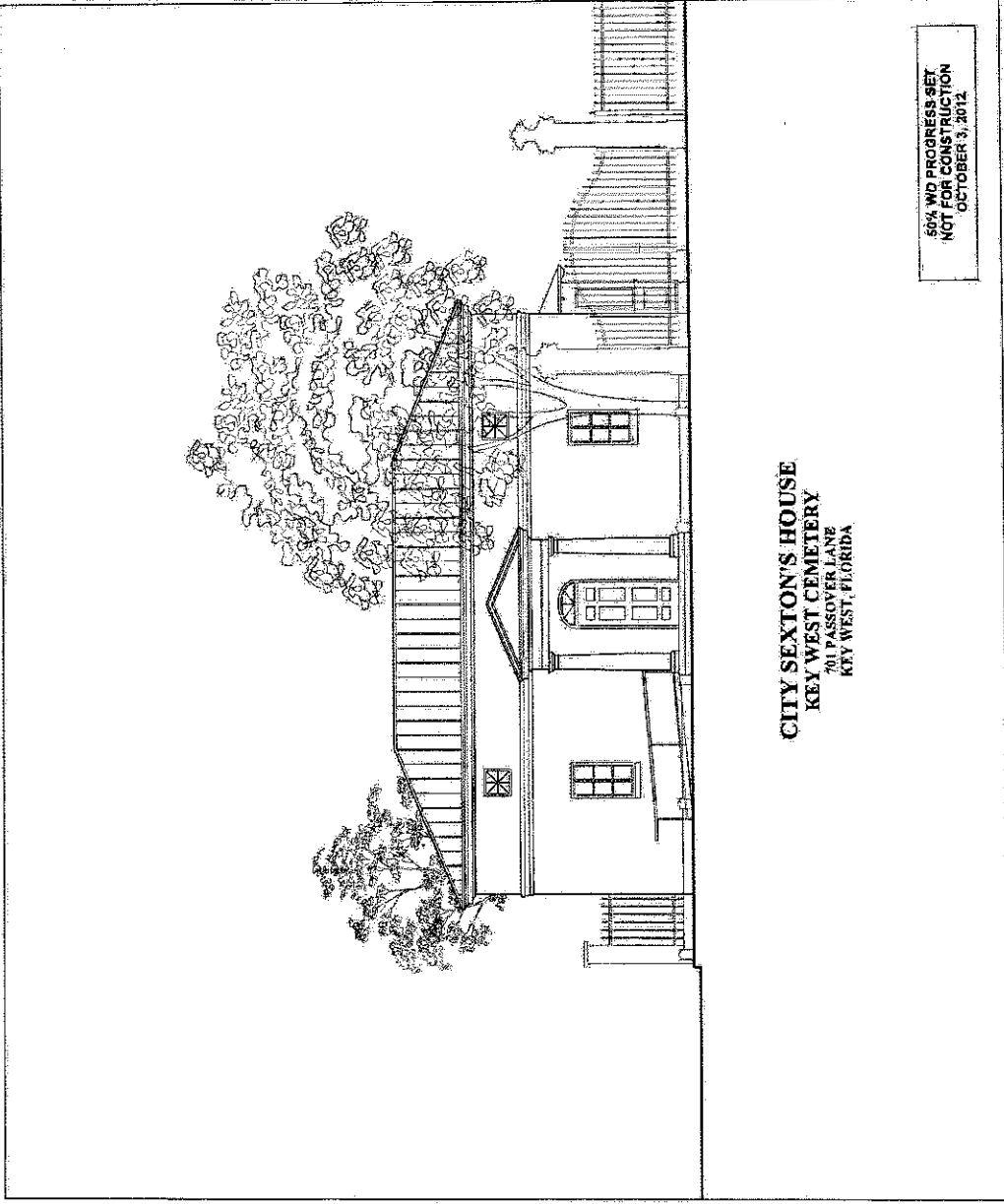
**Uses Permitted Conditionally: HPS Zoning District, per Section 122-968 of the City Code**

- (1) Cemeteries.
- (2) Cultural and civic activities.
- (3) Protective services.
- (4) Public and private utilities.
- (5) Marinas.

**Submitted Plans:** Plans by Michael Miller Architect, October 3, 2012

- 1. Site Plan, Site Data and Site Details
- 2. First Floor and Attic Plan
- 3. Reflected Ceiling Plans
- 4. Schedules and Details
- 5. Roof Plan and Exterior Details
- 6. Exterior Elevations
- 7. Wall Sections and Details
- 8. Detailed Bathroom Plans and Elevations
- 9. Interior Elevations and Interior Details
- 10. Foundation Plan and Attic Framing Plan
- 11. Roof Framing Plan and Structural Details
- 12. Structural Details
- 13. HVAC Plan and Details
- 14. Electrical Power Plans, Panel Schedule and Riser Diagram
- 15. Electrical Lighting Plans and Details
- 16. Plumbing Plan and Isometrics

*MW*  
*R*



**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

60% W/D PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012

**INDEX OF DRAWINGS**

SHEET NUMBER	TITLE
	COVER SHEET
C1	SITE PLAN, SITE DATA AND SITE DETAILS
A1	FIRST FLOOR AND ATTIC PLAN
A2	REFLECTED CEILING PLANS
A3	SCHEDULES AND DETAILS
A4	ROOF PLAN AND EXTERIOR DETAILS
A5	EXTERIOR ELEVATIONS
A6	BUILDING SECTIONS
A7	WALL SECTIONS AND DETAILS
A8	DETAILED BATHROOM PLANS AND ELEVATIONS
A9	INTERIOR ELEVATIONS AND INTERIOR DETAILS
S1	FOUNDATION PLAN AND ATTIC FRAMING PLAN
S2	ROOF FRAMING PLAN AND STRUCTURAL DETAILS
S3	STRUCTURAL DETAILS
M1	HVAC PLAN AND DETAILS
E1	ELECTRICAL POWER PLANS, AND, PANEL SCHEDULE AND RISER DIAGRAM
E2	ELECTRICAL LIGHTING PLANS AND DETAILS
P1	PLUMBING PLAN AND ISOMETRICS

**MICHAEL MILLER ARCHITECT**  
 517 DUVAL STREET  
 KEY WEST, FLORIDA  
 (305) 294-7307  
 michael@mmac-architect.com

DC *mm*

**CONTRACT:**

1. All work shall be done in accordance with the Florida Building Code, Florida State Building Code, and all applicable local codes and ordinances. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the protection of all existing utilities and structures. The contractor shall be responsible for the removal and disposal of all debris and waste. The contractor shall be responsible for the maintenance of all access ways and easements. The contractor shall be responsible for the protection of all adjacent properties. The contractor shall be responsible for the completion of all work within the specified time frame. The contractor shall be responsible for the payment of all subcontractors and suppliers. The contractor shall be responsible for the payment of all taxes and fees. The contractor shall be responsible for the maintenance of all records and documents. The contractor shall be responsible for the protection of all confidential information. The contractor shall be responsible for the completion of all work in accordance with the contract documents. The contractor shall be responsible for the payment of all bills and invoices. The contractor shall be responsible for the maintenance of all equipment and tools. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the protection of all existing utilities and structures. The contractor shall be responsible for the removal and disposal of all debris and waste. The contractor shall be responsible for the maintenance of all access ways and easements. The contractor shall be responsible for the protection of all adjacent properties. The contractor shall be responsible for the completion of all work within the specified time frame. The contractor shall be responsible for the payment of all subcontractors and suppliers. The contractor shall be responsible for the payment of all taxes and fees. The contractor shall be responsible for the maintenance of all records and documents. The contractor shall be responsible for the protection of all confidential information. The contractor shall be responsible for the completion of all work in accordance with the contract documents. The contractor shall be responsible for the payment of all bills and invoices. The contractor shall be responsible for the maintenance of all equipment and tools.

**MICHAEL MILLER ARCHITECT**  
 701 PASADENA LANE  
 KEY WEST, FLORIDA

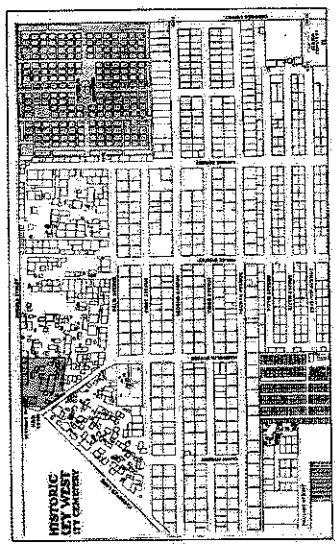
**CITY SEXTON'S HOUSE  
 KEY WEST CEMETERY**

DATE: 10/03/2011  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: J.M.  
 CHECKED BY: M.M.  
 PROJECT NO. 11-001

**SITE PLAN, SITE DATA  
 AND SITE DETAILS**

**C1**

60% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2011



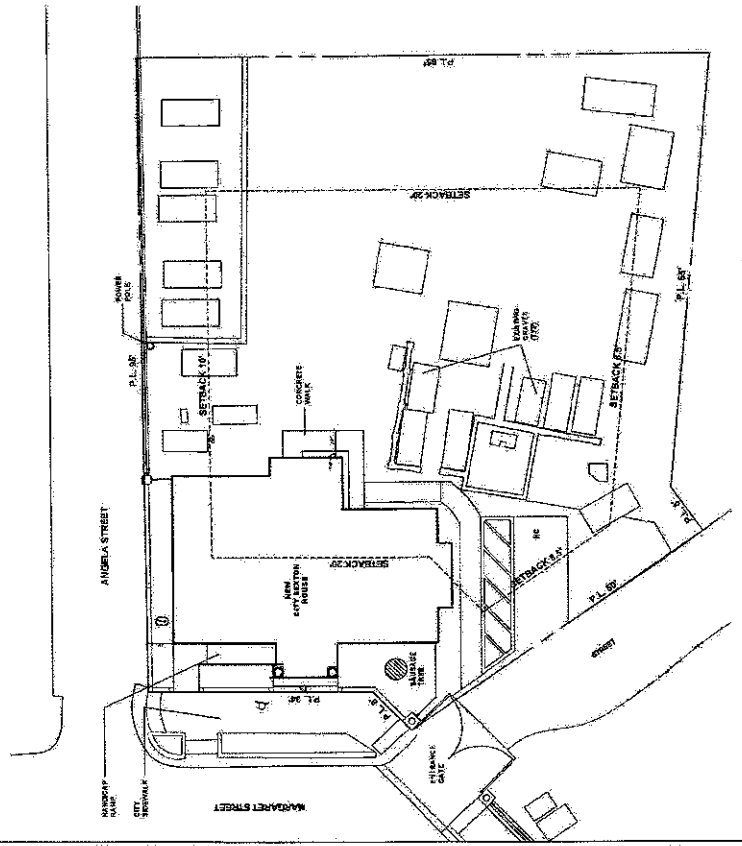
**CONTRACT DATA:**

LOT SIZE	7,414 SF
ALLOWABLE IMPERVIOUS SURFACE	48% N
PROPOSED IMPERVIOUS SURFACE	2,343 SF
PERCENT PROPOSED IMPERVIOUS SURFACE	48% N

**SITE DATA:**

ZONE	RS-1
CITY	KEY WEST
FRONT (WEST) SIDE (FOOT)	10 FT
REAR (EAST) SIDE (FOOT)	24 FT
STREET SIDE (NORTH)	10 FT
PROPOSED MAX SETBACK (WEST)	0 FT
PROPOSED MAX SETBACK (EAST)	0 FT
STREET SIDE (NORTH)	10 FT
STREET SIDE (SOUTH)	10 FT
LOT AREA	7,414 SF
ALLOWABLE PERCENT LOT COVERAGE	48% N
PROPOSED LOT COVERAGE	14% N
PERCENT PROPOSED LOT COVERAGE	18% N
MAX HEIGHT	35 FT
PROPOSED HEIGHT	35 FT



1 SITE PLAN  
 SCALE: 1/8" = 1'-0"

*[Handwritten signature]*



**REMARKS:**

1. The owner and architect are to be held responsible for the accuracy of the information provided for this project.
2. All dimensions are to be taken from the centerline of the structure unless otherwise noted.
3. All materials are to be of the highest quality and available in the area.
4. All work shall be done in accordance with the applicable codes of the State of Florida and the local jurisdiction.
5. The architect shall be responsible for the design and construction of the structure.
6. The owner shall be responsible for the construction of the structure.
7. The architect shall be responsible for the design and construction of the structure.
8. The owner shall be responsible for the construction of the structure.
9. The architect shall be responsible for the design and construction of the structure.
10. The owner shall be responsible for the construction of the structure.

**MICHAEL MILLER - ARCHITECT**  
 1234567890  
 1234567890  
 1234567890

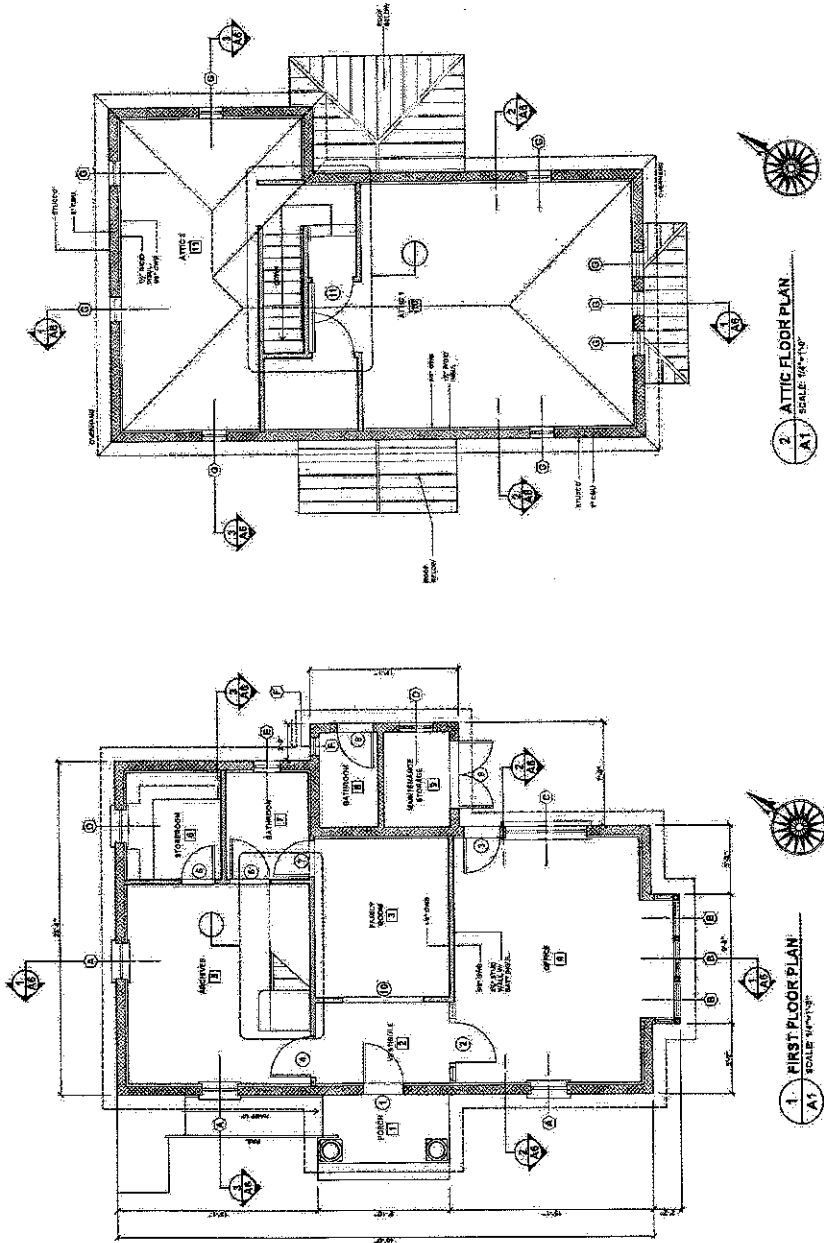
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PALSDOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/10/12
SCALE: AS SHOWN
DRAWN BY: JLM
CHECKED BY: JLM
PROJECT NO: 1234567890

**FIRST FLOOR AND ATTIC PLAN**

**A1**

50% WD PROGRESS SET.  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



**2. ATTIC FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**1. FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

*RMK  
 OC*

**NOTES:**

1. Existing and proposed elevations are shown in feet and inches.
2. All dimensions are in feet and inches.
3. All dimensions are shown in feet and inches.
4. All dimensions are shown in feet and inches.
5. All dimensions are shown in feet and inches.
6. All dimensions are shown in feet and inches.
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17. All dimensions are shown in feet and inches.
18. All dimensions are shown in feet and inches.
19. All dimensions are shown in feet and inches.
20. All dimensions are shown in feet and inches.

**MICHAEL MILLER ARCHITECT**  
 1000 S. W. 15th Ave.  
 Ft. Lauderdale, FL 33304  
 954-561-1111

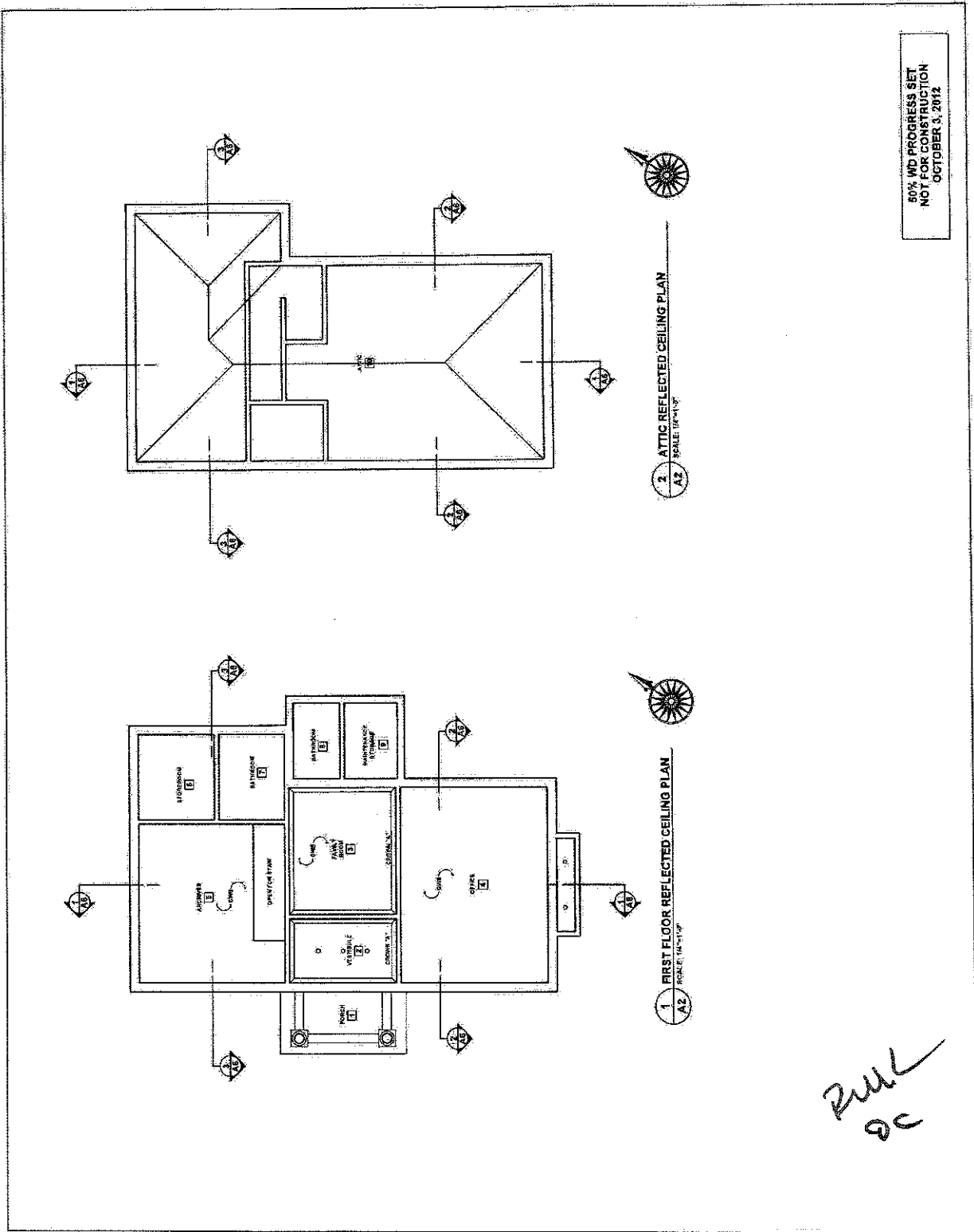
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 761 PASSOVER LAKE  
 KEY WEST, FLORIDA

DATE: 11/11/11
PROJECT NO: 1111
CLIENT: M. SEXTON
ARCHITECT: M. MILLER
SCALE: 1/4" = 1'-0"
PROJECT NO: 1111

**REFLECTED CEILING PLAN**

**A2**

80% MID PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



*Handwritten:* RMC DC

**NOTES:**

1. The contractor shall be responsible for obtaining all necessary permits for this project.
2. All work shall be done in accordance with the City of West Palm Beach Building Code, 2010 Edition, and all applicable Florida State Building Code, 2010 Edition.
3. The contractor shall be responsible for obtaining all necessary permits for this project.
4. All work shall be done in accordance with the City of West Palm Beach Building Code, 2010 Edition, and all applicable Florida State Building Code, 2010 Edition.
5. The contractor shall be responsible for obtaining all necessary permits for this project.
6. All work shall be done in accordance with the City of West Palm Beach Building Code, 2010 Edition, and all applicable Florida State Building Code, 2010 Edition.
7. The contractor shall be responsible for obtaining all necessary permits for this project.
8. All work shall be done in accordance with the City of West Palm Beach Building Code, 2010 Edition, and all applicable Florida State Building Code, 2010 Edition.
9. The contractor shall be responsible for obtaining all necessary permits for this project.
10. All work shall be done in accordance with the City of West Palm Beach Building Code, 2010 Edition, and all applicable Florida State Building Code, 2010 Edition.

**MICHAEL MILLER ARCHITECT**  
 1000 S. PALM BEACH BLVD.  
 SUITE 200  
 WEST PALM BEACH, FL 33411  
 TEL: 561-833-1111  
 FAX: 561-833-1112  
 WWW.MICHAELMILLERARCHITECT.COM

**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 101 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/03/13  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO: [Number]

**SCHEDULES AND DETAILS**

**A3**

50% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 9, 2013

**DOOR SCHEDULE**

NO.	ROOM LOCATION	TYPE	SIZE	MFR. / NO.		DOOR		FRAME		THRESHOLD		REMARKS
				MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	
1	VESTIBULE	A	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	1	ALUM.	ADA THRESHOLD
2	OFFICE	B	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	2	ALUM.	
3	OFFICE	C	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	3	ALUM.	
4	ARCHIVES	D	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	4	ALUM.	
5	STOREROOM	E	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	5	ALUM.	
6	BATHROOM	F	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	6	ALUM.	
7	BATHROOM	G	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	7	ALUM.	
8	BATHROOM	H	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	8	ALUM.	
9	MARTENANCE STORAGE	I	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	9	ALUM.	CASSED OPENING
10	FAMILY ROOM	J	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	10	ALUM.	
11	ATTIC	K	8'-0" x 6'-0"	WOOD	PNT	WOOD	PNT	WOOD	PNT	11	ALUM.	

**WINDOW SCHEDULE**

NO.	TYPE	MO. SIZE / WASH	MFR. / NO.	FIN.		GLASS		HEADR.		INTERIOR		EXTERIOR		REMARKS
				MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	
A	DBL. CASSEMENT	DBL. 3'-0" x 4'-0"	ES	ALUM.	PNT	IMPACT	7-8"	WOOD	PNT	WOOD	PNT	WOOD	PNT	SEE DETAILS FOR BILLS & STORE
B	DBL. CASSEMENT	DBL. 3'-0" x 4'-0"	ES	ALUM.	PNT	IMPACT	7-8"	WOOD	PNT	WOOD	PNT	WOOD	PNT	
C	BUILDING	3'-0" x 4'-0"	ES	ALUM.	PNT	IMPACT	7-8"	WOOD	PNT	WOOD	PNT	WOOD	PNT	
D	DBL. CASSEMENT	DBL. 3'-0" x 4'-0"	ES	ALUM.	PNT	IMPACT	7-8"	WOOD	PNT	WOOD	PNT	WOOD	PNT	
E	CASSEMENT	1'-0" x 4'-0"	ES	ALUM.	PNT	IMPACT	7-8"	WOOD	PNT	WOOD	PNT	WOOD	PNT	
F	CASSEMENT	1'-0" x 4'-0"	ES	ALUM.	PNT	IMPACT	7-8"	WOOD	PNT	WOOD	PNT	WOOD	PNT	
G	CASSEMENT	1'-0" x 4'-0"	ES	ALUM.	PNT	IMPACT	7-8"	WOOD	PNT	WOOD	PNT	WOOD	PNT	

**ROOM FINISH SCHEDULE**

NO.	ROOM NAME	FLOOR		CEILING		WEST WALL		NORTH WALL		EAST WALL		SOUTH WALL		BASE	REMARKS	
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.			
1	PORCH	CONC.	BR.	WOOD	PNT	WOOD	PNT	WOOD	PNT	WOOD	PNT	WOOD	PNT	WOOD	PNT	
2	VESTIBULE	VT	ASRY	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
3	FAMILY ROOM	CARP	NAT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
4	OFFICE	VT	ASRY	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
5	ARCHIVES	VT	ASRY	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
6	STOREROOM	VT	ASRY	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
7	BATHROOM	C.T.	FAC	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
8	BATHROOM	C.T.	FAC	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
9	MAINTENANCE STORAGE	CONC.	TRC	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	
10	ATTIC	PCT.	OVW	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	OVW	PNT	

**ABBREVIATIONS LEGEND:**

CONC: CONCRETE  
 ALUM: ALUMINUM  
 WOOD: WOOD  
 GLASS: GLASS  
 MET: METAL  
 PNT: PAINT  
 FIN: FINISH  
 MAT: MATERIAL  
 IMPACT: IMPACT RESISTANT  
 NONE: NONE

**DOOR AND WINDOW TYPES:**

WOOD: WOOD  
 MET: METAL  
 GLASS: GLASS  
 MET: METAL  
 PNT: PAINT  
 FIN: FINISH  
 MAT: MATERIAL  
 IMPACT: IMPACT RESISTANT  
 NONE: NONE

*Mark*

**NOTES:**

1. Review and verify all dimensions and materials before construction.
2. Verify all materials and workmanship are in accordance with the specifications and approved shop drawings.
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities.
4. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
5. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
6. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
7. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
8. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
9. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.
10. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

**MICHAEL MILLER + ARCHITECT**  
 1000 S. GULF  
 SUITE 200  
 MIAMI, FL 33130  
 PH: 305.358.1111

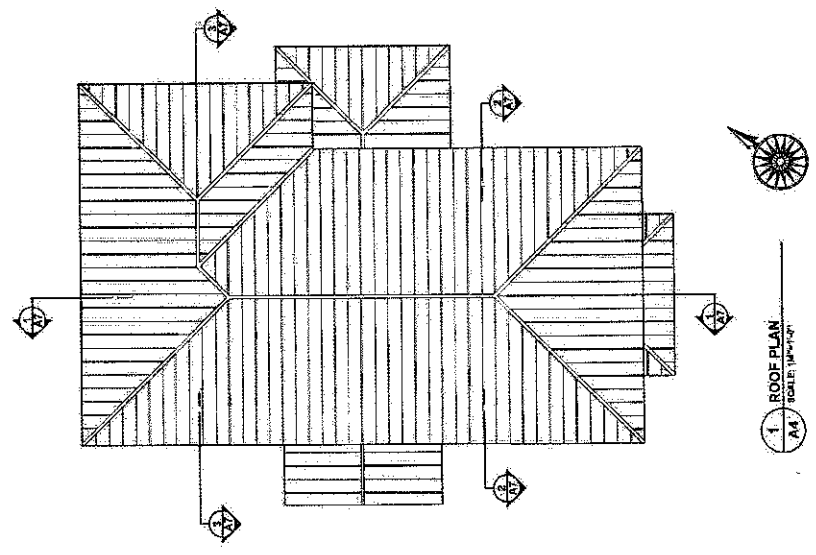
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 08/01/12
BY: M.M.
PROJECT: 12-001
DESCRIPTION: 01
SCALE: 1/8" = 1'-0"
PROJECT NO: 12-001

**ROOF PLAN AND  
 EXTERIOR DETAILS**

**A4**

50% WD PROGRESS SET.  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012.



*RMK*  
*RC*

**REVISIONS:**

1. Additions to the drawing to show the final window and door locations.
2. Additions to the drawing to show the final window and door locations.
3. Additions to the drawing to show the final window and door locations.
4. Additions to the drawing to show the final window and door locations.
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10. Additions to the drawing to show the final window and door locations.

**MICHAEL MILLER ARCHITECT**  
 2500 N. W. 10th Ave.  
 Suite 200  
 Ft. Lauderdale, FL 33304

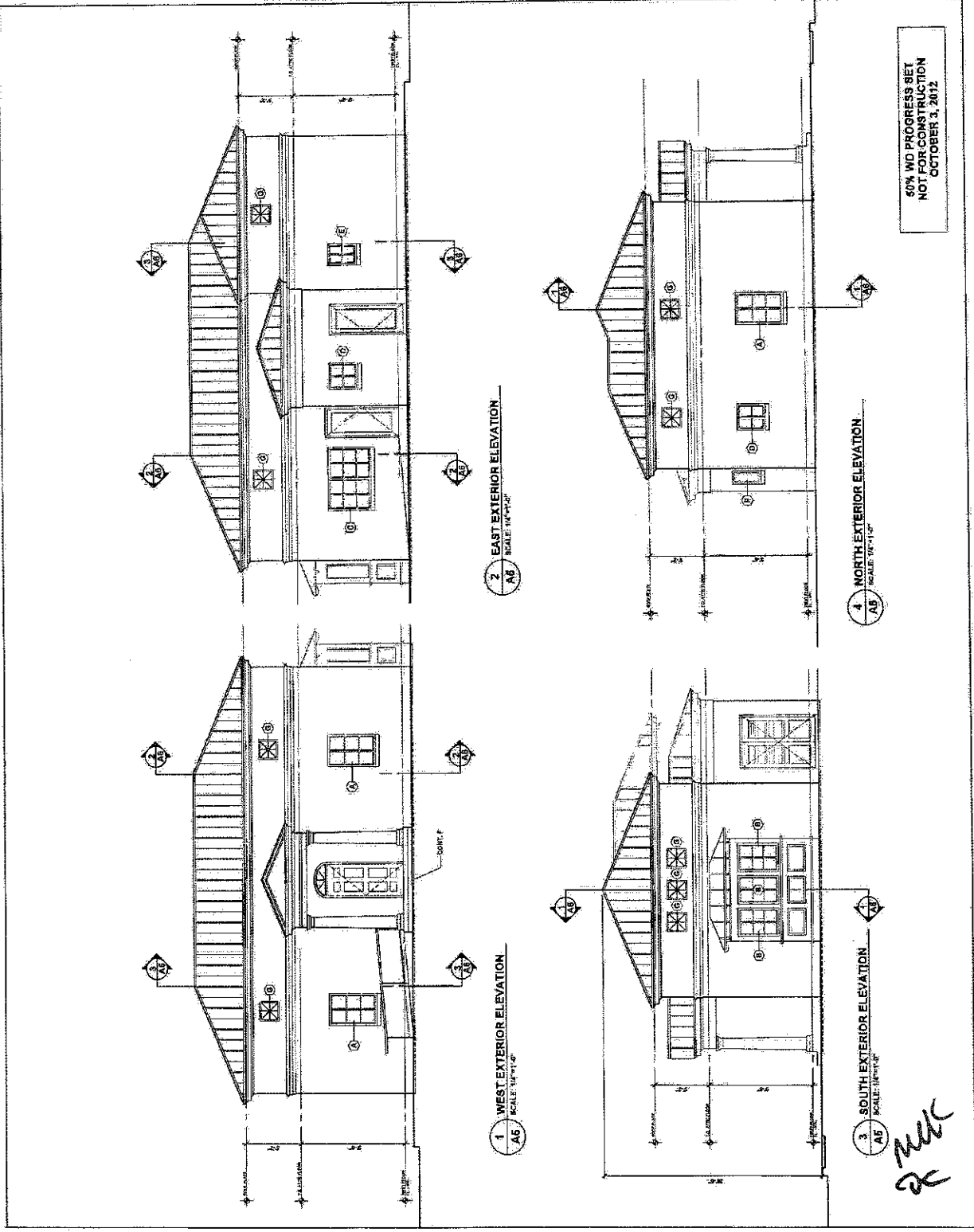
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LAKE  
 KEY WEST, FLORIDA

DATE: 10/03/02
SCALE: 1/4" = 1'-0"
PROJECT NO. 02-001
DATE: 10/03/02
PROJECT NO. 02-001
DATE: 10/03/02

**EXTERIOR ELEVATIONS**

**A5**

60% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2002



2 EAST EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

4 NORTH EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

1 WEST EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

3 SOUTH EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

1. The owner and architect shall be responsible for the design and construction of the building.
2. The architect shall be responsible for the design and construction of the building.
3. The architect shall be responsible for the design and construction of the building.
4. The architect shall be responsible for the design and construction of the building.
5. The architect shall be responsible for the design and construction of the building.
6. The architect shall be responsible for the design and construction of the building.
7. The architect shall be responsible for the design and construction of the building.
8. The architect shall be responsible for the design and construction of the building.
9. The architect shall be responsible for the design and construction of the building.
10. The architect shall be responsible for the design and construction of the building.

**MICHAEL MILLER ARCHITECT**  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

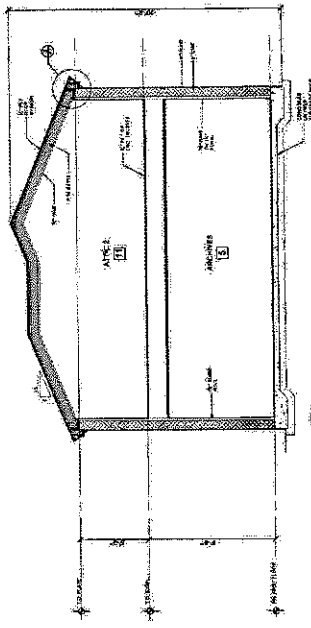
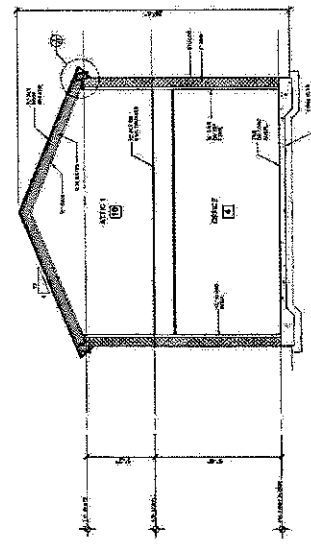
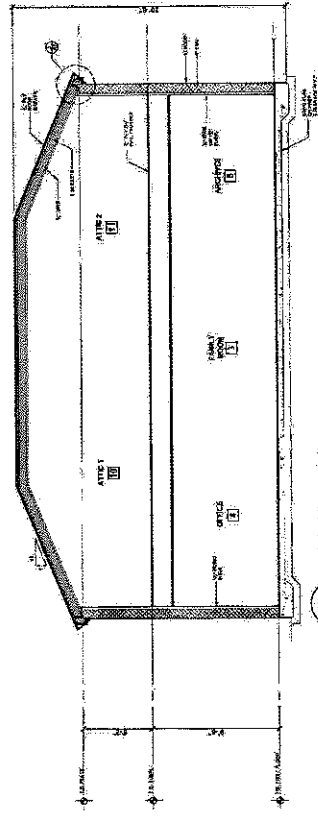
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/03/12
SCALE: AS SHOWN
DRAWN BY: AM
DESIGNED BY: AM
PROJECT NO.: 100

**BUILDING SECTIONS**

**A6**

50% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



*Handwritten initials: MMK OC*

**1. REFERENCES:**

1. Building Code of the City of Key West, Florida.
2. International Building Code, 2003 Edition.
3. Florida Building Code, 2003 Edition.
4. Florida State Board of Building, Safety and Code Enforcement, 2003 Edition.
5. Florida State Board of Building, Safety and Code Enforcement, 2003 Edition.
6. Florida State Board of Building, Safety and Code Enforcement, 2003 Edition.
7. Florida State Board of Building, Safety and Code Enforcement, 2003 Edition.
8. Florida State Board of Building, Safety and Code Enforcement, 2003 Edition.
9. Florida State Board of Building, Safety and Code Enforcement, 2003 Edition.
10. Florida State Board of Building, Safety and Code Enforcement, 2003 Edition.

2. All work shall be done in accordance with the approved plans, specifications, and conditions of contract. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations.

3. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

4. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

5. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

6. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

7. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

8. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

9. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

10. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

**MICHAEL MILLER ARCHITECT**  
 ARCHITECTS  
 1000 N. MIAMI AVENUE  
 SUITE 1000  
 MIAMI, FL 33132  
 (305) 371-1111

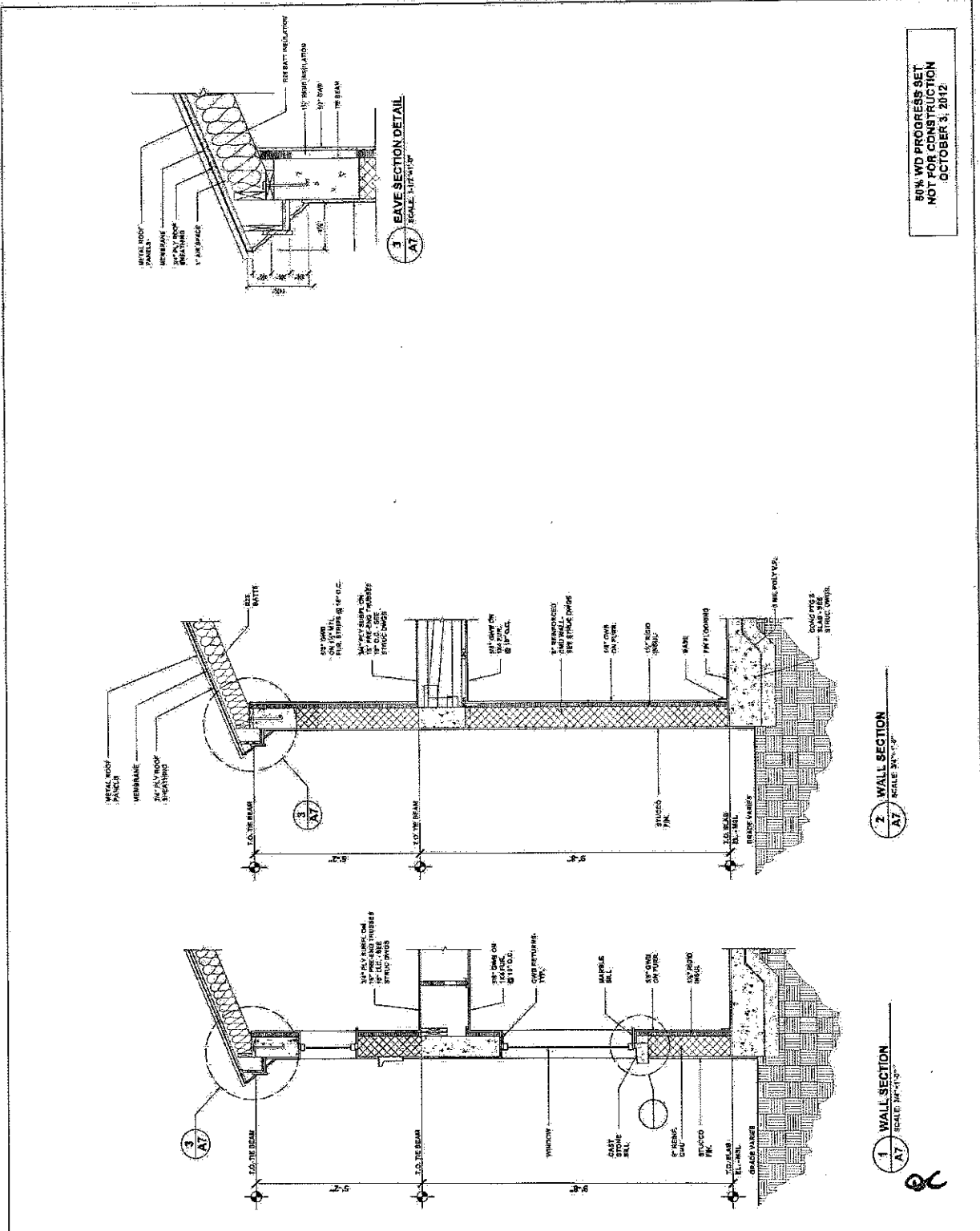
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/03/12
SCALE: AS SHOWN
PROJECT NO.: 1007
DESIGNED BY: [Name]
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

**WALL SECTIONS AND DETAILS**

**A7**

80% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



MNC  
 OC

**NOTES:**

1. Foundation and reinforcement are to be constructed in accordance with the approved plans and specifications.
2. No changes to the foundation or reinforcement are to be made without the written approval of the architect.
3. All work shall be done in accordance with the approved plans, specifications and details.
4. All work shall be done in accordance with the approved plans, specifications and details.
5. All work shall be done in accordance with the approved plans, specifications and details.
6. All work shall be done in accordance with the approved plans, specifications and details.
7. All work shall be done in accordance with the approved plans, specifications and details.
8. All work shall be done in accordance with the approved plans, specifications and details.
9. All work shall be done in accordance with the approved plans, specifications and details.
10. All work shall be done in accordance with the approved plans, specifications and details.

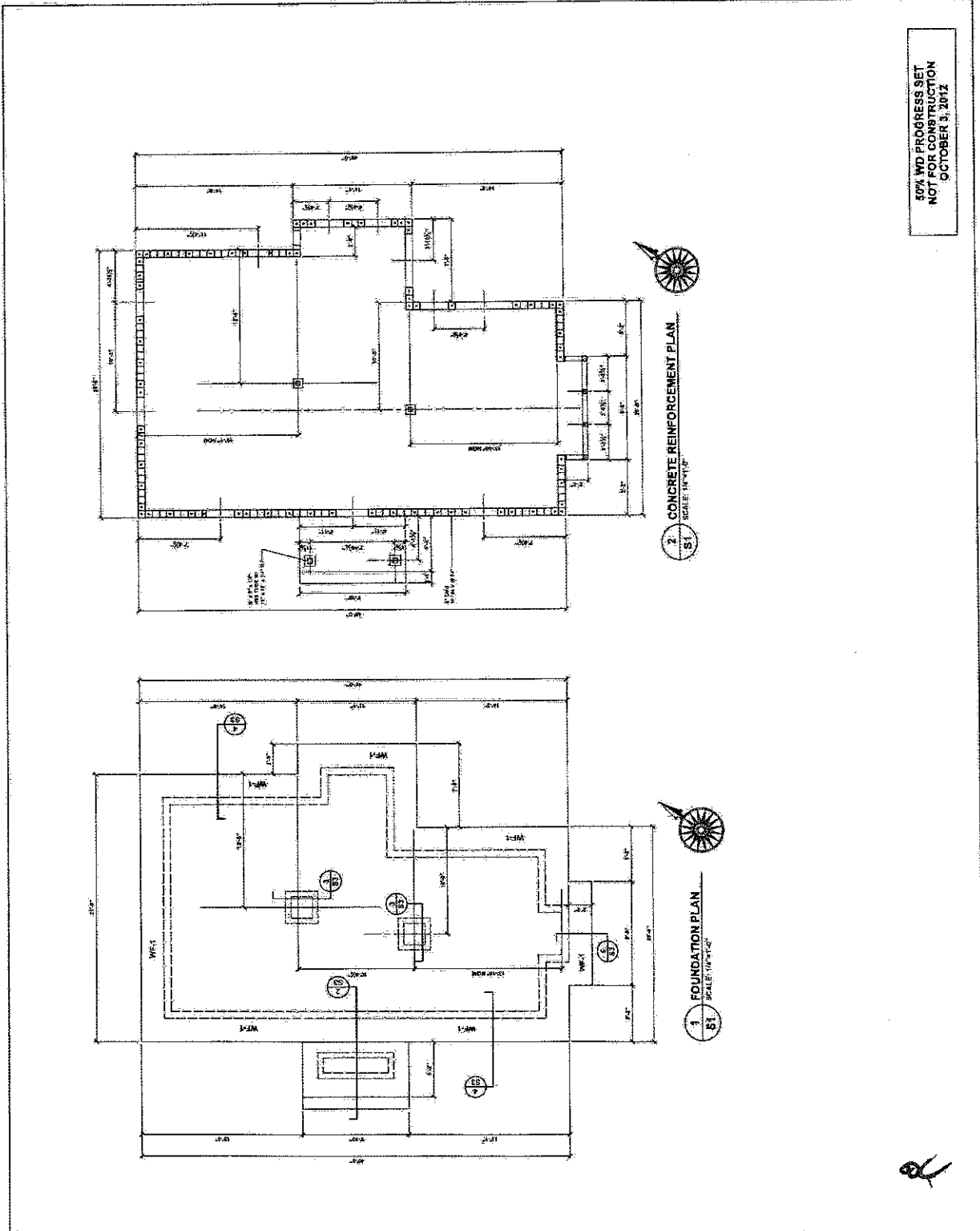
**MICHAEL MILLER ARCHITECT**  
 101 PASSAVER LANE  
 KEY WEST, FLORIDA 33440  
 TEL: 305.857.1111  
 FAX: 305.857.1112

**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 101 PASSAVER LANE  
 KEY WEST, FLORIDA

PROJECT NUMBER	12-110
DATE	11/10/11
DESIGNER	M.M.
DRAWN BY	M.M.
CHECKED BY	M.M.
PROJECT NO.	12-110

**FOUNDATION PLAN  
 REINFORCEMENT PLAN  
 AND  
 STRUCTURAL DETAILS**

**S1**





**NOTES**

1. Check and specify details for the roof framing.
2. No changes to be made to the roof framing details unless otherwise indicated.
3. No changes to be made to the roof framing details unless otherwise indicated.
4. All work shall be in accordance with the applicable code and standards.
5. All work shall be in accordance with the applicable code and standards.
6. All work shall be in accordance with the applicable code and standards.
7. All work shall be in accordance with the applicable code and standards.
8. All work shall be in accordance with the applicable code and standards.
9. All work shall be in accordance with the applicable code and standards.
10. All work shall be in accordance with the applicable code and standards.

**MICHAEL MILLER, ARCHITECT**  
 501 N. W. 10th St.  
 Ft. Lauderdale, FL 33304  
 Phone: (954) 561-1111  
 Fax: (954) 561-1112  
 Website: www.millerarchitect.com

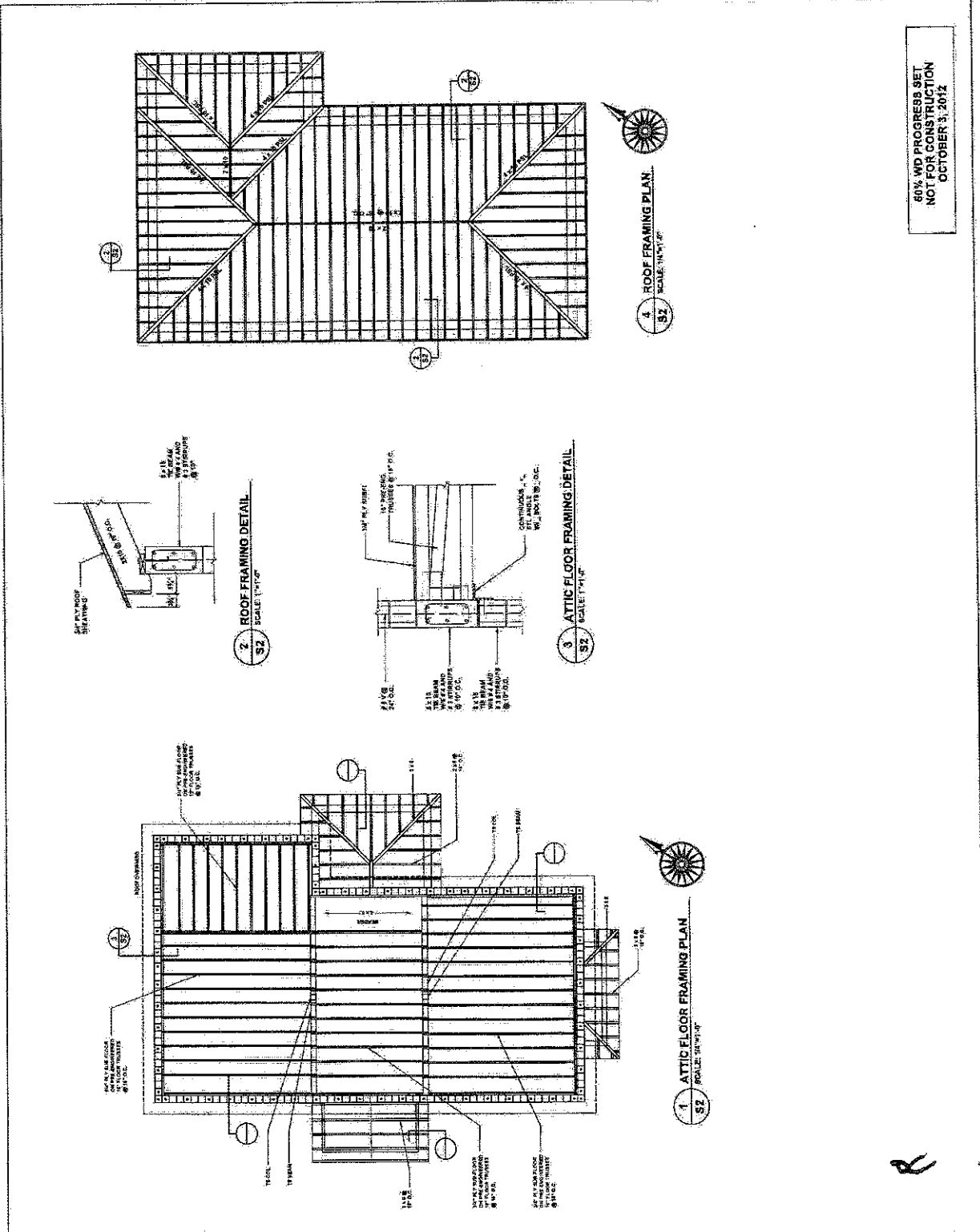
**CITY SEXTON'S HOUSE  
 KEY WEST CEMETERY  
 751 PASQUETA BLVD  
 KEY WEST, FLORIDA**

DATE: 10/23/12
SCALE: 1/4"=1'-0"
DESIGNED BY: JM
CHECKED BY: JM
DATE: 10/23/12
PROJECT NO: 110

**ROOF FRAMING  
 PLAN AND  
 STRUCTURAL DETAILS**

**S2**

60% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



*Handwritten initials: R*  
*Handwritten signature: PUK*

- NOTES:**
1. Dimensions shown are for the finished condition unless otherwise noted.
  2. All work shall be done in accordance with the applicable building code.
  3. All work shall be done in accordance with the applicable building code.
  4. All work shall be done in accordance with the applicable building code.
  5. All work shall be done in accordance with the applicable building code.
  6. All work shall be done in accordance with the applicable building code.
  7. All work shall be done in accordance with the applicable building code.
  8. All work shall be done in accordance with the applicable building code.
  9. All work shall be done in accordance with the applicable building code.
  10. All work shall be done in accordance with the applicable building code.
  11. All work shall be done in accordance with the applicable building code.
  12. All work shall be done in accordance with the applicable building code.
  13. All work shall be done in accordance with the applicable building code.
  14. All work shall be done in accordance with the applicable building code.
  15. All work shall be done in accordance with the applicable building code.
  16. All work shall be done in accordance with the applicable building code.
  17. All work shall be done in accordance with the applicable building code.
  18. All work shall be done in accordance with the applicable building code.
  19. All work shall be done in accordance with the applicable building code.
  20. All work shall be done in accordance with the applicable building code.

**MICHAEL MILLER ARCHITECT**  
 301 W. WASHINGTON ST.  
 SUITE 200  
 TAMPA, FLORIDA 33602  
 TEL: 813-241-1111  
 FAX: 813-241-1112  
 WWW.MILLERARCHITECT.COM

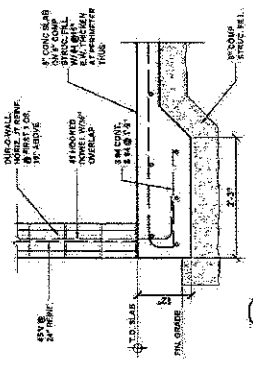
**CITY, SEXTON'S HOUSE  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA**

DATE: 10/03/12  
 DRAWING NO.: 12-001  
 SHEET NO.: 12-001-01  
 SCALE: AS SHOWN  
 PROJECT NO.: 12-001

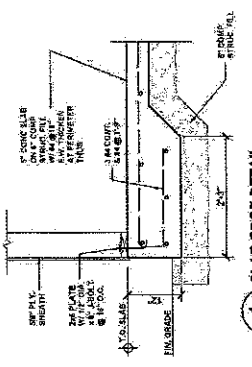
**STRUCTURAL DETAILS**

**S3**

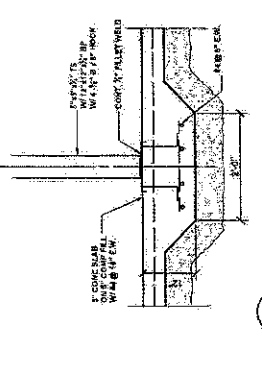
80% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



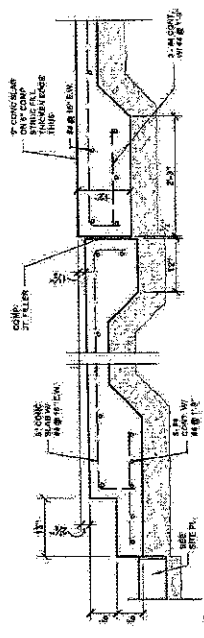
1  
 S3



2  
 S3



3  
 S3



4  
 S3

*AMC*

**NOTES:**

1. All work shall be done in accordance with the applicable code and all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
2. All work shall be done in accordance with the applicable code and all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. All work shall be done in accordance with the applicable code and all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
4. All work shall be done in accordance with the applicable code and all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
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9. All work shall be done in accordance with the applicable code and all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
10. All work shall be done in accordance with the applicable code and all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

**MICHAEL MILLER - ARCHITECT**  
 1000 N. ...  
 ...

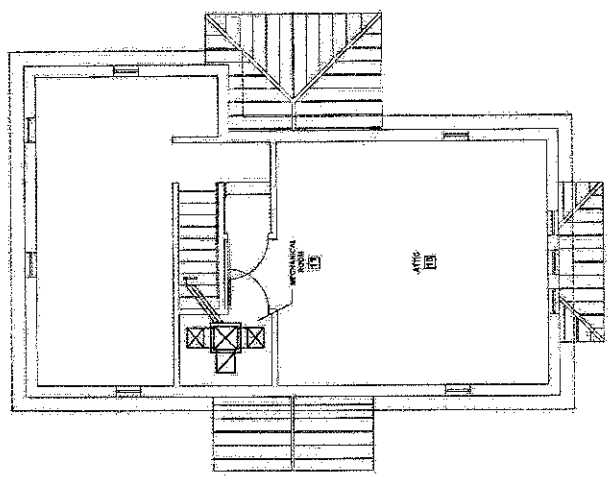
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/03/12
BY: M.M.
SCALE: AS SHOWN
PROJECT NO. 12-001
CLIENT: M.M.
PROJECT: M.M.
PROJECT NO. 12-001

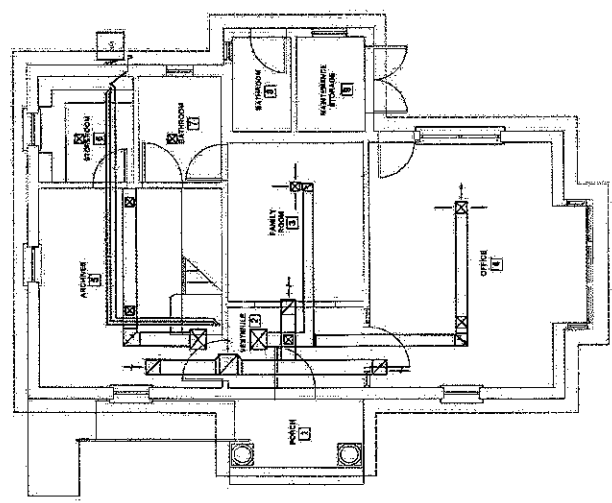
**HVAC PLAN AND DETAILS**

**M1**

50% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



**2 ATTIC HVAC PLAN**  
 SCALE: 1/8"=1'-0"



**1 FIRST FLOOR HVAC PLAN**  
 SCALE: 1/8"=1'-0"

*Handwritten signature: R.M.K.*

**NOTES:**

1. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
2. All materials to be installed shall be new unless otherwise specified.
3. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
4. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
5. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
6. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
7. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
8. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
9. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.
10. All work shall be done in accordance with the applicable code requirements and the manufacturer's instructions.

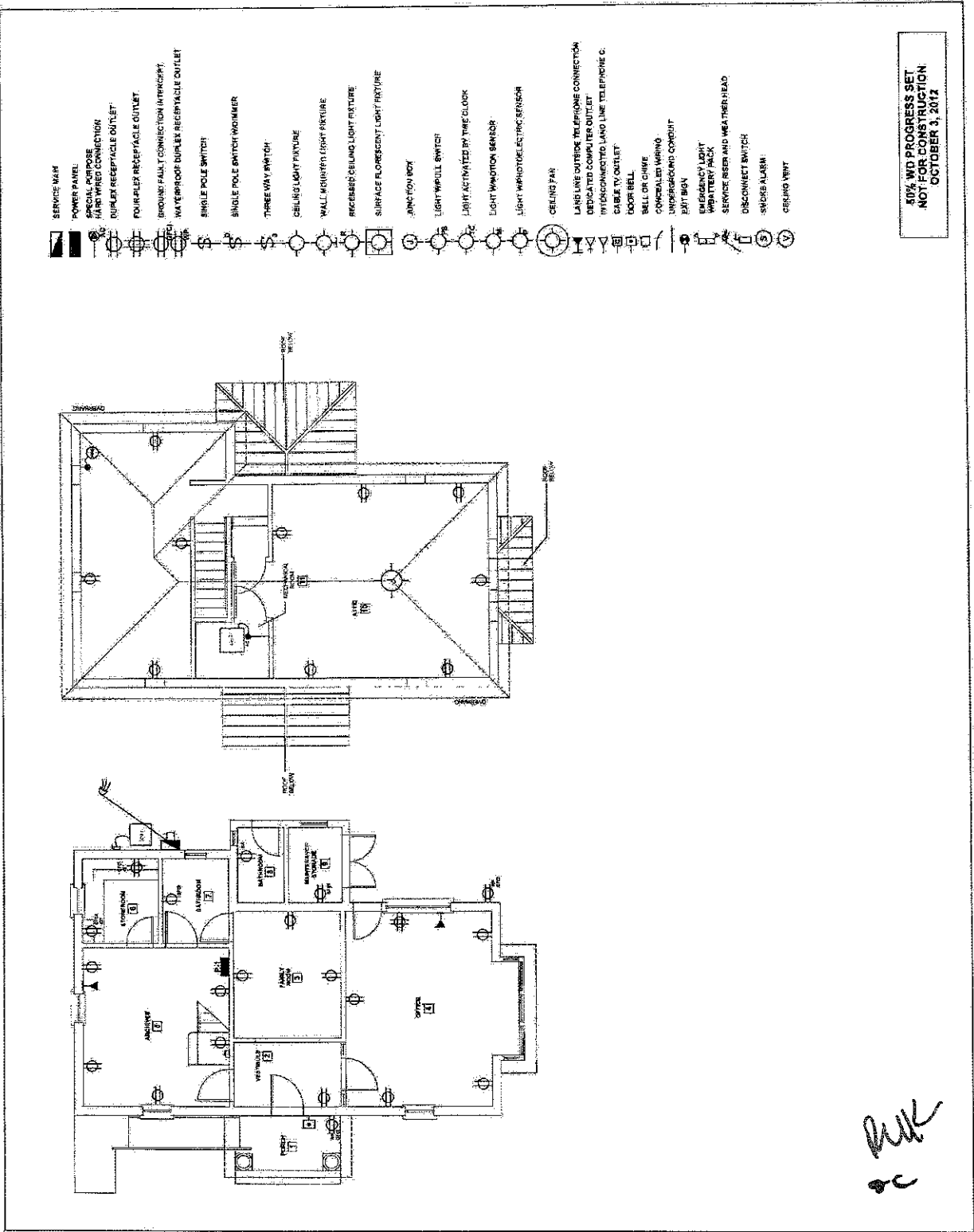
**MICHAEL MILLER ARCHITECT**  
 1000 N. W. 10th Ave.  
 Suite 200  
 Ft. Lauderdale, FL 33304

**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/03/12  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO.: [Number]  
 SHEET NO.: [Number]

**ELECTRICAL PLANS  
 PANEL SCHEDULE  
 AND RISER DIAGRAMS**

**E1**



**REVISIONS:**

1. Provide and coordinate all electrical work.
2. Provide and coordinate all lighting work.
3. No changes to the schedule or to the lighting work for any other part of the building.
4. All work shall be done in accordance with all applicable codes and standards.
5. All work shall be done in accordance with all applicable codes and standards.
6. All work shall be done in accordance with all applicable codes and standards.
7. All work shall be done in accordance with all applicable codes and standards.
8. All work shall be done in accordance with all applicable codes and standards.
9. All work shall be done in accordance with all applicable codes and standards.
10. All work shall be done in accordance with all applicable codes and standards.

**MICHAEL MILLER ARCHITECT**  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

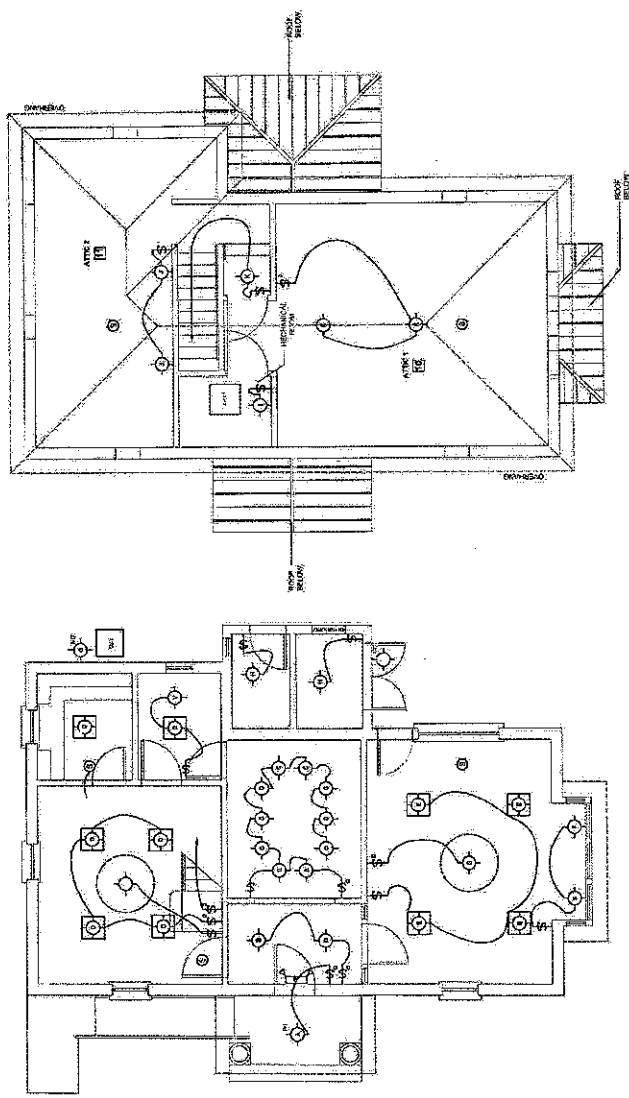
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/12/12  
 SHEET: 18 OF 20  
 DRAWN BY: [Name]  
 PROJECT NO. 101

**ELECTRICAL LIGHTING PLANS**

**E2**

80% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012



**LIGHT FIXTURE SCHEDULE**

NO.	FIXTURE TYPE	MFR/CATALOG NO.	LAMP	REMARKS
A	BANQUET LANTERN			
B	RECESSED DOWN LIGHT			
C	ACCENT SPOT LIGHT			
D	SURFACE FLORESCENT			
E	SURFACE FLORESCENT			
F	RECESSED DOWNLIGHT			
G	SECURITY LIGHT			
H	SURFACE FIXTURE			
I	WALL MOUNT FLORESCENT			
J	WALL MOUNT FLORESCENT			
K	STRIP FLORESCENT			

*Handwritten initials/signature*

**NOTES:**

1. All plumbing fixtures shall be installed in accordance with the Florida Plumbing Code, unless otherwise noted.
2. All plumbing fixtures shall be installed in accordance with the Florida Plumbing Code, unless otherwise noted.
3. All plumbing fixtures shall be installed in accordance with the Florida Plumbing Code, unless otherwise noted.
4. All plumbing fixtures shall be installed in accordance with the Florida Plumbing Code, unless otherwise noted.
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8. All plumbing fixtures shall be installed in accordance with the Florida Plumbing Code, unless otherwise noted.
9. All plumbing fixtures shall be installed in accordance with the Florida Plumbing Code, unless otherwise noted.
10. All plumbing fixtures shall be installed in accordance with the Florida Plumbing Code, unless otherwise noted.

**MICHAEL MILLER - ARCHITECT**  
 3125 W. 10th Ave.  
 Suite 100  
 Ft. Lauderdale, FL 33309

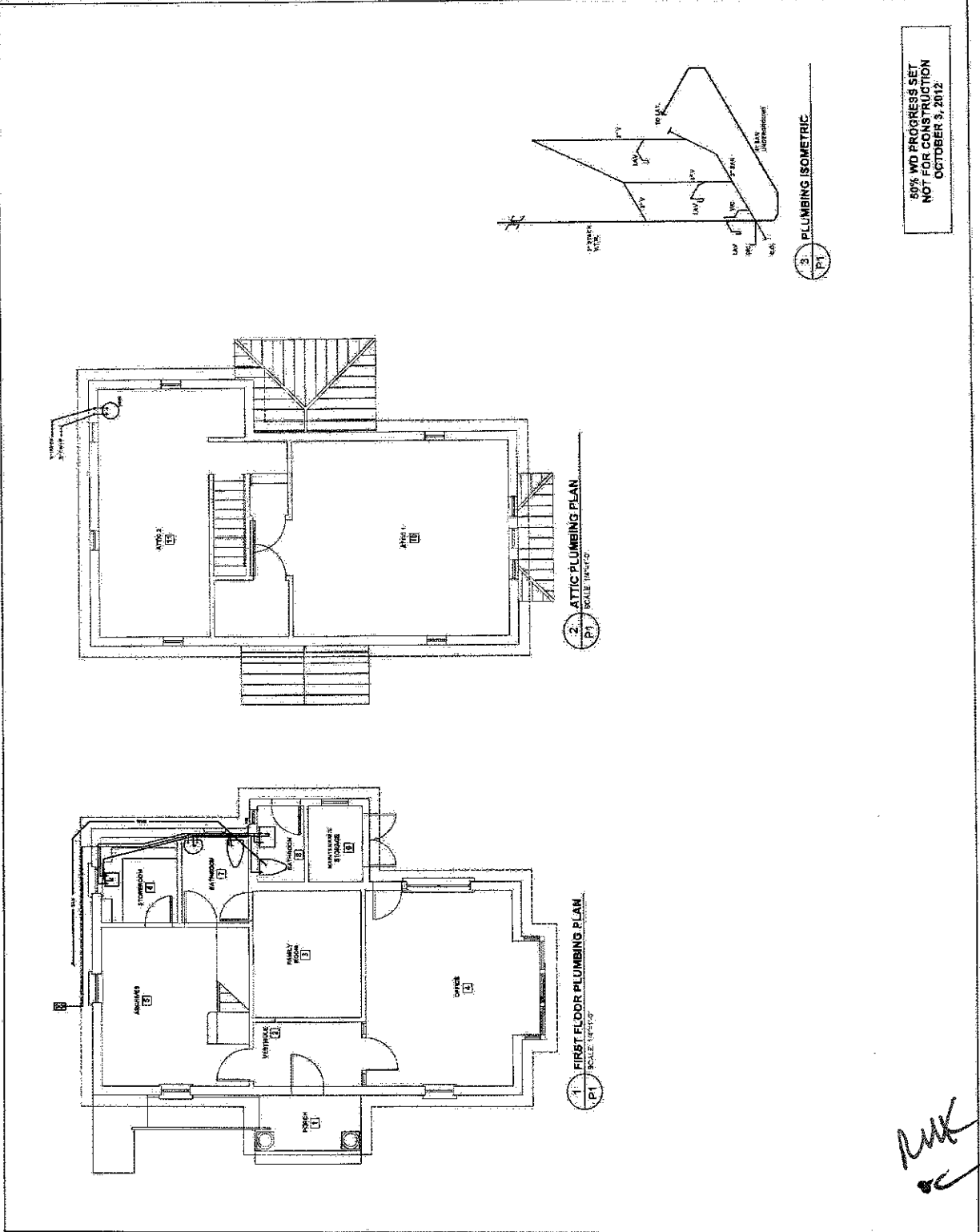
**CITY SEXTON'S HOUSE**  
 KEY WEST CEMETERY  
 701 PASSOVER LANE  
 KEY WEST, FLORIDA

DATE: 10/10/12
SCALE: AS SHOWN
SHEET: P1.A
PROJECT: 1212
CLIENT: M.M.
PROJECT NO.: 1212

**PLUMBING PLANS AND ISOMETRIC**

**P1**

12/10/2012 10:00 AM



80% WD PROGRESS SET  
 NOT FOR CONSTRUCTION  
 OCTOBER 3, 2012

*MM*