

Overall Site: Supplementary Application Package

- 1. Application and Overall Conceptual Site Plan**
- 2. Landscape Buffer Waiver Request**
- 3. Compact Car Spaces Waiver Request**
- 4. Identification of Key Persons**
- 5. FEMA Calculation Summary**
- 6. Estimated Ad Valorem Tax Yield**
- 7. Employee Estimates**
- 8. Construction Activity Acknowledgement**
- 9. Preliminary Construction Phasing Schedule**
- 10. FDOT Coordination Letter**
- 11. Sustainability Narrative**
- 12. March 14, 2013, Community Meeting
Invitation**
- 13. DRC Comments**
- 14. Noticing**

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
604 Simonton Street, Key West, FL 33040
(305) 809-3720



Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major

Minor

Conditional Use

N/A

Historic District

Yes

No

Please print or type:

- 1) Site Address N. Roosevelt Blvd, Key West, FL 33040 (See below)
- 2) Name of Applicant JL W Ley West 1, LLC
- 3) Applicant is: Owner Authorized Representative
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant 506 FLEMING ST, KEY WEST, FL 33040
- 5) Applicant's Phone # (843) 853-1255 Email jgonzalez@jlwoode.com
- 6) **Email Address:** jgonzalez@jlwoode.com
- 7) Name of Owner, if different than above John Gonzalez
- 8) Address of Owner 49 Immigration, Suite 103, Charleston, SC 29403
- 9) Owner Phone # (843) 853-1255 Email jgonzalez@jlwoode.com
- 10) Zoning District of Parcel CG-General Commercial RE# See below
- 11) Is Subject Property located within the Historic District? Yes No
If Yes: Date of approval _____ HARC approval # _____
OR: Date of meeting _____
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

For specific description of the proposed development components please refer to the attached site specific information and development plans.

SITE A - 3852 N Roosevelt - Phase 1 (RE # 00065060-000000)

SITE B - 3850 N Roosevelt - Phase 1 (RE # 00064940-000000)

SITE C - 3824 N Roosevelt - Phase 1 (RE # 00065550-000000)

SITE D - 3820 N Roosevelt - Phase 1 (RE # 00065530-000000)

SITE E - 3840 N Roosevelt - Phase 2 (RE # 00064950-000000)

SITE F - 3800 N Roosevelt - Phase 2 (RE # 00065540-000000)

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
604 Simonton Street, Key West, FL 33040
(305) 809-3720



13) Has subject Property received any variance(s)? Yes _____ No X
If Yes: Date of approval _____ Resolution # _____
Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?
Yes X No _____
If Yes, describe and attach relevant documents.
Refer to the attached site specific information and development plans.

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

SITE KEY

SITE A - 3852 North Roosevelt Boulevard
133 - Key Fully Renovated Hotel (Phase 1)

SITE B - 3850 North Roosevelt Boulevard
141 - Key Fully Renovated Hotel (Phase 1)

SITE E (COMMERCIAL) - 3840 North Roosevelt Boulevard
Proposed Commercial Development (Phase 2)
Note: Dashed lines represent existing conditions.

SITE C - 3824 North Roosevelt Boulevard
100 - Key Fully Renovated Hotel (Phase 1)

SITE D - 3820 North Roosevelt Boulevard
145 - Key Fully Renovated Hotel (Phase 1)

SITE F (COMMERCIAL) - 3800 North Roosevelt Boulevard
Proposed commercial development (Phase 2)
Note: Dashed lines represent existing conditions.

LEGEND

- Existing Building to Remain
- New Building



PROJECT Nº 20120295.00 | REVISION Nº 002 | DATE 03 27 2013

Notes

OVERALL PROPOSED DEVELOPMENT SITE PLAN



KEY WEST HOTEL COLLECTION

License Nº AA26000496

Key West, Florida 33040



2. Landscape Buffer Waiver Request



15 March, 2013

Mr. Donald Craig, Director
City of Key West Planning
3140 Flagler Avenue
Key West, FL 33040

RE: Request for Landscape Buffer Waiver
Key West Hotels
3852, 3850, 3824 and 3820 N. Roosevelt Boulevard

Mr. Craig:

In redeveloping the above referenced hotel sites, we have determined that we are unable to provide the necessary buffer yard and perimeter landscape requirements per the City's Land Development Regulations. In particular, we are requesting waivers for Section 108-347: *Required Screening*, Section 108-413: *Requirements along Street Frontage* and Section 108-415: *Perimeter Landscape Requirements*. Specific concerns are provided below for each property and on the survey data submitted with this letter. We are providing electronic copies here and we are sending full size paper copies for your review.

3852 N. Roosevelt Boulevard (Site A)

1. Along Roosevelt Boulevard there are existing areas that do not meet the required 40 feet of landscaping along the street frontage. The existing parking area in the north corner and the existing pool prevent the required depth of buffer per Section 108-413.
2. Existing drive aisles and parking areas are adjacent to the property lines along the north, west and south boundaries of our project area. On all three sides, the edge of pavement is within ten (10) feet of the property lines thus we unable to provide the required perimeter landscape per Section 108-415 nor the required buffer yard between land uses per Section 108-347.
3. A five-foot utility easement along the rear (west) property line will prevent us from providing the necessary tree plantings along this edge of the project.

3850 N. Roosevelt Boulevard (Site B)

1. Along Roosevelt Boulevard there are existing areas that do not meet the required 30 feet of landscaping along the street frontage. The existing parking area along the east property line prevents the required depth of buffer per Section 108-413.
2. Existing drive aisles and parking areas are adjacent to the property lines along the north, west and south boundaries of our project area. In specific areas, highlighted on the site survey, the edge of pavement is within ten (10) feet of the property line thus we are not able to provide the required perimeter landscape per Section 108-415.

Jerome M. Cooper, FAIA
 E. Pope Bullock, AIA
 Kevin R. Cantley, AIA
 Angelo A. Carusi, AIA
 Richmond Cogburn, AIA
 C. Timothy Fish, AIA
 Richard J. Fierl, ASLA
 Mark D. Jensen, AIA
 David W. Kitchens, AIA
 M. Sean McLendon, AIA
 Gregory A. Miller, AIA
 Roger L. Miller, AIA
 Gar Muse, AIA
 C. Robert Neal, AIA
 Keith A. Simmel, AIA
 Stephen M. Smith, AIA
 Robert F. Uhrin, AIA
 J. Ben Wauford, AIA

Dorothy M. Colley, AIA
 R. Allen Dedels, AIA
 Robert M. Fischel, AIA
 Richard W. Fredlund, AIA
 Robert A. Just, AIA
 Kathryn E. K. Peterschmidt, AIA
 David F. Thomson, AIA
 Sherry M. Wilson

Manny Dominguez, AIA
 William R. Halter, AIA
 Mark G. Kill, AIA
 Oscar A. Perez, AIA
 Richard E. Stonis
 Gary E. Warner, ASLA, AICP

D. Lee Ayers, AIA
 Samuel E. Boyd, AIA
 Kenneth H. Brown, AIA
 M. Lane Chapman, AIA
 Lauren Perry Ford, AIA
 L. Layton Golding, AIA
 Lyle Green, AIA
 Stephen P. Jackson, AIA
 Deborah Jensen, AICP
 Donald E. Reszel, AIA
 Brian M. Parker, AIA
 Andrea Schaub, AIA
 Michael G. Service, AIA
 Stanley W. Williams, AIA

Christopher A. Bivins, AIA
 Brian Campa, AIA
 Christian F. Culver, AIA
 Brandon Danke, AIA
 Christopher D. Ernst, AIA
 W. Richard Kinkade, Jr., AIA
 Michael J. Linker, AIA
 Nicolia C. Robinson, AICP
 Janet Romanic, AIA
 Andres Rubio, AIA
 Karen Trimbach, IIDA
 Khrysti C. Uhrin, AIA
 Nathan Williamson, AIA

3824 N. Roosevelt Boulevard (Site C)

1. Along Roosevelt Boulevard there are existing areas that do not meet the required 30 feet of landscaping along the street frontage. The existing parking area along the northeast property line prevents the required depth of buffer per Section 108-413.
2. Along Northside Drive, on the southwest edge of the project site, the existing parking area and vehicular drive prevents the required depth of buffer per Section 108-413.
3. Along the northeast property line, the existing asphalt parking area is constructed up to, and on, the property line thus preventing us from providing the required ten-foot perimeter landscape buffer per Section 108-415.
4. Along the northwest property line, the existing asphalt parking area is constructed within ten feet of the property line or built up to the property line thus preventing us from providing the required ten-foot perimeter landscape buffer per Section 108-415.

3820 N. Roosevelt Boulevard (Site D)

1. Along Roosevelt Boulevard there are existing areas that do not meet the required 40 feet of landscaping along the street frontage. The existing parking area along the north property line prevents the required depth of buffer per Section 108-413.
2. Along Northside Drive, on the southern edge of the project site, the existing parking prevents the required depth of buffer per Section 108-413.
3. Along the east property line, the existing asphalt parking area is constructed up to, and on, the property line thus preventing us from providing the required ten-foot perimeter landscape buffer per Section 108-415.

We will work with the City's Planning Department and Urban Forester to ensure that we provide the best and most appropriate landscape buffer along our property lines for each of our projects. However, due to limited available landscape area, we are officially requesting an approved waiver for the City's buffer yard and perimeter landscape requirements as specified by the Land Development Regulations.

Please contact me if you need additional information or have any questions.

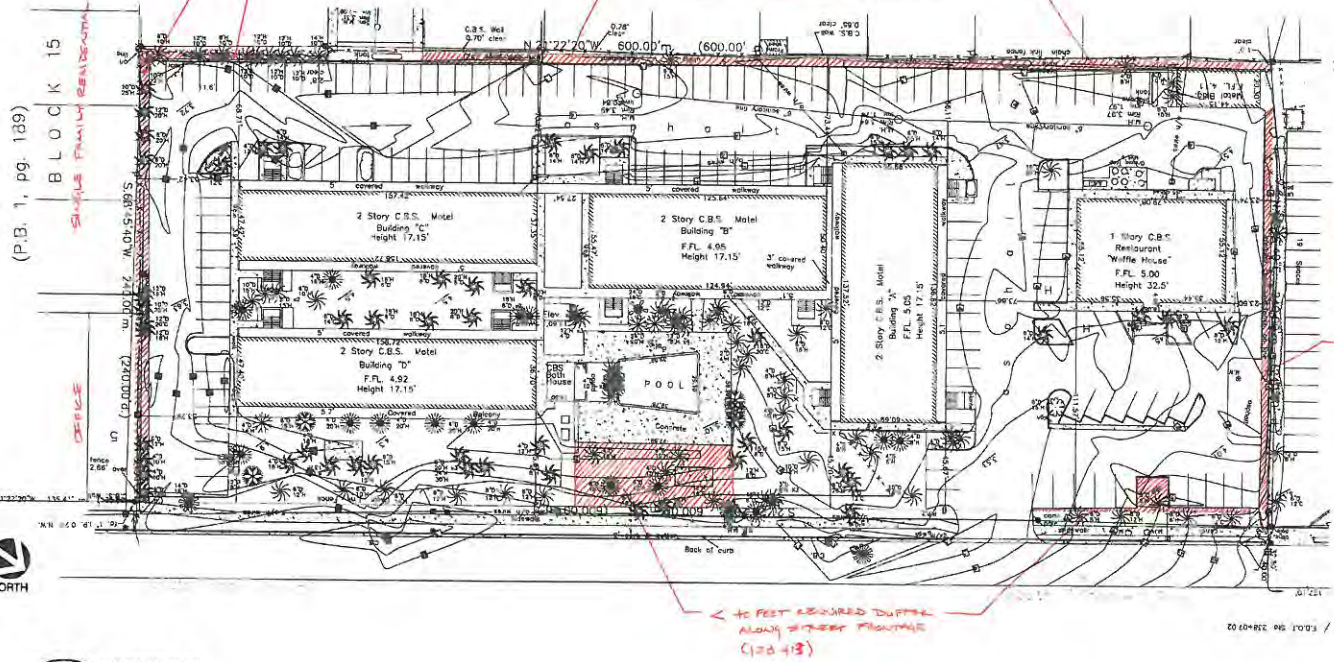
Sincerely,



Gary E. Warner, ASLA, AICP
Director, Landscape Architecture & Planning
Cooper Carry
FL License No. LA0001473

EXISTING TREE LEGEND
 6"D = Diameter of tree.
 12'C = Canopy diameter of tree.

- = Palm
- = Almond
- = Butterwood
- = Tree, Unknown
- = Coconut
- = Pine
- = Gumbo Limbo
- = Umbrella
- = Ficus
- = Papeya
- = Rubber
- = Hong Kong Tulp
- = Seagrape



(P.B. 1, pg. 139)
 BLOCK 15
 SINGLE FAMILY RESIDENTIAL



1 LANDSCAPE PLAN
 L1.01 SCALE: 1" = 50'

© Copyright Cooper Carry 2013
 SCOPE OF SERVICES
 The Construction Documents have not been completed. The drawings issued indicate the general scope of work and shall constitute a contract. The Contractor is responsible for complete and correct pricing and all other details of the project. It is the responsibility of the Contractor to verify the accuracy of all information provided and to obtain all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for all other details of the project, including but not limited to, site conditions, existing conditions, and any other information that may be required for the proper execution of the project. The Contractor shall be responsible for all other details of the project, including but not limited to, site conditions, existing conditions, and any other information that may be required for the proper execution of the project. The Contractor shall be responsible for all other details of the project, including but not limited to, site conditions, existing conditions, and any other information that may be required for the proper execution of the project.

ISSUANCES		
No.	Drawing Issue Description	Date
01	DEVELOPMENT PLAN	2013-07-01

**KEY WEST HOTEL
 COLLECTION - FAIRFIELD INN
 & SUITES - (SITE A)**

3852 North Roosevelt Boulevard
 Key West, Florida 33040
 J.L. Woode Ltd.

EXISTING SITE PLAN

BOB NEAL Principal Architect	20120205
MARNY DOMINGUEZ Architect	02/01/13
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	
	L1.01



COOPERCARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

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BIDDING DOCUMENTS
The Contract Documents have not been completed therefore the drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and shall be held liable for any errors in the drawings. All components of the Project shall comply with any and all requirements of federal, state, and local codes. The Contractor shall obtain the Owner and Architect's approval on any conditions, materials or methods of construction proposed. Site notes in green and any conditions, in coordination or errors not discovered by the architect are subject to change without notice and shall be binding on the Contractor when associated with the general notes and quality of the Project.

- EXISTING TREE LEGEND
6"Ø = Diameter of tree
1"Ø = Canopy diameter of tree
Palm
Almond
Butternut
Tree Unknown
Coccoloba
Pine
Gumbo Limbo
Umbrella
Ficus
Platanus
Rubber
Hong Kong Ivy
Sycamore

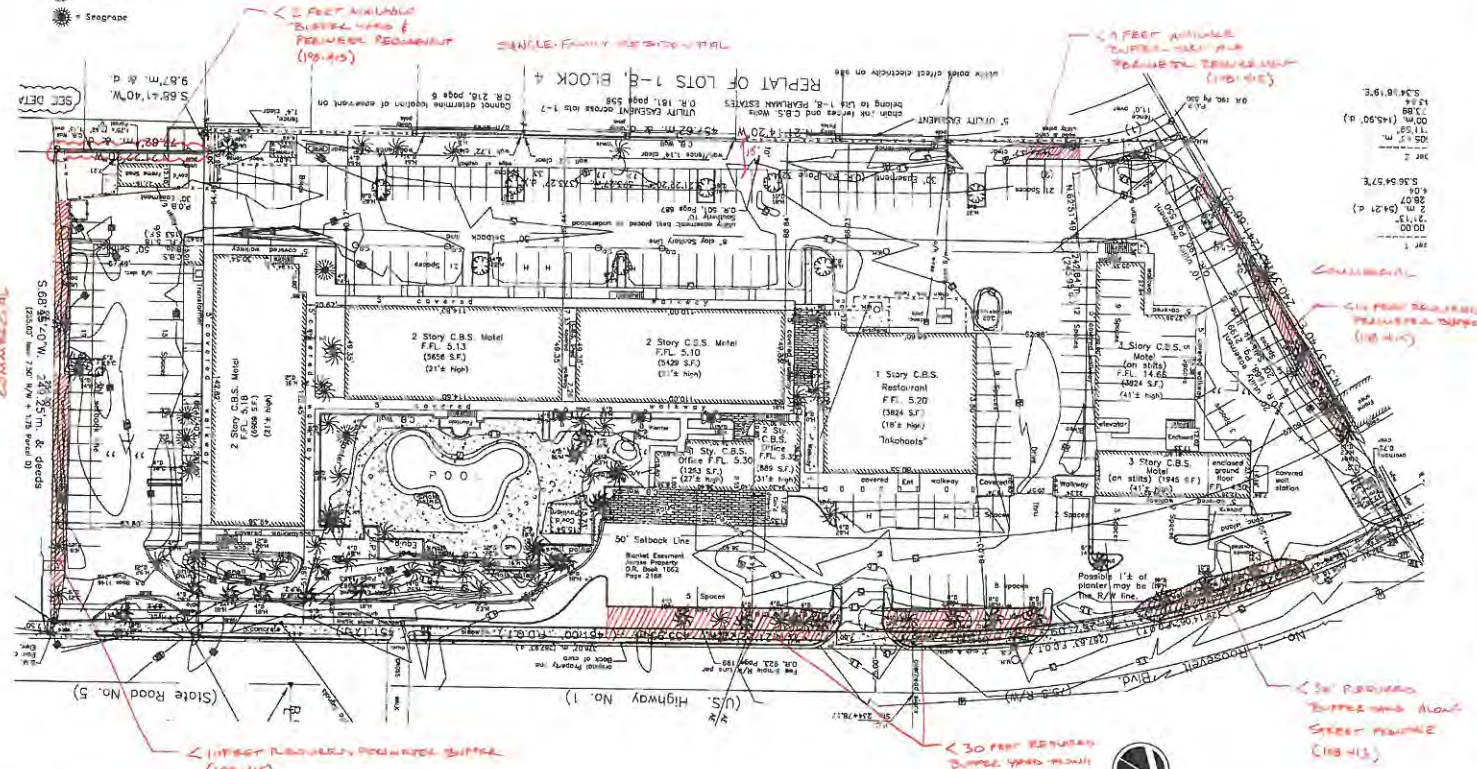


Table with 3 columns: No., Issuance Description, Date. Contains 2 entries for development plans.

KEY WEST HOTEL COLLECTION
HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

EXISTING
SITE PLAN

1 EXISTING SITE PLAN
SCALE: 1" = 30'-0"



NORTH

Table with 2 columns: Name, Date. Lists project team members including Bob Neal, Mann Dominguez, Andres Rubio, and Jack Bagby.

L2.00

NOT ISSUED FOR CONSTRUCTION



COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

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SITING DOCUMENT

The Contractor Documents have not been completed. Therefore, the drawings may be inaccurate or incomplete. The Contractor is responsible for complete and coordinated utility and field work and shall obtain all necessary permits for proper installation and construction of the Project. The Contractor is responsible for complete and coordinated utility and field work and shall obtain all necessary permits for proper installation and construction of the Project. The Contractor shall ensure the Owner and Architect of any concerns, responsibilities or errors in the information provided. It is the Contractor's responsibility to ensure that the drawings are accurate, and the Contractor shall be responsible for the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040
J.L. Woode Ltd.

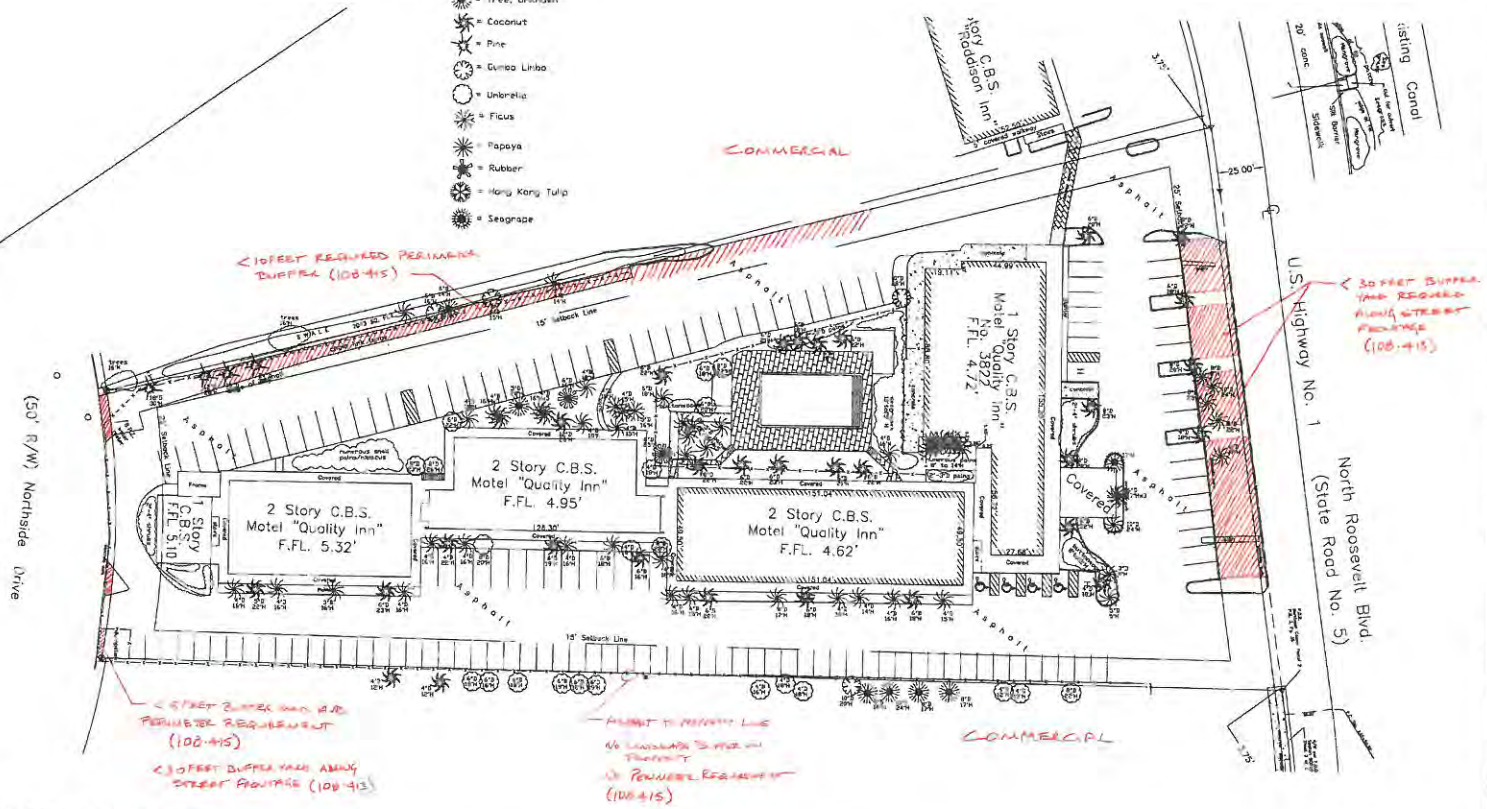
EXISTING SITE PLAN

BOB NEAL	20120795
MANNY DOMINGUEZ	0201113
ANDRES RUBIO	
T. JACK BAGBY	

L2.00

NOT ISSUED FOR CONSTRUCTION

- D = Diameter of tree
H = Height of tree
- Palm
 - Almond
 - Buttonwood
 - Tree, Unknown
 - Coconut
 - Pine
 - Cumbia Limbo
 - Umbrella
 - Ficus
 - Papaya
 - Rubber
 - Houng Kong Tulip
 - Seagrass



1
13.00
EXISTING TREE PLAN
SCALE: 1" = 30'-0"



COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

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SCOPE DOCUMENT

The Construction Documents have not been completed heretofore. As drawing may be prepared by the contractor. The contractor shall indicate the general scope of work, and shall provide all items necessary to the proper execution of the project. The Contractor is responsible for compliance with applicable codes, laws, ordinances, and all applicable rules and regulations. The Contractor shall verify the accuracy of all information provided. The Contractor shall be responsible for any errors or omissions in the information provided. The Contractor shall be responsible for any errors or omissions in the information provided. The Contractor shall be responsible for any errors or omissions in the information provided.

ISSUANCES		
No.	Drawing Issue Description	Date
1	DEVELOPMENT PLAN	08/11/11
2	TREE PERMIT APPLICATION	08/11/11

KEY WEST HOTEL COLLECTION - HAMPTON INN & SUITES - (SITE D)

3820 North Roosevelt Boulevard
Key West, Florida 33040
J.L. Woode Ltd.

EXISTING SITE PLAN

BOB HEAL	2012/02/25
Project Manager	08/11/11
MANNY DOMINGUEZ	08/11/11
Design Director	
ANDRES RUBIO	
Project Engineer	
T. JACK BAGBY	
Project Architect	

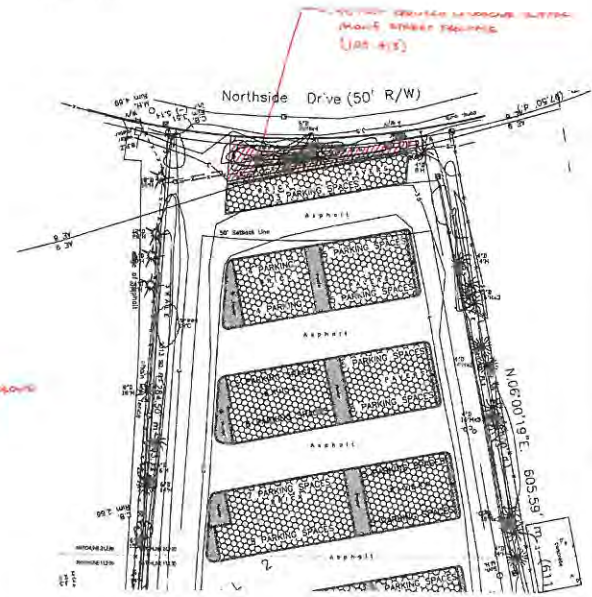
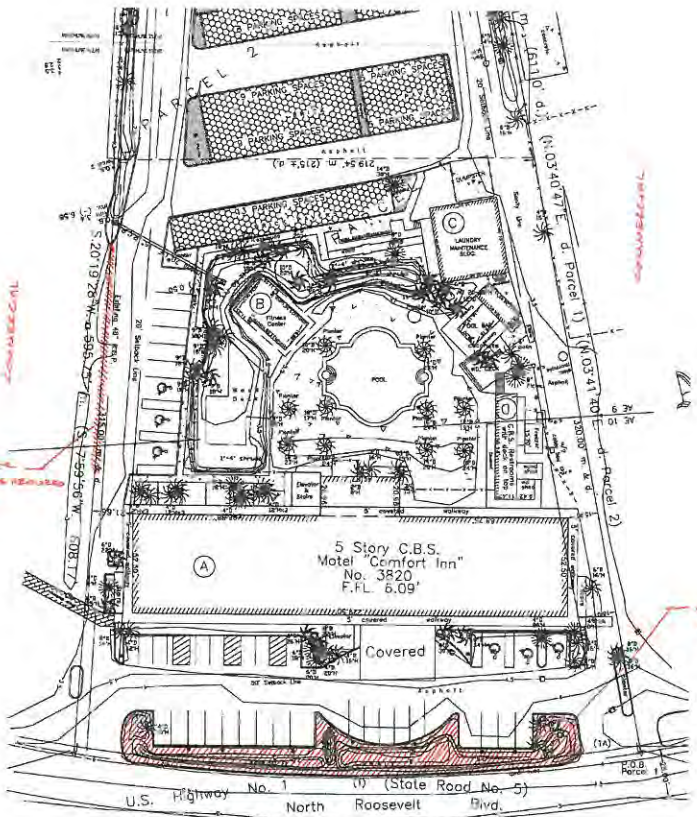
L2.00

ISSUED FOR TREE PERMIT APPLICATION ONLY

EXISTING TREE LEGEND

- D = Diameter of tree
- H = Height of tree
- = Palm
- = Almond
- = Buttonwood
- = Tree, Unknown
- = Coconut
- = Pine
- = Curatua Limba
- = Umbrel.
- = Ficus
- = Papaya
- = Rubber
- = Hong Kong Tree
- = Seagrass

NOTE: SURVEY DONE BY OTHERS.
ALL INVASIVE EXOTIC PLANTS TO BE REMOVED.



PROJECT NUMBER: 2012025 PROJECT NAME: KEY WEST HOTEL COLLECTION - HAMPTON INN & SUITES - (SITE D)
SHEET NUMBER: ALXV - UNNAMED
1030120120250607_08/11/11_11/25/11
11/25/11 11:25:11 AM

1 EXISTING SITE PLAN
SCALE: 1" = 30'-0"



2 EXISTING SITE PLAN PARKING
SCALE: 1" = 30'-0"

3. Compact Car Spaces Waiver Request



COOPER CARRY

18 March, 2013

Mr. Donald Craig, Director
City of Key West Planning
3140 Flagler Avenue
Key West, FL 33040

RE: Compact Spaces Request Letter
Key West Hotels
3852, 3850, 3824 and 3820 N. Roosevelt Boulevard

Dear Mr. Craig:

In redeveloping the above referenced hotel sites, we have determined that we are unable to provide the necessary parking spaces requirements per the Key West City's Code of Ordinances Regulations, Sec. 108-572, Schedule of off-street parking requirements, if we don't request for a permission to include compact spaces beyond of what is ruled by Sec. 108-646, which reads:

Sec. 108-646. - Compact car spaces.

Parking lots with 20 or more spaces may be comprised of a maximum of 15 percent compact car parking stalls. Such compact car stalls shall be 7½ feet wide by 15 feet long and marked for use by small vehicles. The markings shall be maintained in perpetuity. The intent is to deter larger cars from using compact car spaces.

In particular, we are requesting increase percentage in the number of compact spaces allowed by section *Sec. 108-646*, but not to exceed 40% in any case, as follows:

3852 N. Roosevelt Boulevard (Site A)

We request an increase for compact spaces from 15% to 34.8%

3850 N. Roosevelt Boulevard (Site B)

No request for increase in percentage is necessary for this property.

3824 N. Roosevelt Boulevard (Site C)

We request an increase for compact spaces from 15% to 35.7%

3820 N. Roosevelt Boulevard (Site D)

We request an increase for compact spaces from 15% to 38.7%

Jerome M. Cooper, FAIA
E. Pope Bullock, AIA
Kevin R. Cantley, AIA
Angelo A. Carusi, AIA
Richmond Cogburn, AIA
C. Timothy Fish, AIA
Richard J. Flierl, ASLA
Mark D. Jensen, AIA
David W. Kitchens, AIA
M. Sean McLendon, AIA
Gregory A. Miller, AIA
Roger L. Miller, AIA
Gar Muse, AIA
C. Robert Neal, AIA
Keith A. Simmel, AIA
Stephen M. Smith, AIA
Robert F. Uhrin, AIA
J. Ben Wauford, AIA

Dorothy M. Colley, AIA
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Robert M. Fischel, AIA
Richard W. Fredlund, AIA
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Kathryn E. K. Peterschmidt, AIA
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Lyle Green, AIA
Stephen P. Jackson, AIA
Deborah Jensen, AICP
Donald E. Reszel, AIA
Brian M. Parker, AIA
Andrea Schaub, AIA
Michael G. Service, AIA
Stanley W. Williams, AIA

Christopher A. Bivins, AIA
Brian Campa, AIA
Christian F. Culver, AIA
Brandon Danke, AIA
Christopher D. Ernst, AIA
W. Richard Kinkade, Jr., AIA
Michael J. Linker, AIA
Nicolia C. Robinson, AICP
Janet Romanic, AIA
Andres Rubio, AIA
Karen Trimbach, IIDA
Khrysti C. Uhrin, AIA
Nathan Williamson, AIA

We will work with the City's Planning Department for the best and most appropriate parking count and configuration for each of our projects. However, due to limited available area, we are officially requesting an approved request for the number of compact parking spaces we are proposing for each of the properties included in this Development, as specified by the Land Development Regulations.

For your reference please refer to the attached parking summary chart.

Please contact me if you need additional information or have any questions.

Sincerely,



Andres Rubio
Senior Associate
AIA – LEED AP
Cooper Carry
FL State License No. AA26000496

KEY WEST HOTEL COLLECTION - PARKING SUMMARY

20120295

Date

20-Mar-13

Key Count	Parking Required *	Retail	Parking Required *	Parking Proposed	Proposed # Compacts / Percentage	# of Handicapped Spaces Proposed	Bike Spaces Required *	Bike Spaces Proposed
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of keys + 1

1 space / 300 GSF

40% Max

101-150 = 5
151-200 = 6

35% hotel spaces +
25% retail spaces

Site & Hotel Brand	Site A	133	134	0	0	135	47 / 34.8%	5	47	47
	Site B	141	142	525 GSF	2	148	17 / 11.5%	5	50	50
	Site C	100	101	0	0	101	26 / 35.7%	5	35	35
	Site D	145	146	2,525 GSF	9	155	60 / 38.7%	6	53	53

* per City development regulations Section 108-572 "Schedule of off-street parking requirements by use generally "

4. Identification of Key Persons

1. Owner:

JLW Key West 1
49 Immigration, Suite 103
Charleston, SC 29403

2. Owner's Authorized Agent:

Name: Andrew Agostini

3. Architect & Engineer

Architect: Cooper Carry Architects
191 Peachtree Street, NE Suite 2400
Atlanta, GA 30303

MEP Engineers: Thompson Company, Inc
50 Technology Parkway South
Norcross, GA 30092

Structural Engineer: Uzun & Case Engineers, LLC
201 17th Street NW, Suite 1200
Atlanta, GA 30363

Civil Engineer: Perez Engineering & Development, Inc.
1010 Kennedy Dr. Suite 201
Key West, FL 33040

4. Surveyor

Surveyor: Island Surveying, Inc.
3152 Northside Dr., Suite 201
Key West, FL 33040

5. Landscape Architect & Environmental Consultant

Landscape Architect: Cooper Carry Architects
191 Peachtree Street, NE Suite 2400
Atlanta, GA 30303

Environmental Consultant: Terracon, Inc
504 E. Tyler Street
Tampa, FL 33602

6. Others Involved

Project Manager: ADVENT*pds*, LLC
3301 Windy Ridge Parkway, Suite 310
Atlanta, GA 30339

Architectural Consultant: Thomas E. Pope
610 White Street
Key West, FL 33040

7. Ownership Verification

See Attached Documentation

5. FEMA Calculation Summary

FEMA CALCULATION SUMMARY
KEY WEST HOTEL COLLECTION

	A	B	C	D	E	F
Structure Address & Designation	Depreciated Cost of Existing Structure	FEMA 50% Threshold	Estimated Cost of Renovation	Value of Approved Exclusions	Cost of Renovation Less Exclusions	Balance to FEMA Threshold (Column C - F)
3852 North Roosevelt Boulevard						
Guestroom Bldg. #2W	\$3,125,922	\$1,562,961	\$1,193,989	\$0	\$1,193,989	\$368,972
Guestroom Bldg. #2E	\$3,002,408	\$1,501,204	\$1,287,925	\$0	\$1,287,925	\$213,279
Guestroom Bldg. #3	\$2,947,758	\$1,473,879	\$1,102,515	\$0	\$1,102,515	\$371,364
Guestroom Bldg. #4	\$2,628,357	\$1,314,179	\$1,175,377	\$0	\$1,175,377	\$138,802
3850 North Roosevelt Boulevard						
Guestroom Bldg. #1	\$5,438,372	\$2,719,186	\$1,783,295	\$0	\$1,783,295	\$935,891
Guestroom Bldg. #4E & 4W	\$5,085,342	\$2,542,671	\$3,130,630	\$1,038,564	\$2,092,066	\$450,605
Guestroom Bldg. #5	\$3,557,621	\$1,778,811	\$1,828,047	\$573,465	\$1,254,582	\$524,229
3824 North Roosevelt Boulevard						
Guestroom Bldg. #2	\$2,514,993	\$1,257,497	\$1,122,885	\$323,274	\$799,611	\$457,886
Guestroom Bldg. #3	\$2,514,993	\$1,257,497	\$1,043,854	\$323,274	\$720,580	\$536,917
Guestroom Bldg. #4	\$3,754,442	\$1,877,221	\$1,654,963	\$507,977	\$1,146,986	\$730,235
3820 North Roosevelt Boulevard						
6-Story Tower Bldg. #1	\$14,210,000	\$7,105,000	\$7,541,512	\$2,200,558	\$5,340,954	\$1,764,046

*NOTE: Estimated Renovation Costs includes construction renovation estimate plus estimated environmental and IT costs

6. Estimated Ad Valorem Tax Yield

Estimated Ad Valorem Tax Yield

Development Plan Submittal Section 108-246 (a)

3820 NORTH ROOSEVELT

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
SCHOOL STATE LAW	1.9120	30,000,000	0	28,500,000	54,492
SCHOOL LOCAL BOARD	1.7480	30,000,000	0	28,500,000	49,818
GENERAL REVENUE FUND	0.9172	30,000,000	0	28,500,000	26,140
F&F LAW ENFORCEMENT JAIL JUDICIAL	2.1553	30,000,000	0	28,500,000	61,426
HEALTH CLINIC	0.0504	30,000,000	0	28,500,000	1,436
FLORIDA KEYS MOSQUITO CONTROL	0.5171	30,000,000	0	28,500,000	14,737
CITY OF KEY WEST	2.9185	30,000,000	0	28,500,000	83,177
SO FL WATER MANAGEMENT DIST	0.1757	30,000,000	0	28,500,000	5,007
OKEECHOBEE BASIN	0.1919	30,000,000	0	28,500,000	5,469
EVERGLADES CONSTRUCTION PRJT	0.0613	30,000,000	0	28,500,000	1,747
TOTAL ESTIMATED MILLAGE		10.6474	ESTIMATED AD VALOREM TAXES		\$303,451

3824 NORTH ROOSEVELT

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
SCHOOL STATE LAW	1.9120	30,000,000	0	20,000,000	38,240
SCHOOL LOCAL BOARD	1.7480	30,000,000	0	20,000,000	34,960
GENERAL REVENUE FUND	0.9172	30,000,000	0	20,000,000	18,344
F&F LAW ENFORCEMENT JAIL JUDICIAL	2.1553	30,000,000	0	20,000,000	43,106
HEALTH CLINIC	0.0504	30,000,000	0	20,000,000	1,008
FLORIDA KEYS MOSQUITO CONTROL	0.5171	30,000,000	0	20,000,000	10,342
CITY OF KEY WEST	2.9185	30,000,000	0	20,000,000	58,370
SO FL WATER MANAGEMENT DIST	0.1757	30,000,000	0	20,000,000	3,514
OKEECHOBEE BASIN	0.1919	30,000,000	0	20,000,000	3,838
EVERGLADES CONSTRUCTION PRJT	0.0613	30,000,000	0	20,000,000	1,226
TOTAL ESTIMATED MILLAGE		10.6474	ESTIMATED AD VALOREM TAXES		\$212,948

3850 NORTH ROOSEVELT

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
SCHOOL STATE LAW	1.9120	30,000,000	0	27,000,000	51,624
SCHOOL LOCAL BOARD	1.7480	30,000,000	0	27,000,000	47,196
GENERAL REVENUE FUND	0.9172	30,000,000	0	27,000,000	24,764
F&F LAW ENFORCEMENT JAIL JUDICIAL	2.1553	30,000,000	0	27,000,000	58,193
HEALTH CLINIC	0.0504	30,000,000	0	27,000,000	1,361
FLORIDA KEYS MOSQUITO CONTROL	0.5171	30,000,000	0	27,000,000	13,962
CITY OF KEY WEST	2.9185	30,000,000	0	27,000,000	78,800
SO FL WATER MANAGEMENT DIST	0.1757	30,000,000	0	27,000,000	4,744
OKEECHOBEE BASIN	0.1919	30,000,000	0	27,000,000	5,181
EVERGLADES CONSTRUCTION PRJT	0.0613	30,000,000	0	27,000,000	1,655
TOTAL ESTIMATED MILLAGE		10.6474	ESTIMATED AD VALOREM TAXES		\$287,480

3852 NORTH ROOSEVELT

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
SCHOOL STATE LAW	1.9120	30,000,000	0	26,500,000	50,668
SCHOOL LOCAL BOARD	1.7480	30,000,000	0	26,500,000	46,322
GENERAL REVENUE FUND	0.9172	30,000,000	0	26,500,000	24,306
F&F LAW ENFORCEMENT JAIL JUDICIAL	2.1553	30,000,000	0	26,500,000	57,115
HEALTH CLINIC	0.0504	30,000,000	0	26,500,000	1,336
FLORIDA KEYS MOSQUITO CONTROL	0.5171	30,000,000	0	26,500,000	13,703
CITY OF KEY WEST	2.9185	30,000,000	0	26,500,000	77,340
SO FL WATER MANAGEMENT DIST	0.1757	30,000,000	0	26,500,000	4,656
OKEECHOBEE BASIN	0.1919	30,000,000	0	26,500,000	5,085
EVERGLADES CONSTRUCTION PRJT	0.0613	30,000,000	0	26,500,000	1,624
TOTAL ESTIMATED MILLAGE		10.6474	ESTIMATED AD VALOREM TAXES		\$282,156

7. Employee Estimates

Permanent Employee Estimates

Submittal Section 108-246 c

3820 NORTH ROOSEVELT

POSITION	TOTAL EMPLOYEES
Front Office	9
Housekeeping	18
Maintenance	8
F&B	7
Admin, Sales, & Accounting	3
TOTAL	45

3824 NORTH ROOSEVELT

POSITION	TOTAL EMPLOYEES
Front Office	6
Housekeeping	16
Maintenance	5
Admin, Sales & Accounting	2
TOTAL	29

3850 NORTH ROOSEVELT

POSITION	TOTAL EMPLOYEES
Front Office	10
Housekeeping	21
Maintenance	7
F&B	5
Admin, Sales & Accounting	3
TOTAL	46

3852 NORTH ROOSEVELT

POSITION	TOTAL EMPLOYEES
Front Office	7
Housekeeping	23
Maintenance	7
F&B	5
Admin, Sales & Accounting	3
TOTAL	45

8. Construction Activity Acknowledgement

Construction Activity Acknowledgement

February 8, 2013

Donald L Craig
Planning Director
3140 Flagler Ave.
Key West, FL 33040

RE: Sec. 108-248 (1) e. of the Development Plan Submission for 3800, 3820, 3824, 3840, 3850, and 3852 N. Roosevelt

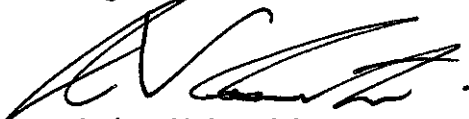
Mr. Craig,

As the managing member of JLW Key West 1, LLC (the owner of 3800, 3820, 3840 and 3852 N. Roosevelt), as the managing member of JLW Key West 2, LLC (the managing co-tenant of 3824 N. Roosevelt) and as the managing co-tenant for the property at 3850 N. Roosevelt, I am writing to you on behalf of the owners to acknowledge the following:

As applicants for a development plan we shall bear the burden of demonstrating that the construction activity undertaken is consistent with the development plan and has occurred in a timely manner consistent with the approved construction management plan and inspection schedule, and that upon failure to meet any inspection schedule, the related permit(s) shall expire with the understanding that a new building permit shall be required in order to undertake construction activity where said permit(s) have expired.

If you need any further acknowledgement related to this matter please do not hesitate to contact me directly.

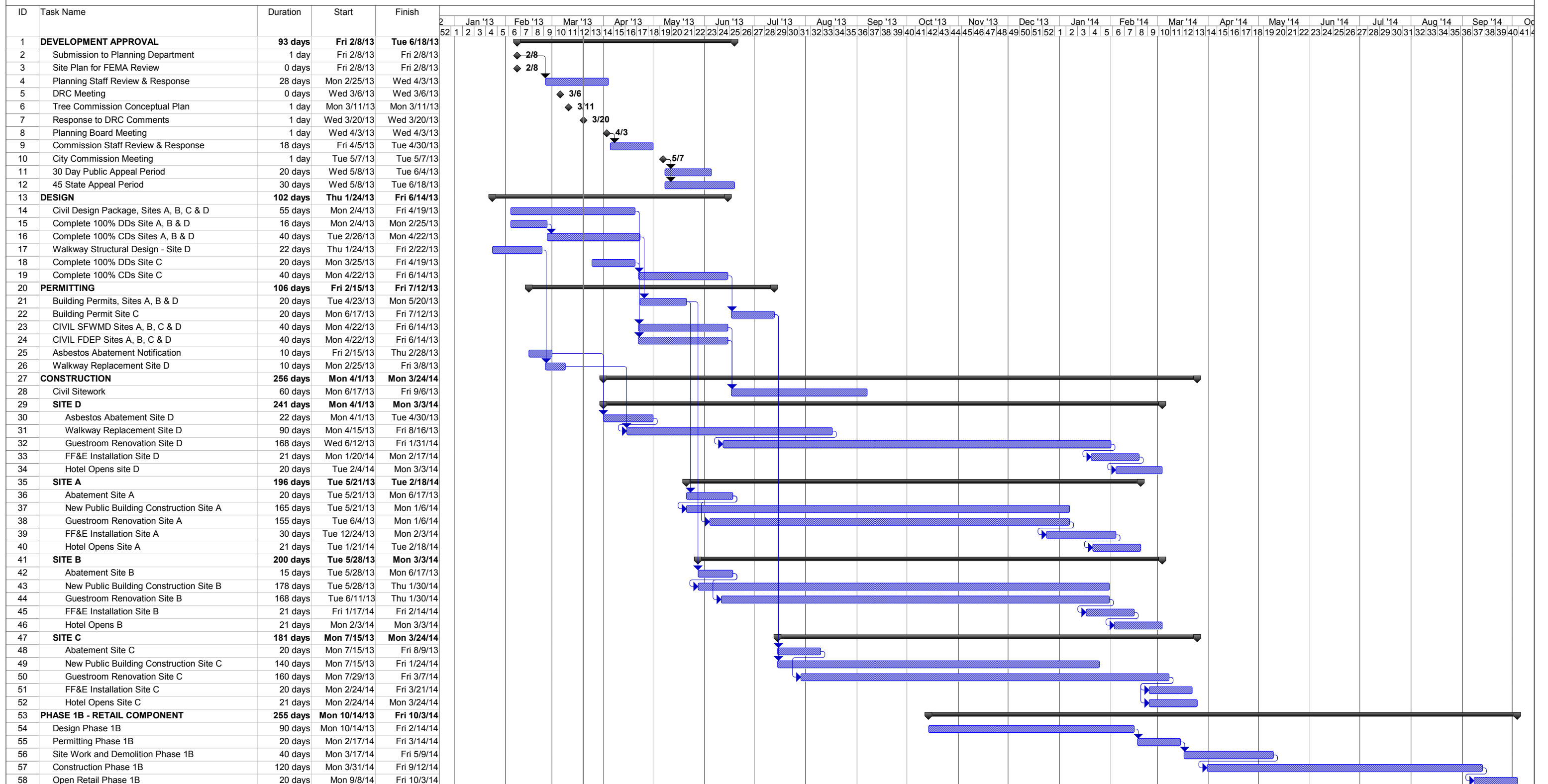
Regards,



Andrew V. Agostini

9. Preliminary Construction Phasing Schedule

KEY WEST HOTEL COLLECTION



10. FDOT Coordination Letter



March 19, 2013

Mr. Michael McHale
ADVENTpds
3301 Windy Ridge Parkway, Suite 310
Atlanta, GA 30339-5618

RE: Key West Hotel Collection – FDOT Coordination

Dear Michael:

The purpose of this letter is to inform you that we have started organizing and preparing the appropriate documents, applications, drawings, calculations, etc. pertaining to the FDOT driveway and drainage connection permit/approval process for the above-mentioned project.

We have a coordination meeting scheduled with Mr. David Romano, P.E. (AMEC) on Wednesday morning, 3/20/13.

If you have questions please do not hesitate to contact us.

Sincerely,

A handwritten signature in blue ink, appearing to read "Allen E. Perez", is written over a light blue rectangular background.

Allen E. Perez, P.E.
President

11. Sustainability Narrative

KEY WEST HOTEL COLLECTION
NORTH ROOSEVELT BLVD DEVELOPMENT
SUSTAINABILITY NARRATIVE

In response to the Sustainability comments from DRC meeting held on March 6, 2013, we offer the following narrative that summarizes the proposed green and sustainable measurements included in all the properties that are part of the proposed North Roosevelt Development.

MAJOR CHARACTERISTICS OF DEVELOPMENT

The proposed development consists of approximately 17 acres of land in 6 individual properties along North Roosevelt Boulevard as follows:

SITE A – 3852 North Roosevelt Blvd – Phase 1 (RE # 00065060-000000)

The renovation will demolish the existing Waffle House and lobby building and replace it with a new lobby and registration building. This proposed renovation will not add any guest rooms to the current property.

SITE B – 3850 North Roosevelt Blvd – Phase 1 (RE # 00064940-000000)

The renovation will demolish the existing restaurant building and replace it with a new lobby and registration building. This proposed renovation will not add any guest rooms to the current property.

SITE C – 3824 North Roosevelt Blvd – Phase 1 (RE # 00065550-000000)

The renovation will demolish the restaurant and meeting space portion of the existing lobby building. The remaining portion of the existing lobby building will be fully renovated. This proposed renovation will not add any guest rooms to the current property.

SITE D – 3820 North Roosevelt Blvd – Phase 1 (RE # 00065530-000000)

This existing structure will be fully renovated house a new hotel, Two shell retail spaces, totaling 2,420 square feet, will also be incorporated into the ground level. This proposed renovation will not add any guest rooms to the current property.

SITE E – 3840 North Roosevelt Blvd – Phase 2 (RE # 00064950-000000)

future commercial redevelopment to house retail ancillary uses 100% compatible with the hotels being renovated.

SITE F – 3800 North Roosevelt Blvd – Phase 2 (RE # 00065540-000000)

future commercial redevelopment to house retail ancillary uses 100% compatible with the hotels being renovated.

The proposed renovation of the 4 hotels properties listed above will incorporate significantly more efficient fixtures when compared with existing equipment. This includes both plumbing and lighting fixtures. In addition, the mechanical systems will be completely replaced with more energy efficient equipment in the guest rooms and public areas. These renovations will be completed within an estimated construction time of approximately 6 months and will include all necessary measurements to mitigate as much as possible any disturbance and inconvenience to the neighbors and surroundings.

The existing buildings that will remain will also be upgraded with new wall assemblies at the guest entries, new roof assemblies, and by adding insulation and new finishes to the existing walls. All doors and windows on the property will be new and insulated.

The 2 new lobby buildings will be constructed with energy efficient wall and roof assemblies and will be built above the base flood elevation in accordance with FEMA standards. This is also applicable to the future commercial redevelopment.

MAJOR SUSTAINABILITY EFFORTS OF DEVELOPMENT

The proposed renovation of the six properties along North Roosevelt Boulevard will reduce the burden on local utilities and municipal services.

HVAC at guest rooms is more efficient and has occupancy controls.

HVAC in public areas is controlled by an automation system to reduce over-cooling spaces and wasting energy.

Low flow toilets 1.28 instead of 1.6 gpf. We will be providing low flow showerheads 2gpm instead of 2.5 gpm as indicated by the code.

Our building envelope is more efficient than code minimum.

A new, white TPO roof membrane for all new and renovated buildings helps with the energy efficiency of the point above but also has a high albedo to reduce heat island effect.

Using a combination of LED and CFL lighting throughout the project with dimming and lighting control systems to generate energy savings as follows:

- CFLs use only 30%–35% of the energy and last up to 7 times longer than traditional incandescent bulbs.
- LEDs use only 20%–25% of the energy and last up to 50 times longer than traditional incandescent bulbs and LED light bulbs use about half the wattage of fluorescent lighting.
- The dimming system will save at least 20% more energy.
- The lighting control system is estimated to reduce lighting energy requirements by 35 to 50 percent

We are improving the existing site conditions by:

- Renovating existing structures and limiting new construction as opposed to constructing all new.
- Limiting the built area of the sites to previously disturbed areas.
- Construction techniques that minimize site disturbance and control erosion.
- Improving the storm water management system will benefit the sustainable nature of the properties by improving stormwater quality and eliminating stormwater discharge off-site.
- Increasing the pervious areas
- Each site provides bike racks and scooter parking zones to encourage alternative transportation.
- Each site provides a continuous sidewalk along N Roosevelt to encourage pedestrian activity.
- Public transportation is provided.
- Proposed landscape focuses on indigenous species that require less irrigation and respond better to local conditions.

Structural material recycled content:

- All structural steel is mostly composed of recycled steel.
- Fly ash, a by-product of power generating stations, is utilized in the concrete mix of supplement and save cement content.

Interior materials:

- Low Emitting Materials / Our proposed public space rug insets are CRI (Carpet & Rug Institute) Certified Green Label Plus
- Low Emitting Materials / Our proposed guestroom rugs meet CRI (Carpet & Rug Institute) Green Label Standards
- Low Emitting Materials / Our proposed wall/ceiling paint primer and top coats in public and guestroom spaces are a zero VOC Interior Latex Paint
- Low Emitting Materials / Our proposed Door/Frame/Miscellaneous Metal public and guestroom paint are <100 g/l VOC primer, with zero VOC Acrylic Semi-gloss top coats
- Certified Wood / Our proposed wood ceiling accents will be 95% FSC Certified Wood.
- Recycled Content / Our proposed Acoustical Ceiling Tiles are high post-consumer recycled content.

For reference only, attached you will find the scorecards for each of the Hotel sites.

END OF THE DOCUMENT

FOR REFERENCE ONLY



LEED for Hospitality New Construction and Major Renovation

Project Checklist

Project Name **SITE A – 3852 North Roosevelt Blvd – Phase 1 (RE # 00065060-000000)**

Date

Y	?	N				
			Integrative Process			Possible Points: 3
X			Credit 1	Discovery: Analyses to Support Integrative Process		1
X			Credit 2	Implementing Synergies		1
X			Credit 3	LEED Accredited Professional		1
			Location and Transportation			Possible Points: 16
X			Prereq 1	Fundamental Site Selection		Required
X			Credit 1	Enhanced Site Selection		1
X			Credit 2	Development Density and Diverse Uses		7
X			Credit 3	Quality Transit and Reduced Vehicle Miles Traveled (VMT)		4
	X		Credit 4	Bicycle Network, Storage, and Shower Rooms		1
X			Credit 5	Walkable Project Site		1
	X		Credit 6	Reduced Parking Footprint		2
	X		Credit 7	LEED for Neighborhood Development Location		16
			Sustainable Sites			Possible Points: 12
X			Prereq 1	Construction Activity Pollution Prevention		Required
	X		Credit 1	Site Assessment		1
		X	Credit 2	Brownfield Remediation		2
		X	Credit 3	Site Development- Protect or Restore Habitat		2
X			Credit 4	Site Development- Open Space		1
	X		Credit 5	Rainwater Management		3
X			Credit 6	Heat Island Reduction		2
		X	Credit 7	Light Pollution Reduction		1
			Water Efficiency			Possible Points: 11
X			Prereq 1	Landscape Water Use Reduction		Required
X			Prereq 2	Minimum Fixture and Fitting Water Use Reduction		Required
X			Prereq 3	Appliance and Process Water Use Reduction		Required
X			Credit 1	Additional Landscape Water Use Reduction		2
X			Credit 2	Additional Fixture and Fitting Water Use Reduction		4
	X		Credit 3	Sustainable Wastewater Management		2
		X	Credit 4	Cooling Tower Makeup Water		2
		X	Credit 5	Additional Appliance and Process Water Use Reduction		1
			Energy and Atmosphere			Possible Points: 26
X			Prereq 1	Minimum Energy Performance		Required
X			Prereq 2	Fundamental Refrigerant Management		Required
X			Credit 1	Optimize Energy Performance		18
		X	Credit 2	Demand Response		2
		X	Credit 3	Renewable Energy Production		3
X			Credit 4	Enhanced Refrigerant Management		1
	X		Credit 5	Energy Use Mitigation		2
			Materials and Resources			Possible Points: 10

X			Prereq 1	Storage and Collection of Recyclables	Required
X			Prereq 2	Construction and Demolition Debris Management	Required
X			Credit 1	Environmentally Preferable Structure and Enclosure	3
X			Credit 2	Construction and Demolition Debris Management	2
	X		Credit 3	Non-Structural Materials Transparency	2
	X		Credit 4	Environmentally Preferable Non-Structural Products and Materials - Prescriptive Attributes	1
	X		Credit 5	Responsible Sourcing of Raw Materials	1
X			Credit 6	Avoidance of Chemicals of Concern in Building Materials	1

			Indoor Environmental Quality		Possible Points: 15
X			Prereq 1	Minimum Indoor Air Quality Performance	Required
X			Prereq 2	Environmental Tobacco Smoke Control	Required
X			Prereq 3	Construction Indoor Air Quality Management Plan	Required
X			Credit 1	Enhanced Indoor Air Quality Strategies	2
X			Credit 2	Low-Emitting Interiors	3
	X		Credit 3	Indoor Air Quality Assessment	2
X			Credit 4	Thermal Comfort	1
X			Credit 5	Interior Lighting	2
X			Credit 6	Daylight	3
X			Credit 7	Quality Views	1
	X		Credit 8	Acoustic Performance	1

			Performance		Possible Points: 7
X			Prereq 1	Water Metering	Required
X			Prereq 2	Building-Level Energy Metering	Required
Y		X	Prereq 3	Fundamental Commissioning and Verification	Required
		X	Credit 1	Enhanced Commissioning	3
		X	Credit 2	Monitoring Based Commissioning	1
		X	Credit 3	Advanced Water Metering	1
		X	Credit 4	Advanced Energy Metering	1
		X	Credit 5	Reconcile Projected and Actual Energy Performance	1

			Innovation		Possible Points: 6
X			Credit 1	Innovation	1
		X	Credit 2	Pilot Credit	1
	X		Credit 3	Open Points	4

			Regional Priority		Possible Points: 4
	X		Credit 1	Regional Priority: Specific Credit	1
	X		Credit 2	Regional Priority: Specific Credit	1
	X		Credit 3	Regional Priority: Specific Credit	1
	X		Credit 4	Regional Priority: Specific Credit	1

TRD			Total		Possible Points: 110
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Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

FOR REFERENCE ONLY



LEED for Hospitality New Construction and Major Renovation Project Checklist

Project Name **SITE B – 3850 North Roosevelt Blvd – Phase 1 (RE # 00064940-000000)**

Date

Y	?	N				
			Integrative Process			Possible Points: 3
X			Credit 1	Discovery: Analyses to Support Integrative Process		1
X			Credit 2	Implementing Synergies		1
X			Credit 3	LEED Accredited Professional		1
			Location and Transportation			Possible Points: 16
X			Prereq 1	Fundamental Site Selection		Required
X			Credit 1	Enhanced Site Selection		1
X			Credit 2	Development Density and Diverse Uses		7
X			Credit 3	Quality Transit and Reduced Vehicle Miles Traveled (VMT)		4
	X		Credit 4	Bicycle Network, Storage, and Shower Rooms		1
X			Credit 5	Walkable Project Site		1
	X		Credit 6	Reduced Parking Footprint		2
	X		Credit 7	LEED for Neighborhood Development Location		16
			Sustainable Sites			Possible Points: 12
X			Prereq 1	Construction Activity Pollution Prevention		Required
	X		Credit 1	Site Assessment		1
		X	Credit 2	Brownfield Remediation		2
		X	Credit 3	Site Development- Protect or Restore Habitat		2
X			Credit 4	Site Development- Open Space		1
	X		Credit 5	Rainwater Management		3
X			Credit 6	Heat Island Reduction		2
		X	Credit 7	Light Pollution Reduction		1
			Water Efficiency			Possible Points: 11
X			Prereq 1	Landscape Water Use Reduction		Required
X			Prereq 2	Minimum Fixture and Fitting Water Use Reduction		Required
X			Prereq 3	Appliance and Process Water Use Reduction		Required
X			Credit 1	Additional Landscape Water Use Reduction		2
X			Credit 2	Additional Fixture and Fitting Water Use Reduction		4
	X		Credit 3	Sustainable Wastewater Management		2
		X	Credit 4	Cooling Tower Makeup Water		2
		X	Credit 5	Additional Appliance and Process Water Use Reduction		1
			Energy and Atmosphere			Possible Points: 26
X			Prereq 1	Minimum Energy Performance		Required
X			Prereq 2	Fundamental Refrigerant Management		Required
X			Credit 1	Optimize Energy Performance		18
		X	Credit 2	Demand Response		2
		X	Credit 3	Renewable Energy Production		3
X			Credit 4	Enhanced Refrigerant Management		1
	X		Credit 5	Energy Use Mitigation		2
			Materials and Resources			Possible Points: 10

X		Prereq 1	Storage and Collection of Recyclables	Required
X		Prereq 2	Construction and Demolition Debris Management	Required
X		Credit 1	Environmentally Preferable Structure and Enclosure	3
X		Credit 2	Construction and Demolition Debris Management	2
	X	Credit 3	Non-Structural Materials Transparency	2
	X	Credit 4	Environmentally Preferable Non-Structural Products and Materials - Prescriptive Attributes	1
	X	Credit 5	Responsible Sourcing of Raw Materials	1
X		Credit 6	Avoidance of Chemicals of Concern in Building Materials	1

			Indoor Environmental Quality	Possible Points: 15
X		Prereq 1	Minimum Indoor Air Quality Performance	Required
X		Prereq 2	Environmental Tobacco Smoke Control	Required
X		Prereq 3	Construction Indoor Air Quality Management Plan	Required
X		Credit 1	Enhanced Indoor Air Quality Strategies	2
X		Credit 2	Low-Emitting Interiors	3
	X	Credit 3	Indoor Air Quality Assessment	2
X		Credit 4	Thermal Comfort	1
X		Credit 5	Interior Lighting	2
X		Credit 6	Daylight	3
X		Credit 7	Quality Views	1
	X	Credit 8	Acoustic Performance	1

			Performance	Possible Points: 7
X		Prereq 1	Water Metering	Required
X		Prereq 2	Building-Level Energy Metering	Required
Y	X	Prereq 3	Fundamental Commissioning and Verification	Required
	X	Credit 1	Enhanced Commissioning	3
	X	Credit 2	Monitoring Based Commissioning	1
	X	Credit 3	Advanced Water Metering	1
	X	Credit 4	Advanced Energy Metering	1
	X	Credit 5	Reconcile Projected and Actual Energy Performance	1

			Innovation	Possible Points: 6
X		Credit 1	Innovation	1
	X	Credit 2	Pilot Credit	1
	X	Credit 3	Open Points	4

			Regional Priority	Possible Points: 4
	X	Credit 1	Regional Priority: Specific Credit	1
	X	Credit 2	Regional Priority: Specific Credit	1
	X	Credit 3	Regional Priority: Specific Credit	1
	X	Credit 4	Regional Priority: Specific Credit	1

TRD			Total	Possible Points: 110
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Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

FOR REFERENCE ONLY



LEED for Hospitality New Construction and Major Renovation Project Checklist

Project Name **SITE C – 3824 North Roosevelt Blvd – Phase 1 (RE # 00065550-000000)**

Date

Y	?	N		Possible Points:	
			Integrative Process	3	
X			Credit 1 Discovery: Analyses to Support Integrative Process	1	
X			Credit 2 Implementing Synergies	1	
X			Credit 3 LEED Accredited Professional	1	
			Location and Transportation	16	
X			Prereq 1 Fundamental Site Selection		Required
X			Credit 1 Enhanced Site Selection	1	
X			Credit 2 Development Density and Diverse Uses	7	
X			Credit 3 Quality Transit and Reduced Vehicle Miles Traveled (VMT)	4	
	X		Credit 4 Bicycle Network, Storage, and Shower Rooms	1	
X			Credit 5 Walkable Project Site	1	
	X		Credit 6 Reduced Parking Footprint	2	
	X		Credit 7 LEED for Neighborhood Development Location	16	
			Sustainable Sites	12	
X			Prereq 1 Construction Activity Pollution Prevention		Required
	X		Credit 1 Site Assessment	1	
		X	Credit 2 Brownfield Remediation	2	
		X	Credit 3 Site Development- Protect or Restore Habitat	2	
X			Credit 4 Site Development- Open Space	1	
	X		Credit 5 Rainwater Management	3	
X			Credit 6 Heat Island Reduction	2	
		X	Credit 7 Light Pollution Reduction	1	
			Water Efficiency	11	
X			Prereq 1 Landscape Water Use Reduction		Required
X			Prereq 2 Minimum Fixture and Fitting Water Use Reduction		Required
X			Prereq 3 Appliance and Process Water Use Reduction		Required
X			Credit 1 Additional Landscape Water Use Reduction	2	
X			Credit 2 Additional Fixture and Fitting Water Use Reduction	4	
	X		Credit 3 Sustainable Wastewater Management	2	
		X	Credit 4 Cooling Tower Makeup Water	2	
		X	Credit 5 Additional Appliance and Process Water Use Reduction	1	
			Energy and Atmosphere	26	
X			Prereq 1 Minimum Energy Performance		Required
X			Prereq 2 Fundamental Refrigerant Management		Required
X			Credit 1 Optimize Energy Performance	18	
		X	Credit 2 Demand Response	2	
		X	Credit 3 Renewable Energy Production	3	
X			Credit 4 Enhanced Refrigerant Management	1	
	X		Credit 5 Energy Use Mitigation	2	
			Materials and Resources	10	

X	Prereq 1	Storage and Collection of Recyclables	Required
X	Prereq 2	Construction and Demolition Debris Management	Required
X	Credit 1	Environmentally Preferable Structure and Enclosure	3
X	Credit 2	Construction and Demolition Debris Management	2
	Credit 3	Non-Structural Materials Transparency	2
	Credit 4	Environmentally Preferable Non-Structural Products and Materials - Prescriptive Attributes	1
	Credit 5	Responsible Sourcing of Raw Materials	1
X	Credit 6	Avoidance of Chemicals of Concern in Building Materials	1

Indoor Environmental Quality			Possible Points: 15
X	Prereq 1	Minimum Indoor Air Quality Performance	Required
X	Prereq 2	Environmental Tobacco Smoke Control	Required
X	Prereq 3	Construction Indoor Air Quality Management Plan	Required
X	Credit 1	Enhanced Indoor Air Quality Strategies	2
X	Credit 2	Low-Emitting Interiors	3
	Credit 3	Indoor Air Quality Assessment	2
X	Credit 4	Thermal Comfort	1
X	Credit 5	Interior Lighting	2
X	Credit 6	Daylight	3
X	Credit 7	Quality Views	1
	Credit 8	Acoustic Performance	1

Performance			Possible Points: 7
X	Prereq 1	Water Metering	Required
X	Prereq 2	Building-Level Energy Metering	Required
Y	Prereq 3	Fundamental Commissioning and Verification	Required
	Credit 1	Enhanced Commissioning	3
	Credit 2	Monitoring Based Commissioning	1
	Credit 3	Advanced Water Metering	1
	Credit 4	Advanced Energy Metering	1
	Credit 5	Reconcile Projected and Actual Energy Performance	1

Innovation			Possible Points: 6
X	Credit 1	Innovation	1
	Credit 2	Pilot Credit	1
	Credit 3	Open Points	4

Regional Priority			Possible Points: 4
	Credit 1	Regional Priority: Specific Credit	1
	Credit 2	Regional Priority: Specific Credit	1
	Credit 3	Regional Priority: Specific Credit	1
	Credit 4	Regional Priority: Specific Credit	1

TRD	Total		Possible Points: 110
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Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

FOR REFERENCE ONLY



LEED for Hospitality New Construction and Major Renovation Project Checklist

Project Name **SITE D – 3820 North Roosevelt Blvd – Phase 1 (RE # 00065530-000000)**

Date

Y	?	N					
		Integrative Process				Possible Points:	3
X			Credit 1	Discovery: Analyses to Support Integrative Process		1	
X			Credit 2	Implementing Synergies		1	
X			Credit 3	LEED Accredited Professional		1	
		Location and Transportation				Possible Points:	16
X			Prereq 1	Fundamental Site Selection		Required	
X			Credit 1	Enhanced Site Selection		1	
X			Credit 2	Development Density and Diverse Uses		7	
X			Credit 3	Quality Transit and Reduced Vehicle Miles Traveled (VMT)		4	
	X		Credit 4	Bicycle Network, Storage, and Shower Rooms		1	
X			Credit 5	Walkable Project Site		1	
	X		Credit 6	Reduced Parking Footprint		2	
	X		Credit 7	LEED for Neighborhood Development Location		16	
		Sustainable Sites				Possible Points:	12
X			Prereq 1	Construction Activity Pollution Prevention		Required	
	X		Credit 1	Site Assessment		1	
		X	Credit 2	Brownfield Remediation		2	
		X	Credit 3	Site Development- Protect or Restore Habitat		2	
X			Credit 4	Site Development- Open Space		1	
	X		Credit 5	Rainwater Management		3	
X			Credit 6	Heat Island Reduction		2	
		X	Credit 7	Light Pollution Reduction		1	
		Water Efficiency				Possible Points:	11
X			Prereq 1	Landscape Water Use Reduction		Required	
X			Prereq 2	Minimum Fixture and Fitting Water Use Reduction		Required	
X			Prereq 3	Appliance and Process Water Use Reduction		Required	
X			Credit 1	Additional Landscape Water Use Reduction		2	
X			Credit 2	Additional Fixture and Fitting Water Use Reduction		4	
	X		Credit 3	Sustainable Wastewater Management		2	
		X	Credit 4	Cooling Tower Makeup Water		2	
		X	Credit 5	Additional Appliance and Process Water Use Reduction		1	
		Energy and Atmosphere				Possible Points:	26
X			Prereq 1	Minimum Energy Performance		Required	
X			Prereq 2	Fundamental Refrigerant Management		Required	
X			Credit 1	Optimize Energy Performance		18	
		X	Credit 2	Demand Response		2	
		X	Credit 3	Renewable Energy Production		3	
X			Credit 4	Enhanced Refrigerant Management		1	
	X		Credit 5	Energy Use Mitigation		2	
		Materials and Resources				Possible Points:	10

X	Prereq 1	Storage and Collection of Recyclables	Required
X	Prereq 2	Construction and Demolition Debris Management	Required
X	Credit 1	Environmentally Preferable Structure and Enclosure	3
X	Credit 2	Construction and Demolition Debris Management	2
	Credit 3	Non-Structural Materials Transparency	2
	Credit 4	Environmentally Preferable Non-Structural Products and Materials - Prescriptive Attributes	1
	Credit 5	Responsible Sourcing of Raw Materials	1
X	Credit 6	Avoidance of Chemicals of Concern in Building Materials	1

Indoor Environmental Quality			Possible Points: 15
X	Prereq 1	Minimum Indoor Air Quality Performance	Required
X	Prereq 2	Environmental Tobacco Smoke Control	Required
X	Prereq 3	Construction Indoor Air Quality Management Plan	Required
X	Credit 1	Enhanced Indoor Air Quality Strategies	2
X	Credit 2	Low-Emitting Interiors	3
	Credit 3	Indoor Air Quality Assessment	2
X	Credit 4	Thermal Comfort	1
X	Credit 5	Interior Lighting	2
X	Credit 6	Daylight	3
X	Credit 7	Quality Views	1
	Credit 8	Acoustic Performance	1

Performance			Possible Points: 7
X	Prereq 1	Water Metering	Required
X	Prereq 2	Building-Level Energy Metering	Required
Y	Prereq 3	Fundamental Commissioning and Verification	Required
	Credit 1	Enhanced Commissioning	3
	Credit 2	Monitoring Based Commissioning	1
	Credit 3	Advanced Water Metering	1
	Credit 4	Advanced Energy Metering	1
	Credit 5	Reconcile Projected and Actual Energy Performance	1

Innovation			Possible Points: 6
X	Credit 1	Innovation	1
	Credit 2	Pilot Credit	1
	Credit 3	Open Points	4

Regional Priority			Possible Points: 4
	Credit 1	Regional Priority: Specific Credit	1
	Credit 2	Regional Priority: Specific Credit	1
	Credit 3	Regional Priority: Specific Credit	1
	Credit 4	Regional Priority: Specific Credit	1

TBD	Total		Possible Points: 110
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Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

**12. March 14, 2013, Community Meeting
Invitation**



Dear Property Owner,

As the Owners of the 17 acre assemblage made up of 3800, 3820, 3824, 3840, 3850, and 3852 North Roosevelt, we would like to invite you to attend a public forum next week to discuss our plans for the renovation and reconstruction of these properties.

This walk-in event will be held from 5:00 PM to 7:00 PM, this upcoming Thursday, March 14, 2013, in the Key West Welcome Center located at 3840 North Roosevelt. Please feel free to stop by at any point during this time frame.

We look forward to having this opportunity to discuss our plans with you in detail, and will be prepared to address such topics as scope of work, timing, buffering, and other matters related to the proposed work being contemplated.

Along with this letter, please find a site plan of the proposed project for your reference, and again we look forward to potentially meeting with you next week to discuss the project further.

Regards,

John Gonzalez

SITE KEY

**SITE A - 3852 North Roosevelt Boulevard
133 - Key Fully Renovated Hotel (Phase 1A)**

**SITE B - 3850 North Roosevelt Boulevard
141 - Key Fully Renovated Hotel (Phase 1A)**

**SITE E1 (COMMERCIAL) - 3840 North Roosevelt Boulevard
Proposed Commercial Development (Phase 1B)
Note: Dashed lines represent existing conditions.**

**SITE C - 3824 North Roosevelt Boulevard
100 - Key Fully Renovated Hotel (Phase 1A)**

**SITE D - 3820 North Roosevelt Boulevard
145 - Key Fully Renovated Hotel (Phase 1A)**

**SITE E2 (COMMERCIAL) - 3800 North Roosevelt Boulevard
Proposed commercial development (Phase 1B)
Note: Dashed lines represent existing conditions.**



PROJECT Nº 20120295.00 | REVISION Nº 000 | DATE 02.28.2013

OVERALL PROPOSED DEVELOPMENT SITE PLAN



KEY WEST HOTEL COLLECTION
License Nº AA2600496
Key West, Florida 33040



13. DRC Comments and Minutes

Minutes of the Development Review Committee

March 6, 2013 **DRAFT**

Planning Director, Don Craig called the Development Review Committee Meeting of March 6, 2013 to order at 10:00am at Old City Hall, in the antechamber at 510 Greene Street, Key West.

ROLL CALL

Present were: Planning Director, Don Craig; Forestry Manager, Paul Williams; ADA Coordinator, Diane Nicklaus; Sustainability Coordinator, Alison Higgins; Engineering, Karen Olson; Fire Department, Jason Barroso.

HARC Planner, Enid Torregrosa; General Services, Elizabeth Ignaffo; Building Official, John Woodson.

Also in attendance were: Planning Department staff: Brendon Cunningham and Ginny Haller.

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

DISCUSSION ITEMS

New Business

- 1. Development Agreement Modification - 3800, 3820, 3824, 3840, 3850 and 3852 N. Roosevelt Blvd (RE# 00064940-000000, 00064950-000000, 00065060-000000, 00065530-000000, 00065540-000000 and 00065550-000000)** – Request for a Modification to a Development Agreement for property located in the General Commercial (CG) zoning district per Section 90-689 of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Alison Higgins: Land Development Agreement

As the City has committed to reducing by 15% the carbon footprint of our entire community (including tourists) and this project is essentially the entryway to Key West, with a significant footprint, it is important that this project be as sustainable as possible.

I would like to see a commitment to this in the Land Development Agreement, which gives the minimum standards that the project will meet.

I request that the minimum standards be:

- Green Lodging designation for all hotels.
- All existing cisterns to be utilized for irrigation

Comp Plan Issues

I will be emailing them a list of sustainability items from the new Comp plan that they should be aware of.

Their two LEED team members will receive it on Friday and I will cc appropriate planning staff as well.

Site Plans

Minutes of the Development Review Committee

March 6, 2013 **DRAFT**

Please include a sustainability summary narrative and LEED project score sheet (marked unofficial) for each hotel.

Include estimates on water/energy saved due to upgrades.

- 2. Major Development Plan Modification- 3800, 3820, 3824, 3840, 3850 and 3852 N. Roosevelt Blvd (RE# 00064940-000000, 00064950-000000, 00065060-000000, 00065530-000000, 00065540-000000 and 00065550-000000)** - Request for a Modification to a Major Development Plan approval for property located in the General Commercial (CG) zoning district per Section 108-91(C).(3) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Jason Barroso:

- 1) The Fire Marshal office will require a complete set of plans for each project including a life safety plan.
- 2) Each bldg. will be brought into compliance with all NFPA codes, local codes, FBC codes.
- 3) Each bldg. will be fully sprinklered and supervised by a monitored fire alarm system.
- 4) Need to provide alternative source of power (stand by power source generator) for fire pumps and sprinkler system where required by NFPA, local codes, and FBC.
- 5) Developers and their representatives will coordinate with the Fire Marshal's office in reference to the new fire hydrants location.
- 6) Developers and their representatives will coordinate with the Fire Marshal's office in reference to being able to quickly identify the different bldgs. for emergency responders.
- 7) Developers and their representatives will coordinate with the Fire Marshal's office in reference to providing access only for emergency responders through an access gate in the rear of the properties.

At the time of the meeting the Fire Marshal office received a civil set of plans on Tuesday March 5, 2013 for our review. The requirements listed above only reflect that information.

I have requested a full set of plans including a life safety plan and will be able submit additional requirements for DRC once I have had an opportunity to review them.

FROM: Karen DeMaria, Interim Urban Forestry Manager, City of Key West

1. Reviewing the plant lists, I do have objections to some of the plant material proposed to be planted. I emailed a copy of Florida Keys Native Tree list that we give to members of the public when they are inquiring about trees to plant to the applicants. This list better represents what species we are looking for in landscape plans. Particularly, I object to the planting of loblolly bay, youpon holly, and live oak into the area as these trees do not naturally occur in the Florida Keys. This is the entrance to Key West and we want the landscaping to represent the Florida Keys.
2. What is the percentage of true native plant species in the landscape plan? Our code requires 70%. A lot of the plant species listed on the plans are not native plants or plants commonly seen to the Florida Keys. My office will work with

Minutes of the Development Review Committee

March 6, 2013 **DRAFT**

the applicant in reviewing their landscaping plan with the understanding that there are trees that are common in Key West that are not native that they may want to use.

3. I need a list of the trees being removed from the properties (name, size and condition), a list of any trees being rescued/relocated (name and size), and a list of trees that are remaining onsite in-situ (Sec 108-511).
4. The plan, as presented, is overwhelming to review. It would be helpful to color code those trees that are remaining on-site and are part of the new landscape and the trees being removed.
5. Do you have an irrigation plan and a plan to protect existing trees on-site? These are both required items for final approval.

Tree Commission Conceptual approval of the landscape plan represents only those properties in Phase 1 A. The two properties in Phase 1 B (3800 and 3840 N. Roosevelt Blvd) are not presently included in our discussions.

Diane Nicklaus:

FDOT Comments:

3800, 3820, and 3824 N Roosevelt Blvd:

These properties are included in the reconstruction of N Roosevelt Blvd plans. All three properties have signed easement agreements with FDOT to allow for the building of an ADA regulation sidewalk curbside. There are current FDOT plans in place for driveway curb cuts and any change of these curb cuts should be discussed with Dave Romano, FDOT, at 786-387-3758.

The remainder of the properties are not included in this project.

ADA Comments:

Although this is a renovation of existing rooms, I will remind you that 20% of the cost of the job should be delegated to ADA compliance. In hotels of 50 or more rooms or suites, additional accessible sleeping rooms or suites that include a roll-in shower shall also be provided. For hotels with 101 to 150 rooms there shall be 5 accessible rooms, 1 of which shall have a roll-in shower.

Visual signal appliances shall be provided in buildings and facilities in each of the following areas: restrooms and any other general usage areas (meeting rooms, hallways, lobbies, and any other area for common use).

Swimming pools must meet the lift requirements of the ADA regulations taking effect in March, 2012, delayed to January 31, 2013.

Final comments will be issued during the Plan Review process when building plans are submitted.

FEMA:

Immediately prior to the Development Review Committee meeting, the City's FEMA Coordinator met informally with the Applicants to gain a better understanding of the proposal. As a result, only two points needed to be voiced during the meeting:

1. Applicant has yet to submit property appraisals showing the market value of the existing buildings to be improved. Until such appraisals are received, staff is proceeding under a presumption that certain buildings won't exceed Substantial Improvement thresholds. However, City staff won't be able to make such a determination until it receives the appraisals and validated Cost of Improvement Affidavits. That information has the potential to dramatically change what may or not be permissible upon these sites.

Minutes of the Development Review Committee

March 6, 2013 **DRAFT**

- a. Each independent structure will need its own review, requiring appraisals that specifically identify the market values of each structure, along with separate Elevation Certificates, improvement cost affidavits and any other review requirements.
 - i. Cost of Improvement Affidavits need to be identified separately for each structure. Any costs claimed to be exempt from Substantial Improvement calculations should tallied in a separate column adjacent to non-exempt costs.
2. “Site D” was recently issued an unsafe building notice by the City’s Chief Building Official and another by the Fire Marshal’s office. However, those notices didn’t specify what the structural deficiencies with that building. The specific existing hazards need to be identified by the City’s building officials, so determinations can be made regarding what improvement costs may be exempt from Substantial Improvement threshold calculations.

Comments exchanged with the Applicants prior to the formal meeting are as follows:

1. General comments for all buildings

- 1.1. A standard numbering system for buildings would make it much easier to identify specific buildings
 - 1.1.1. This reviewer established an ad-hoc numbering system for these buildings simply for the purpose of this review; which is attached to this document.
- 1.2. Pool bars may very well equate to structures and need to be considered as such for FEMA compliance.
- 1.3. Although the site plans and property appraiser’s office may have combined separate buildings for their own convenience, for floodplain management purposes, each structurally independent building needs to be reviewed upon its own merits. The continuation of a roof line or breezeway between buildings doesn’t create a merger wherein multiple buildings are considered one structure.

2. Site “A”

- 2.1. Where is the pool side bar to be located? Answer: Identified and numbered as building “A5.”
 - 2.1.1. Applicant advises no intent to Substantially Improve this structure.
- 2.2. Building “A1”: Design Flood Elevation (DFE) for newly constructed building “A1” is one foot higher than the required Base Flood Elevation (BFE).
 - 2.2.1. Was this height intentional (albeit commendable)? Answer: Yes.
 - 2.2.2. Is the building’s base to have a filled enclosure with an elevated slab? Answer: yes
 - 2.2.2.1. The plans should note this, since flood vents aren’t shown (nor required with an elevated slab).

3. Site “B”

- 3.1. Where is the pool side bar to be located? Answer: in an existing structure identified and numbered as building “B7.”
- 3.2. Questioned whether Building “B1” might have an unpermitted downstairs enclosure used as retail space.

Answer: Floodproofing indicators are present on the structure, which would have allowed its permitting.

 - 3.2.1. The floodproofing for this section will need to be reviewed as part of this approval process.

Minutes of the Development Review Committee

March 6, 2013 **DRAFT**

3.3. Buildings identified herein as "B4e," "B4w" & "B5" appear to be structurally independent buildings, yet the site plans show them as a single building. Each building needs to be reviewed on its own merits.

4. Site "C"

4.1. Applicant's Scope Narrative

4.1.1.1. Should clarify that building #C1 is to be partly demolished, with the remaining portion rehabilitated.

4.1.1.2. Doesn't mention demolition of buildings #C5

4.2. Building "C1"

4.3. Pool Bar

4.3.1. Where is the pool side bar to be located? Answer: in a newly constructed structure identified and numbered as building "C6."

4.3.2. According to the site plan, one corner of this structure crosses into the next higher regulated flood zone, therefore the entire structure must meet the higher regulatory standards. Applicant may wish to revisit placement of this structure.

5. Site "C"

5.1. A detached food prep and mechanical storage building is proposed for demolition and rebuilding. Where on the site is it located? Answer: Identified and marked as Building "D5."

5.1.1. Haven't seen any plans for this structure as of yet.

Note - Ad-hoc building numbering system:

- Where possible, building numbers already assigned by the Monroe County Property Appraiser's office were utilized.
- In some instances, buildings appear on the existing site plans/surveys that don't show on the Property Appraiser's records. In those instances the numbering sequence was simply continued.
- In other instances, it seems the Appraiser's staff combined separate buildings for the convenience of their efforts. However, for floodplain management purposes, each structurally independent building needs its own review. In these instances, these combined buildings were separately identified as "B4e" & "B4w" for their east and west orientations.
- On the proposed site plans, where existing buildings are to be demolished and others constructed in their place, the demolished building's number was reused for the new building.

**Minutes of the Development Review Committee
March 6, 2013 DRAFT**

ADJOURNMENT

Meeting adjourned at 11:23am.

**Respectfully submitted by,
Karen de Berjeois
Administrative Assistant II
Planning Department**



Major Development Plan Review

DRC Meeting – 3/6/2013

Planning Comments

1. Please clarify the proposed development for sites associated with Phase 1B. Within the body of the Major Development Plan application (MDP) and the Development Agreement (DA) please describe the existing and proposed structures and uses and any details therein. Please provide existing site plans for each of the sites proposed for Phase 1B. Please clarify that no construction will occur on either site until site plan approval has been granted by the City Commission and provide a time certain for submitting the development plan application. If you prefer not to do this you can a.) remove any reference to Phase 1B from the MDP and DA or b.) submit site plans for the proposed changes to the sites. The site plans require DRC review.
2. Please add information regarding specific FEMA requirements that pertain to the site. Once the appraisals are available please describe the numbers as they relate to the Policy and the development plan.
3. Please provide an adequate Concurrency report using our LOS standards. In addition, Brendon suggested providing the existing and proposed utility usage in order to show a reduced impact. Please refer to the report and attach it to the DA or MDP.
4. As we discussed at the DRC Meeting the Comprehensive Plan amendments were adopted last night and will likely become Rule before the Effective Date of the DA. As stated in the DA the project is regulated by the LDR's and Comp Plan Policies in place as of the Effective Date of the DA. I believe this may drive some of the sustainable practices proposed on the site; however, the matter will have to be worked out at the legal department.
5. The MDP application does not have any reference to proposed sustainability measures. Please provide a detailed description about what types of energy, water and waste saving facilities/services/practices are proposed and any other sustainable practices that are proposed.
6. Please provide a more detailed construction Phasing Plan.
7. Please provide a demolition plan and a color coded plan that shows the existing and proposed new buildings for clarification.

8. Please submit a request for over 15% compact spaces for whichever properties requires it.
9. Clarify proposed restaurant or kitchen for in house service for site D. Provide a parking analysis for the site if a restaurant is proposed.
10. There is a discrepancy between the Site A and B Site Plans/ Drainage Plans with the Landscape Plans. Please coordinate for consistency.
11. Please provide a site plan for each site with the Site Data Table (Currently on the Drainage Plan). In addition to existing information, please include on the site data table height, compact car spaces, bicycle spaces, and number and type of units.
12. We are concerned about the waste handling areas adjacent to the residences on sites A and B. In order to mitigate that impact, we discussed with you a possible cover, that lifts up, or other creative options to mitigate odors and prevent water intrusion into the dumpsters. Otherwise you might consider relocating the waste areas away from residential uses.
13. Identify a recycling center.
14. Are there any scooter parking spaces. Please identify them on the site.
15. Clarify the number of rooms in each building. "Modules" or what we would consider lock-out's, where the space has the ability to turn into more than 1 room with a separate entrance, are not allowed.
16. Provide a Life Safety Plan
17. Please send us a copy of your transmittal letter showing coordination efforts with FDOT.
18. Please indicate on the application that an Irrigation Plan will be forthcoming by the second Tree Commission review.



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

FEMA Coordinator / Floodplain Administrator Comments

Development Review Committee

Meeting of March 6, 2013

Re: Major Development Plan Modification- 3800, 3820, 3824, 3840, 3850 and 3852 N. Roosevelt Blvd (RE# 0064940-000000, 00064950-000000, 00065060-000000, 00065530-000000, 00065540-000000 and 00065550-000000) - request for a Modification to a Major Development Plan approval for property located in the General Commercial (CG) zoning district per Section 108-91(C.)(3) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

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Scott Fraser, City FEMA Coordinator
PO Box 1409
Key West, FL 33041-1409
305-809-3810 o. / 305-923-4964 c.
sfraser@keywestcity.com

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing **at 6:00 p.m., April 18, 2013 at Old City Hall, 510 Greene Street**, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

3800, 3820, 3824, 3840, 3850 and 3852 N. Roosevelt Blvd

Development Agreement Modification - Request for a Modification to a Development Agreement for property located in the General Commercial (CG) zoning district per Section 90-689 of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Major Development Plan Modification - Request for a Modification to a Major Development Plan approval for property located in the General Commercial (CG) zoning district per Section 108-91(C.)(3) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at www.keywestcity.com.

YOU ARE WITHIN 500 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

Development Agreement Modification - Request for a Modification to a Development Agreement for property located in the General Commercial (CG) zoning district per Section 90-689 of the Land Development Regulations of the Code of Ordinances of the City of Key West. **Major Development Plan Modification** - Request for a Modification to a Major Development Plan approval for property located in the General Commercial (CG) zoning district per Section 108-91(C.)(3) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Applicant: JLW Key West 1, LLC / JLW Key West 2, LLC **Owner:** John Gonzalez
Project Location: 3800, 3820, 3824, 3840, 3850 and 3852 N. Roosevelt Blvd
(RE# 00064940-000000, 00064950-000000, 00065060-000000, 00065530-000000, 00065540-000000 & 00065550-000000)
Date of Hearing: Thursday, April 18, 2013 **Time of Hearing:** 6:00 PM
Location of Hearing: Old City Hall, 510 Greene, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Carlene Smith at cesmith@keywestcity.com .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

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The City of Key West Planning Board will be holding a Public Hearing:

Development Agreement Modification - Request for a Modification to a Development Agreement for property located in the General Commercial (CG) zoning district per Section 90-689 of the Land Development Regulations of the Code of Ordinances of the City of Key West. **Major Development Plan Modification** - Request for a Modification to a Major Development Plan approval for property located in the General Commercial (CG) zoning district per Section 108-91(C.)(3) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

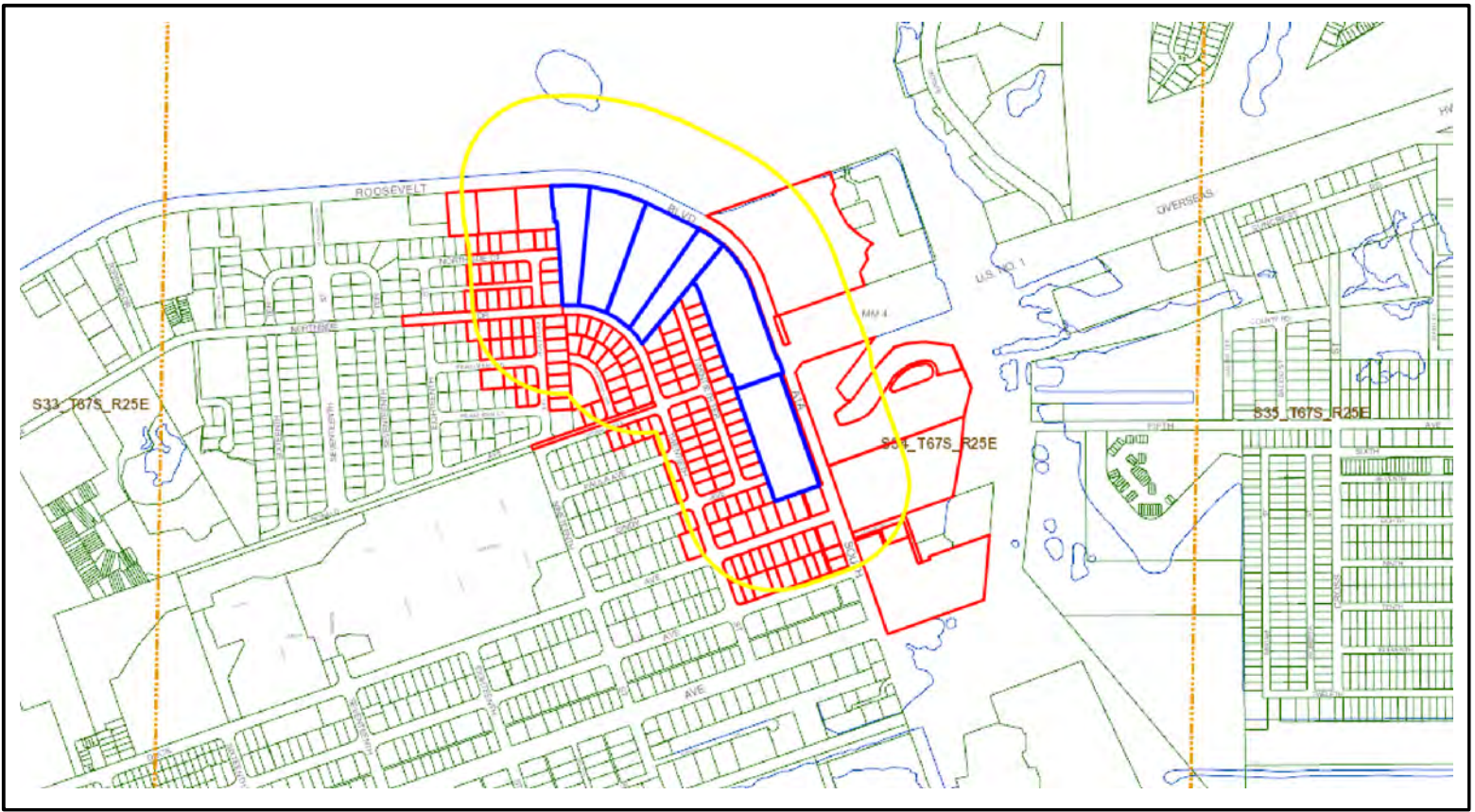
Applicant: JLW Key West 1, LLC / JLW Key West 2, LLC **Owner:** John Gonzalez
Project Location: 3800, 3820, 3824, 3840, 3850 and 3852 N. Roosevelt Blvd
(RE# 00064940-000000, 00064950-000000, 00065060-000000, 00065530-000000, 00065540-000000 & 00065550-000000)
Date of Hearing: Thursday, April 18, 2013 **Time of Hearing:** 6:00 PM
Location of Hearing: Old City Hall, 510 Greene, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Carlene Smith at cesmith@keywestcity.com .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Monroe County, Florida

3800-3852 N Roos

Printed: Mar 25, 2013

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
1 CROSS PHILLIP AND ALISON	POPLAR HALL LN		CHORLTON CHESEBROUGH	CHESHIRE	CH2 4D	GREAT BRITAIN
2 KW331, LLC	PO BOX 716		HARRISON	NY	10528	
3 DENDY PAMELA A	4430 DOUGLASTON PKWY	APT 3G	DOUGLASTON	NY	11363	
4 HILL RUTH K REV TR	4802 OLD WILLIAM PENN HWY		EXPORT	PA	15632	
5 DONATELLI DONALD AND CATHERINE M	21947 CREVELING RD		COCHRANTON	PA	16314	
6 DORBIAN JOSEPH AND BABETTE	103 SALT RD		ENOLA	PA	17025	
7 MARQUETTE ROBERT L	2241 MOCKINGBIRD RD		HARRISBURG	PA	17112	
8 BEACHSIDE KEY LLC	2026 S QUEEN ST		YORK	PA	17403	
9 SUNSET VENTURES LLC	835 MT MORO RD		VILLANOVA	PA	19085	
10 BLUE ISLANDER INVESTMENTS LLC	1135 PHOENIXVILLE PIKE		WEST CHESTER	PA	19380	
11 MA PETER	13717 MILLS AVE		SILVER SPRING	MD	20904	
12 BEACHSIDE JAMM, LLC	2910 KERRY FOREST PKWY	UNIT D4-3	TALLAHASSEE	FL	32309	
13 DOT/ST.OF FL	TRANSPORTATION)		TALLAHASSEE	FL	32399	
14 CORAL SUNSET LLC	2071 TANGLEWOOD LANE		DELAND	FL	32720	
15 LOCKWOOD DALE ALLEN	311 MARGARET ST		KEY WEST	FL	33040	
16 MAGAL IDAN	3839 DUCK AVE		KEY WEST	FL	33040	
17 SINGH ESHRI AND GULSAN	3832 DUCK AVE		KEY WEST	FL	33040	
18 KNOWLES CLEVELAND CURTIS III AND MERCEDES	1328 20TH TER		KEY WEST	FL	33040	
19 PAEZ ORLANDO AND MARIA	3809 CINDY AVE		KEY WEST	FL	33040	
20 ROBERTS ANTHONY DEXTER JR	1200 20TH TER		KEY WEST	FL	33040	
21 MORGAN GERALD	3825 DUCK AVE		KEY WEST	FL	33040	
22 ZUELCH KIRK C AND JEANNE S	3742 DONALD AVE		KEY WEST	FL	33040	
23 FONT GILBERT AND MARY	1315 20TH ST		KEY WEST	FL	33040	
24 KNOWLES ALFRED LOUIS III AND CHRISTINE ELIZABETH	1216 20TH TER		KEY WEST	FL	33040	
25 MENENDEZ MIGUEL A AND LORI E	1210 20TH ST		KEY WEST	FL	33040	
26 HERRINGTON RONALD P AND SUSANA S	3719 DONALD AVE		KEY WEST	FL	33040	
27 BERMAN SHERYL ANNE	2806 PATTERSON AVE		KEY WEST	FL	33040	
28 DURAN WILLIAM AND JANICE	1209 19TH TER		KEY WEST	FL	33040	
29 WURST BARBARA JANE	1112 20TH ST		KEY WEST	FL	33040	
30 CONFIDENTIAL DATA F.S. 119.07	3625 NORTHSIDE DR		KEY WEST	FL	33040	
31 PUMAR ROSEMARY	1208 20TH TER		KEY WEST	FL	33040	
32 D'AMATO DONNA	3816 CINDY AVE		KEY WEST	FL	33040	
33 GARTENMAYER ERIC AND MILAGROS	1205 20TH TERR		KEY WEST	FL	33040	
34 WINTERS LAWRENCE I	3801 EAGLE AVE		KEY WEST	FL	33040	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
35 WELLS STEVEN S AND DENISE M	3734 PAULA AVE		KEY WEST	FL	33040	
36 ERICKSON RANDY G AND DEBORAH K	3800 CINDY AVE		KEY WEST	FL	33040	
37 EATON DOUGLAS H	3810 CINDY AVE		KEY WEST	FL	33040	
38 ECCHER STEVEN CHARLES	3808 DONALD AVE		KEY WEST	FL	33040	
39 CURRY GREGORY A AND SYLVIA A	1201 19TH TER		KEY WEST	FL	33040	
40 PEARLMANS JOE INC	517 1/2 DUVAL ST		KEY WEST	FL	33040	
41 FLYNN DEBRA S	1010 KENNEDY DR	STE 401	KEY WEST	FL	33040	
42 JLW KEY WEST 1 LLC	506 FLEMING ST		KEY WEST	FL	33040	
43 RIVERA GIRALDA AND PASCUAL	1006 18TH TERRACE		KEY WEST	FL	33040	
44 LEONARD DEBRA LYNN R	3629 NORTHSIDE DR		KEY WEST	FL	33040	
45 MERCADO PEDRO AND MERIDE	913 18TH TER		KEY WEST	FL	33040	
46 MARTINEZ IRENIO	3800 DUCK AVE		KEY WEST	FL	33040	
47 TOOMER RICHARD E	1220 19TH TER		KEY WEST	FL	33040	
48 VALDEZ PETER D JR AND YVETTE A	905 18TH TER		KEY WEST	FL	33040	
49 QUESADA MARIA DEL CARMEN	3800 NORTHSIDE DR		KEY WEST	FL	33040	
50 VILA NATIVIDAD	1324 20TH TER		KEY WEST	FL	33040	
51 WARDLOW TARA MARIE	4141 EAGLE AVE		KEY WEST	FL	33040	
52 HAYASHI RAMONA	1317 20TH ST		KEY WEST	FL	33040	
53 PALKA ALLEN M AND MELODY A	3637 NORTHSIDE CT		KEY WEST	FL	33040	
54 TORANO JOHN D	1325 20TH ST		KEY WEST	FL	33040	
55 CARBONELL JOHN W III	1323 20TH TER		KEY WEST	FL	33040	
56 SANCHEZ HORACIO AND LORRAINE E	1104 20TH ST		KEY WEST	FL	33040	
57 FRANCIS JOANNE M	1215 20TH TER		KEY WEST	FL	33040	
58 RAMIREZ ARTURO JR AND GINA	1205 20TH ST		KEY WEST	FL	33040	
59 WEEKLEY ALTON L AND BEVERLY D	3709 PEARLMAN TER		KEY WEST	FL	33040	
60 DION COMMERCIAL PROPERTIES LLC	638 UNITED ST		KEY WEST	FL	33040	
61 SYKES FAYE L/E	3743 DONALD AVE		KEY WEST	FL	33040	
62 LEE THOMAS B AND YVETTE ESQUINALDO	3728 DONALD AVE		KEY WEST	FL	33040	
63 MCLAUGHLIN DAVID LEE AND PAMELA ANN	3812 CINDY AVE		KEY WEST	FL	33040	
64 QUINN RAYMOND J	3805 EAGLE AVE		KEY WEST	FL	33040	
65 TAYLOR ANTHONY AND VICKI	3818 DUCK AVE		KEY WEST	FL	33040	
66 MILLER DOUGLAS H	1300 SOUTH ROOSEVELT BLVD		KEY WEST	FL	33040	
67 MARSTON CRAIG R AND LINDA C	3640 NORTHSIDE CT		KEY WEST	FL	33040	
68 CSOMBOK CARY H	3707 PEARLMAN TER		KEY WEST	FL	33040	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
69 WEINHOFER JOANNE L	1010 18TH TER		KEY WEST	FL	33040	
70 UNITED STATES OF AMERICA	1325 S ROOSEVELT BLVD		KEY WEST	FL	33040	
71 TAYLOR LINCOLN F ESTATE	1223 20TH TER		KEY WEST	FL	33040	
72 CASA ROMA CONDOMINIUM	3 CASA ROMA LN		KEY WEST	FL	33040	
73 WARDLOW WILLIAM R AND DEBRA M	1410 S ROOSEVELT BLVD		KEY WEST	FL	33040	
74 CHELEKIS MICHAEL S AND DENISE	3749 DUCK AVE		KEY WEST	FL	33040	
75 GAMMON MARTHA E	3738 DONALD AVE		KEY WEST	FL	33040	
76 RODRIGUEZ YUNIOR	1205 19TH TER		KEY WEST	FL	33040	
77 LADD JOSEPH P JR	1202 20TH ST		KEY WEST	FL	33040	
78 JOHNSON JOHN A	3713 PEARLMAN TER		KEY WEST	FL	33040	
79 MACIBOBA WILLIAM G AND LEILA M	3815 DUCK AVE		KEY WEST	FL	33040	
80 MATEA DAVID AND VIRGINIA L	3734 DONALD AVE		KEY WEST	FL	33040	
81 LABRADA PATRICK G AND TERRI L	15 EMERALD DR		KEY WEST	FL	33040	
82 JONES DEAN L AND MELISSA A	1217 19TH TER		KEY WEST	FL	33040	
83 KIRVAN RICHARD B	1319 20TH TERR		KEY WEST	FL	33040	
84 RODRIGUEZ ARGELIA C	3645 NORTHSIDE CT		KEY WEST	FL	33040	
85 EMANUEL EYAL	1016 18TH TER		KEY WEST	FL	33040	
86 WILLIAMS DAVID AND LOUANNA	24 AMARYLLIS DR		KEY WEST	FL	33040	
87 ROGERS RITA M	1311 20TH ST		KEY WEST	FL	33040	
88 ARNOLD LEWIS D AND CLAUDINA P	1209 20TH ST		KEY WEST	FL	33040	
89 DIAZ RICHARD	1213 20TH TERR		KEY WEST	FL	33040	
90 LEE DONALD J JR	1118 20TH ST		KEY WEST	FL	33040	
91 PEREZ JOE L	3625 NORTHSIDE CT		KEY WEST	FL	33040	
92 ROBINSON WILLIAM SANDS JR	3616 NORTHSIDE CT		KEY WEST	FL	33040	
93 HOWARD TODD	3829 EAGLE AVE		KEY WEST	FL	33040	
94 ALWANI SUNDER	1335 20TH TERR		KEY WEST	FL	33040	
95 MCKEON EDWARD J III	1203 20TH TER		KEY WEST	FL	33040	
96 MARISCAL DANIEL R AND LYNESE M	3735 DONALD AVE		KEY WEST	FL	33040	
97 DEVELASCO ALBERTO	160 SUN LANE		KEY WEST	FL	33040	
98 SANCHEZ HORACIO AND LORRAINE E	1104 20TH ST		KEY WEST	FL	33040	
99 YOUNT JAMES R AND LAVONDA S	3700 NORTHSIDE DRIVE		KEY WEST	FL	33040	
100 SAWYER CHARLES D SR AND BELINDA I	3712 NORTHSIDE DR		KEY WEST	FL	33040	
101 GONZALEZ CHARLES MANUEL	900 18TH TER		KEY WEST	FL	33040	
102 LARIZ JOSEPH BRADLEY AND JESSICA JANE	3715 PEARLMAN TER		KEY WEST	FL	33040	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
103 MELLONCAMP KEVIN	3056 RIVIERA DR		KEY WEST	FL	33040	
104 NEEDHAM COLLEEN AND GREG	1120 20TH ST		KEY WEST	FL	33040	
105 KRZYWINSKI RICHARD AND DENISE	1206 20TH ST		KEY WEST	FL	33040	
106 WYKER WALTER J AND MARTHA R	3711 PEARLMAN TER		KEY WEST	FL	33040	
107 QUESADA RICHARD	3629 NORTHSIDE CT		KEY WEST	FL	33040	
108 STEINBRENNER FRED	3301 DUCK AVE APT G		KEY WEST	FL	33040	
109 SH5 LTD	506 FLEMING ST		KEY WEST	FL	33040	
110 GOODRICH DORIA	3716 NORTHSIDE DR		KEY WEST	FL	33040	
111 GRIZZLE ARTHUR J AND DONNA M	3714 PEARLMAN TER		KEY WEST	FL	33040	
112 SCHNEIDER JAMES A	3720 PEARLMAN TERR		KEY WEST	FL	33040	
113 ARNOLD MARY ANN	1008 18TH TER		KEY WEST	FL	33040	
114 JOSEPHSON ROGER AND RODZIAH	1014 18TH TER		KEY WEST	FL	33040	
115 BEACHSIDE KEY WEST RESORT CONDOMINIUM	3841 N ROOSEVELT BLVD		KEY WEST	FL	33040	
116 MOSHER GERALD R AND MARINA S	1701 ASHBY ST		KEY WEST	FL	33040	
117 MACDONALD PROPERTY INC	3704 N ROOSEVELT BLVD		KEY WEST	FL	33040	
118 CASTILLO JESUS MANUEL JR AND MONA LISA	3624 NORTHSIDE CT		KEY WEST	FL	33040	
119 COCONUT MALLORY MARINA AND RESORT A CONDOM	1445 S ROOSEVELT BLVD		KEY WEST	FL	33040	
120 GUIEB JOHN J SR AND LISA A	3613 NORTHSIDE DR		KEY WEST	FL	33040	
121 STATE OF FLORIDA	3840 NORTH ROOSEVELT BLVD		KEY WEST	FL	33040	
122 MOODY DONNA J	1328 SOUTH ST		KEY WEST	FL	33040	
123 BEACH 316 LLC	8 CALLE DOS		KEY WEST	FL	33040	
124 SPRINGER STEPHEN M AND LYNNE F	3 CASA ROMA LN	UNIT 1	KEY WEST	FL	33040	
125 635 BEACHSIDE LLC	30 CALLE UNO		KEY WEST	FL	33040	
126 BEACHSIDE SUNSET LLC	1201 ASHBY ST		KEY WEST	FL	33040	
127 TBT LLC	33 CALLE UNO		KEY WEST	FL	33040	
128 SPOTTSWOOD HOTELS INC	506 FLEMING ST		KEY WEST	FL	33040	
129 M-D INVESTMENTS LLC	1109 EATON ST		KEY WEST	FL	33040	
130 ROOSEVELT SUITES CONDOMINIUMS	3706 -3722 N ROOSEVELT BLVD		KEY WEST	FL	33040	
131 KNIGHT EDWARD B	P O BOX 974		KEY WEST	FL	33041	
132 BEACHSIDE 325 LLC	PO BOX 344		KEY WEST	FL	33041	
133 HALLY JOHN R JR	28566 ARICA RD		SUMMERLAND KI	FL	33042	
134 MERCURIO GREGORY AND SHERI	PO BOX 2157		KEY WEST	FL	33045	
135 FULLER NORMAN C	P O BOX 5282		KEY WEST	FL	33045	
136 TERRANOVA CARL AND JING NUI	100175 COLLINS AVE	PH 2	BAL HARBOR	FL	33154	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
137 KAPAKOS BETTY	1549 SE 13 ST		FORT LAUDERDA	FL	33316	
138 PARADISE BEACHSIDE LLC	2155 OCEANVIEW DR		TIERRA VERDE	FL	33715	
139 BAIRD J RANDALL	8727 PURSLANE DR		NAPLES	FL	34109	
140 BROWN WAYNE N AND PEGGY P	723 SW LEMON HILL DR		DUNNELLON	FL	34431	
141 ODOM HARRELL II	5025 HILL PLACE DR		NASHVILLE	TN	37205	
142 KEY WEST V LLC	3501 DETROIT AVE		CLEVELAND	OH	44133	
143 OVERHOLSER PROPERTIES LLC	14061 266TH AVE NW		ZIMMERMAN	MN	55398	
144 ERICKSON MARLYN G	1002 MAIN ST		RAPID CITY	SD	57701	
145 EWR CONDOMINIUM LLC	35 E WACKER DR	UNIT 3300	CHICAGO	IL	60601	
146 AVA CONDOMINIUM LLC	401 N MICHIGAN AVE	UNIT 1300	CHICAGO	IL	60611	
147 ZAMPARDO MARK E	839 W LILL		CHICAGO	IL	60614	
148 HALTERMAN-REYNOLDS LLC	4105 PROGRESS DR		OTTAWA	IL	61350	
149 BRANSON FRANK L AND DEBBIE D	6920 TURTLE CREEK BLVD		DALLAS	TX	75205	
150 LYON DAUN E	282 NORTH PINE CREEK RD		FAIRFIELD	CT	06824-4922	
151 TOTINO RAYMOND JR AND CAROLE R	913 MAIN ST		PATERSON	NJ	07503-2628	
152 SCHNEIRLA PETER C	1150 PARK AVE		NEW YORK	NY	10128-1244	
153 CHILD LIFE SOCIETY INC	1347 43RD ST		BROOKLYN	NY	11219-1408	
154 DALK LAND LP	7 RIVERSIDE PLZ		BLOSSBURG	PA	16912-1137	
155 DOMINION KEY WEST LLC	PO BOX 398		MONTGOMERYVI	PA	18936-0398	
156 SOUTHEAST HOUSING LLC	10 CAMPUS BLVD		NEWTON SQUAR	PA	19073-3200	
157 GAUTHIER THERESE M	7594 LAKESIDE VILLAGE DR APT N		FALLS CHURCH	VA	22042-7560	
158 KEY WEST COCONUT MALLORY RESORT INC	PO BOX 12967		NEWPORT NEWS	VA	23612-2967	
159 GOODMANAGEMENT LLC	PO BOX 12967		NEWPORT NEWS	VA	23612-2967	
160 HACKNEY RODNEY ESTATE	605 HILLANDALE LN		GARNER	NC	27529-4604	
161 REHM ALFRED F JR	PO BOX 8086		WILSON	NC	27893-1086	
162 NO NAME KEY PROPERTIES LLC	9411 TAILS CREEK RD		ELLIJAY	GA	30540-4203	
163 LIZ PEDRO ESTATE	7051 SW COUNTY ROAD 240		LAKE CITY	FL	32024-1633	
164 BLACK RAMONA R	19 MILLIE DR		JACKSONVILLE	FL	32250-4070	
165 WHITE BEATRICE M TR 10/25/1999	5577 SW 91ST TER		GAINESVILLE	FL	32608-4369	
166 FIRST STATE BANK ATTN ACCT DEPT	1201 SIMONTON ST		KEY WEST	FL	33040-3162	
167 PORRAS REINALDO AND JENNIFER	3747 CINDY AVE		KEY WEST	FL	33040-3254	
168 BEACHSIDE 531 LLC	1110 TRUMAN AVE		KEY WEST	FL	33040-3352	
169 ZINTSMASER MATTHEW W AND WENDY L	925 WHITE ST		KEY WEST	FL	33040-3355	
170 WILLIS GUY A TRUST 10/22/2012	2432 FLAGLER AVE		KEY WEST	FL	33040-3844	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
171 BOND ADRIANNE	2710 HARRIS AVE		KEY WEST	FL	33040-3955	
172 FLYNN DEBRA	1010 KENNEDY DR STE 401		KEY WEST	FL	33040-4134	
173 KASPER KENNARD B AND LAURA M	1012 18TH TER		KEY WEST	FL	33040-4211	
174 MALGRAT KIMERLIE A GRIZZEL AND MICHAEL LEE SR	1018 18TH TER		KEY WEST	FL	33040-4211	
175 PEAK FRANCES W	3621 NORTHSIDE DR		KEY WEST	FL	33040-4216	
176 GARCIA RAY AND AISHA	3617 NORTHSIDE DR		KEY WEST	FL	33040-4216	
177 SAWYER BRADLY M	3708 NORTHSIDE DR		KEY WEST	FL	33040-4219	
178 GILBERT VICTORIA C	3704 NORTHSIDE DR		KEY WEST	FL	33040-4219	
179 WRIGHT SEAN TERRANCE AND KIMBERLY	3713 PEARLMAN CT		KEY WEST	FL	33040-4220	
180 KILBORN CHRISTINA R	3715 PEARLMAN CT		KEY WEST	FL	33040-4220	
181 PARRA DANIEL AND DARCIE	3718 PEARLMAN TER		KEY WEST	FL	33040-4223	
182 ROBINSON WILLIAM SANDS JR	3616 NORTHSIDE CT		KEY WEST	FL	33040-4257	
183 ROBINSON WILLIAM SANDS JR AND MILAGROS E	3616 NORTHSIDE CT		KEY WEST	FL	33040-4257	
184 ZARATE DAVID L AND ERICA N	3621 NORTHSIDE CT		KEY WEST	FL	33040-4258	
185 FUTTERMAN DAVID ADAM	3747 PAULA AVE		KEY WEST	FL	33040-4416	
186 BICK ROSE C	3746 PAULA AVE		KEY WEST	FL	33040-4417	
187 MCPEEK MARSHALL	1221 20TH ST		KEY WEST	FL	33040-4501	
188 DUPLESSIS ARTHUR AND JANINE	1217 20TH ST		KEY WEST	FL	33040-4501	
189 MCDOWELL MATTHEW	1333 20TH ST		KEY WEST	FL	33040-4503	
190 CASTILLO LILLA L/E	1212 20TH TER		KEY WEST	FL	33040-4505	
191 KOLHAGE DANNY L TRUST AGREE UTD 12/7/2004	1204 20TH TER		KEY WEST	FL	33040-4505	
192 AVILUCEA CHRISTINE AND THOMAS	1219 20TH TER		KEY WEST	FL	33040-4505	
193 AZULAY ORIAN AND DIKLA	1327 20TH TER		KEY WEST	FL	33040-4506	
194 LIZ MIGUEL M	1308 20TH TER		KEY WEST	FL	33040-4507	
195 SIEBERTOVA HANA	3806 CINDY AVE		KEY WEST	FL	33040-4509	
196 TOVAR PAUL H AND RUTH E	3807 DONALD AVE		KEY WEST	FL	33040-4510	
197 SNELL BILL AND LINDA LIVING TRUST 5/11/2012	3800 DONALD AVE		KEY WEST	FL	33040-4511	
198 WILSON DONALD L AND GLORIA D	3803 DUCK AVE		KEY WEST	FL	33040-4522	
199 LOPEZ ROBERT F LIVING TRUST 12/13/2011	3817 DUCK AVE		KEY WEST	FL	33040-4522	
200 HANKAMP CAROL J	3836 DUCK AVE		KEY WEST	FL	33040-4523	
201 REPPA TERRY JAMES	3816 DUCK AVE		KEY WEST	FL	33040-4523	
202 LIMBERT EVA	3820 DUCK AVE		KEY WEST	FL	33040-4523	
203 PIERCE PHILLIP D AND MARIA E	4113 EAGLE AVE		KEY WEST	FL	33040-4526	
204 ESTES DONALD R	4125 EAGLE AVE		KEY WEST	FL	33040-4526	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
205 TRICKSY LLC	3808 EAGLE AVE		KEY WEST	FL	33040-4527	
206 BOUCHER KEVIN J AND ANDREA	3724 FLAGLER AVE		KEY WEST	FL	33040-4529	
207 SEASIDE PROPERTIES LLC	3714 N ROOSEVELT BLVD		KEY WEST	FL	33040-4533	
208 EATON RITA G	1435 S ROOSEVELT BLVD UNIT 1001		KEY WEST	FL	33040-4538	
209 COCONUT MALLORY MARINA RESORT TIMESHARE OW	1445 S ROOSEVELT BLVD		KEY WEST	FL	33040-4538	
210 COCONUT MALLORY MARINA AND RESORT DOCKOWNI	1445 S ROOSEVELT BLVD		KEY WEST	FL	33040-4538	
211 BUTASH ANISA	1445 S ROOSEVELT BLVD UNIT 411		KEY WEST	FL	33040-4538	
212 SACCONI FRED R	1213 19TH TER		KEY WEST	FL	33040-4544	
213 VALDEZ GILBERT J L/E	1200 20TH ST		KEY WEST	FL	33040-4565	
214 GORDON MICHAEL S DMD PA	3706 N ROOSEVELT BLVD STE A		KEY WEST	FL	33040-4566	
215 RUDMAN MARGARET	1351 20TH ST		KEY WEST	FL	33040-4594	
216 SANTELLI DAMON	1512 17TH TER		KEY WEST	FL	33040-4618	
217 OROPEZA STEVE AND PAMELA	3540 EAGLE AVE		KEY WEST	FL	33040-4654	
218 SPENCER RICHARD E AND WANDA J	1019 SOUTH ST		KEY WEST	FL	33040-4805	
219 COBO JONES BEACHSIDE, LLC	1101 JOHNSON ST		KEY WEST	FL	33040-4827	
220 SAWYER NORMAN A DEC TRUST 10/7/1997	1314 JOHNSON ST		KEY WEST	FL	33040-5016	
221 SILVERKING RENTAL PROPERTIES LLC	5510 3RD AVE		KEY WEST	FL	33040-6032	
222 908 18TH TERRACE LLC	34 ALLAMANDA AVE		KEY WEST	FL	33040-6202	
223 BLACKWELL CURRY RICHARD JR TRUST 5/26/2011	21 CYPRESS AVE		KEY WEST	FL	33040-6236	
224 SADDLEBUNCH INVESTMENTS LLC	33 EVERGREEN AVE		KEY WEST	FL	33040-6244	
225 ABBOTT JOAN E	647 WILLIAM ST		KEY WEST	FL	33040-6851	
226 JRC KEY WEST HOTEL LLC	506 FLEMING ST		KEY WEST	FL	33040-6882	
227 WARDLOW DENNIS	3142 NORTHSIDE DR STE 201		KEY WEST	FL	33040-8012	
228 KEYS ISLAND PROPERTIES LLC	PO BOX 6158		KEY WEST	FL	33041-6158	
229 LEWIS DELMAR J	PO BOX 6316		KEY WEST	FL	33041-6316	
230 MUMFORD JOHN	PO BOX 6371		KEY WEST	FL	33041-6371	
231 PANDS LLC	16780 OLD STATE ROAD 4A		SUMMERLAND KI	FL	33042-3704	
232 KOHP LLC	PO BOX 2160		KEY WEST	FL	33045-2160	
233 CARPASA LIMITED PARTNERSHIP	3460 POINCIANA AVE		MIAMI	FL	33133-6525	
234 BIGGS THOMAS	300 S POINTE DR APT 1003		MIAMI BEACH	FL	33139-7353	
235 SLINGBAUM KEY WEST LLC	12448 S STONEBROOK CIR		DAVIE	FL	33330-1278	
236 GRACE KOSTICK LLC	8150 VALHALLA DR		DELRAY BEACH	FL	33446-9516	
237 TYCLAY LP	3908 RYALWOOD CT		VALRICO	FL	33596-6493	
238 HUBCHENKO JOSEPH G TR AG 2/25/2010	9105 65TH ST N		PINELLAS PARK	FL	33782-4600	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
239 WALKER THOMAS G	3537 52ND AVENUE CIR W		BRADENTON	FL	34210-3262	
240 KEY WEST PITA LLC	23550 CENTER RIDGE RD STE 206		WESTLAKE	OH	44145-3655	
241 LONE PALM CRAIG III LLC	2510 CANTERBURY RD STE 100		WESTLAKE	OH	44145-4658	
242 SMITH DAVID GEORGE JR	PO BOX 331		WAUPACA	WI	54981-0331	
243 GILMORE JAMES	23840 PILLSBURY AVE		LAKEVILLE	MN	55044-8239	
244 RFA KEY WEST II LLC	35 E WACKER DR STE 3300		CHICAGO	IL	60601-2306	
245 REYNOLDS DANIEL J AND LINDA	P O BOX 858		OTTAWA	IL	61350-0858	
246 HALTERMAN JERRY	2011 CATON RD		OTTAWA	IL	61350-1111	
247 CURRY DAVID LIV TR AG AMENDED 9/3/2008	101 DIAMOND POINTE LOOP APT 9S		DENISON	TX	75020-0452	
248 PEARSON STEVEN B TRUST 6/1/2011	7224 BABILONIA ST		CARLSBAD	CA	92009-6510	