



Staff Report for Item 7

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: September 29, 2015

Applicant: Chris Liddle

Application Number: H15-01-1016

Address: #1404 Olivia Street

Description of Work:

Modification to previously approved plans: move west wall over 3'4" and raise roof on new addition 2'4".

Site Facts:

The house located at 1404 Olivia Street is listed as a contributing resource. The frame vernacular style house was built in 1906. The footprint of the house remained the same from 1912 to 1962, but after such, there have been two more additions to the rear. The house and its historic addition have been heavily altered and modified.

This property came to HARC last year in October 2014, where the HARC Commission approved a new addition onto the rear of a contributing house, with a small side addition on the original house. Now the applicant has submitted a modification to the previously approved plans due to the cost of a sprinkler system, which was a condition of the variance granted from Planning Board. This project was granted a variance modification from Planning Board on August 20, 2015.

Guidelines Cited in Review:

Additions & Alterations/New Construction (pages 36-38a), specifically guidelines 3, 4, 5, 6, 7, and 8 of additions and alterations and guidelines 3 and 4 of new construction.

Entrances, Porches, and Doors (pages 32-33), specifically introductory paragraph and guidelines 3, 5, and 16.

Staff Analysis

The Certificate of Appropriateness in review proposes modifying previously approved plans for an addition on the rear of a contributing structure. The modification moves the west wall on the side of the new addition 3'4" inwards, so that the second floor of the addition is outside of the side yard setback. Now the rear addition will be approximately 8 feet taller than the existing roof height of the contributing structure. The project also proposes adding a metal railing to the front of the house.

Consistency with Guidelines

The proposed modification for the construction of a new addition that reads as a two-story is much larger in scale and mass than the existing historic house. The new addition also will alter the balance and symmetry of the historic house.

Also the proposal of a metal railing on the entranceway to the porch is also inconsistent with the guidelines, as the section for entrances, porches, and doors calls for the use of materials that match the original or are compatible. The use of a metal railing on the front of a contributing building, where all exterior materials are wood, is not appropriate.

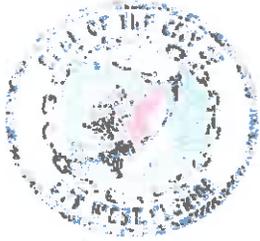
It is staff's opinion that the proposed design fails to meet many of the guidelines, particularly the relationship of mass, height, and scale with the original historic house and the loss of balance and symmetry by the introduction of a large size addition.

APPLICATION

15-01-1016

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER #14-01001451	BUILDING PERMIT NUMBER #14-00005638	INITIAL & DATE
FLOODPLAIN PERMIT		REVISION # 14-5638
FLOOD ZONE X	PANEL #	ELEV. L. FL.
		SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %

ADDRESS OF PROPOSED PROJECT:

1404 Olivia Street, Key West

OF UNITS

RE # OR ALTERNATE KEY:

2014-43

NAME ON DEED:

Colby D. Fisher & Katherine E. Leigh

PHONE NUMBER

305-432-6368

OWNER'S MAILING ADDRESS:

1404 Olivia Street

EMAIL

KLeigh5087@aol.com

Key West, FL 33040

CONTRACTOR COMPANY NAME:

Harris/Kjos Construction

PHONE NUMBER

305-797-1495

CONTRACTOR'S CONTACT PERSON:

Bruce Kjos

EMAIL

bkjos@bellsouth.net

ARCHITECT / ENGINEER'S NAME:

Chris Liddle

PHONE NUMBER

305-797-4162

ARCHITECT / ENGINEER'S ADDRESS:

311 Johnson Rd. #2
Sugarloaf Key, FL 33042

EMAIL

cliddlekw@yahoo.com

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

180,000

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input checked="" type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input checked="" type="checkbox"/> WITHIN FLOOD ZONE X	
	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR	<input checked="" type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

Move exterior west gable wall 3' 4" to create 5' zoning/fire setback. Raise gable roof plate height 2' 4".

Remove dormer in rear. New window placement. New roof height 25' 10".

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME: Katherine E. Leigh	QUALIFIER PRINT NAME: Chris Liddle, Architect
OWNER SIGNATURE: <i>Katherine Leigh</i>	QUALIFIER SIGNATURE: <i>Chris Liddle</i>
Notary Signature as to owner: <i>Colby Fisher</i>	Notary Signature as to qualifier: <i>Colby Fisher</i>
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>1</u> DAY OF <u>July</u> , 20 <u>15</u> .	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>1</u> DAY OF <u>July</u> , 20 <u>15</u> .
 Personally known or produced _____ as identification.	 Personally known or produced _____ as identification.

44566-15005-07c

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: Amend HARC Permit #14-01001451 and Permit #14-00005638

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
Move gable wall 3' 4" to create 5' setback		
Add 4 new windows		
Remove dormer addition in rear		
New window placement		

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE: _____

Doer: KEYWBLD Type: OC Drawer: 1
 Date: 7/02/15 53 Receipt no: 27110
 2015 1001016 * BUILDING PERMITS-NEW
 1.00 \$50.00
 Trans number: 3654799
 VN VISA/MASTERC \$100.00
 Trans date: 7/01/15 Time: 16:37:36

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A "NOTICE OF COMMENCEMENT" MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ASBESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:



7/1/2015

RE: Amended HARC Certificate of Appropriateness

To: City of Key West
HARC Board & Building Plans Review
City of Key West, Building Department.
Key West FL

RE: 1404 Olivia- Certificate of Appropriateness for New Gable Roof Addition

Due to the need for some changes to our approved Construction Plans we are submitting our Final Revised Plans for HARC review to receive a Certificate of Appropriateness for several revisions consistent the original design intent.

We have received permission for complete removal of deteriorated portions of the property to the rear of the Principle Contributing Structure. While "Old Enough" the rear sheds were not deemed worthy of preservation status due to deteriorated condition and a series of well documented changes to the "shed portion" of building features.

In accordance with Planning Guidelines replacement of the developed portions of the site within the existing building footprint with new structures was allowed.

Several Variances were granted to allow the construction of a small addition at the rear of the property. Sprinklers for the entire building were required, as a condition of the variances; since rear portions of the addition did not have the required NFPA 5'-0" setback for fire access. We agreed to this condition and received building permits in December of 2014.

Since that time we have been unable to negotiate a realistic and reasonable proposal to equip the building with a fire suppression system. After exhausting every reasonable option we have decided to reconfigure the upper Floor of the building, making it smaller. The new structure uses the approved Main Floor Footprint and provides a smaller Second Floor Addition. This new "footprint" eliminates the need for sprinklers.

We have redesigned the second level of the building addition to provide the necessary 5'-0" clearance. The West Gable Wall has been moved "inboard" 3'-4" on the Second Floor, and eaves "trimmed" to meet 5'-0" Zoning/NFPA Requirements.

To accommodate the proportion of the new building envelope the roof-Plate height of the rear addition was raised 2'-4" to allow head room access (6'-10") at the stairway, and new bath, where a small window was added. The Footprint & Site Plan are not changed.

New windows in the plan allowed the removal the previously approved rear (South) “shed- style” dormer/addition. The result is a simple “Gable Style“ addition with clean and simple lines, & unbroken roof planes, that harmonize with the existing Historic Structure and its simple detailing.

We have incorporated a Roof to Foundation Hurricane Tie-Down System with attenuation into the Project Engineering. The addition is designed to meet or exceed current FBC requirements, resist 180MPH Winds, and wind debris at 150mph. It is Located in the shaded X-Zone (never flooded) above Flooding and FEMA/Insurance concerns.

Building Envelope is designed to exceed FL Energy Code, and will be equipped with water saving fixtures & energy efficient appliances & lighting. Each room and space has natural daylighting & ventilation, efficient HVAC & a fully air sealed thermal envelope with R/30 Walls R40Roof. The New Central Staircase meets FBC safety & egress standards. Drainage retention & run-off filtering is provided beneath the rear deck.

We are hopeful that the HARC will see this approach as a favorable alternative to our previous approved plans.

Since we have an approved Construction Plan for the project and work will be ongoing; any approved structural changes will be addressed along- the-way with appropriate approved Construction Documents and Shop Drawings prior to commencement of work and inspection in the field.

We extend our sincere thanks to the HARC & Planning Professionals who helped us shape this project and navigate the challenging route necessary to get this family home.

Cheers & Thanks,

Chris Liddle, Project Architect.

Addendum: History of Historic Review 2014 - Present

1404 Olivia Street. Please see our enclosed Repair Plan for the Main Building & Proposed Addition in rear. The original Historic House will be preserved according to HARC & National Standards: US Dept. of Interior Standards. Exterior: The original house appearance will be preserved as it is now. Entire roof Structure to be preserved with 16" Addition setback at rear of house. Addition is potentially reversable

We understand that the HARC has reviewed the proposed plans and would like to see Historic treatment of the main contributing structure. To enable the reconstruction, the rear wall of the historic house will be incorporated into the new 1-3/4 story addition. Complete Removal of the existing sheds will be required. (Approved 2014)

New structure will begin at rear wall of existing house structure. Replacing all existing sheds in rear as shown on plans. The sheds as built are not contributing structures. Dating to the late 1950s Or 1960s Record Drawings show continuous modifications of the rear sheds into the 1970s, rendering them historically insignificant. The Asbestos siding was banned in the 70s and must be carefully removed. The remaining sheds were poorly constructed to begin with and are now in a deteriorating state. In my considered opinion they do not merit historic treatment.

The growing family of four is seeking a house that will serve them for many years. A new addition is proposed in the rear of the Main House on the footprint of the old sheds and continuing to the setback line. All new portions will be fully Code Compliant.

Note: We accepted the Fire Dept. requirement that the entire structure be protected with a domestic sprinkler system, if variance is needed. We have recently redesigned the Addition to eliminate the need for Sprinklers.

We agree with the findings of HARC Review that the Main Structure facing Olivia Street is a contributing structure and plan to treat it as a vital part of the historic pedestrian streetscape & neighborhood. Two interior spaces remain intact in original condition. We plan to maintain direct street access to the existing main entrance to preserve the original historic features of the streetscape. Historic House is 18' x 32'-8" with 5' Porch.

As you can see from proposed plans, the low- profile addition is barely visible from the street. Neighbors' private yards are protected by existing high fences. Exterior lights will be down-shielded.

The modest 1/ 3/4- Story Cape addition will replace the existing kitchen and bedroom adding a stairway to a new upstairs bedroom and bath. The appearance will match the main structure, but be clearly individuated from the original historic portion. The Axis of the Addition has been shifted 90 degrees to further differentiate the addition.

The deteriorated sheds are compromising the Main Historic Structure. Reconstruction of the rear wall and rear foundation of the Main House is needed. The removal of the rear sheds will allow new structural support for the main building. A new family entrance will be added in the rear addition. No "New Units" or rental spaces will be created

Re-building severely deteriorated portions will allow new structure to meet current FL Bldg. Codes. The new structure will reinforce and harden the original Historic building to potential storms. We believe that the complete removal and replacement of the sheds is the only practical solution. Saving the sheds is not a realistic alternative.

Once approved our complete repair plans will include. Detailed Building Plans, Structural Specifications & Repair Procedures & Products to be included for building department review.

New Additions are designed to Comply with 2010 FL Bldg. & Energy Codes

Repair Plan Outline:

- Remove unsuitable damaged rear shed areas, completely.
- Incorporate rear wall of main Structure into new addition
- Remove existing bathroom wall at 2'-6" bump-out addition
- Safely remove & dispose of unsuitable siding materials (asbestos ?).
- Reinforce Existing Rear Wall of Main House, tie to new foundation
- Provide New Foundation beginning at rear wall of Existing House
- Use Efficient wood framed walls with high density foam insulation
- Provide a complete Hurricane Tie-down system, anchors and straps
- Two new operable skylights w/ screens.
- Wood Windows with true divided light, alum. Clad painted exterior
- New windows and doors Low-e or solar film, screens
- Fixed Shade structure/trellis over new deck 24", Landscaping to remain
- Provide new decks as shown with swale/filter below Deck Height: 28" Max
- Provide wood clap-boards and Trim to match existing
- Seal entire wall system with primer, paint and penetrating sealer
- Apply epoxy sealant coating to exposed ends & edges of siding and woodwork
- New Roofing to be Metal 5 V Crimp, Reinforce Sheathing, Peel & Seal
- Roofing Fascia, Trim & and Soffits as shown
- Gutters on rear roofs drain to new swale. Gutters directed to swales
- Swale beneath deck to be maintained

(Note: Summer 2015) Since the owners recently welcomed a second son; we are hopeful that once the project is approved by HARC; work can proceed on a timely basis to create the family home they need.

Thanks for your help,

Chris Liddle, Architect

Preservation Notes: General

- Listed on Historic Resources Index Pre 1954; Possible Contributing Structure
- Does not appear in 1890s Sanborn Maps
- Appears on 1912 Sandborn Map: Main Structure
- Main House Remodeled in 1940s to current 18' x 32'-8" - Plus 5' Porch at Street
- Record Plans Show: Rear Sheds Modified Through 1960s into 1970s
- Contributing Structure: Wood-Frame Vernacular Building, Historic Streetscape
- Rear Sheds; Non-Contributing, Non- Conforming, Past Useful Economic Life
- Original Structure may have been moved to this site.
- Sheds in rear are Non- contributing structures due to continuous replacement remodeling, and cobbling of sub- standard materials & deteriorated state

Documentation:

Historic Survey Page: MO 00724A Pre 1954

Possible Contributing Structure- Wood Frame Vernacular @1906

Sandborn Maps: 1892,1899,1912

Aerial View Neighborhood Context: 2014

Record Plans @ 1970s –Ongoing Modifications of rear sheds- Non Contributing

Survey- Engineered -Existing

Property Record Card

Building Photos-Context Photos

Site Plans S1, S2, S3

Architectural Plans: A101- A111

HARC Submittal Addenda July 28, 2014

Remove Rear Shed with severe deterioration

Architect's Response to Historic Status of Rear Shed slated for Demolition.

Does the Gable shed have merit as a contributing structure, and is it structurally sound.

HARC Staff has indicated that the Gable roof shed in the rear is shown on the 1964 Sanborn Map which could make it a candidate to be a contributing structure.

Further investigation in the field was done by the Architect to resolve the issue:

- Concrete Foundation Blocks Match the Main Building, and may be original to the 1940s era renovation, or earlier.
- Floor Structure does not match the original structure, but is older and has undergone repairs & shoring.
- Wall structures are substandard mix of recycled materials
- Ceiling structure also build of old lumber, definitely substandard construction but from perhaps 60s or 70s, not properly anchored for wind
- Wall exterior more recent plywood and sheet stock w Tar paper shingles, beyond repair

Preservation Architect's Analysis of Shed Condition

Due to severely deteriorated condition and substandard condition of the gabled shed it is beyond repair, and cannot be brought into code compliant service as a rehab.

The only surviving component appears to be the concrete foundation block, which are also substandard, and not significant historic structures

Summary

The gabled shed is old (1960s/70s), but it is deteriorated beyond the hope of reasonable repair, The shed and foundation should be demolished and needs to be replaced with a safer Code-Compliant structure

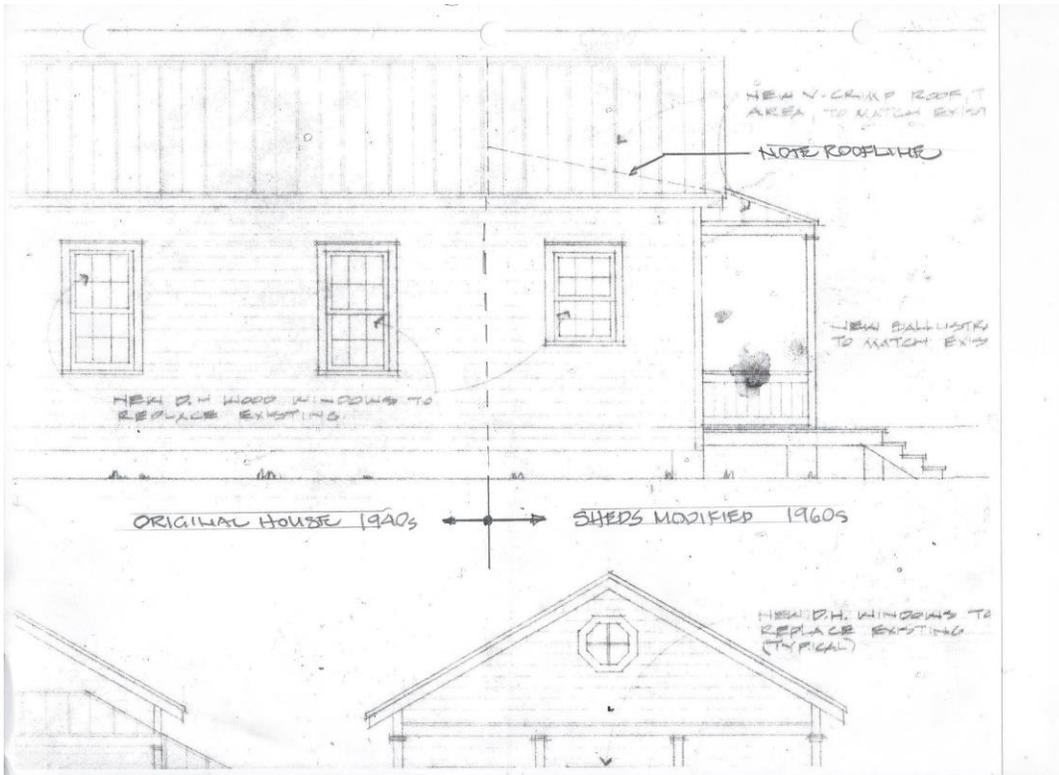
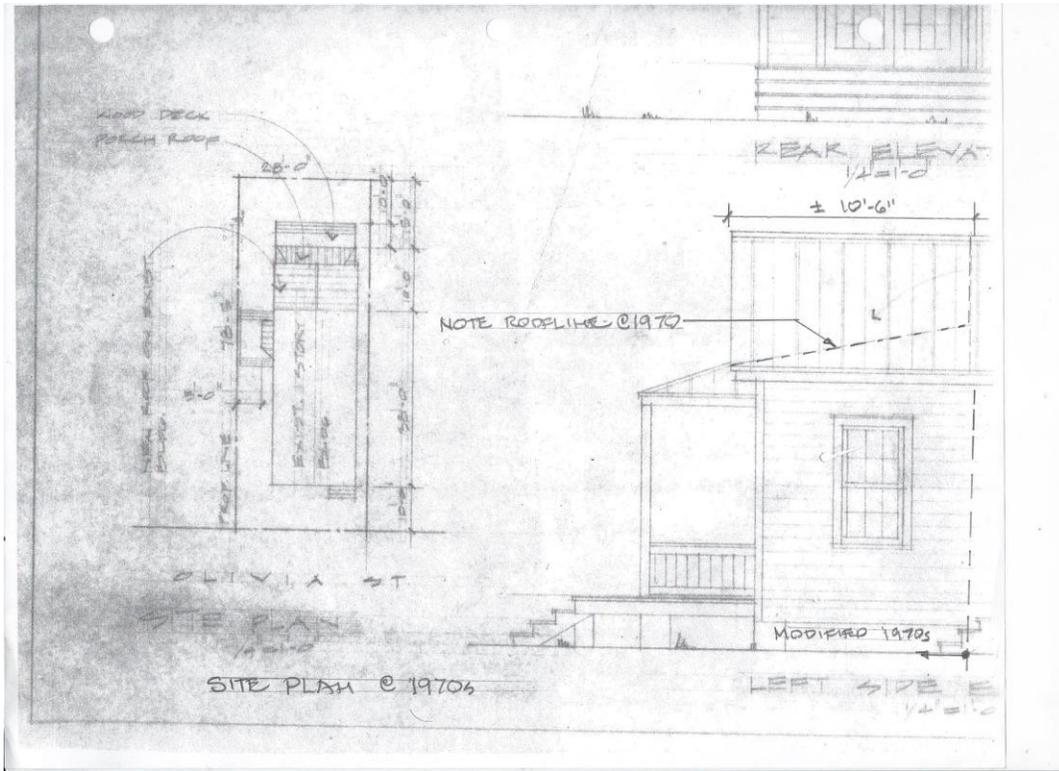
Enclosed Photos show the clearly defined difference between Historic and Non-Contributing Portions of the building.

We ask that demolition be approved as indicated on Plans.

Chris Liddle,
Preservation Architect
FL AR 93860



Photos of Sheds and Original structure show the difference Between a Contributing Historic Structure and an “old shed”



Record Drawings show modifications made to the 60s shed structure. Shed Profiles and Site Plan modifications were made in the 60s, 70s, & 80s

Architectural Services for Code Compliance State & City/County Submittal Requirements (Partial)

Site & Structural Design and Permits:

2010 Florida Building Code: 180 MPH Wind Design

Submittal Requirements

- Architecture, Engineering & Planning
- Building Plans & Public Safety
- Base Plans & Specifications
- Contractors, Estimates
- City Planning and Zoning
- FEMA, Floodplain Compliance Plan
- Construction Permits & Procurement
- NOAS on All Windows Doors & Exterior Components

Scope of Work: Repair & Improvement Plan

Optimize Building Design- Architect 3D Sketch Studies

- 3D Studies Building Plans & Envelope and Exterior Shell
- Coordinate Site Assessment & New Plan
- Site Development Plans & Variances
- Structural: Code Requirements and Permits
- Electrical & Structural Changes

Architectural Drawing Requirements:

1. Demolition Plan
2. 2 Building Plans
3. 2 Electrical plans
4. Foundation Plan
5. 4 Elevations
6. Building Sections
7. Plumbing & Mechanical Plan
8. Construction Details
9. Materials Specifications

Building Design and Permits: Technical submittals

Building Permits: Building Engineering & Wind Pressures

1. NOAs for windows and doors
2. NOAs for Roofing Assembly
3. Building envelope: Insulation walls and roof
4. New Doors & Windows FL Bldg. Code 2010 180 MPH wind
5. Energy Codes & Conservation
6. New Energy Efficient Lighting, water saving fixtures
7. Interior and Finishes: Durable, Non-toxic

**Project 1404 Olivia:****INDEX TO DRAWINGS & DOCUMENTS 7/1/2014- 7/1/2015**

HARC APPLICATION: 1404 Olivia, Key West FL					
	Drawing or Document	Type	Size	Date	Qty
	Index to Drawings & Documents	Submittals Index to Documents	8 1/2x11		
L1	Cover Letter		8 1/2x11	7/25/14	
L2	Demolition Letter		8 1/2x11		
	Historic Records				
P1-9	Documentation Photos	Photos	11x17	5/1/14	
P10	HARC Documentation	Photo c1940s	8 1/2x11	7/25/14	
M1	HARC Documentation	Sandborn Map	8 1/2x11		
M2	HARC Documentation	Sandborn Map	8 1/2x11		
D1	Record Drawings	Site Plan Sheds in 70s & Shed Rebuild	8 1/2x11		
D2	Record Drawings	60s Shed Profile 70s Shed Rebuild Construction Plans	8 1/2x11		
	Site Plans				
S1	Preliminary Site Plan	Site Plan	11x17	5/1/14	
S2	Proposed & Plan & Demo	Site Plan	11x17	7/27/14	
S3	Existing Conditions	Site Plan	11x17	7/27/14	
S4	Original Survey	Site Survey	8 1/2 x 11		
	Architectural Drawings				
A101	Plan Level 1	Design Plans	11x17	5/1/14	
A102	Plan Level 2	Design Plans	11x17	5/1/14	
A103	Existing Footprint	Tax Map	11x17	5/1/14	
A104	Olivia Street View-Aerial	Design Plans	11x17	5/1/14	
A105	Olivia St NW View	Design Plans	11x17	5/1/14	
A106	Olivia Street View	Design Plans	11x17	5/1/14	
A107	Olivia Street NE View	Design Plans	11x17	5/1/14	
A108	Elevation NE Side	Design Plans	11x17	5/1/14	
A109	Elevation SE View	Design Plans	11x17	5/1/14	
A110	Rear Elevation View- S	Design Plans	11x17	5/1/14	
A111	Rear Corner View -SE	Design Plans	11x17	5/1/14	

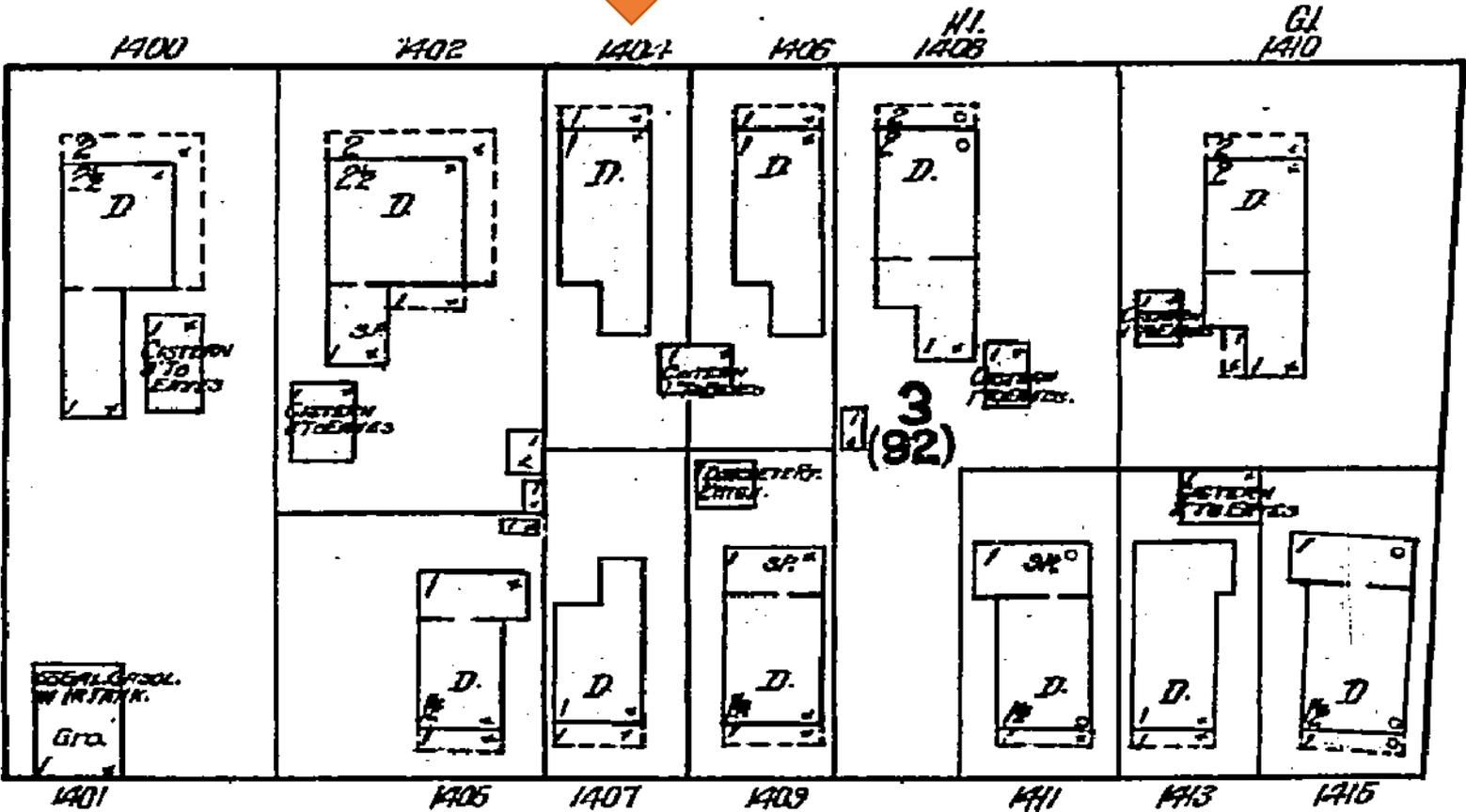
	Historic Preservation Drawings & Details				
H1	Adjacent Buildings	Height Diagram		7/27/14	
H2	Elevation Street Elevation Rear	Construction Doc		7/27/14	
H3	Elevation West	Construction Doc		7/27/14	
H4	Elevation East	Construction Doc		7/27/14	
	Windows & Materials Specifications				
SPEC	Windows & Materials	Specification		8/27/14	
C1	Window	Window Type			
C2	Window	Window Type			
A1	Window	Window Type			
E1	Windows-Existing	Window Type			
F1	French Doors	Exterior Doors			
P1	Variance Application Files Approval History	Variances Approval Process			

Documentation:

1. Historic Survey Page: MO 00724A Pre 1954
 2. Possible Contributing Structure- Wood Frame Vernacular @1906
 3. Sandborn Maps: 1892,1899,1912
 4. Aerial View Neighborhood Context: 2014
 5. Record Plans @ 1970s –Ongoing Modifications of rear sheds- Non Contributing
 6. Survey- Engineered -Existing
 7. Property Record Card
 8. Building Photos-Context Photos
 9. Site Plans S1, S2, S3
 10. Architectural Plans: A101- A111
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 - Contributing Structure: Wood-Frame Vernacular Building, Historic Streetscape
 - Rear Sheds; Non-Contributing, Non- Conforming, Past Useful Economic Life
 - Original Structure may have been moved to this site.
- Sheds in rear are Non- contributing structures due to continuous replacement remodeling, and cobbling of sub- standard materials & deteriorated state

SANBORN MAPS

OLIVIA



ALBURY

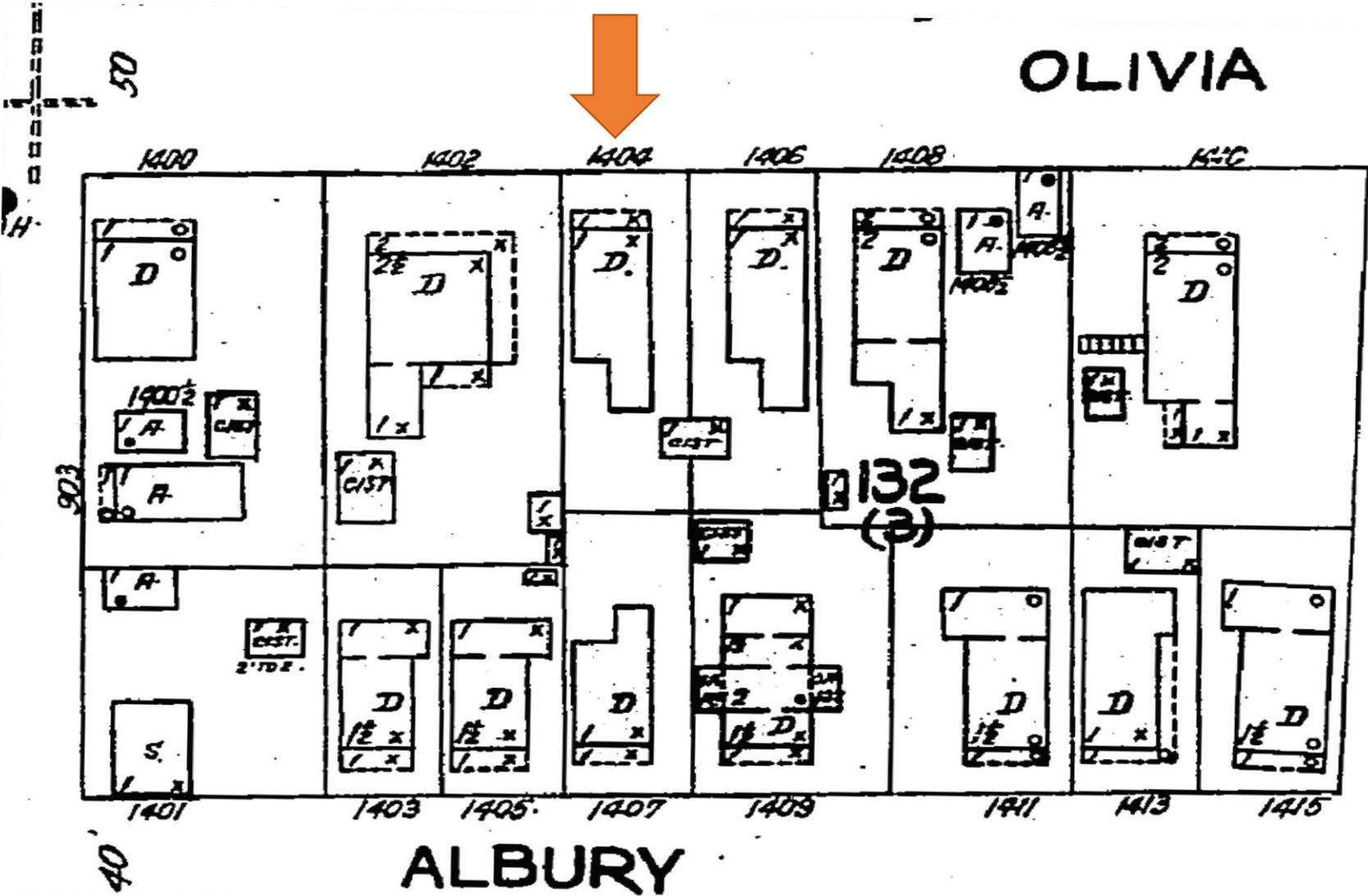
Jl.
1412

Sanborn Map 1912

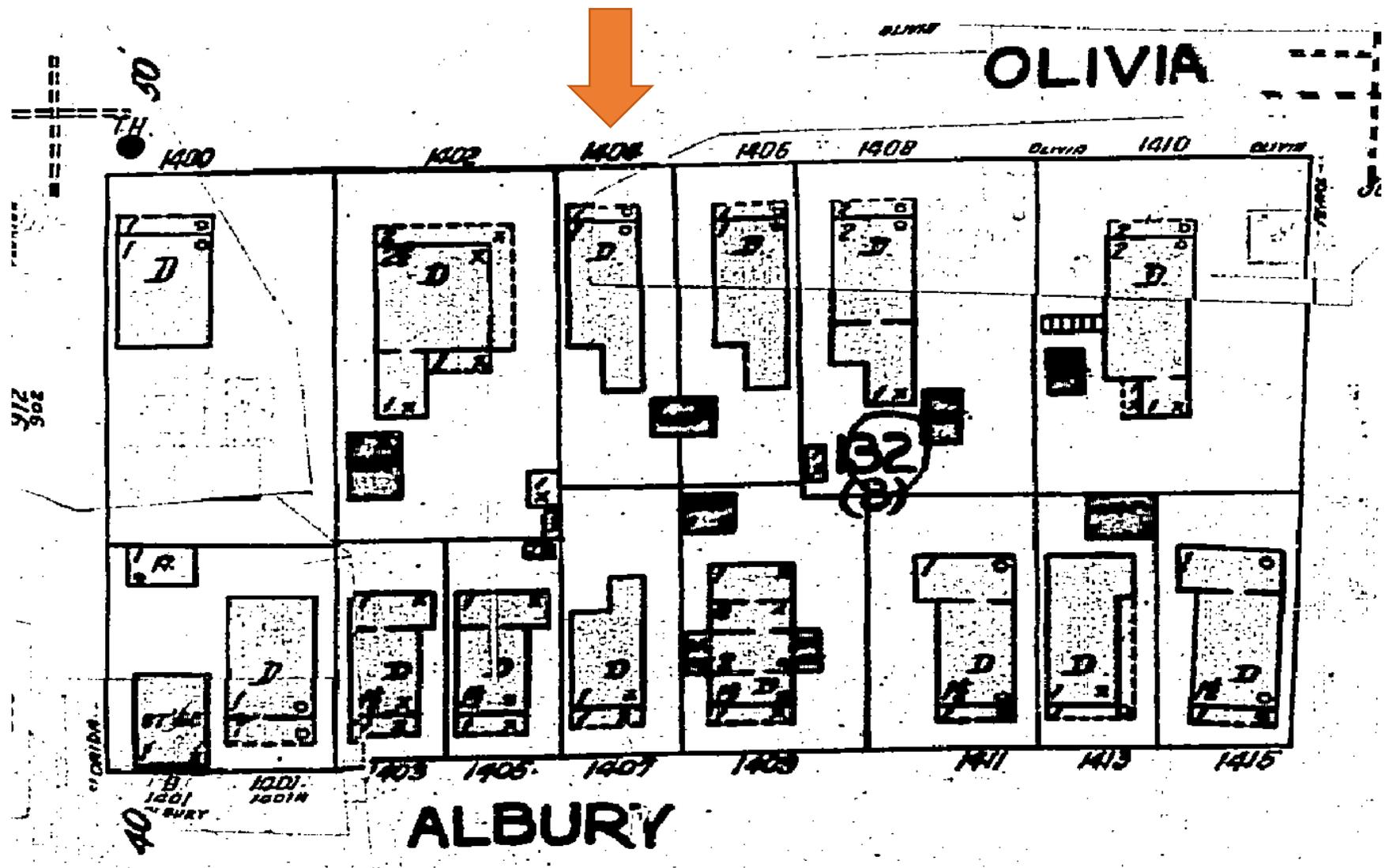


OLIVIA

30



Sanborn Map 1926



Sanborn Map 1948

PROJECT PHOTOS



Property Appraiser Photo c.1965

CHRIS LIDDLE ARCHITECT

Key West and the Florida Keys
305 797 4162 cliddlekw@yahoo.com

1404 Olivia House Addition: Existing Condition Photos



PHOTO 1- 1404 Olivia House: View from St NW



PHOTO 2- 1404 Olivia House: View from Street NE



PHOTO 3- 1404 Olivia House: View from side yard



PHOTO 4- 1404 Olivia House: View from Rear –Existing



PHOTO 5- 1404 Olivia House: Sheds to be Replaced



PHOTO 6- 1404 Olivia House: Sheds to be Rebuilt



PHOTO 7- 1404 Olivia House: View from Street - Gable



PHOTO 8 - 1404 Olivia House: Decorative Trim



PHOTO 9 - Olivia Street View from Across Street



PHOTO 10 – 1802 Olivia Street View from Across Street

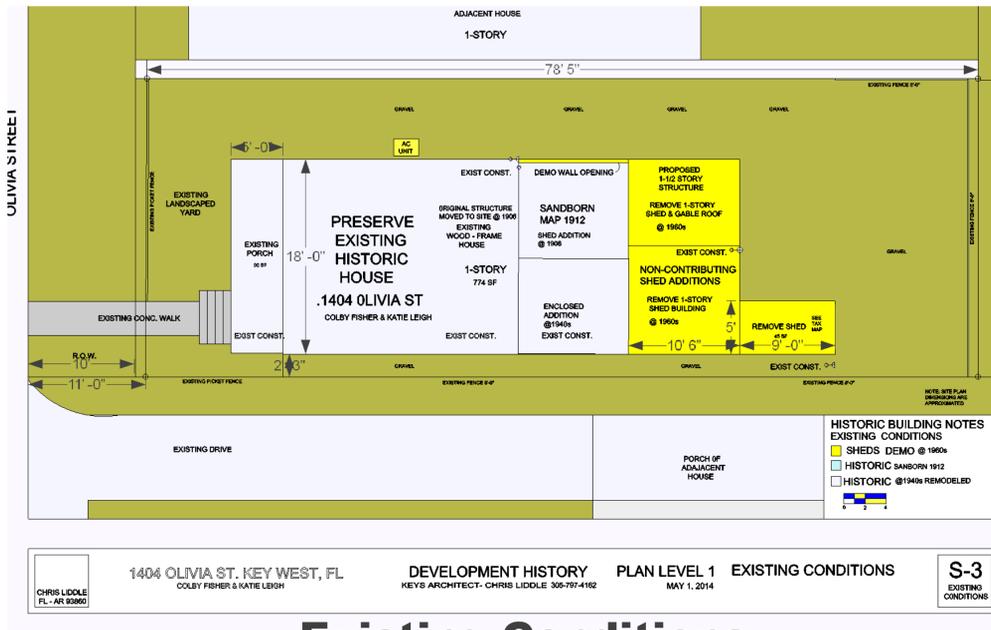


PHOTO 11 – 1806 Olivia Street View from Across Street

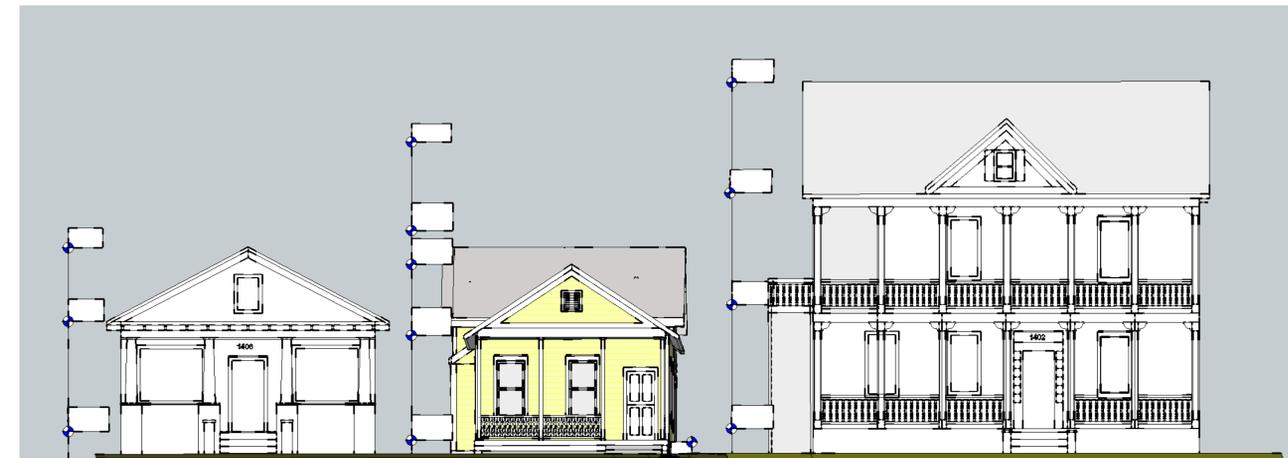
SURVEY

REVISED DESIGN

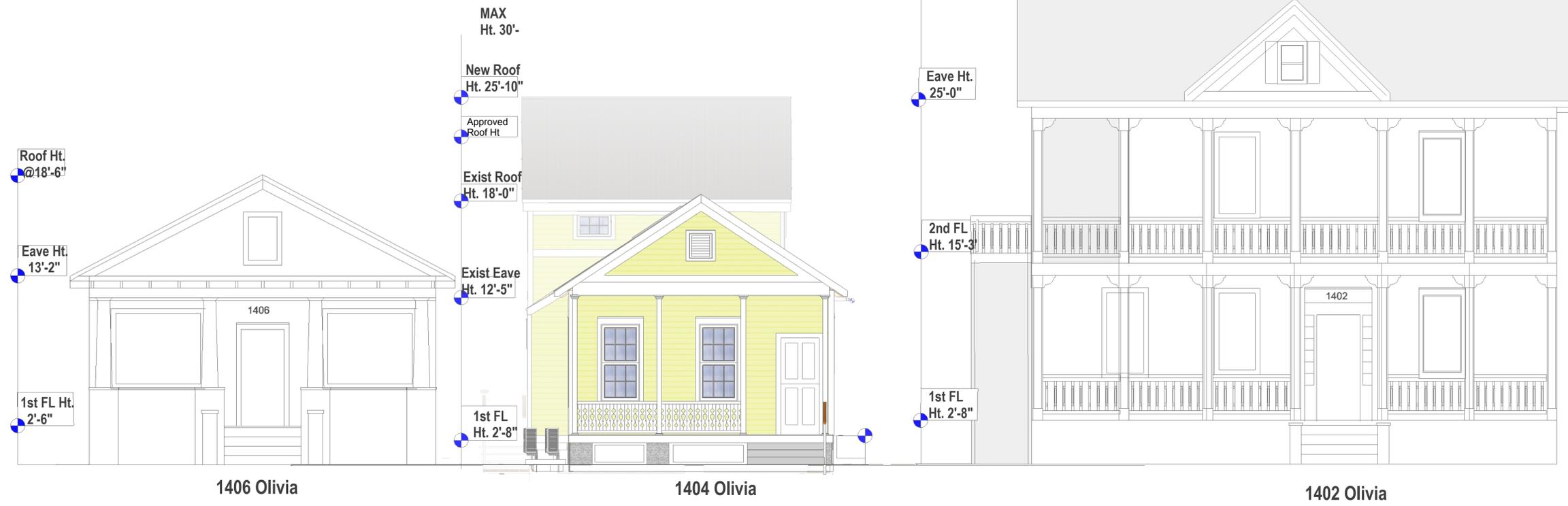
HARC DRAWING INDEX
H1 EXISTING CONDITIONS
H2 ELEVATIONS N&S
H3 EAST ELEVATION
H4 WEST ELEVATION
H5 FLOOR & ROOF PLANS



Existing Conditions



Street View Approved Addition



New Street View with Gable



Chris Liddle
Architect
 305 707-4162

cliddlekw@yahoo.com
 Licensed Architect: FL AR 93860

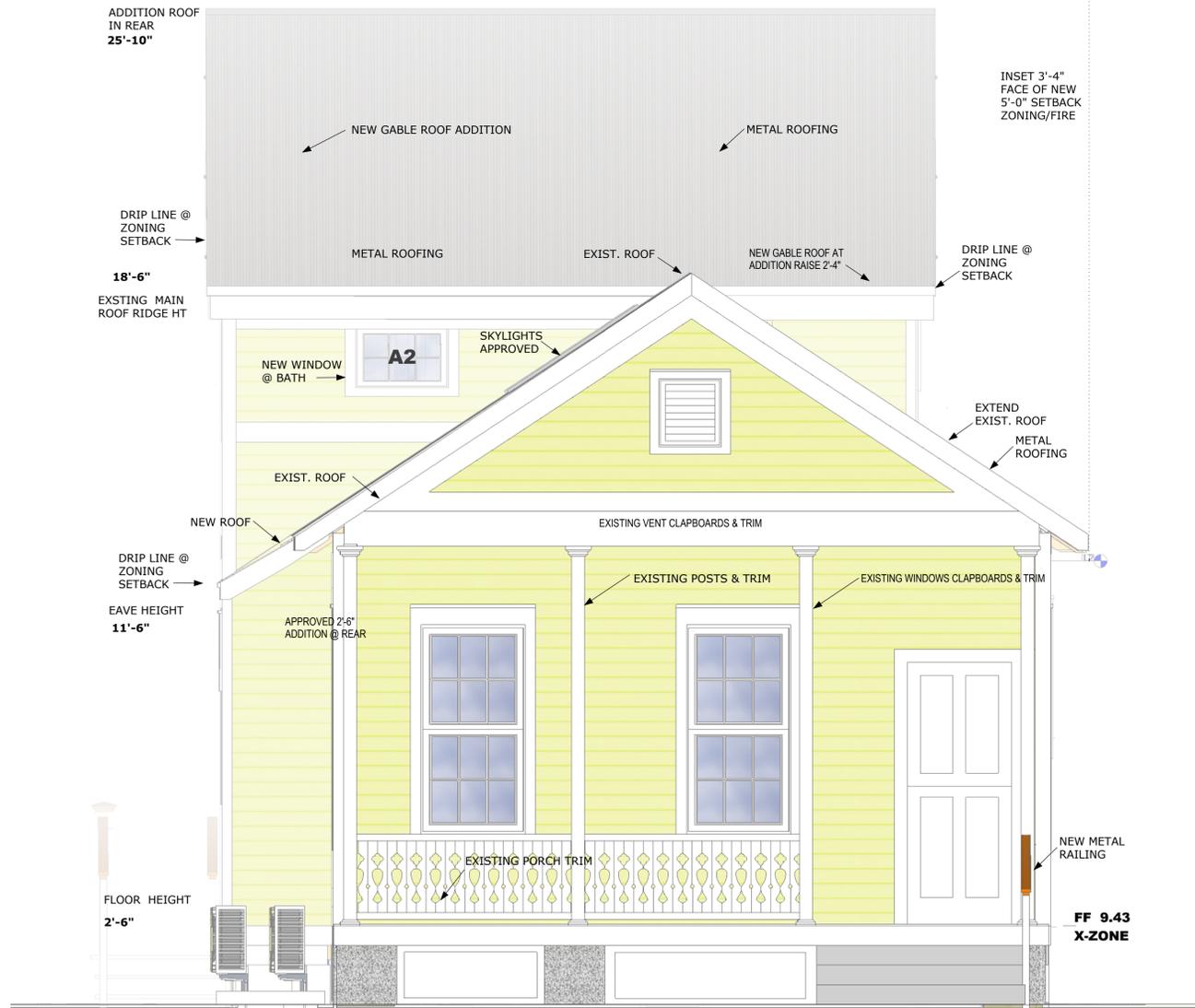
1404 Olivia Street - Key West Florida
Proposed Addition to Residence
Smaller Addition with 2nd Dormer Added

Owners: Colby Fisher & Katie Leigh
Architect: Chris Liddle - 305-797-4162

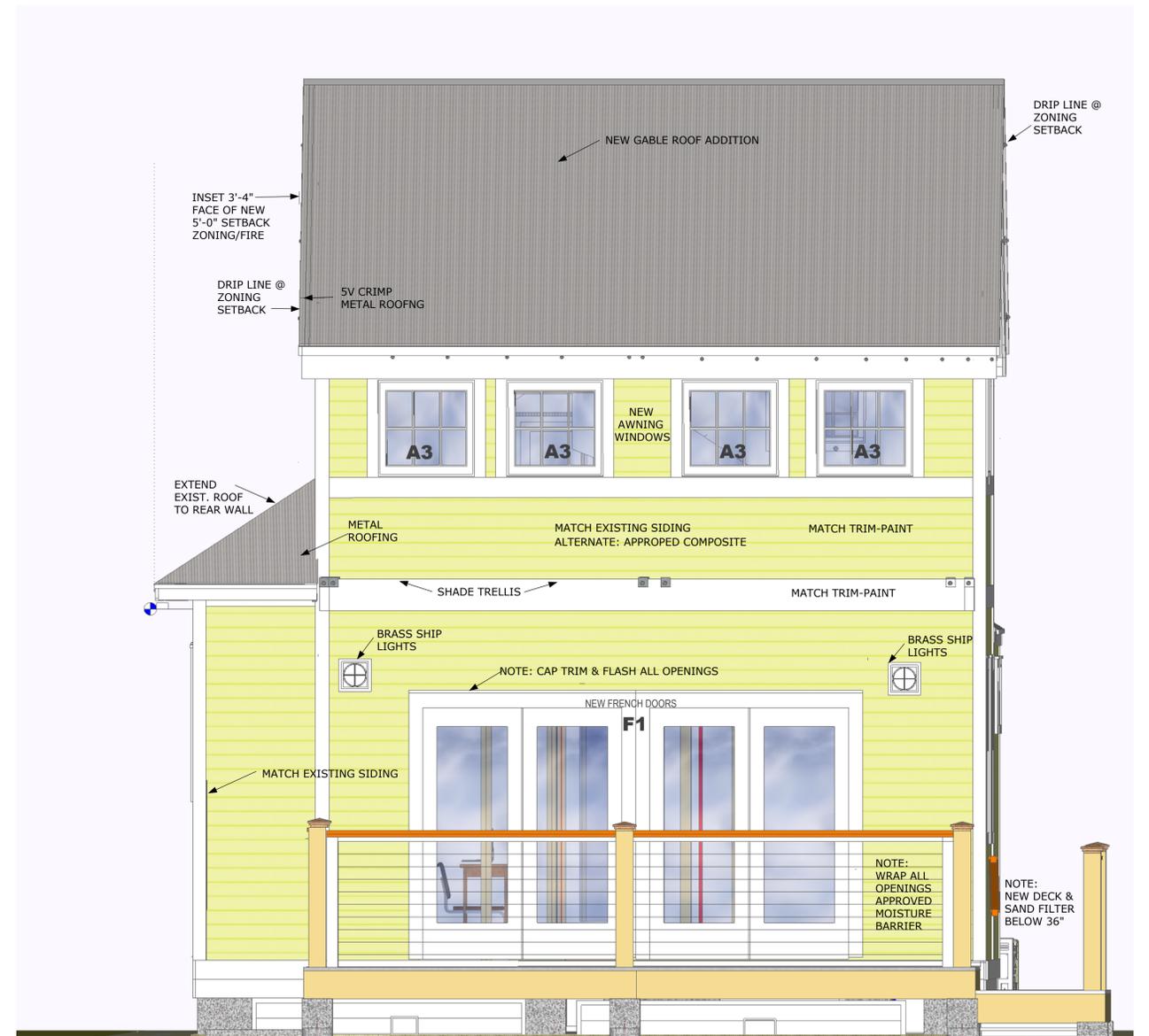
HARC COMMISSION:
AMEND CERTIFICATE OF
AUTHORITY FOR
APPROVED ADDITION
MOVE EXTERIOR WALL
& RAISE PLATE HT 2'-4"
REMOVE SHED DORMER
NEW WINDOWS

Date: 9/2/14
 Revised 7/1/15

H1
 Historic
 Preservation



Olivia St. Elevation - North



Rear Elevation - South



**Chris Liddle
Architect
305 707-4162**

cliddlekw@yahoo.com
Licensed Architect: FL AR 93860

**1404 Olivia Street - Key West Florida
Proposed Addition to Residence
Smaller Addition with 2nd Dormer Added**

**Owners: Colby Fisher & Katie Leigh
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REMOVE SHED DORMER
NEW WINDOWS**

Date: 9/2/14
Revised 7/1/15

H2
Historic
Preservation



Proposed Side Elevation- East



**Chris Liddle
Architect**
305 707-4162

cliddlekw@yahoo.com
Licensed Architect: FL AR 93860

1404 Olivia Street - Key West Florida
Proposed Addition to Residence
Smaller Addition with 2nd Dormer Added

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& RAISE PLATE HT 2'-4"
REMOVE SHED DORMER
NEW WINDOWS

Date: 9/2/14
Revised 7/1/15

H3
Historic
Preservation



View of New Addition Rooflines



View of Building Addition from Olivia Street



Side Elevation- West



**Chris Liddle
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305 707-4162

cliddlekw@yahoo.com
Licensed Architect: FL AR 93860

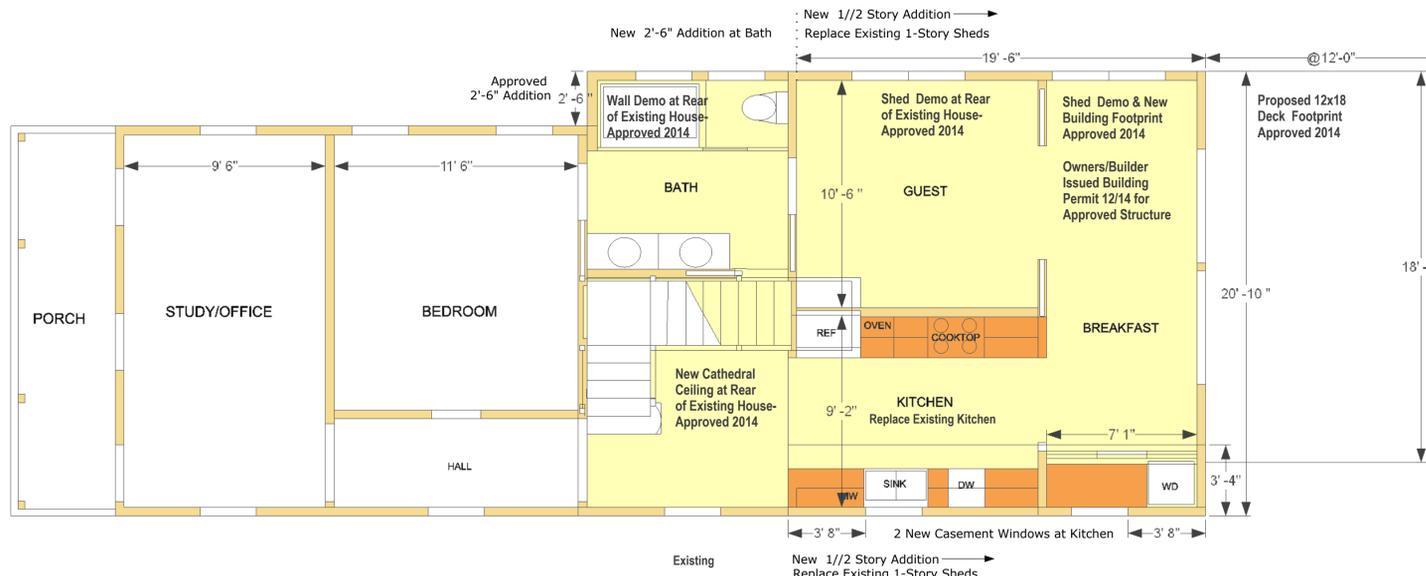
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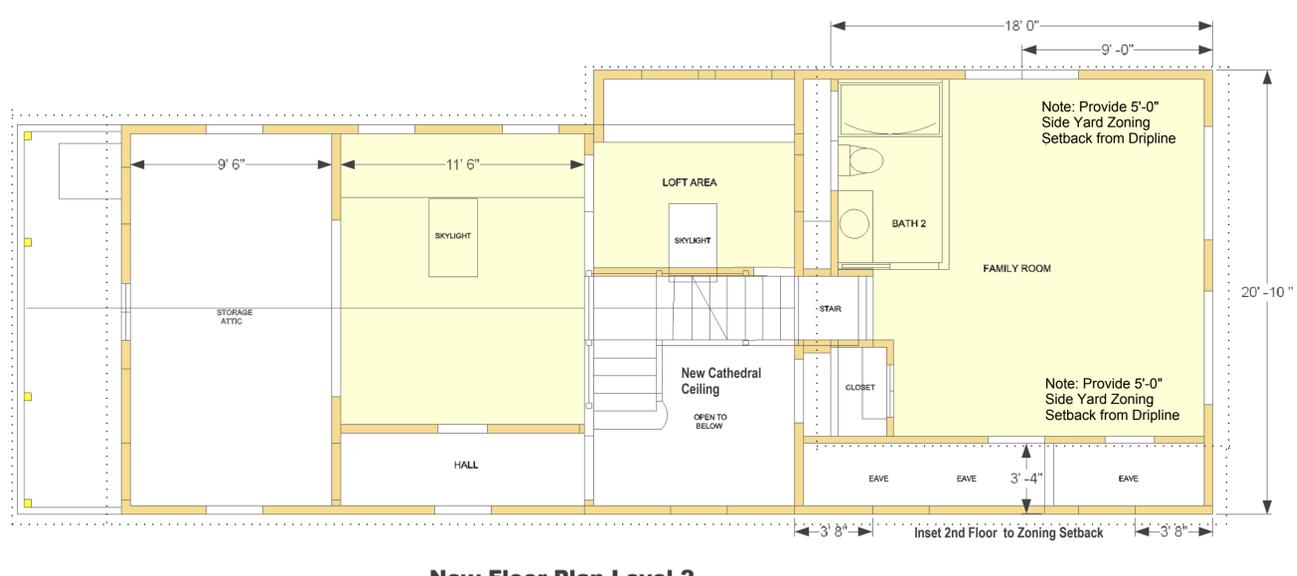
HARC COMMISSION:
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NEW WINDOWS

Date: 9/2/14
Revised 7/1/15

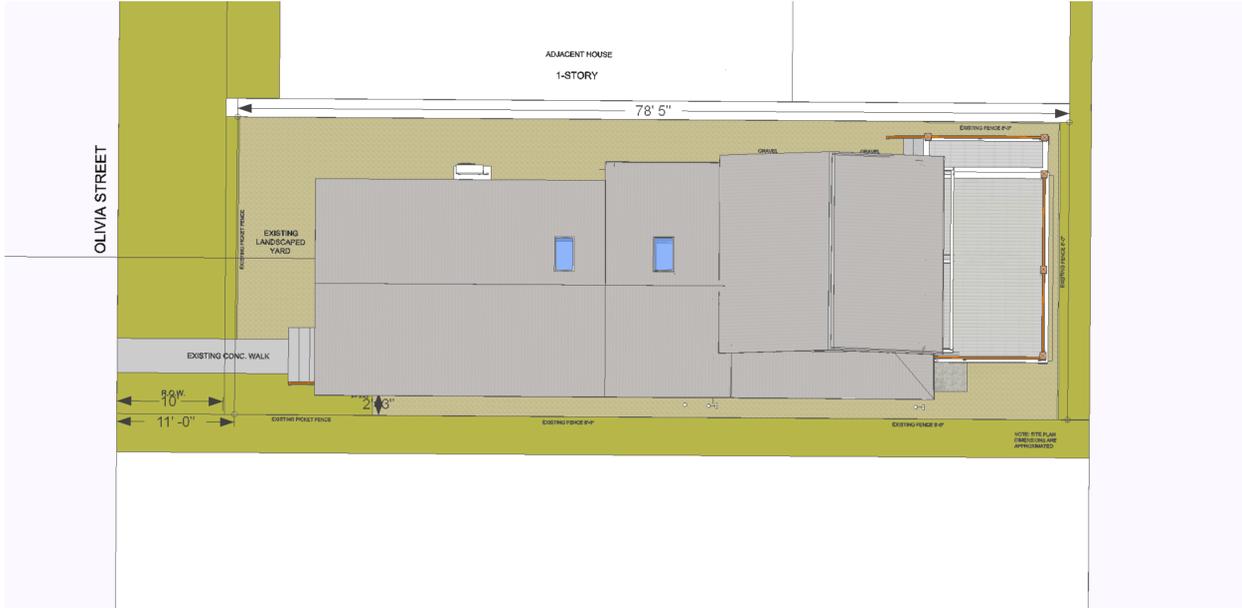
H4
Historic
Preservation



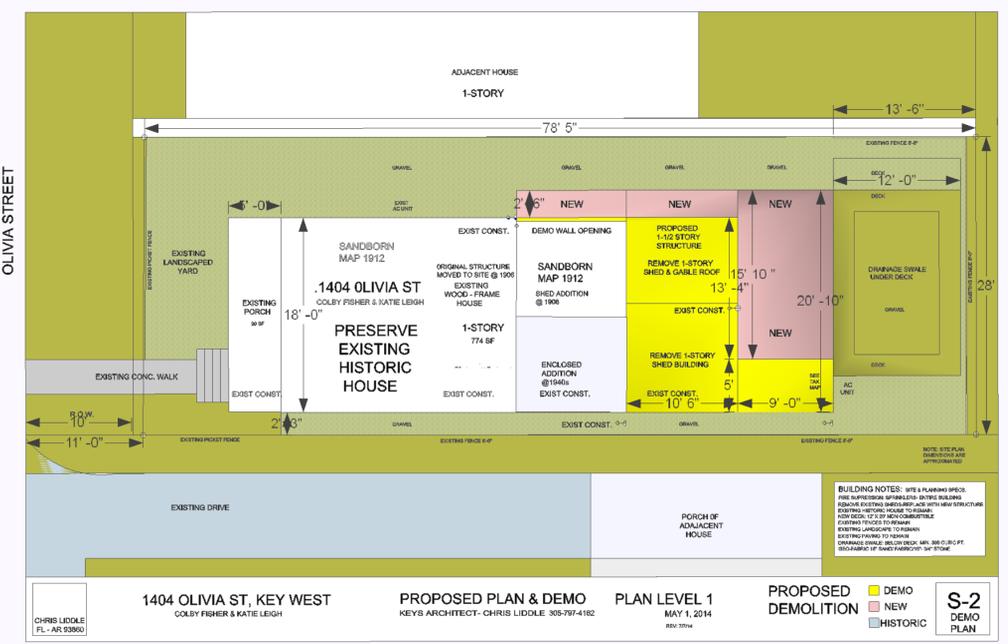
New Floor Plan Level 1



New Floor Plan Level 2



New Roof Plan with Gable Addition



Approved Site Development Plan 2014



Chris Liddle
Architect
 305 707-4162
 cliddlekw@yahoo.com
 Licensed Architect: FL AR 93860

1404 Olivia Street - Key West Florida
Proposed Addition to Residence
Smaller Addition with 2nd Dormer Added

Owners: Colby Fisher & Katie Leigh
Architect: Chris Liddle - 305-797-4162

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MOVE EXTERIOR WALL & RAISE PLATE HT 2'-4"
REMOVE SHED DORMER
NEW WINDOWS
 Date: 9/2/14
 Revised 7/1/15



**Project 1404 Olivia:****BUILDING MATERIALS: WINDOWS & DOORS - COMPONENTS & CLADDING****EXTERIOR FINISH & WINDOW SCHEDULE Revised: 7/1/2015**

WINDOW & DOOR SCHEDULE: 1404 Olivia, Key West FL					
First Floor	Type	Size W x H	Rough Opening	Item # NOA	Qty
Entry Door French Pair	View Glass Screens	6'-4" x 6'-8"		F1	2
Double Hung Double	Low -e True Divided Lights 6 over 1	5'-4" x 3'-11"		D1	2
Awning - Single	Low -e True Divided Lights	3'-0" x 1'-6"		A1	2
Casement -	Low -e True Divided Lights	2'-8" x 3'-11"		C1	2
Second Floor	Type	Size W x H	Rough Opening	Item # NOA	
Casement Transom	Low -e True Divided Lights	2'-8" x 3'-11"	Transom 2'-8" x 1'-6"	C1	1
Casement Transom	Low -e True Divided Lights	5'-4" x 3'-11"	Transom 2'-8" x 1'-6"	C2	2
Awning - Single	Low -e True Divided Lights	2'-6" x 1'-6"	New	A2	1
Awning - Single	Low -e True Divided Lights	2'-8" x 2'-8"	New	A3	4
Skylights					
Velux Skylights	Operable Low-e Heat Coating		1'-10" X 3'-10"	S1	2
Windows to Remain	Existing Replacement	Divided 6 over 6	2'-8 x 5'0"	E1	8

Typical NEW Windows & Cladding :

Impact Resistant Frame, Alum. Painted, White,
Impact Resistant Low-e Thermo-pane Glass with Integral Divided Lights,
Jamb clips. (No brick mold), for Field Applied 5/4 Ext Trim, Jamb Extension
Components Finish: Antique White Kynar Epoxy or Equal 1 Provide 1 Spare
screen for each type

FBC Codes: Conform to Current Florida Building Code &
Coastal Wind Zone Req 180MPH Wind. 150MPH Impact ASCE 7-10 Pressures

Provide specified Products with NOAs and Manufacturers Shop Drawings
Sill Height 3'-6" Head Height- Align w doors at 6'-8"

Installation: Weatherproofing Membrane- Approved Water Resistive Barrier
Install According to Standard Practice Double Wrap w Full Collar and Sealed
Exterior Barrier Follow NEW FMA/AAMA 100-19, 100-12, FL Energy Code

Provide NOAs for Each Type Used and Follow Manufacturers Installation
Instructions. Use Structural Screws & Epoxies as Required, retain labels in field.

Exterior Finishes:					
First Floor	Type	Size	Notes	Item #	QTY
Clapboards at Addition	HARC Approved Wood Texture Composite Painted	Match Existing Exposure	Back prime, Prime & 2 Coats, Epoxy Clear coat		
Trim	Wood Texture Composite Painted	Match Existing Details	Back prime, & Kerf- Prime & 2 Coats, Epoxy Clear coat		
(Metal Siding)	NIC				
Skirt Boards	Wood Painted Or Composite Painted w Vents	See Details	Back Prime, & Kerf- Prime & 2 Coats, Epoxy Clear coat		
Second Floor	Type	Size	Notes		
Clapboards	HARC Approved Wood Texture	Match Existing	Back prime, Prime & 2		

	Composite Painted	Exposure	Coats, Epoxy Clear coat		
Trim	Wood Texture Composite Painted	Match Existing	Back prime, & Kerf- Prime & 2 Coats, Epoxy Clear coat		
Fascias	Wood	8" Typ.	Match Existing		
Roofing	Typical				
5V Crimp	Galvanized Sheet Metal		Fasteners See Structural		
Roof Sheathing	3/4" PT Exterior Plywood		Fasteners See Structural		
Membrane	Peel & Seal Seams				
Framing Min.	2x10s 24"OC		Fasteners See Structural		
Insulation Existing Roof Cathedral	6 1/2" 5LB Spray Foam	Field Apply	Alt. 1 1" rigid Foam under Plywood	R-38	
Insulation Existing Roof Attic	5 1/2" 2LB Spray Foam	Field Apply	Alt. 1 1" rigid Foam under Plywood	R-28	
Insulation New Roof	8 1/2" 2LB Spray Foam	Field Apply	Alt. 1 1" rigid Foam under Plywood	R-48	
Exterior Walls					
4" Wood Frame					
Sheathing	5/8" PT Exterior Plywood		Fasteners See Structural		
Insulation	3 1/2" 5LB Spray Foam	Field Apply	Alt. 1 apply 1" rigid Foam under Plywood	R-24 Alt: R-32	
Sill & Jamb Weatherproofing	Approved Building Wrap	Field Apply	Full Collar & Fitted Wrap		
Sills & Seals	Foam Gasket @ Metal Window & Exterior Door Perimeter	Epoxy Coat Exposed Wood Edges	Silicone Bead Backer-Rod Between Exterior Joints		

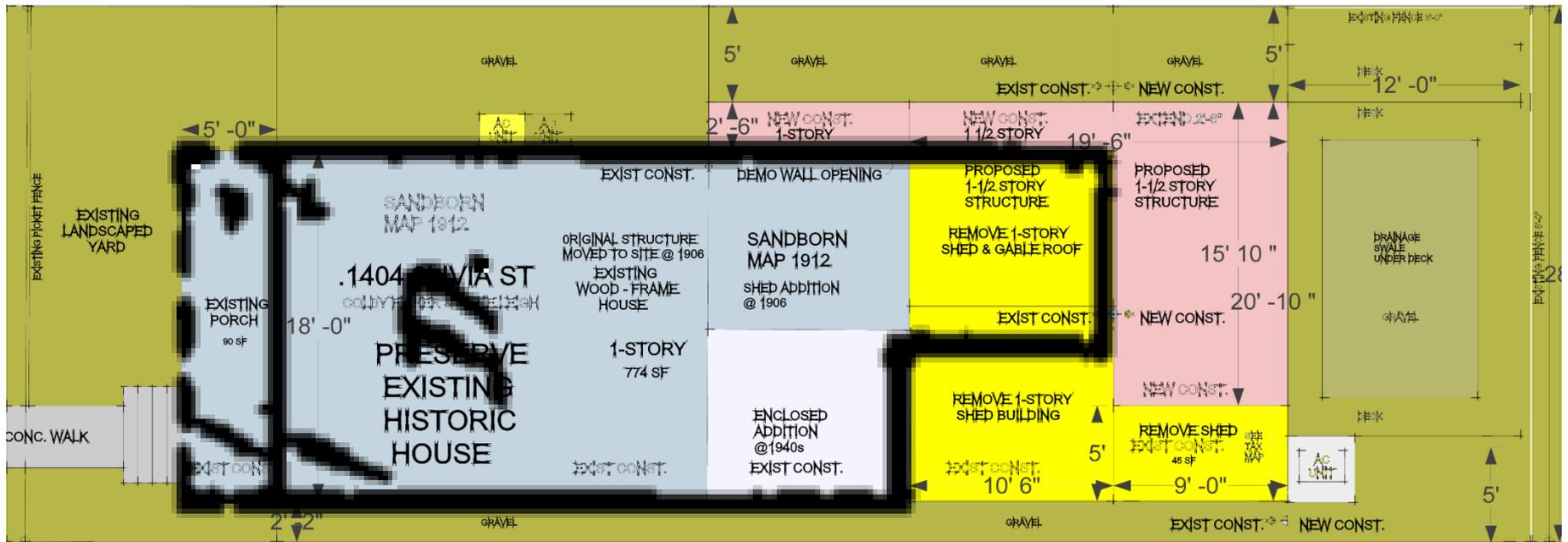
Interior Finishes: Doors & Casework- 1404 Olivia, Key West FL					
First Floor	Type	Size W x H	Rough Opening	Item #	QTY
Vanity Door	4 Panel Pocket	2'-8" x 6'-8"	34.5"x82"		1
Bath Doors	Flush Pocket	2'-4" x 6'-8"	54"x82"		2
Closet Doors	Hinged Pair	2'-4" x 6'-8"	34x82"		2
Utility	Louvered Sliding Track Pair	2'-0" x 6'-8"	NA		3
Laundry	Louvered Hinged Pair	3'0"x 6'-8"			
Cabinets & Casework					
Casework	Bookcases	80"- Align	Typical		
Kitchen Cabinets	See Dwgs	24"x124" &			
Kitchen Counters	Concrete Alt. Stone	9'-6" Top 11'-4" Top			
Study & TV Bookcases	Casework				
Second Floor	Type	Size W x H	Rough Opening	Item #	
Vanity Door	French	2'-8" x 6'-8"	34"x82"		
Bath Door	French Frosted	2'-4" x 6'-8"	58"x82"		
Closet Doors	Bifold	2'-4" x 6'-8"	34x82"		
Interior Finishes					
Kitchen Cabinet s	By Owner				
Kitchen Counters	Stone	W24" Top 36"			
Living TV & Alcove					
Bedroom TV Alcove					
Wainscott:	Breakfast & Utility-3/8"Plywood by adhesive rabbit to base and				

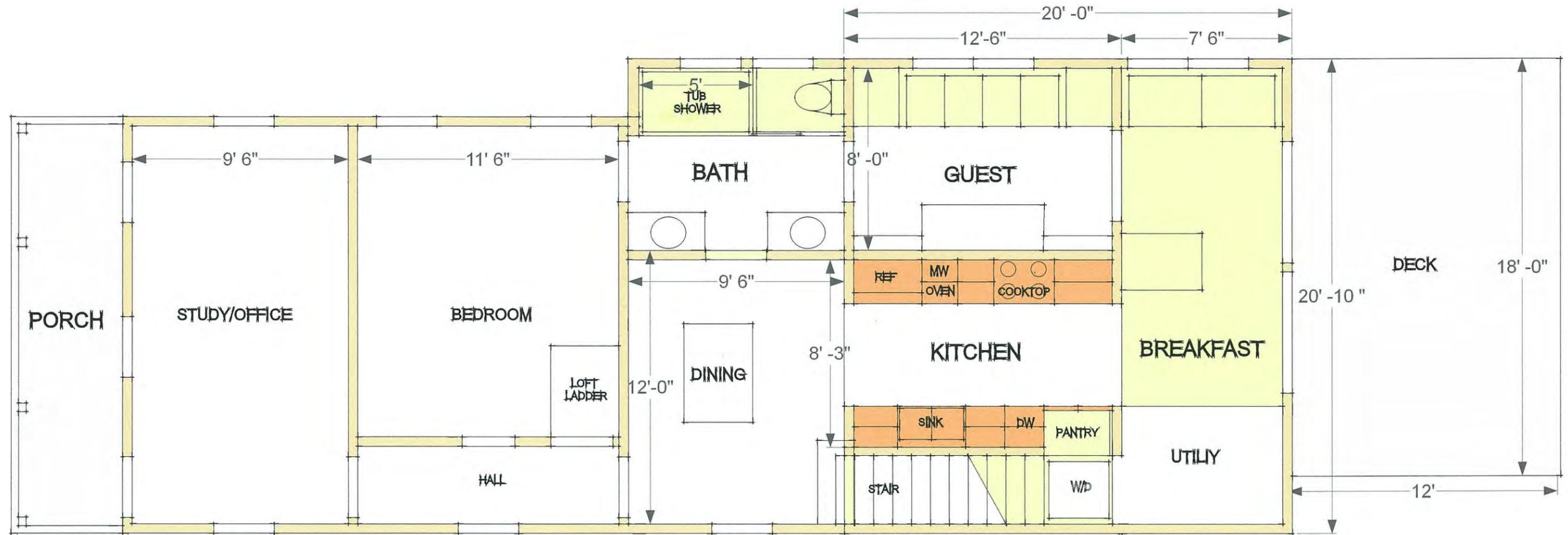
	Chair Case & Wood Posts Metal Rail Wood Cap Wood Staircase, Treads & Risers Stair Walls Reapply & Re-Use Salvage DC Pine
Chair rail:	3" - 5/4" cap 2 1/4" Rail
Picture Rail:	Guest & Breakfast: Brosco 1/ 3/4' @ 80"

PREVIOUSLY APPROVED DESIGN

1912 Sanborn Map overlaid on Architect's Plans

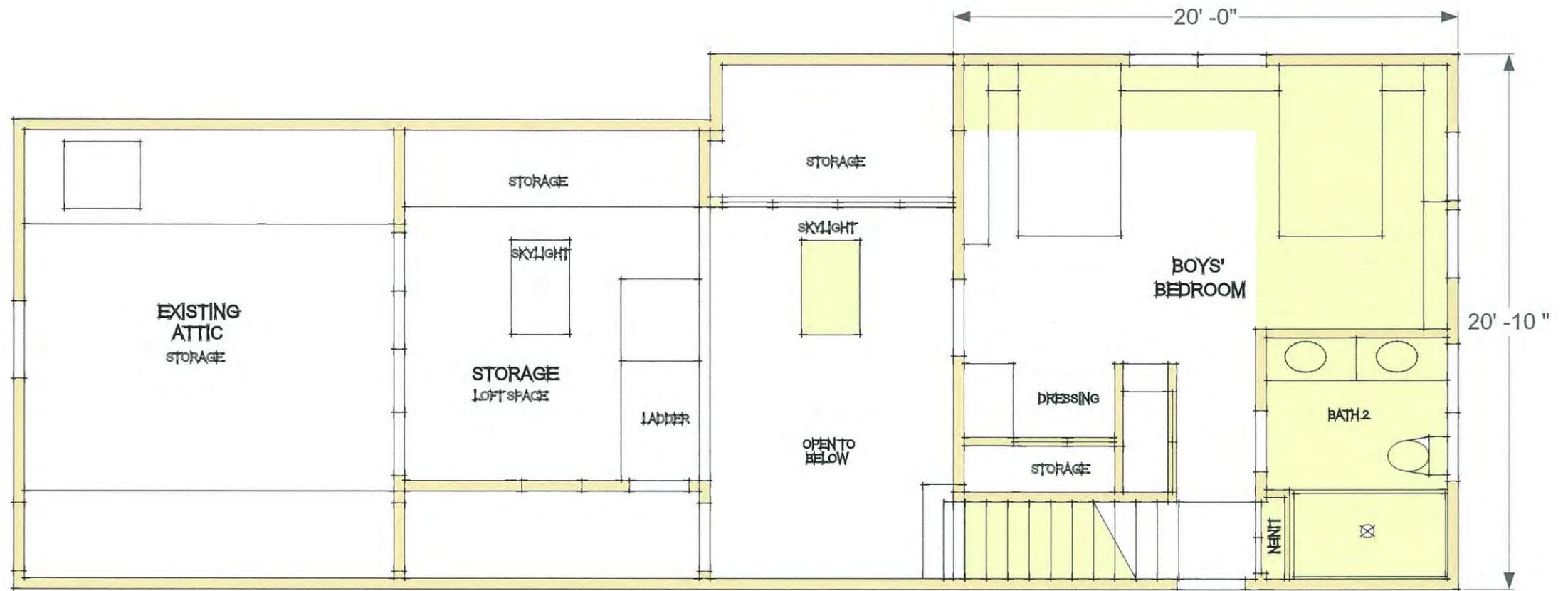
As you can see, the footprint of the house on the Sanborn maps shows the historic house with a rear addition extend further than what the architect has proposed. This proves that there will be demolition of historic, albeit heavily modified, parts of the house.

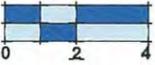




PLAN LEVEL 1 

<p>CHRIS LIDDLE FL-AR 93860</p>	<p>1404 OLIVIA-KEY WEST FL COLBY FISHER & KATIE LEIGH</p>	<p>PRELIMINARY PLAN KEYS ARCHITECT- CHRIS LIDDLE 305-797-4162</p>	<p>PLAN LEVEL 1  EXISTING PROPOSED</p>	<p>A101 PLAN L1</p>
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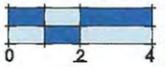


PLAN LEVEL 2 

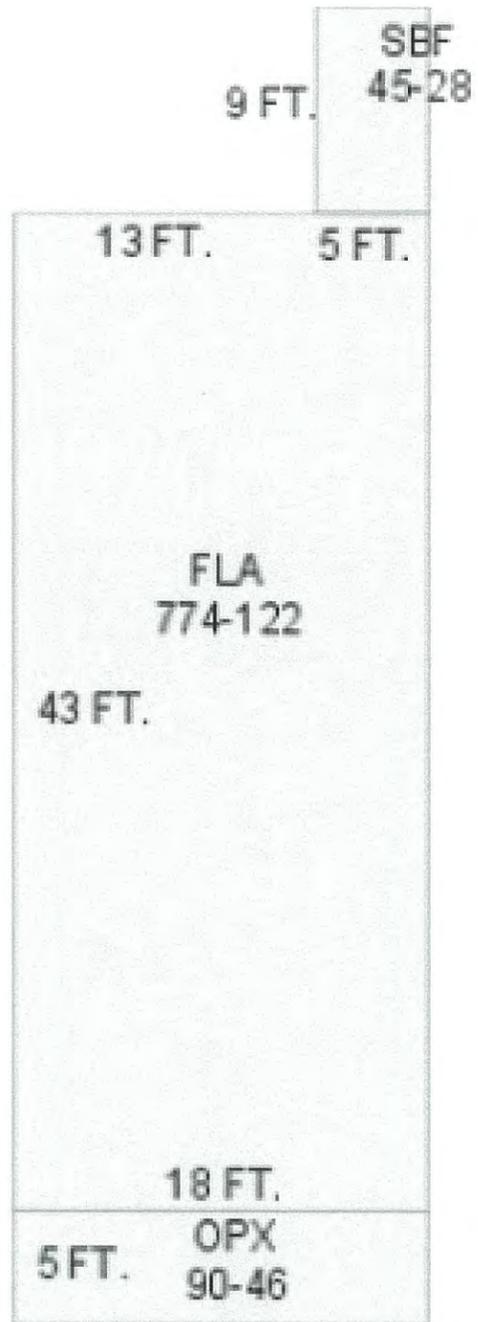
CHRIS LIDDLE
FL-AR 93860

1404 OLIVIA-KEY WEST FL
COLBY FISHER & KATIE LEIGH

PRELIMINARY PLAN
KEYS ARCHITECT-CHRIS LIDDLE 305-797-4162

PLAN LEVEL 2
 EXISTING
PROPOSED

A102
PLAN L2



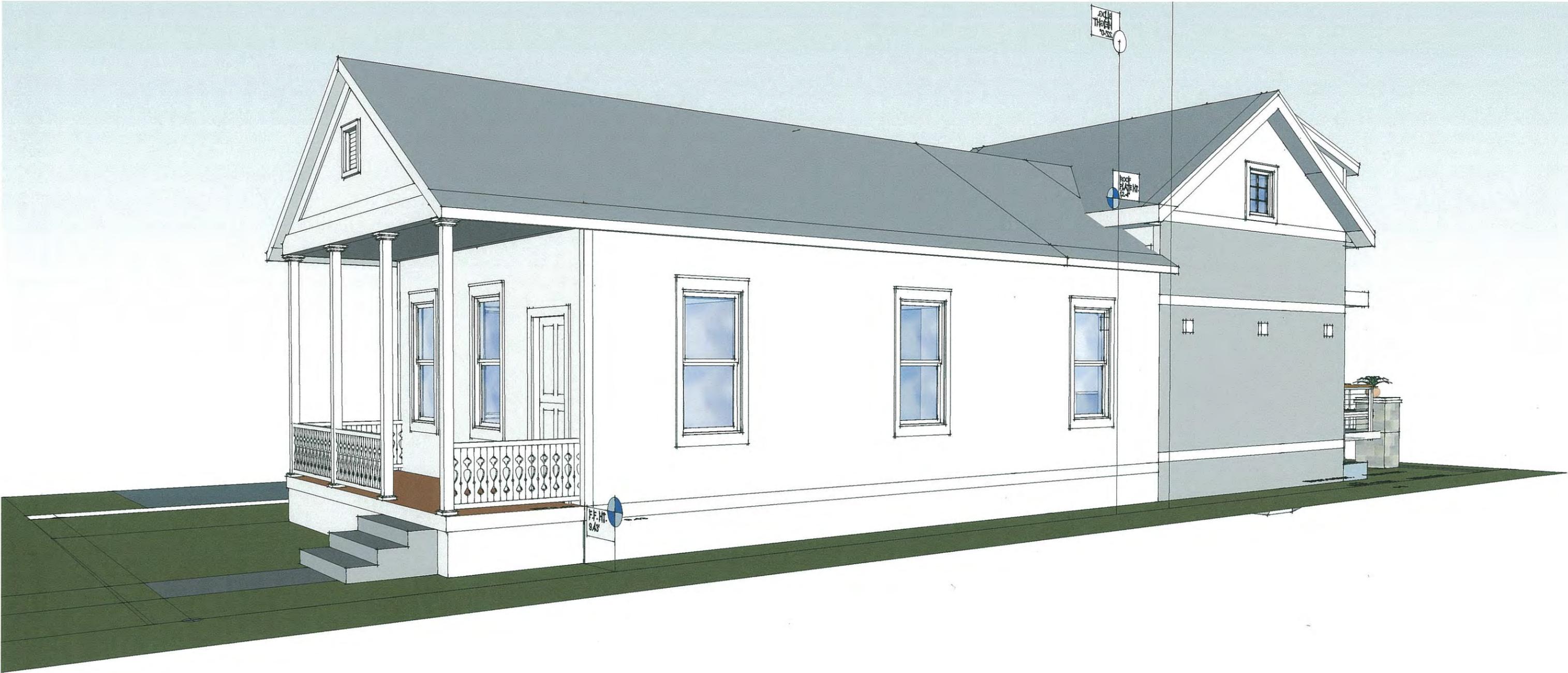
Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1942	N	N	0.00	0.00	774
2	OPX	12:ABOVE AVERAGE WOOD	1	1942	N	N	0.00	0.00	90

A103



<p>CHRIS LIDDLE FL - AR 93860</p>	<p>1404 OLIVIA-KEY WEST FL COLBY FISHER & KATIE LEIGH</p>	<p>PRELIMINARY PLAN KEYS ARCHITECT-CHRIS LIDDLE 305-797-4162</p>	<p>OLIVIA STREET VIEW</p>	<p>A104 PERSPECTIVE</p>
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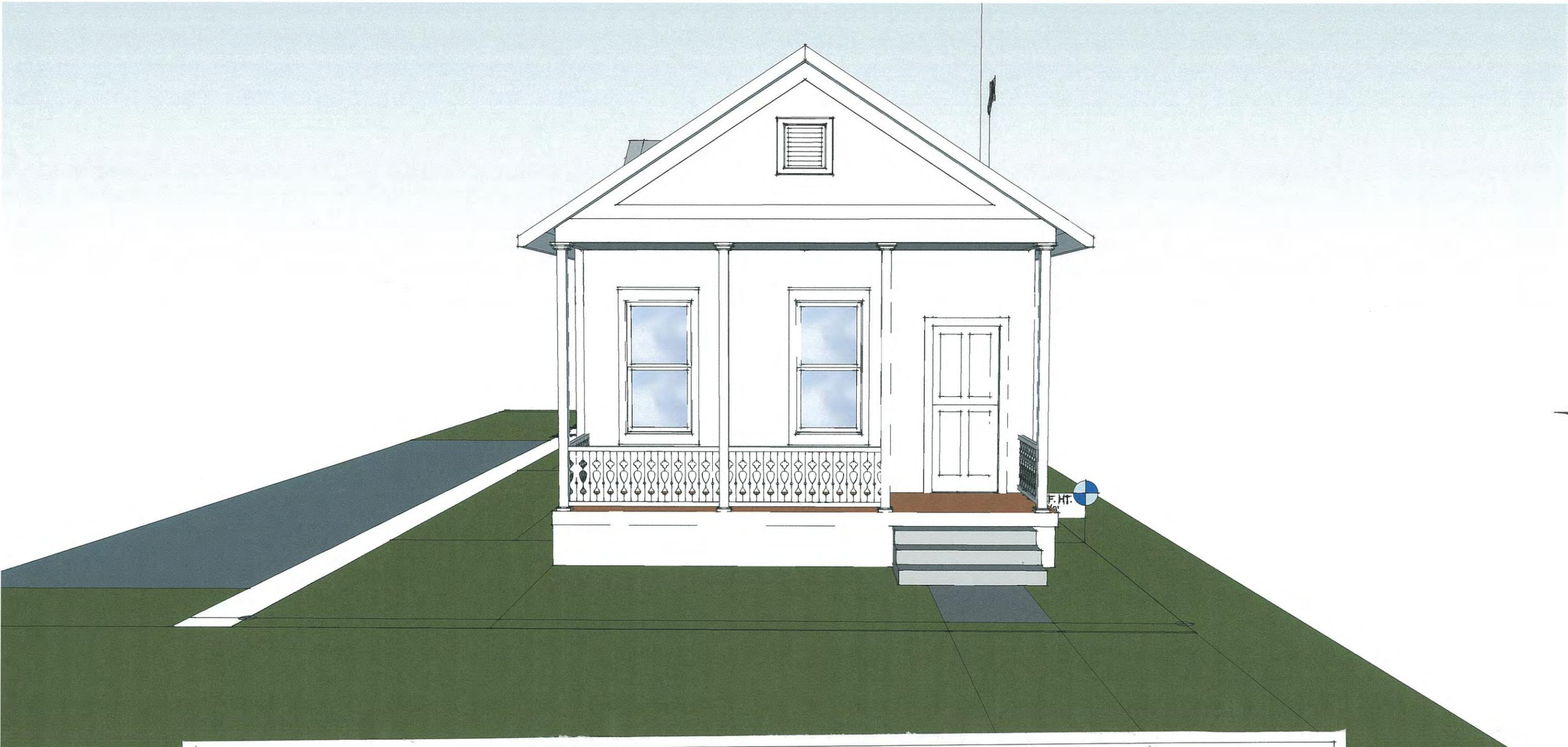
CHRIS LIDDLE
FL - AR 93860

1404 OLIVIA-KEY WEST FL
COLBY FISHER & KATIE LEIGH

PRELIMINARY PLAN
KEYS ARCHITECT- CHRIS LIDDLE 305-797-4162

OLIVIA ST NW VIEW

A105
PERSPECTIVE



CHRIS LIDDLE
FL - AR 93860

1404 OLIVIA-KEY WEST FL
COLBY FISHER & KATIE LEIGH

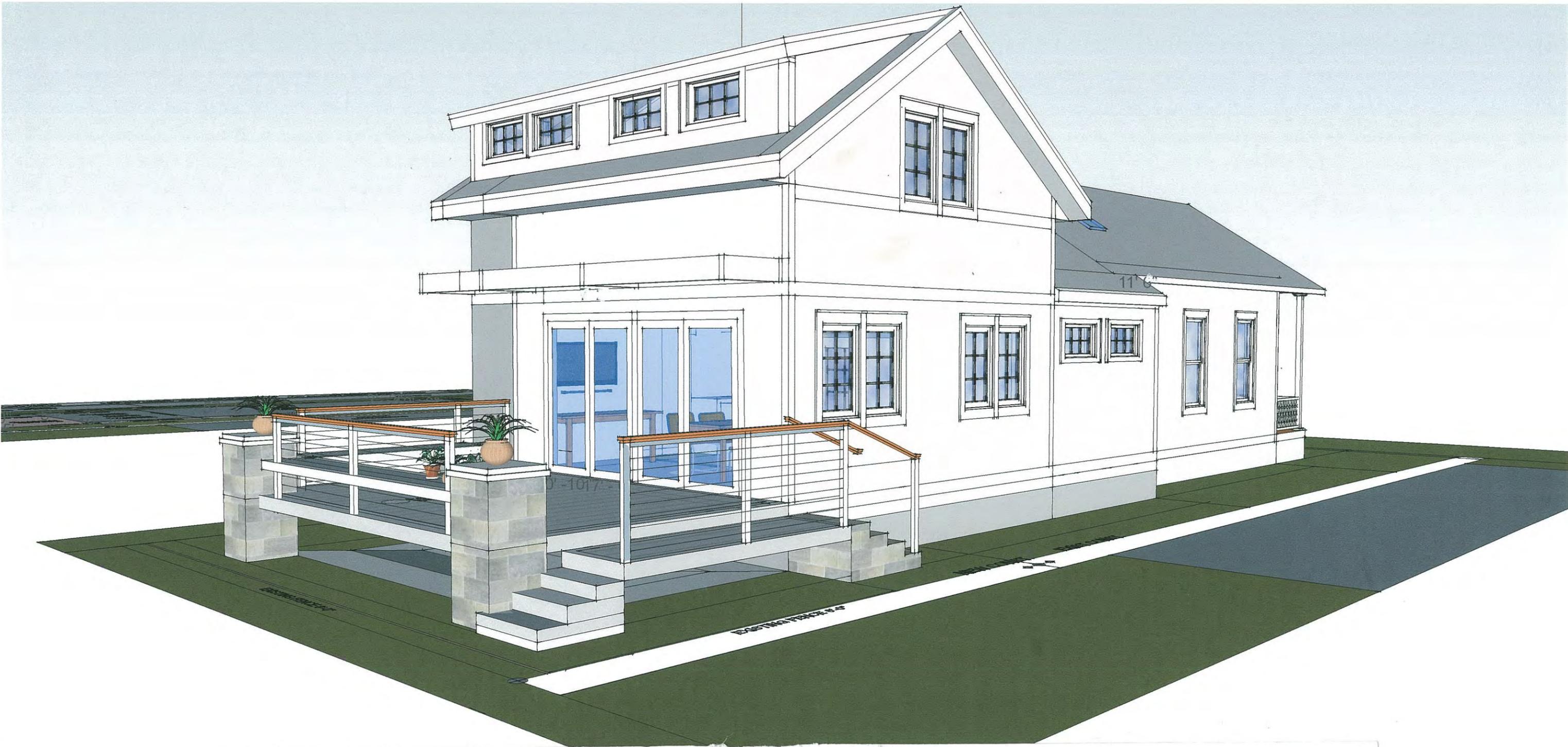
PRELIMINARY PLAN
KEYS ARCHITECT- CHRIS LIDDLE 305-797-4162

OLIVIA STREET VIEW

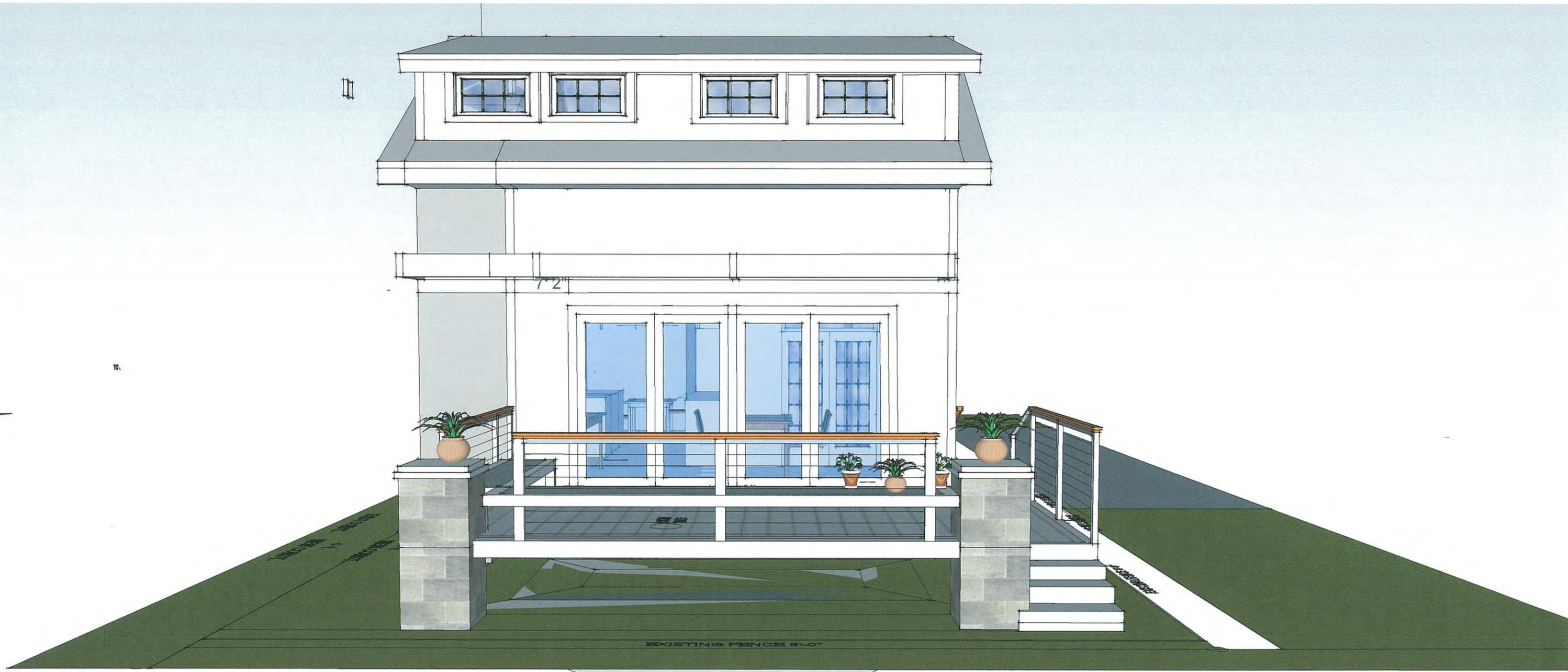
A106
PERSPECTIVE



<p>CHRIS LIDDLE FL - AR 93860</p>	<p>1404 OLIVIA-KEY WEST FL COLBY FISHER & KATIE LEIGH</p>	<p>PRELIMINARY PLAN KEYS ARCHITECT-CHRIS LIDDLE 305-797-4162</p>	<p>OLIVIA ST NE VIEW</p>	<p>A107 PERSPECTIVE</p>
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<p>CHRIS LIDDLE FL-AR 93860</p>	<p>1404 OLIVIA-KEY WEST FL COLBY FISHER & KATIE LEIGH</p>	<p>PRELIMINARY PLAN KEYS ARCHITECT-CHRIS LIDDLE 305-797-4162</p>	<p>ELEVATION SE VIEW</p>	<p>A109 PERSPECTIVE</p>
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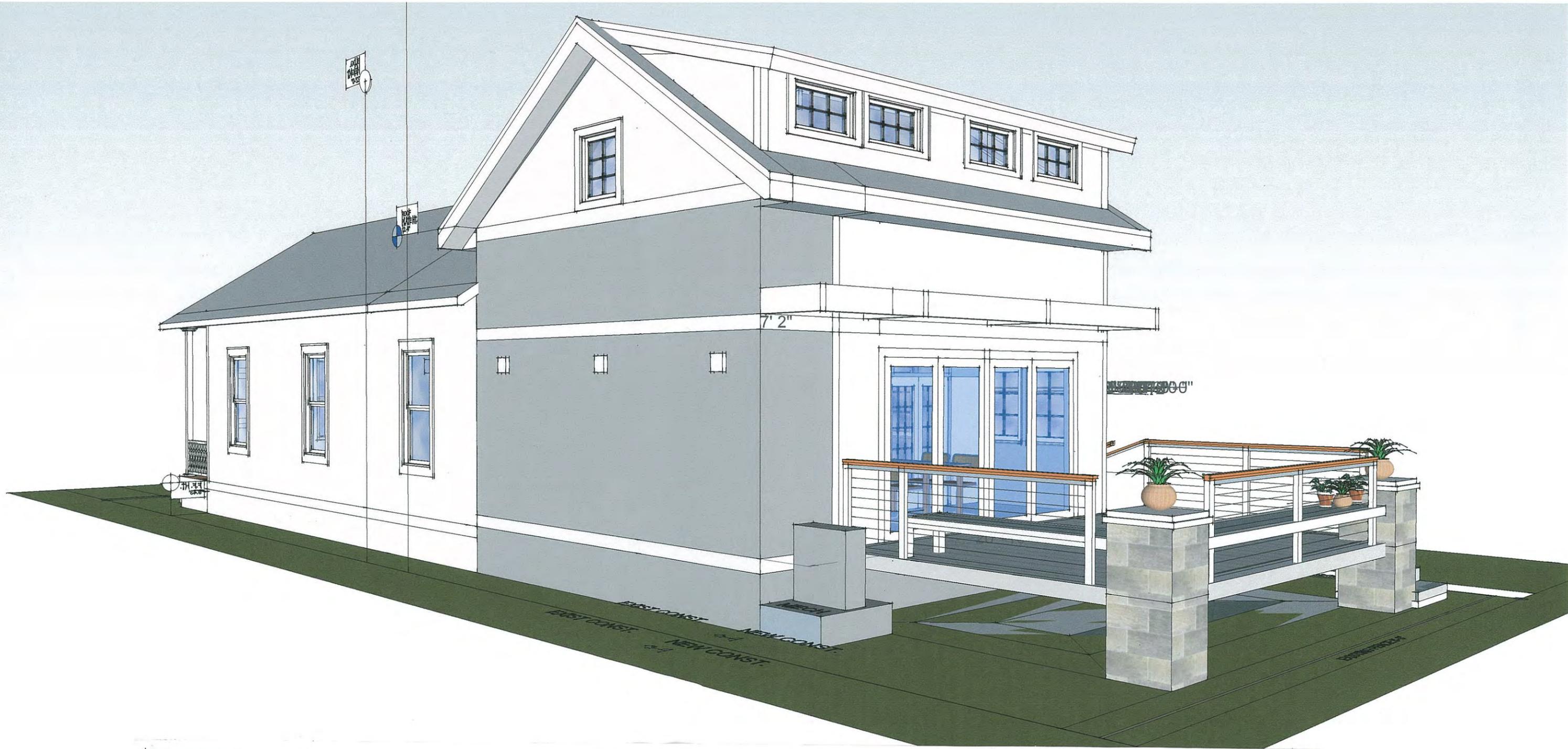
CHRIS LIDDLE
FL - AR 93860

1404 OLIVIA-KEY WEST FL
COLBY FISHER & KATIE LEIGH

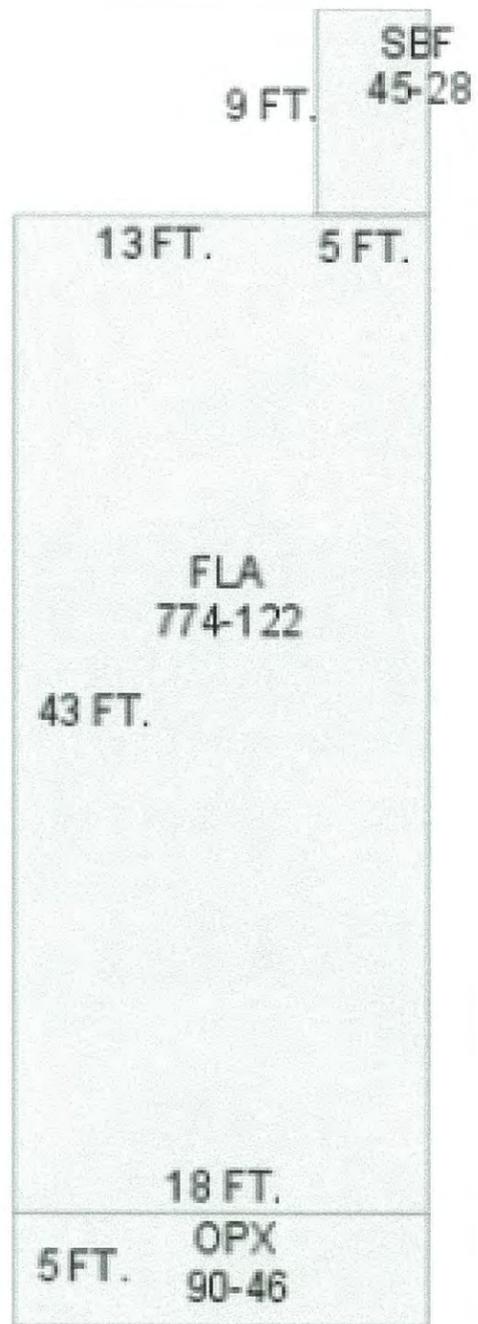
PRELIMINARY PLAN
KEYS ARCHITECT- CHRIS LIDDLE 305-797-4162

REAR ELEVATION VIEW

A110
PERSPECTIVE

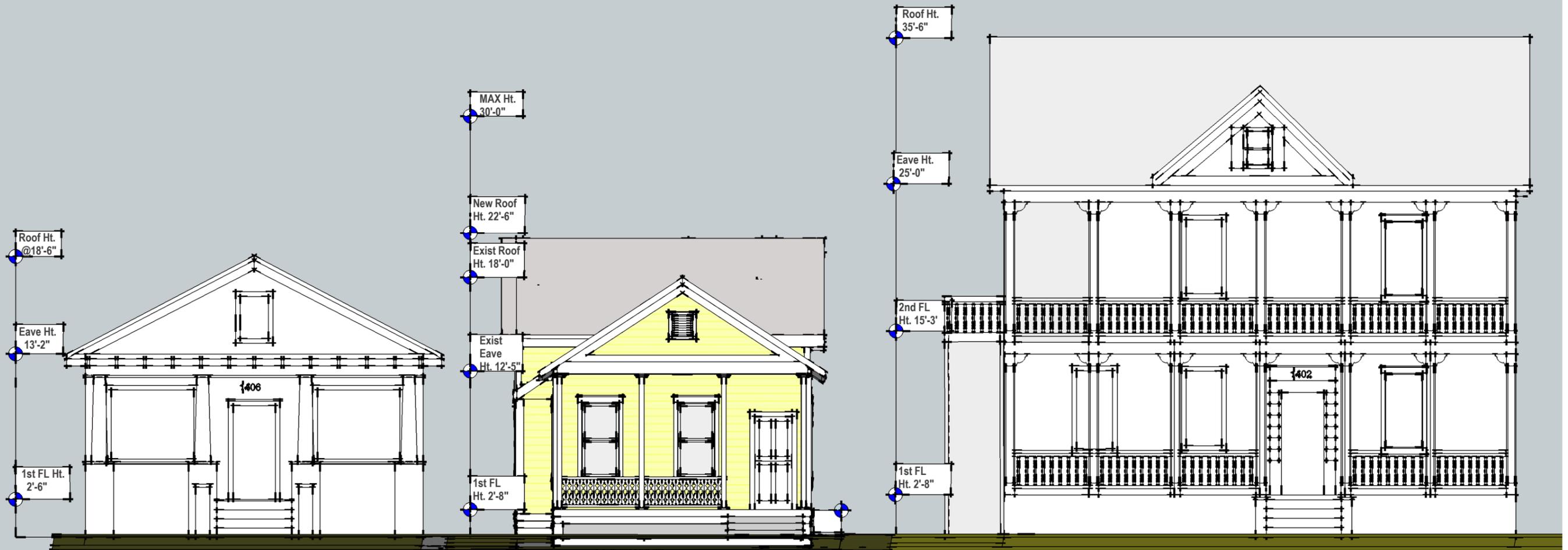


CHRIS LIDDLE FL - AR 93860	1404 OLIVIA-KEY WEST FL COLBY FISHER & KATIE LEIGH	PRELIMINARY PLAN KEYS ARCHITECT- CHRIS LIDDLE 305-797-4162	REAR CORNER VIEW SW	A111 PERSPECTIVE
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Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1942	N	N	0.00	0.00	774
2	OPX	12:ABOVE AVERAGE WOOD	1	1942	N	N	0.00	0.00	90



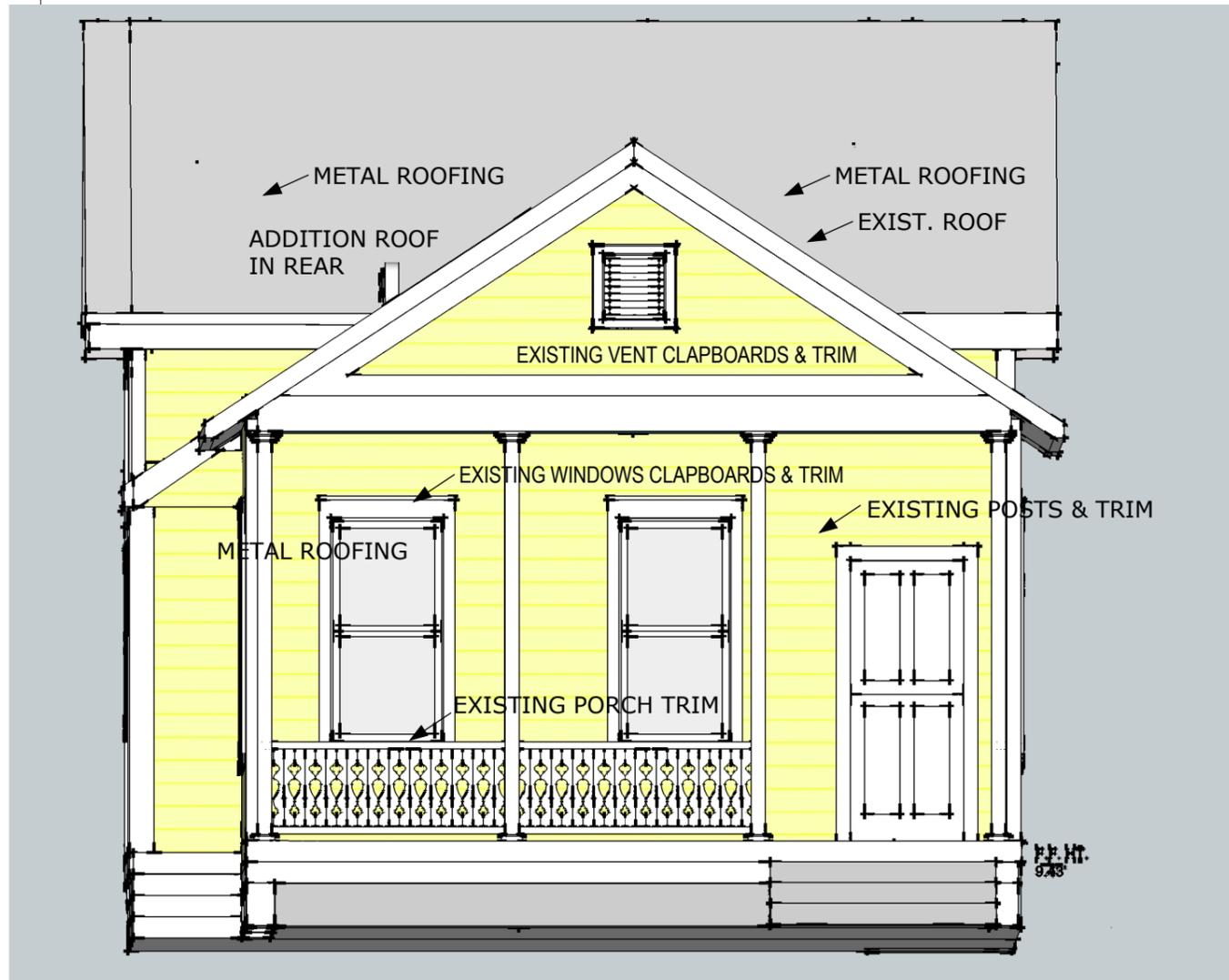
1406 Olivia

1404 Olivia

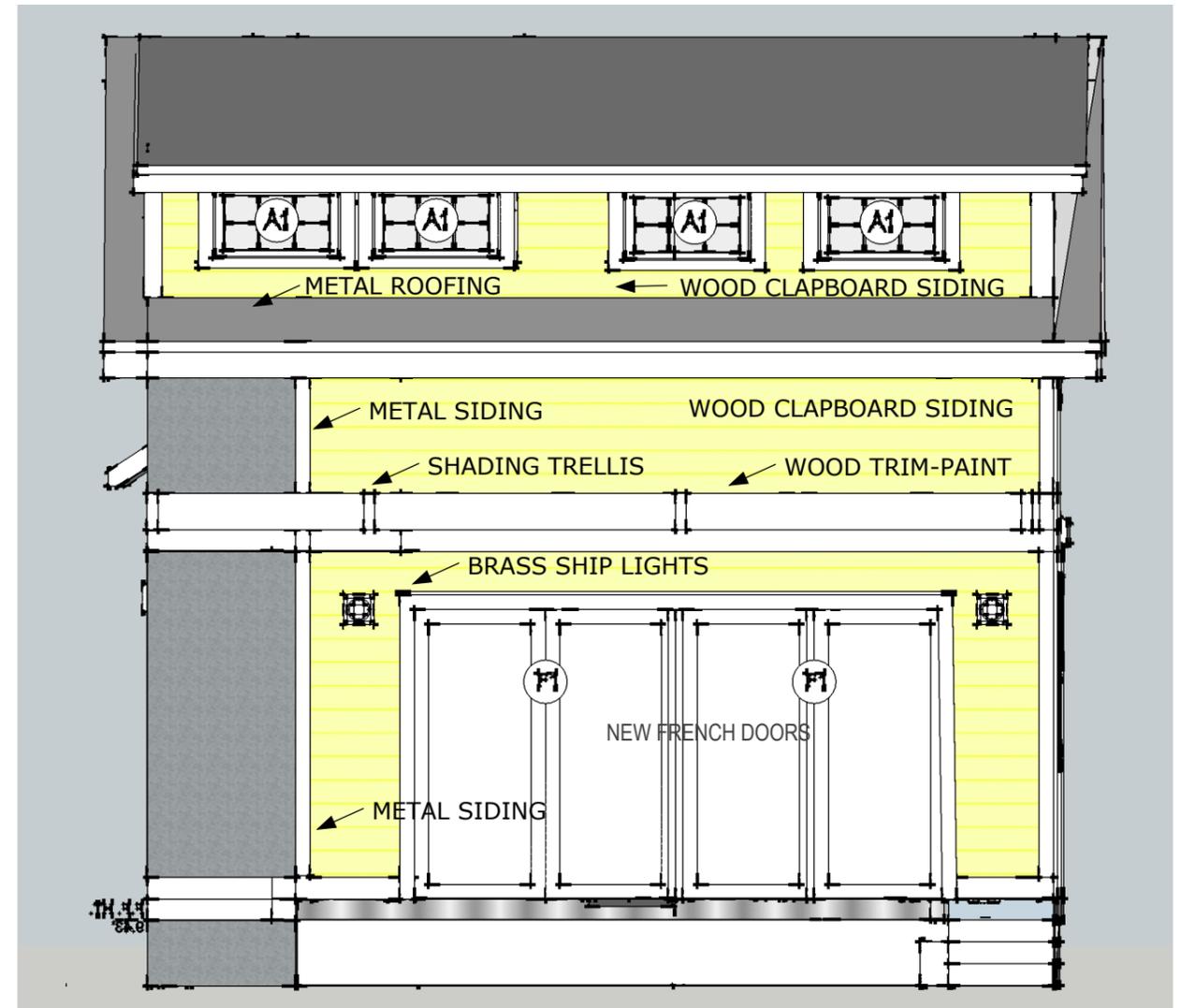
1402 Olivia

Street View Adjacent Building Scale

	<p>Chris Liddle Architect</p>	<p>1404 Olivia Street - Kev West Florida Proposed addition to Residence</p>	<p>Street View Adjacent Building Scale Owners Colby Fisher & Katie Leigh Architect- Chris Liddle - 305-797-4162</p>	<p>Date; 9/2/14</p>	<p>H1 Historic Preservation</p>
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Olivia St. Elevation



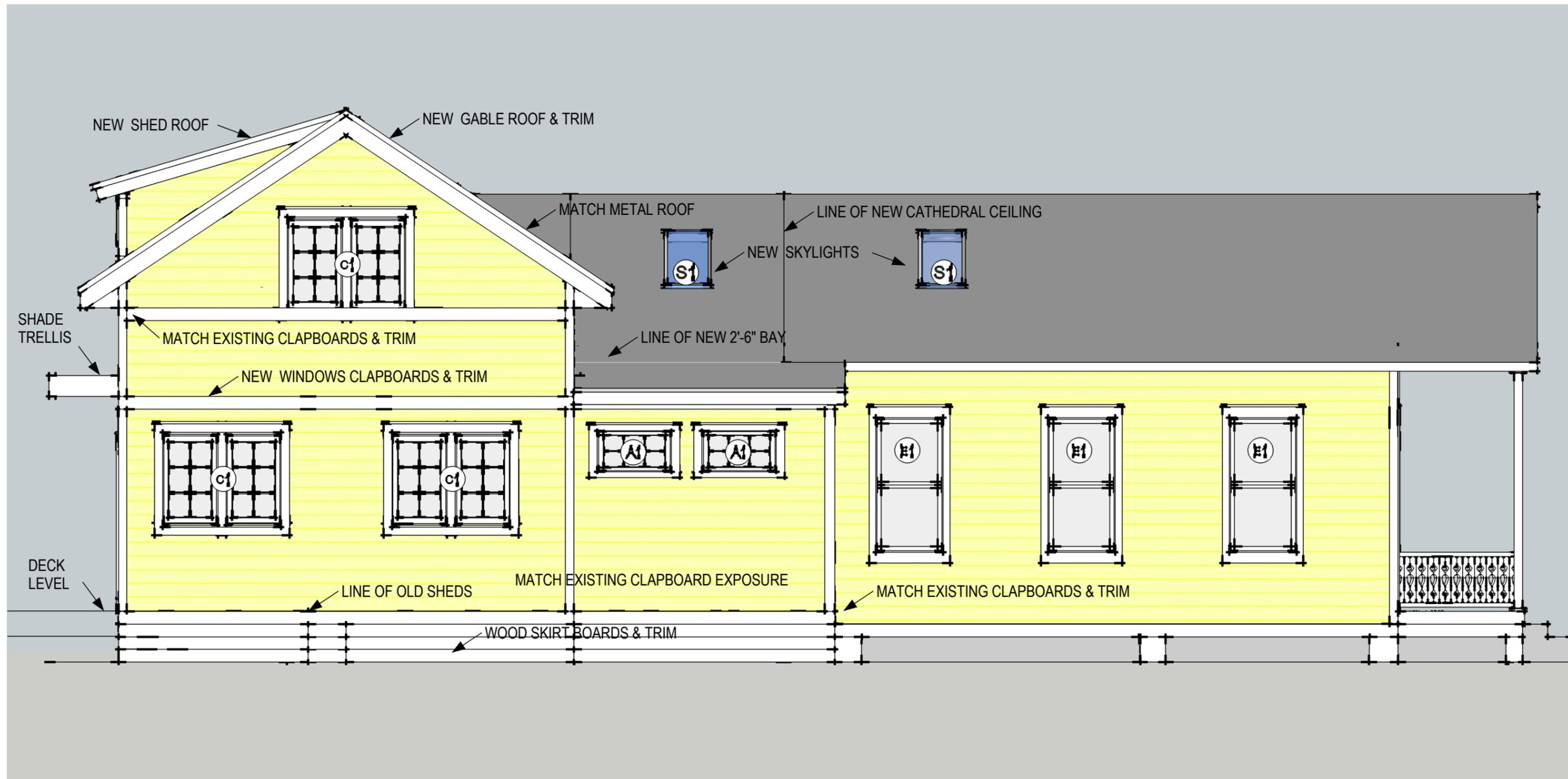
Rear Elevation-S

1404 Olivia Street - Kev West Florida
Proposed addition to Residence

Chris Liddle
 Architect

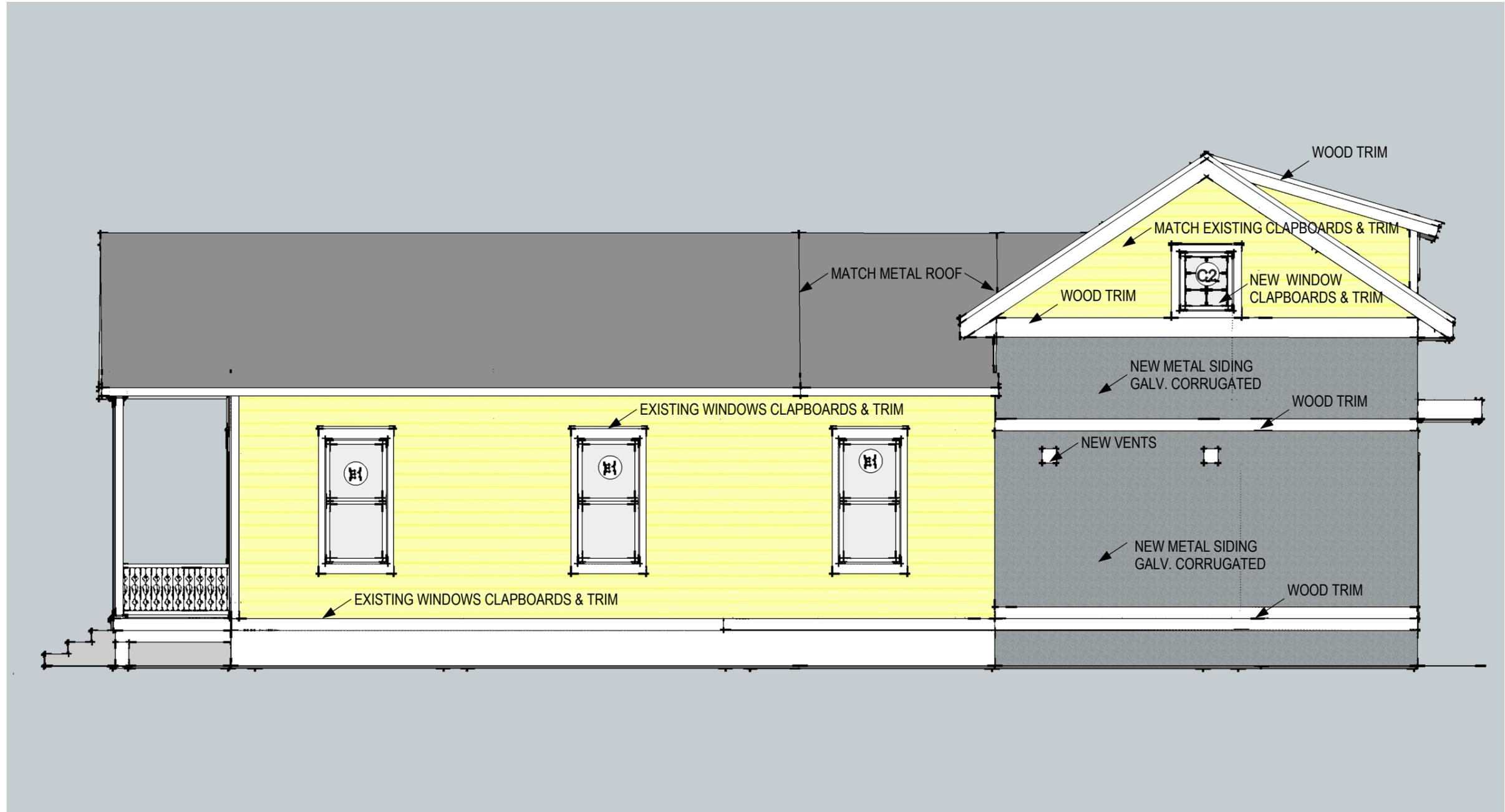
Olivia St. Elevation Rear Elevation-S
Owners Colby Fisher & Katie Leigh
Architect- Chris Liddle - 305-797-4162

H2
 Historic
 Preservation



Proposed Side Elevation- East

	<p>Chris Liddle Architect</p>	<p>1404 Olivia Street - Kev West Florida Proposed addition to Residence</p>	<p>Proposed Side Elevation- East Owners Colby Fisher & Katie Leigh Architect- Chris Liddle - 305-797-4162</p>	<p>H3 Historic Preservation</p>
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Side Elevation- West

<p>Chris Liddle Architect</p>	<p>1404 Olivia Street - Kev West Florida</p> <p>Proposed addition to Residence</p>	<p>Side Elevation- West</p> <p>Owners Colby Fisher & Katie Leigh</p> <p>Architect- Chris Liddle - 305-797-4162</p>	<p>H4 Historic Preservation</p>
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NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., September 29, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**MODIFICATION TO PREVIOUSLY APPROVED PLANS:
MOVE WEST WALL OVER 3'4" AND RAISE ROOF ON NEW
ADDITION 2'4".**

FOR- #1404 OLIVIA STREET

Applicant – Chris Liddle

Application #H15-01-1016

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: 1024937 Parcel ID: 00024130-000000

Ownership Details

Mailing Address:

FISHER COLBY D
1404 OLIVIA ST
KEY WEST, FL 33040-7225

All Owners:

FISHER COLBY D, LEIGH KATHERINE E R/S

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

Affordable Housing: No

Section-Township-Range: 05-68-25

Property Location: 1404 OLIVIA ST KEY WEST

Legal Description: KW BENJ ALBURY'S SUBD DIAGRAM I-389 PT LOT 5 SQR 3 TR 7 B2-71 OR662-87 OR662-88 OR660-219D/C OR1116-1541/42R/S OR1122-230/31 OR1122-367/68 OR1247-173/74 OR1247-175/6 OR1502-2233/34 OR1525-255/257C OR1992-918/920R/S OR2137-1815/17 OR2456-1425/26

Click Map Image to open interactive viewer

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 774
 Year Built: 1943

Building 1 Details

Building Type R1	Condition G	Quality Grade 450
Effective Age 18	Perimeter 122	Depreciation % 24
Year Built 1943	Special Arch 0	Grnd Floor Area 774
Functional Obs 0	Economic Obs 0	

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP	Roof Cover METAL	Foundation WD CONC PADS
Heat 1 NONE	Heat 2 NONE	Bedrooms 2
Heat Src 1 NONE	Heat Src 2 NONE	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1942	N N	0.00	0.00	774

2	<u>OPX</u>	12:ABOVE AVERAGE WOOD	1	1942	N	N	0.00	0.00	90
3	<u>SBF</u>		1	1999	N	N	0.00	0.00	45

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	160 SF	40	4	2011	2012	2	30

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
10-4003	12/28/2010	07/13/2011	1,600	Residential	40' WHITE PICKET FENCE 3 FT HIGH IN FRONT AND SIDE YARD. 6 X 6 POSTS. THREE GATES IN FRONT YARD.
10-4088	01/18/2011	07/13/2011	2,900	Residential	REMOVE EXISTING METAL JALOUSIE WINDOWS 4 FROM FRONT SIDE OF HOUSE. REPLACE WITH HISTORIC 6/6 DOUBLE HUNG SASH WINDOWS (WOOD).
11-1141	04/21/2011	07/13/2011	3,500		INSTALL MITSU DUCTLESS AC
11-1426	04/28/2011	07/13/2011	400		COMPLETE ELECTRICAL INSTALLATION MINI SPLIT
14-5638	12/29/2014		157,000		REMOVE 200 SQ/FT OF REAR NON-CONTRIBUTING STRUCTURE. BUILD NEW 360 SQ/FT TWO STORY ARCH. W/200 SQ/FT WOOD DECK. PB RES 2014-43 GRANTS SURFACE RATIO 9/26/14 VARIANCE AND SIDE SETBACK 9/26/14
9803369	12/02/1998	08/12/1999	12,000		RENOVATIONS/NEW KIT

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	85,253	554	301,835	387,642	279,881	25,000	254,881
2014	82,767	521	204,598	287,886	277,660	25,000	252,660
2013	87,011	543	247,925	335,479	273,557	25,000	248,557
2012	89,133	560	200,050	289,743	268,984	25,000	243,984
2011	76,400	70	184,136	260,606	260,606	25,000	235,606
2010	77,461	70	232,271	309,802	309,802	0	309,802
2009	87,454	70	353,052	440,576	440,576	0	440,576
2008	98,691	70	340,380	439,141	439,141	0	439,141
2007	103,355	70	373,320	476,745	476,745	0	476,745
2006	247,380	70	219,600	467,050	467,050	0	467,050
2005	263,567	70	153,720	417,357	417,357	0	417,357
2004	141,921	70	153,720	295,711	295,711	0	295,711
2003	141,921	70	69,440	211,431	211,431	0	211,431
2002	127,074	70	59,360	186,504	186,504	0	186,504

2001	108,813	70	59,360	168,243	168,243	0	168,243
2000	108,813	56	42,560	151,429	151,429	0	151,429
1999	89,672	50	42,560	132,282	132,282	0	132,282
1998	56,843	0	42,560	99,403	99,403	0	99,403
1997	51,827	0	38,080	89,907	89,907	0	89,907
1996	43,468	0	38,080	81,548	81,548	0	81,548
1995	41,128	0	38,080	79,208	79,208	0	79,208
1994	36,781	0	38,080	74,861	74,861	0	74,861
1993	36,191	0	38,080	74,271	74,271	0	74,271
1992	36,191	0	38,080	74,271	74,271	0	74,271
1991	36,191	0	38,080	74,271	74,271	0	74,271
1990	22,956	0	29,680	52,636	52,636	25,000	27,636
1989	20,869	0	29,120	49,989	49,989	25,000	24,989
1988	17,059	0	25,760	42,819	42,819	25,000	17,819
1987	16,844	0	15,344	32,188	32,188	25,000	7,188
1986	16,938	0	14,784	31,722	31,722	25,000	6,722
1985	16,418	0	9,915	26,333	26,333	25,000	1,333
1984	15,336	0	9,915	25,251	25,251	25,000	251
1983	15,336	0	9,915	25,251	25,251	25,000	251
1982	15,637	0	9,915	25,552	25,552	25,000	552

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
3/10/2010	2456 / 1425	354,000	<u>WD</u>	<u>02</u>
3/1/1998	1502 / 2233	180,000	<u>WD</u>	<u>Q</u>
3/1/1993	1247 / 173	107,400	<u>WD</u>	<u>Q</u>

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Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176