

**PLANNING BOARD  
RESOLUTION NO. 2014-67**

**A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING MAJOR DEVELOPMENT PLAN AND LANDSCAPE MODIFICATION / WAIVER APPROVALS PURSUANT TO SECTIONS 108-91.A.2.(B) AND 108-517 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA FOR THE RECONSTRUCTION OF A 4,557-SQUARE-FOOT RESTAURANT AND FOR THE REDUCTION AND/OR WAIVER OF REQUIRED LANDSCAPING ON PROPERTY LOCATED AT 921 TRUMAN AVENUE (RE # 00021650-000000; AK # 1022403) WITHIN THE HISTORIC NEIGHBORHOOD COMMERCIAL – TRUMAN / SIMONTON (HNC-1) ZONING DISTRICT; PROVIDING FOR AN EFFECTIVE DATE**


**WHEREAS**, Section 108-91 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that within the Historic District, a Major Development Plan is required for the reconstruction of greater than 2,500 square feet of nonresidential floor area; and


**WHEREAS**, modifications and waivers to reduce the City’s landscaping requirements are requested pursuant to City Code Section 108-517; and

**WHEREAS**, Code Sections 108-196(a) and 122-62(a) require the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

**WHEREAS**, Code Section 108-517(a) requires the Planning Board to consider the landscape modification / waiver request and render the final action; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on

 Vice-Chairman

 Planning Director

October 16, 2014; and

**WHEREAS**, the granting of a Major Development Plan and Landscape Modification / Waiver application is consistent with the criteria of the Code of Ordinances; and

**WHEREAS**, the Planning Board finds that the granting of a Major Development Plan and Landscape Modification / Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** The Major Development Plan and Landscape Modification / Waiver for the reconstruction of a 4,557-square-foot restaurant on property located at 921 Truman Avenue (RE # 00021650-000000; AK # 1022403) in the Historic Neighborhood Commercial – Truman / Simonton (HNC-1) Zoning District pursuant to Sections 108-91.A.2.(b) and 108-517 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached plans, is hereby approved with the following conditions:

**General conditions:**

1. The proposed development shall be consistent with the plans dated July 25, 2014 by William P. Horn, Architect, and the landscape plans dated August 28, 2014 by Craig Reynolds, Landscape Architect; notwithstanding the revisions requested and recommended

by staff.

2. Although subject to a separate City approval, the City shall not bear any of the costs of the proposed sidewalk and landscaping improvements within City right-of-way.

3. During all phases of demolition and construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.

**Conditions prior to the City Commission hearing:**

4. The applicant shall address all of staff's and the DRC's concerns as outlined in the October 15, 2014 staff letter and the June 26, 2014 DRC minutes.

5. The applicant shall submit an irrigation plan pursuant to City Code Section 108-243(d).

6. The applicant shall submit an outdoor lighting plan pursuant to City Code Section 108-284.

**Conditions prior to issuance of a building permit:**

7. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee.

**Conditions prior to issuance of a Certificate of Occupancy:**

8. On-site artwork shall be installed and inspected by the City pursuant to Code Section 2-487.

9. The property owner shall obtain and maintain a Conditional Approval Permit, pursuant to City Code Chapter 18, Article XII, Division 1. The City Code Compliance shall

inspect the property on an annual basis upon reasonable notice to determine compliance with the above conditions.

**Conditions subject to a Conditional Approval Permit, and subject to an associated annual inspection:**

10. Restaurant seating shall be limited to a maximum of 150 seats within a 2,250-square-foot indoor consumption area. The expansion or relocation of the consumption area outside of the building shall not be permitted without further City approvals.

**Section 3.** Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

**Section 4.** This Major Development Plan and Landscape Modification / Waiver application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

**Section 5.** This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

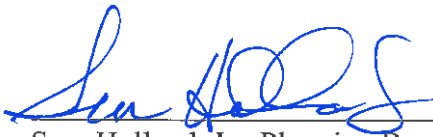
**Section 6.** This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications

 Vice-Chairman  
 Planning Director

attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 17th day of October, 2014.

Authenticated by the Vice-Chairman of the Planning Board and the Planning Director.

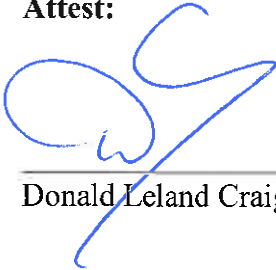


Sam Holland, Jr., Planning Board Vice-Chairman

10-24-14

Date

**Attest:**



Donald Leland Craig, AICP, Planning Director

10 24 14

Date


**Filed with the Clerk:**




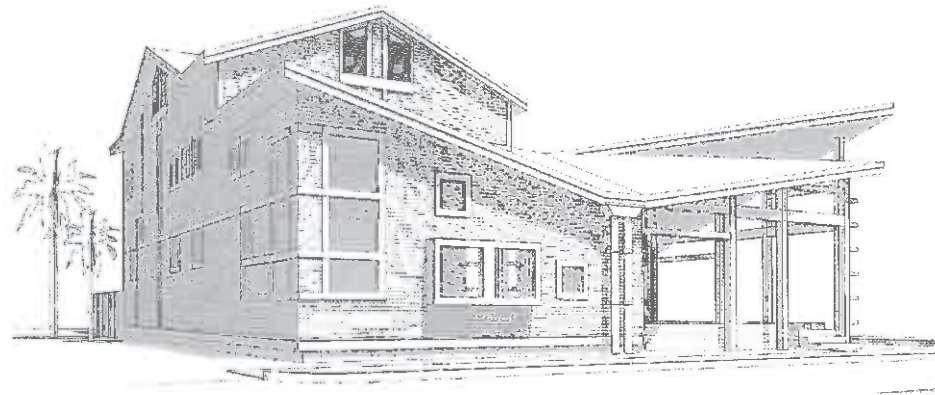
Cheryl Smith, City Clerk

10-23-14

Date

 Vice-Chairman

 Planning Director



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102119  
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## SEVEN FISH RESTAURANT KEY WEST, FL

INDEX OF SHEETS			
PAGE	DESCRIPTION	PAGE	DESCRIPTION
A-1	COVER SHEET	L-1	SCHEDULE & DETAILS
A-2	SITE & ROOF PLAN	L-2	LANDSCAPE PLAN
A-3	1ST FLOOR PLAN	C-1	CIVIL PLAN
A-4	2ND FLOOR PLAN	SU-1	SURVEY
A-5	ELEVATIONS		
A-6	RENDERINGS		

WILLIAM P. HORN  
OF HORN T. P.A.

DATE OF  
PROJECT  
NO. OF SHEETS  
PROJECT NO.  
SHEET NO.

SEVEN FISH  
921 TRUMAN  
AVENUE, KEY WEST,  
FLORIDA

THESE DRAWINGS MAY  
NOT BE REPRODUCED  
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CONSENT OF  
WILLIAM P. HORN  
SEAL

SCALE  
1" = 3/16" = 1'-0"

REVISIONS

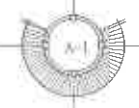
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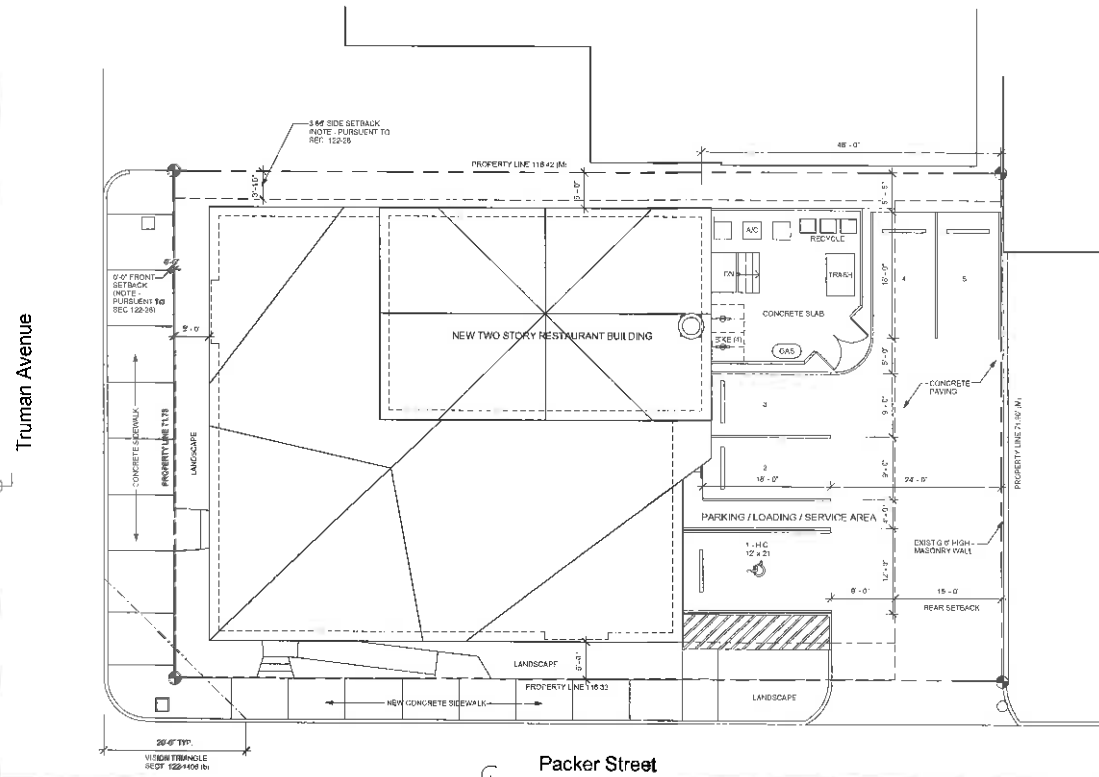
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PROJECT NUMBER

SEVEN FISH  
921 TRUMAN AVENUE,  
KEY WEST, FLORIDA





**SITE PLAN & ROOF PLAN**  
 ALL SITE INFORMATION OBTAINED FROM SURVEY BY SCALE 1/8" = 1'-0"  
 FREDERICK H. HILDEBRANDT SURVEYOR RECEIVED 5-20-2014.

SITE DATA	
LAND USE:	HNC-1
SITE AREA:	8,390 S.F. (1.9 ACRE)
FLOOD ZONE:	X (SFE SURVEY)
F.A.R.:	EXISTING = 0.803 (4,654 S.F.) PROPOSED = 0.670 (4,765 S.F.)
MAX HEIGHT:	ALLOWABLE = 35'-0" MAX EXISTING = 25'-0" PROPOSED = 34'-0"
LOT COVERAGE:	EXISTING = 56% = 4,696 S.F. PROPOSED = 51% = 4,279 S.F.
IMPERVIOUS AREA:	EXISTING = 96% = 7,957 S.F. PROPOSED = 84% = 7,029 S.F.
LANDSCAPE AREA:	EXISTING = 5% = 403 S.F. PROPOSED = 16% = 1,301 S.F.
* 8% (66 S.F.) IS ADDITIONAL LANDSCAPE AREA UNDER OVERHANGS AND ENTRY.	
SETBACKS:	
FRONT:	EXISTING = 0'-0" PROPOSED = 5'-0"
SIDE:	EXISTING = 3'-10" PROPOSED = 5'-0"
STREET SIDE:	EXISTING = 0'-0" PROPOSED = 5'-0"
REAR:	EXISTING = 43'-0" PROPOSED = 44'-10"
PARKING:	REQUIRED = MATCH EXISTING (5 SPACES) PROPOSED = 5 SPACES INCLUDING 1 H.C. SPACE BIKE PARKING = 4 SPACES
BUILDING DATA	
OCCUPANCY:	A2 RESTAURANT
CONSTRUCTION TYPE:	V-B; SPRINKLERED
ALLOWED SQ. FOOTAGE:	12,800 (W/ SPRINKLER INCREASE)
MAX. NO. OF STORIES:	2 (W/ SPRINKLER INCREASE)
FIRST FLOOR:	ENCLOSED = 3,544 S.F. ENTRY CANOPY = 329 S.F.
SECOND FLOOR:	ENCLOSED = 1,221 S.F.
TOTAL ENCLOSED:	4,765 S.F.
CONSUMPTION AREA:	EXISTING = 2,316 S.F. PROPOSED = 2,250 S.F.

10211A  
 10211A  
 16-24-19

WILLIAM HORN  
 ARCHITECT, P.A.

1111 TRUMAN AVE  
 KEY WEST, FL 34604  
 TEL: 305-294-2011  
 FAX: 305-294-2011

SEVEN FISH  
 921 TRUMAN AVENUE  
 KEY WEST, FLORIDA

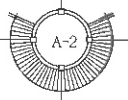
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DATE: 5-20-2014

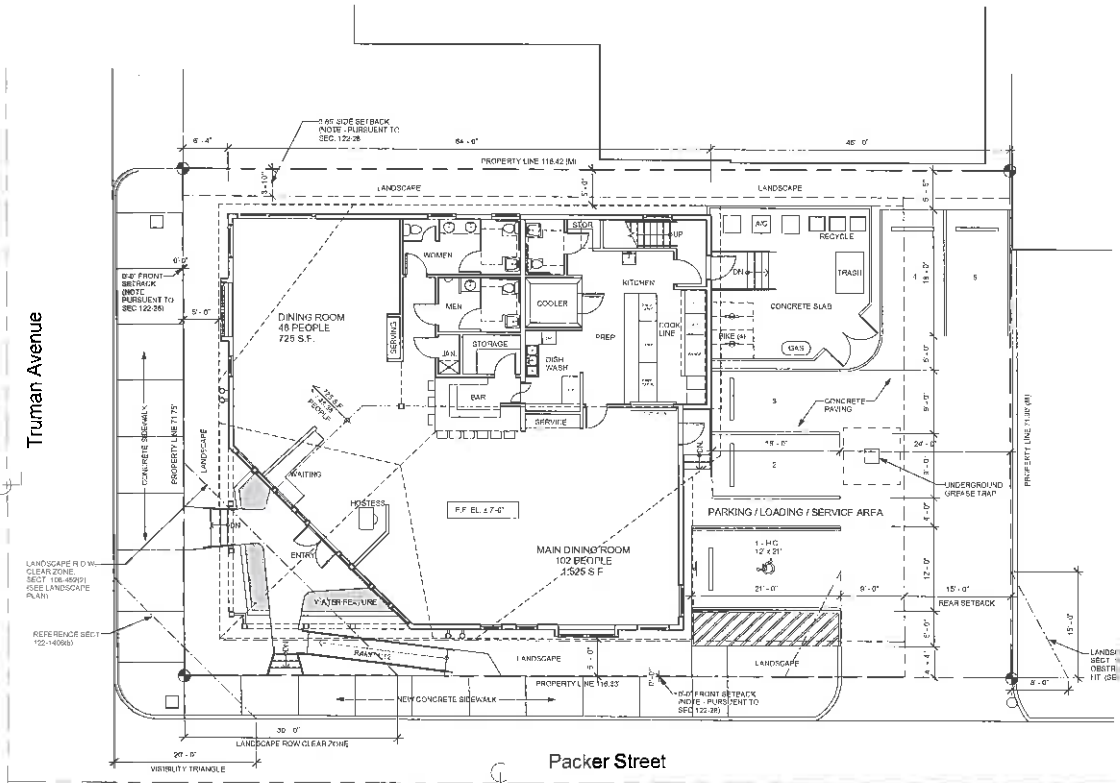
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SEVEN FISH  
 921 TRUMAN AVENUE  
 KEY WEST, FLORIDA



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**PROPOSED FIRST FLOOR PLAN**

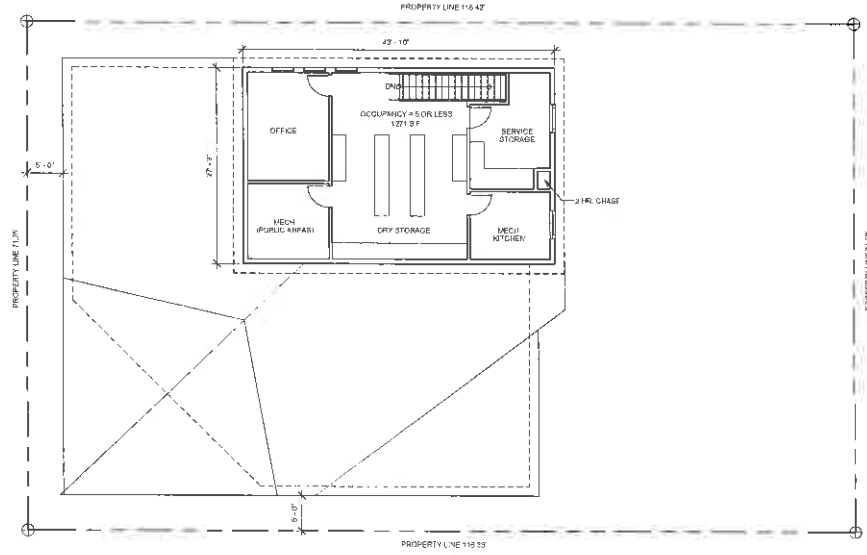
SCALE 1/8" = 1'-0"

**SEVEN FISH**  
921 TRUMAN AVENUE,  
KEY WEST, FLORIDA



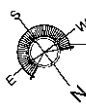


Truman Avenue



Packer Street

NOTE : 5 PERSON MAX. OCCUPANCY - 2ND FLOOR  
NO PUBLIC ACCESS



**PROPOSED SECOND FLOOR PLAN**

SCALE 1/8" = 1'-0"

**SEVEN FISH**  
921 TRUMAN AVENUE  
KEY WEST, FLORIDA

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JW  
10-24-14

OC  
102114

WILLIAM F. DORN  
ARCHITECT, P.A.

PROJECT  
NO. 001  
NO. 002  
NO. 003  
NO. 004  
NO. 005  
NO. 006

SEVEN FISH  
921 TRUMAN AVENUE, KEY WEST, FLORIDA

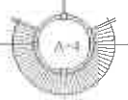
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ARCHITECT, P.A.

DATE  
10-24-14

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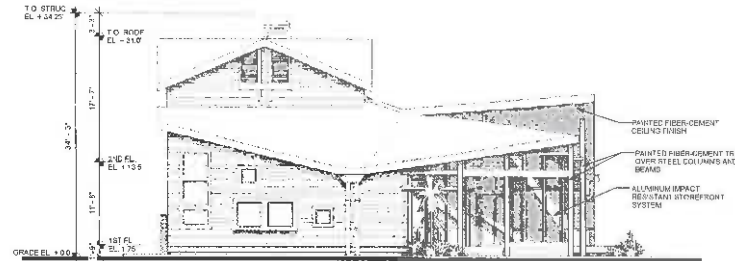
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PROJECT NUMBER





**1**  
A-5 **PACKER STREET ELEVATION**  
SCALE 1/8" = 1'-0"



**2**  
A-5 **TRUMAN AVE. ELEVATION**  
SCALE 1/8" = 1'-0"

*Handwritten notes:*  
10-24-24  
W

*Handwritten notes:*  
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102114

WILLIAM P. HORN  
ARCHITECT, P.A.

1001 20th St.  
Key West, FL 34290  
Tel: 305-246-1533  
Fax: 305-246-1533

SEVEN FISH  
921 TRUMAN AVENUE, KEY WEST, FLORIDA

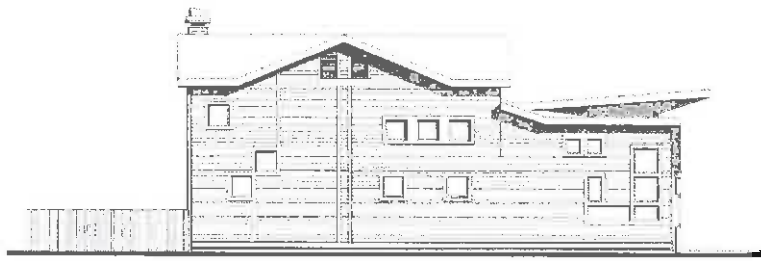
THIS DRAWING IS THE PROPERTY OF WILLIAM P. HORN ARCHITECT, P.A. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

DATE: 10/24/24  
BY: WPH

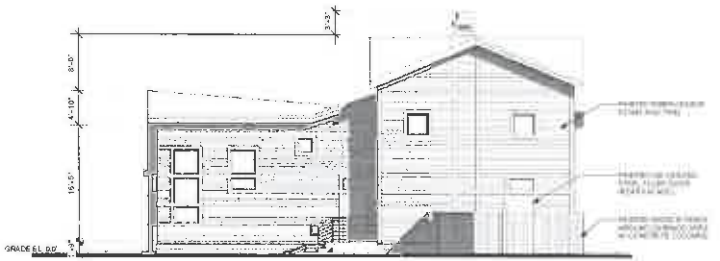
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**3**  
A-5 **REAR ELEVATION**  
SCALE 1/8" = 1'-0"

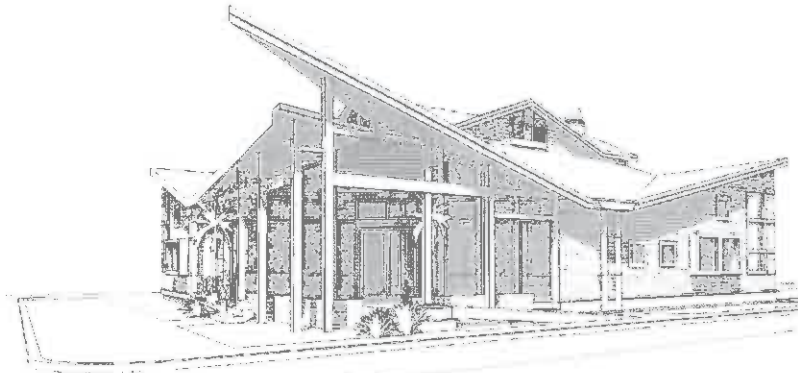


**4**  
A-5 **SIDE ELEVATION**  
SCALE 1/8" = 1'-0"

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SEVEN FISH  
921 TRUMAN AVENUE  
KEY WEST, FLORIDA



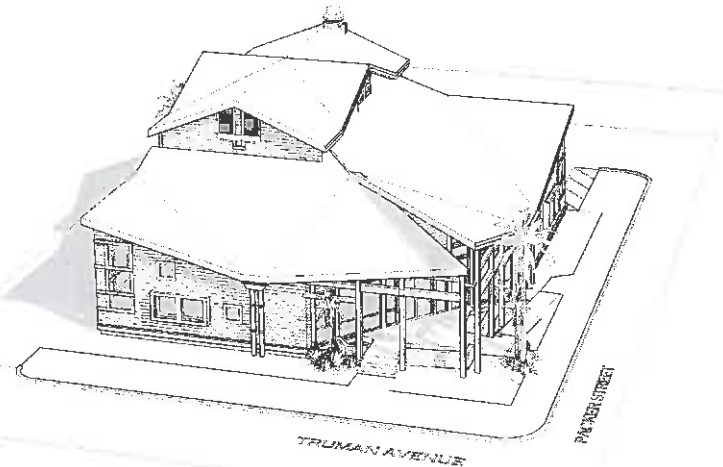


1 CORNER VIEW- TRUMAN AND PACKER  
A-6 N.T.S.

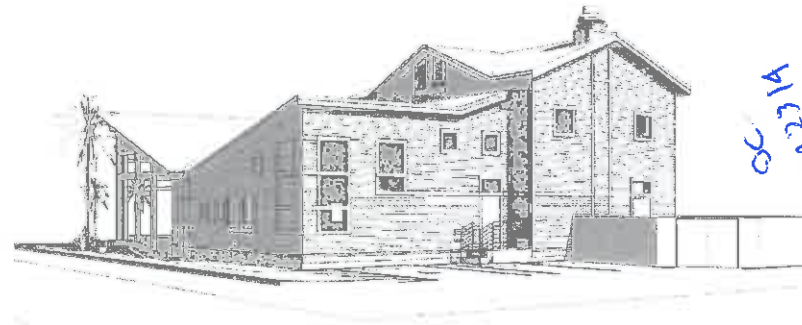


2 TRUMAN AVENUE  
A-6 N.T.S.

OC  
10211A  
10.21.11



3 AERIAL RENDERING  
A-6 N.T.S.



4 REAR YARD  
A-6 N.T.S.

OC  
10211A

WILLIAM P. BORN  
ARCHITECT, P.A.

PROJECT NO. 10211A  
DATE 10.21.11

SEVEN FISH  
921 TRUMAN AVENUE, KEY WEST, FLORIDA

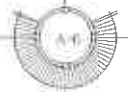
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SCALE  
1" = 10'-0"

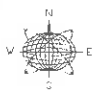
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SEVEN FISH  
921 TRUMAN AVENUE,  
KEY WEST, FLORIDA

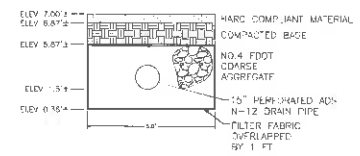


**DRAINAGE CALCULATIONS**

WATER QUANTITY - PREDEVELOPMENT		WATER QUANTITY - POSTDEVELOPMENT	
PERMIT AREA =	0.32 AC	PERMIT AREA =	0.32 AC
PERVIOUS AREA =	0.02 AC	PERVIOUS AREA =	0.02 AC
IMPERVIOUS AREA =	0.30 AC	IMPERVIOUS AREA =	0.30 AC
W. RETENTION =	0.25	W. RETENTION =	0.25
RUNOFF FOR 24-HOUR RAIN (1") =	8.8 IN.	RUNOFF FOR 24-HOUR RAIN (1") =	8.8 IN.
RUNOFF FOR 24-HOUR RAIN (2") =	17.6 IN.	RUNOFF FOR 24-HOUR RAIN (2") =	17.6 IN.
DEPTH TO WATER TABLE =	24 IN.	DEPTH TO WATER TABLE =	24 IN.
ROCKED SANDSTONE =	0.14	ROCKED SANDSTONE =	0.14
SOIL STORAGE (S) =	0.34	SOIL STORAGE (S) =	0.34
DRY = (S) / (S) =	11.72	DRY = (S) / (S) =	11.72

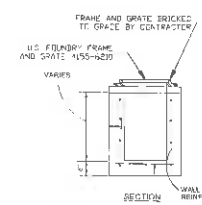
POSTDEVELOPMENT - PREDEVELOPMENT		EXFILTRATION TRENCH PROVIDED	
DRY = (S) / (S) =	11.72	TRENCH LENGTH =	35 FT
SOIL STORAGE (S) =	0.34	PERVIOUS AREA =	0.02 AC

WATER QUALITY	
PERVIOUS AREA =	0.02 AC
4) THE RICH OF PUMP FROM SPILLAGE BASIN =	0.02 AC
1) 2.5 INCHES PERCH. NUMBER =	0.54 M.S.D.
PERVIOUS AREA =	0.02 AC
PERVIOUS AREA =	0.02 AC
PERVIOUS AREA =	0.02 AC



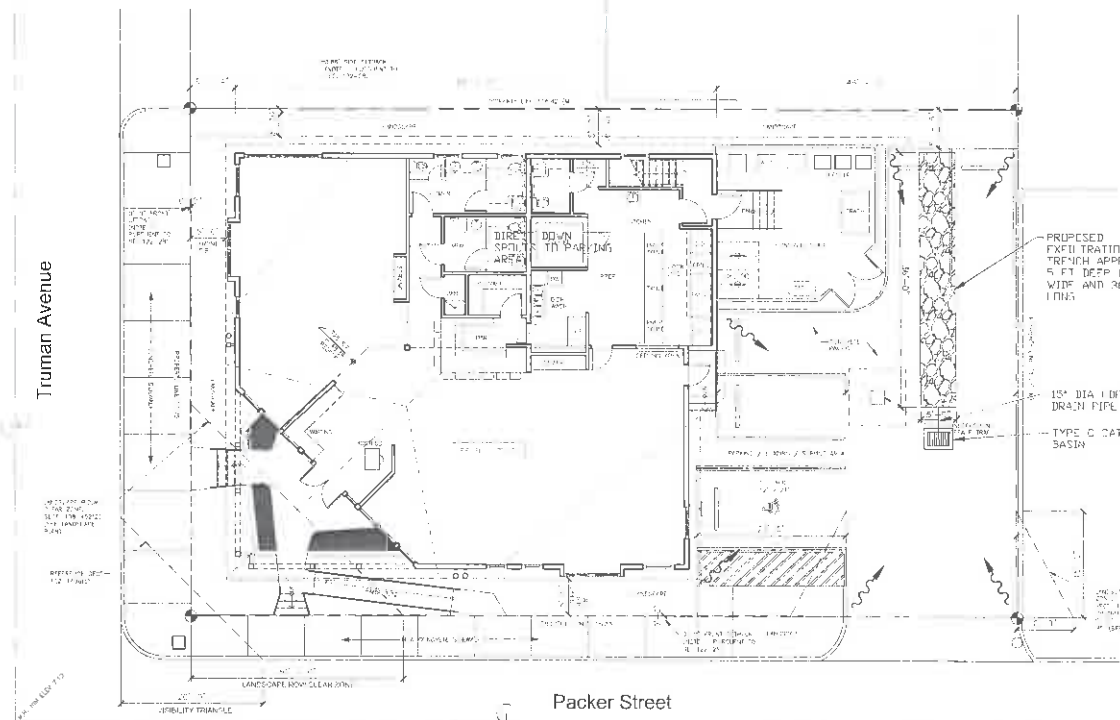
NOTES:  
1. FILTER FABRIC SHALL BE MARAT FILTERWEAVE 300 OR ENGINEER APPROVED EQUIVALENT. FILTER FABRIC SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

**EXFILTRATION TRENCH**



- NOTES:  
1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS, TYPE II CEMENT  
2. FRAME AND GRATE BROKEN TO GRADE BY CONTRACTOR  
3. BOTTOM SLAB SHALL BE 8" MIN. THICK NO. 3 BAR ON EDGE  
4. STRUCTURES TO BE SET ON COARSE AGGREGATE BEDDING

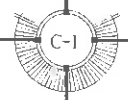
**TYPE C CATCH BASIN**



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**CONCEPTUAL DRAINAGE PLAN**

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY FREDERICK H. HILDEBRANDT. DATED ON 06-10-04. SCALE: 1/8"=1'-0"



# 7 FISH

921 TRUMAN AVENUE

## PLANTING PLAN

5-28-2014

### TREE BRACING NOTES:

- 2" and larger caliper trees braced by guying:
1. Choose the correct size and number of stakes and size of hose and wire. Guying shall be completed within 48 hours of planting the tree.
2. Cut lengths of staking hose to extend 2 inches past tree trunk when wrapping around.
3. Space stakes evenly on outside of water ring and drive each firmly into ground. Stakes should be driven at a 90 degree angle with the point of the stake toward the tree until 4 to 5 inches are left showing.
4. Place the hose around the trunk just above the lowest branch.
5. Thread the wire through the hose and pass the stake, allowing approximately 2 feet of each of the two ends beyond the stake before cutting the wire.
6. Twist wire at either hose to keep it in place.
7. Pull wire down and wind both ends around stake twice. Twist wire back onto itself to secure it before cutting off the excess.
8. The above procedures are to be followed for each stake, keeping the line straight at all times. There should be a 1 to 3 inch sway in the tree (the wires should not be pulled tight) for local establishment.
9. Flag the guy wires with surveyor's flagging or approved equal for safety.
10. Guys are not to be removed until approved by landscape contractor.

### Specimen trees and tall palms braced with props:

1. Choose the correct size, length, and number of props to be used (pressure treated (PT) 2"x4", 4"x4").
2. Wrap at least 5 layers of burlap around trunk of the palm at least 4 inches wider than the battens being used. Battens should be mounted at a point 1/3 of the distance from ground to the crown trunk of the tree or palm, but not less than 4 feet, whichever is greater.
3. Select the proper length and size of battens (PT 2"x4"x12'-10").
14. Use the same number of battens as props being used.
15. Place the battens vertically and evenly spaced against the burlap.
16. Secure the battens in place with metal or plastic banding straps. DO NOT NAIL INTO TREE.
17. Wedge lower end of prop into soil and secure with a 2"x4"x30" stake. Props should be installed at a 90 to 40 degree angle from the batten and of sufficient length to reach the ground. NOTE: ON STRAIGHT TREES OR PALMS OR TREES, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM.
18. Cut a smooth angle at the end of the props. Align with and nail into battens. DO NOT PENETRATE TREE OR PALM WITH NAILS.
19. If it appears that additional construction work will take place near to or in the vicinity of the newly braced trees or palms, then props are to be clearly labeled with this statement: "DO NOT REMOVE."
20. Props are not to be removed until approved by the landscape contractor.

END

### GENERAL LANDSCAPE NOTES:

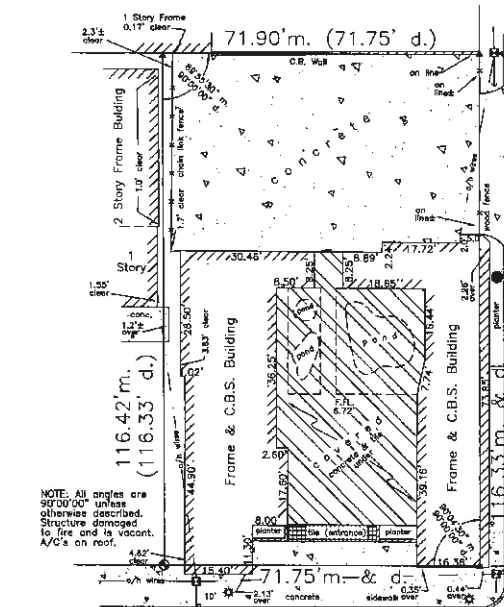
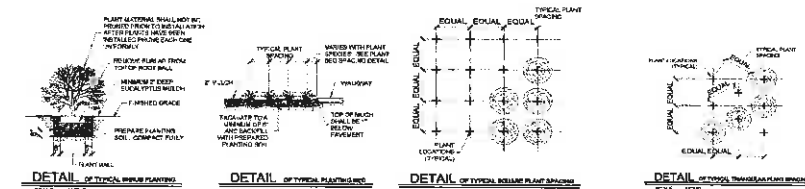
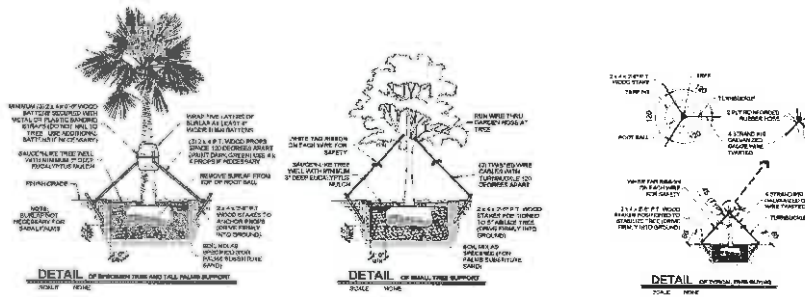
1. Changes may occur during the normal course of implementation. Verbal change orders will not be honored. Any changes must be submitted to landscape architect in writing as a change order to be reviewed and approved in writing by owner/contractor.
2. All newly planted trees to receive 100% coverage by automatic irrigation system (slip preferred) unless otherwise directed by OWNER. Landscape contractor to coordinate installation of irrigation system with irrigation contractor. Irrigation time clock to be **BAIRD WIRELESS** on completion - responsibility of irrigation contractor. Landscape contractor to hand water or change for watering during planting and irrigation system is 100% operable. This is the responsibility of the landscape contractor.
3. Landscape contractor to become familiar with the scope of work as well as the site, digging conditions, and any obstacles prior to bidding.
4. Landscape contractor shall locate and verify all underground utilities prior to digging.
5. All plant material is to be Florida Fla. 1 or better, Florida Department of Agriculture Grades and Standards, Parts I & II, 1975, respectively.
6. All trees to be staked in a good workmanlike manner. No nail staking permitted. (Refer to planting details)
7. Landscape plan shall be installed in compliance with all local codes.
8. All tree holes to be back filled around and under root ball with washed beach sand. All shrub beds to be installed with washed beach sand. (See spec)
9. All trees, shrubs and ground covers shall be guaranteed for six months from date of final acceptance. All palms are to be guaranteed for one year.
10. All planting beds shall be weeded and grass free.
11. All trees, palms, shrubs and ground covers shall be fertilized at installation according to manufacturer's recommendations. Type and amount of fertilizer as up to discretion of Landscape Contractor in order to avoid "burn" on plants that may already contain fertilizer from nursery and ensure proper establishment to maintain contractor's warranty.
12. Planting plans shall take precedence over plan list in case of discrepancies.
13. No change shall be made without prior consent of Landscape Architect.
14. All material shall be subject to availability at time of installation. Substitutions may be made after consultation with Landscape Architect.
15. Landscape Contractor to coordinate his work with the General Contractor, Irrigation Contractor, and the Electrical Contractor.
16. All existing plant material to remain shall be protected.
17. All trees to be relocated will get root pruned 30 days min. (or more if required by the species). Upon relocation, thin out 30% of the relocated trees canopy.
18. After removal or relocation of existing trees and palms, backfill tree pit with washed beach sand, and sod disturbed area, if required.
19. All trees on sod areas shall receive a mulch ring 2" in diameter typical.
20. All trees shall have 2" collar and 1/4" minimum for a 10' height tree.
21. All 1 gallon material to have 12" spread minimum, all 3 gallon material to have 20-24" spread minimum.
22. Landscape contractor to be County and City licensed where work is to be performed. Liability and Workman's comp insurance is required for each and every employee to be on-site at any time during implementation. Paperwork to the effect to be provided on request within 2 business days.

END

### IRRIGATION NOTES:

1. All Lady Palms (Rhapis spp.), Heliconia and Bamboo to have single bubbler. All Major Palms to have two bubblers on opposing sides of root ball. Bubblers to be hidden from view.
2. Irrigation contractor to coordinate location of main lines with Landscape Contractor prior to implementation. Avoid root balls of trees and large plant materials. Refer to landscape drawings.
3. All pipe to be PVC schedule 40, 1/2" minimum cover.
4. All heads installed on flexible PVC pipe and fittings.
5. Pressurized backflow, rain switch, and multi-programmable controller with battery backup required.
6. All coverings under permit concrete to be sleeved two lines the sprinkler pipe size with schedule 40 PVC.
7. All valves to have flow control and be installed in green valve boxes with room to work in future.
8. All valve boxes to be located away from walkways, garden paths, and groundcovers - keep to back of beds.
9. All sprinklers to be commercial grade Toro 570 Series 4" and 12" and installed out of sight.
10. Irrigation contractor to measure water available on-site and use no more than 75% of available GPM.
11. Water connection to the house, including shut-off valves, shall not be started by pressurized backflow.
12. All wire splices to be in valve boxes and clearly labeled at back of time clock. All wire splices to be installed with water proof connections.
13. 2 spare wires to be run to the last valve in each direction.
14. Controller to be hard-wired at time of completion and included in irrigation contractors bid.
15. System to provide 100% controlled coverage on completion. Add on modifications from irrigation plan may be necessary.
16. Irrigation contractor to be County and City licensed where work is to be performed. Liability and Workman's comp insurance is required for each and every employee to be on-site at any time during implementation. Paperwork to the effect to be provided on request within 2 business days.
17. As-built irrigation drawing to be provided prior to final payment.

END



10-24-14  
DRC  
102114

### DRAWING LIST:

1. COVER: Specifications
2. LC-1: Planting Plan and Plant List

### REVISIONS:

1. August 8, 2014: Revisions per Floor Plan Changes & DRC/Tree Commission Comments
2. August 28, 2014: Revisions per Tree Commission Comments—Remove Tam arid on PL, replace with (2) Saba! Palms
- 3.

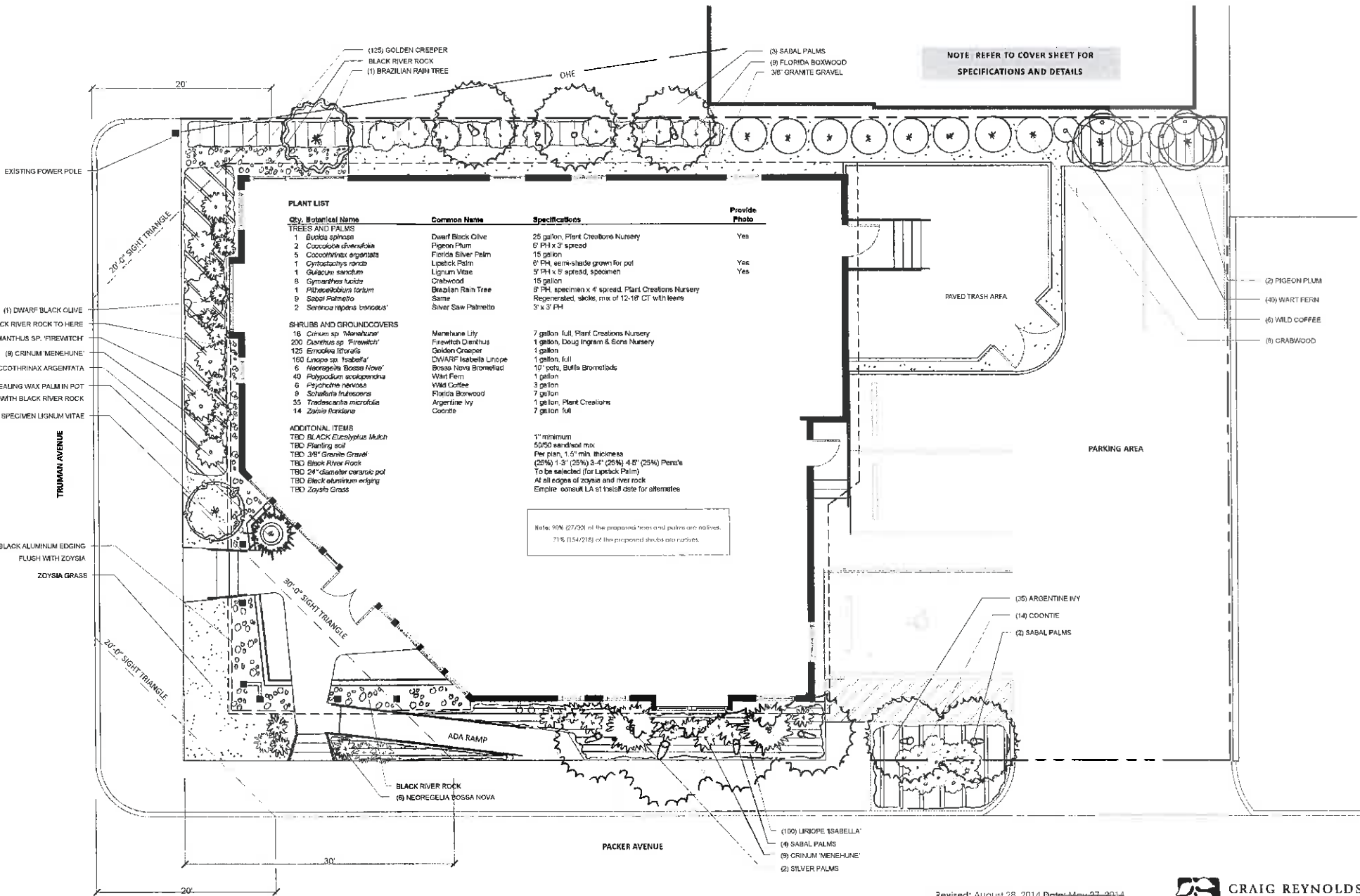
(1) Pink Tabebuia (Tabebuia heterophylla, invasive/non-native) 6" D.B.H. to be removed.

Existing Landscape Plan  
N.T.S.

The drawings, specifications, and other documents prepared by the Landscape Architect are instruments of the landscape architect's professional service.

**CRAIG REYNOLDS**  
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**PLANT LIST**

Qty.	Botanical Name	Common Name	Specifications	Provide Photo
<b>TREES AND PALMS</b>				
1	<i>Banksia spinosa</i>	Dwarf Black Olive	25 gallon, Plant Creations Nursery	Yes
2	<i>Coccoloba ultravioleta</i>	Pigeon Plum	6' PH x 3' spread	
5	<i>Coccothrinax argenteata</i>	Florida Silver Palm	15 gallon	
1	<i>Cynosyzygium macleodii</i>	Lapstick Palm	6' PH, semi-shade grown for pot	Yes
1	<i>Gladiolus sanctum</i>	Lignum Vitae	5' PH x 5' spread, specimen	Yes
8	<i>Gymnanthes lucida</i>	Crabwood	15 gallon	
1	<i>Platycodon grandiflorus</i>	Brazilian Rain Tree	6' PH, specimen x 4' spread, Plant Creations Nursery	
9	<i>Sabal palmetto</i>	Same	Regenerated, stalks, mix of 12-18" CT with leers	
2	<i>Savanna repens 'torridus'</i>	Silver Saw Palmetto	5' x 3' PH	
<b>SHRUBS AND GROUNDCOVERS</b>				
16	<i>Crinum sp. 'Menehune'</i>	Menehune Lily	7 gallon full, Plant Creations Nursery	
200	<i>Diarrhiza sp. 'Firewitch'</i>	Firewitch Dianthus	1 gallon, Doug Ingram & Sons Nursery	
125	<i>Erinacea litoralis</i>	Golden Creeper	1 gallon	
100	<i>Liriope sp. 'Isabella'</i>	DWARF Isabella Liriope	1 gallon, full	
6	<i>Neoregelia Bossa Nova</i>	Bossa Nova Bromeliad	10" pots, Bulfin Bromeliads	
40	<i>Polypodium scolopendriifolium</i>	Wax Fern	1 gallon	
6	<i>Psychotria nervosa</i>	Wild Coffee	3 gallon	
8	<i>Scaevola frutescens</i>	Florida Borwoid	7 gallon	
35	<i>Tradescantia microbotrys</i>	Argentine Ivy	1 gallon, Plant Creations	
14	<i>Zinnia mexicana</i>	Coontie	7 gallon full	
<b>ADDITIONAL ITEMS</b>				
TBD BLACK Eucalyptus Mulch			1" minimum	
TBD Planting soil			50/50 sand/soil mix	
TBD 3/8" Granite Gravel			Per spec, 1-5' min. thickness	
TBD Black River Rock			(25%) 1-3" (25%) 3-4" (25%) 4-6"	
TBD 24" diameter ceramic pot			To be selected (for Lapstick Palm)	
TBD Black aluminum edging			At all edges of zoysia and river rock	
TBD Zoysia Grass			Empire - consult LA at final date for alternative	

Note: 90% (27/30) of the proposed trees and palms are natives.  
71% (154/218) of the proposed shrubs are natives.

NOTE REFER TO COVER SHEET FOR SPECIFICATIONS AND DETAILS

7 FISH 902 Truman Avenue  
10-24-14  
Lizille  
W

PLANTING PLAN

Revised: August 28, 2014 Date: May 27, 2014  
Scale: 3/16" = 1'-0"  
Sheet: LP-1

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