

# **Staff Report**

8 Demolition of front of existing house and demolition of existing non conforming rear attached structure - **#914 James Street- Seatech of the Florida Keys (H11-01-157)**

This staff report is for the review of a second reading for a Certificate of Appropriateness for a demolition request of non historic additions to an existing house. The building located on #914 James Street is not listed in the surveys. The Sanborn maps of 1948 and 1962 provide evidence that the actual footprint of the house has been altered through time by new additions on the back, front and side of the original house. The proposed plans include the removal of the back and front additions as well as the non historic enclosure of the side part of an "L" shape front porch.

Staff understands that the request for this demolition should be reviewed using the demolition criteria of Chapter 102 Section 218 of the LDR's. The criteria state the following;

*(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:*

*(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the criteria of section 102-125(1) through (9).*

The Code also establishes, under Sec. 102-1, Definitions, that a historic building or structure means;

*any building or structure which, in whole or in any structural part, was built 50 or more years prior to the current date, and which is located in the historic zoning districts of the city or has been designated as a historic building and/or structure.*

It is staff's opinion that the Commission can consider the request for demolition as it is consistent with the criteria for demolitions in the historic district, particularly Chapter 102-218 of the LDR. None of the elements that are proposed to be demolished are historic.

# **Application**

RECEIVED  
JAN 27 2012



**CITY OF KEY WEST  
BUILDING DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # 12-1000157

OWNER'S NAME: DAN HARRIS DATE: 1-27-12

OWNER'S ADDRESS: 12303 BLAIR RIDGE RD, FAIRFAX VA 22033 PHONE #: 703-609-5990

APPLICANT'S NAME: SEATECH OF THE FLORIDA KEYS PHONE #: 305-294-9993

APPLICANT'S ADDRESS: 850 CRANE BLVD, SUMMERLAND KEY, FL 33042

ADDRESS OF CONSTRUCTION: 914 JAMES ST, Key West, FL 33040 # OF UNITS: 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: RENOVATE EXISTING STRUCTURE TO RESTORE ORIGINAL HISTORIC DESIGN AT FRONT OF PROPERTY. REMOVE EXISTING NON-CONFORMING REAR STRUCTURE AND REPLACE WITH NEW 2 STORY ADDITION. ELEVATE NEW AND EXISTING STRUCTURES ABOVE BASE FLOOD ELEVATION.

Chapter 837.06 F.S.-False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

\*\*\*\*\*

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 1-27-12  
Applicant's Signature: [Signature]

**Required Submittals**

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

**Staff Use Only**

Date: \_\_\_\_\_  
Staff Approval: \_\_\_\_\_  
Fee Due: \$ \_\_\_\_\_

HISTORIC ARCHITECTURAL REVIEW APPLICATION

Sever ok

# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

\*\*\*\*\*

Approved

*Reading & design approved*

Denied

\_\_\_\_\_

Deferred

\_\_\_\_\_

Reason for Deferral or Denial:

*2/8/12 - approved design + denudation on first reading R. Malen*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HARC Comments:

*Not listed*

*additions, alterations and new construction (pages 36-38a)  
Ordinance for demolitions.*

Limit of Work Approved, Conditions of Approval and/or Suggested  
Changes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date: *2/8/12*

Signature: *Audrey Mitchell*

Historic Architectural  
Review Commission



City Of Key West  
Planning Department  
3140 Flagler Avenue  
Key West, Florida 33040

February 10, 2012

Eng. Paul Sims  
Seatech of the Florida Keys  
#830 Crane Blvd  
Summerland Key, Florida 33042

**RE: RENOVATE EXISTING STRUCTURE TO RESTORE ITS ORIGINAL DESIGN AT FRONT OF PROPERTY. NEW BACK TWO STORIES ADDITION. ELEVATE NEW AND EXISTING STRUCTURES ABOVE BASE FLOOD ELEVATION. DEMOLITION OF FRONT OF EXISTING HOUSE AND DEMOLITION OF NON CONFORMING REAR ATTACHED STRUCTURE  
FOR: #914 JAMES STREET - HARC APPLICATION # H12-01-157**

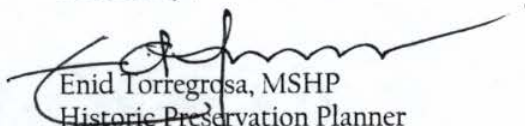
Dear Engineer Sims:

This letter is to notify you that the Key West Historic Architecture Review Commission **approved** the proposed design and the first reading for demolition for the above mentioned project on the public hearing held on Wednesday, February 8, 2012. The Commissioners motioned to approve the project based on the submitted documents and your presentation.

Because this project includes a demolition request, a second reading will take place on Tuesday, February 21, 5:30 pm at Old City Hall, 510 Greene Street. This second reading will be just for the demolition request.

Should you have any questions, please do not hesitate to contact me at your convenience. On behalf of the Historic Architectural Review Commission of our City, thank you for your interest in the preservation of Key West's historic heritage.

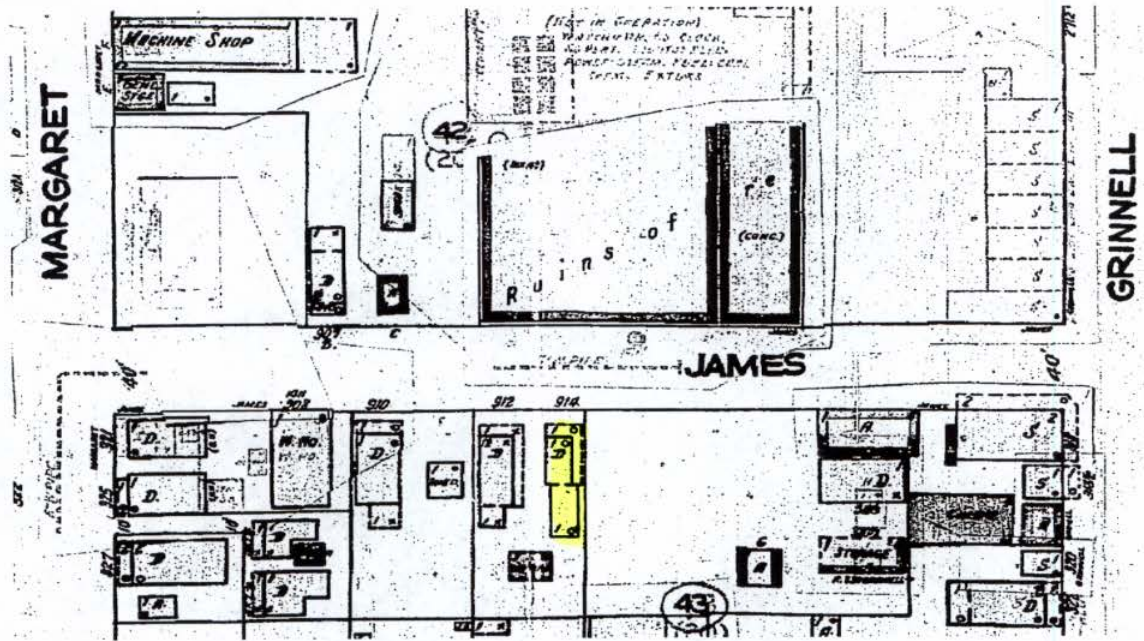
Sincerely:

  
Enid Torregrosa, MSHP  
Historic Preservation Planner  
City of Key West  
3140 Flagler Avenue  
Key West, Florida 33040

305.809.3973

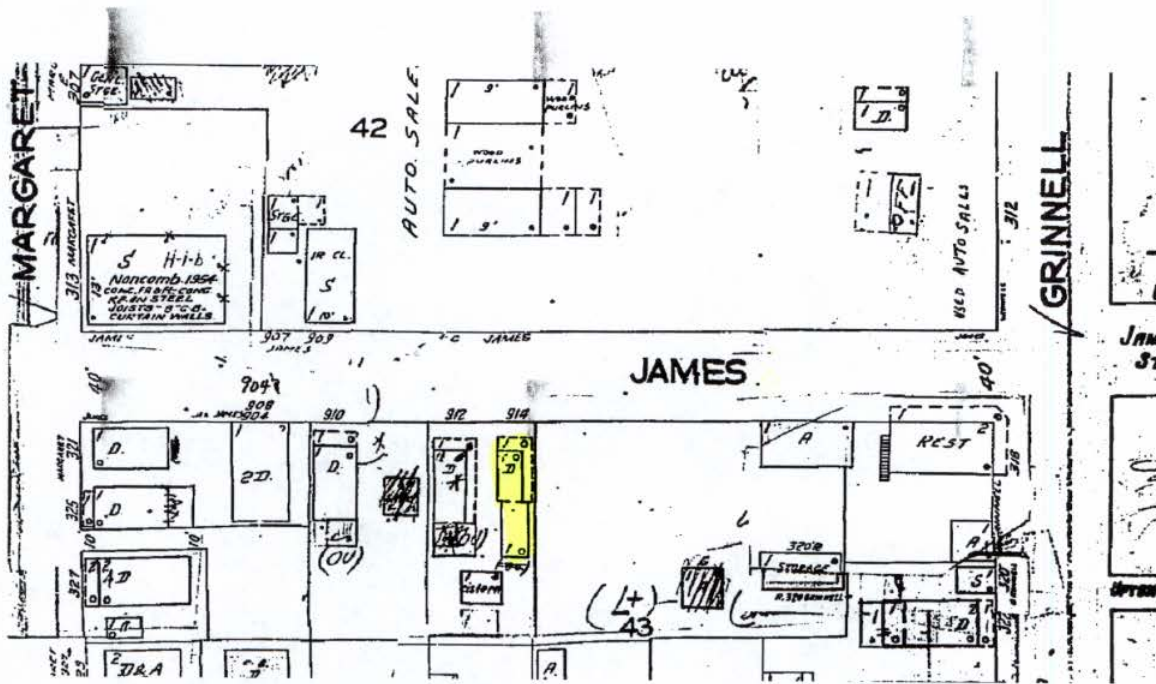
[etorregr@keywestcity.com](mailto:etorregr@keywestcity.com)

# **Sanborn Maps**



#914 James Street Sanborn map 1948 copy





#904 James Street Sanborn map 1962 copy

# **Project Photos**



Photo taken by Property Appraiser's office c1965; 914 James St. Monroe County Library



FRONT ELEVATION



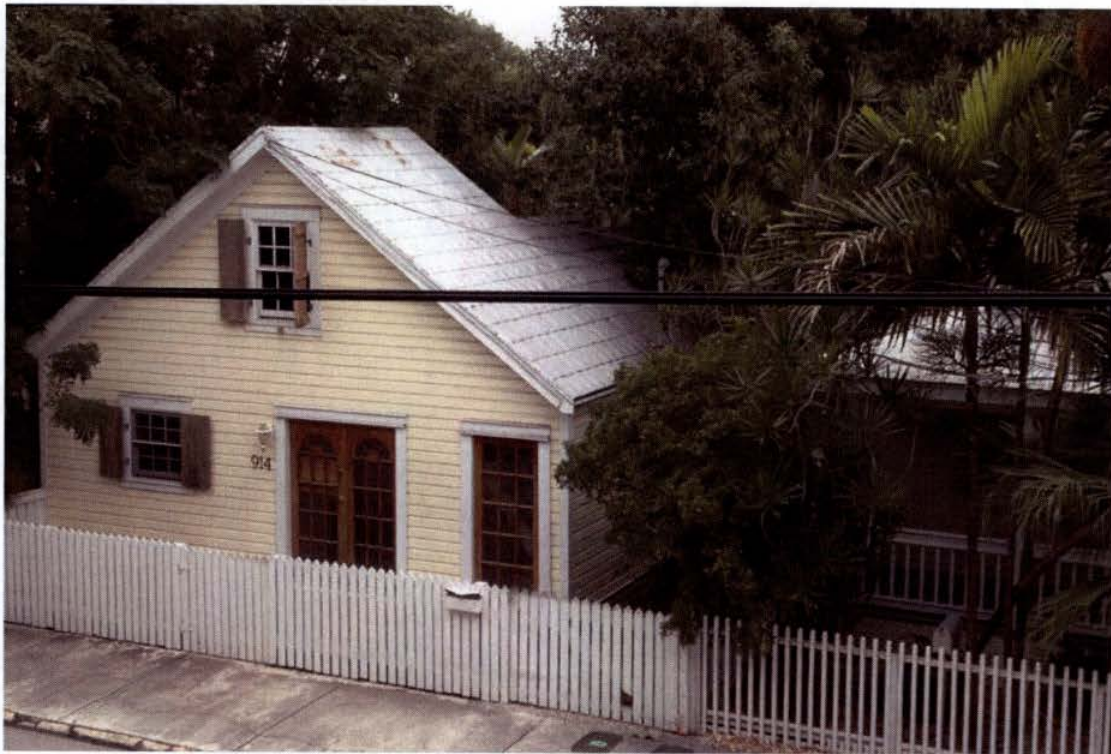
WEST SIDE LOOKING TOWARD FRONT HISTORIC STRUCTURE



REAR ELEVATION



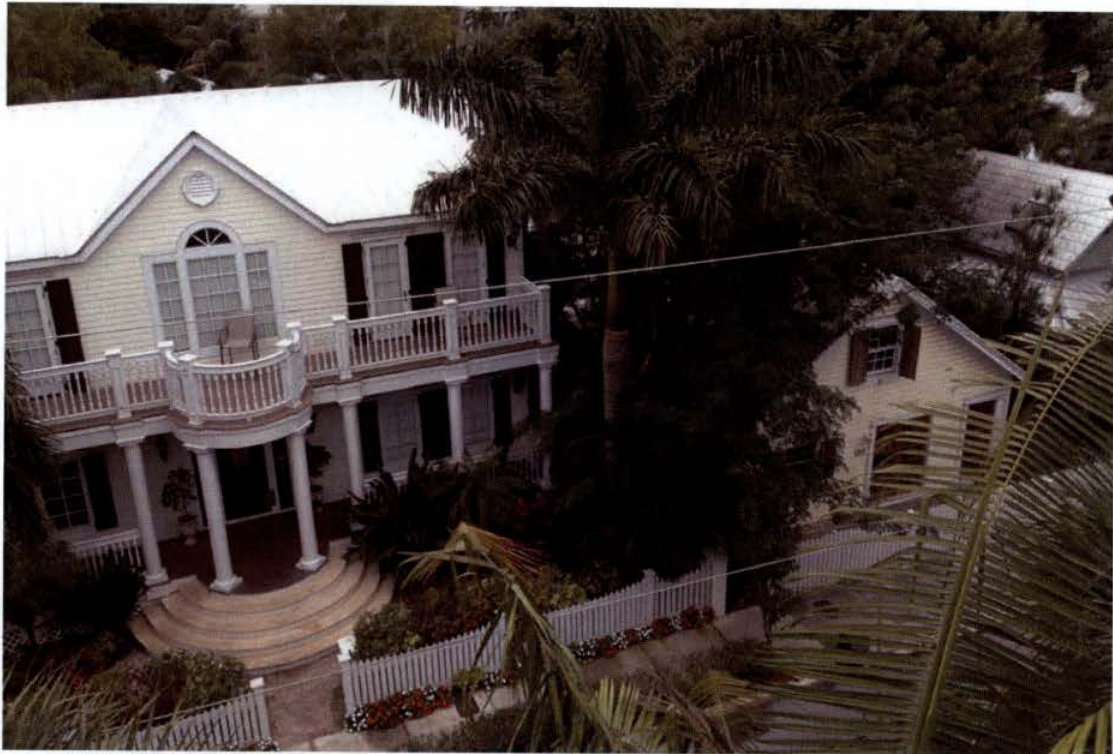
ROOF STRUCTURE



FRONT ELEVATION



FRONT ELEVATION & NEIGHBORING STRUCTURES



FRONT ELEVATION & NEIGHBORING STRUCTURE



FRONT ELEVATION & NEIGHBORING STRUCTURE



NEW WOOD FRAMING & STRAPPING @ EXISTING NON-HISTORIC REAR ADDITION



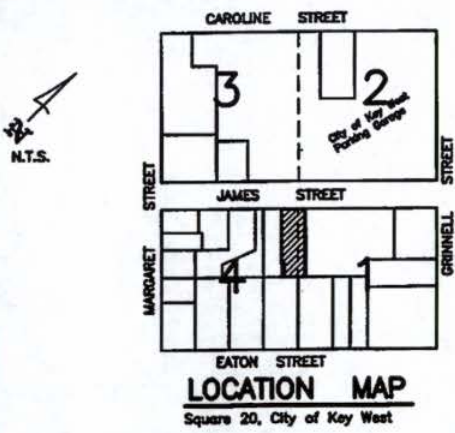
NEW WOOD FRAMING & STRAPPING @ EXISTING NON-HISTORIC REAR ADDITION





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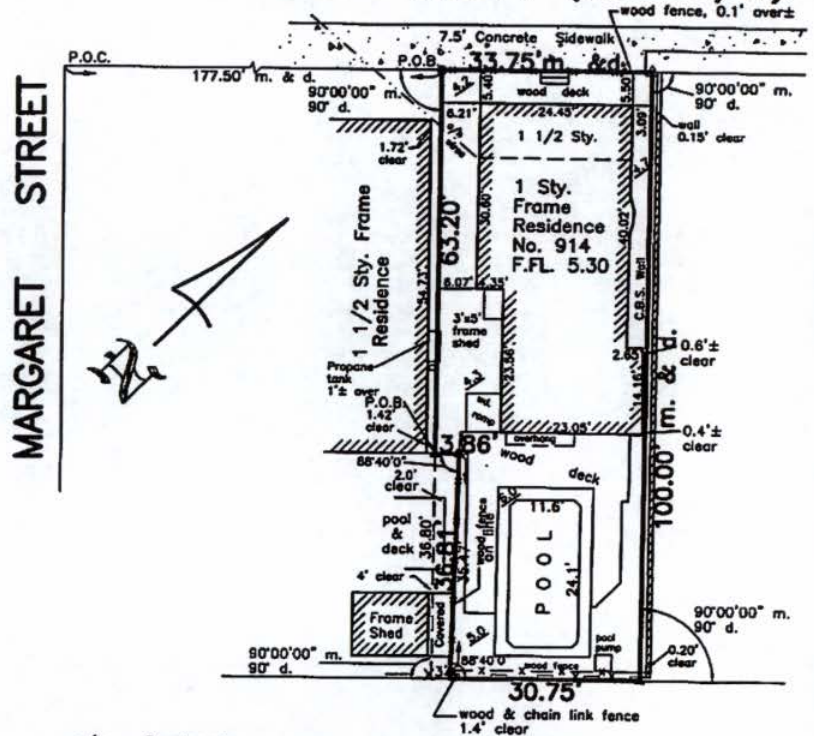
# Survey



**SURVEYOR'S NOTES:**  
 North arrow based on assumed median  
 Reference Bearing: R/W Grinnell Street  
 3.4 denotes existing elevation  
 Elevations based on N.G.V.D. 1929 Datum  
 Bench Mark No.: Basic Elevation: 14.324

**Monumentation:**  
 ⊙ = Set 1/2" Iron Pipe, P.L.S. No. 2749  
 ▲ = Found P.K. Nail, P.L.S. No. 2749  
 ● = Found 1/2" Iron Pipe,  
 △ = Found P.K. Nail, P.L.S. No. 2749

**JAMES STREET (30' R/W)**



**LEGAL DESCRIPTION:**  
 In the City of Key West and known as part of Lot 4 and part of Lot 1 of Square 20, according to Whitehead's map delineated in February, 1829, being more particularly described as follows:  
 Commencing at a point on James Street, distant 177 feet and 6 inches from the corner of Margaret and James Street and runs thence Northeastly 33 feet and 9 inches; thence at right angles Southeastly 100 feet; thence at right angles Southwestly 33 feet, 9 inches, thence at right angles Northwestly 100 feet to the Point of Beginning.

**LESS**  
 A portion of Lot 4, in Square 20, according to William A. Whitehead's Map of the City of Key West, delineated in February 1829, and being more particularly described as follows:  
 Commencing at the intersection of the Southwesterly Right-of-Way Line of Margaret Street and the Northwesterly Right-of-Way Line of James Street; thence in a Northeastly direction along the said Northwesterly Right-of-Way line of James Street for 177.50 feet; thence at a right angle and in a Southeastly direction for 63.20 feet to the Point of Beginning; thence continue in a Southeastly direction for 36.80 feet; thence at a right angle and in a Northeastly direction for 3.00 feet; thence at an angle of 91°20'00" to the right and in a Northwestly direction and along a wooden fence for 36.81 feet; thence at an angle of 88°40'00" to the right and in a Northwestly direction along a wooden fence for 3.86 feet to the Point of Beginning.  
 Containing 126.22 Square Feet, more or less.

**CERTIFICATION:**  
 I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17 Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

**FREDERICK H. HILDEBRANDT**  
 Professional Land Surveyor & Mapper No. 2749  
 Professional Engineer No. 36830  
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

**Abbreviations:**

- Sty. = Story
- R/W = Right-of-Way
- fd. = Found
- p. = Plat
- m. = Measured
- d. = Deed
- N.T.S. = Not to Scale
- ⊙ = Centerline
- Elev. = Elevation
- B.M. = Bench Mark
- c/h = Overhead
- F.F.L. = Finish Floor Elevation
- conc. = concrete
- I.P. = Iron Pipe
- C.B.S. = Concrete Block Stucco
- cov'd. = Covered
- wd. = Wood
- ⊕ = Wood utility Pole
- Bal. = Balcony
- Pl. = Planter
- A/C = Air Conditioner
- P.B. = Plat Book
- P.O.C. = Point of Commence
- P.O.B. = Point of Beginning

Field Work performed on: 12/30/11

Dan Harris 914 James Street, Key West, Fl. 33040			
BOUNDARY SURVEY		Dwn No.: 11-390	
Scale: 1"=20'	Ref. 150-30 file	Flood panel No. 1716 K	Dwn. By: F.H.H.
Date: 2/7/00		Flood Zone: AE	Flood Elev. 7'
REVISIONS AND/OR ADDITIONS			
2/26/01: updated, new L.D., owner, cert.			
1/5/05: Corredt L.D.			
1/5/12: Updated, owner, grades, minor changes			
1/datafred/dwa/keywest/block19/914james			

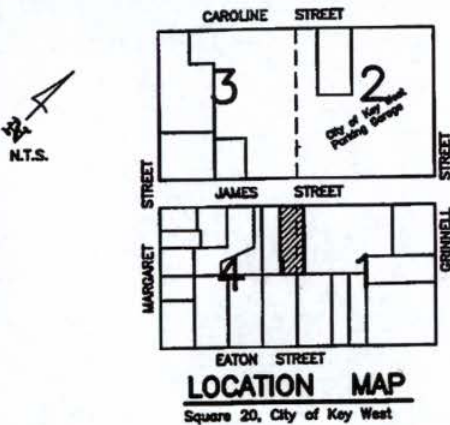
Block 19

**ISLAND SURVEYING INC.**

**ENGINEERS PLANNERS SURVEYORS**

3152 Northside Drive  
Suite 201  
Key West, Fl. 33040

(305) 293-0466  
Fax: (305) 293-0237  
fhildeb1@bellsouth.net  
L.B. No. 7700

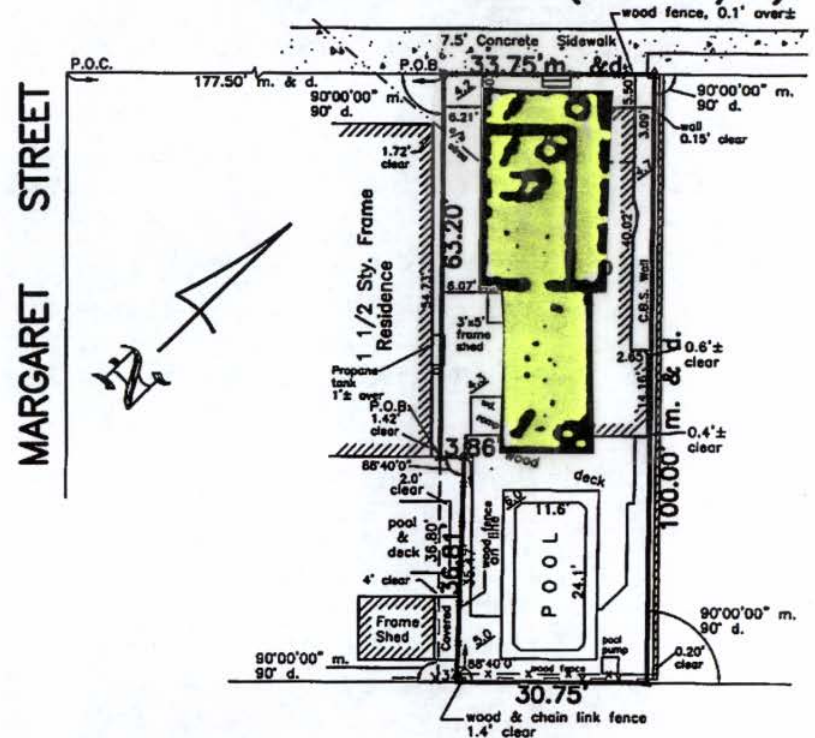


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Professional Land Surveyor - License No. 2749  
Professional Engineer - License No. 36830  
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Dan Harris 914 James Street, Key West, Fl. 33040			
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1/datarfd/dwg/keywest/block19/914james			

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## **Miscellaneous Information**



U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

## SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name <u>Dan Harris</u>	For Insurance Company Use:
	Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>914 James Street</u>	Company NAIC Number
City <u>Key West</u> State <u>Fl</u> ZIP Code <u>33040</u>	

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
Part of Lot s 1 & 4, Square 20, William A Whitehead's Map of the City of key West, 1829 , R.E. 00002850-000000

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 24 33' 38.5" Long. 81 47 55.8"

Horizontal Datum:  NAD 1927  NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 5

A8. For a building with a crawlspace or enclosure(s):

- a) Square footage of crawlspace or enclosure(s) n/a sq ft
- b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade n/a
- c) Total net area of flood openings in A8.b n/a sq in
- d) Engineered flood openings?  Yes  No

A9. For a building with an attached garage:

- a) Square footage of attached garage n/a sq ft
- b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade n/a
- c) Total net area of flood openings in A9.b n/a sq in
- d) Engineered flood openings?  Yes  No

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <u>City of Key West 120168</u>		B2. County Name <u>Monroe</u>		B3. State <u>Florida</u>	
B4. Map/Panel Number <u>12087C1516</u>	B5. Suffix <u>K</u>	B6. FIRM Index Date <u>2/18/05</u>	B7. FIRM Panel Effective/Revised Date <u>2/18/05</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>7'</u>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in item B9.

FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
Designation Date \_\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete items C2.a-h below according to the building diagram specified in item A7. Use the same datum as the BFE.

Benchmark Utilized D-121 Vertical Datum NGVD 1929

Conversion/Comments \_\_\_\_\_

Check the measurement used.

- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 5.30  feet  meters (Puerto Rico only)
- b) Top of the next higher floor n/a  feet  meters (Puerto Rico only)
- c) Bottom of the lowest horizontal structural member (V Zones only) n/a  feet  meters (Puerto Rico only)
- d) Attached garage (top of slab) n/a  feet  meters (Puerto Rico only)
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 5.3  feet  meters (Puerto Rico only)
- f) Lowest adjacent (finished) grade next to building (LAG) 4.2  feet  meters (Puerto Rico only)
- g) Highest adjacent (finished) grade next to building (HAG) 4.8  feet  meters (Puerto Rico only)
- h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support 4.2  feet  meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No

Certifier's Name <u>Frederick H. Hildebrandt</u>	License Number <u>PLSM 2749</u>
Title <u>P.E., P.L.S.</u>	Company Name <u>Island Surveying Inc.</u>
Address <u>3152 Northside Drive</u>	City <u>Key West</u> State <u>Fl</u> ZIP Code <u>33040</u>
Signature _____	Date <u>1/7/12</u> Telephone <u>(305) 293-0466</u>

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	<b>For Insurance Company Use:</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 914 James Street	Policy Number
City Key West State FL ZIP Code 33040	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C2.e) hot water heater at elevation 5.3'  
A5; Lat. & Long. determined with hand held GPS

Signature	Date 1/7/12	<input checked="" type="checkbox"/> Check here if attachments
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**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- 31.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- 32.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- 33.  The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

- 37. This permit has been issued for:  New Construction  Substantial Improvement
- 38. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- 39. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- 310. Community's design flood elevation \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date
Comments	

Check here if attachments

**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
914 James Street

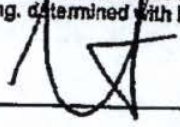
City Key West State FL ZIP Code 33040

For Insurance Company Use
Policy Number
Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments G2.e hot water heater at elevation 5.3'  
A5; Lat. & Long. determined with hand held GPS



Signature

Date 1/7/12

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E6. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.



# **Proposed design**

**SITE DATA**

ZONING DISTRICT: HMDR  
 FLOOD ZONE: AE7  
 F.I.R.M. - COMMUNITY #125129; PANEL #1716; SUFFIX "K"; DATED: 02-18-2005  
 LEGAL DESCRIPTION: KW PT LOTS 1 & 4 SQR 20 E1-161 E6-198

**DESIGN DATA**

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENTS AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.

OCCUPANCY CLASSIFICATION: R3  
 CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED:  
 WIND LOAD: 150 MPH (ASCE 7-05) (3 SEC. GUST, EXPOSURE "C")  
 FLOOR LIVE LOAD: 40 PSF

**INDEX OF DRAWINGS**

- T-1 - SITE DATA
- D-1 - DEMOLITION PLAN
- A-1 - FLOOR PLANS
- A-2 - EXISTING ELEVATIONS
- A-3 - PROPOSED ELEVATIONS
- A-4 - PROPOSED ELEVATIONS

**GENERAL NOTES**

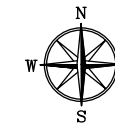
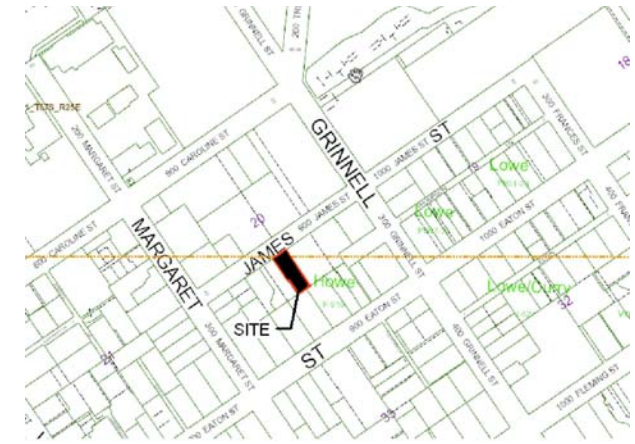
1. THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.)
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2007 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2007 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.
14. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.
15. PORTABLE RESTROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.
16. ALL STORM WATER SHALL BE RETAINED ON THE PROPERTY.

**LEGEND**

SYMBOLS	MATERIAL INDICATIONS	ABBREVIATIONS
		CONCRETE
		COMPACTED EARTH FILL
		STUCCO OR GYPSUM WALL BOARD
		CONCRETE MASONRY UNIT
		BRICK
		BATT INSULATION
		RIDGE INSULATION
		SAND
		GRAVEL
		CONTINUOUS WOOD FRAMING
		WOOD BLOCKING
		PLYWOOD
		FINISH WOOD
		AND @ APPROX. FT. IN. MAX. MIN. # O.C. LB. PSI P.T. SF T & G WWM
		AT APPROXIMATE(LY) FOOT/FEET FINISH FLOOR LEVEL INCH MAXIMUM MINIMUM NUMBER ON CENTER POUND POUND PER SQUARE INCH PRESSURE TREATED SQUARE FOOT/FEET TONGUE AND GROOVE WELDED WIRE MESH

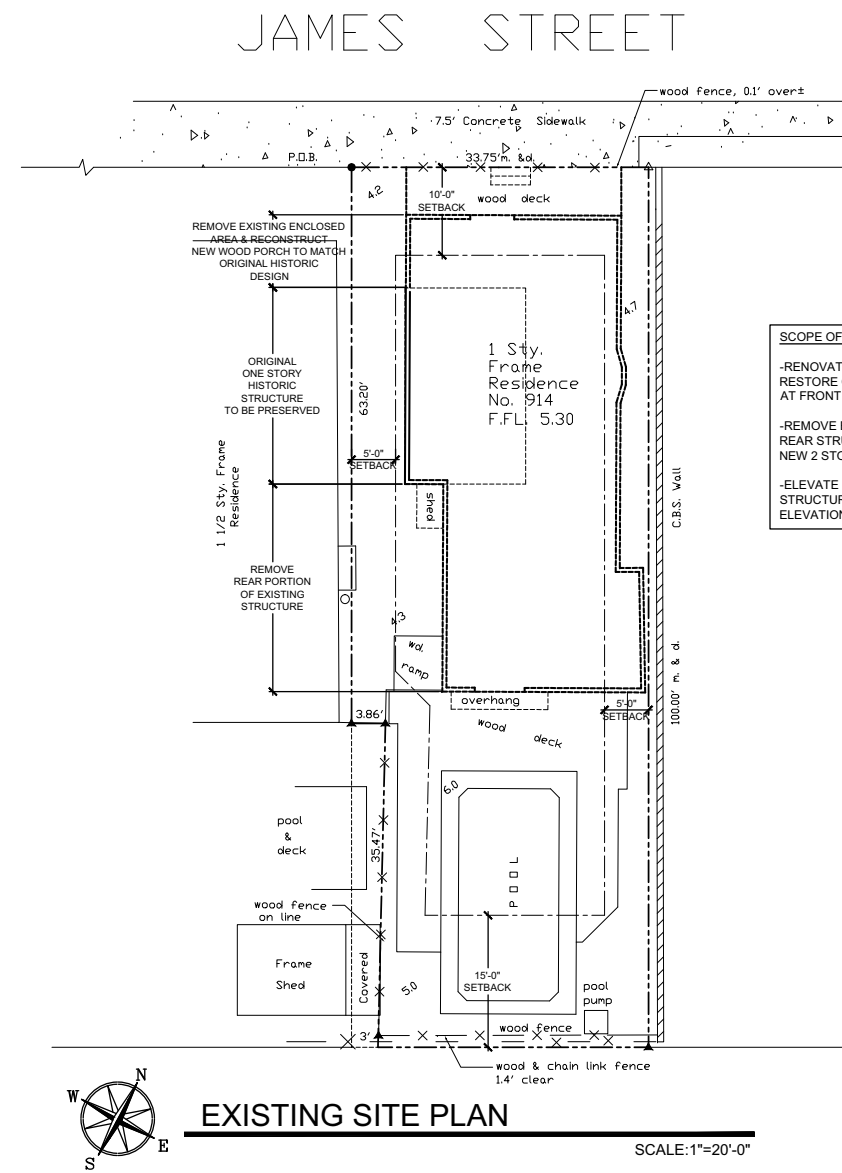
# HARRIS RESIDENCE

## 914 JAMES STREET KEY WEST, FLORIDA



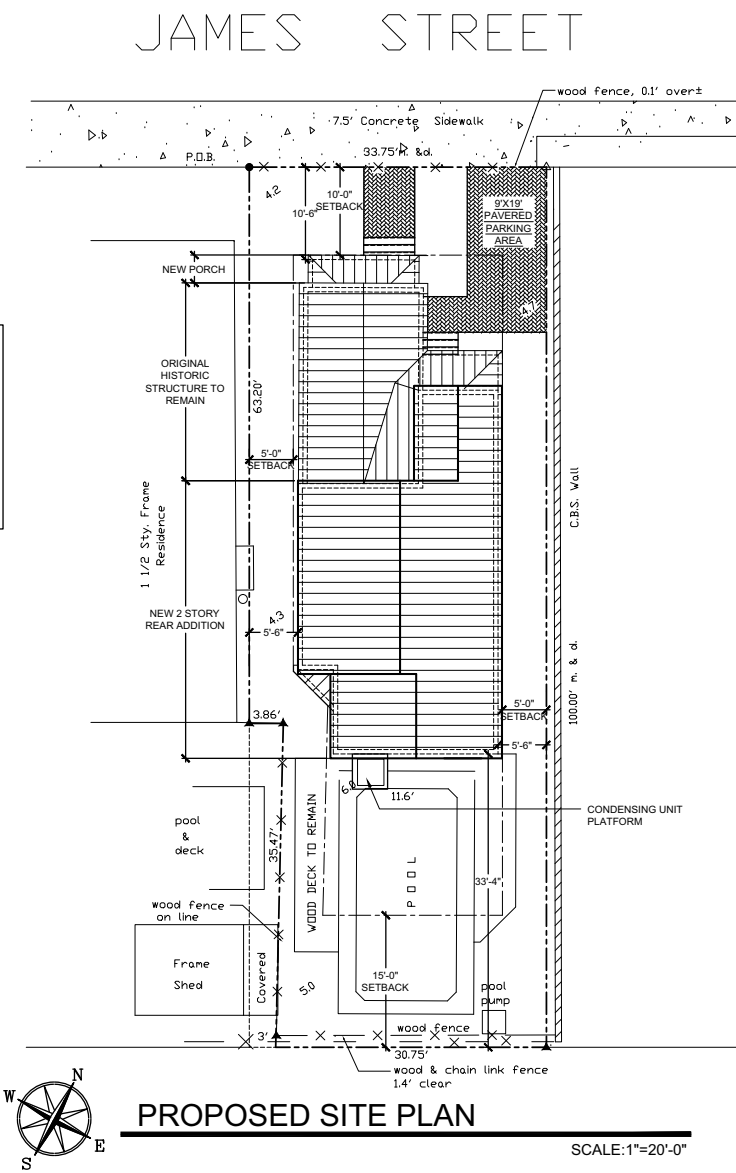
**LOCATION MAP**

SITE DATA TABLE				
	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	HMDR	HMDR	HMDR	UNCHANGED
LOT SIZE	3248 SF	3248 SF	3248 SF	UNCHANGED
BUILDING AREA	1301 SF	1301 SF	1215 SF	REDUCED
BUILDING COVERAGE %	40%	40%	37%	REDUCED
IMPERVIOUS COVERAGE	1726 SF	1948 SF	1871 SF	COMPLIES
IMPERVIOUS COVERAGE %	53%	60%	58%	COMPLIES
BUILDING HEIGHT	<25'-0"	30'-0"	27'-6"	COMPLIES
FRONT SETBACK	5'-5"	10'-0"	10'-0"	COMPLIES
EAST SIDE SETBACK	0'-5"	5'-0"	5'-6"	COMPLIES
WEST SIDE SETBACK	6'-0"	5'-0"	5'-6"	COMPLIES
REAR SETBACK	38'-5"	15'-0"	33'-4"	COMPLIES



**EXISTING SITE PLAN**

SCALE: 1"=20'-0"



**PROPOSED SITE PLAN**

SCALE: 1"=20'-0"

**SCOPE OF WORK:**  
 -RENOVATE EXISTING STRUCTURE TO RESTORE ORIGINAL HISTORIC DESIGN AT FRONT OF PROPERTY.  
 -REMOVE EXISTING NON-CONFORMING REAR STRUCTURE AND REPLACE WITH NEW 2 STORY ADDITION AT REAR  
 -ELEVATE NEW AND EXISTING STRUCTURES ABOVE BASE FLOOD ELEVATION

**SeaTech Inc.**  
 830 CRANE BOULEVARD  
 SUGARLOAF KEY, FLORIDA  
 (305) 294-9993  
 C.A. #28984

PAUL R. SEMMES  
 P.E.#41137 DATE:

**HARRIS RESIDENCE**  
 914 JAMES STREET,  
 KEY WEST, FLORIDA

REVISIONS

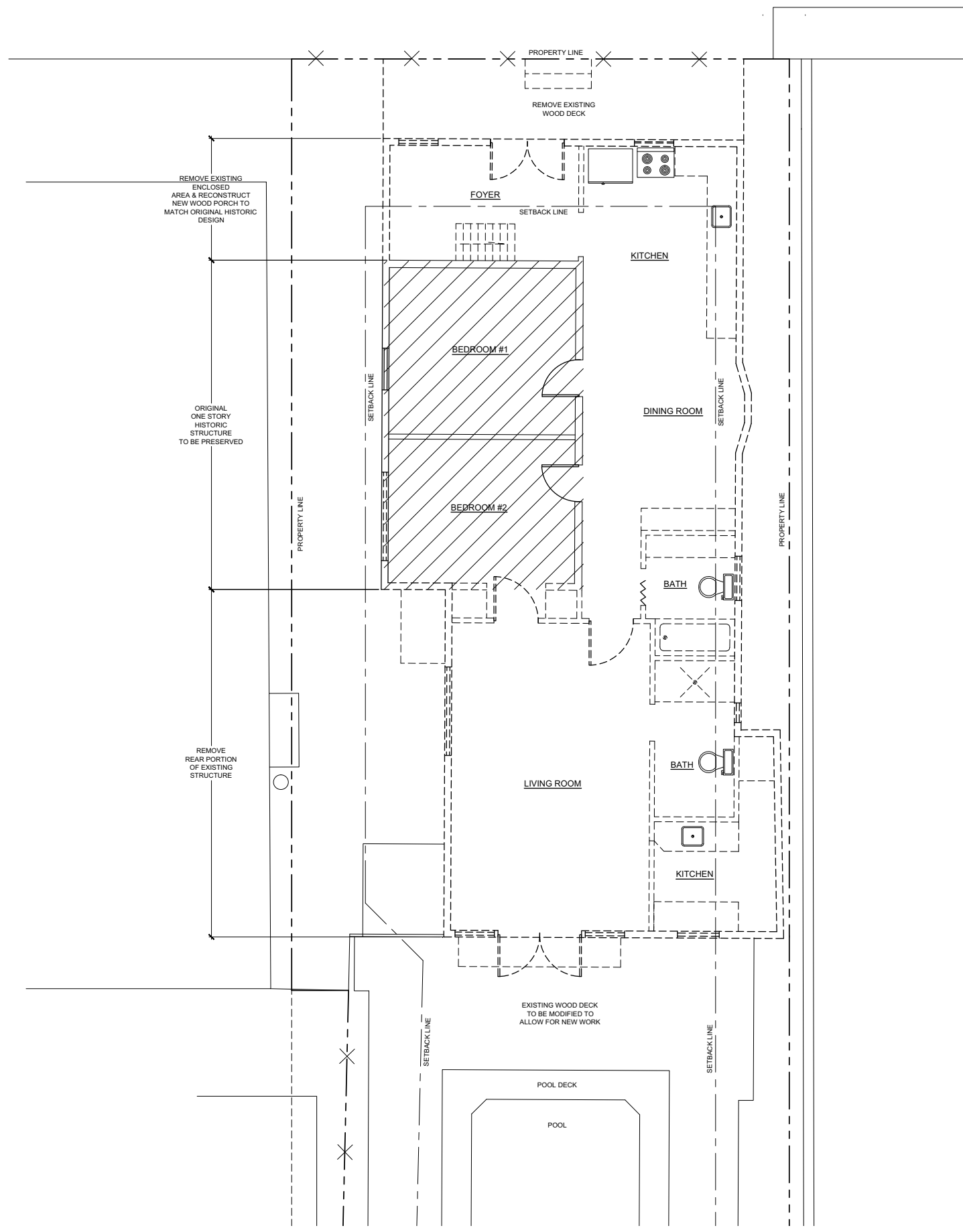
JOB:

START DATE: 10/17/11

ISSUE DATE: 01/27/12

DRAWN: EKM

**T-1**



**EXISTING FLOOR PLAN**

SCALE: 1/4"=1'-0"

**HARRIS RESIDENCE**  
 914 JAMES STREET,  
 KEY WEST, FLORIDA

REVISIONS

JOB:

START DATE: 10/17/11

ISSUE DATE: 01/27/12

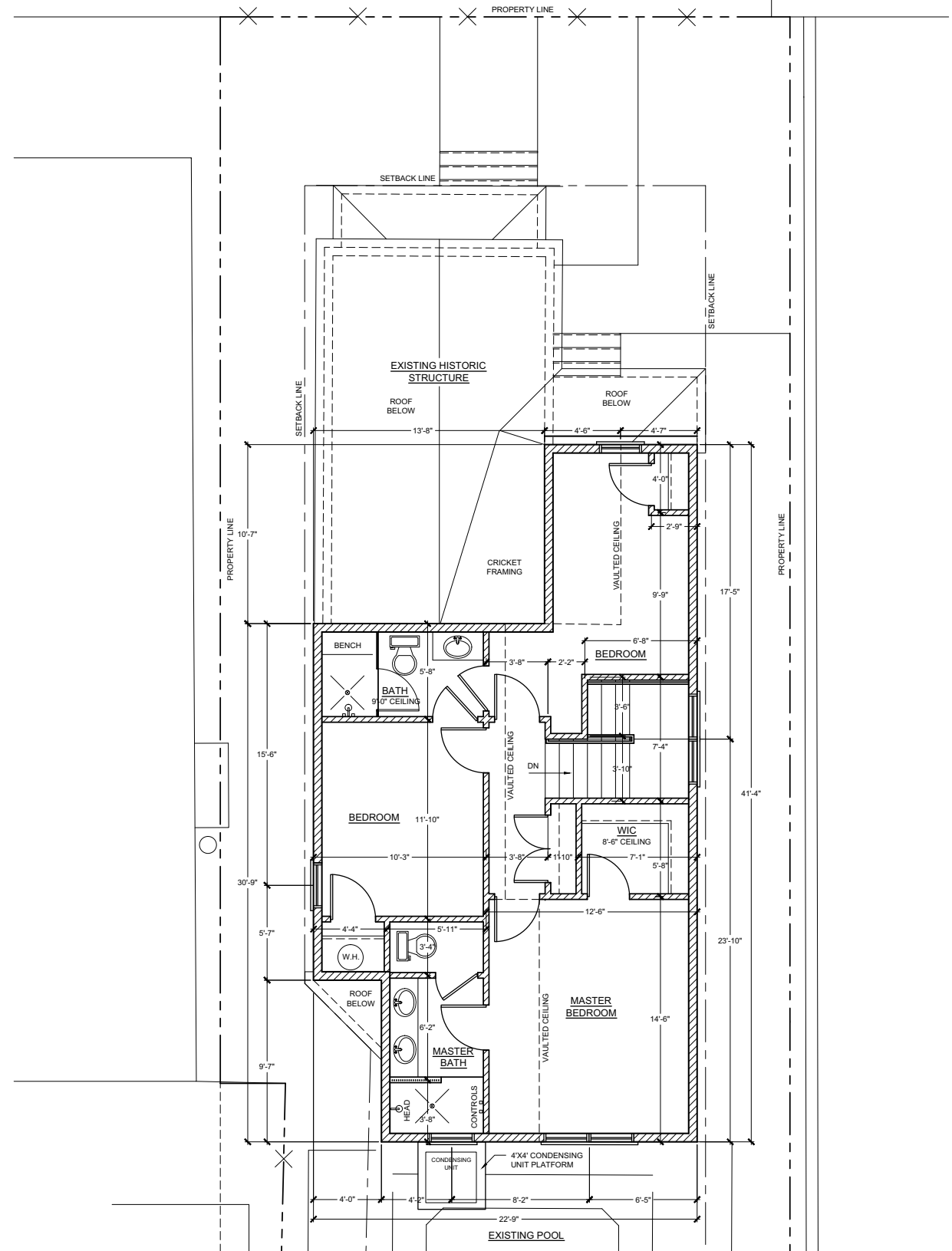
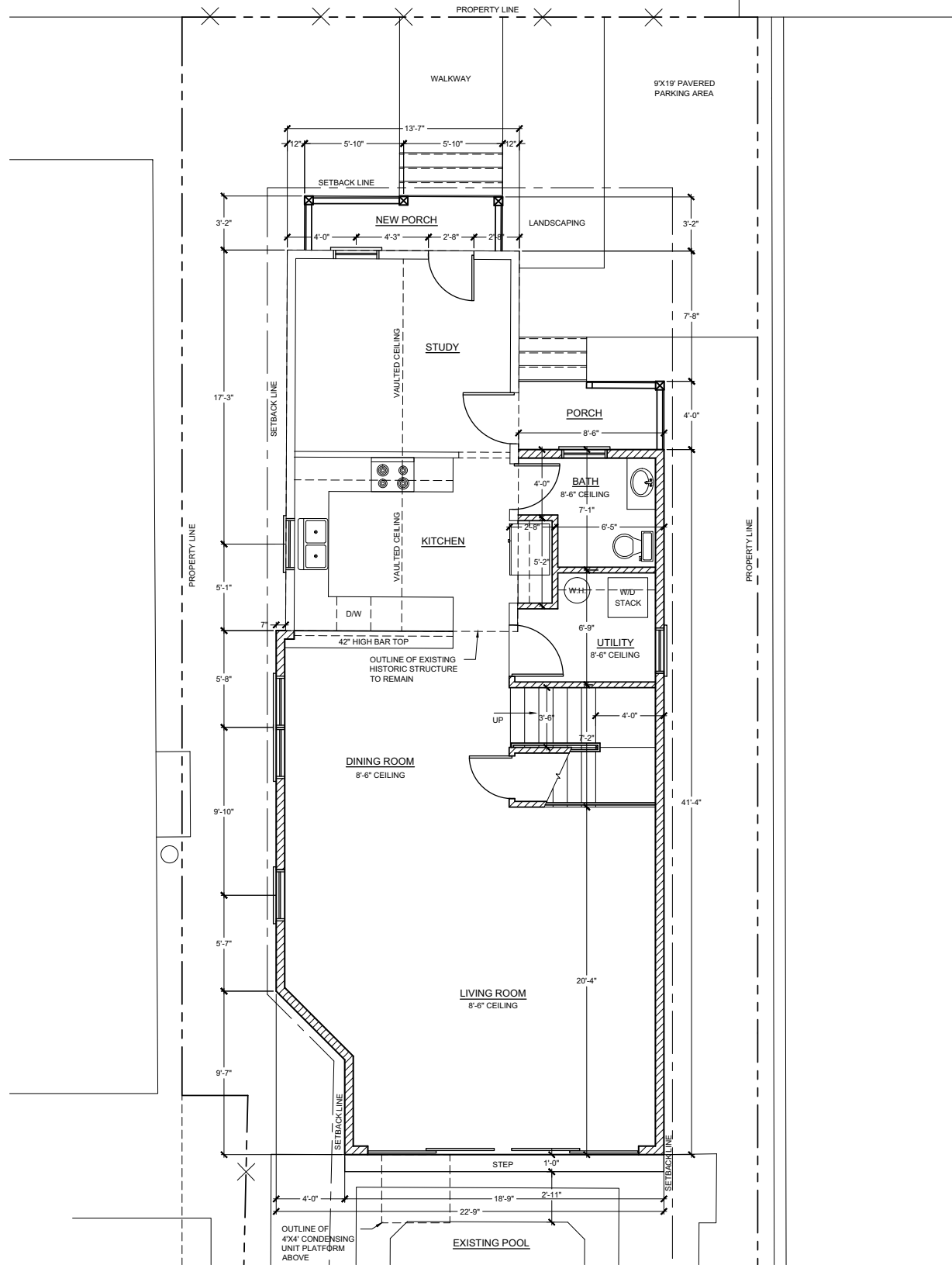
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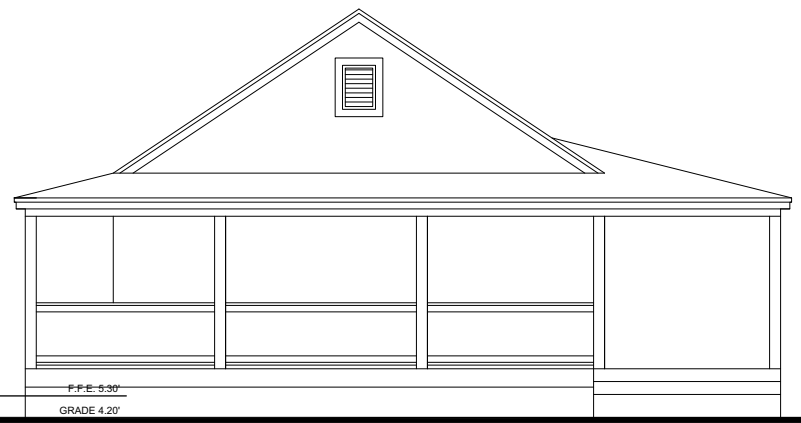
**HARRIS RESIDENCE**  
 914 JAMES STREET,  
 KEY WEST, FLORIDA

REVISIONS

JOB:  
 START DATE: 10/17/11  
 ISSUE DATE: 01/27/12  
 DRAWN: EKM

**A-1**

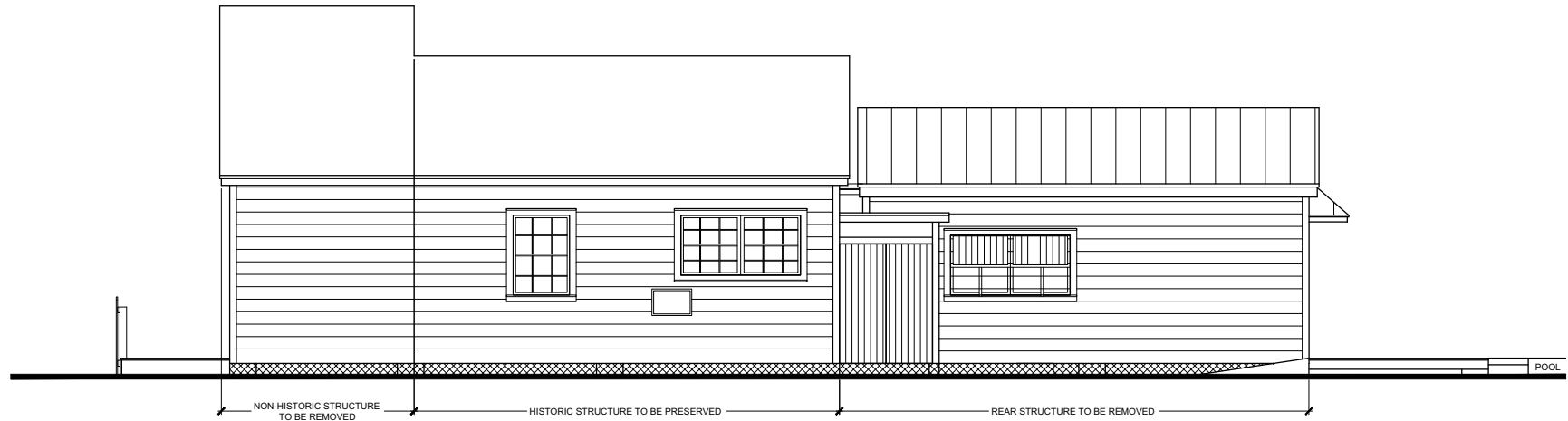




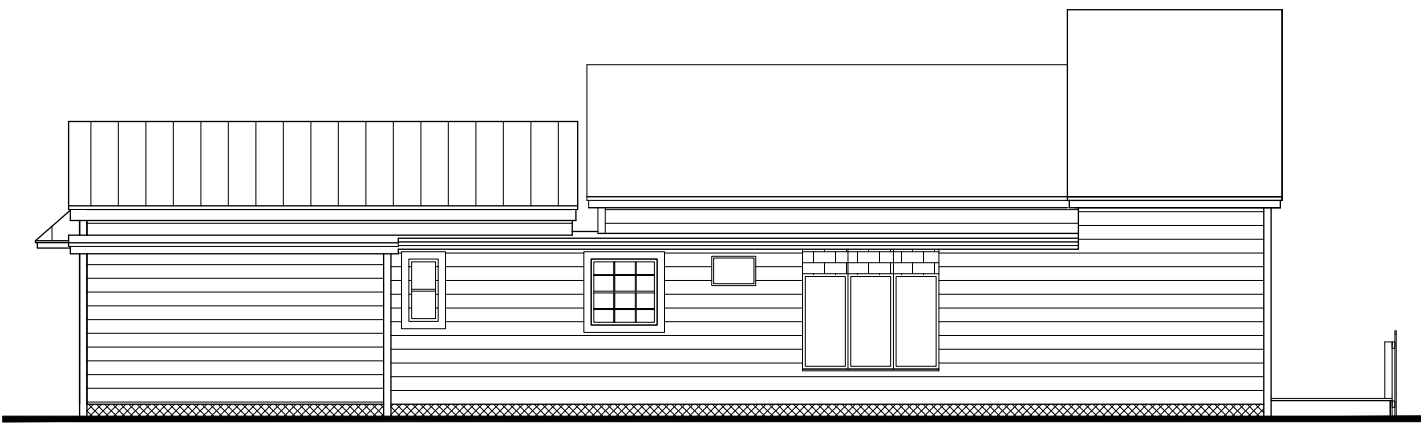
**EXISTING NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



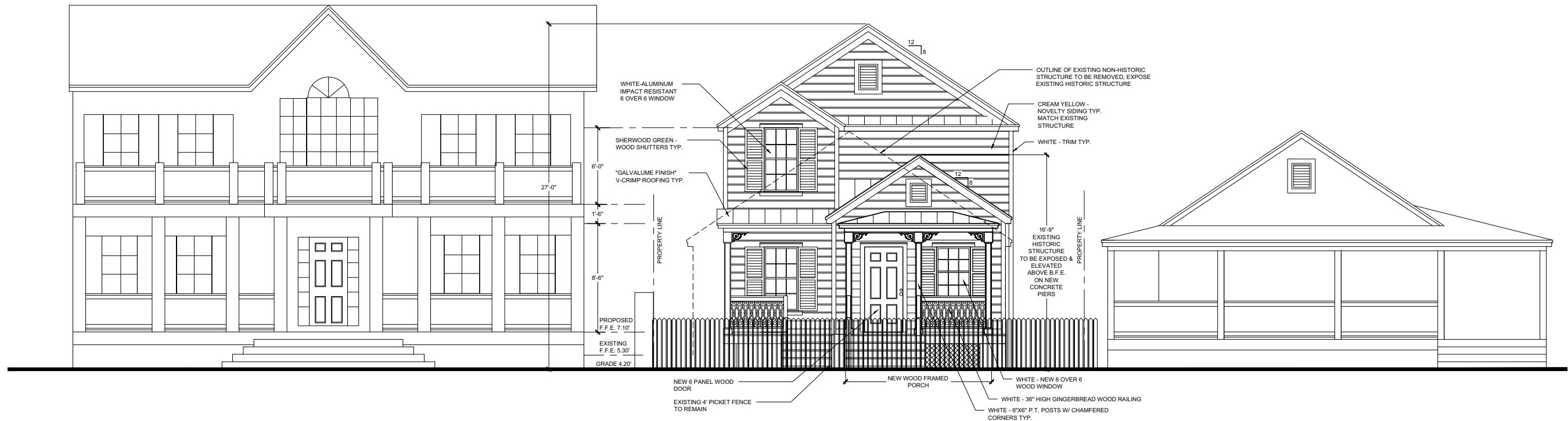
**EXISTING SOUTH ELEVATION**  
 SCALE: 1/4"=1'-0"



**EXISTING WEST ELEVATION**  
 SCALE: 1/4"=1'-0"



**EXISTING EAST ELEVATION**  
 SCALE: 1/4"=1'-0"

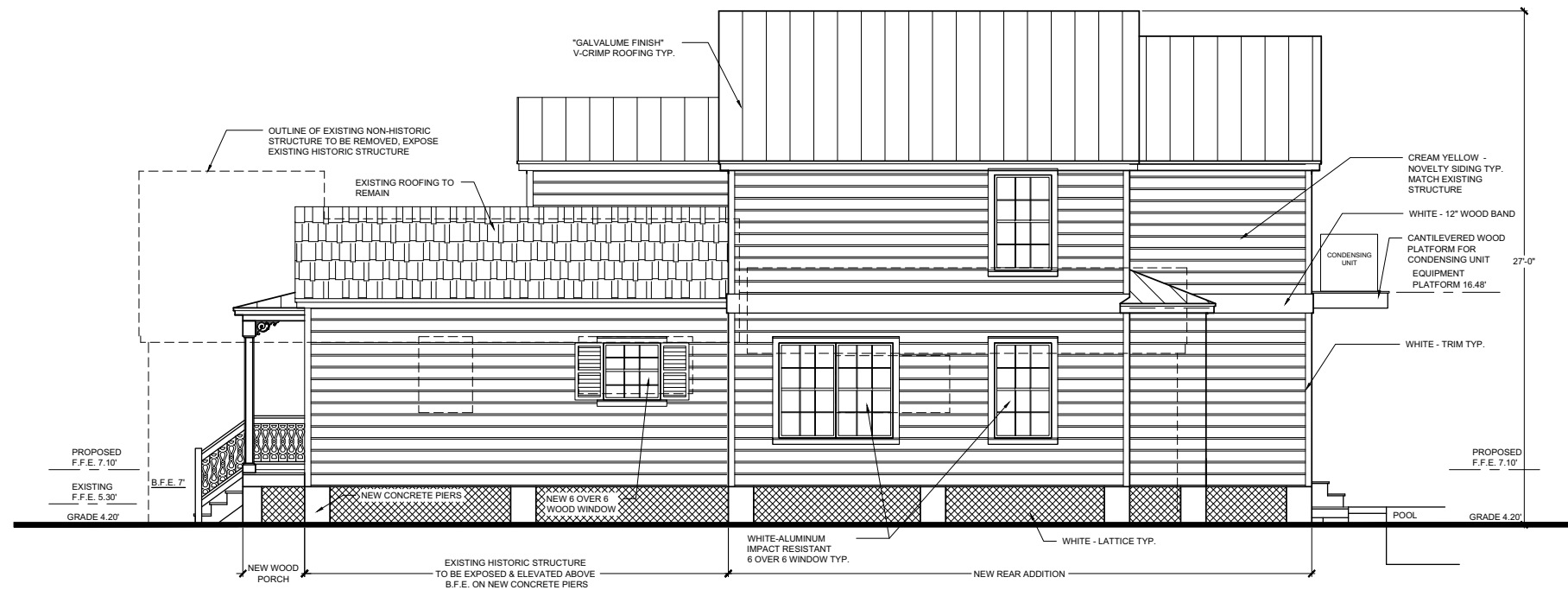


**PROPOSED NORTH ELEVATION**

SCALE: 1/4"=1'-0"

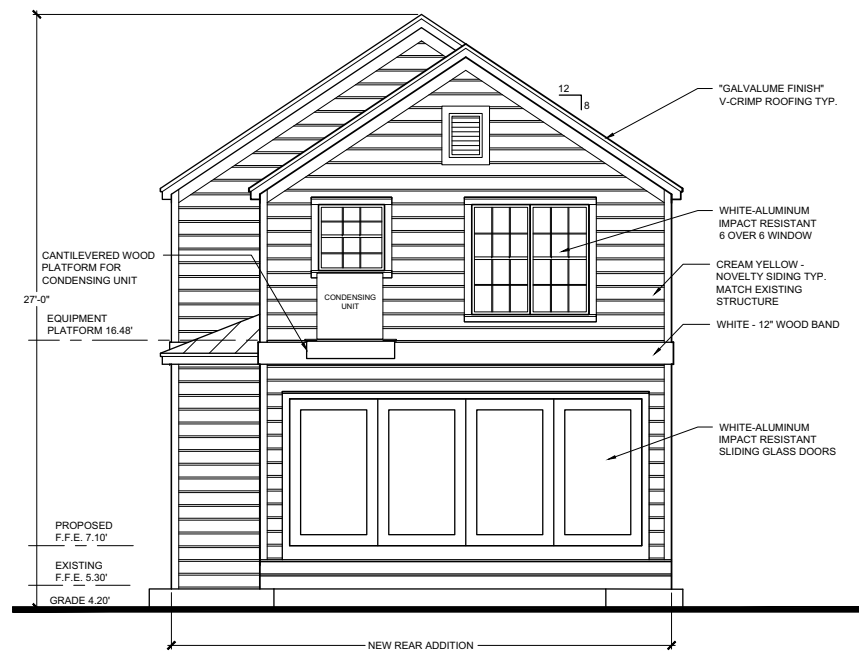


**NORTH ELEVATION STREET SCENE**



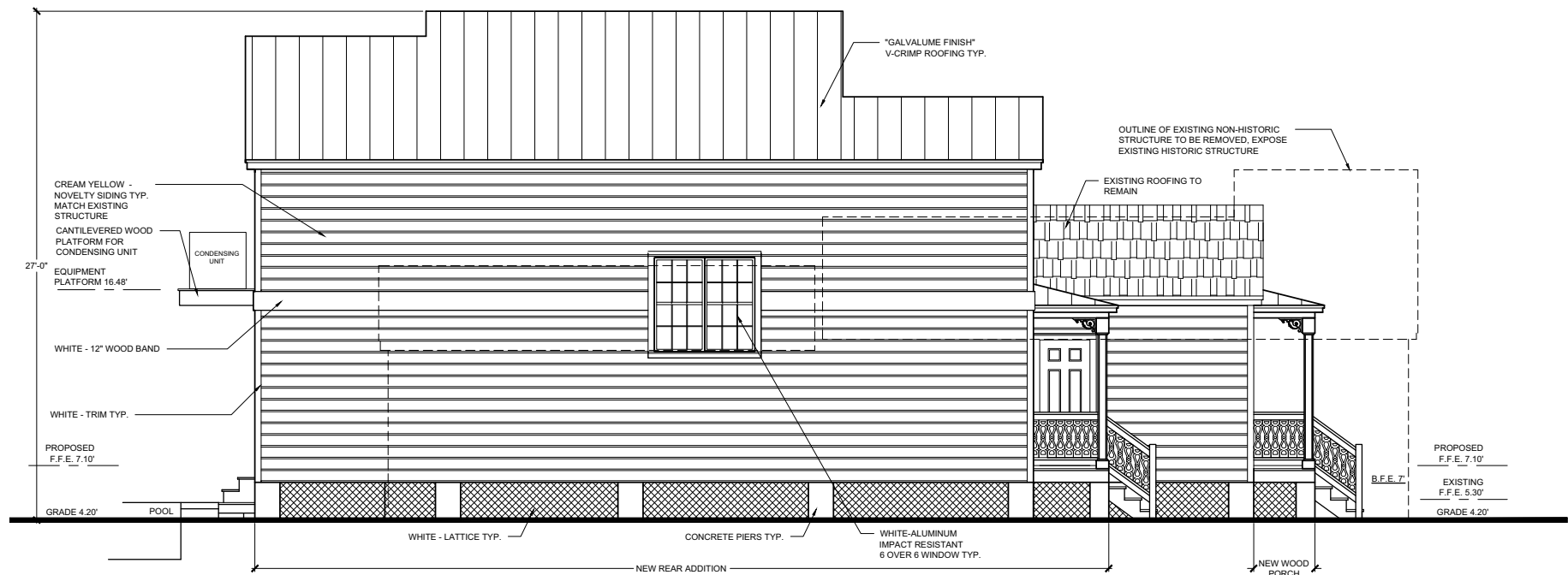
**PROPOSED WEST ELEVATION**

SCALE: 1/4"=1'-0"



**PROPOSED SOUTH ELEVATION**

SCALE: 1/4"=1'-0"



**PROPOSED EAST ELEVATION**

SCALE: 1/4"=1'-0"

REVISIONS

JOB:

START DATE: 10/17/11

ISSUE DATE: 01/27/12

DRAWN: EKM

# Noticing



# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., February 8, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RENOVATE EXISTING STRUCTURE TO RESTORE ITS ORIGINAL DESIGN AT FRONT OF PROPERTY. NEW BACK TWO STORY ADDITION. ELEVATE NEW AND EXISTING STRUCTURES ABOVE BASE FLOOD ELEVATION. DEMOLITION OF FRONT PART OF EXISTING HOUSE AND DEMOLITION OF EXISTING NON CONFORMING REAR ATTACHED STRUCTURE**

**#914 James Street**

**Applicant- Seatech of the Florida Keys- Application Number H12-01-157**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at [www.keywestcity.com](http://www.keywestcity.com) .

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**Property Appraiser  
Information**

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501  
Website tested on  
Internet Explorer

----- GIS Mapping requires Adobe Flash 10.3 or higher. -----

**Property Record View**

Alternate Key: 1002941 Parcel ID: 00002850-000000

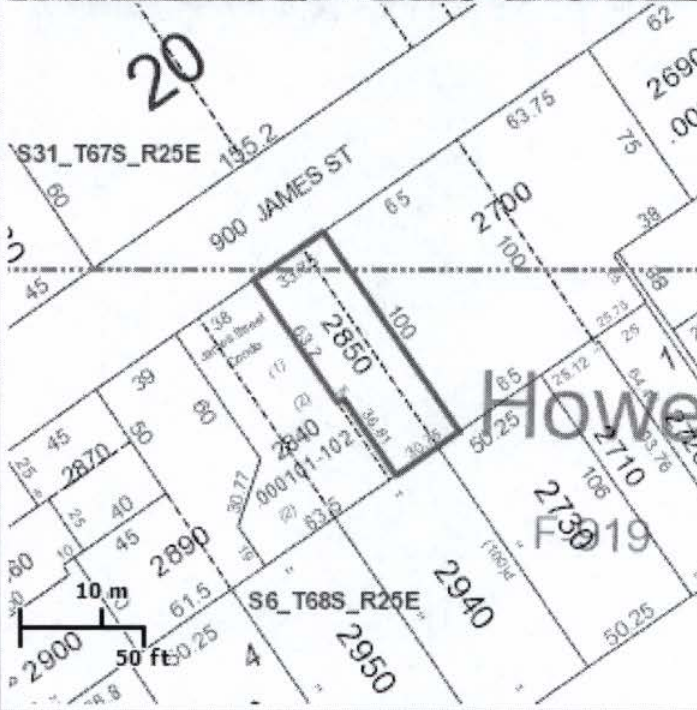
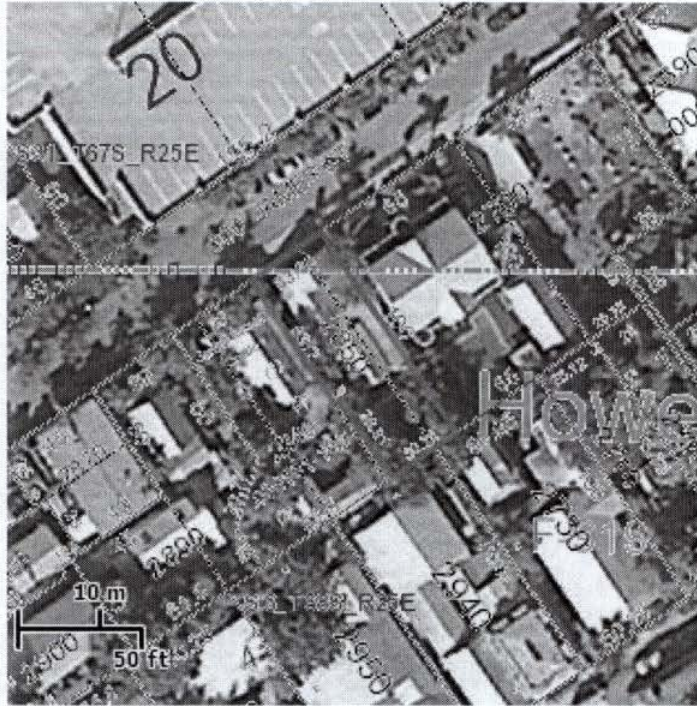
**Ownership Details**

**Mailing Address:**  
HARRIS DANIEL G  
12303 BLAIR RIDGE RD  
FAIRFAX, VA 22033-1820

**Property Details**

**PC Code:** 01 - SINGLE FAMILY  
**Millage Group:** 10KW  
**Affordable Housing:** No  
**Section-Township-Range:** 06-68-25  
**Property Location:** 914 JAMES ST KEY WEST  
**Legal Description:** KW PT LTS 1 AND 4 SQR 20 E1-161 E6-198 OR489-499/500 OR778-1183 OR842-1827 OR857-1921OR920-140 OR1237-54 OR1252-2348/50 OR1458-566 OR1681-1858 OR1681-1859/60 OR2081-1022/23C OR2081-1030/32 OR2081-1033/35 OR2549-89/91

**Parcel Map (Click to open dynamic parcel map)**



**Land Details**

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	34	100	3,249.00 SF

**Building Summary**

Number of Buildings: 1  
 Number of Commercial Buildings: 0

Total Living Area: 1177  
 Year Built: 1943

### Building 1 Details

Building Type R1  
 Effective Age 16  
 Year Built 1943  
 Functional Obs 0

Condition G  
 Perimeter 160  
 Special Arch 0  
 Economic Obs 0

Quality Grade 500  
 Depreciation % 19  
 Grnd Floor Area 1,177

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP

Roof Cover METAL

Foundation WD CONC PADS

Heat 1 NONE

Heat 2 NONE

Bedrooms 2

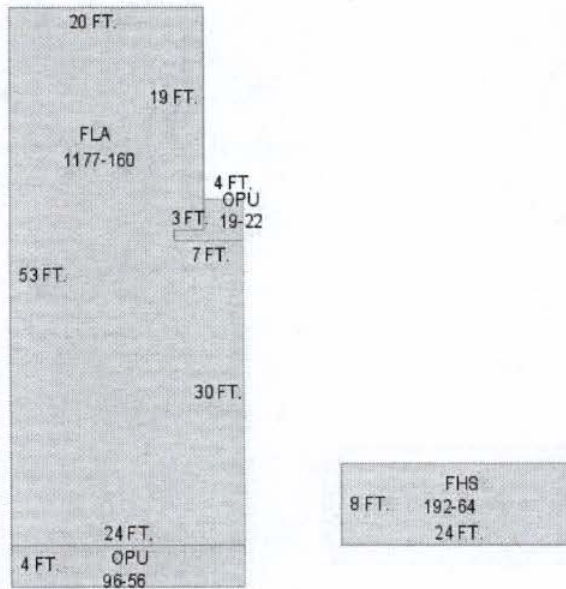
Heat Src 1 NONE

Heat Src 2 NONE

Extra Features:

2 Fix Bath 0  
 3 Fix Bath 1  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 0

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 1  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1943	N N	0.00	0.00	1,177
2	OPU		1	1990		0.00	0.00	96
3	OPU		1	1990		0.00	0.00	19
4	FHS	12:ABOVE AVERAGE WOOD	1	1990	N N	0.00	0.00	192

### Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	WD2:WOOD DECK	362 SF	0	0	1975	1976	2	40
2	PO2:LOW COST POOL	288 SF	24	12	1975	1976	5	40
3	AC2:WALL AIR COND	1 UT	0	0	1979	1980	2	20
4	FN2:FENCES	104 SF	26	4	1979	1980	5	30
5	FN2:FENCES	104 SF	26	4	1997	1998	2	30
6	AC2:WALL AIR COND	1 UT	0	0	1984	1985	1	20
7	AC2:WALL AIR COND	1 UT	0	0	1984	1985	2	20

### Appraiser Notes

2011-02-14 MLS \$450,000 2/2 POTENTIAL SHORT SALE. GREAT OLD TOWN LOCATION,LARGE POOL. 2 BEDROOM 2 BATH HOME WITH LARGE POOL. BUYER TO PAY %1 CONTRACT PRICE NEGOTIATION FEE TO SHORT SALE NEGOTIATOR. SELLER IS A LICENSED FLORIDA REAL ESTATE AGENT. EXCLUDED ARE 2 CHANDELIERS,BATHROOM SINK AND VANITY, OUTDOOR BATHTUB

### Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
9803531	02/25/1999	11/10/1999	1,000	Residential	NEW DECK
9803643	02/25/1999	11/10/1999	650	Residential	WOOD DECK
1 9800489	03/18/1998	12/22/1998	750	Residential	REPAINT FACADE
B933499	12/01/1993	11/01/1994	10,000	Residential	REPR.FLRS,WALL & CABINETS
06-1144	04/06/2006	08/14/2006	50,000	Residential	REPLACE SUBFLOOR AND TILE AND DRYWALL AND CABINETS

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	133,241	8,975	248,714	390,930	390,930	25,000	365,930
2010	164,739	8,986	311,319	485,044	485,044	25,000	460,044

2009	182,978	8,997	473,205	665,180	665,180	25,000	640,180
2008	168,114	9,012	568,575	745,701	699,441	25,000	674,441
2007	237,836	7,491	433,742	679,069	679,069	25,000	654,069
2006	443,407	7,502	308,655	759,564	670,883	25,000	645,883
2005	317,756	7,516	246,924	572,196	433,282	25,000	408,282
2004	180,681	7,527	232,454	420,662	420,662	25,000	395,662
2003	173,989	7,538	124,412	305,939	305,939	0	305,939
2002	168,821	7,553	88,398	264,772	264,772	0	264,772
2001	129,827	7,564	88,398	225,789	225,789	0	225,789
2000	129,827	9,299	66,299	205,425	205,425	0	205,425
1999	113,386	8,064	66,299	187,749	187,749	0	187,749
1998	83,081	6,508	66,299	155,888	155,888	0	155,888
1997	78,709	6,552	59,751	145,012	145,012	0	145,012
1996	59,031	5,115	61,594	125,741	125,741	0	125,741
1995	53,784	4,926	61,594	120,304	120,304	0	120,304
1994	44,537	4,566	61,594	110,697	110,697	0	110,697
1993	44,537	4,807	61,594	110,938	110,938	0	110,938
1992	44,537	4,969	61,594	111,100	111,100	0	111,100
1991	44,537	5,233	61,594	111,364	111,364	0	111,364
1990	102,656	0	41,344	144,000	144,000	0	144,000
1989	100,125	0	43,875	144,000	144,000	0	144,000
1988	41,954	0	33,750	75,704	75,704	0	75,704
1987	39,000	0	22,881	61,881	61,881	0	61,881
1986	39,196	0	22,113	61,309	61,309	0	61,309
1985	38,018	0	11,814	49,832	49,832	0	49,832
1984	35,739	0	11,814	47,553	47,553	0	47,553
1983	35,739	0	11,814	47,553	47,553	0	47,553
1982	36,392	0	11,814	48,206	48,206	0	48,206

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
12/30/2011	2549 / 89	366,250	WD	99
1/14/2005	2081 / 1033	889,000	WD	Q
3/2/2001	1681 / 1859	329,600	WD	Q
3/1/1997	1458 / 0566	198,000	WD	Q
11/1/1992	1237 / 54	135,000	WD	Q
6/1/1982	857 / 1921	45	WD	U
12/1/1978	778 / 1183	40,000	00	Q

This page has been visited 4,055 times.

Monroe County Property Appraiser  
Karl D. Borglum  
P.O. Box 1176  
Key West, FL 33041-1176