



Historic Architectural Review Commission Staff Report for Item 10

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: November 18, 2024

Applicant: Bender & Associates Architects, Haven Burkee, Architect

Application Number: H2024-0052

Address: 1225 Duval Street

Description of Work:

New construction of single-family residence and pool on vacant lot.

Site Facts:

The site under review has been vacant since 2010, after a fire destroyed a two-story frame house. The last house on the site was listed as a contributing resource and built between 1926 and 1948. The city recognizes two units on the site. The lot is located on an AE-7 flood zone.



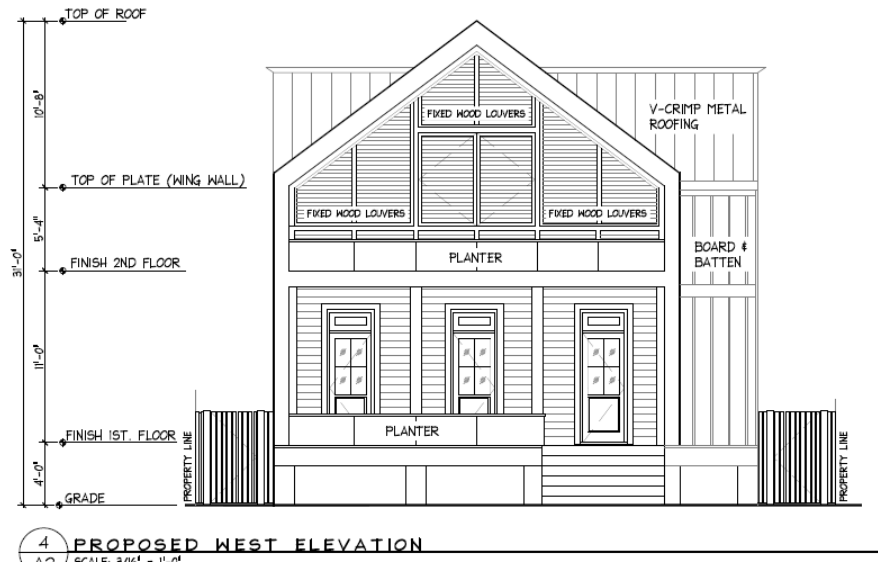
House in the lot before it was destroyed by fire circa 1965. Monroe County Library.

Guidelines Cited on Review:

- New Construction (pages 38a- 38q), specifically guidelines 1, 2, last two paragraphs of page 38-e, 6, 7, 8, 9, 11, 12, 13, 14, 16, 17, 18, 22, 23, 24 and 25.
- Deck, Patios, Hot Tubs and Pools (pages 39-a), specifically first paragraph and guideline 1.
- Fences and walls (pages 41-42), specifically guidelines 2, 3, and 4.
- Parking Areas, Landscaping and Open Space Environment (page 43), specifically guidelines 1 and 6.

Staff Analysis:

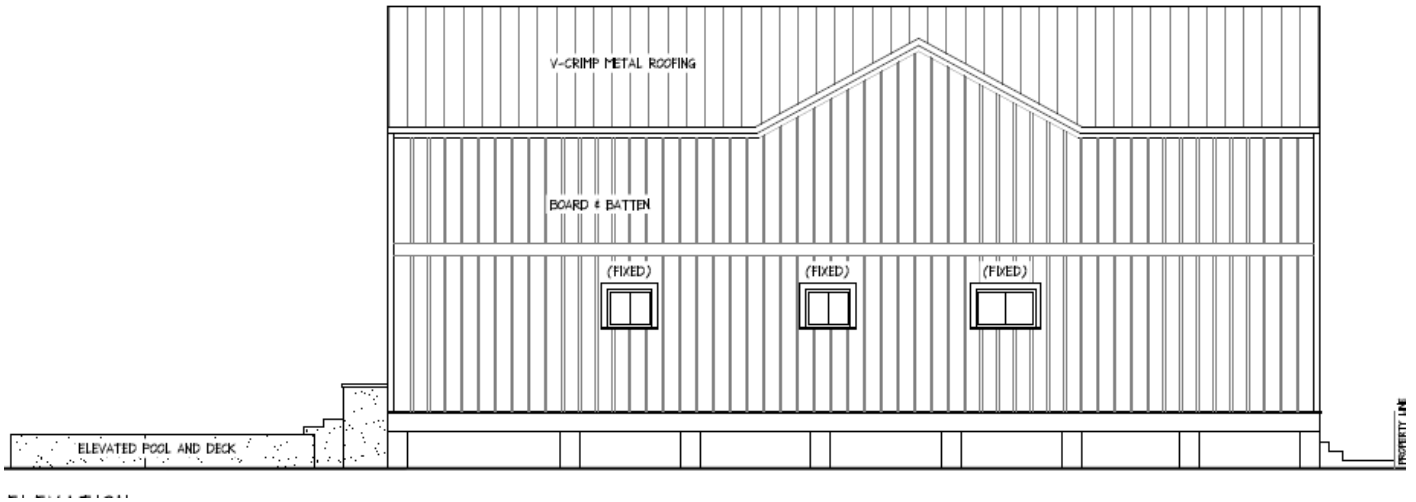
The Certificate of Appropriateness under review proposes the construction of a new frame house. The new building will be rectangular in footprint. The new structure will have a front gable roof with no eaves and projecting towards Duval Street. The maximum height of the building will be 31'-0" from ridge to grade, for which four of those feet are dedicated to meeting flood requirements. From the finish first floor to the finish second floor the height will be 11'-0" while the dimensions of the upper floor will be 5'-4" from finish second floor to top plate and from top plate to roof ridge 10'-8".



Proposed front elevation.

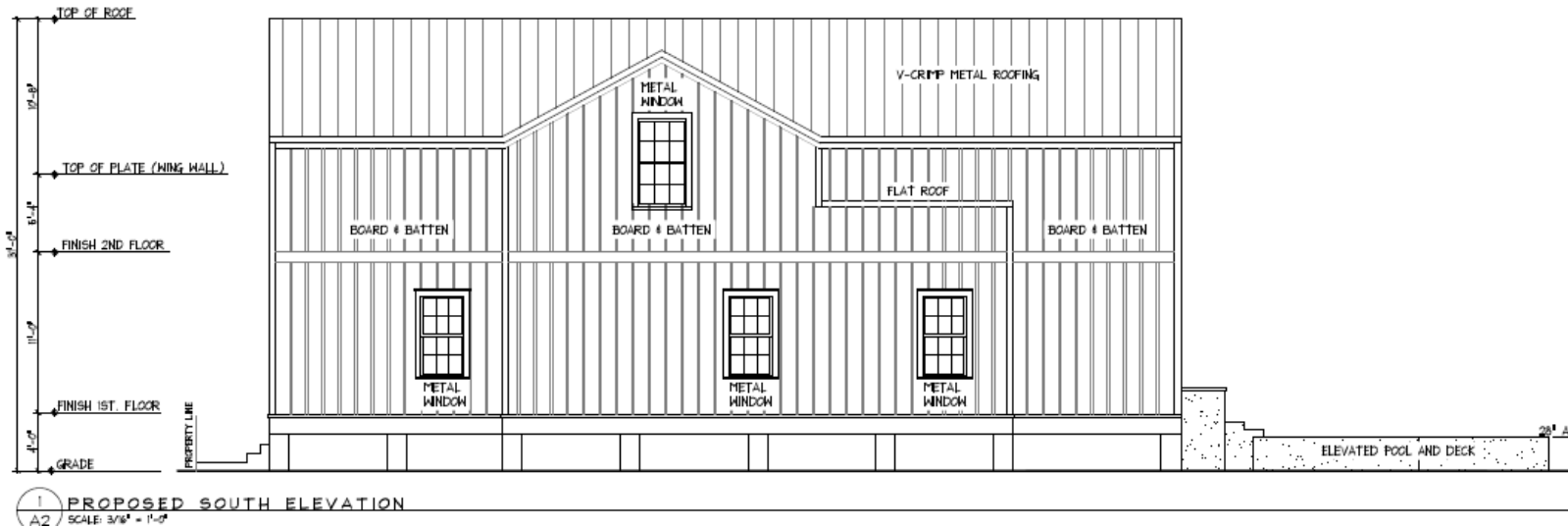
The front façade will have a three-bay front porch on the first floor and the front wall will have three doors. A linear planter is proposed upfront the wooden posts and horizontal cementous siding will finish the first-floor exterior wall. The porch on the first floor will be enclosed on both sides, for privacy. On the second floor of the front elevation will have a floor to ridge wood louvered treatment with two operable louvered doors located at the center. A linear planter of the width of the building is proposed on the second floor.

The north elevation will have three fixed windows on the first-floor elevation and siding will be cementous board and batten. A gable facing north, and flush to the north wall projects approximately 16 feet from the front wall. The gable ridge is lower than the principal roof ridge. The elevation will have a horizontal band below the finish second floor level.



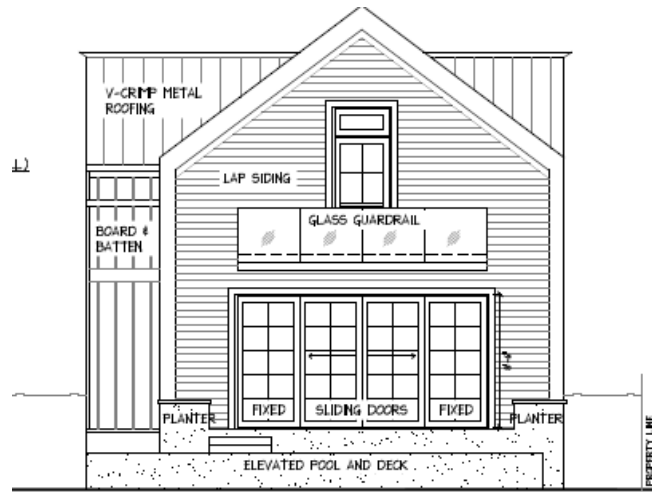
Proposed north elevation.

The south elevation will bump-out from the main volume as it will contain the interior staircase. This elevation will have the same treatment as the north elevation except for the fenestrations where the first floor will have three 6 over 6 metal windows and one 6 over six metal window centered in the gable end that faces south. A flat roof is proposed towards the rear portion of the bump-out.



Proposed south elevation.

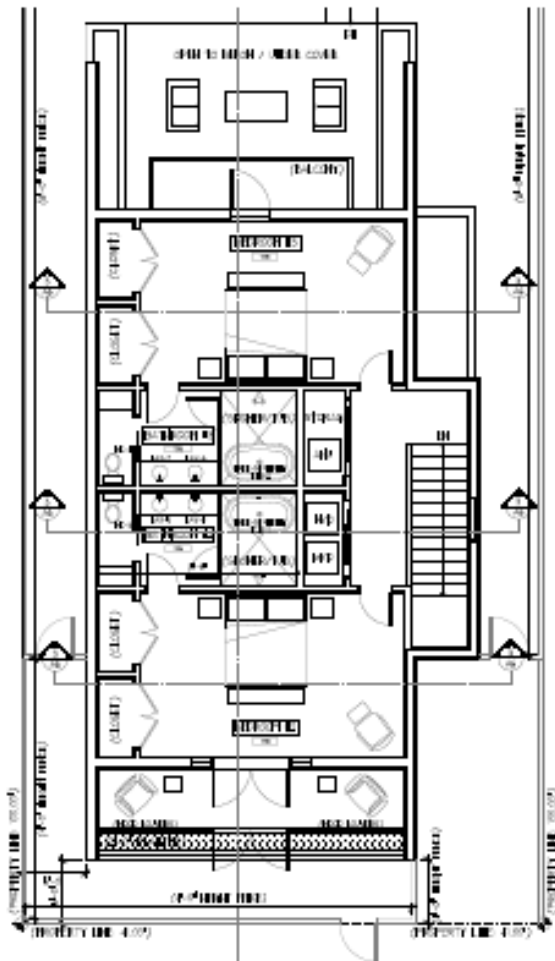
On the east elevation the rear wall will be setback approximately eleven feet from the frame of the main volume creating a vaulted double height space. The wall will have two sliding doors with a pair of fixed doors on the first floor and one door that will open to a porch with glass guardrails on the second floor. The wall will be finished with cementous horizontal siding.



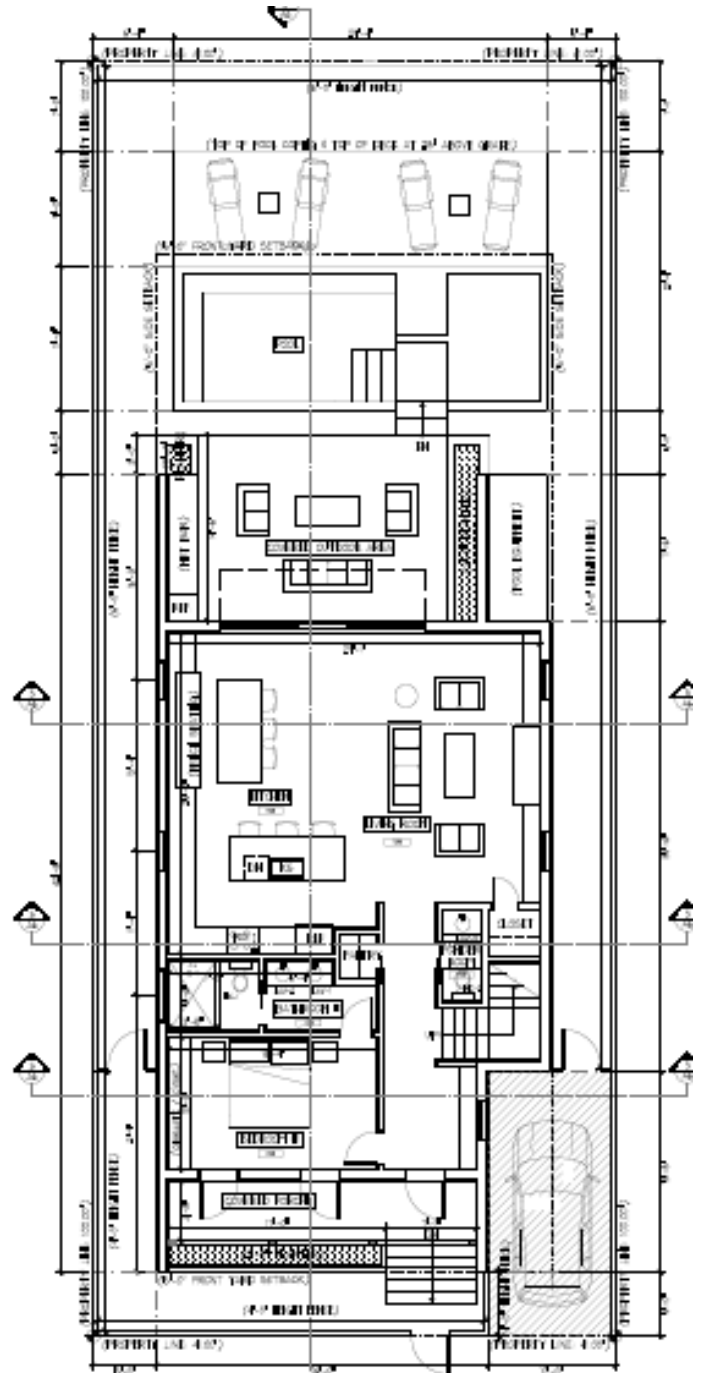
Proposed east elevation

The roof will be finished with 5 V-crimp metal panels. The plans also include a pool behind the house and planters within the rear-covered outdoor area. The pool equipment and all mechanical equipment will be located on the south side of the new proposed house. In addition, the plan includes a driveway on the southwest portion of the lot. Six-foot-tall gates are proposed on each side of the house.

PROJECT STATISTICS			
PROJECT NAME	1225 Duval Street - Item 10		
PROJECT NO.	10000000000000000000		
DATE	10/10/2010		
PROJECT TYPE	RENOVATION		
PROJECT LOCATION	ADDRESS	CITY	STATE
PROJECT OWNER	1225 Duval St	Jacksonville	FL
PROJECT ARCHITECT	1225 Duval St	Jacksonville	FL
PROJECT ENGINEER	1225 Duval St	Jacksonville	FL
PROJECT CONTRACTOR	1225 Duval St	Jacksonville	FL
PROJECT STATUS	1225 Duval St	Jacksonville	FL
PROJECT BUDGET	1225 Duval St	Jacksonville	FL
PROJECT VALUE	1225 Duval St	Jacksonville	FL



PROPOSED SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

Proposed first and second floor plans.

Consistency with Cited Guidelines:

The immediate adjacent context of the new house includes one and one and a half-story historic and traditional frame houses. The house that previously was destroyed by fire was a full two-story building with a building form and width to height ratio traditional to the historic district. The main character of the adjacent urban context has been kept as small scale traditional residential, opposite across the street, where the historic residential typology is for larger scale structures.

The established rhythm, proportions, scale and materials found within the adjacent context of residential typology makes this portion of Duval Street almost unique to the street itself. Staff have expressed their concerns to the applicant that the proposed treatment of creating a louvered “wall” over an open porch, which is solid on its sides, is a foreign treatment that cannot be found within the district. As such, staff opines that the new building will not be harmonious, but too different to the existing urban context. Staff are not concerned with a full two-story structure as an infill, if the proportions, mass, architectural vocabulary, rhythm, and building form are in keeping with the integrity of the context. A full two-story house was in existence for many decades on the site.



Proposed new house and adjacent context.

Staff are not opposed to contemporary architecture, as the guidelines promote it, but an established historic context requires an infill building that preserves its historic character. The applicant has reduced substantially the building height since the original submittal and has removed louvered “wall” over the first-floor front porch, as regulations require open front porches where the context includes buildings with front porches.

Staff find the pool, driveway and fences to follow cited regulations.

APPLICATION

RECEIVED
 OCT 28 2024
 BY: *TK*

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



City of Key West

1300 White Street
 Key West, Florida 33040

HARC COA # <i>HARC 2024-0052</i>	REVISION #	INITIAL & DATE <i>TK 10/28/2024</i>
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1225 Duval St	
NAME ON DEED:	Paul Murzyn	PHONE NUMBER
OWNER'S MAILING ADDRESS:		EMAIL 317-496-3732
APPLICANT NAME:	Bender & Associates Architects.	PHONE NUMBER 305-296-1347
APPLICANT'S ADDRESS:	410 Angela St.	EMAIL hburkee@benderarchitects.com
APPLICANT'S SIGNATURE:	<i>[Signature]</i>	DATE 10.10.2024

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ___ RELOCATION OF A STRUCTURE ___ ELEVATION OF A STRUCTURE ___
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO ___ INVOLVES A HISTORIC STRUCTURE: YES ___ NO
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ___ NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: New single family residence and pool. See attached drawings for materials, height, dimensions, square footage, etc.
MAIN BUILDING: Project is for one principal building only. See plans.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):
N/A.

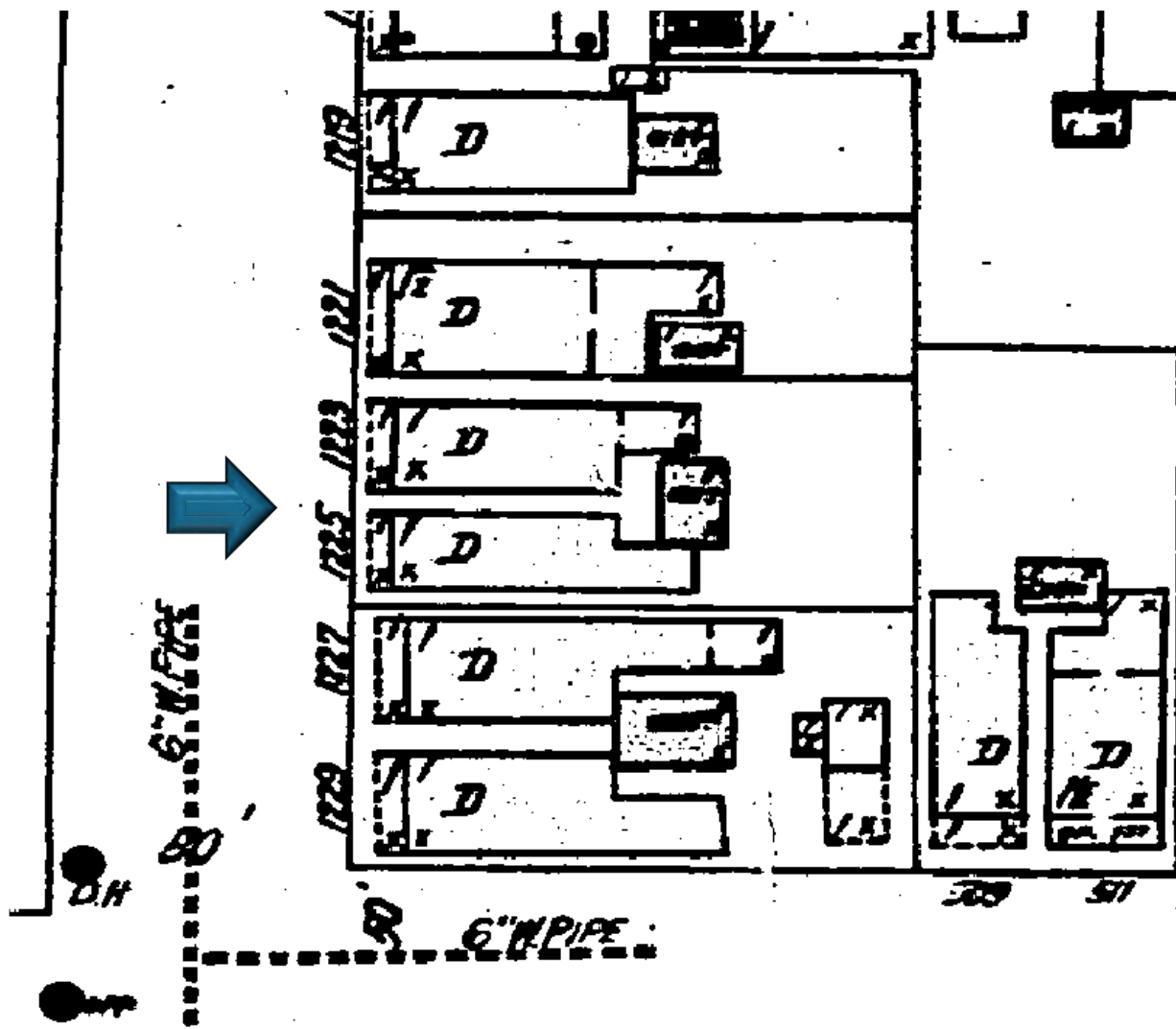
**APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV**

ACCESSORY STRUCTURE(S):	
N/A.	
PAVERS: None	FENCES: New perimeter fence at property line as shown on plans.
DECKS: New elevated deck as shown on plans.	PAINTING: All new paint to be white
SITE (INCLUDING GRADING, FILL, TREES, ETC): See plans.	POOLS (INCLUDING EQUIPMENT): See plans.
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER: N/A
AC & Pool equipment	

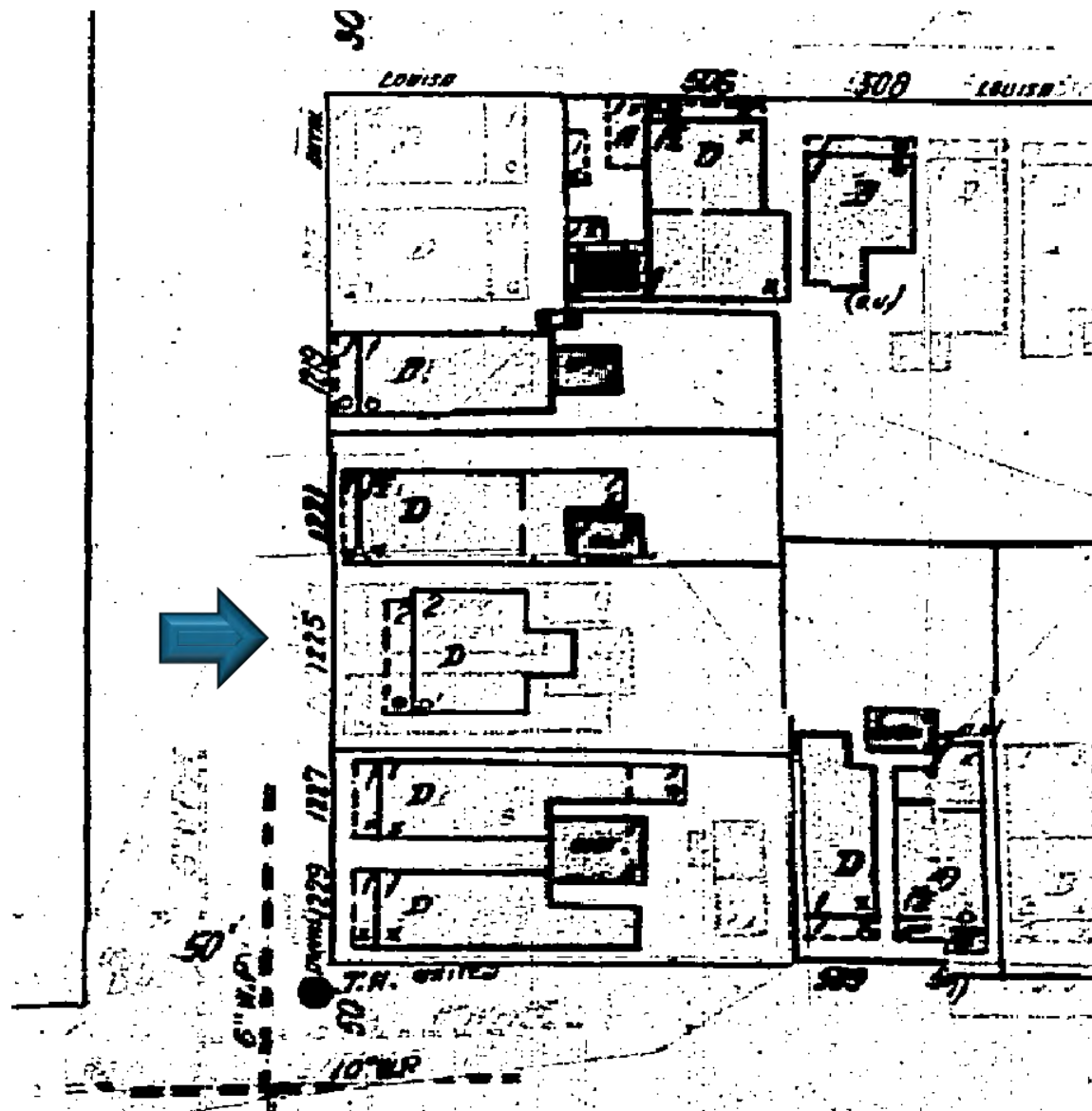
OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
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MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

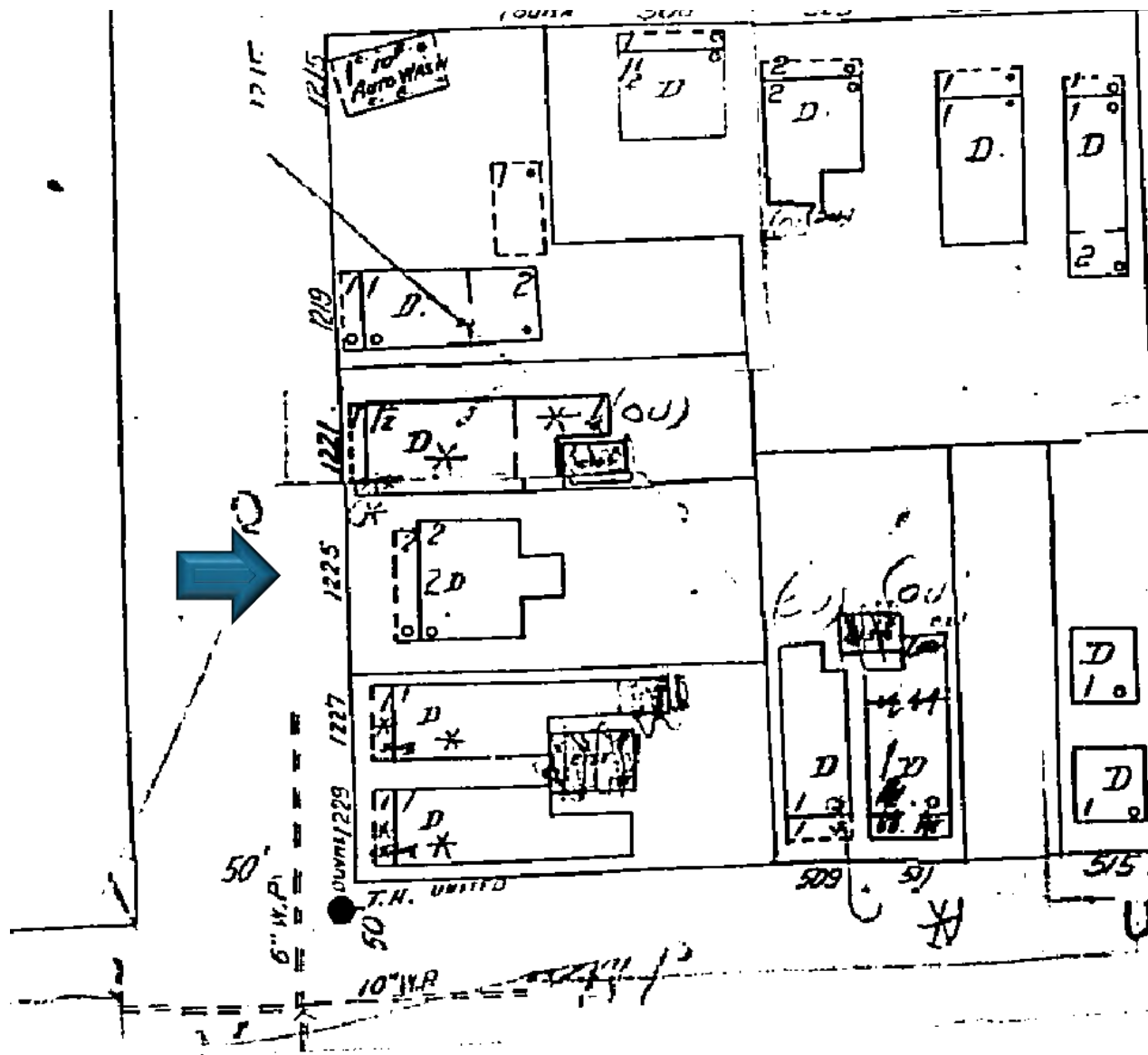
SANBORN MAPS



1926 Sanborn Map



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



1225 Duval Street circa 1965. Monroe County Library.



1221 Duval Street to the right side 1225 Duval Street circa 1965. Monroe County Library.



1225 Duval Street in 1975. Monroe County Library.



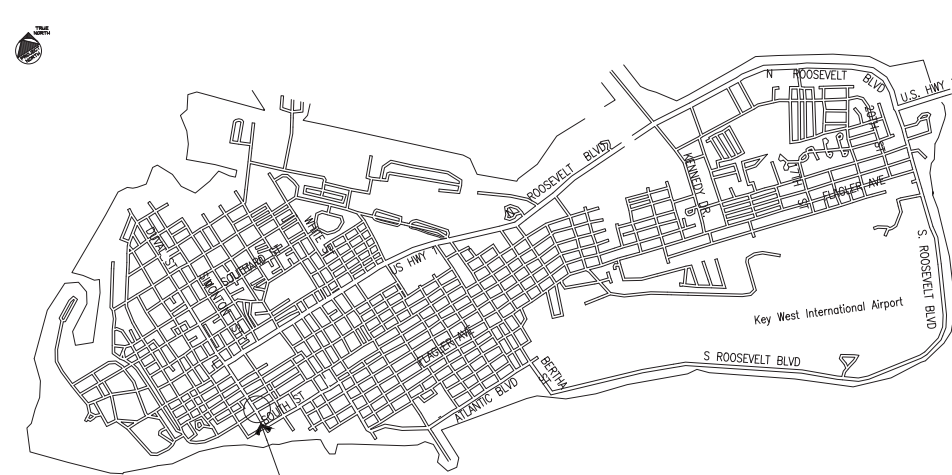
1225 Duval Street after a fire destroyed the historic house in January 2010.

PROPOSED DESIGN

1225 DUVAL STREET

Key West Florida 33040

HARC APPLICATION

SITE MAP - KEY WEST	PROJECT DIRECTORY	GENERAL NOTES																																																																																																																																																													
 <p style="text-align: center;">Not to Scale</p>	<p>PROJECT: 1225 DUVAL ST. ARCHITECT'S PROJECT NO.: 2405</p> <p>CONTACT: PAUL MURZYN Address: 1225 Duval St. Key West, Florida, 33040</p> <p>Tel: --- Email: ---</p> <p>ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 (305) 296-5847 Fax: (305) 296-2727 info@benderarchitects.com</p> <p>Architect: Haven Durfee Designer Associate: Ana Catalina Alvarez</p>	<ol style="list-style-type: none"> All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include: FLORIDA BUILDING CODE - Building 2003 EDITION FLORIDA BUILDING CODE - Plumbing 2003 EDITION FLORIDA BUILDING CODE - Electrical 2003 EDITION FLORIDA BUILDING CODE - Fuel Gas 2003 EDITION FLORIDA BUILDING CODE - Mechanical 2003 EDITION FLORIDA BUILDING CODE - Energy Conservation 2003 EDITION NATIONAL ELECTRICAL CODE 2003 EDITION NFPA 10 LIFE SAFETY CODE w/ Florida Modifications NFPA 101 LIFE SAFETY CODE w/ Florida Modifications NFPA 1033 EDITION This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement. Dimensions shall take precedence over notes. All new utilities shall be underground. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades. After completion of construction remove all debris and construction equipment. Restore site to original condition. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction. Furnish a reinspect on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes. 																																																																																																																																																													
<p>SITE LOCATION: 1225 DUVAL ST, KEY WEST, FL 33040</p>	<p>DESCRIPTION OF WORK:</p> <p>RENOVATIONS AND ADDITIONS TO EXISTING SINGLE FAMILY RESIDENCE AND NEW ACCESSORY STRUCTURE. ALL HISTORIC EXTERIOR WALLS ARE TO REMAIN.</p>	<p>FLORIDA ADMINISTRATIVE CODE</p> <p>61G-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be retained to designate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G-20, F.A.C. An architect or interior designer shall not use his seal or his name on any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 48L2095, 48L221 F5. Law Implemented 48L221, 48L225(1)(c), (d), (j), 48L225(1)(k), (l), (i) F5. History-New 2-29-79, Formerly 28B-16.03, Amended 7-27-89, Formerly 28B-16.03, Amended 11-21-94, 4-18-00.</p>																																																																																																																																																													
<p>ABBREVIATIONS</p> <table border="0"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>BLDG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BUR</td><td>BUILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CER</td><td>CERAMIC</td><td>PL</td><td>PROPERTY LINE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CNU</td><td>CONCRETE MASONRY UNIT</td><td>PNL</td><td>PANEL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>PT</td><td>POINT</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>R</td><td>RADIUS (OR) RISER</td></tr> <tr><td>DIAG</td><td>DIAGONAL</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DS</td><td>DOWNPOUT</td><td>REB</td><td>REBAR</td></tr> <tr><td>DTL</td><td>DETAIL</td><td>REFR</td><td>REFRIGERATOR</td></tr> <tr><td>DNR</td><td>DRAWER</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td>ELEC</td><td>ELECTRIC</td><td>T</td><td>TYPICAL</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>EKH</td><td>EXHAUST</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>FV</td><td>FIELD VERIFY</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>GI</td><td>GALVANIZED</td><td>WD</td><td>WOOD</td></tr> <tr><td>GL</td><td>GALVANIZED IRON</td><td>WHF</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HORZ</td><td>HORIZONTAL</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td>HDR</td><td>HARDWARE</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING & AIR CONDITIONING</td><td></td><td></td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr> <tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr> <tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr> <tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr> </table>	AB	ANCHOR BOLT	MIN	MINIMUM	ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE	A/C	AIR CONDITIONING	OA	OVERALL	BLDG	BLOCKING	OC	ON CENTER	BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CER	CERAMIC	PL	PROPERTY LINE	CL	CENTER LINE	PLAM	PLASTIC LAMINATE	CLG	CEILING	PLF	POUNDS PER LINEAL FOOT	CNU	CONCRETE MASONRY UNIT	PNL	PANEL	COL	COLUMN	PT	POINT	CONC	CONCRETE	PVC	POLYVINYLCHLORIDE	DBL	DOUBLE	R	RADIUS (OR) RISER	DIAG	DIAGONAL	R/A	RETURN AIR	DS	DOWNPOUT	REB	REBAR	DTL	DETAIL	REFR	REFRIGERATOR	DNR	DRAWER	SF	SQUARE FOOT (FEET)	EJ	EXPANSION JOINT	SS	STAINLESS STEEL	EL	ELEVATION	SPEC	SPECIFICATION	ELEC	ELECTRIC	T	TYPICAL	EQ	EQUAL	UNO	UNLESS NOTED OTHERWISE	EKH	EXHAUST	VCT	VINYL COMPOSITION TILE	FV	FIELD VERIFY	VERT	VERTICAL	GI	GALVANIZED	WD	WOOD	GL	GALVANIZED IRON	WHF	WELDED WIRE FABRIC	HORZ	HORIZONTAL	WH	WATER HEATER	HDR	HARDWARE	W/O	WITHOUT	HVAC	HEATING VENTILATING & AIR CONDITIONING			FOC	FACE OF CONCRETE			FOS	FACE OF STUD			FIN	FINISH			FE	FIRE EXTINGUISHER			FND	FOUNDATION			FTG	FOOTING			ID	INSIDE DIAMETER			MAX	MAXIMUM			<p>SYMBOLS LEGEND</p> <p>TRUE NORTH</p> <p>FLOOR PLANS, ETC. (THROUGHOUT DWGS.)</p> <p>SITE PLANS (ONCE ONLY)</p> <p>NORTH ARROWS</p> <p>BUILDING SECTION</p> <p>WALL SECTION</p> <p>CUT DETAIL INDICATOR</p> <p>BLOTT-UP DETAIL INDICATOR</p> <p>CROSS SECTION</p> <p>SECTION & DETAIL DRWG. TITLES</p> <p>WALL ELEVATION INDICATOR</p> <p>ROOM NUMBER INDICATOR</p> <p>DOOR OPENING INDICATOR</p> <p>WINDOW INDICATOR</p> <p>PARTITION/WALL TYPE INDICATOR</p>	<p>MATERIAL DESIGNATIONS</p> <p>CONC. STUCCO, PLASTER IN ELEV.; POURED CONC. IN PLAN</p> <p>METAL IN ELEVATION</p> <p>METAL IN SECTION</p> <p>FINISH WOOD IN ELEV. & IN SECTION</p> <p>DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p>WOOD BLOCKING IN SECTION (DISCONTINUOUS)</p> <p>GYPSON WALL BOARD IN SECTION (LARGE SCALE)</p> <p>EARTH, NATURAL SUBSTRATE</p> <p>GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p>FIBERGLASS BATT INSULATION</p> <p>RIGID INSULATION</p> <p>PARTITIONS & WALLS</p> <p>CONCRETE MASONRY UNITS</p> <p>POURED CONCRETE</p> <p>WOOD FRAME</p> <p>METAL STUDS</p> <p>EXISTING CONSTRUCTION TO REMAIN</p> <p>EXISTING CONSTRUCTION TO BE DEMOLISHED</p>	<p>SHEET INDEX</p> <table border="1"> <tr><td>1</td><td>COVER</td></tr> <tr><td>2</td><td>SURVEY</td></tr> <tr><td>3</td><td>PROPOSED SITE PLAN, FIRST AND SECOND FLOOR</td></tr> <tr><td>4</td><td>PROPOSED ELEVATIONS</td></tr> <tr><td>5</td><td>PROPOSED SITE ELEVATION</td></tr> <tr><td>6</td><td>EXISTING SITE PLANS</td></tr> </table>	1	COVER	2	SURVEY	3	PROPOSED SITE PLAN, FIRST AND SECOND FLOOR	4	PROPOSED ELEVATIONS	5	PROPOSED SITE ELEVATION	6	EXISTING SITE PLANS
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EJ	EXPANSION JOINT	SS	STAINLESS STEEL																																																																																																																																																												
EL	ELEVATION	SPEC	SPECIFICATION																																																																																																																																																												
ELEC	ELECTRIC	T	TYPICAL																																																																																																																																																												
EQ	EQUAL	UNO	UNLESS NOTED OTHERWISE																																																																																																																																																												
EKH	EXHAUST	VCT	VINYL COMPOSITION TILE																																																																																																																																																												
FV	FIELD VERIFY	VERT	VERTICAL																																																																																																																																																												
GI	GALVANIZED	WD	WOOD																																																																																																																																																												
GL	GALVANIZED IRON	WHF	WELDED WIRE FABRIC																																																																																																																																																												
HORZ	HORIZONTAL	WH	WATER HEATER																																																																																																																																																												
HDR	HARDWARE	W/O	WITHOUT																																																																																																																																																												
HVAC	HEATING VENTILATING & AIR CONDITIONING																																																																																																																																																														
FOC	FACE OF CONCRETE																																																																																																																																																														
FOS	FACE OF STUD																																																																																																																																																														
FIN	FINISH																																																																																																																																																														
FE	FIRE EXTINGUISHER																																																																																																																																																														
FND	FOUNDATION																																																																																																																																																														
FTG	FOOTING																																																																																																																																																														
ID	INSIDE DIAMETER																																																																																																																																																														
MAX	MAXIMUM																																																																																																																																																														
1	COVER																																																																																																																																																														
2	SURVEY																																																																																																																																																														
3	PROPOSED SITE PLAN, FIRST AND SECOND FLOOR																																																																																																																																																														
4	PROPOSED ELEVATIONS																																																																																																																																																														
5	PROPOSED SITE ELEVATION																																																																																																																																																														
6	EXISTING SITE PLANS																																																																																																																																																														

1225 DUVAL STREET
KEY WEST, FLORIDA

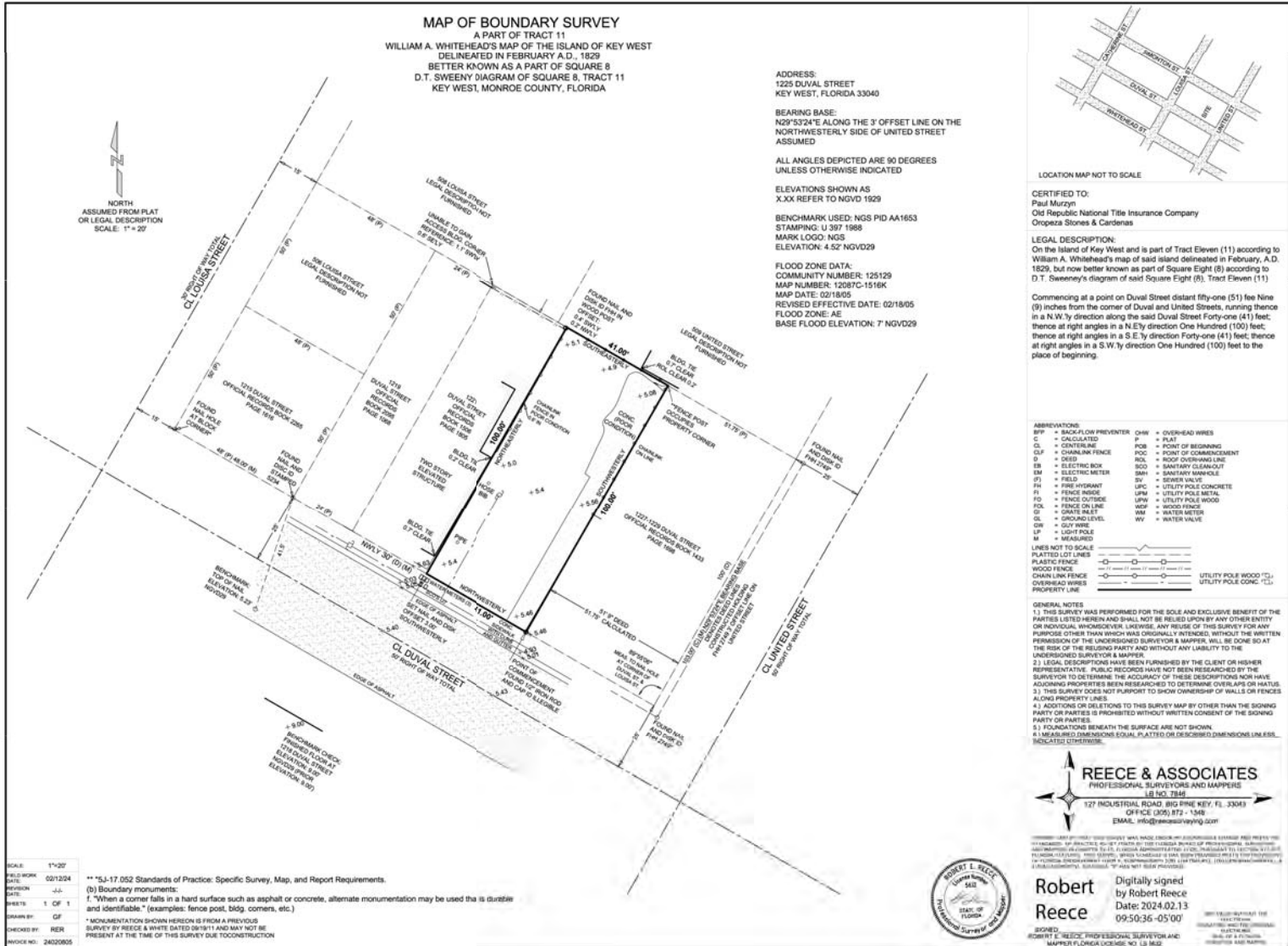
410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License ALC0002922

Bender & Associates
ARCHITECTS
P.A.

Project No.: 2405
SITE MAP KEY WEST
PROJECT DIRECTORY
GENERAL NOTES
SYMBOLS LEGEND
SHEET INDEX

Date: 1/15/2014

C



SCALE: 1" = 20'
SURVEY SCALE: N.T.S.

1225 DUVAL STREET
KEY WEST, FLORIDA

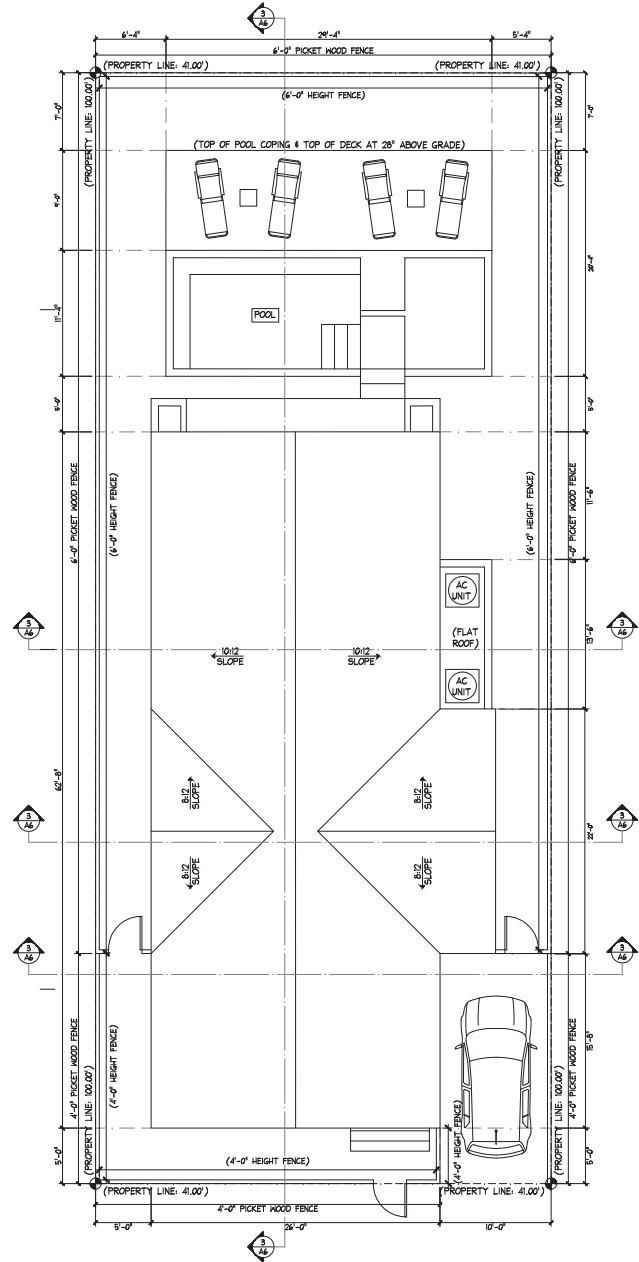
410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License ALC000222

Bender & Associates
ARCHITECTS
P.A.

Project No.: 2405

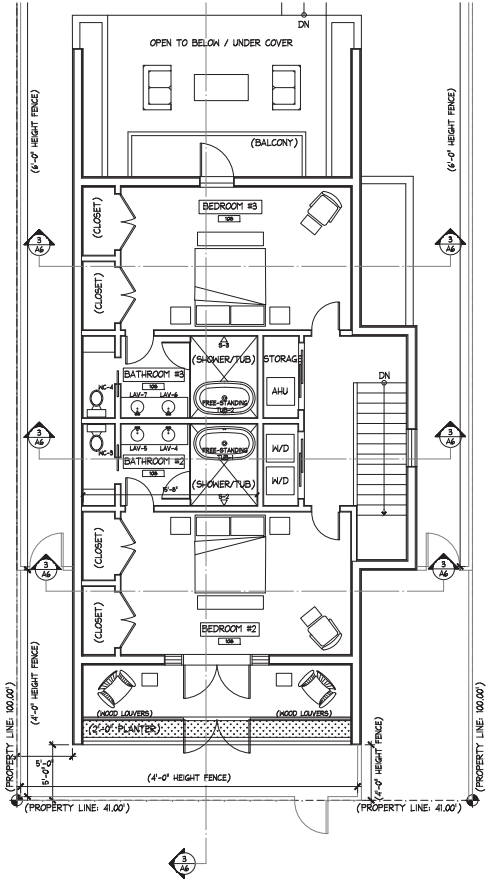
Date: 1/9/2024

S

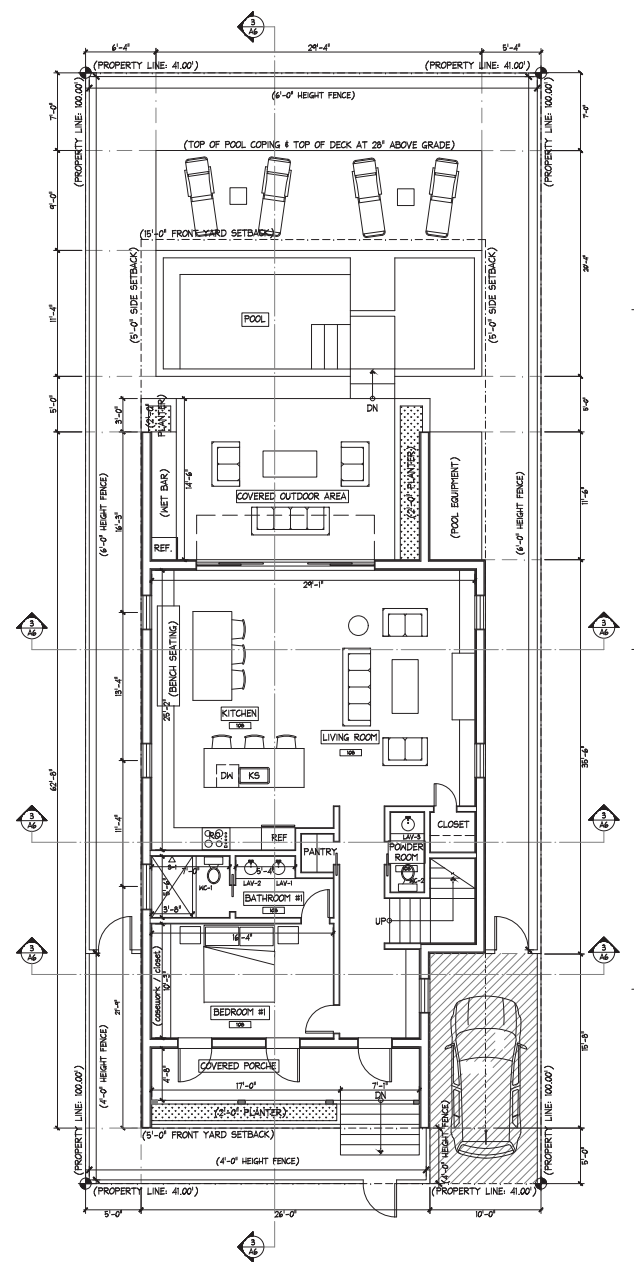


3 PROPOSED ROOF PLAN
A1 SCALE 3/8" = 1'-0"

PROJECT STATISTICS			
FEMA FLOOD ZONE	ZONE 'AE-7' NGVD29 / AE-7 NAVD83		
ZONING DESIGNATION	HRCS		
LOT SIZE	4,200 S.F.		
OCCUPANCY	SINGLE FAMILY		
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE	2,060 S.F. MAX.	N/A	1,807 S.F.
IMPERVIOUS SURFACE	2,460 S.F. MAX.	N/A	858 S.F.
4,000 S.F. X 60'			
FRONT SETBACK (DUAL)	5'-0" MIN.	N/A	5'-0"
FRONT SETBACK (NORTH)	5'-0" MIN.	N/A	5'-0"
FRONT SETBACK (SOUTH)	5'-0" MIN.	N/A	5'-0"
REAR SETBACK (EAST)	15'-0" MIN.	N/A	32'-4"
REAR SETBACK (WEST)	15'-0" MIN.	N/A	33'-4"
MAXIMUM HEIGHT (TOWER OF ROAD)	35'-0" MAX.	N/A	
OPEN SPACE (35%)	1,485 S.F. MIN.	N/A	1,485 S.F.



2 PROPOSED SECOND FLOOR PLAN
A1 SCALE 3/8" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
A1 SCALE 3/8" = 1'-0"

1225 DUVAL STREET
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33940
Telephone: (305) 598-1547
Facsimile: (305) 296-2727
Florida License: ALC0002922

Bender & Associates
ARCHITECTS
P.A.

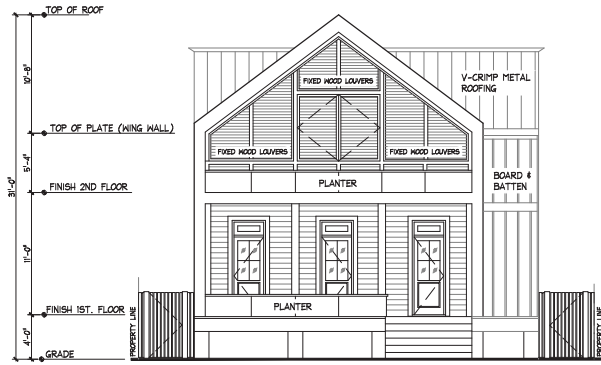
Project No. 245

Date 1/9/2014

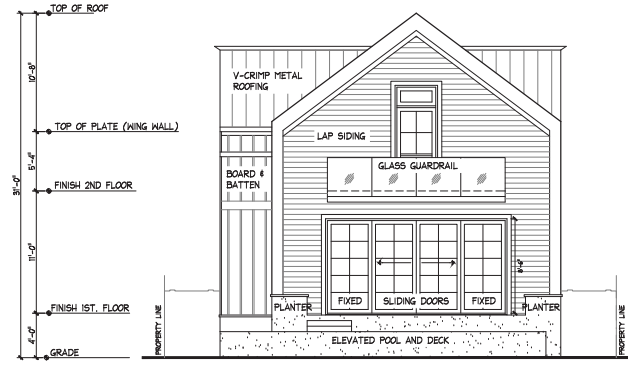
A1

GENERAL ELEVATION NOTES

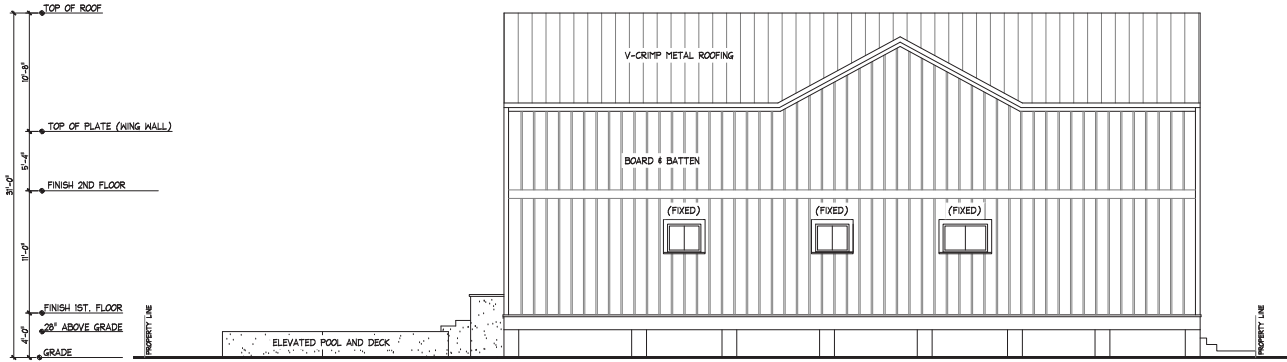
1. ALL WINDOWS AND DOORS ARE TO BE IMPACT RESISTANCE ALUMINUM DOORS AND WINDOWS, PAINTED WHITE.
2. ALL EXTERIOR WALLS ARE TO BE CEMENTITIOUS BOARD AND BATTEN PAINTED WHITE, UNLESS NOTED OTHERWISE. EXTERIOR SURFACES (WALL & CEILING) AT FRONT AND REAR ARE TO BE WOOD TRG.
3. ALL SLOPED ROOFS ARE TO RECEIVE METAL 5V CRIMP GALVALUME AND ALL FLAT ROOFS ARE TO RECEIVE WHITE MEMBRANE ROOFING (TPO OR EQUIVALENT).
4. ALL TRIM AT ALL LOCATIONS IS TO BE PAINTED COMPOSITE TRIM.
5. ALL PLANTERS ARE TO BE STUCCO.
6. LOUVERS AT FRONT FACADE ARE TO BE POWDER COATED ALUMINUM.
7. GUARDRAIL AT SECOND FLOOR REAR BALCONY IS TO BE GLASS.



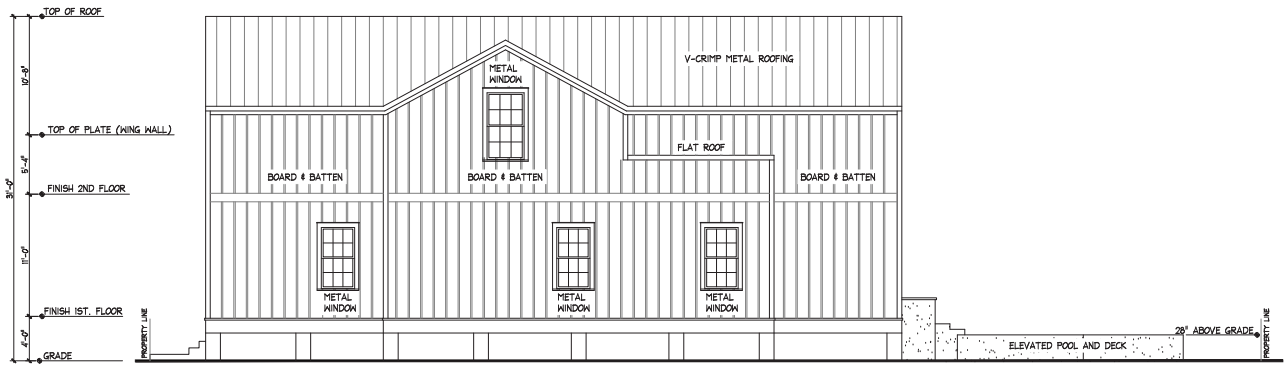
4
A2 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



3
A2 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"



2
A2 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1
A2 PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

1225 DUVAL STREET
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ARCHITECTS
P.A.

Project No. 245

Date 1/9/2024

A2



5 PHOTOGRAPH OF PREVIOUS HOUSE (C1975)
A3 / SCALE: N.T.S.



4 SITE ELEVATION ILLUSTRATING PREVIOUS STRUCTURE W/ PROPOSED BUILDING OVERLAY AT CURRENT FLOOD ELEVATION.
A3 / SCALE: 3/16" = 1'-0"



3 PHOTOGRAPH OF PREVIOUS HOUSE (C1965)
A3 / SCALE: N.T.S.



2 SITE ELEVATION ILLUSTRATING PREVIOUS STRUCTURE W/ PROPOSED BUILDING OVERLAY AT PROPOSED FLOOD ELEVATION.
A3 / SCALE: 3/16" = 1'-0"



1 PROPOSED SITE ELEVATION
A3 / SCALE: 3/16" = 1'-0"

1225 DUVAL STREET
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33640
Telephone (305) 296-1347
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Bender & Associates
ARCHITECTS
P.A.

Project No. 245

Date 1/8/2024

A3



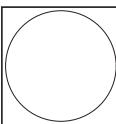
1 DUVAL STREET VIEW SHOWN PROJECT SITE
A4 SCALE: 1/4"=1'-0"



1 DUVAL STREET - OPPOSITE VIEW OF PROJECT SITE
A4 SCALE: 1/4"=1'-0"



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Bender & Associates
ARCHITECTS
p.c.

Project No. 245



Date 1/8/2024

A4

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., November 18, 2024, at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99. If you wish to participate virtually, please contact HARC staff at 305-809-3973. The purpose of the hearing will be to consider a request for:

NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE AND POOL ON VACANT LOT.

#1225 DUVAL STREET

Applicant –Bender & Associates Architects Application #H2024-0052

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared _____
ANA ALVAREZ _____, who, first being duly sworn, on oath,
depone and says that the following statements are true and correct to the best of
his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
1225 DUVAL ST. _____ on the
11 day of November, 20 24.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on November 18th, 20 24.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2024-0052.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]
Date: 11/11/2024
Address: 410 Angeld
City: Key West
State, Zip: FL 32040

The forgoing instrument was acknowledged before me on this 11th day of NOVEMBER, 20 24.

By (Print name of Affiant) ANA ALVAREZ who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: *[Signature]*
Print Name: BERT BENDER

Notary Public - State of Florida (seal)
My Commission Expires: _____



**PRIVATE
PROPERTY**

**NO
TRESPASSING**

VIOLATORS WILL
BE PROSECUTED

**Public
Meeting
Notice**

The Board of Planning and Zoning Ordinance will hold a public meeting on **September 28, 2016**, at **10:00 AM** at the **City of Jacksonville, Jacksonville, Florida**, to discuss the proposed **NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE AND POOL ON VACANT LOT, 8121 182ND STREET**.



VIP
GEMMA'S

PRIVATE
PROPERTY
NO
TRESPASSING

Public
Meeting
Notice

PRIVATE
PROPERTY
NO
TRESPASSING
SEE SIGNAGE
AT PROPERTY END

PROPERTY APPRAISER INFORMATION

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00028430-000000
 Account# 1029220
 Property ID 1029220
 Millage Group 10KW
 Location Address 1225 DUVAL St, KEY WEST
 Legal Description KW LOT 2 SQR 8 TR 11 (L-215) OR183-143/44 OR1661-1509/10 OR2269-2221/22 OR2376-2176 OR2944-1225 OR3208-2216 OR3263-1939
 (Note: Not to be used on legal documents.)
 Neighborhood 6108
 Property Class VACANT RES (0000)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

1225 DUVAL STREET LLC
 C/O PAUL MURZYN
 16213 Cherry Tree Rd
 Noblesville IN 46062

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$1,438,608	\$1,205,892	\$934,390	\$691,096
= Just Market Value	\$1,438,608	\$1,205,892	\$934,390	\$691,096
= Total Assessed Value	\$414,388	\$376,716	\$342,469	\$311,335
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,438,608	\$1,205,892	\$934,390	\$691,096

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,438,608	\$0	\$0	\$1,438,608	\$414,388	\$0	\$1,438,608	\$0
2023	\$1,205,892	\$0	\$0	\$1,205,892	\$376,716	\$0	\$1,205,892	\$0
2022	\$934,390	\$0	\$0	\$934,390	\$342,469	\$0	\$934,390	\$0
2021	\$691,096	\$0	\$0	\$691,096	\$311,335	\$0	\$691,096	\$0
2020	\$685,807	\$0	\$0	\$685,807	\$283,032	\$0	\$685,807	\$0
2019	\$722,830	\$0	\$0	\$722,830	\$257,302	\$0	\$722,830	\$0
2018	\$648,085	\$0	\$0	\$648,085	\$233,911	\$0	\$648,085	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	4,100.00	Square Foot	41.8	100

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
2/23/2024	\$1,300,000	Warranty Deed	2452285	3263	1939	01 - Qualified	Improved		
1/19/2023	\$0	Quit Claim Deed	2403962	3208	2216	11 - Unqualified	Vacant		
11/20/2018	\$0	Quit Claim Deed	2201696	2944	1225	11 - Unqualified	Improved		

Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
24-0688	03/15/2024	Active	\$3,400	Commercial	Build 41 foot long temporary fence including one three foot pedestrian gate.
BLD2019-3680	10/16/2019	Active	\$2,499	Commercial	Demolish and remove offsite existing slab. Replace/finish with white gravel
10-0383	02/05/2010	Completed	\$2,000		DEMO 2 FAMILY RESIDENTIAL STRUCTURE, 1ST/2ND STORY 1636sf
02-3440	12/26/2002	Completed	\$3,200		PAINT HOUSE & ROOF

View Tax Info

[View Taxes for this Parcel](#)

Photos



Map



TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

No data available for the following modules: Buildings, Yard Items, Sketches (click to enlarge).

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| [User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 11/14/2024, 6:21:36 AM

[Contact Us](#)

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 SCHNEIDER
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