

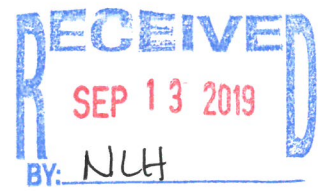
Application



Application For Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3720 • www.cityofkeywest-fl.gov



Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 317 Virginia Street Key West, FL 33040
Zoning District: HMDR Real Estate (RE) #: 00025880-000000
Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: T. Seth Neal
Mailing Address: 22974 Overseas Highway
City: Cudjoe Key State: FL Zip: 33042
Home/Mobile Phone: 305-340-8857 Office: 305-340-8857 Fax: _____
Email: sethneal@tsnarchitects.com

PROPERTY OWNER: (if different than above)

Name: Clifford Rhoades
Mailing Address: 42 Seaside South Court
City: Key West State: FL Zip: 33040
Home/Mobile Phone: 808-276-0191 Office: _____ Fax: _____
Email: rhoadesc@bellatlantic.net

Description of Proposed Construction, Development, and Use:

New, permitted, single-family residence

List and describe the specific variance(s) being requested:

Due to proposed FEMA flood zone changes, we wish to raise the house to meet proposed flood requirement. This will require variances for impervious, building coverage, accessory structure, rear yard setback and east side setback.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HM DR			
Flood Zone	AE6 / AE7 PROPOSED			
Size of Site	2,194 s.f.			
Height	30'		24'-10"	-
Front Setback	10'		10'-0"	-
Side Setback	5' / WEST		5'-1/2"	-
Side Setback	5' / EAST		1'-5 1/2"	VARIANCE
Street Side Setback	NA	-	-	-
Rear Setback	15'		7'-9 1/2"	VARIANCE
F.A.R	-		-	-
Building Coverage	40% / 877 s.f.		56% 1,228.5 SF	VARIANCE
Impervious Surface	1,316' / 60% MAX.		63.1% 1,389.5	VARIANCE
Parking	1		1	-
Handicap Parking	-		-	-
Bicycle Parking	-		-	-
Open Space/ Landscaping	35% MIN. / 768 s.f.		772.5 / 35.2%	-
Number and type of units	1		1	
Consumption Area or Number of seats	-			

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Yes.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

No special conditions created by the applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

The lot is only 2,194 s.f. All designed plan met the zoning requirements prior to the new proposed FEMA flood zones. Raising to meet flood requirements causes the need for variances.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Yes

City of Key West • Application for Variance

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Not injurious to the public welfare.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

N/A

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan



**ZONE AE
(EL 7)**

**ZONE AE
(EL 8)**

273



Warranty Deed

Prepared by and Return to Mendy Walden ,
an employee of First International Title, Inc.
3132 Northside Drive
Suite 101, Bldg C
Key West, FL 33040
\$300,000.00
File No.: 143427-13

WARRANTY DEED

This indenture made on August 30, 2019, by

Wilhelmina Marrero, unmarried

whose address is: 318 Truman Ave, Key West, FL 33040

hereinafter called the "grantor",

to **Clifford E. Rhoades, Jr.**, unmarried

whose address is: 42 Seaside South Court, Key West, FL 33040

hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Monroe County, Florida, to-wit:

All that certain lot or parcel of land lying and being in the Co., of Monroe and State of Fla., described as follows: On the Island of Key West and is part of Tract Ten (10) according to W.A. Whitehead map delineated in Feby. 1829, but now better known as Lot Twenty eight (28) in Square One (1) of said Tract Ten (10) according to C. Howe diagram of said Tract Ten (10). Said lot having a front on Virginia St. of Fifty (50) feet and Three (3) inches and extending back at right angles therewith Ninety Four (94) feet and Seven (7) inches.

Less and Except;

On the Island of K.W. and is part of Tr. 10 according to William A. Whitehead's Map of said Island delineated in Feb. 1829, but now better known as part of Lot 28 of Sq. 1 in said Tr. 10 according to Edward C. Howe's diagram of said Tr. 10 recorded in Plat Book 1, Page 25, Mon. Co., Fla. Public Records.

Parcel Identification Number: AK.1026646 / 0025880-000000

The land is not the homestead of the Grantor under the laws and Constitution of the State of Florida and neither the Grantor nor any person(s) for whose support the Grantor is responsible reside on or adjacent to the land.

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2018.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

Wilhelmina Marrero
Wilhelmina Marrero

Signed, sealed and delivered in our presence:

Walt Lee
1st Witness Signature
Print Name: Walt Lee

Merida A Walden
2nd Witness Signature
Print Name: Merida A Walden

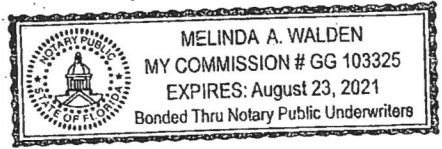
State of FLORIDA
County of Monroe

The Foregoing Instrument Was Acknowledged before me on 28 day of August 2019, by Wilhelmina Marrero, who is/are personally known to me or who has/have produced a valid DRIVERS LICENSE as identification.

Melinda A. Walden

Notary Public
Notary Name

My Commission expires:
SEAL



Property Record Card

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00025880-000000
 Account# 1026646
 Property ID 1026646
 Millage Group 11KW
 Location Address 317 VIRGINIA St, KEY WEST
 Legal Description KW PB 1-25-40 PT LOT 28 SQR 1 TR 10 UU-368 B OF W C-237 CO JUDGE DOCKET 10-9A OR1816-1543/44ORD/DIST OR2982-2259 OR2985-0961C
 (Note: Not to be used on legal documents.)
 Neighborhood 6021
 Property Class VACANT RES (0000)
 Subdivision Tracts 10 and 15
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

[RHOADES JR CLIFFORDE](#)
 42 Seaside South Ct
 Key West FL 33040

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$1,766	\$1,726	\$1,726	\$1,725
+ Market Land Value	\$120,955	\$120,955	\$120,955	\$107,084
= Just Market Value	\$122,721	\$122,681	\$122,681	\$108,809
= Total Assessed Value	\$122,721	\$122,681	\$119,277	\$108,434
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$122,721	\$122,681	\$122,681	\$108,809

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
PERMITTED SFR DRY (01DP)	2,195.00	Square Foot	25.3	86.9

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
LC UTIL BLDG	1964	1965	1	100 SF	3
FENCES	1964	1965	1	804 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
9/18/2019	\$0	Quit Claim Deed	2237191	2985	0961	11 - Unqualified	Improved
8/28/2019	\$300,000	Warranty Deed	2234991	2982	2259	01 - Qualified	Improved

View Tax Info

[View Taxes for this Parcel](#)

Photos



Map



TRIM Notice

Trim Notice

2019 Notices Only

No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Exemptions, Permits, Sketches (click to enlarge).

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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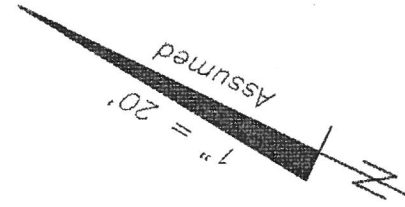
Developed by



Version 2.3.7

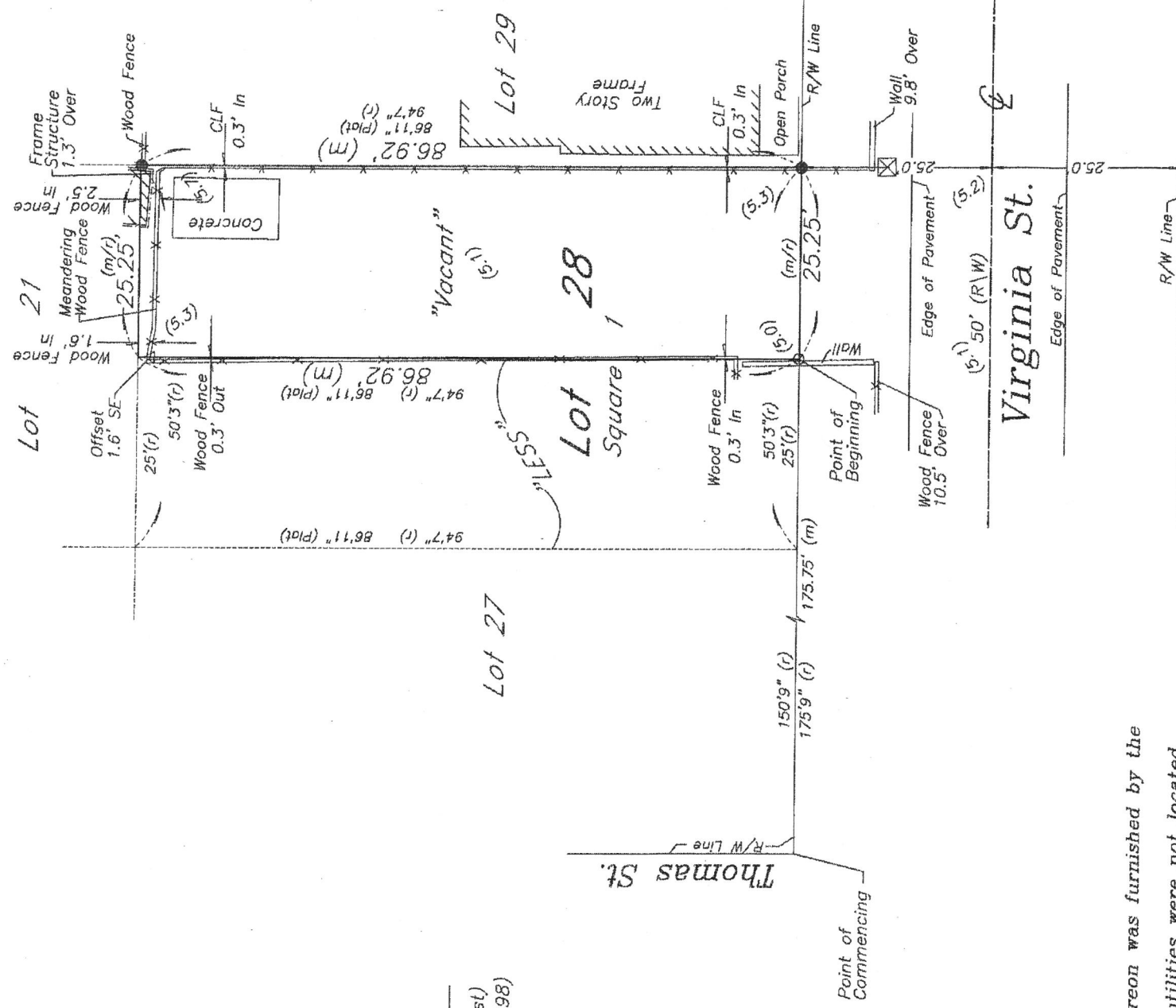
Survey

Boundary Survey Map of part of Lot 28, Square 1, Tract 10, Island of Key West, Florida



LEGEND

- Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (6298)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊘ Centerline
- ⊙ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines
- (5.0) Spot Elevation (Typical)



NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 317 Virginia Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: March 1, 2019.
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. Elevations are shown in parenthesis and refer to Mean Sea Level, N.G.V.D. 1929 Datum.
12. Benchmark utilized: BASIC
13. Flood Insurance Rate Map Zone: AE (EL 6); Community Panel #120168; 1516 K, dated 2/18/05.

BOUNDARY SURVEY OF: All that certain lot or parcel of land lying and being in the Co., of Monroe and State of Fla., described as follows: On the Island of Key West and is part of Tract Ten (10) according to W.A. Whitehead map delineated in Feby. 1829, but now better known as Lot Twenty eight (28) in Square One (1) of said Tract Ten (10) according to C. Howe diagram of said Tract Ten (10). Said lot having a front on Virginia St. of Fifty (50) feet and Three (3) inches and extending back at right angles therewith Ninety Four (94) feet and Seven (7) inches.

Less and Except;

On the Island of K.W. and is part of Tr. 10 according to William A. Whitehead's Map of said Island delineated in Feb. 1829, but now better known as part of Lot 28 of Sq. 1 in said Tr. 10 according to Edward C. Howe's diagram of said Tr. 10 recorded in Plat Book 1, Page 25, Mon. Co., Fla. Public Records.
COM. at a point 150 ft. and 9 in from the corner of Thomas & Virginia Sts and running thence along Virginia St. in a NE'ly dir. 25 ft; thence at r.a. in a NW'ly dir. 86 ft. 11 in; thence at r.a. in a SW'ly dir. 25 ft; thence at r.a. in a SE'ly dir. 86 ft. 11 in. back to the Point of Beg. on Virginia St.

BOUNDARY SURVEY FOR: Clifford Rhoades;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.
J. Lynn O'Flynn, PSM
Florida Reg. #6298
March 3, 2019

J. LYNN O'FLYNN, INC.
Professional Surveyor & Mapper
PSM #6298
3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

THIS SURVEY
IS NOT
ASSIGNABLE

Proposed Plans

S I T E D A T A 317 VIRGINIA STREET

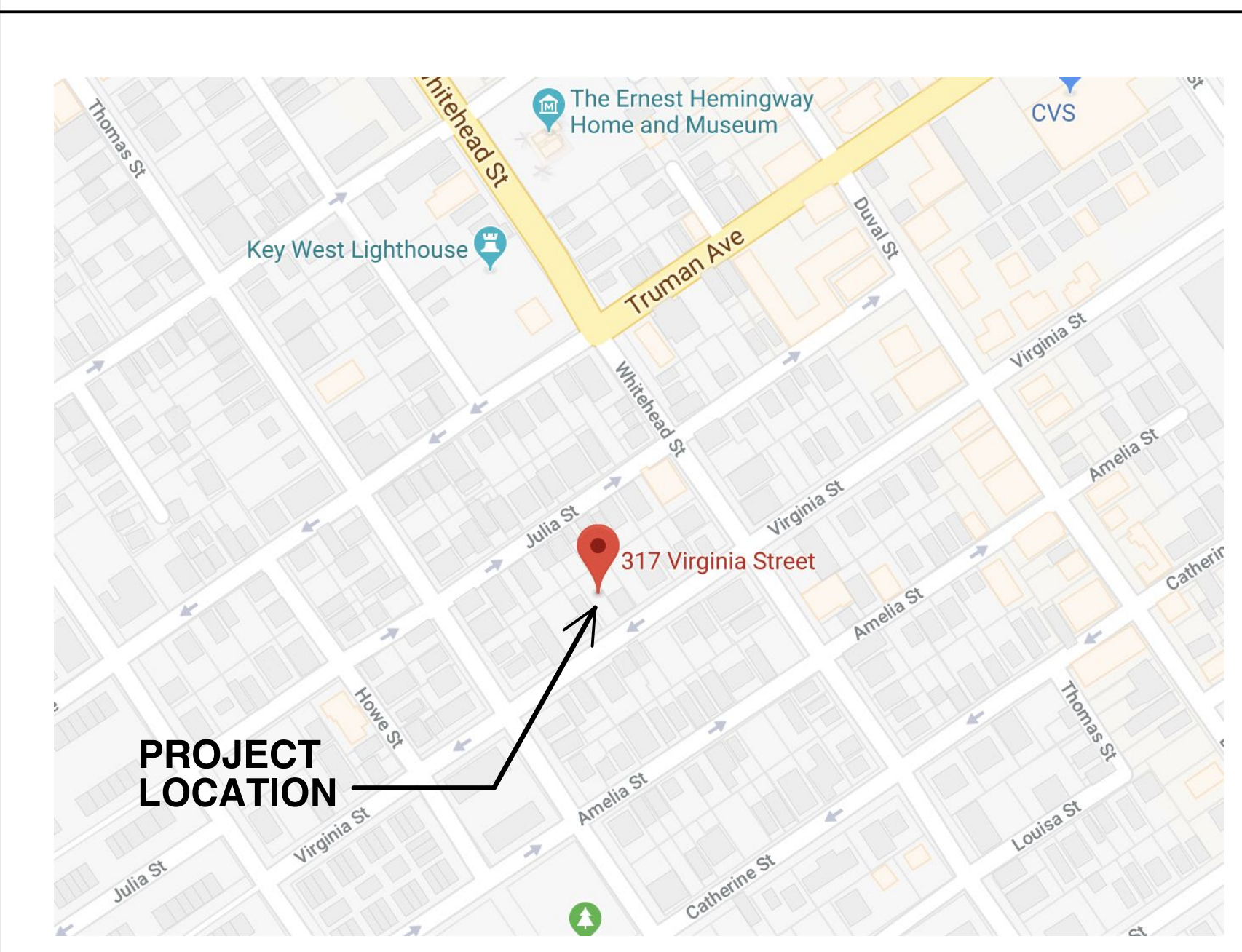
ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HMDR	HMDR	HMDR	HISTORIC MEDIUM DENSITY RESIDENTIAL
SITE AREA	2,194 S.F.	4,000 SQ. FT.	EXISTING	EXISTING
LOT SIZE	25.25' X 86.92'	40' X 90' (MIN)	2,194 S.F.	EXISTING
IMPERVIOUS	-	1,316 (60% MAX)	1,384.5 SF (63.1%)	VARIANCE REQUIRED
OPEN SPACE		768 (35% MIN)	772.5 SF (35.2%)	CONFORMS
BUILDING COV.		877 (40% MAX)	1228.5 SF (56%)	VARIANCE REQUIRED
ACCESSORY STRUCTURE REAR YARD COV.		(30% MAX COV.) 379 SQ. FT. REAR YARD AREA, 114SF	124 SF (32.7%)	VARIANCE REQUIRED
FRONT YARD 50% GREEN SPACE COV.		253 SF (50% MIN)	224 SF (88.5%)	CONFORMS
SETBACKS				
FRONT SETBACK		10'	10'	CONFORMS
REAR SETBACK		15'	7'-9 1/2"	VARIANCE REQUIRED
WEST SIDE SETBACK		5'	5'-1/2"	CONFORMS
EAST SIDE SETBACK		5'	1'-5 1/2"	VARIANCE REQUIRED
BUILDING HEIGHT		30'	23'-0"	CONFORMS

REVISED FEMA MAP: FLOOD ZONE AE 7, 7'+1'= 8' F.F. ELEV.

***OLD FEMA MAP: FLOOD ZONE AE 6, 6'+1'=7' F.F. ELEV. (SHOWN BELOW)**



SITE LOCATION MAP



PROJECT LOCATION

DESIGN NOTES:

THE NEW STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:
 FBC 2017 - RESIDENTIAL (FBC-R)
 A.S.C.E. 24-05 REGULATIONS
 PER FBC 07/ASCE 07-10 EXPOSURE "D"
 LIVE LOAD 40 PSF
 WIND LOAD 180 M.P.H.
 SEE STRUCTURAL DRAWINGS, SHEET S-1
HARC APPROVAL #: H2019-0011

CERTIFICATE OF COMPLIANCE:

THIS IS TO CERTIFY THAT I AM A DULY QUALIFIED ARCHITECT LICENSED TO PRACTICE IN THE STATE OF FLORIDA. IT IS FURTHER CERTIFIED THAT I HAVE REVIEWED THE DESIGN, SPECIFICATIONS AND PLANS FOR THE RESIDENTIAL STRUCTURE PROPOSED FOR CONSTRUCTION AT 317 VIRGINIA STREET AND IS IN COMPLIANCE WITH THE ORDINANCE ADOPTED BY THE CITY OF KEY WEST NO. 87-17 REGARDING COASTAL CONSTRUCTION REQUIREMENTS IN THE MONROE COUNTY. IN THAT THE STRUCTURE IS DESIGNED ON ADEQUATELY ANCHORED PILING OR COLUMNS AND IS SECURELY ANCHORED TO SAME IN ORDER TO WITHSTAND VELOCITY WATERS AND HURRICANE WAVE WASH ASSOCIATED WITH THE BASE FLOOD FLOW.
 LOWEST FINISHED FLOOD ELEVATION: 7'-8" NGVD N.G.V.D.

DATE 05-31-2019
 SIGNATURE *Timothy S. Neal*
 SEAL

GENERAL NOTES:

- DO NOT SCALE ANY DRAWING.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS HAVE PRECEDENCE OVER SMALLER SCALE DETAILS. ANY DISCREPANCIES ARE TO REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION.
- CONSULT THE ARCHITECT IN THE EVENT ANY ITEM OF WORK NECESSARY FOR THE PROPER COMPLETION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS.
- ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS. ALL BUILDING CODE REQUIREMENTS AND IN A PROFESSIONAL MANNER BY MECHANICS SKILLED AND LICENSED IN THEIR RESPECTIVE TRADES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS, LOCAL CODES, BUILDING INSPECTOR REQUIREMENTS AND/OR EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR RESOLUTION. ALL DIMENSIONS AND CONDITIONS OF EACH TRADE ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR THE WORK OF EACH SPECIFIC TRADE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, AND CONVENTIONAL GUIDELINES, WHETHER OR NOT SPECIFIED IN THE DRAWINGS.
- ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REMOVED, REPLACED, AND RECTIFIED.
- ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED.
- ALL TIE-INS AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL EXISTING TREES, SHRUBS, VEGETATION, AND LANDSCAPE ELEMENTS OR FEATURES ADJACENT TO AND IN THE VICINITY OF THE BUILDING AND STAGING AREAS SHALL BE PROTECTED DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- ANY REVISIONS MUST BE APPROVED BY: ARCHITECT PRIOR TO TO CONSTRUCTION.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

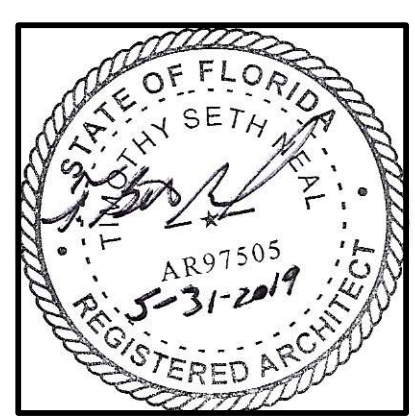
DRAWING SCHEDULE:

T1.1 TITLE, SITE DATA & PROJECT INFO	M1.1 HVAC PLAN
C1.1 SURVEY	M1.2 HVAC NOTES & DETAILS
A0.1 PROPOSED SITE PLANS	
A1.0 DIMENSION PLANS	E1.1 LIGHTING PLAN
A1.1 PROPOSED FLOOR PLANS	E1.2 POWER & SYSTEMS PLAN
A1.2 ENLARGED POOL PLAN & SECTION	E1.2 POWER & SYSTEMS PLAN
A1.3 POOL STRUCTURAL DETAILS	E3.0 RISER, SCHEDULES & CALCULATIONS
A2.1 SCHEDULES & DETAILS	
A2.2 SCHEDULES & DETAILS	
A3.1 PROPOSED ELEVATIONS	P1.1 SANITARY & PIPING PLAN
A4.1 BUILDING SECTIONS & DETAILS	P1.2 DOMESTIC WATER PIPING PLAN
A4.2 DETAIL SECTIONS	
A5.1 INTERIOR ELEVATIONS	
A5.2 INTERIOR ELEVATIONS	
S0.0 STRUCTURAL NOTES	
S1.0 FOUNDATION / FLOOR PLAN	
S2.0 CEILING / FLOOR FRAMING PLAN	
S3.0 ROOF FRAMING PLAN	
S4.0 SECTIONS & DETAILS	
S5.0 SECTIONS & DETAILS	
S6.0 SECTIONS & DETAILS	
S7.0 SECTIONS & DETAILS	

SCOPE OF WORK:

A NEW WOOD FRAMED 1-1/2 STORY RESIDENCE AND POOL AT THE REAR YARD.

T.S. NEAL
 ARCHITECTS INC.
 22974 OVERSEAS HWY
 CUDJOE KEY, FL
 33042
 305-340-8857
 251-422-9547



**A NEW RESIDENCE FOR
 CLIFFORD RHOADES
 317 VIRGINIA STREET
 KEY WEST, FL 33040**

**DRAWING TITLE:
 TITLE & PROJECT
 INFORMATION**

DRAWN: EDSA / TSN
 CHECKED: TSN
 DATE: 05-31-2019

06-11-2019 REVISION 1

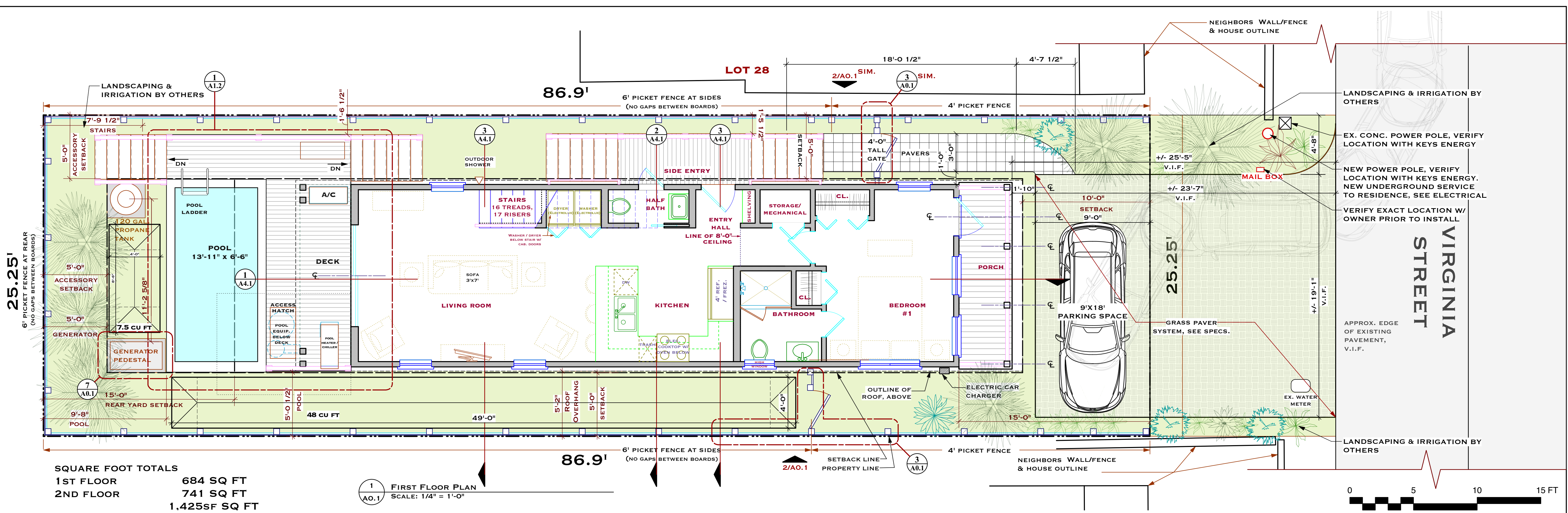
REVISION # DATE

T1.1
 SHEET #

T S N
 T. S. NEAL ARCHITECTS, INC.

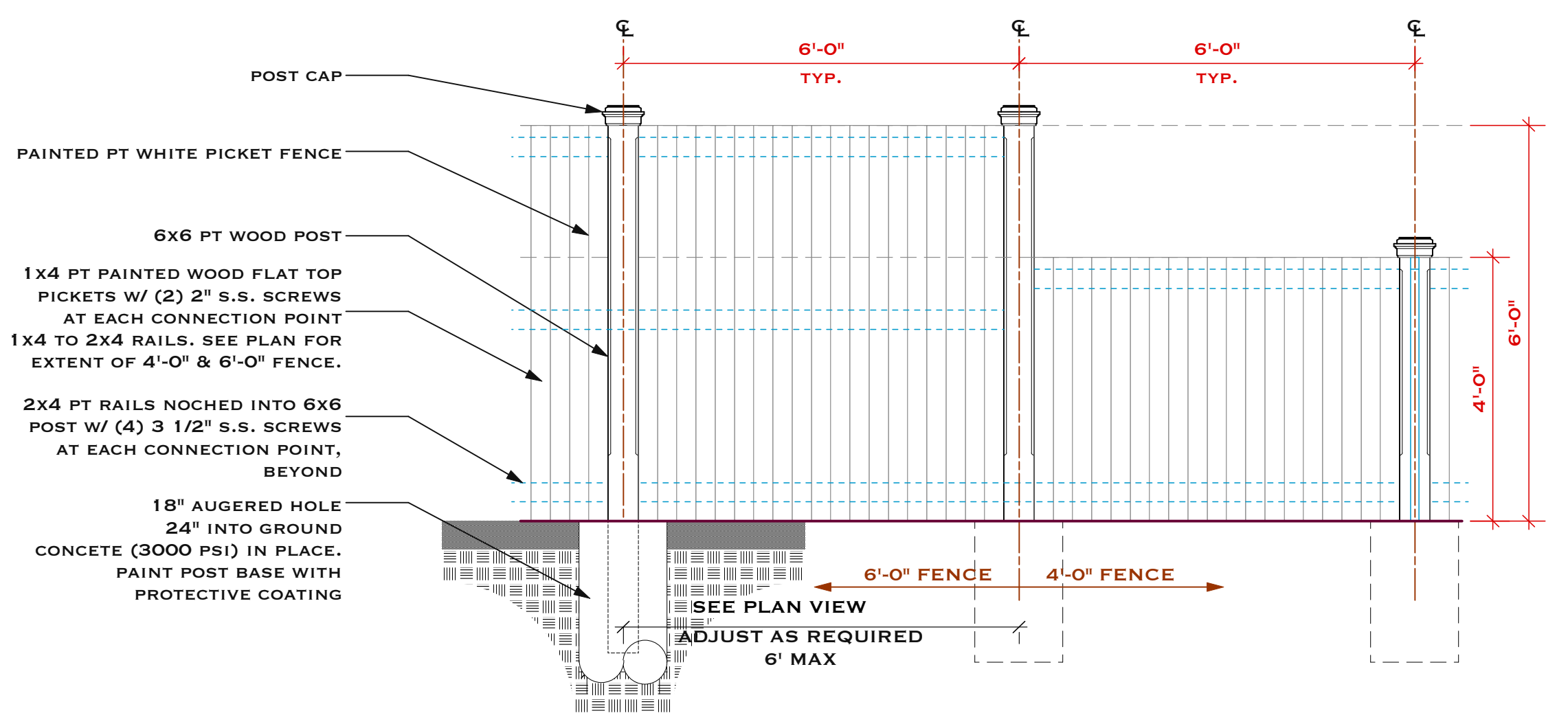


**A NEW RESIDENCE FOR
 CLIFFORD RHOADES
 317 VIRGINIA STREET
 KEY WEST, FL 33040**

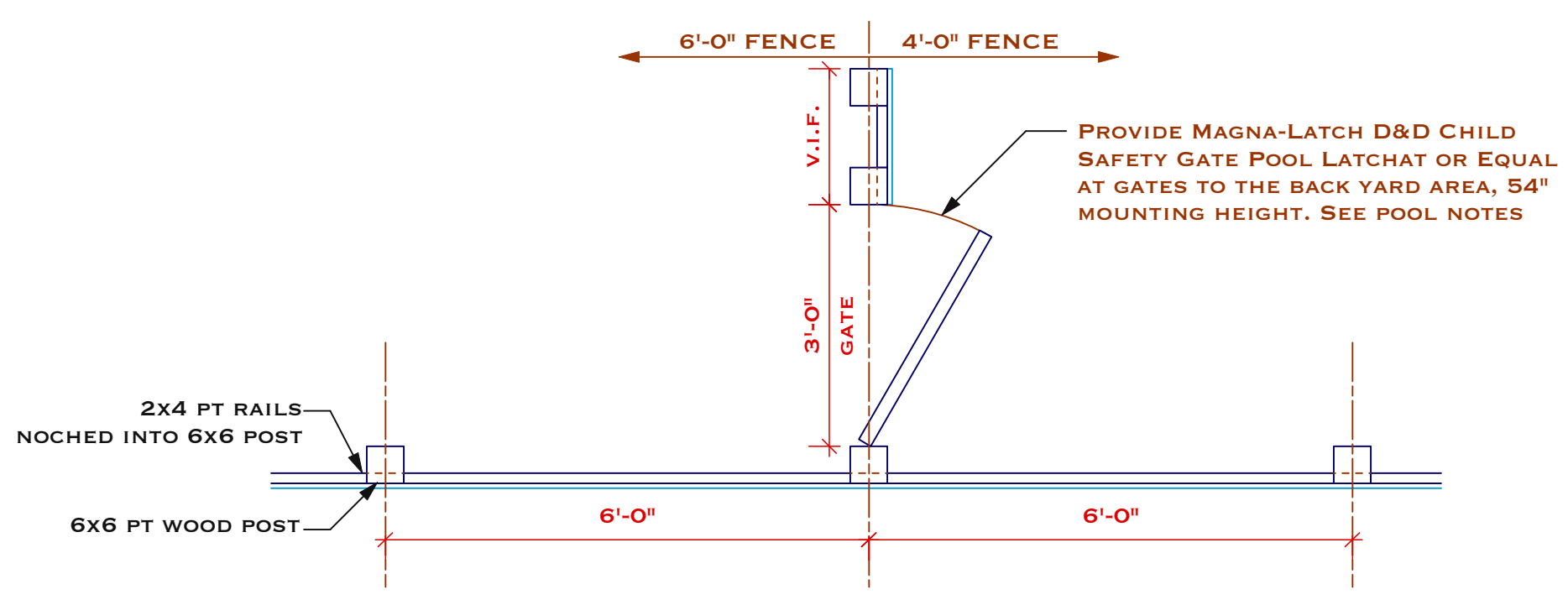


SQUARE FOOT TOTALS
 1ST FLOOR 684 SQ FT
 2ND FLOOR 741 SQ FT
1,425 SQ FT

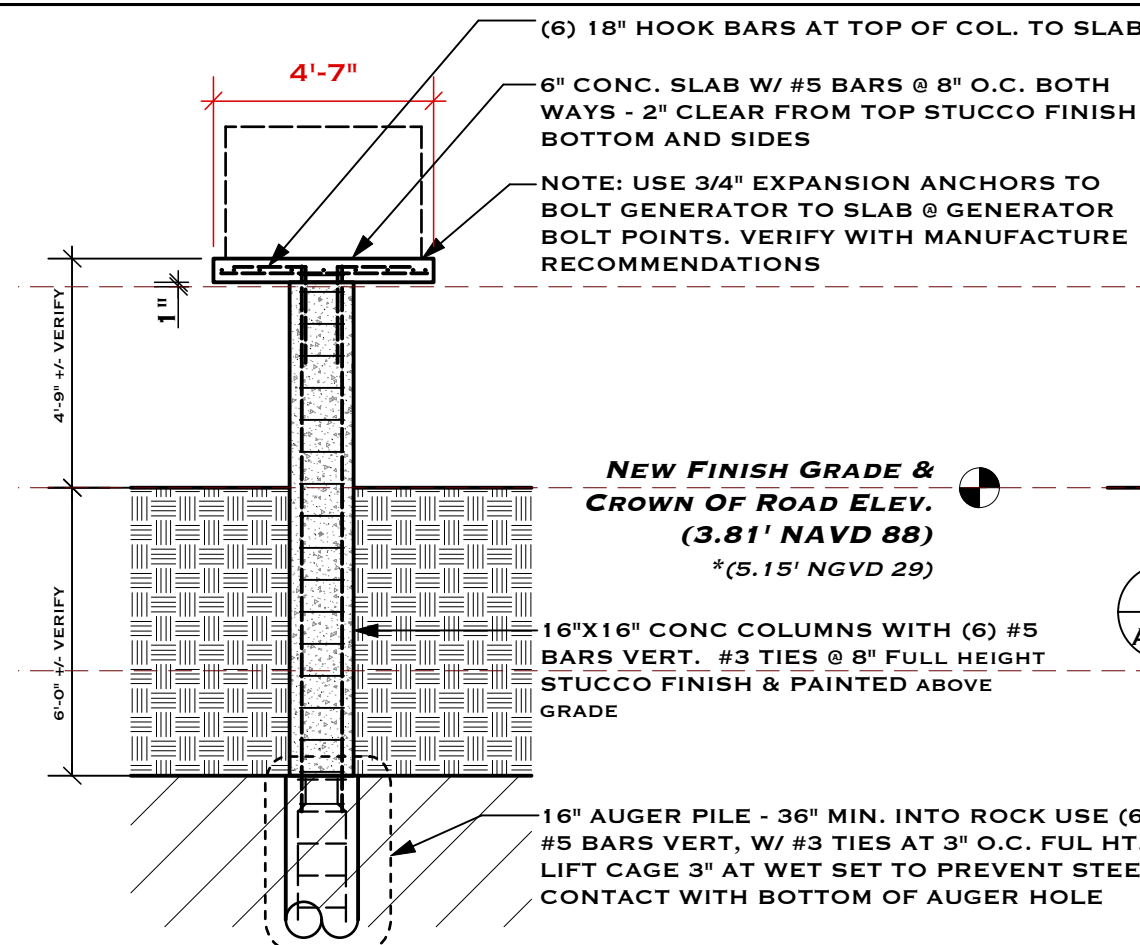
1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



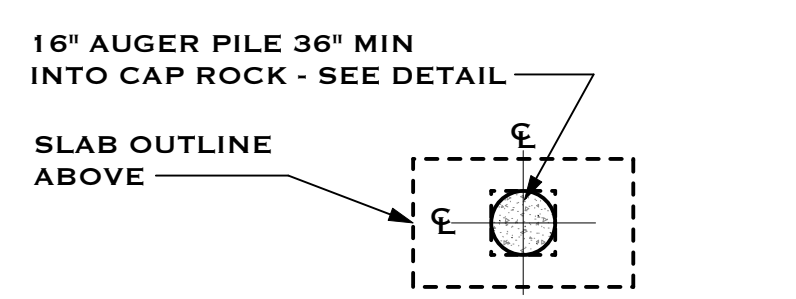
2 ELEVATION - WOOD FENCE
 SCALE: 1/2" = 1'-0"



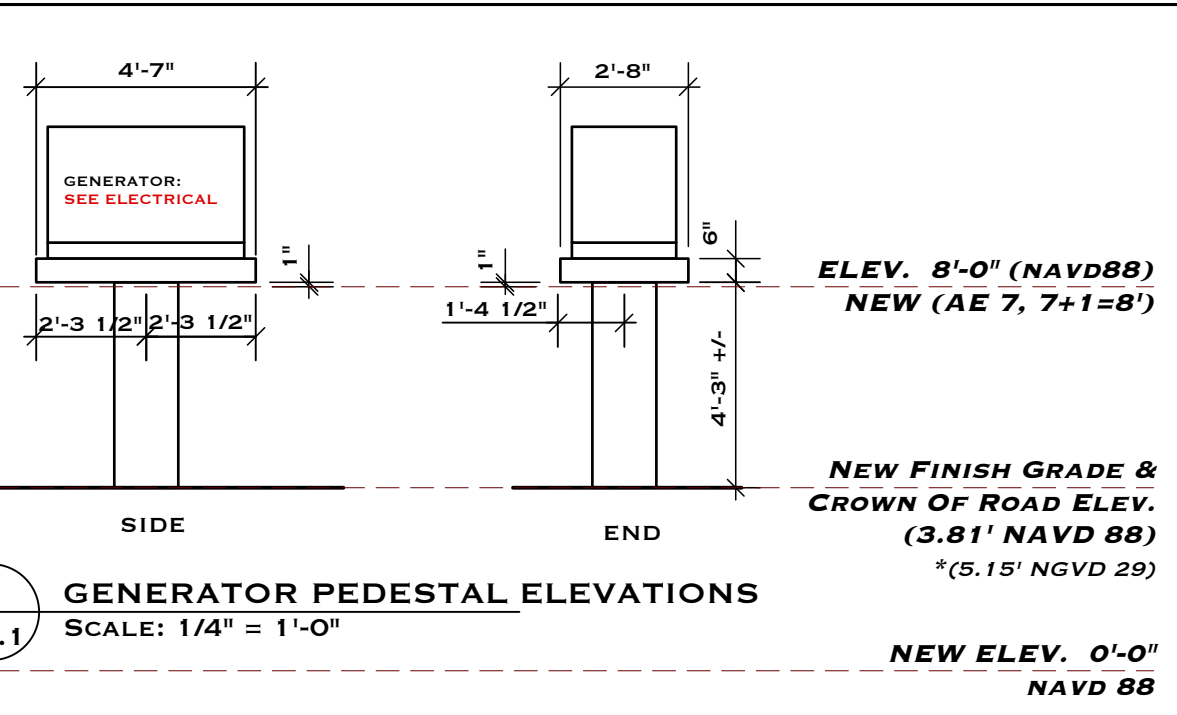
3 ENLARGED PLAN - WOOD FENCE
 SCALE: 1/2" = 1'-0"



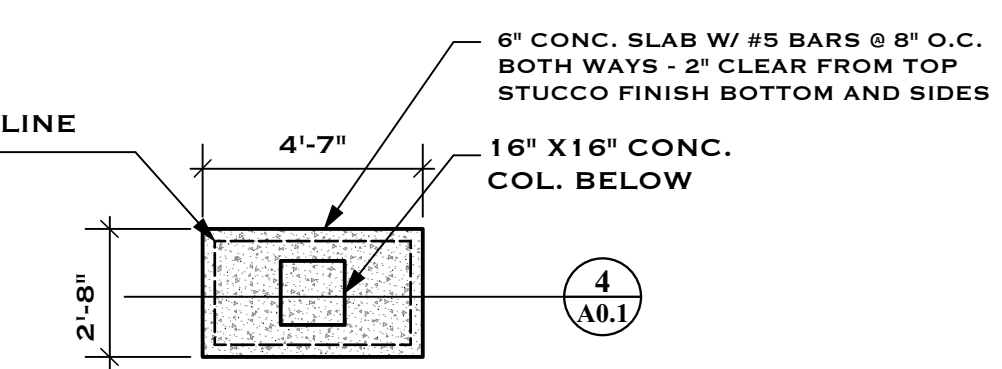
4 PEDESTAL SECTION / SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



5 GENERATOR FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



6 GENERATOR PEDESTAL ELEVATIONS
 SCALE: 1/4" = 1'-0"

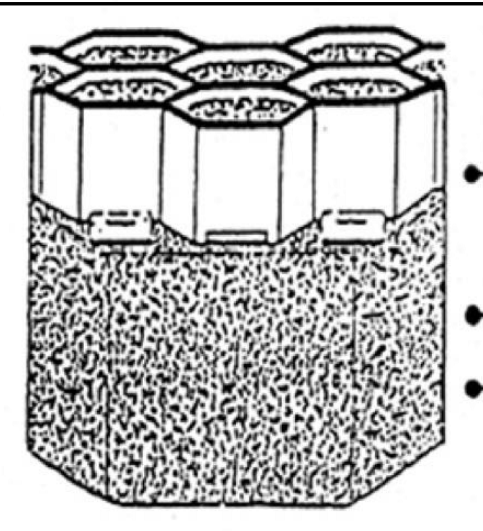


7 GENERATOR PEDESTAL PLAN
 SCALE: 1/4" = 1'-0"

TUFFTRACK GRASS ROADS PAVERS DETAIL: (SEE MANUF. FOR MORE DETAILS)

RECESSED PLANTING:
 TRAFFIC USE - OK
 LIGHT LOAD, RV PAD,
 MODERATE TRAFFIC, OVERFLOW
 PARKING, LIGHT UTILITY ROAD,
 GOLF CART PATH.

PLANTING METHOD:
 ROLL SOD INTO CELLS, SEED OR
 HYDROSEED, GRAVEL OR SAND
 FILL.

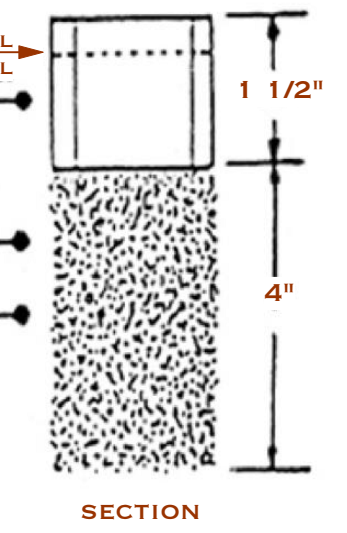


RECESSED PLANTING - I.E. SEED

TUFFTRACK GRASSROADS PAVERS
 NDS-MODEL #TT-24

PLANTING BASE SOIL REGION
 "ROOT GROWTH ESTABLISHMENT AREA"

THE SUB-BASE SHALL BE 4" TO 6"
 DEEP, TILLED NATIVE SOIL,
 LEVELED, ROLLED & COMPACTED
 MODERATELY TO ACCOMMODATE THE
 ANTICIPATED LOADS. ADD SOIL
 AMENDMENTS AS REQUIRED.
 CONSULT SOILS ENGINEER /
 ARBORIST IF NEEDED.



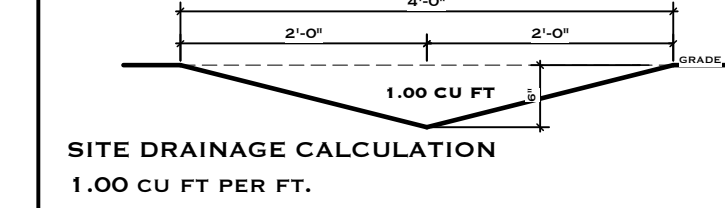
GENERAL SITE NOTES:

SWALE CALCULATIONS:
 LOT SIZE 2,194 SQ. FT.
 IMPERVIOUS AREA 1,277 SQ. FT.
 IMPERVIOUS 59.2%

TOTAL 1,277 SQ. FT.
 CUBIC FT REQUIRED 1,277 SQ. FT. / 12" = 107 CU FT.
 50% REDUCTION = 54 CU FT.
 PROVIDE 4' X 49' (1) SWALE = 48 CU FT
 4' X 8'-6" (1) SWALE = 7.5 CU FT

CUBIC FT SUPPLIED 55.5 CU FT.

SECTION THRU SWALE N.T.S

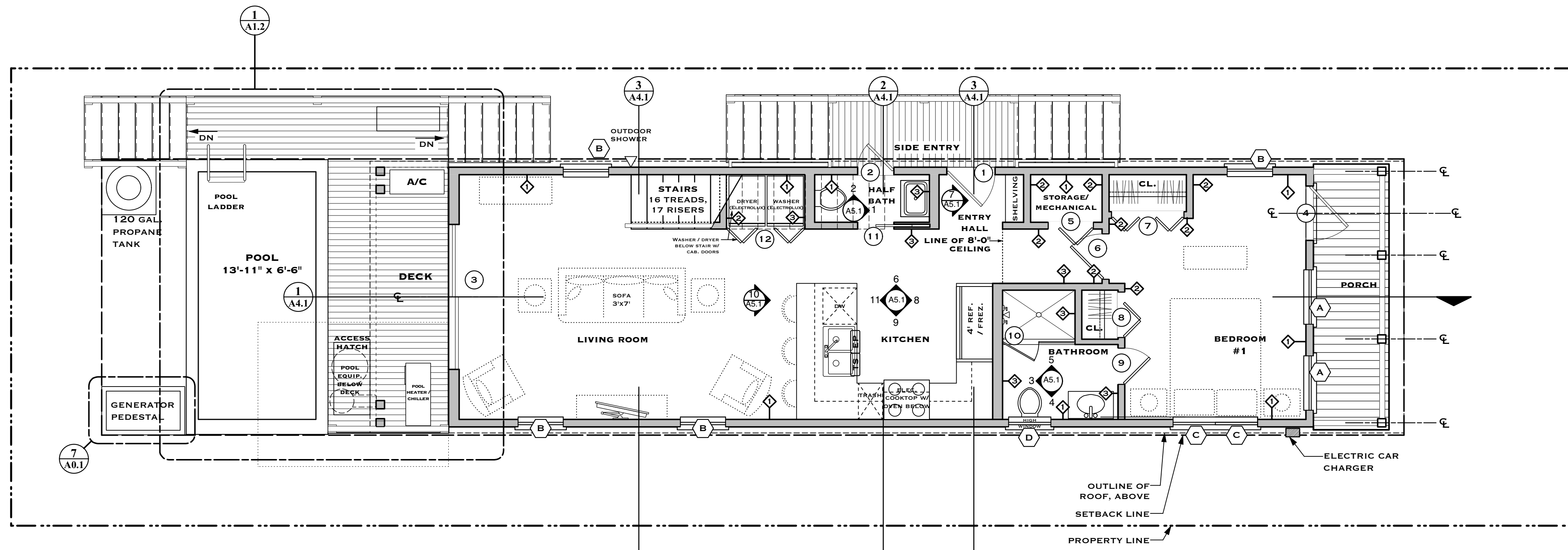


SITE DRAINAGE CALCULATION
 1.00 CU FT PER FT.

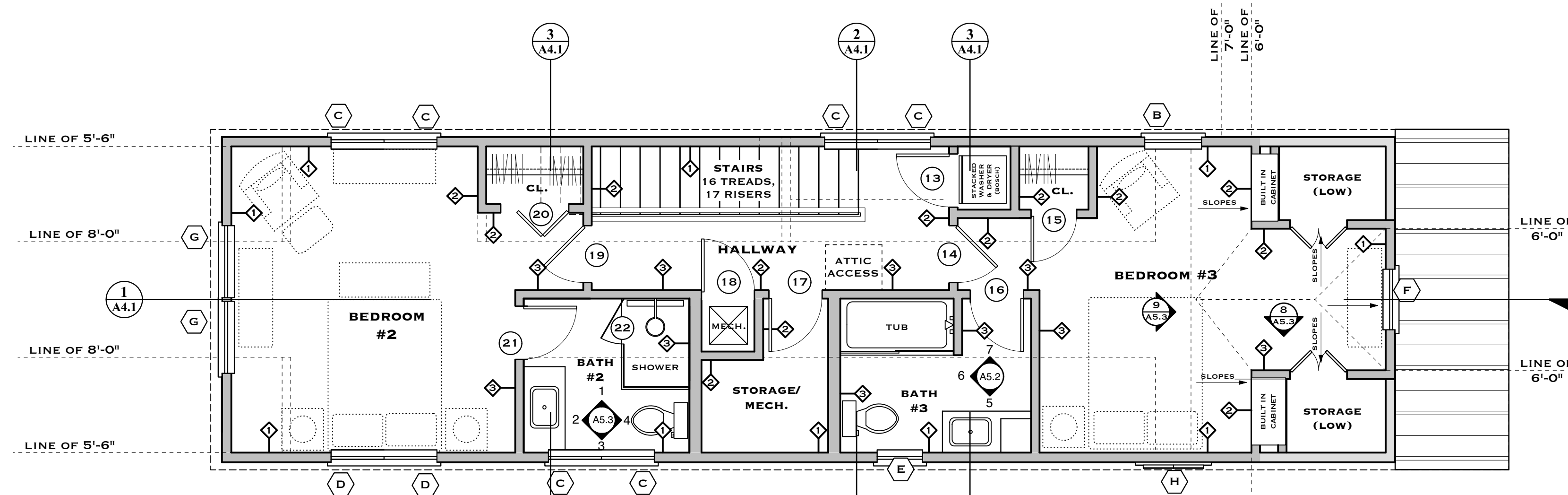
**DRAWING TITLE:
 PROPOSED SITE PLAN**

DRAWN: ED SA / TSN
 CHECKED: TSN
 DATE: 05-31-2019

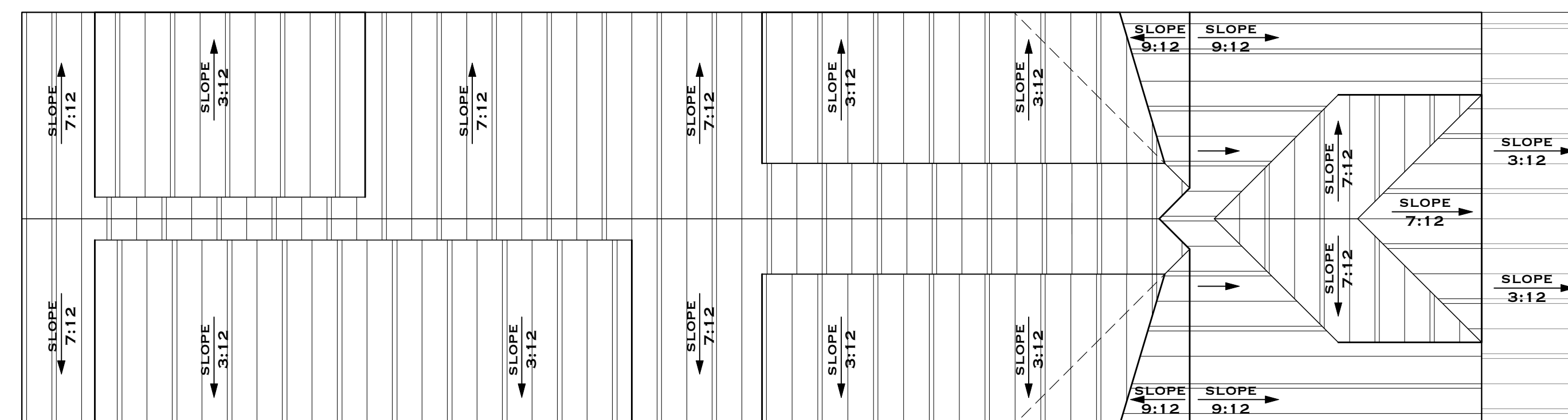
AO.1
 SHEET #



1
A1.1
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2
A1.1
2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3
A1.1
ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOFING NOTES:

PROVIDE METAL ROOFING SYSTEM & ALL REQUIRED COMPONENTS SIMILAR OR EQUAL TO BERRIDGE DOUBLE RIB, 24-GAUGE STEEL V-CRIMP.

REFER STRUCTURAL DRAWINGS FOR WIND PRESSURES AND DECKING REQUIREMENTS.

INSTALL NEW PEEL & STICK MEMBRANE UNDERLAYMENT.

VERIFY COMPATIBILITY OF ROOFING AND UNDERLAYMENT WITH MANUFACTURER.

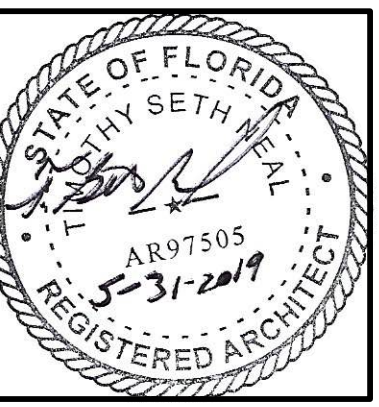
ROOFING MANUFACTURER SHALL CONFIRM THAT METAL ROOFING MEETS ALL GOVERNING CODES REGARDING UPLIFT & WIND CRITERIA AND ANY OTHER DESIGN OR SPECIFIC CRITERIA AFFECTING THE ROOFING. PROVIDE NOA OR FLORIDA APPROVAL FOR ROOFING PRODUCT AND INSTALLATION. MANUFACTURERS INSTALLATION INSTRUCTIONS & RECOMMENDATION SHALL BE STRICTLY ADHERED TO.

ROOFING MANUFACTURER SHALL SUPPLY ALL PRODUCTS & COMPONENTS INCLUDING BUT NOT LIMITED TO FLASHING, TRIM, MITERED CORNERS, FASTENERS, SEALANT, ETC. COMPATIBLE WITH ROOFING SYSTEM FOR A COMPLETE AND WEATHERTIGHT ROOFING SYSTEM INSTALLED IN A FIRST-CLASS WORKMAN-LIKE MANNER. PROVIDE FLASHING AND TRIM AS PER MANUFACTURER'S RECOMMENDATIONS AND SMACNA'S REFERENCE MANUAL DETAILS.

PROVIDE 20 YEAR MINIMUM FINISH WEATHERTIGHTNESS & CORROSION WARRANTY.



T.S. NEAL ARCHITECTS INC.
22974 OVERSEAS HWY
CUDJOE KEY, FL 33042
305-340-8857
251-422-9547



**A NEW RESIDENCE FOR
CLIFFORD RHOADES
317 VIRGINIA STREET
KEY WEST, FL 33040**

**DRAWING TITLE:
PROPOSED FLOOR PLANS**

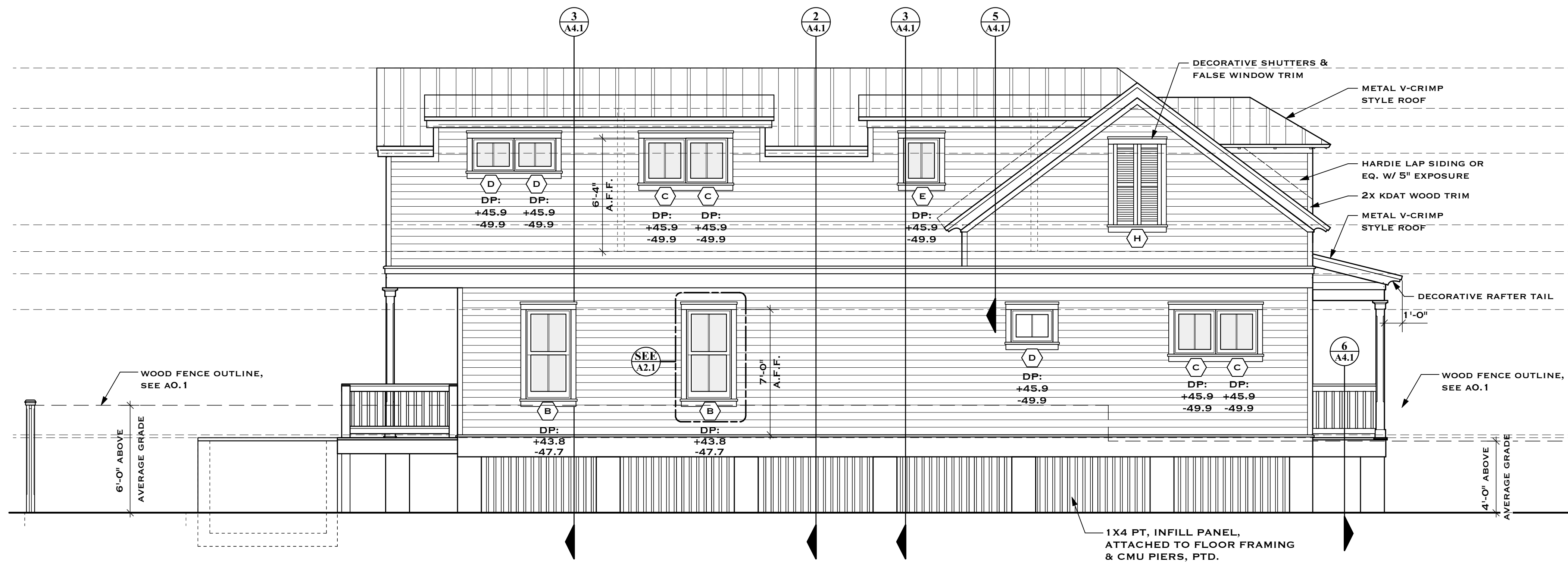
DRAWN: ED SA / TSN
CHECKED: TSN
DATE: 05-31-2019

REVISION #	DATE
A1.1	
SHEET #	

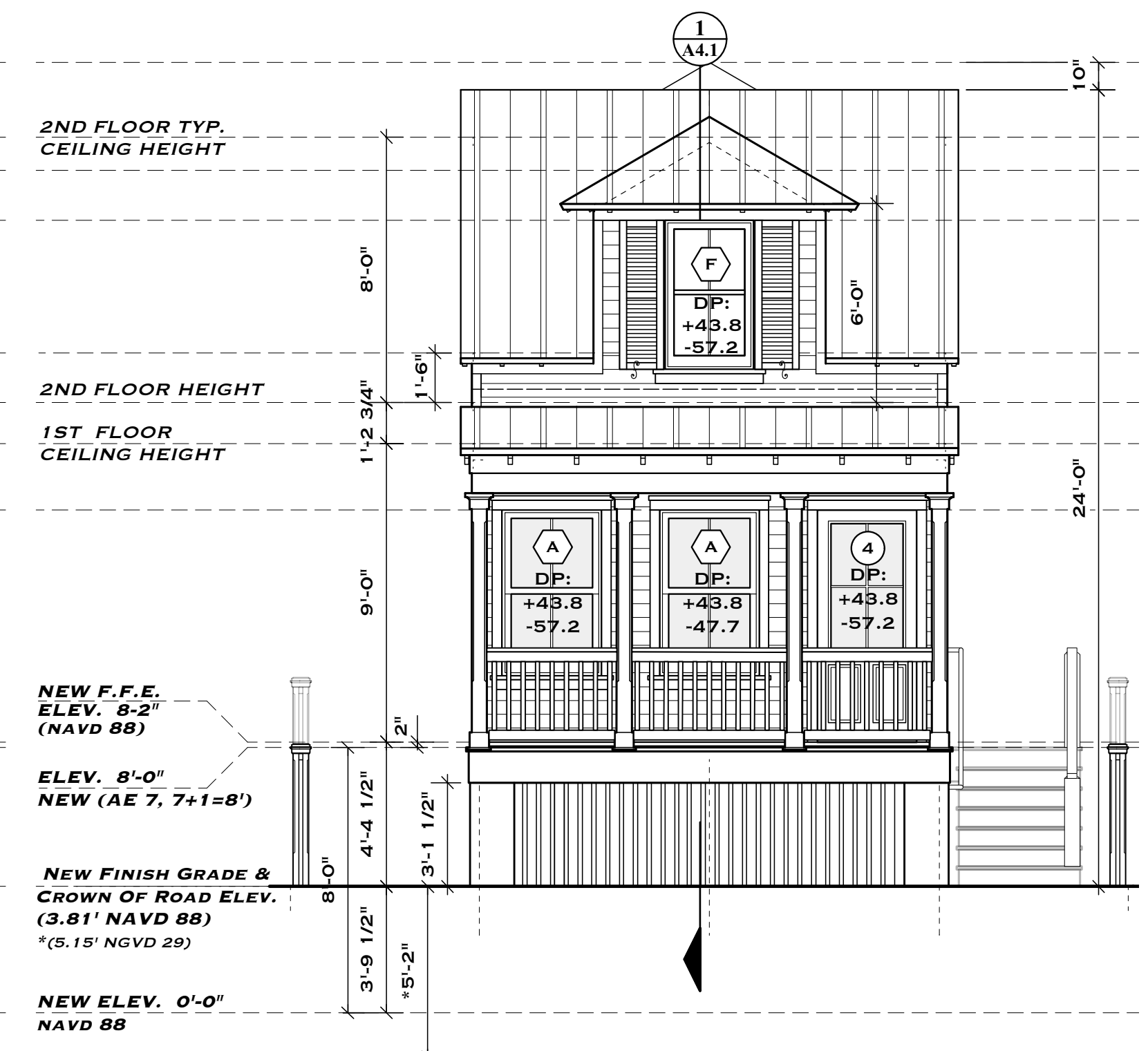
T.S. NEAL ARCHITECTS, INC.



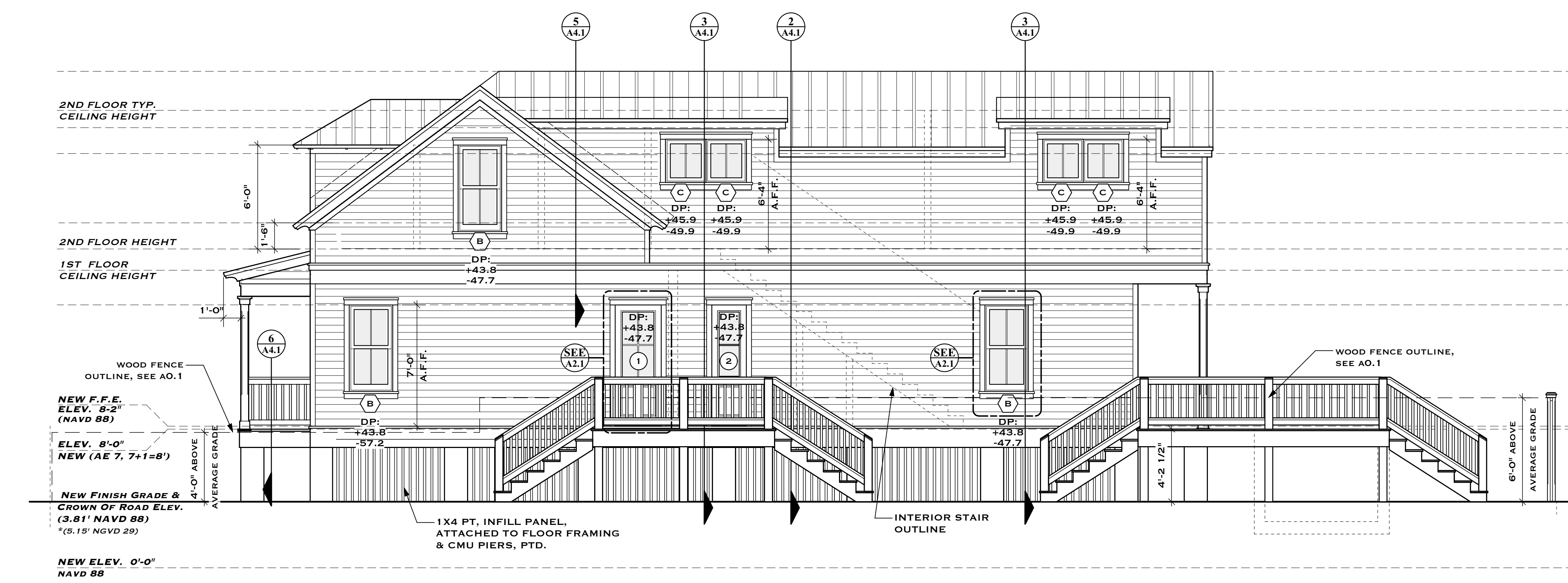
A NEW RESIDENCE FOR
 CLIFFORD RHOADES
 317 VIRGINIA STREET
 KEY WEST, FL 33040



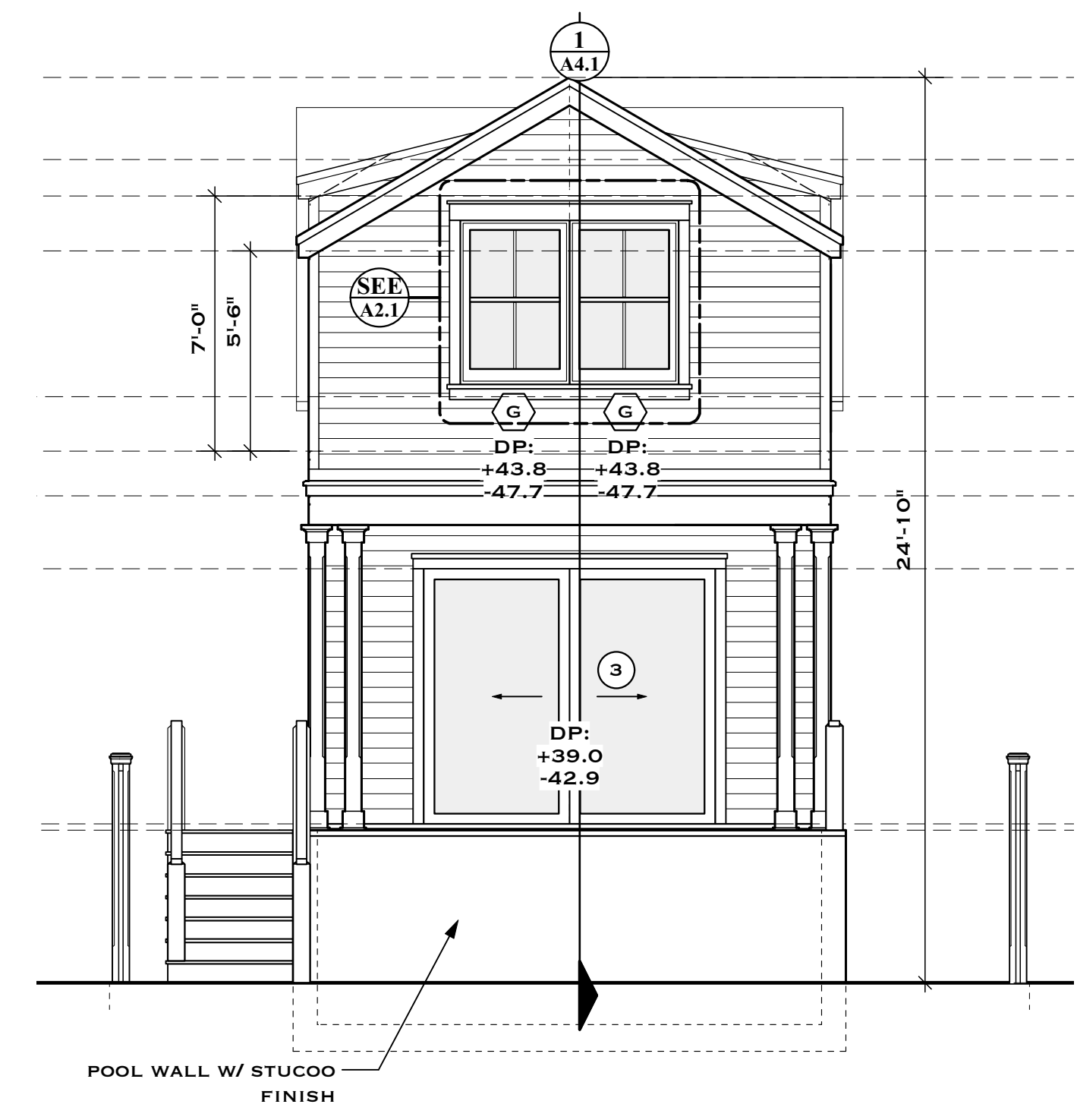
2 SIDE ELEVATION - WEST
 SCALE: 1/4" = 1'-0"



1 VIRGINIA STREET ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION - EAST
 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION - NORTH
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:
 PROPOSED ELEVATIONS

DRAWN: EDSA / TSN
 CHECKED: TSN
 DATE: 05-31-2019

06-11-2019 REVISION 1

REVISION # DATE

A3.1 SHEET #

Authorization Form

**City of Key West
Planning Department**



Authorization Form
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Clifford E. Rhoades, Jr. authorize
Please Print Name(s) of Owner(s) as appears on the deed

T. Seth Neal
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Clifford E. Rhoades, Jr. *Signature of Owner* _____ *Signature of Joint/Co-owner if applicable*

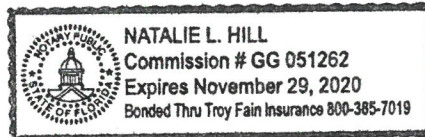
Subscribed and sworn to (or affirmed) before me on this 16 September 2019
Date

by Clifford E. Rhoades, Jr.
Name of Owner

He/She is personally known to me or has presented FL DL- R320-105-45-201-0 as identification.

Natalie L. Hill
Notary's Signature and Seal

Natalie L. Hill
Name of Acknowledger typed, printed or stamped



Commission Number, if any

Verification Form

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, SETH NEAL, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

317 VIRGINIA 511557

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

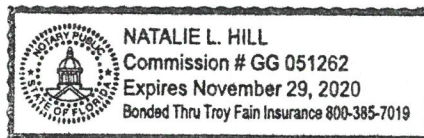

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 9/13/2019 by _____
date

Seth Neal
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.


Notary's Signature and Seal



Natalie L. Hill
Name of Acknowledger typed, printed or stamped

051262
Commission Number, if any