

**PLANNING BOARD
RESOLUTION No. 2014-40**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING WITH CONDITIONS APPROVAL OF A MAJOR DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION WITH LANDSCAPE AND BUFFER-YARD WAIVER FOR THE PHASED DEMOLITION AND RECONSTRUCTION OF 7 OF THE 16 EXISTING CONVALESCENT UNITS, CONSTRUCTION OF 7 NEW UNITS AND AN ADMINISTRATION BUILDING FOR PROPERTY LOCATED AT 1512 DENNIS STREET & 1515-1525 BERTHA STREET (RE# 00063400-000000, AK# 1063835 & RE# 00063400-000100, AK# 8850701) IN THE LIMITED COMMERCIAL (CL) ZONING DISTRICT PERSUANT TO SECTIONS 108-91(B)(2)(A)&(B) AND 122-388(6) OF THE LAND DEVELOPMENT REGULATIONS OF KEY WEST FLORIDA; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the subject property is located in the Limited Commercial (CL) zoning district;
and

WHEREAS, Section 108-91 B(2).(b.) of the Code of Ordinances requires Major Development Plans for the construction or reconstruction of equal or greater than 5,000 square feet of nonresidential gross floor area; and

WHEREAS, the applicant proposed the phased demolition and reconstruction of 7 of the 16 existing convalescent-units, construction of 7 new units and an administration building; and

WHEREAS, this approval of a Major Development Plan, Conditional Use and Buffer-Yard



Chairman


Planning Director

Waiver is consistent with the Land Development Regulations and the Comprehensive Plan; and

WHEREAS, the recommendation of approval of the Major Development Plan is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

WHEREAS, the approval is consistent with the criteria in the Code; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. That a Major Development Plan for the proposed phased demolition and reconstruction of 7 of the 16 existing convalescent-units, construction of 7 new units and an administration building as shown on the attached plan set dated July 2, 2014 by Richard J. Milelli, Registered Architect, for property located at 1512 Dennis Street & 1515 - 1525 Bertha Street (RE# 00063400-000000, AK# 1063835 & RE#00063400-000100; AK# 8850701) in the CL Zoning District pursuant to Sections 108-91(B)(2)(a)&(b) and 122-388(6) of the City of Key West Land Development Regulations, is hereby recommended for City Commission approval with the following conditions:

General Conditions:


Chairman

Planning Director

1. The applicant shall obtain major development plan and conditional use approval.
2. The applicant shall obtain final landscape plan approval.
3. The applicant shall address Engineering comments dated March 27, 2014.
4. Any lighting fixtures shall meet "Dark Sky" lighting standards.
5. Construction Management Plan be implemented.
6. Any use of new BPAS allocations for any part of this project shall require that all structures meet the minimum prerequisites of the BPAS ordinance as to sustainable building features and elevation for FEMA purposes.

Conditions subject to a Conditional Approval Permit, per Ordinance 10-22 subject to an associated annual inspection:

7. All swales and landscaping shall be maintained.
8. Phase 1 of the development shall be complete by October 31, 2017, or shall require one and only one extension approved by the City Commission prior to the expiration date of the resolution of the City Commission approving the Development Plan.
9. Phase 2 of the development Plan shall be complete by October 31, 2019 or shall require one and only one extension approved by the City Commission prior to the expiration date of the resolution of the City Commission approving the Development Plan.

Section 3. This Major Development Plan application recommended for approval to the City Commission, does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 4. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 5. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic



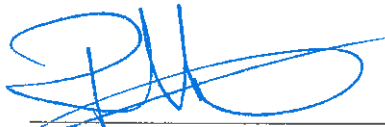
Chairman


Planning Director

Opportunity. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 17th day of July 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director;



Richard Klitenick, Chairman
Key West Planning Board

8.6.14

Date

Attest:



Donald Leland Craig, AICP
Planning Director

7-18-14

Date

Filed with the Clerk:



Cheryl Smith, City Clerk

8-6-14

Date

 Chairman
Planning Director

24

DEVELOPMENT DOCUMENTS for:
MARTY'S PLACE
AH of MONROE COUNTY INC

KEY WEST FL 33040

DESIGN BUILD CONTRACTOR:
KENMAR GENERAL CONTRACTING, LLC

SBA Certified (g) WOSB Design/Build Construction Company
Jacksonville Office: 31 W. Adams Street, Suite 102, Jacksonville, FL 32202
Key West Office: 923 White Street, Key West, FL 33040
www.kenmringc.com
PHONE: 305-787-5344 Fax: 888-941-6701

CONSTRUCTION DOCUMENTS
FEBRUARY 17, 2014

DEVELOPMENT CONSULTANT:
TREPANIER & ASSOCIATES
402 APPLEBROUTH LANE, Key West Florida 33040 PHONE: 305-293-8983
Fax: 305-293-8748

24
2/17/14

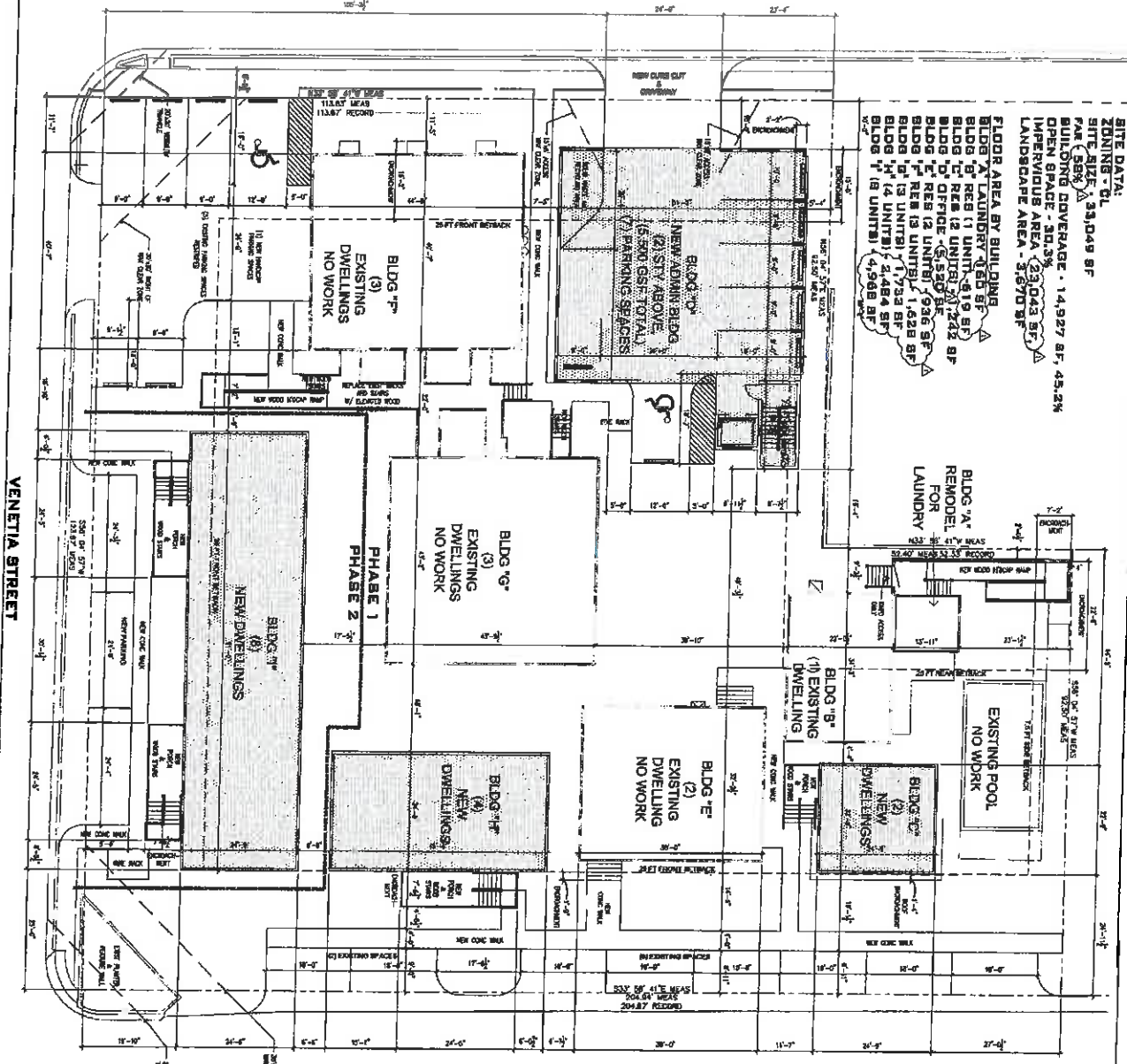
INTERIOR DESIGN:
M INTERIOR DESIGN
823 White Street, Key West Florida 33040
PHONE: 305-509-2859 Fax: 305-320-0521

RICHARD J. MILELLI
FL PE # 58315



MERIDIAN ENGINEERING, LLC
201 FRONT STREET, SUITE 209, KEY WEST FL 33040, PHONE: 305-293-3263, FAX: 305-293-4899, AUTHORIZATION NO. 29401

BERTHA STREET
50' ROW



SITE DATA:
ZONING - BL
SITE SIZE - 33,049 SF
PAR (58%)
BUILDING COVERAGE - 14,927 SF, 45.2%
OPEN SPACE - 20.3%
IMPERVIOUS AREA - 23,043 SF
LANDSCAPE AREA - 3,970 SF

FLOOR AREA BY BUILDING:
BLDG 'A' LAUNDRY - 165 SF
BLDG 'B' RES (1 UNIT) - 419 SF
BLDG 'C' RES (2 UNITS) - 242 SF
BLDG 'D' OFFICE - 5,520 SF
BLDG 'E' RES (2 UNITS) - 936 SF
BLDG 'F' RES (3 UNITS) - 1,628 SF
BLDG 'G' RES (4 UNITS) - 1,732 SF
BLDG 'H' RES (4 UNITS) - 2,484 SF
BLDG 'I' (8 UNITS) - 4,968 SF

3

VENETIA STREET

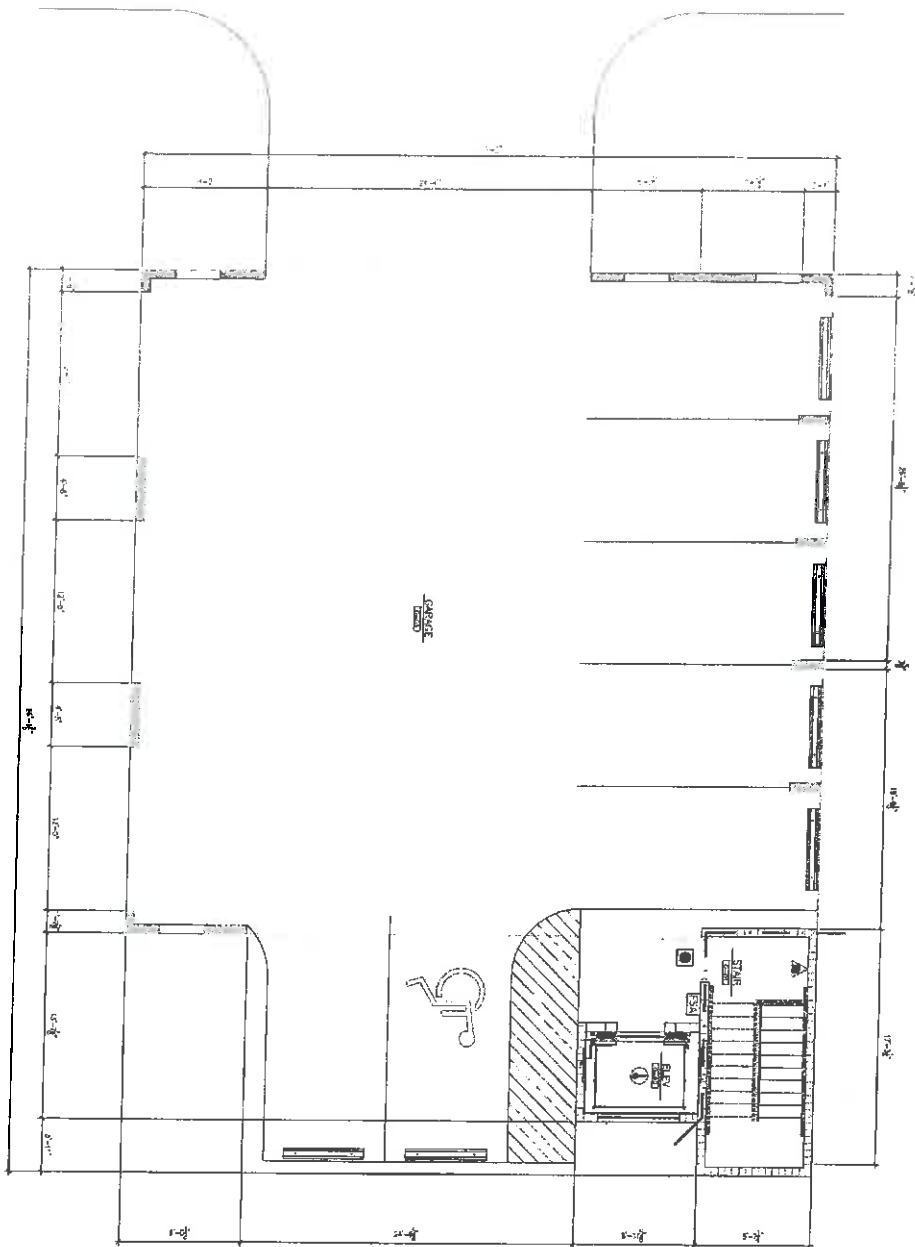
DENNIS STREET
30' ROW



DC
7/14/14

<p>APPROVED FOR CONSTRUCTION</p> <p>DATE: 7/2/14</p> <p>ISSUED IN RESPONSE TO CITY REVIEW</p>	<p>Project No. _____</p> <p>Project Name _____</p> <p>City/County _____</p> <p>City/County Engineer _____</p> <p>City/County Engineer Seal _____</p>	<p>AH of MONROE COUNTY INC.</p> <p>P.O. BOX 4374</p> <p>KEY WEST, FL 32040</p>	<p>Professional Engineer Seal</p> <p>Professional Engineer License No. _____</p> <p>Professional Engineer Name _____</p>	<p>North Arrow</p>
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2



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SC 71804

<p>PROJECT NO.: 2</p>	<p>DATE: 11/11/11</p>	<p>CLIENT: AH of MONROE COUNTY INC. P.O. BOX 4374 KEY WEST, FL 33040</p>	<p>PROJECT TITLE: [Blank]</p>	<p>SCALE: [Blank]</p>	<p>DATE: [Blank]</p>	<p>PROJECT NO.: [Blank]</p>	<p>CLIENT: [Blank]</p>	<p>ARCHITECT: [Blank]</p>	<p>ENGINEER: [Blank]</p>	
	<p>DESIGNED BY: [Blank]</p>									<p>CHECKED BY: [Blank]</p>
	<p>DRAWN BY: [Blank]</p>									<p>DATE: [Blank]</p>
	<p>CHECKED BY: [Blank]</p>									<p>DATE: [Blank]</p>

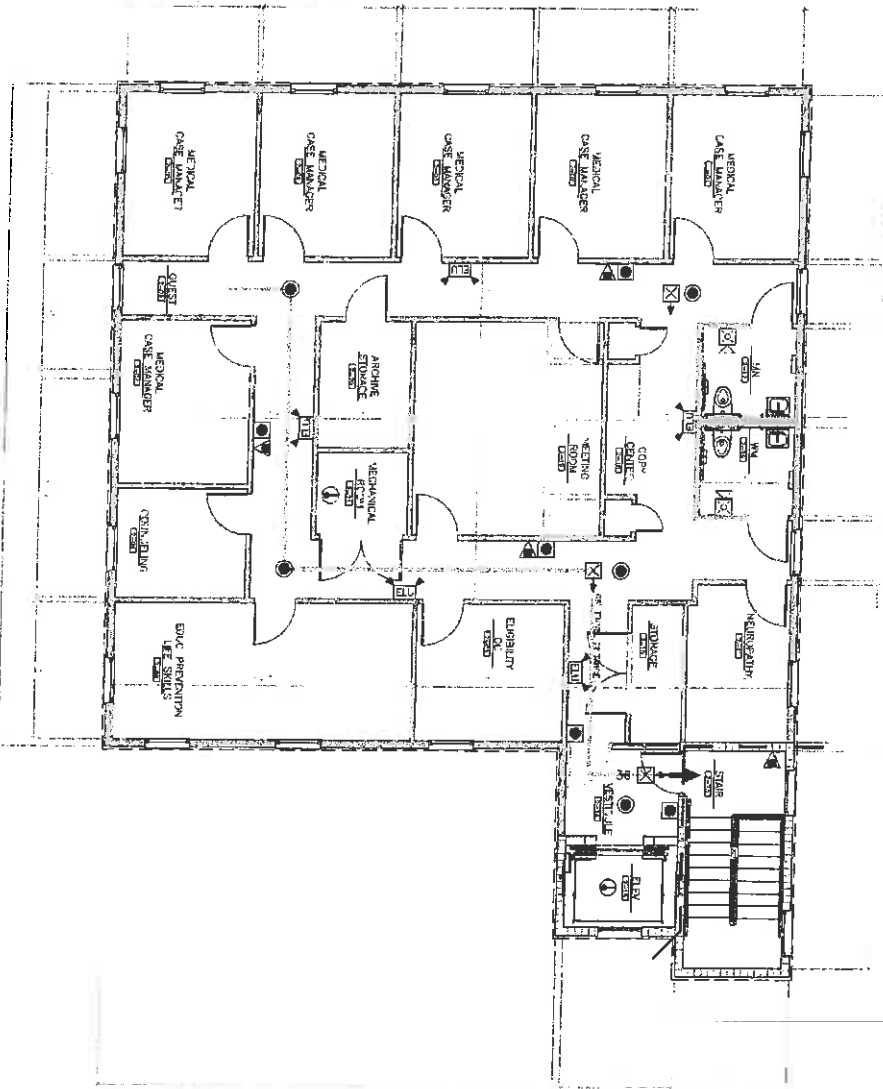


LIFE SAFETY LEGEND

- FIRE EXTINGUISHER
- FIRE ALARM PULL STATION
- FIRE ALARM SOUNDING DEVICE
- FIRE ALARM BELL
- FIRE ALARM BELL HOUSING
- FIRE ALARM BELL HOUSING
- FIRE ALARM BELL HOUSING
- FIRE ALARM BELL HOUSING
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- FIRE ALARM BELL HOUSING

GENERAL NOTES

REFER TO ALL SHEETS FOR SQA INCLUDES



SECOND FLOOR FLOOR PLAN

2

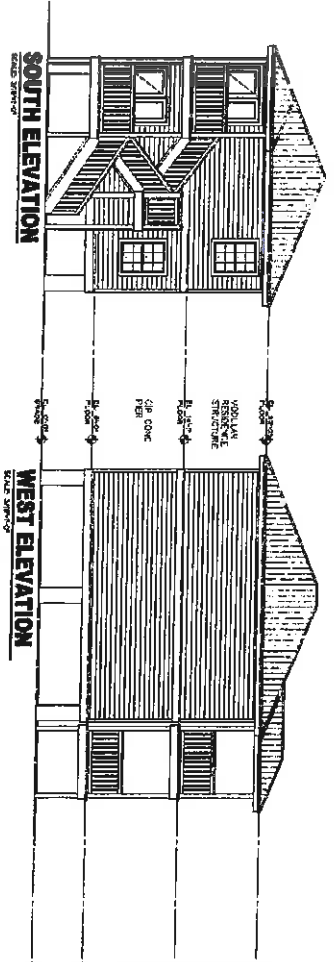
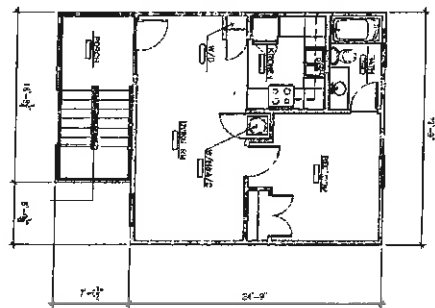
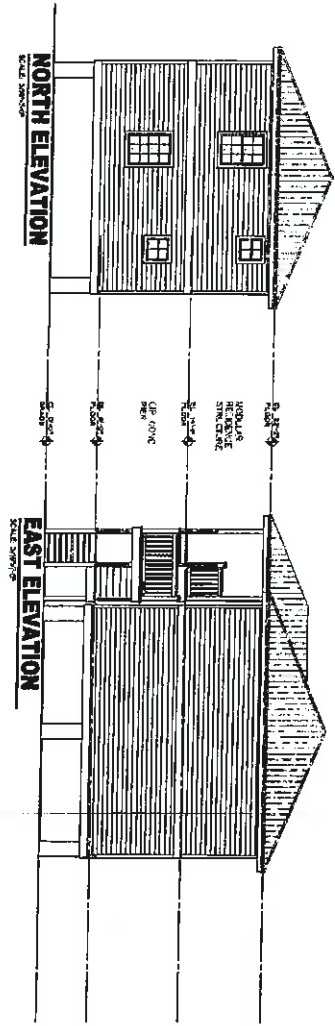
DC
7/28/04

Professional Engineer's Seal

AH of MONROE COUNTY INC.
P.O. BOX 4374
KEY WEST, FL 33041

Drawn By	Checked By
Projected By	Reviewed By
Design Date	Date
Project No.	Revision
Sheet No.	Total Sheets
4	

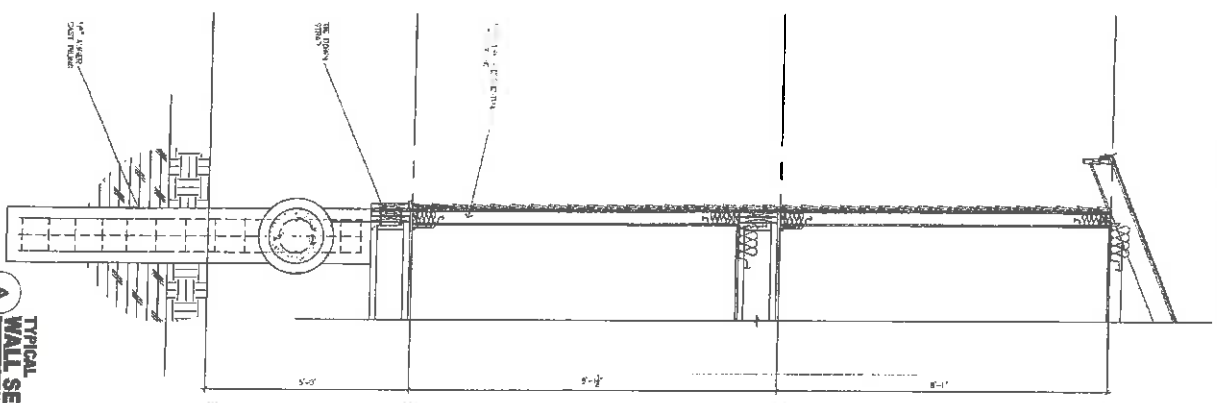
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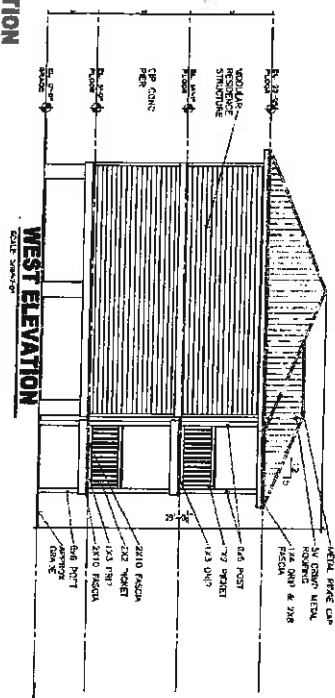
QC
A/B/H

<p>2 UNIT FLOOR PLAN ELEVATIONS 6</p>	<p>AH of MONROE COUNTY INC. P.O. BOX 4374 KEY WEST, FL 33040</p>		<p><small>Professional Seal of Architect/Engineer/Interior Designer</small></p>	<p><small>General Notes</small></p>
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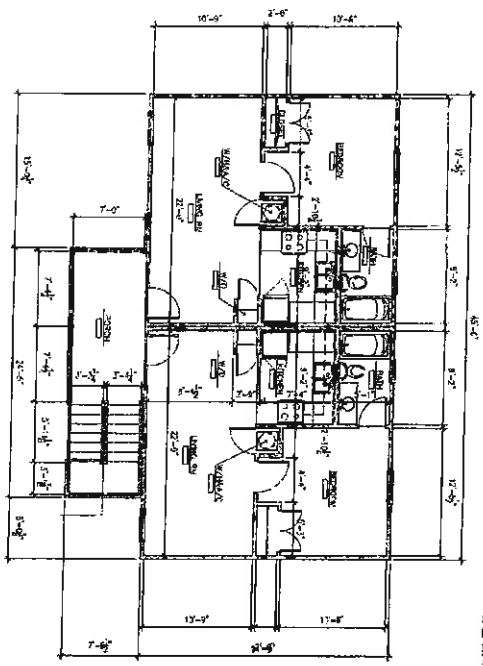
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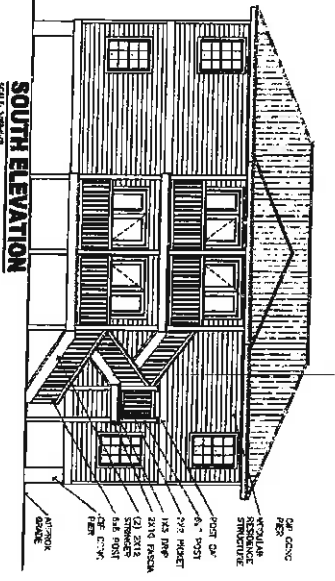
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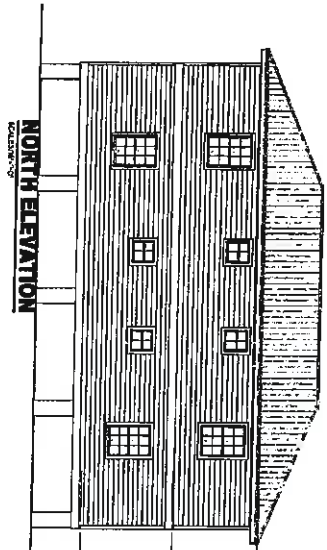
WEST ELEVATION
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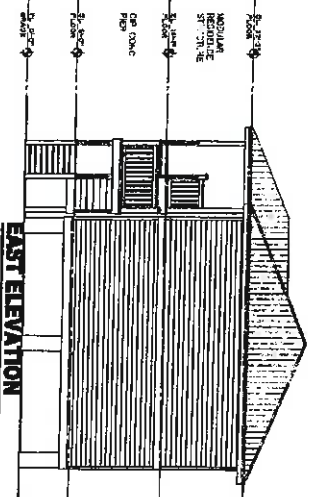
4 UNIT FLOOR PLAN
SCALE: 3/8"=1'-0"



SOUTH ELEVATION
SCALE: 3/8"=1'-0"



NORTH ELEVATION
SCALE: 3/8"=1'-0"

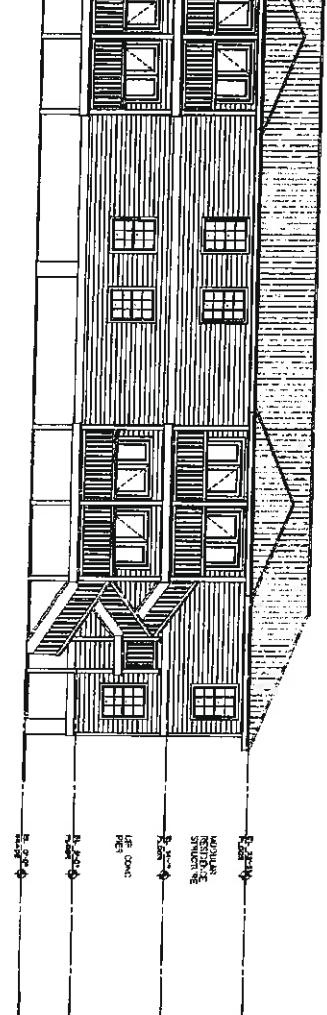


EAST ELEVATION
SCALE: 3/8"=1'-0"

DC
7/2/14

7 4 UNIT FLOOR PLAN ELEVATIONS DATE: 08.14.14	Project: 4 UNIT FLOOR PLAN ELEVATIONS Date: 08.14.14 Scale: 3/8"=1'-0"	AH of MONROE COUNTY INC. P.O. BOX 4374 KEY WEST, FL 33040	General Notes: 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 2. REFER TO ALL OTHER DRAWINGS FOR COMPLETE INFORMATION. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	
	Prepared by: [Signature] Checked by: [Signature] Drawn by: [Signature]			10/10/14

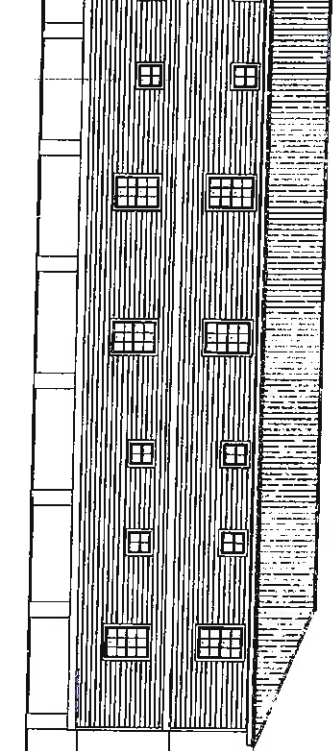
SOUTH ELEVATION
SCALE 3/8"=1'-0"



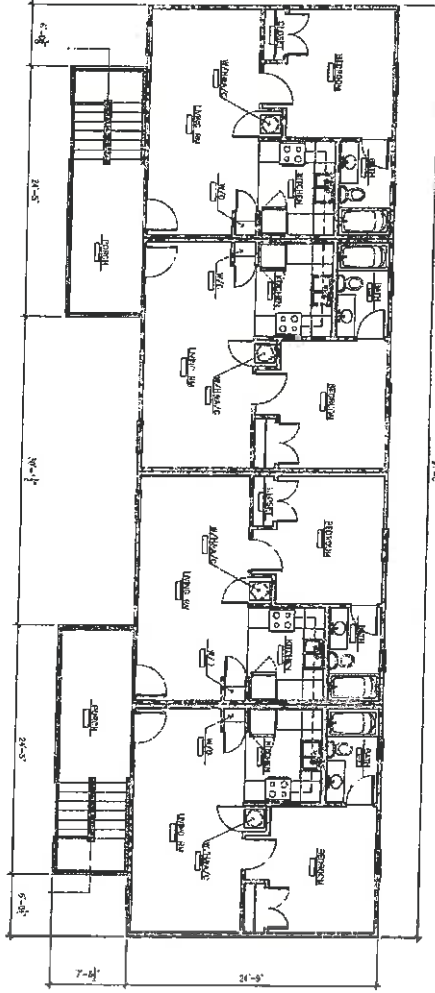
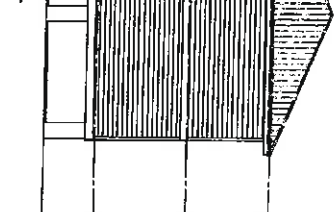
WEST ELEVATION
SCALE 3/8"=1'-0"



NORTH ELEVATION
SCALE 3/8"=1'-0"



EAST ELEVATION
SCALE 3/8"=1'-0"



8 UNIT FLOOR PLAN
SCALE 1/8"=1'-0"

DC
7/8/04

(Handwritten mark)

Project No.	8
Client	AH of Monroe County Inc.
Architect	AH of Monroe County Inc.
Scale	3/8"=1'-0"
Date	7/8/04
Sheet No.	8
Total Sheets	8

AH of MONROE COUNTY INC.
P.O. BOX 4374
KEY WEST, FL 33040

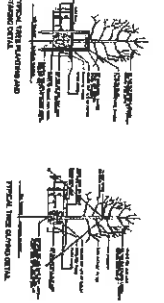
NOTICE: This drawing is the property of AH of Monroe County Inc. and is not to be used for any other project without the written consent of AH of Monroe County Inc. All rights reserved.

3

SUGGESTED PLANT MATERIAL

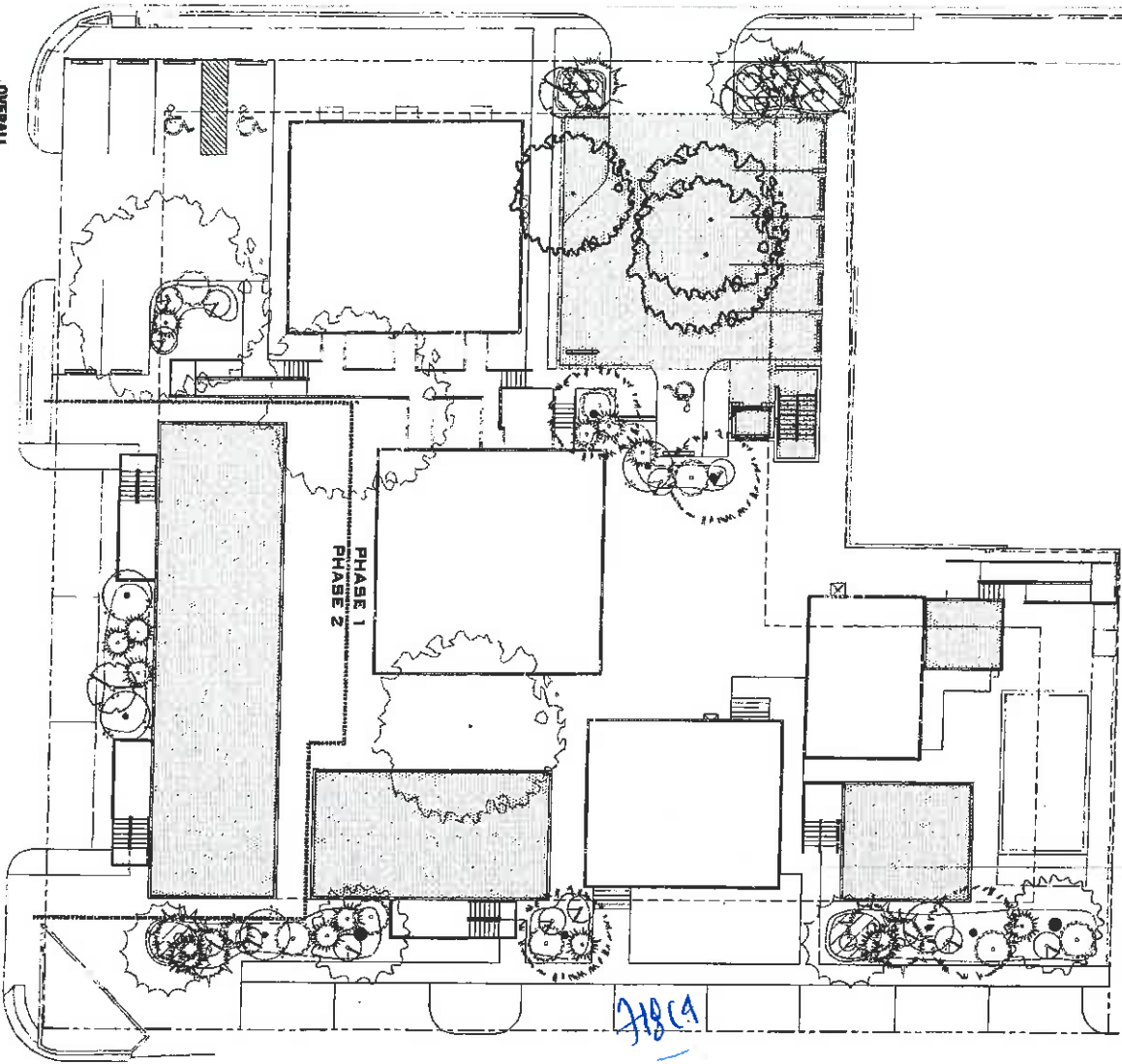
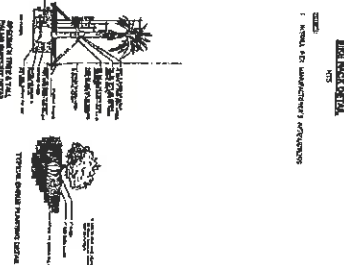
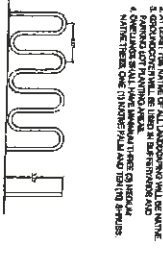
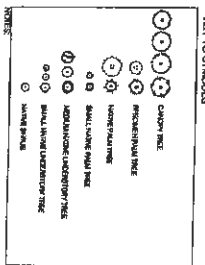
WATERVILLE, MISSISSIPPI

COMMON NAME	SCIENTIFIC NAME
Adiantum	Adiantum species
Asplenium	Asplenium species
... (many more rows)



LANDSCAPE CALCULATIONS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
... (various plant types)



OVERALL LANDSCAPE PLAN

BERTHA STREET
SOFT ROW

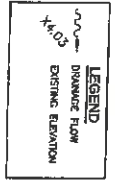
AH of MONROE COUNTY INC.
P.O. BOX 4374
KEY WEST, FL 33040

Project No. 9
Phase 1
Date: 11/11/11

Scale: 1/8" = 1'-0"

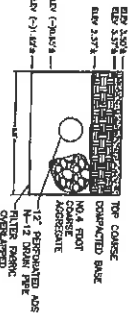
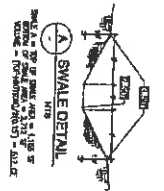
Drawn by: [Name]
Checked by: [Name]

3



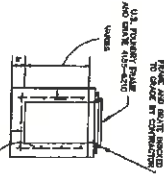
DRAINAGE CALCULATIONS

NO.	AREA (SQ. FT.)	PERCENTAGE IMPERVIOUS	COEFFICIENT OF DISCHARGE	RAINFALL INTENSITY (IN. PER HOUR)	TIME OF CONCENTRATION (MIN.)	PEAK FLOW (GAL. PER MIN.)	PEAK FLOW (MGD)
1	10,000	10%	0.5	2.0	10	100	0.001
2	20,000	20%	0.5	2.0	10	200	0.002
3	30,000	30%	0.5	2.0	10	300	0.003
4	40,000	40%	0.5	2.0	10	400	0.004
5	50,000	50%	0.5	2.0	10	500	0.005
6	60,000	60%	0.5	2.0	10	600	0.006
7	70,000	70%	0.5	2.0	10	700	0.007
8	80,000	80%	0.5	2.0	10	800	0.008
9	90,000	90%	0.5	2.0	10	900	0.009
10	100,000	100%	0.5	2.0	10	1,000	0.010



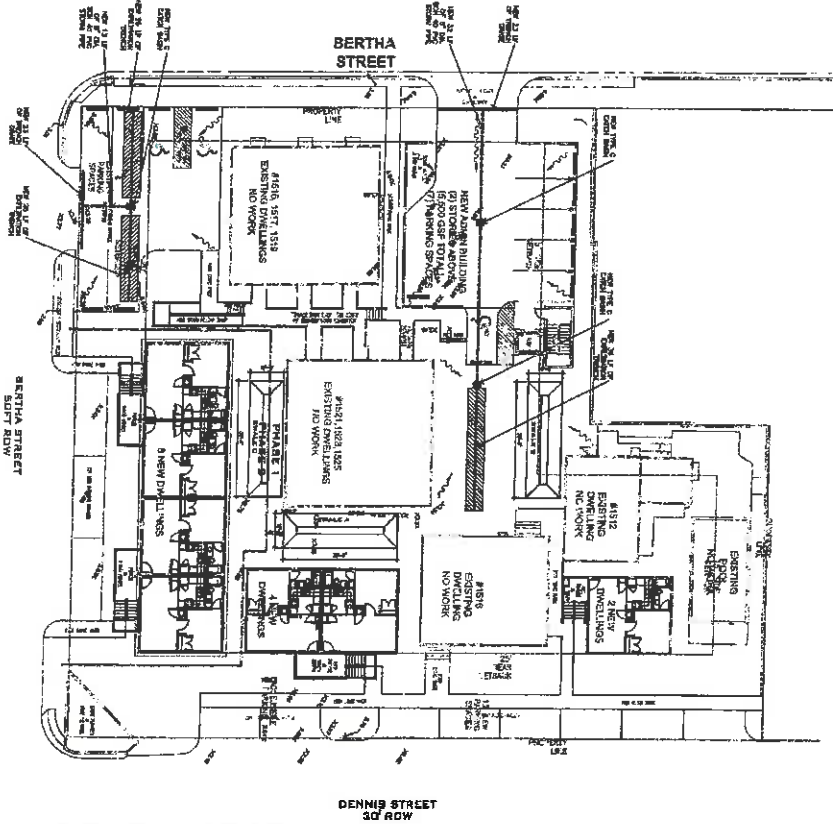
EXFILTRATION TRENCH

NOTES:
 1. FILTER FABRIC SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 2. FILTER FABRIC SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.



TYPE C CATCH BASIN

NOTES:
 1. CONCRETE SHALL BE 3000 PSI AT 28 DAYS, TYPE I CONCRETE.
 2. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



CONCEPTUAL DRAINAGE PLAN

OC
 7/20/14

<p>AH of MONROE COUNTY INC. P.O. BOX 4374 KEY WEST, FL 33040</p>	<p>Monroe Engineering LLC 1000 W. MONROE STREET SUITE 200 KEY WEST, FL 33040 TEL: 305-857-1234 FAX: 305-857-1235 WWW.MONROEENGINEERING.COM</p>	<p>Project No. _____ Sheet No. _____ Date: _____</p>	<p>City: _____ State: _____ Zip: _____</p>	<p>Scale: _____</p>	<p>Drawn By: _____ Checked By: _____ Title: _____</p>	<p>Project No. _____ Sheet No. _____ Date: _____</p>	<p>City: _____ State: _____ Zip: _____</p>	<p>Scale: _____</p>	<p>Drawn By: _____ Checked By: _____ Title: _____</p>