


Staff Report

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chair and Planning Board Members
From: Kevin Bond, AICP, LEED Green Associate, Planner II
Through: Donald Leland Craig, AICP, Planning Director 
Meeting Date: June 19, 2014

Agenda Item: **Variance – 500 Duval Street (RE # 00009850-000000, AK # 1010111)** – A request for variance to minimum side setback in order to construct a new exterior stair for emergency egress from the third floor on property located within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Sections 90-395 and 122-690(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

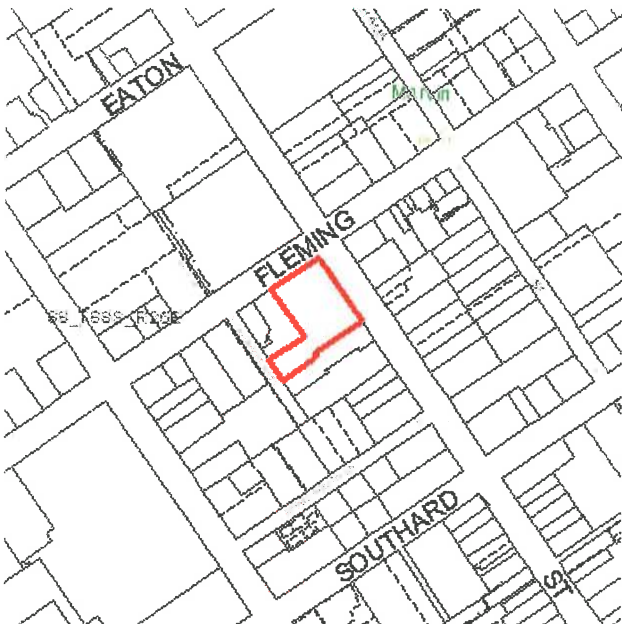
Request: Variance to reduce the minimum side setback from 2.5 feet to zero (0) feet for a new exterior fire escape stairway.

Applicant: Peter Pike, Pike Architects, Inc.

Property Owner: Old Kress Building Company, Inc.

Location: 500 Duval Street (RE # 00009850-000000, AK # 1010111)

Zoning: Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1)



Background:

The property, which is located at the southern corner of Duval and Fleming Streets, is comprised of a three-and-a-half-floor mixed use building commonly known as the Kress Building, which houses Margaritaville and the former Fast Buck Freddie’s. Upper floors of the building contain offices and support space for the ground floor businesses, and a penthouse apartment/office. The property is located within the Key West Historic District and the masonry vernacular building is a contributing structure built circa 1918.

The Applicant proposes to construct a new exterior emergency fire escape stairway to the rear of the building, and would exit onto Fleming Street. There are interior stairways between the floors, but there is currently not a code-compliant emergency egress from the third floor of the building. The Florida Building Code requires a secondary means of emergency egress. In order to accommodate the proposed exterior fire escape, an existing window would be changed to a door on the rear building facade. The property is nonconforming to maximum lot coverages. The existing historic building is nonconforming to minimum setbacks. In order to provide a code-compliance emergency egress, the proposed exterior stairway would need a zero setback from the adjacent property line, which requires a variance. The property is within the X FEMA flood zone. The following table summarizes the requested variances and site conditions.

Relevant HRCC-1 Zoning District Dimensional Requirements: Code Section 122-690				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Maximum building coverage	50%	90%	90%	No change
Maximum impervious surface	70%	100	100%	No change
Minimum lot size	4,000 SF	16,472 SF	16,472 SF	No change
Minimum lot width	40 feet	134 feet	134 feet	No change
Minimum lot depth	100 feet	173 feet	173 feet	No change
Minimum front setback	0 feet	0 feet (excluding encroachments)	0 feet (excluding encroachments)	No change
Minimum side setback (proposed stairway side only)	2.5 feet	0.71’ to storage enclosure; 4.46’ to building	0 feet	-4.46’; Variance requested
Minimum rear setback	10 feet	~12 feet from alley	~12 feet from alley	No change
Minimum street side setback	0 feet	0 feet (excluding encroachments)	0 feet (excluding encroachments)	No change

There are existing encroachments into City right-of-way from the property, including the metal awning along Duval Street and a portion of Fleming Street and the building roof cornice along both streets. The owner has submitted an easement application to the City to allow these historic building encroachments to continue.

Process:

Development Review Committee:
Planning Board:

April 24, 2014
June 19, 2014

Analysis – Evaluation for Compliance With The Land Development Regulations:

The standards for considering variances are set forth in Section 90-395(a) of the City of Key West (the “City”) Land Development Regulations (“LDRs”). Before any variance may be granted, the Planning Board must find all of the following:

- (1) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The land, structures and buildings involved are located on the property within the HRCC-1 Zoning District, and were developed prior to the adoption of the current land development regulations (LDRs). Thus, all the existing nonconformities were established prior to the current LDRs. However, many other land, structures and buildings within the HRCC-1 Zoning District were also developed prior to the adoption of the current LDRs. Therefore, there are no special conditions or circumstances that exist peculiar to the land, structures or buildings involved. NOT IN COMPLIANCE.

- (2) Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

The existing nonconformities were not created by the Applicant. However, the Applicant is proposing to add the new exterior stairway, which would thereby increase the nonconforming setbacks on the property. This is a circumstance resulting from the proposed action of the Applicant. Therefore, some of the conditions are created by the Applicant. Nonetheless, it should be noted that the proposed action is being done to fulfill life safety requirements of the Florida Building Code for emergency egress. NOT IN COMPLIANCE.

- (3) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Granting the requested variance would confer special privileges upon the Applicant that are denied by the LDRs to other lands, buildings and structures in the HRCC-1 Zoning District. It should be noted that City Code Section 122-1145(b)(1)b. does provide for a reduced setback of 30 inches for exterior open stairs. However, in order to provide a code-compliance egress stairway in the space available, a zero setback would be needed. NOT IN COMPLIANCE.

- (4) Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The Applicant currently enjoys the use of the property as a mixed use building with restaurant, retail, office, amusement and residential uses, which are common permitted and conditional uses within the HRCC-1 Zoning District. The Applicant wishes to add a new exterior fire escape stairway in order to provide the required emergency egress from the third floor of the building, as is required of all similar buildings in the same zoning district. Denial of the requested variance would result in the owner having to make more extensive

renovations to the building's interior in order to provide a code-compliant emergency egress. Therefore, denial of the requested variance may create hardship conditions for the Applicant. IN COMPLIANCE.

- (5) Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.**

The required emergency egress could be designed in a way so as to reduce or eliminate the requested variance. However, doing so would result in the owner having to make more extensive renovations to the building's interior in order to provide a code-compliant emergency egress. The requested setback variance is the minimum necessary to provide the proposed exterior fire escape stairway in the proposed location on the subject property. IN COMPLIANCE.

- (6) Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

Due to not being in compliance with all of the standards for considering variances, the granting of the requested variances would be injurious to the area involved and otherwise detrimental to the public interest. NOT IN COMPLIANCE.

- (7) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

The Applicant has not used existing nonconforming uses of other property in the HHDR Zoning District or permitted uses of property in other zoning districts as the grounds for approval of the requested variances. IN COMPLIANCE.

Concurrency Facilities and Other Utilities or Service (Code Section 108-233):

Based on comments received at the DRC, it does not appear that the requested variances would trigger any public facility capacity issues.

Pursuant to Code Section 90-395(b), the Planning Board shall make factual findings regarding the following:

- (1) That the standards established by Code Section 90-395 have been met by the applicant for a variance.**

The standards for the granting of variances established by Code Section 90-395 have not all been met by the Applicant.

- (2) That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

As of the writing of this report, public notices were not yet required. Staff is not aware of any objections at this time.

Recommendation:

Based on the above analysis of the standards for considering variances established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the requested variance be **DENIED**.

However, if the Planning Board approves the requested variance, the Planning Department recommends the following conditions:

General Conditions:

1. The proposed development shall be consistent with the plans signed and sealed on April 29, 2014 by Peter M. Pike, Registered Architect.

Conditions required to be completed prior to issuance of a building permit:

2. The owner shall obtain a Certificate of Appropriateness for the proposed development.
3. The owner shall obtain an easement for the existing building awning and cornice encroachments located within City right-of-way.

Draft Resolution

**PLANNING BOARD
RESOLUTION NO. 2014-**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING WITH CONDITIONS A VARIANCE TO THE MINIMUM SIDE SETBACK ON PROPERTY LOCATED AT 500 DUVAL STREET (RE # 00009850-000000, AK # 1010111) IN THE HISTORIC RESIDENTIAL COMMERCIAL CORE – DUVAL STREET GULFSIDE (HRCC-1) ZONING DISTRICT PURSUANT TO SECTIONS 90-395 AND 122-690(6)B. OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA

WHEREAS, the applicant proposes to construct a new exterior fire escape stairway to the rear of the existing historic mixed use building on property located at 500 Duval Street (RE # 00009850-000000, AK # 1010111); and

WHEREAS, the existing building is currently nonconforming to the minimum setbacks within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District; and

WHEREAS, Section 122-690 of the Land Development Regulations (the “LDRs”) of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that the minimum side yard setback is 2.5 feet; and

WHEREAS, the proposed side yard setback is zero (0) feet; and

WHEREAS, the applicant requests a variance to the minimum side setback; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on June 19, 2014; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor

policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. An approval by Resolution of the Key West Planning Board for variance to allow the construction of a new exterior fire escape stairway to the rear of the existing historic mixed use building per the attached plans signed and sealed on April 29, 2014 by Peter M. Pike, Registered Architect, on property located at 500 Duval Street (RE # 00009850-000000, AK # 1010111) in the HRCC-1 Zoning District pursuant to Sections 90-395 and 122-690(6)b. of the City of Key West Land Development Regulations with the following conditions:

1. The proposed development shall be consistent with the plans signed and sealed on April 29, 2014 by Peter M. Pike, Registered Architect.

Conditions required to be completed prior to issuance of a building permit:

2. The owner shall obtain a Certificate of Appropriateness for the proposed development.

3. The owner shall obtain an easement for the existing building awning and cornice encroachments located within City right-of-way.

Section 3. It is a condition of these variances that full, complete and final application for all conditions of this approval for any use and occupancy for which these variances are wholly or

partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

Section 5. These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 7. This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until

the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this ____ day of _____, 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director;

Richard Klitenick, Planning Board Chairman

Date

Attest:

Donald Leland Craig, AICP, Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____ Chairman

_____ Planning Director

Application



Application For Variance

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com



Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 500 DUVAL / 424 FLEMING
Zoning District: HRCC-1 Real Estate (RE) #: 00009850-000000
Property located within the Historic District? Yes No

APPLICANT:

Owner Authorized Representative
Name: DONNA SMITH - KRESS BUILDING.
Mailing Address: 424 FLEMING STREET
City: KEY WEST State: FL. Zip: 33040
Home/Mobile Phone: 803-273-3075 Office: _____ Fax: _____
Email: SUNSHINE@MARGARITAVILLE.COM

PROPERTY OWNER: (if different than above)

Name: OLD KRESS BUILDING COMPANY INC
Mailing Address: 424 FLEMING ST.
City: KEY WEST State: FL. Zip: 33040
Home/Mobile Phone: _____ Office: _____ Fax: _____
Email: _____

Description of Proposed Construction, Development, and Use: CONSTRUCTION OF AN EMERGENCY FIRE ESCAPE STAIRWAY.

List and describe the specific variance(s) being requested:

REAR SETBACK

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HRCC-1			
Flood Zone	ZONE X			
Size of Site	16,490 sq ft	379A.		
Height				
Front Setback	0	0	0	
Side Setback	2.5	2.5	.5	2'-0" VARIANCE
Side Setback	2.5	0	0	
Street Side Setback	0	0	0	
Rear Setback	100	0	0	
F.A.R.				
Building Coverage	50.90%	90%	90%	
Impervious Surface		EX.	EX.	
Parking	0	0	0	
Handicap Parking	0	0	0	
Bicycle Parking	0	0	0	
Open Space/ Landscaping	0	0	0	
Number and type of units	COMMERCIAL	EX	FX.	
Consumption Area or Number of seats	0	0	0	

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

THERE IS NO FIRE ESCAPE FOR THE 2ND & 3RD
LEVEL OF THE "KRESS" BUILDING.
THIS VARIANCE WILL ALLOW A MEANS OF EGRESS

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

THE FLORIDA BUILDING CODE REQUIRES A
SECOND MEANS OF EMERGENCY EXIT IN THE
EVENT OF A FIRE.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

THE GRANTING OF A VARIANCE WILL ALLOW
THE APPLICANT TO BE CODE COMPLIANT
GRANTING NO SPECIAL PRIVILEGE.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

THIS IS A LIFE SAFETY APPLICATION AND HAS
NO RELATIONSHIP TO A HARDSHIP.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

THIS APPLICATION REQUESTS THE MINIMUM
CODE DIMENSION ACCORDING TO
LIFE SAFETY.

City of Key West • Application for Variance

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

THIS APPLICATION PROVIDES NO ALLOWANCE THAT COULD BE CONSIDERED DETRIMENTAL TO THE PUBLIC WELFARE.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.
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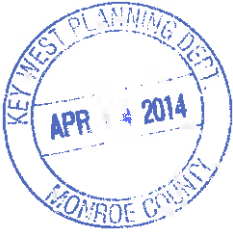
The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

Authorization Form



City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, TONY V. FALCONE as
Please Print Name of person with authority to execute documents on behalf of entity

PRESIDENT of OLD KLESS BUILDING CO. INC
Name of office (President, Managing Member) *Name of owner from deed*

authorize PETER PIKE
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

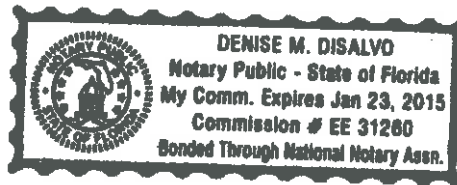
[Signature]
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 4/10/14 by
date

TONY FALCONE
Name of Authorized Representative

He She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal



DENISE M. DISALVO
Name of Acknowledger typed, printed or stamped

EE 31260
Commission Number, if any

**City of Key West
Planning Department**



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, KEVIN J. BOUCHER as
Please Print Name of person with authority to execute documents on behalf of entity

VP/OWNER of OLD KRESS BUILDING CO., INC
Name of office (President, Managing Member) Name of owner from deed

authorize PETER PIKE
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf on entity owner

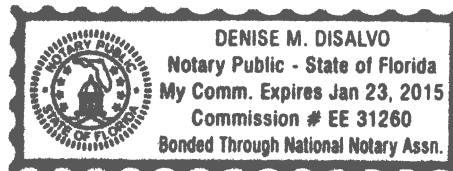
Subscribed and sworn to (or affirmed) before me on this 3/31/14 by
date

KEVIN BOUCHER
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal

DENISE M. DISALVO
Name of Acknowledger typed, printed or stamped



#EE 31260
Commission Number, if any

Verification Form

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

I, Peter M. Pike, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

500 Duval Street

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

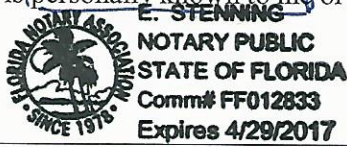
[Handwritten Signature]

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 4/10/14 by _____ by
date

Elizabeth Stenning
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.



Notary's Signature and Seal

E. Stenning
Name of Acknowledger, typed, printed or stamped

FF012833 Expires 4/29/17
Commission Number, if any

**City of Key West
Planning Department**



Verification Form
(Where Owner is the applicant)

I, KEVIN BOUCHER, being duly sworn, depose and say that I am the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

500 DUVAL STREET

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

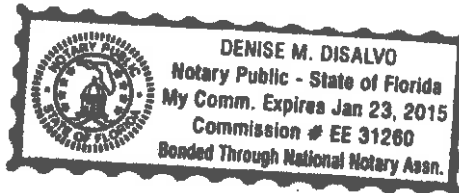
Kevin Boucher
Signature of Owner

Subscribed and sworn to (or affirmed) before me on this 3/31/2014 by

KEVIN BOUCHER
Name of Owner

He is personally known to me or has presented _____ as identification.

Denise M. Disalvo
Notary's Signature and Seal



DENISE M. DISALVO
Name of Acknowledger typed, printed or stamped

EE 31260
Commission Number, if any

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, Kevin J Bowcher, in my capacity as V.P. OWNER
(print name) (print position; president, managing member)
of THE OLD KRESS BUILDING COMPANY, INC
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

500 DUVAL STREET
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Kevin Bowcher
Signature of Authorized Representative

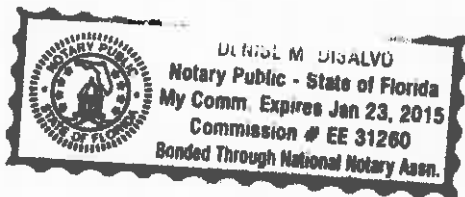
Subscribed and sworn to (or affirmed) before me on this 3/31/2014 by
date

Kevin Bowcher
Name of Authorized Representative

He/she is personally known to me or has presented _____ as identification.

Dennis M. DiSalvo
Notary's Signature and Seal

DEVISE M. DISALVO
Name of Acknowledger typed, printed or stamped



#EE 31260
Commission Number, if any

Deed

772573

OFF REC 1245 PAGE 1859

37.50
21,000.00

WARRANTY DEED

Return to:

John M. Spottswood, Jr.
Attorney at Law
500 Fleming St.
Key West, FL 33040

This Instrument Prepared By:

Karin Greenfield-Sanders
135 East Second Street
New York, NY 10009-7943

**Property Appraisers Parcel
Identification (Folio) #(s):** 985

Alternate Key 1010111

Grantee Taxpayer I.D. #:

FILED FOR RECORD
93 FEB 19 PM 12 27
DANNY L. KOLHAGE
CLK. CIR. CT.
MONROE COUNTY, FLORIDA

DS Paid 21,000⁰⁰ Date 2-19-93
MONROE COUNTY
DANNY L. KOLHAGE, CLERK CIR. CT
By [Signature] D.C.

THIS INDENTURE, made this 19th day of February, 1993,
BETWEEN DAVID WILLIAMS WOLKOWSKY, a single man over the age
of 18 years, of the County of Monroe, in the State of
Florida, party of the first part, and **OLD KRESS BUILDING
COMPANY, INC.** of the County of Monroe, in the State of
Florida, whose post office address is 500 Duval Street, Key
West, Florida 33040, party of the second part.

WITNESSETH, that the said party of the first part, for and
in consideration of the sum of Ten Dollars, to him in hand
paid by the said party of the second part, the receipt
whereof is hereby acknowledged, has granted, bargained, and
sold to the said party of the second part, its heirs and
assigns forever, the following described land, situate, and
being in the County of Monroe, State of Florida, to-wit:

A tract of land in a part of Lot 2, Square 51 in the City
of Key West, Florida, according to Wm. A. Whitehead's Map
of the Island of Key West, Florida and being more
particularly described by metes and bounds as follows:

COMMENCING at the intersection of the southeasterly
property line of Fleming Street and the northwesterly
property line of Duval Street said intersection also to
be known as the Point of Beginning of the tract of land

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hereinafter described, bear South 56 degrees and 30 minutes West along the southeasterly property line of Fleming Street for a distance of 100.00 feet to a point; thence bear South 33 degrees and 30 minutes East for a distance of 100.00 feet to a point; thence bear South 56 degrees and 30 minutes West for a distance of 73.20 feet to a point on the southeasterly property line of Prospect Lane; thence bear South 33 degrees and 30 minutes East along the southeasterly property line of Prospect Lane for a distance of 42.00 feet to a point; thence bear North 56 degrees and 30 minutes East for a distance of 73.20 feet to a point; thence bear North 33 degrees and 30 minutes West for a distance of 8.00 feet to a point; thence bear North 56 degrees and 30 minutes East for a distance of 100.00 feet to a point on the northwesterly property line of Duval Street; thence bear North 33 degrees and 30 minutes West along the northwesterly property line of Duval Street for a distance of 134.00 feet, back to the Point of Beginning.

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever, SUBJECT, HOWEVER, TO THE FOLLOWING:

- (1) The party of the first part retains a life estate in that portion of the Kress Building described as follows:

The entire penthouse apartment/office, consisting of approximately 2,700 square feet of interior building space on the roof of the building, and including the servant and guest quarters connected thereto on the third floor of the building and the gardens and decks appurtenant thereto (the "Penthouse").

The exclusive right to use all exposed areas of the roof other than those areas currently housing the air conditioning system servicing the building; provided that the party of the second part may make reasonable changes regarding the areas of the roof housing the air conditioning system in order to accommodate a new air conditioning system so long as such changes do not infringe on the roof decks or other roof areas actually occupied by the Penthouse; and provided that the party of the second part shall make all repairs to the roof other than repairs of damage caused by the willful misconduct of the party of the first part; and provided further that the party of the second part shall have the right of reasonable access to make necessary repairs to the roof and air conditioning system, and other areas of the building.

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The office located next to the elevator on the third floor of the building, consisting of approximately 95 square feet.

The right to use all common areas and facilities of the building, for access to and from the Penthouse and otherwise, including the entrance hall, the elevator, the corridor leading to the office on the third floor and the corridor leading to the lower level of the Penthouse, all of which shall be maintained in proper working order and serviced at the party of the second part's expense. The party of the first part shall have the right to lock access to the Penthouse floor from the elevator and the right to decorate or approve decorations of the entrance hall and the elevator. The party of the second part shall have the right to retain possession of a key to the elevator for reasonable access in the event of an emergency provided that such key shall be in the possession or strict control of one of the stockholders of the party of the second part.

The portions of the Kress Building as to which the party of the first part retains exclusive use during his lifetime are illustrated on the three pages of drawings attached hereto as Exhibit A.

The party of the first part has the right to require the party of the second part to soundproof any areas of the third floor of the Kress Building not retained by the party of the first part the use of which causes excessive noise to be heard in the portion of the building retained by the party of the first part.

The Kress Building shall be insured for its full replacement value throughout the life of the party of the first part, and in the event of damage, insurance proceeds shall be used to promptly rebuild the portion of the Kress Building in which the party of the first part has retained a life estate in accordance with the plans attached hereto as Exhibit A; during the lifetime of the party of the first part, the insurance policy shall also contain a rider providing monies for comparable alternative housing for the party of the first part during such rebuilding; provided, however, that if, after good faith applications and appeals, the municipal authorities in Key West deny permission to rebuild the portions of the Kress Building over which the party of the first part retains a life estate, the party of the first part shall be paid that portion of

the insurance proceeds that would have covered the complete cost of rebuilding the portions over which the party of the first part retains a life estate and the party of the first part shall thereafter have no further claim to the property.

The party of the second part shall not disrupt the party of the first part's electric, water and sewer service or the air conditioning service.

- (2) The party of the first part retains for his life a right of first refusal upon the transfer of all or a portion of the legal ownership or 50% or more of the equitable ownership of the real property sold hereunder (a series of transfers of less than a controlling interest designed to undercut the limit herein shall not be considered bona fide and shall trigger the first refusal right). Provided that bona fide transfers among the initial shareholders of the party of the second part, or from an initial shareholder of the party of the second part to such shareholder's spouse at the time of transfer or children or trust for their benefit or heirs shall not trigger the right of first refusal. The right of first refusal retained by the party of the first part is personal to him and terminates automatically upon his death.
- (3) A Purchase Money Mortgage and Security Agreement of even date herewith securing a two million three hundred thousand dollar (\$2,300,000.00) indebtedness to the party of the first part.


IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand the day and year first above written.

Signed, Sealed and delivered
in the presence of:


Witness #1 Signature


John M. Spottswood, Jr.

Printed Name of Witness #1


Witness #2 Signature

Sandra S. Mahaffey

Printed Name of Witness #2


DAVID WILLIAMS WOLKOWSKY
P.O. Box 1429
Key West, FL 33041

772573

OFF REC 1245 PAGE 1863

STATE OF FLORIDA)
:)
COUNTY OF MONROE)

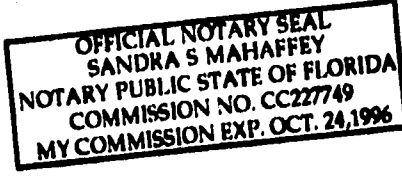
I hereby Certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared DAVID W. WOLKOWSKY known to me to be the person in and who executed the foregoing instrument, who acknowledged before me that he executed the same, that I relied upon the following form of identification of the above-named person: n/a
(personally known) and that an oath (~~was~~) (was not) taken.

[Notary Public
Rubber Stamp Seal]

Witness my hand and official seal
in the County and State last
aforesaid this 19th day of
February _____, A.D. 1993.

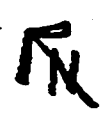
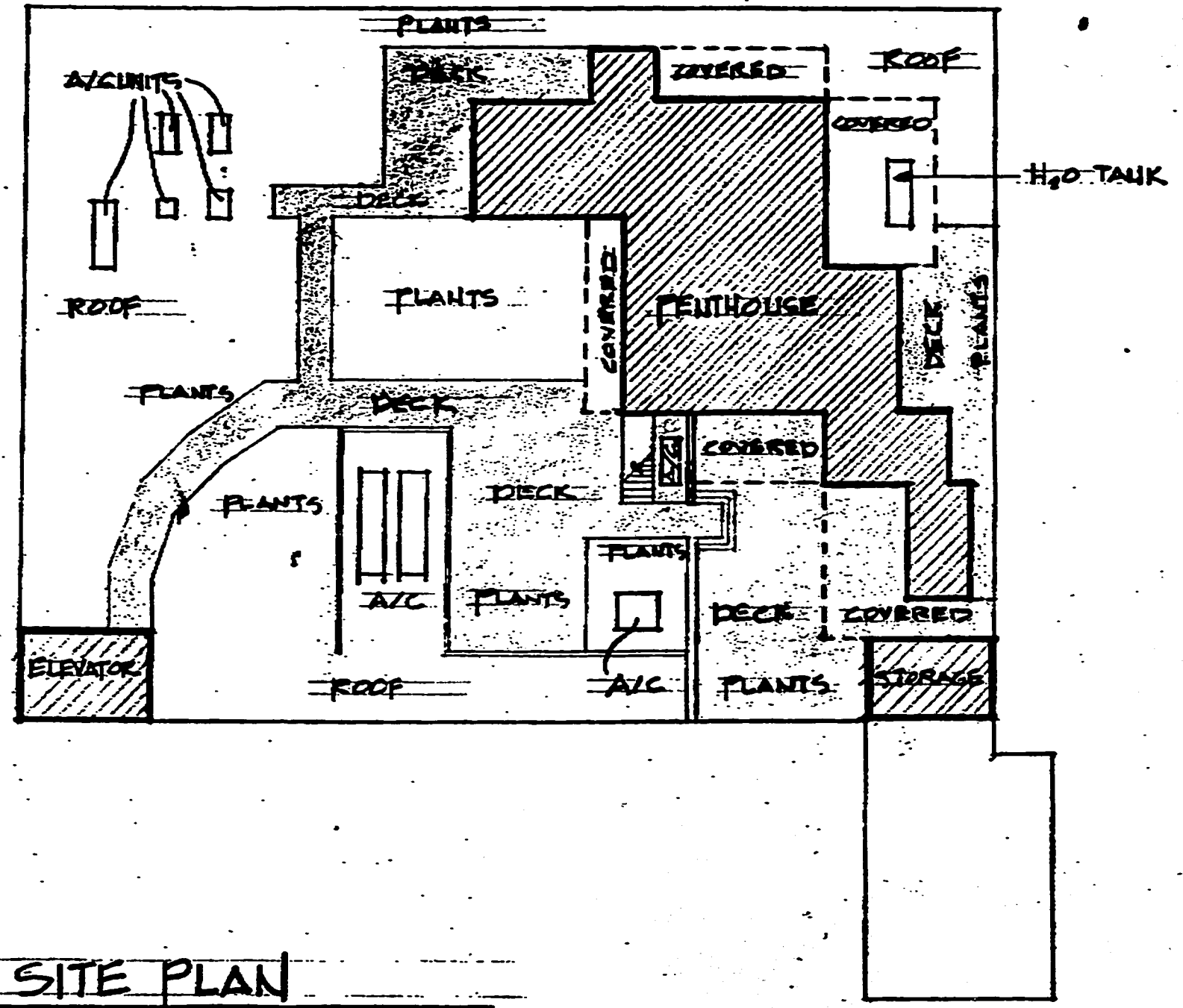
Sandra S. Mahaffey
Notary Public Signature

Printed Notary Signature



PENTHOUSE APT. & ROOF

772573 OFF 1245 PAGE 1864
EXHIBIT A - page 1



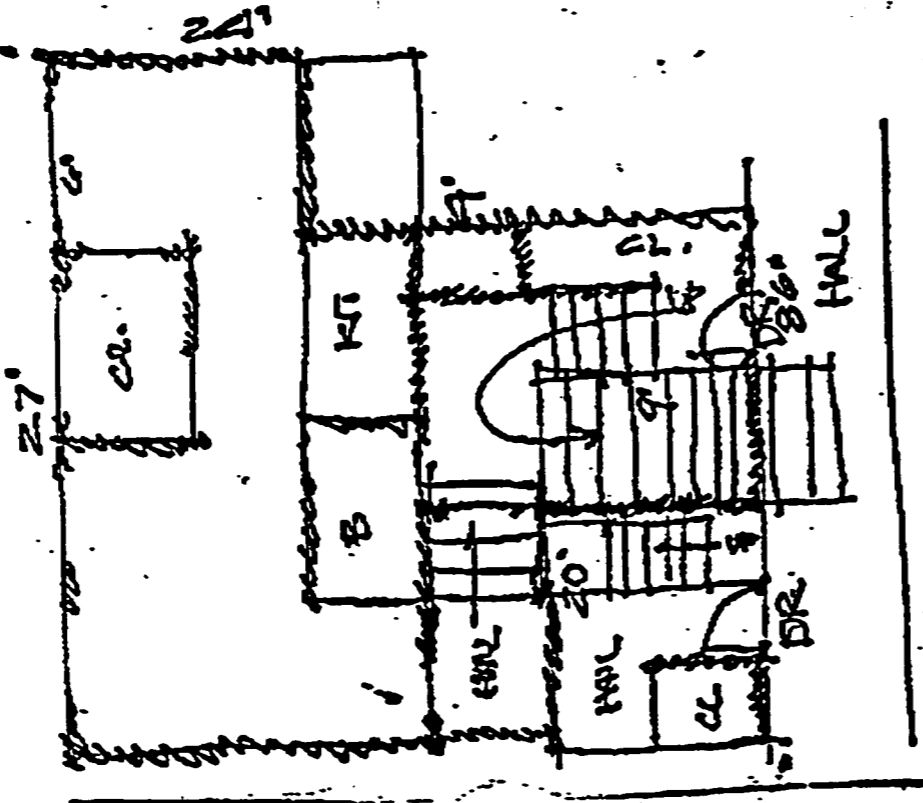
SITE PLAN

SCALE: 1" = 20'

772573

OFF REC 1245 PAGE 1865

EXHIBIT A - Page 67.

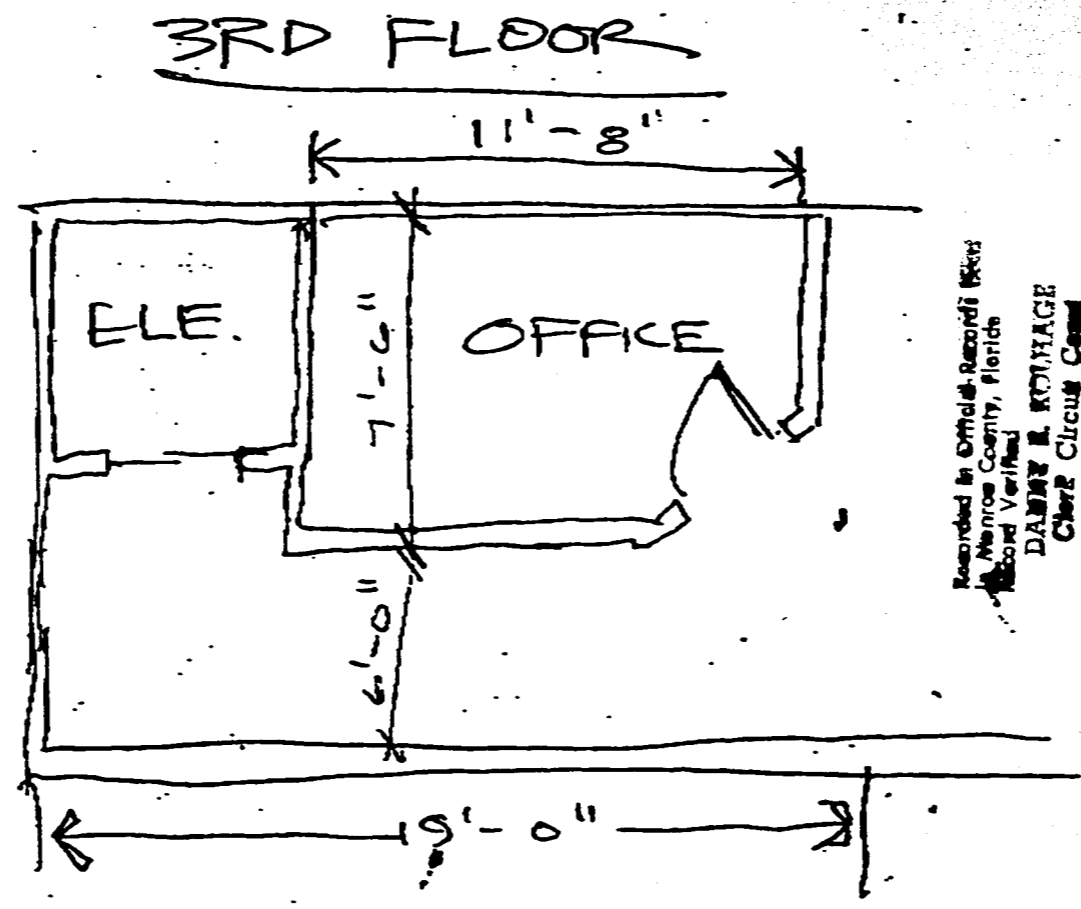


3RD FLOOR

772573 OFF 1245 PAGE 1866

REC

EXHIBIT A - page 3



Recorded in Official Records Files
Alameda County, Florida
Notarially Verified
DANNY R. KOTHAGE
Chloro Circuit Court

FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS



Detail by Entity Name

Florida Profit Corporation

OLD KRESS BUILDING COMPANY, INC.

Filing Information

Document Number V05971
FEI/EIN Number 650391415
Date Filed 01/09/1992
State FL
Status ACTIVE

Principal Address

500 DUVAL ST.
KEY WEST, FL 33040

Mailing Address

424-A FLEMING ST
KEY WEST, FL 33040

Changed: 07/08/1998

Registered Agent Name & Address

FALCONE, ANTHONY V.
424-A FLEMING
KEY WEST, FL 33040

Address Changed: 07/08/1998

Officer/Director Detail

Name & Address

Title P

FALCONE, ANTHONY V.
500 DUVAL ST.
KEY WEST, FL

Title V

BOUCHER, KEVIN
500 DUVAL STREET
KEY WEST, FL

Title S

SMITH, DONNA K.
424-A FLEMING STREET
KEY WEST, FL

Title D

BUFFETT, JIMMY
424-A FLEMING STREET
KEY WEST, FL

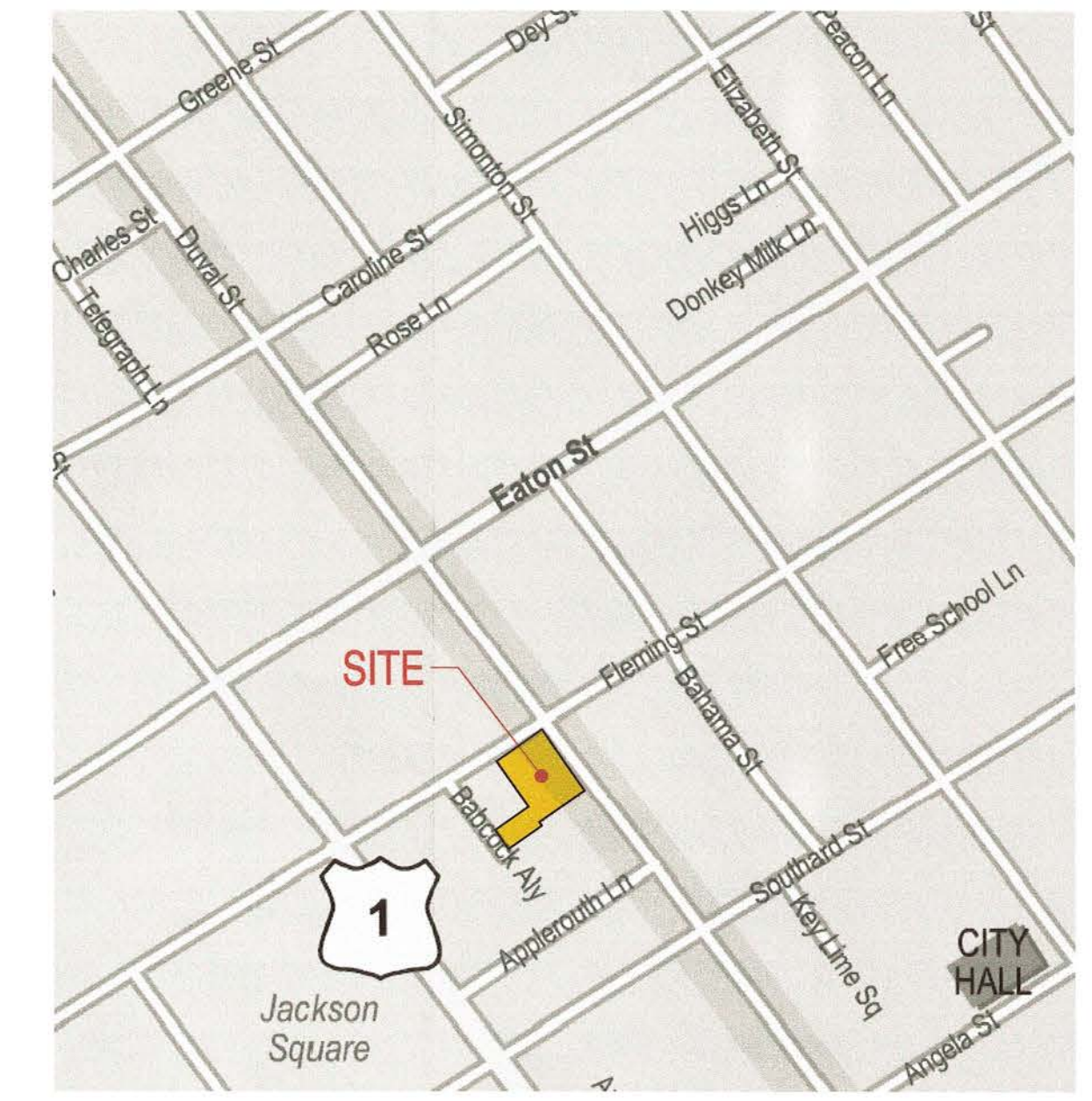
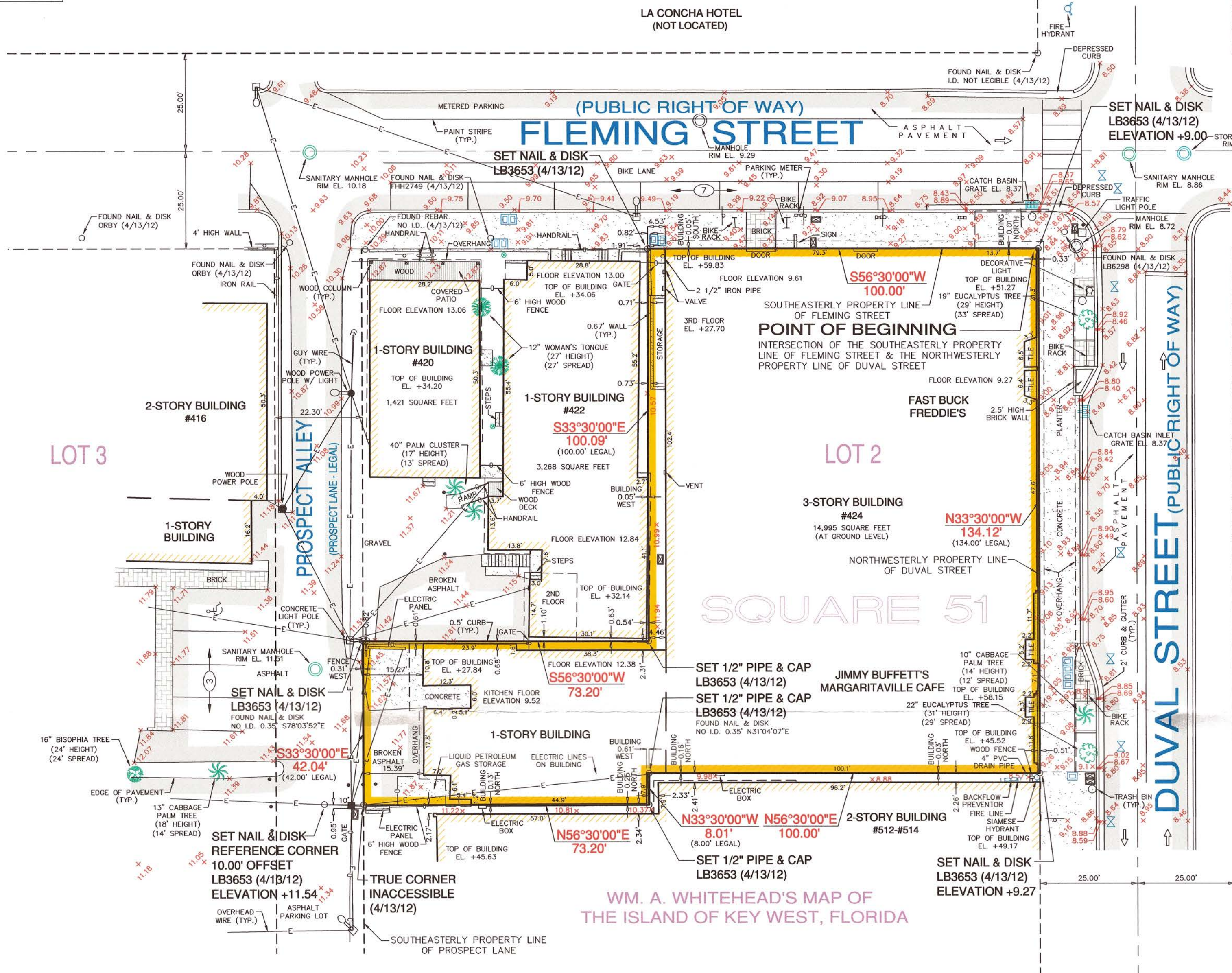
Annual Reports

Report Year	Filed Date
2012	03/12/2012
2013	02/18/2013
2014	02/04/2014

Document Images

02/04/2014 -- ANNUAL REPORT	View image in PDF format
02/18/2013 -- ANNUAL REPORT	View image in PDF format
03/12/2012 -- ANNUAL REPORT	View image in PDF format
03/09/2011 -- ANNUAL REPORT	View image in PDF format
02/16/2010 -- ANNUAL REPORT	View image in PDF format
03/05/2009 -- ANNUAL REPORT	View image in PDF format
04/21/2008 -- ANNUAL REPORT	View image in PDF format
04/20/2007 -- ANNUAL REPORT	View image in PDF format
03/31/2006 -- ANNUAL REPORT	View image in PDF format
04/22/2005 -- ANNUAL REPORT	View image in PDF format
04/16/2004 -- ANNUAL REPORT	View image in PDF format
03/19/2003 -- ANNUAL REPORT	View image in PDF format
03/27/2002 -- ANNUAL REPORT	View image in PDF format
04/02/2001 -- ANNUAL REPORT	View image in PDF format
03/02/2000 -- ANNUAL REPORT	View image in PDF format
03/11/1999 -- ANNUAL REPORT	View image in PDF format
07/08/1998 -- ANNUAL REPORT	View image in PDF format
05/12/1997 -- ANNUAL REPORT	View image in PDF format
03/20/1996 -- ANNUAL REPORT	View image in PDF format
03/17/1995 -- ANNUAL REPORT	View image in PDF format

Survey



LOCATION SKETCH
NOT TO SCALE

LEGAL DESCRIPTION:

A tract of land in a part of Lot 2, Square 51 in the City of Key West, Florida, according to Wm. A. Whitehead's Map of the Island of Key West, Florida and being more particularly described by metes and bounds as follows:
Commencing at the intersection of the Southeastern property line of Fleming Street and the Northwestern property line of Duval Street said intersection also to be known as the Point of Beginning of the tract of land hereinafter described, bear South 56°30' West along the Southeastern property line of Fleming Street for a distance of 100.00 feet to a point; thence bear South 33°30' East for a distance of 100.00 feet to a point; thence bear South 56°30' West for a distance of 73.20 feet to a point on the Southeastern property line of Prospect Lane; thence bear South 33°30' East along the Southeastern property line of Prospect Lane for a distance of 42.00 feet to a point; thence bear North 56°30' East for a distance of 73.20 feet to a point; thence bear North 33°30' West for a distance of 8.00 feet to a point; thence bear North 56°30' East for a distance of 100.00 feet to a point on the Northwestern property line of Duval Street; thence bear North 33°30' West along the Northwestern property line of Duval Street for a distance of 134.00 feet; back to the Point of Beginning.

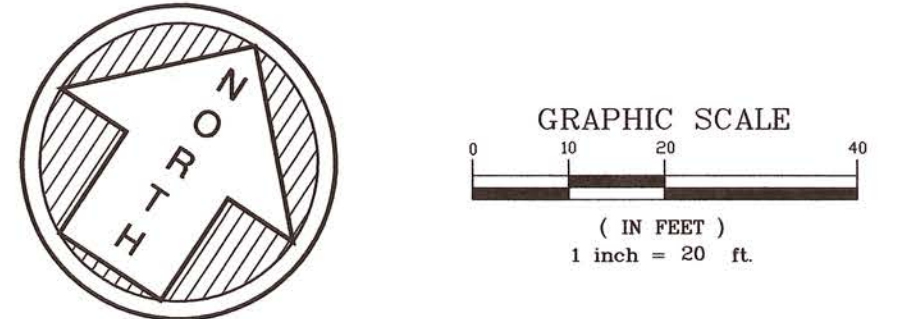
SURVEYOR'S NOTES:

- This site lies in Section 6, Township 68 South, Range 25 East, City of Key West, Monroe County, Florida.
- All documents are recorded in the Public Records of Monroe County, Florida unless otherwise noted.
- Bearings hereon are referred to an assumed value of S 56°30'00" W for the Southeastern property line of Fleming Street and evidenced by (2) set nail & disk.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Bench Mark TIDAL 30, Elevation +16.417.
- Lands shown hereon are located within an area having a Zone Designation X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12087C1516K, for Community No. 120168, dated February 18, 2005, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon containing 16,490 square feet, or 0.379 acres, more or less.
- Trees shown are surveyed for their horizontal location and/or size. Identification and/or name verification of all trees should be confirmed by the Division of Forestry County Forester or a professional in that field.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- The following information has been taken from the Zoning Map of the City of Key West.
Zoning: HRCC-1 = Duval Street Gulfside District (Historical Residential Commercial Core 1)
See Chapter 122 in Subdivision II of the Key West Land Code of Ordinances at www.municode.com.
- Minimum Building Setbacks:
Front: None
Side: 2.5 feet
Rear: 10 feet
Street side: none
- Parking spaces on site: None
- Legal description shown hereon per title commitment furnished by client and no claims as to ownership are made or implied.

SURVEYOR'S CERTIFICATION:

This is to certify that this "Boundary and Topographic Survey" was made under my responsible charge on April 13, 2012, in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and meets the applicable code as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
*Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
FORTIN, LEAVY, SKILES, INC., LB3653
By: *[Signature]*
Daniel C. Fortin, For The Firm
Surveyor and Mapper, LS2853
State of Florida.

- With reference to the Chicago Title Insurance Company, Order No. 3717444 with a commitment date of March 15, 2012 and Revised April 4, 2012. All easements and/or rights of way of record per title commitment that are plottable are shown on this "Boundary & Topographic Survey".
- SCHEDULE B SECTION II
1-5 Standard Exceptions
- State Law under Chapter 76-190 and Chapter 22F8.02 of the Florida Administrative Code for Land Planning for the Florida Keys Area of Critical Concern recorded in O.R.B. 668, Page 43, and Final Judgment recorded in O.R.B. 1788, Page 1257. Affects CVS parcel but not subject to location.
 - City of Key West Area of Critical State Concern recorded in O.R.B. 906, Page 200. Affects CVS parcel but not subject to location.
 - City Ordinance No. 81-43 and Amendment 82-5 thereof, which provides for the assessment and collection of waste in the City of Key West, Monroe County, Florida. Document not provided.
 - Code of Ordinances of the City of Key West, Section 74, which provides for the assessment and collection of sewer charges. Document not provided.
 - Restrictions and reservations contained in the Warranty Deed recorded in O.R.B. 1245, Page 1859. Affects CVS parcel but not subject to location.
 - Intentionally deleted.
 - Terms, covenants, conditions and other matters contained in any unrecorded Lease(s) and all rights thereunder of the Lessee(s) and of any person claiming by, through or under the Lessee(s). Standard Exception. Document not provided. Not a survey matter.
- NOTE: All recording references in this commitment/policy shall refer to the public records of Monroe County, Florida, unless otherwise noted.



LEGEND

[Symbol] = CATCH BASIN	[Symbol] = CHAIN LINK FENCE
[Symbol] = MANHOLE	[Symbol] = OVERHEAD ELECTRIC LINE
[Symbol] = LIGHT POLE	[Symbol] = OVERHEAD SIGNAL LIGHTS
[Symbol] = WATER METER	[Symbol] = UNDERGROUND TELEPHONE/ELECTRIC LINE
[Symbol] = WATER VALVE	[Symbol] = UNDERGROUND ELECTRIC LINE
[Symbol] = CATCH BASIN INLET	[Symbol] = UNDERGROUND GAS LINE
[Symbol] = UTILITY POLE	[Symbol] = UNDERGROUND SANITARY LINE
[Symbol] = RISER	[Symbol] = UNDERGROUND TELEPHONE LINE
[Symbol] = FIRE HYDRANT	[Symbol] = UNDERGROUND WATER LINE
[Symbol] = HANDHOLE	[Symbol] = UNDERGROUND FIBER OPTIC LINE
[Symbol] = SIGN	EL. = ELEVATION
[Symbol] = BOLLARD	INV. = INVERT
[Symbol] = CLEANOUT	SAN. = SANITARY
[Symbol] = 0.5' CURB	P.R.M. = PERMANENT REFERENCE MONUMENT
[Symbol] = 2.00' CURB & GUTTER	I.D. = IDENTIFICATION
[Symbol] = CONCRETE	O.R.B. = OFFICIAL RECORD BOOK
[Symbol] = ASPHALT PAVEMENT	

No.	Revision	Description

FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone: 305-653-4493 / Fax: 305-651-7152 / Email: fls@flsurvey.com

ALTA/ACSM LAND TITLE SURVEY
CVS - 500 DUVAL STREET
CITY OF KEY WEST, MONROE COUNTY, FLORIDA

Date	4/13/12
Scale	1"=20'
Drawn By	MAP
Cad. No.	120410
Plotted:	4/25/12 9:59a
Ref. Dwg.	
Field Book	618/61-64 RLL
Job. No.	120410
Dwg. No.	2012-057
Sheet	1 of 1

Plans

REVISIONS:	DATE
	04.14.2014
	04.30.2014

PETER PIKE ARCHITECT

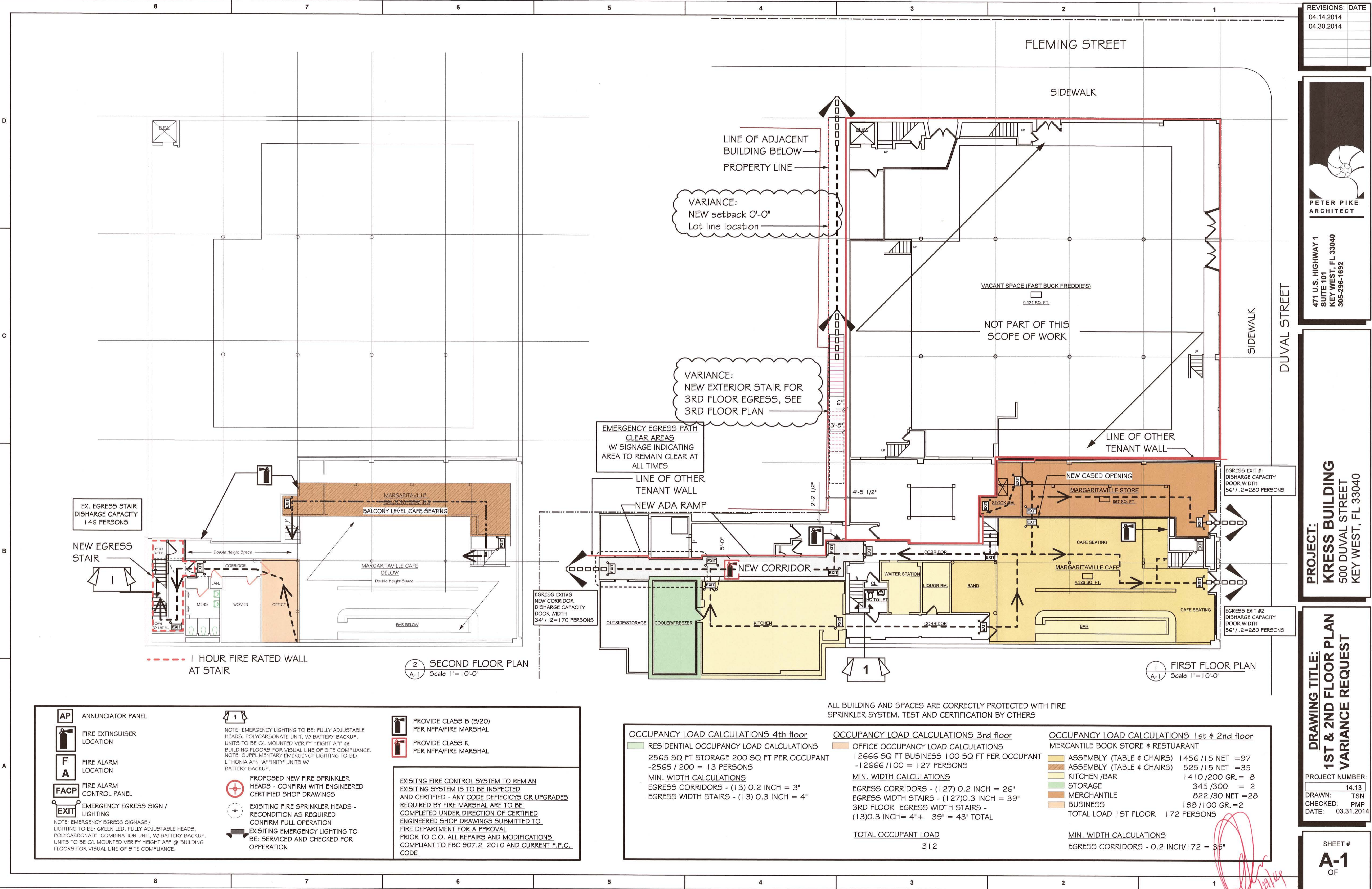
471 U.S. HIGHWAY 1
SUITE 101
KEY WEST, FL 33040
305-296-1692

PROJECT:
KRESS BUILDING
500 DUVAL STREET
KEY WEST, FL 33040

DRAWING TITLE:
1ST & 2ND FLOOR PLAN
VARIANCE REQUEST

PROJECT NUMBER: 14.13
DRAWN: TSN
CHECKED: PMP
DATE: 03.31.2014

SHEET #
A-1
OF



VARIANCE:
NEW setback 0'-0"
Lot line location

VARIANCE:
NEW EXTERIOR STAIR FOR
3RD FLOOR EGRESS, SEE
3RD FLOOR PLAN

EMERGENCY EGRESS PATH
CLEAR AREAS
W/ SIGNAGE INDICATING
AREA TO REMAIN CLEAR AT
ALL TIMES

LINE OF OTHER
TENANT WALL
NEW ADA RAMP

EGRESS EXIT#3
NEW CORRIDOR
DISCHARGE CAPACITY
DOOR WIDTH
34' / .2 = 170 PERSONS

EGRESS EXIT #1
DISCHARGE CAPACITY
DOOR WIDTH
56' / .2 = 280 PERSONS

EGRESS EXIT #2
DISCHARGE CAPACITY
DOOR WIDTH
56' / .2 = 280 PERSONS

--- 1 HOUR FIRE RATED WALL
AT STAIR

2 SECOND FLOOR PLAN
Scale 1"=10'-0"

1 FIRST FLOOR PLAN
Scale 1"=10'-0"

ALL BUILDING AND SPACES ARE CORRECTLY PROTECTED WITH FIRE
SPRINKLER SYSTEM. TEST AND CERTIFICATION BY OTHERS

OCCUPANCY LOAD CALCULATIONS 4th floor	OCCUPANCY LOAD CALCULATIONS 3rd floor	OCCUPANCY LOAD CALCULATIONS 1st & 2nd floor
RESIDENTIAL OCCUPANCY LOAD CALCULATIONS	OFFICE OCCUPANCY LOAD CALCULATIONS	MERCANTILE BOOK STORE & RESTUARANT
2565 SQ FT STORAGE 200 SQ FT PER OCCUPANT	12666 SQ FT BUSINESS 100 SQ FT PER OCCUPANT	ASSEMBLY (TABLE & CHAIRS) 1456 / 15 NET = 97
-2565 / 200 = 13 PERSONS	-12666 / 100 = 127 PERSONS	ASSEMBLY (TABLE & CHAIRS) 525 / 15 NET = 35
MIN. WIDTH CALCULATIONS	MIN. WIDTH CALCULATIONS	KITCHEN / BAR 1410 / 200 GR. = 8
EGRESS CORRIDORS - (13) 0.2 INCH = 3"	EGRESS CORRIDORS - (127) 0.2 INCH = 26"	STORAGE 345 / 300 = 2
EGRESS WIDTH STAIRS - (13) 0.3 INCH = 4"	EGRESS WIDTH STAIRS - (127) 0.3 INCH = 39"	MERCHANTILE 822 / 30 NET = 28
	3RD FLOOR EGRESS WIDTH STAIRS -	BUSINESS 198 / 100 GR. = 2
	(13) 0.3 INCH = 4" + 39" = 43" TOTAL	TOTAL LOAD 1ST FLOOR 172 PERSONS
	TOTAL OCCUPANT LOAD	MIN. WIDTH CALCULATIONS
	312	EGRESS CORRIDORS - 0.2 INCH / 172 = 35"

AP ANNUNCIATOR PANEL	1 NOTE: EMERGENCY LIGHTING TO BE: FULLY ADJUSTABLE HEADS, POLYCARBONATE UNIT, W/ BATTERY BACKUP. UNITS TO BE CL MOUNTED VERIFY HEIGHT AFF @ BUILDING FLOORS FOR VISUAL LINE OF SITE COMPLIANCE. NOTE: SUPPLEMENTARY EMERGENCY LIGHTING TO BE: LITHONIA AFN "AFFINITY" UNITS W/ BATTERY BACKUP.	1 PROVIDE CLASS B (B/20) PER NFPA/FIRE MARSHAL
F FIRE EXTINGUISHER LOCATION		1 PROVIDE CLASS K PER NFPA/FIRE MARSHAL
F A FIRE ALARM LOCATION		1 EXISTING FIRE CONTROL SYSTEM TO REMIAN EXISTING SYSTEM IS TO BE INSPECTED AND CERTIFIED - ANY CODE DEFIECIENCY OR UPGRADES REQUIRED BY FIRE MARSHAL ARE TO BE COMPLETED UNDER DIRECTION OF CERTIFIED ENGINEERED SHOP DRAWINGS SUBMITTED TO FIRE DEPARTMENT FOR A PPROVAL PRIOR TO C.O. ALL REPAIRS AND MODIFICATIONS COMPLIANT TO FBC 907.2 2010 AND CURRENT F.P.C. CODE
FACP FIRE ALARM CONTROL PANEL	+ PROPOSED NEW FIRE SPRINKLER HEADS - CONFIRM WITH ENGINEERED CERTIFIED SHOP DRAWINGS	
EXIT EMERGENCY EGRESS SIGN / LIGHTING	+ EXISTING FIRE SPRINKLER HEADS - RECONDITION AS REQUIRED CONFIRM FULL OPERATION	
NOTE: EMERGENCY EGRESS SIGNAGE / LIGHTING TO BE: GREEN LED, FULLY ADJUSTABLE HEADS, POLYCARBONATE COMBINATION UNIT, W/ BATTERY BACKUP. UNITS TO BE CL MOUNTED VERIFY HEIGHT AFF @ BUILDING FLOORS FOR VISUAL LINE OF SITE COMPLIANCE.	+ EXISTING EMERGENCY LIGHTING TO BE: SERVICED AND CHECKED FOR OPPPERATION	

REVISIONS:	DATE
	04.30.2014

PETER PIKE ARCHITECT

471 U.S. HIGHWAY 1
 SUITE 101
 KEY WEST, FL 33040
 305-296-1692

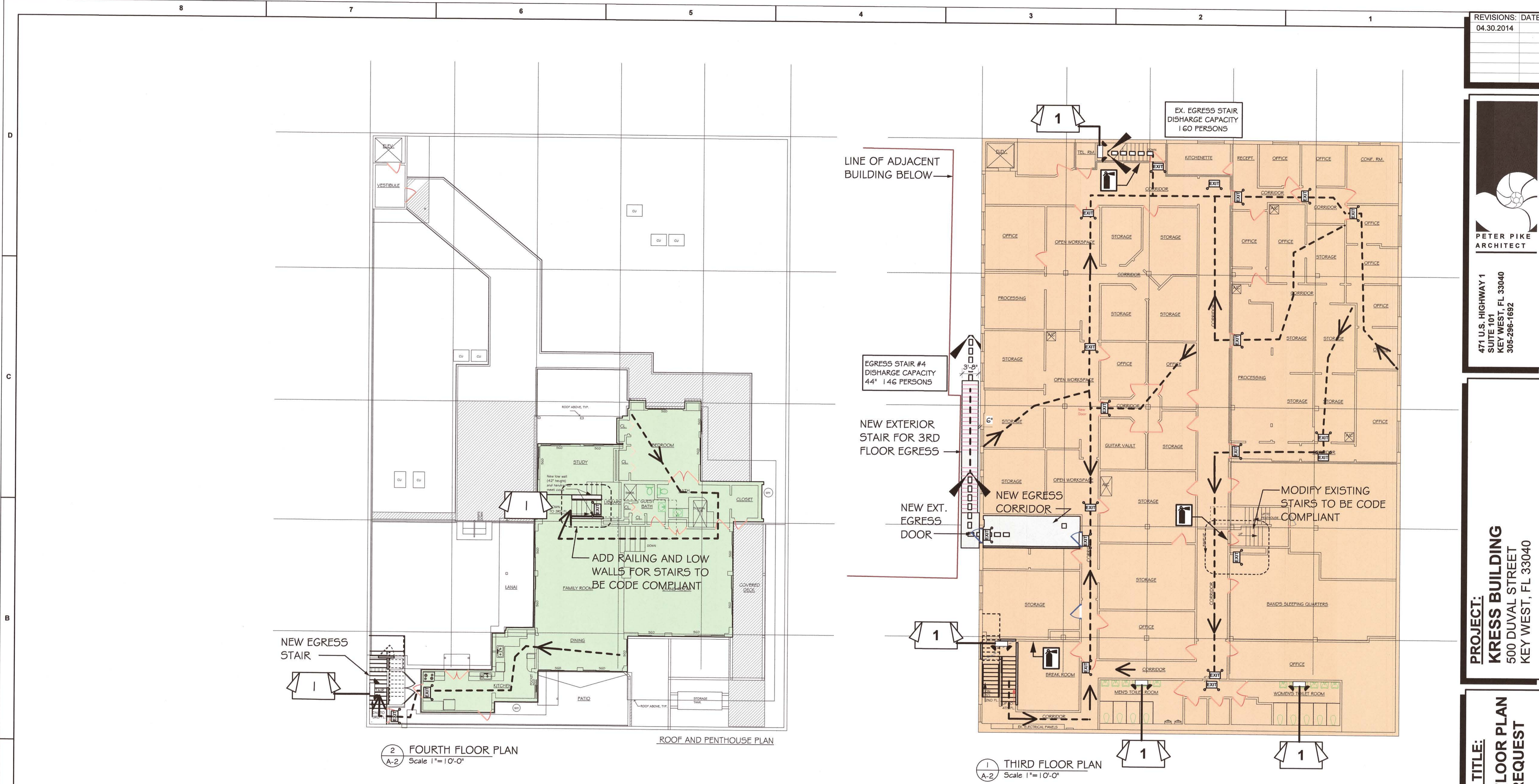
PROJECT:
KRESS BUILDING
 500 DUVAL STREET
 KEY WEST, FL 33040

DRAWING TITLE:
3RD & 4TH FLOOR PLAN
VARIANCE REQUEST

PROJECT NUMBER:
 14.13

DRAWN: TSN
 CHECKED: PMP
 DATE: 03.31.2014

SHEET #
A-2
 OF

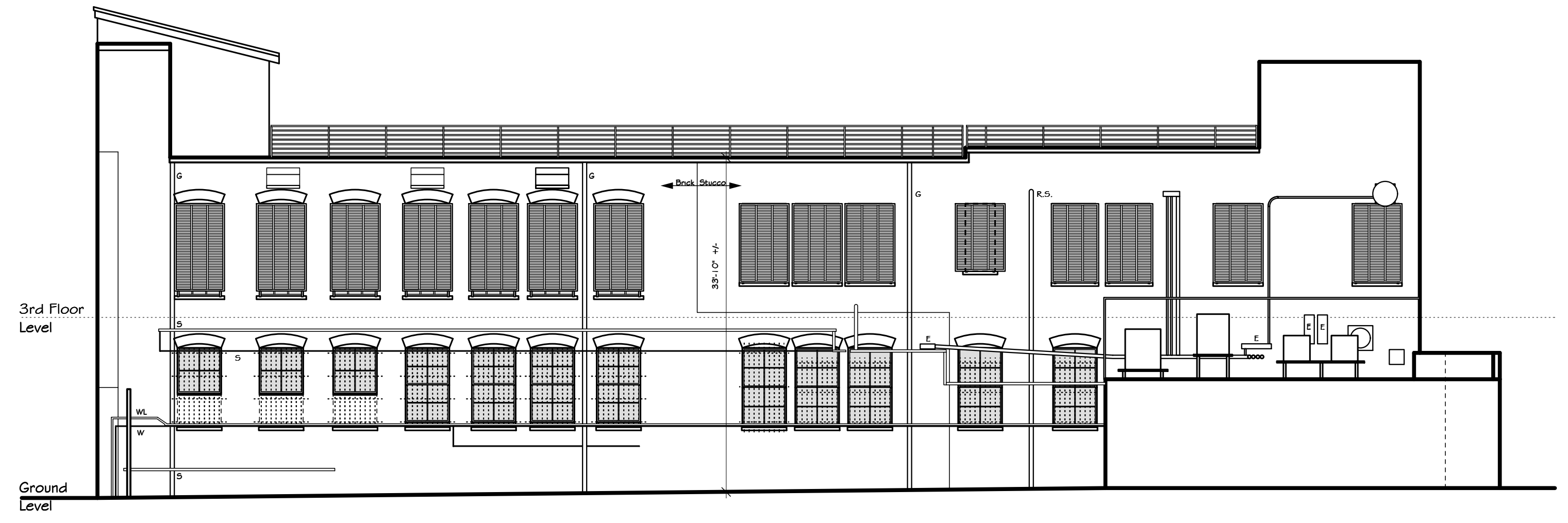


AP ANNUNCIATOR PANEL	1 PROVIDE CLASS B (B/20) PER NFPA/FIRE MARSHAL
F FIRE EXTINGUISHER LOCATION	2 PROVIDE CLASS K PER NFPA/FIRE MARSHAL
FA FIRE ALARM LOCATION	3 EXISTING FIRE CONTROL SYSTEM TO REMAIN EXISTING SYSTEM IS TO BE INSPECTED AND CERTIFIED - ANY CODE DEFICIENCIES OR UPGRADES REQUIRED BY FIRE MARSHAL ARE TO BE COMPLETED UNDER DIRECTION OF CERTIFIED ENGINEERED SHOP DRAWINGS SUBMITTED TO FIRE DEPARTMENT FOR A PPROVAL PRIOR TO C.O. ALL REPAIRS AND MODIFICATIONS COMPLIANT TO FBC 907.2 2010 AND CURRENT F.P.C. CODE.
FACP FIRE ALARM CONTROL PANEL	4 PROPOSED NEW FIRE SPRINKLER HEADS - CONFIRM WITH ENGINEERED CERTIFIED SHOP DRAWINGS
EXIT EMERGENCY EGRESS SIGN / LIGHTING	5 EXISTING FIRE SPRINKLER HEADS - RECONDITION AS REQUIRED CONFIRM FULL OPERATION
NOTE: EMERGENCY EGRESS SIGNAGE / LIGHTING TO BE: GREEN LED, FULLY ADJUSTABLE HEADS, POLYCARBONATE COMBINATION UNIT, W/ BATTERY BACKUP. UNITS TO BE CL MOUNTED VERIFY HEIGHT AFF @ BUILDING FLOORS FOR VISUAL LINE OF SITE COMPLIANCE.	6 EXISTING EMERGENCY LIGHTING TO BE: SERVICED AND CHECKED FOR OPERATION
NOTE: EMERGENCY LIGHTING TO BE: FULLY ADJUSTABLE HEADS, POLYCARBONATE UNIT, W/ BATTERY BACKUP. UNITS TO BE CL MOUNTED VERIFY HEIGHT AFF @ BUILDING FLOORS FOR VISUAL LINE OF SITE COMPLIANCE.	7 SUPPLEMENTARY EMERGENCY LIGHTING TO BE: LITHONIA AFN "AFFINITY" UNITS W/ BATTERY BACKUP.

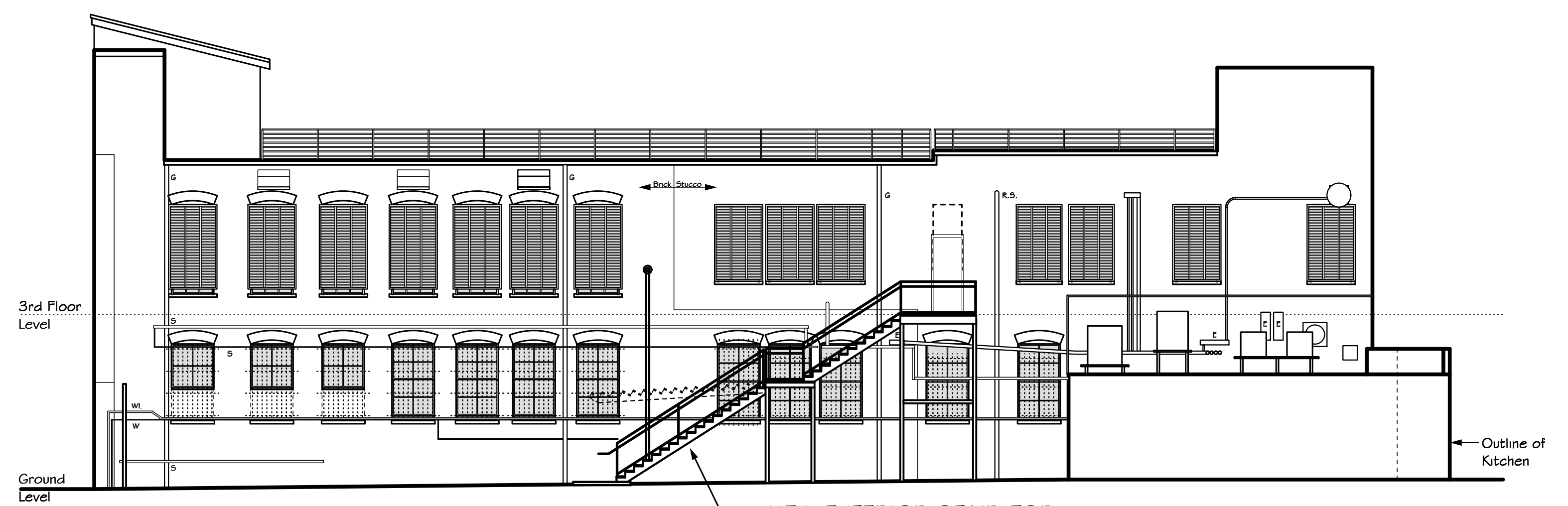
ALL BUILDING AND SPACES ARE CORRECTLY PROTECTED WITH FIRE SPRINKLER SYSTEM. TEST AND CERTIFICATION BY OTHERS

OCCUPANCY LOAD CALCULATIONS 4th floor RESIDENTIAL OCCUPANCY LOAD CALCULATIONS 2565 SQ FT STORAGE 200 SQ FT PER OCCUPANT $-2565 / 200 = 13$ PERSONS MIN. WIDTH CALCULATIONS EGRESS CORRIDORS - (13) 0.2 INCH = 3" EGRESS WIDTH STAIRS - (13) 0.3 INCH = 4"	OCCUPANCY LOAD CALCULATIONS 3rd floor OFFICE OCCUPANCY LOAD CALCULATIONS 12666 SQ FT BUSINESS 100 SQ FT PER OCCUPANT $-12666 / 100 = 127$ PERSONS MIN. WIDTH CALCULATIONS EGRESS CORRIDORS - (127) 0.2 INCH = 26" EGRESS WIDTH STAIRS - (127) 0.3 INCH = 39" 3RD FLOOR EGRESS WIDTH STAIRS - (13) 0.3 INCH = 4" + 39" = 43" TOTAL TOTAL OCCUPANT LOAD 312	OCCUPANCY LOAD CALCULATIONS 1st & 2nd floor MERCANTILE BOOK STORE & RESTUARANT <table border="1"> <tr> <td>ASSEMBLY (TABLE & CHAIRS)</td> <td>1456 / 15 NET = 97</td> </tr> <tr> <td>ASSEMBLY (TABLE & CHAIRS)</td> <td>525 / 15 NET = 35</td> </tr> <tr> <td>KITCHEN / BAR</td> <td>1410 / 200 GR. = 8</td> </tr> <tr> <td>STORAGE</td> <td>345 / 300 = 2</td> </tr> <tr> <td>MERCHANTILE</td> <td>822 / 30 NET = 28</td> </tr> <tr> <td>BUSINESS</td> <td>198 / 100 GR. = 2</td> </tr> <tr> <td>TOTAL LOAD 1ST FLOOR</td> <td>172 PERSONS</td> </tr> </table> MIN. WIDTH CALCULATIONS EGRESS CORRIDORS - 0.2 INCH / 172 = 35"	ASSEMBLY (TABLE & CHAIRS)	1456 / 15 NET = 97	ASSEMBLY (TABLE & CHAIRS)	525 / 15 NET = 35	KITCHEN / BAR	1410 / 200 GR. = 8	STORAGE	345 / 300 = 2	MERCHANTILE	822 / 30 NET = 28	BUSINESS	198 / 100 GR. = 2	TOTAL LOAD 1ST FLOOR	172 PERSONS
ASSEMBLY (TABLE & CHAIRS)	1456 / 15 NET = 97															
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MERCHANTILE	822 / 30 NET = 28															
BUSINESS	198 / 100 GR. = 2															
TOTAL LOAD 1ST FLOOR	172 PERSONS															

REVISIONS:	DATE



1 EXISTING ELEVATION
A-3 Scale 1"=10'-0"

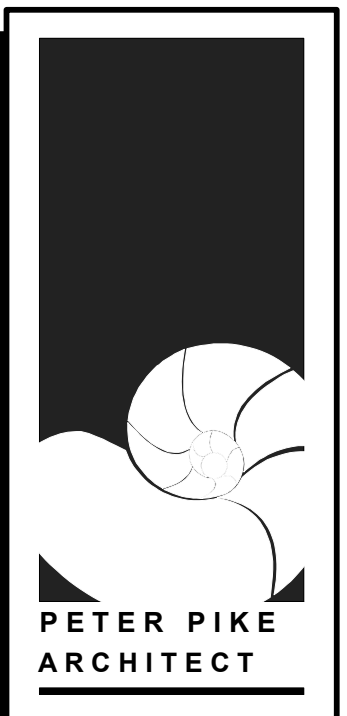


2 PROPOSED ELEVATION
A-3 Scale 1"=10'-0"

NEW EXTERIOR STAIR FOR
3RD FLOOR EGRESS

Outline of
Kitchen

D
C
B
A



471 U.S. HIGHWAY 1
SUITE 101
KEY WEST, FL 33040
305-296-1692

PROJECT:
KRESS BUILDING
500 DUVAL STREET
KEY WEST, FL 33040

DRAWING TITLE:
ELEVATIONS
VARIANCE REQUEST

PROJECT NUMBER:
DRAWN:
CHECKED:
DATE: 03.31.2014

SHEET #
A-3
OF

Site Photos

Google Streetview from the corner of Duval and Fleming Streets.



Exit full screen

Report a problem

Google Streetview along Fleming Street. The proposed exterior fire escape stairway would be located along the rear of the building, and would exit to Fleming Street.



Exit full screen

Report a problem

Property Appraiser Record Card



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
 Marathon (305) 289-2550
 Plantation Key (305) 852-7130

Website tested on IE8, IE9, & Firefox.
 Requires Adobe Flash 10.3 or higher

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: **1010111** Parcel ID: **00009850-000000**

Ownership Details

Mailing Address:
 OLD KRESS BUILDING COMPANY INC
 424 FLEMING ST
 KEY WEST, FL 33040-6592

Property Details

PC Code: 12 - STORE/OFF/RES OR COMBINATION
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 424A FLEMING ST KEY WEST
Location: 500 DUVAL ST KEY WEST
Legal Description: KW PT LOT 2 SQR 51 OR305-314/315 OR767-1760/1761Q OR767-1762/1763 OR768-317/318 OR1245-1859/1866L/E(LG)
Description: (**NOTE** L/E VESTED IN D W WOLKOWSKY FOR PENTHOUSE APT, OFFICE, SERVANT & GUEST QUARTERS, GARDENS & DECK SEE OR1245-1859/1866 L.G.)

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	100	134	16,472.00 SF

Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 1
Total Living Area: 28912
Year Built: 1918

Building 1 Details

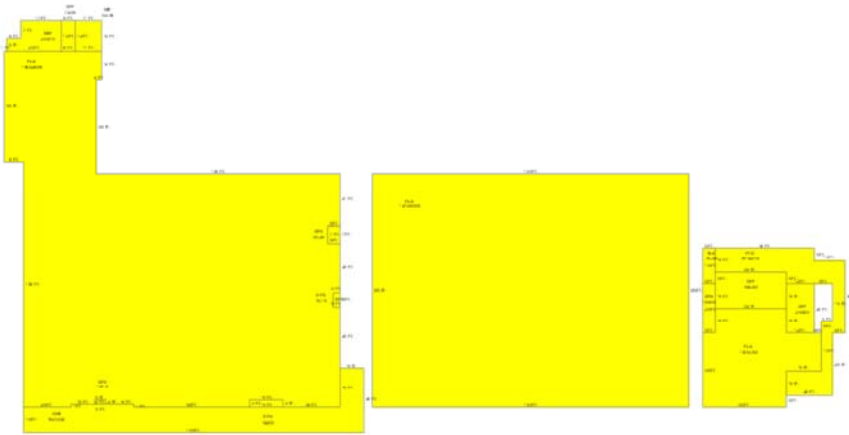
Building Type	Condition G	Quality Grade 450
Effective Age 15	Perimeter 1,284	Depreciation % 19
Year Built 1918	Special Arch 0	Grnd Floor Area 28,912
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	1	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	79	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1992					14,532
2	SBF		1	1992					132

3	OPF	1	1992	72
4	SBF	1	1992	234
5	OPX	1	1992	35
6	OPX	1	1992	18
7	CAN	1	1992	1,627
8	OPX	1	1992	42
9	OPX	1	1992	10
10	FLA	1	1992	12,730
11	FLA	1	1992	1,575
12	OUF	1	1992	239
13	OPF	1	1992	450
14	SBF	1	1992	1,010
15	FLA	1	1992	75
16	OPU	1	1992	100

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2108	1 STY STORE-A	60	Y	Y
	2109	NIGHT CLUBS/BARS-A-	40	Y	Y
	2110	SBF	100	N	N
	2111	OPF	100	N	N
	2112	SBF	100	N	N
	2113	OPX	100	N	N
	2114	OPX	100	N	N
	2115	CAN	100	N	N
	2116	OPX	100	N	N
	2117	OPX	100	N	N
	2118	OFF BLDG-1 STY-B	95	Y	Y
	2119	APTS-B	5	Y	Y
	2120	APTS-A	100	Y	Y
	2121	OUF	100	N	N
	2122	APTS-B	100	Y	N
	2123	SBF	100	N	N
	2124	APTS-B	100	Y	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
542	MIN WOOD SIDING	20
543	C.B.S.	30
544	BRICK	50

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	WD2:WOOD DECK	2,866 SF	0	0	1983	1984	1	40
2	FN2:FENCES	360 SF	90	4	1997	1998	2	30

Appraiser Notes

FAST BUCK FREDDIE'S & MARGARITAVILLE (**NOTE** L/E VESTED IN D W WOLKOWSKY FOR PENTHOUSE APT, OFFICE, SERVANT & GUEST QUARTERS, GARDENS & DECK SEE OR1245-1859/1866 L.G.) .PENTHOUSE MEASURED FROM LA CONCHA ROOF. PETITION KW 113-1997

TPP8848315 - OLD KRESS BUILDING CO

TPP 8929220 - SMITH-MARTIN PRODUCTIONS (424-C FLEMING - SIDE OF BLDG)

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes	
1	08-0788	03/24/2008	12,400	Commercial	REPLACE EXISTING A/C WITH NEW 12.5 TO A/C	
1	09-1195	05/01/2009	45,000	Commercial	REMOVE & REPLACE EXISTING ROOF, 6 SKYLIGHTS	
1	13-0160	01/14/2013	12,500	Commercial	CHANGE A/C SYSTEM ON ROOF	
1	13-0888	03/06/2013	10,000	Commercial	A/C CHANGE OUT OF EXISTING A/C SPLY SYSTEM MODEL #RAWL90 CONDENSOR, RHGL 90, AIR HANDLER, 7.5 TON NO HEAT, NO ELECTRICAL.	
1	13-0936	03/12/2013	1,379	Commercial	INSTALL POWER DISCONNECT WIRING ETC. FOR NEW ROOF-TOP A/C UNIT	
1	13-2073	05/09/2013	6,100	Commercial	EMERGENCY REPLACEMENT OF 5 TON A/C UNIT.	
	09-3361	09/29/2009	5,000	Commercial	DISCONNECT KITCHEN EQUIPMENT SURFACE MOUNTED RECEPTACLES ADN DISCONNECTS FOR INSTALLATION OF FRP WALL COVERING. RE-INSTALL SURFACE MOUNTED RECEPTACLES AND DISCONNECTS ATER FRP INSTALLATION. RECONNECT KITCHEN EQUIPMENT. REMOVE SURFACE MOUNT LIGHTS KITCHEN ENTRANCE HALL AND INSTALL RECESSED LIGHTS. REMOVE 8 KITCHEN LIGHTS AND REINSTALL NEW KITCHEN LIGHTS.	
	10-3255	10/05/2010	2,100	Commercial	REBUILD AND RE-INSTALL A NEW SIGN 50SF	
	11-0340	02/17/2011	17,500	Commercial	INSTALL 2 5-TON SPLIT CENTRAL A/C UNITS. CONDENSING UNITS WILL BE SET ON KITCHEN ROOF ON STANDS TO BE BOLTED DOWN. UNIT 1/3 DROPS, FRONT DINING ROOM AND UNIT2/5 DROPS, BACK DINING ROOM.	
	10-3425	10/28/2010	800	Commercial	INSTALL 6' SEAMLESS GUTTERS K STYLE ON BACK OF BUILDING AND DS APPROX. 65'	
	11-0894	03/18/2011	3,390	Commercial	ADD CONDUIT, WIRING AND CIRCUIT BREAKER FOR TWO AIR HANDLER UNITS AND TWO CONDENSING UNITS.	
1	97-3611	10/24/1997	12/07/1998	3,000	Commercial	REPLACE DECKING WALKWAYS
1	98-1787	06/05/1998	12/07/1998	10,000	Commercial	ELECTRICAL
1	98-3878	12/07/1998	12/07/1998	14,322	Commercial	ROOF
1	98-0265	01/27/1998	11/02/1998	3,750	Commercial	MAKE A SERVICE BAR
1	98-0644	03/04/1998	11/02/1998	1,875	Commercial	FENCE
1	98-0822	03/13/1998	11/02/1998	4,000	Commercial	3 FIX BATHROOM
1	98-1640	05/26/1998	11/02/1998	3,600	Commercial	INSTALL HOOD FIRE SUPPRES
1	00-1921	07/11/2000	11/01/2000	6,500	Commercial	10 TON AC
1	00-0482	07/18/2000	11/01/2000	98,124	Commercial	BAHAMA SHUTTERS
1	00-0931	04/25/2000	11/01/2000	30,000	Commercial	ROOLUP INTERIOR SHUTTERS
1	00-3550	10/25/2000	11/01/2000	700	Commercial	ELECTRICAL
1	99-4025	12/29/1999	07/14/2000	1,500	Commercial	TILE RETAIL SPACE
1	01-3077	09/18/2001	11/16/2001	1,600	Commercial	FIRE SUPPRESSION SYSTEM
1	0103076	09/18/2001	11/16/2001	15,000	Commercial	INSTALL KITCHEN HOOD
1	02-0781	04/08/2002	08/16/2002	800	Commercial	NEW LIGHTING
1	03-363	06/05/2003	10/03/2003	18,000	Commercial	INSTALL FIRE SYSTEM
1	05-2351	12/02/2005	11/02/2005	4,600	Commercial	NEW A/C
1	05-3237	08/03/2005	11/02/2005	4,000	Commercial	NEW A/C
1	06-5647	11/03/2006	03/08/2007	10,000	Commercial	REPLACE CONDENSING UNIT ON THE ROOF

1	07-0735	02/15/2007	02/15/2007	4,400	Commercial	CHANGE OUT A 7 1/2 TON CONDENSER
1	07-4002	08/16/2007	08/16/2007	1,500	Commercial	CONNECT 600 AMP 3-PHASE TO CAFE SUBFEED

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	3,446,157	8,368	1,911,485	5,366,010	5,366,010	0	5,366,010
2012	3,446,157	8,406	1,911,485	5,366,048	5,366,048	0	5,366,048
2011	3,625,178	8,456	1,911,485	5,545,119	5,545,119	0	5,545,119
2010	3,625,178	8,494	1,944,890	5,578,562	5,578,562	0	5,578,562
2009	3,804,200	8,532	2,463,453	6,276,185	6,276,185	0	6,276,185
2008	3,804,200	8,582	2,569,632	6,491,442	6,491,442	0	6,491,442
2007	2,748,749	9,201	2,569,632	6,491,442	6,491,442	0	6,491,442
2006	2,813,426	9,625	1,482,480	6,634,922	6,634,922	0	6,634,922
2005	2,813,426	10,256	1,235,400	5,943,735	5,943,735	0	5,943,735
2004	2,867,958	10,681	1,037,736	5,943,735	5,943,735	0	5,943,735
2003	2,867,704	11,299	1,021,264	5,943,735	5,943,735	0	5,943,735
2002	2,801,836	11,736	1,021,264	5,943,735	5,943,735	0	5,943,735
2001	2,801,836	12,355	1,021,264	5,332,164	5,332,164	0	5,332,164
2000	2,719,878	4,734	856,544	5,194,482	5,194,482	0	5,194,482
1999	2,719,878	4,968	856,544	5,194,482	5,194,482	0	5,194,482
1998	1,870,814	4,657	856,544	3,548,032	3,548,032	0	3,548,032
1997	1,870,814	4,872	823,600	3,548,032	3,548,032	0	3,548,032
1996	1,587,357	5,016	823,600	2,532,335	2,532,335	0	2,532,335
1995	1,524,762	5,230	823,600	2,532,335	2,532,335	0	2,532,335
1994	1,524,762	5,374	823,600	2,399,054	2,399,054	0	2,399,054
1993	1,524,762	5,589	823,600	2,353,951	2,353,951	0	2,353,951
1992	1,406,231	3,791	823,600	1,653,712	1,653,712	0	1,653,712
1991	1,406,231	3,912	823,600	1,800,000	1,800,000	0	1,800,000
1990	1,068,539	8,815	662,998	1,800,000	1,800,000	0	1,800,000
1989	1,037,621	8,989	658,880	1,705,490	1,705,490	0	1,705,490
1988	752,862	8,634	474,394	1,601,711	1,601,711	0	1,601,711
1987	740,208	8,794	252,228	1,562,778	1,562,778	0	1,562,778
1986	740,990	8,957	247,080	1,553,780	1,553,780	0	1,553,780
1985	723,253	9,118	177,908	1,595,743	1,595,743	0	1,595,743
1984	714,830	6,359	177,908	1,053,900	1,053,900	0	1,053,900
1983	604,730	6,439	118,061	729,230	729,230	0	729,230
1982	560,034	6,533	118,061	684,628	684,628	0	684,628

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

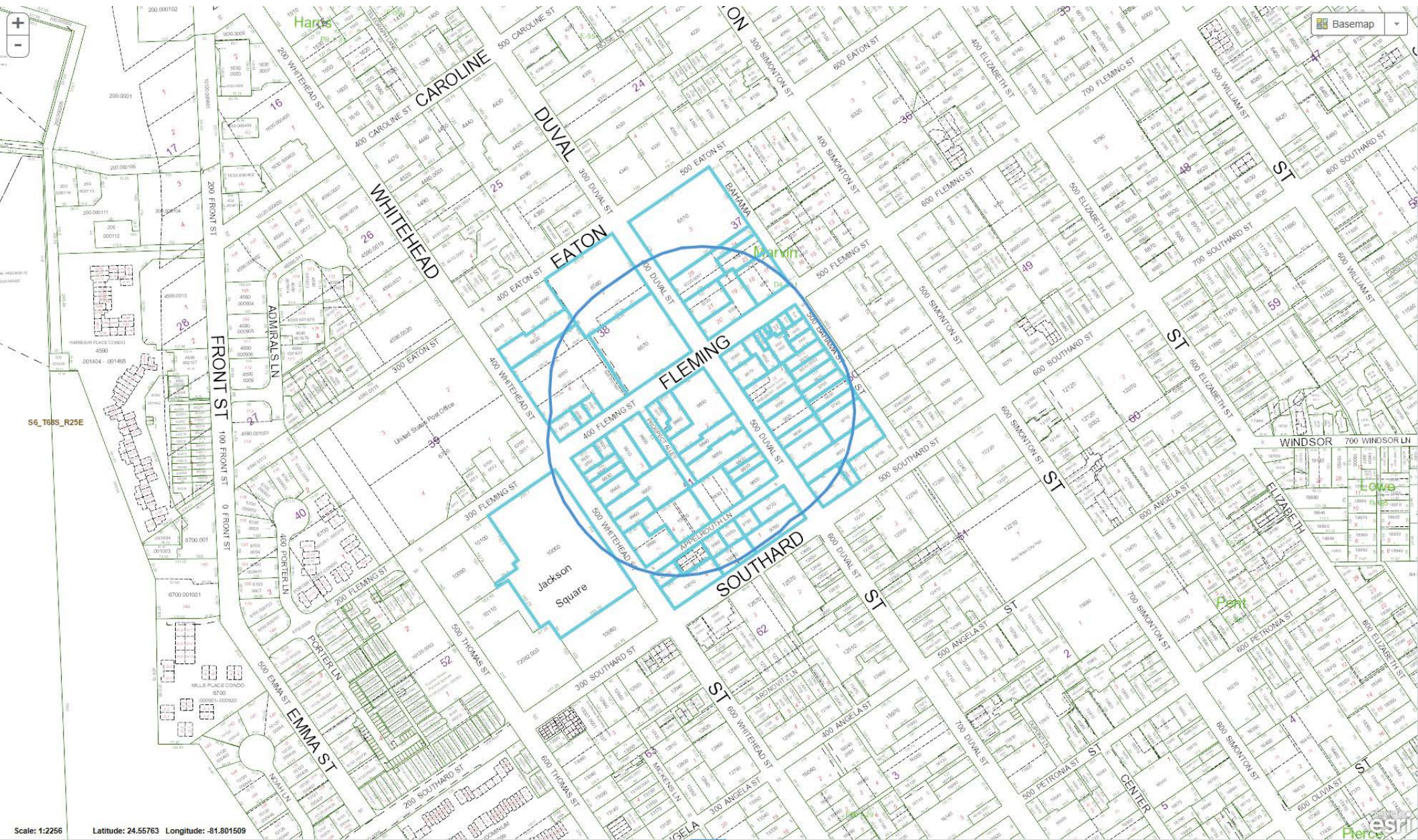
Sale Date	Official Records Book/Page	Price	Instrument	Qualification
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2/1/1993	1245 / 1859	3,000,000	WD	O
8/1/1978	768 / 317	210,000	00	Q

This page has been visited 20,931 times.

Monroe County Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176

Public Notice



S6_T6BS_R25E

Basemap

Scale: 1:2256 Latitude: 24.55763 Longitude: -81.801509

esri

OWNER1	OWNER2	ADDRESS	CITY	ST	ZIP
230 EAST 7TH ST ASSOCIATES	C/O COHEN JOSEPH	301 LINCOLN RD	MIAMI BEACH	FL	33139-3102
37 COURT INVESTMENTS INC		909 16TH TER	KEY WEST	FL	33040
400 DUVAL RETAIL LLC	526-528 DUVAL RETAIL LLC	1119 VONPHISTER ST	KEY WEST	FL	33040-4831
420 FLEMING LLC		2650 AIRPORT RD S STE H	NAPLES	FL	34112-4886
505-507 WHITEHEAD STREET LLC	GAEDICKE-RHOADES CINDY M REV LIV TR 8/8/2008	507 WHITEHEAD ST	KEY WEST	FL	33040-6546
512 FLEMING LLC		34 ALLAMANDA AVE	KEY WEST	FL	33040-6202
518 DUVAL STREET LLC		3140 NORTHSIDE DR STE 201	KEY WEST	FL	33040-8011
519 DUVAL LLC		809 FLEMING ST	KEY WEST	FL	33040-6903
520 DUVAL LLC		7705 SE 34TH ST	MERCER ISLAND	WA	98040-3426
BABY CHEAPEES LLC		820 WHITE ST	KEY WEST	FL	33040-7157
BONE ISLAND PROPERTIES INC		738 NE 3RD AVE	FORT LAUDERDALE	FL	33304-2620
BROWNING FAMILY IRREVOCABLE TRUST 12/31/2011		402 APPLEROUTH LN	KEY WEST	FL	33040-6535
C & D PROPERTIES OF KEY WEST I LLC		PO BOX 4125	KEY WEST	FL	33041-4125
CARR JOE ALAN		PO BOX 6404	KEY WEST	FL	33041-6404
CARRRELLO ANTHONY G		PO BOX 588	MERRICK	NY	11566-0588
CONVERTITO CORIANN		504 BAHAMA ST	KEY WEST	FL	33040-6809
CORELLA PASQUALE J		PO BOX 5501	KEY WEST	FL	33045-5501
DUVAL CENTRE CONDOMINIUM ASSOCIATION INC		311 E JENNINGS ST	TALLAHASSEE	FL	32303
HARDEN GREGORY J		524 BAHAMA ST	KEY WEST	FL	33040-6809
IRWIN MICHAEL SCOTT		1014 SEMINARY ST	KEY WEST	FL	33040-4803
IRWIN MICHAEL SCOTT REVOCABLE LIVING TRUST 8/8/08		1008 SEMINARY ST	KEY WEST	FL	33040-4803
JACKSON SQUARE COURTHOUSE CONDOMINIUM ASSOCIATION INC		600 WHITEHEAD ST STE 203	KEY WEST	FL	33040
JJD INC		410 FLEMING ST	KEY WEST	FL	33040-6529
JOHNSON TAPLEY O III	DIVE BAR AND LOUNGE LLC	425 CAROLINE ST	KEY WEST	FL	33040-6502
KAVOURA DIMITRI		PO BOX 308	KEY WEST	FL	33041-0308
KEY WEST OFFICE MANAGEMENT INC		501 SOUTHARD ST	KEY WEST	FL	33040-6835
KEY WEST PROFESSIONAL OFFICES INC		422 FLEMING ST	KEY WEST	FL	33040-6529
KUNZLER PETER		829 EATON ST	KEY WEST	FL	33040-6920
MONROE COUNTY		500 WHITEHEAD ST	KEY WEST	FL	33040-6581
MORGAN GERALD		3825 DUCK AVE	KEY WEST	FL	33040-4522
MULBERG LTD		566 SYLVAN DR	WINTER PARK	FL	32789-3977
OLD KRESS BUILDING COMPANY INC		424 FLEMING ST	KEY WEST	FL	33040-6592
ONDERDONK GARY R AND DIANE M		513 FLEMING ST STE 1	KEY WEST	FL	33040-6861
P AND D DUVAL LAND TRUST 6/25/99	C/O FERNANDEZ DIANE F TRUSTEE	347 W 57TH ST APT 39A	NEW YORK	NY	10019-3171
PILOT HOUSE LLC		414 SIMONTON ST	KEY WEST	FL	33040-6815
RAPPAPORT ROBERT		1107 KEY PLZ PMB 330	KEY WEST	FL	33040-4086
REPUBLIC OF CUBA	C/O INS PATRIOT Y DOC SAN CARLOS	7300 NW 35TH TER	MIAMI	FL	33122-1241
RODEL CHARITABLE FOUNDATION - FLORIDA LLC		PO BOX 4014	KEY WEST	FL	33041-4014
ROMOCO INC		3340 N ROOSEVELT BLVD STE 6	KEY WEST	FL	33040-8021
ROSE MARCI L		810 THOMAS ST	KEY WEST	FL	33040-7337
RYLANDER STELLA A		PO BOX 420126	SUMMERLAND KEY	FL	33042-0126
SAVAGE KW PROPERTIES INC		2700 BAYSHORE BLVD APT 511	DUNEDIN	FL	34698-1626

OWNER1	OWNER2	ADDRESS	CITY	ST	ZIP
SAWYER WILLIAM R AND BARBARA K		1412 18TH ST	KEY WEST	FL	33040-4613
SPOTTSWOOD PARTNERS LTD; SKII INC	SPOTTSWOOD PARTNERS II LTD	500 FLEMING ST	KEY WEST	FL	33040-6891
SSRAFFERTY LLC		PO BOX 1007	KEY WEST	FL	33041-1007
ST PAULS CHURCH		401 DUVAL ST	KEY WEST	FL	33040-6550
STROMBUS CORPORATION		1073 BUTTONWOOD DR E	SUMMERLAND KEY	FL	33042-3660
TANDA LLC		56 STONE RIDGE LN	TRYON	NC	28782-5525
TANNER PARTNERS LLLP		516 FLEMING ST	KEY WEST	FL	33040-6882
WALGREEN CO STORE 7089RET	C/O REAL ESTATE TAX DEPARTMENT	PO BOX 1159	DEERFIELD	IL	60015-6002
WALTERS CHARLES D		615 ELIZABETH ST	KEY WEST	FL	33040-6822
WHITEHEAD PROPERTIES I LLC	C/O BLANCHETTE KIMBERLY L	1312 REYNOLDS ST	KEY WEST	FL	33040-4709
WHITEHEAD TRUST LLC		307 NE 1ST ST	MIAMI	FL	33132-2505
WIDENER ROBERT L		409 FLEMING ST	KEY WEST	FL	33040-6528
WOLKOWSKY DAVID W LIVING TRUST		PO BOX 1429	KEY WEST	FL	33041-1429



City of Key West, Florida
Planning Department
PO Box 1409
Key West, Florida 33041-1409

«OWNER1»
«OWNER2»
«ADDRESS»
«CITY» «ST» «ZIP»
«Next Record»

PUBLIC MEETING NOTICE



City of Key West, Florida
Planning Department
PO Box 1409
Key West, Florida 33041-1409

«OWNER1»
«OWNER2»
«ADDRESS»
«CITY» «ST» «ZIP»
«Next Record»

PUBLIC MEETING NOTICE

YOU ARE A PROPERTY OWNER WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will hold a Public Hearing to consider the following request:

Variance – 500 Duval Street (RE # 00009850-000000, AK # 1010111) – A request for variance to minimum side setback in order to construct a new exterior stair for emergency egress from the third floor on property located within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Sections 90-395 and 122-690(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

Applicant:	Peter Pike, Pike Architects	Owner:	Old Kress Building Company, Inc.
Project Locations:	500 Duval Street (RE # 00009850-000000, AK # 1010111)		
Date of Hearing:	Thursday, June 19, 2014	Time of Hearing:	6:00 PM
Location of Hearing:	Old City Hall, 510 Greene Street, City Commission Chambers		

Interested parties may appear at the public hearing and be heard with respect to the application. Packets can be viewed online, the Friday before the meeting at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to: Kevin Bond, Planner II

E-mail: kbond@keywestcity.com; Phone: 305-809-3725; Fax 305-809-3978; Mail: PO Box 1409, Key West FL 33041-1409

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

YOU ARE A PROPERTY OWNER WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will hold a Public Hearing to consider the following request:

Variance – 500 Duval Street (RE # 00009850-000000, AK # 1010111) – A request for variance to minimum side setback in order to construct a new exterior stair for emergency egress from the third floor on property located within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Sections 90-395 and 122-690(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

Applicant:	Peter Pike, Pike Architects	Owner:	Old Kress Building Company, Inc.
Project Locations:	500 Duval Street (RE # 00009850-000000, AK # 1010111)		
Date of Hearing:	Thursday, June 19, 2014	Time of Hearing:	6:00 PM
Location of Hearing:	Old City Hall, 510 Greene Street, City Commission Chambers		

Interested parties may appear at the public hearing and be heard with respect to the application. Packets can be viewed online, the Friday before the meeting at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

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Public Meeting Notice

The Key West Planning Board will hold a public hearing **at 6:00 PM on June 19, 2014 at Old City Hall, 510 Greene Street**, Key West, Florida, (behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Variance – 500 Duval Street (RE # 00009850-000000, AK # 1010111) – A request for variance to minimum side setback in order to construct a new exterior stair for emergency egress from the third floor on property located within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Sections 90-395 and 122-690(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

The public may examine the application during regular office hours, Monday through Friday between 8:00 AM and 5:00 PM, at the City of Key West Planning Department, located in Habana Plaza at 3140 Flagler Avenue. The application may also be examined online at www.keywestcity.com. Written responses must be submitted before the hearing to the contact person below.

Contact: Kevin Bond, Planner II, kbond@keywestcity.com; 305-809-3725
Planning Department: Fax: 305-809-3978; Mail: PO Box 1409, Key West FL 33041-1409

THIS NOTICE CANNOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD DETERMINATION.

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 5:00 PM on June 19, 2014 at Old City Hall - 14 Green Street, Key West, Florida (behind Happy Joe's Bar). The purpose of the hearing is to hear a contractor's request for:

Variance - 500 Duval Street (RE # 000002321-000-000-FL-00) - A request for variance to maintain setbacks of 10' to be installed a new structure upon the property located from the front, side and rear setbacks of 10' to be installed a new structure upon the property located at 500 Duval Street, Key West, Florida. (Docket # 14-00025879) - 17 Zoning Ord. - Variance to Sections 17-17.01, 17.02, 17.03 and the Land Development Regulations of the City of Key West, Florida.

The public may examine the application during regular office hours, Monday through Friday between 8:00 AM and 5:00 PM, at the City of Key West Planning Department, located in Harbor Plaza at 3140 Flagler Avenue. The application may also be examined online at www.keywestfla.com. Written responses must be submitted before the hearing at the contact person below.

Gregory J. van Breda, Planner II, 3140 Flagler Avenue, Suite 200
 Planning Department, Tel: 305-895-1775, Fax: 305-895-1806, Key West, FL 33440

THIS NOTICE CANNOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD TERMINATION.



THE CITY OF KEY WEST

Building Department 809-3956
 3140 Flagler Avenue, Key West, Florida 33940

PLUMBING PERMIT

FOR NEXT BUSINESS DAY INSPECTIONS, CALL 305-8462 BEFORE 3:00 PM

PERMIT # 14-00002321-000-000-FL-00 ISSUED 5/20/14
 LICENSE# 14-00025879 EXPIRES 5/19/16
 HIGH DENSITY RES/COMM
 APPLICATION BY... ROBERTS PLUMBING COMPANY, LLC
 ON PROPERTY OF... OLD KRESS BLDG CO INC
 FOR A PERMIT TO... EXTEND PERMIT #01-0705 FOR FINAL INSPEC
 TION ONLY (REPLACE SEWER LINE) * * * MC
 T/S: 05/20/2014 09:24 AM KEYWMC ---
 500 DUVAL ST

WARNING TO OWNERS

YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY PRIOR TO RECORDING YOUR NOTICE OF COMMENCEMENT.

Notice: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, and federal agencies.

This card and approved plans must be posted in a location clearly visible from the street. The location of construction must have posted a clearly legible address visible from the street.

PERMIT VOID IF CONSTRUCTION IS NOT STARTED WITHIN 180 DAYS.

UNDERGROUND APPROVED BY _____ DATE _____	ROUGH APPROVED BY _____ DATE _____	FINAL APPROVED BY _____ DATE _____
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SEWER LATERAL APPROVED BY _____ DATE _____	GUIDE APPROVED BY _____ DATE _____	OTHER APPROVED BY _____ DATE _____
--	--	--

CLOSED

PLEASE
NOTICE

Weekly Fall Back Promotion!
Fast Back - 10 Hours
Special Delivery Service
Look us up today at
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www.fastback.com

500

CLOSED

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