

Application



Application For Variance

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00

(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 725 Duval Street, Key West, FL 33040

Zoning District: HRCC-1 Real Estate (RE) #: 00015920-000000

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: Trepanier & Associates, Inc.

Mailing Address: 402 Appelrouth Lane

City: Key West State: FL Zip: 33040

Home/Mobile Phone: _____ Office: 305-293-8983 Fax: 305-293-8748

Email: lori@owentrepanier.com

PROPERTY OWNER: (if different than above)

Name: 725 Duval Street LLC

Mailing Address: 301 Lincoln Rd.

City: Key West State: FL Zip: 33139-3102

Home/Mobile Phone: _____ Office: _____ Fax: _____

Email: _____

Description of Proposed Construction, Development, and Use: _____

Construct six new residential units (3 affordable & 3 market-rate) by converting ~1,000 sq. ft. of existing commercial floor area and constructing a new residential structure in the rear of the property with required parking underneath.

List and describe the specific variance(s) being requested:

Impervious Surface Ratio (from 0.966 existing to 0.742 proposed)

Building Coverage (from 50.9% existing to 84.1% proposed)

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HRCC-1			
Flood Zone	X-9999			
Size of Site	10,893 SF			
Height				
Front Setback				
Side Setback				
Side Setback				
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage	50%	50.9%	84.1%	34.1%
Impervious Surface	0.70	0.966	0.742	0.042
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City’s LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.
Special conditions exist. This property has the available potential to lessen the community's high demand for affordable workforce housing while still improving the overall conformance with the dimensional requirements of Sec. 122-690. The project will create 6 new residential dwellings (50% of which will be affordable) while improving the on-site parking, open space, landscaping, impervious surface ratio, and storm water management.
2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.
The owner did not create the conditions. The owner is attempting to further the goals of the LDRs and the Comprehensive Plan specifically with regard to Secs. 122-1465, 122-1470 and Policies 1-1.1.4, 1-1.16.1, 1-1.1.4, 3-1.1.3, 3-1.1.4, 3-1.1.6, 3-1.1.11 while at the same time reducing the number and extent of the on site non-conformities.
3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.
No special privileges conferred. The granting of this variance furthers the above mentioned goals of the community's comprehensive plan and LDRs while at the same time, reducing the number and extent of the on site non-conformities. The proposed project will actually reduce commercial square footage on site.
4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.
The lack of available housing, especially affordable housing, within the community is an existing hardship to the community as a whole. This variance furthers the, above mentioned, goals of the comp plan and the LDRs by reducing that community hardship. If this variance is not granted the community, as a whole, will experience hardship by not receiving the housing benefit or the improvements to open space, storm water management, landscaping, etc.
5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.
The minimalist nature of this variance is demonstrated by the fact that by allowing the development of the additional housing units, there will still be an overall reduction in the number and extent of on-site nonconformities.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The requested variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare. In fact, the public benefit with regard to the affordable housing and reduction in non-conforming status of the property will be dramatic.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

The existing nonconforming uses of other property shall not be considered as the basis for approval. No other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

Authorization Form

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Joseph Cohen as
Please Print Name of person with authority to execute documents on behalf of entity

PRESIDENT of 725 Duval Street, LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Trepanier & Associates, Inc.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 4/29/2014 by
date

Joseph Cohen
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal

Richard Puente
Name of Acknowledger typed, printed or stamped



FF 067969
Commission Number, if any

Verification Form

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, OWEN TREPANIER, in my capacity as PRESIDENT
(print name) (print position; president, managing member)
of TREPANIER & ASSOCIATES, INC.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

725 DUVAL STREET

Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 4-29-2014 by
date
Owen J. Trepanier.
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal

Richard Puente
Name of Acknowledger typed, printed or stamped



FF 067969
Commission Number, if any

Deed

3,000,000.00

Doc# 1894475 08/07/2012 1:03PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

08/07/2012 1:03PM
DEED DOC STAMP CL: DS \$21,000.00

Doc# 1894475
Bk# 2583 Pg# 496

THIS INSTRUMENT PREPARED BY,
JOHN R. ALLISON, III, ESQ.
The Allison Firm, P.A.
P.O. Box 2129
Key West, FL 33045

WARRANTY DEED

THIS WARRANTY DEED, made this 3 day of August, 2012, between YORAM BITON, a single man, and COURTNEY BITON, a single women (hereinafter called "Grantor"), and 725 DUVAL STREET, LLC., a Florida limited liability company, having a mailing address of 301 Lincoln Road, Miami Beach, FL 331392 (hereinafter called "Grantee").

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN (\$10.00) DOLLARS, and other good and valuable considerations to it in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained and sold to Grantee, its successors and assigns forever, the following property located in Monroe County, Florida:

That certain parcel located at 725 Duval Street, Key West, Florida 33040 and more particularly described in Exhibit A attached hereto.

This conveyance is subject to real estate taxes and assessments for 2012 and all subsequent years; and all conditions, easements and restrictions of record.

Grantor hereby fully warrants title to the aforescribed property and will defend same against all lawful claims whatsoever.

Witnesses:

[Print] John R. Allison, III

[Print] JENNY M. STERLING

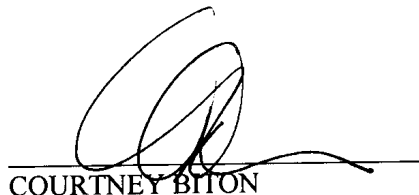


YORAM BITON
Address of Grantor: 1211 Grinnell St.
Key West, Florida 33045

Witnesses:

[Print] JOHN M. SPOTTSWOOD, JR.

[Print] JENNY M. STERLING


COURTNEY BITON

Address of Grantor: 3714 Flagler Ave.
Key West, Florida 33045

STATE OF FLORIDA)
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me by YORAM BITON, who produced FL Drivers license as identification or is personally known and did not take an oath.

WITNESS, my hand and official seal, this 3rd day of August, 2012.

My commission expires:



Jenny M. Sterling
Notary Public
State of Florida at Large

STATE OF FLORIDA)
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me by COURTNEY BITON, who produced FL Drivers license as identification or is personally known and did not take an oath.

WITNESS, my hand and official seal, this 3rd day of August, 2012.

My commission expires:



Jenny M. Sterling
Notary Public
State of Florida at Large

Exhibit "A"

Doc# 1894475
Bk# 2583 Pg# 498

Legal Description for File No.: 12-0511M

ON THE ISLAND OF KEY WEST AND KNOWN AS A PART OF TRACT FOUR (4) ACCORDING TO W.A. WHITEHEAD'S MAP OF SAID ISLAND, DELINEATED IN February, A.D. 1829, BUT BETTER KNOWN AS A PART OF LOT FOUR (4) IN SQUARE TWO (2) OF SAID TRACT FOUR ACCORDING TO C.W. TIFT'S MAP OF SAID TRACT; COMMENCING AT THE CORNER OF DUVAL AND PETRONIA STREETS, AND RUNS THENCE IN A NORTHWESTERLY DIRECTION ALONG THE LINE OF SAID DUVAL STREET FORTY-EIGHT (48) FEET SIX (6) INCHES, THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION ONE HUNDRED AND SIXTEEN (116) FEET SIX (6) INCHES; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FORTY-EIGHT (48) FEET SIX (6) INCHES OUT TO PETRONIA STREET; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION ALONG THE LINE OF PETRONIA STREET TO THE POINT OF BEGINNING.

AND:

THAT CERTAIN PIECE OF LAND IN WALL ADDITION TO THE CITY OF KEY WEST, KNOWN AS A PART OF LOT FOUR (4) SQUARE TWO (2) IN TRACT FOUR (4) BEGINNING AT A POINT ON DUVAL STREET FORTY-EIGHT (48) FEET AND SIX (6) INCHES FROM THE CORNER OF DUVAL AND PETRONIA STREETS AND RUNNING THENCE ALONG DUVAL STREET IN A NORTHWESTERLY DIRECTION FORTY-FIVE (45) FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY ONE HUNDRED AND SIXTEEN (116) FEET SIX (6) INCHES; THENCE AT RIGHTS ANGLES SOUTHEASTERLY FORTY-FIVE (45) FEET; THENCE AT RIGHT ANGLES SOUTHWESTERLY ONE HUNDRED AND SIXTEEN (116) FEET SIX (6) INCHES TO THE POINT OF BEGINNING ON DUVAL STREET.



Detail by Entity Name

Florida Limited Liability Company

725 DUVAL STREET, LLC

Filing Information

Document Number	L12000079834
FEI/EIN Number	46-0666546
Date Filed	06/15/2012
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	10/08/2013
Event Effective Date	NONE

Principal Address

301 LINCOLN ROAD
MIAMI BEACH, FL 33139

Mailing Address

301 LINCOLN ROAD
MIAMI BEACH, FL 33139

Registered Agent Name & Address

SHEVLIN, BARRY, Esq.
SHEVLIN & ATKINS
1111 KANE CONCOURSE, SUITE 400
BAY HARBOR ISLANDS, FL 33154

Name Changed: 01/14/2014

Address Changed: 01/14/2014

Authorized Person(s) Detail

Name & Address

Title MGRM

COHEN, JOSEPH
301 LINCOLN ROAD
MIAMI BEACH, FL 33139

Title MGRM

HAIM, YEHEZKEL
210 71ST STREET, SUITE 309
MIAMI BEACH, FL 33141

Annual Reports

Report Year	Filed Date
--------------------	-------------------

2013	10/08/2013
2014	01/14/2014

Document Images[01/14/2014 -- ANNUAL REPORT](#)

View image in PDF format

[10/08/2013 -- REINSTATEMENT](#)

View image in PDF format

[07/02/2012 -- LC Amendment](#)

View image in PDF format

[06/15/2012 -- Florida Limited Liability](#)

View image in PDF format

Survey

NORBY



& Associates, Inc.

Professional Land Surveyors

3104 Flagler Avenue

Key West, Fl. 33040

Thomas A. Norby, PLS

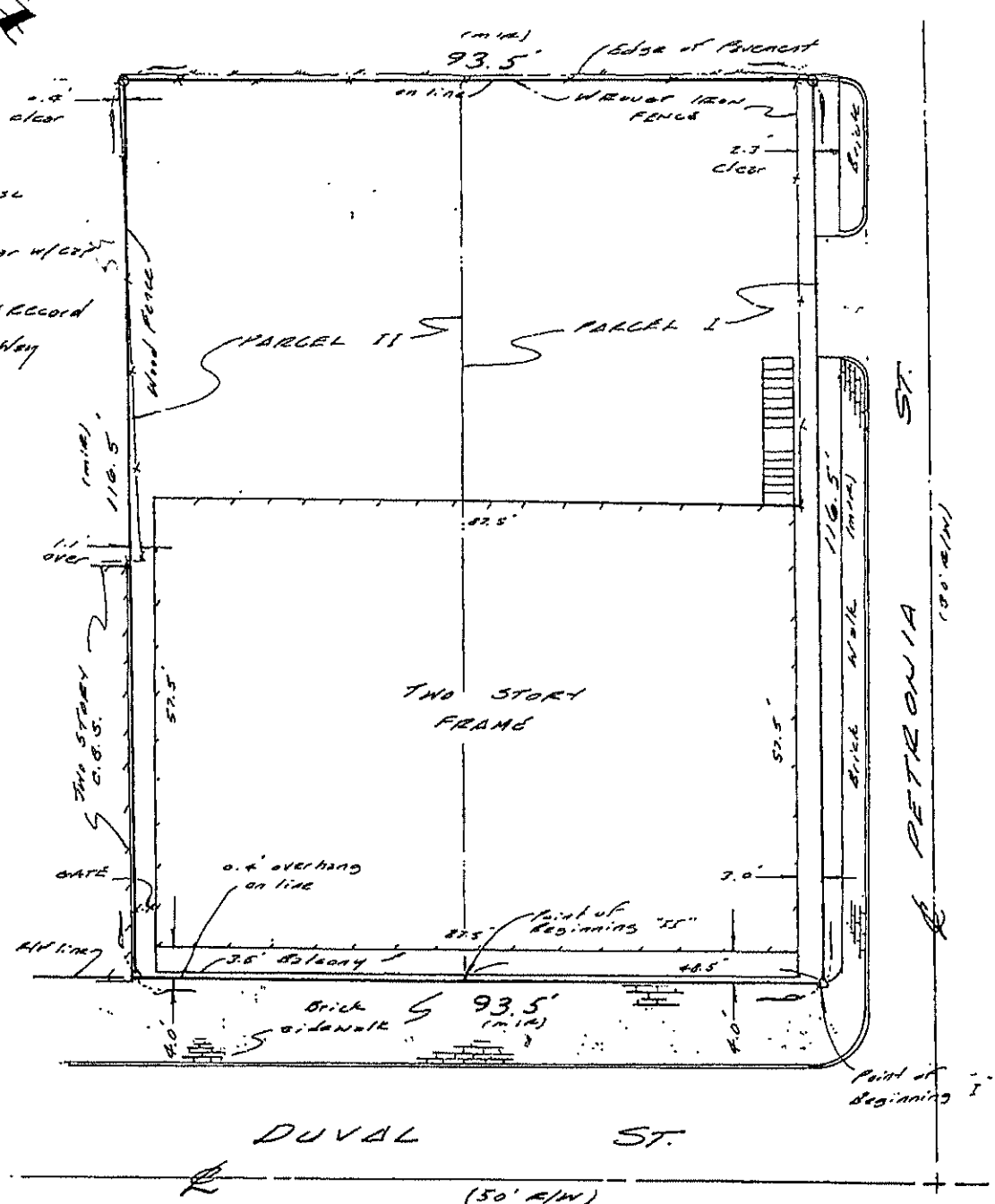
Reg. No. 5234

(305) 296-7422

FAX (305) 293-9924

DUPONT LN.

- D - Set Nail 1 D. 3/4 (5234)
- O - Set 45 Re-Bar w/cap (5234)
- (m.l.a.) - Measured & Record
- R/W - Right-of-Way
- C - Center Line



SHEET ONE OF TWO SHEETS

NORBY



& Associates, Inc.

Professional Land Surveyors

3104 Flagler Avenue

Key West, Fl. 33040

Thomas A. Norby, PLS

Reg. No. 5234

(305) 296-7422

FAX (305) 293-9924

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
4. All angles are 90° (Measured & Record) unless otherwise noted.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Date of field work: March 31, 1998.
7. Street address: 725 Duval Street, Key West, FL 33040.


BOUNDARY SURVEY OF: On the Island of Key West and known as part of Tract Four (4) according to W.A. Whitehead's map of said Island, delineated in February, A.D. 1829, but better known as a part of Lot Four (4) in Square Two (2) of said Tract Four according to C.W. Tift's map of said Tract : Commencing at the corner of Duval and Petronia Streets, and runs thence in a Northwesterly direction along the line of said Duval Street Forty-eight (48) feet Six (6) inches; thence at right angles in a Northeasterly direction One hundred and sixteen (116) feet Six (6) inches; thence at right angles in a Southeasterly direction Forty-eight (48) feet Six (6) inches out to Petronia Street; thence at right angles in a Southwesterly direction along the line of Petronia Street to the point of beginning.

AND:

The certain piece of land in Wall Addition to the City of Key West, known as a part of Lot four (4) Square (2) in Tract Four (4) beginning at a point on Duval Street Forty-eight (48) feet and six (6) inches from the corner of Duval and Petronia Streets and running thence along Duval Street in a Northwesterly direction Forty-five (45) feet; thence at right angles NE'ly One Hundred and Sixteen (116) feet six (6) inches; thence at right angles SE'ly Forty-five (45) feet; thence at right angles SW'ly One Hundred and Sixteen (116) feet six (6) inches to the point of beginning on Duval Street, to be the several dimensions more or less.

I HEREBY CERTIFY to: Evan R. Marbin & Associates, P.A.;
First State Bank of the Florida Keys, its
successors and/or assigns;
Spottswood, Spottswood & Spottswood; and
Chicago Title Insurance Company;

NORBY & ASSOCIATES, INC.


Thomas A. Norby, PLS
Florida Reg. #5234

March 31, 1998

Rev. Cert. 5-4-98

SHEET TWO OF TWO SHEETS

Plans

APARTMENT HOUSING

725 DUVAL STREET KEY WEST, FLORIDA

SITE DATA

ZONING DISTRICT: HRCC-1
 FLOOD ZONE: X-9999
 F.I.R.M. - COMMUNITY #12087; PANEL #1516; SUFFIX 'K'; DATED: 02-18-2005
 LEGAL DESCRIPTION: KW PT LOT 4 SQR 2 TR 4 G10-447 G40-233/34

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE WITH 2012 SUPPLEMENTS AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.

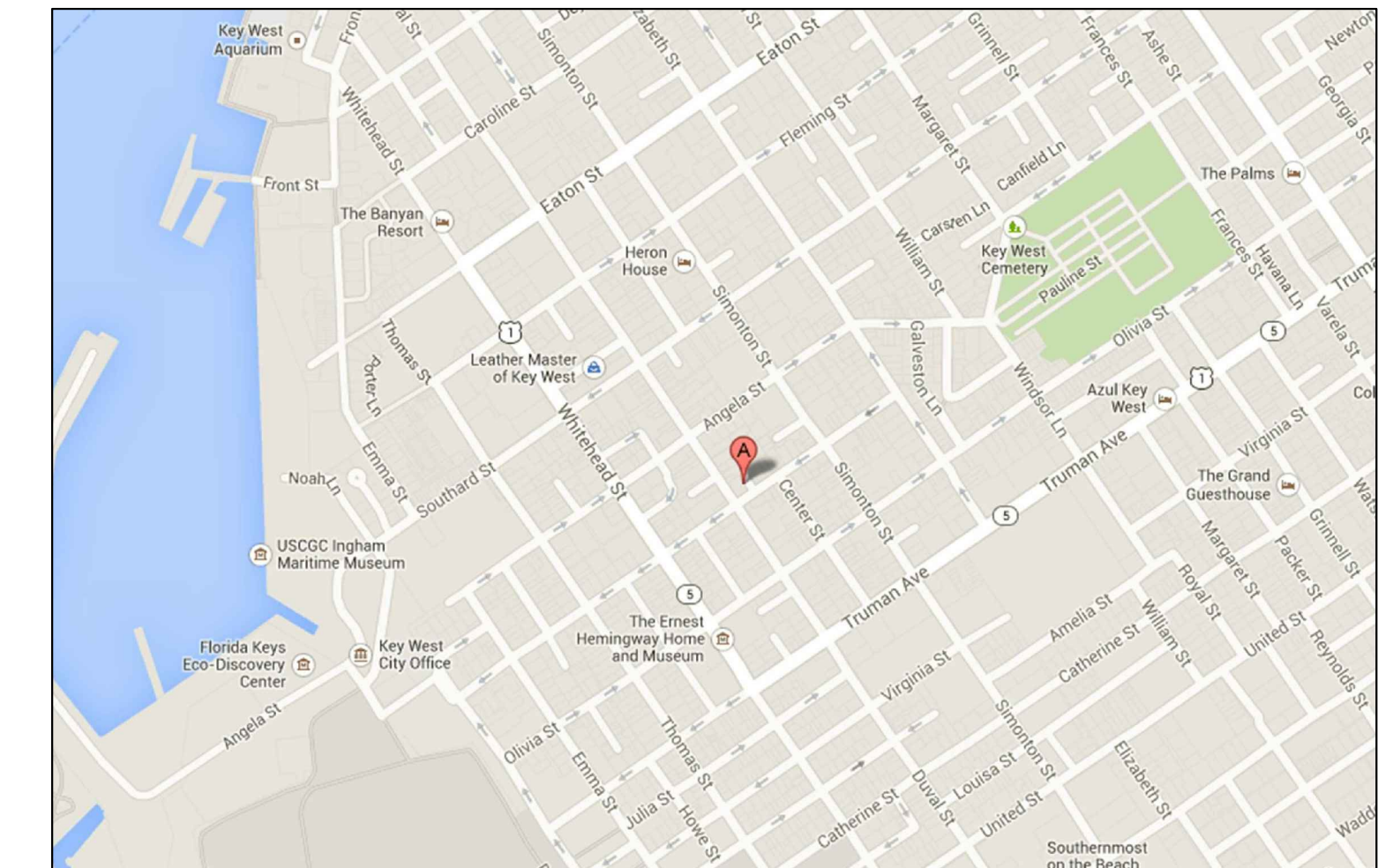
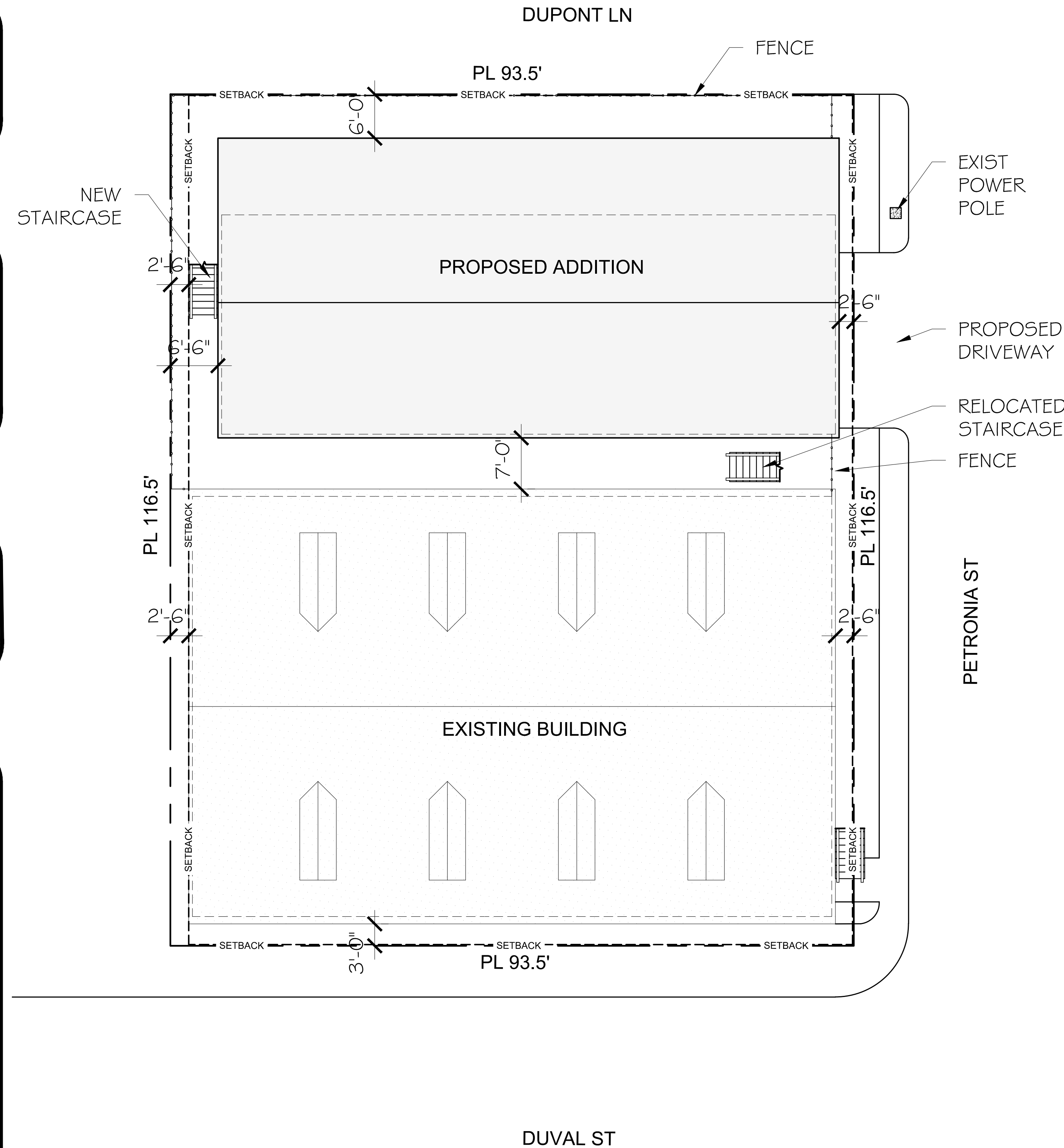
OCCUPANCY CLASSIFICATION: MIXED, R-2
 CONSTRUCTION TYPE: V
 THE FOLLOWING LOADINGS WERE USED:
 WIND LOAD: 180 MPH (ASCE 7-10) EXPOSURE D

INDEX OF DRAWINGS

- T-1 - CONCEPTUAL SITE DATA AND SITE PLAN
- A-1 - CONCEPTUAL FIRST LEVEL - PARKING
- A-2 - CONCEPTUAL SECOND LEVEL - UNIT FLOOR PLANS
- A-3 - CONCEPTUAL ELEVATIONS
- A-4 - CONCEPTUAL ELEVATIONS

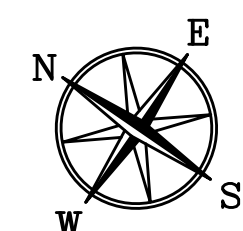
GENERAL NOTES

1. THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.).
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2010 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2010 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.



SITE DATA TABLE

	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	HRCC-1	HRCC-1	HRCC-1	
LOT SIZE	10,893 SF	10,893 SF	10,893 SF	
BUILDING AREA	5,031 SF	5,446 SF	8,969 SF	
COMMERCIAL FLOOR AREA	7,469 SF	10,893 SF	5,031 SF	REDUCED
BUILDING COVERAGE %	46.18%	50.00%	82.33%	
IMPERVIOUS COVERAGE	10,522 SF	7,625 SF	8,844 SF	REDUCED
IMPERVIOUS COVERAGE %	96.6%	70.00%	81.1%	REDUCED
BUILDING HEIGHT	< 35'	< 35'	< 35'	NO CHANGE
PETRONIA STREET SETBACK	2'-6"	0'-0"	2'-6"	NO CHANGE
DUPONT LANE SETBACK	2'-0"	0'-0"	6'-0"	NO CHANGE
DUVAL STREET SETBACK	3'-0"	0'-0"	3'-0"	NO CHANGE
SIDE SETBACK	2'-6"	2'-6"	2'-6"	NO CHANGE



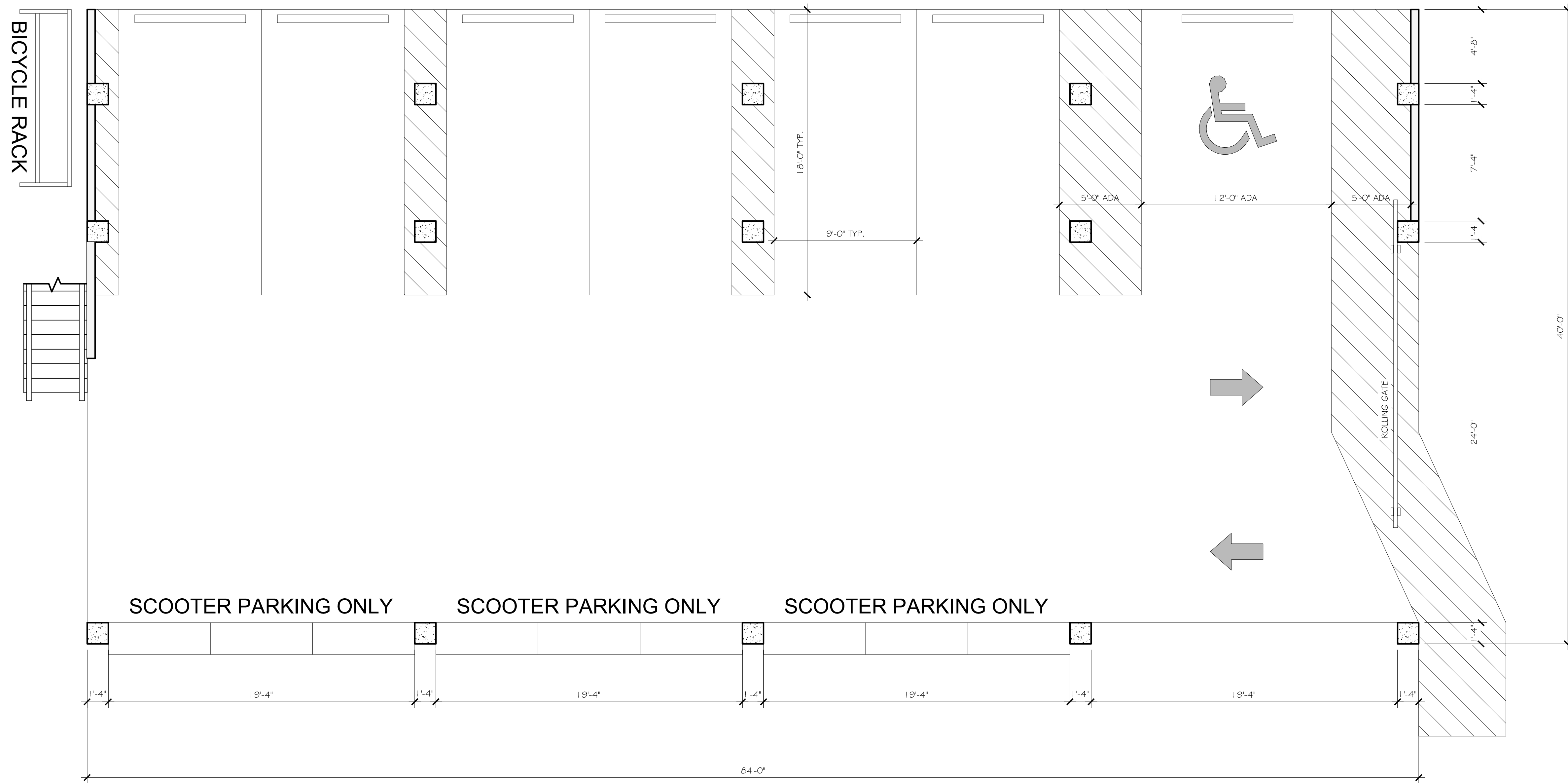
SITE PLAN

SCALE: 1" = 10'-0"

1
A-1

PROPOSED FIRST LEVEL - PARKING

SCALE: 1/4" = 1'-0"



REVISIONS	ORIGINAL
1	
2	
3	
4	
5	
6	

APARTMENT HOUSING
 725 DUVAL STREET
 KEY WEST, FL 33040
 CONCEPTUAL FIRST LEVEL - PARKING

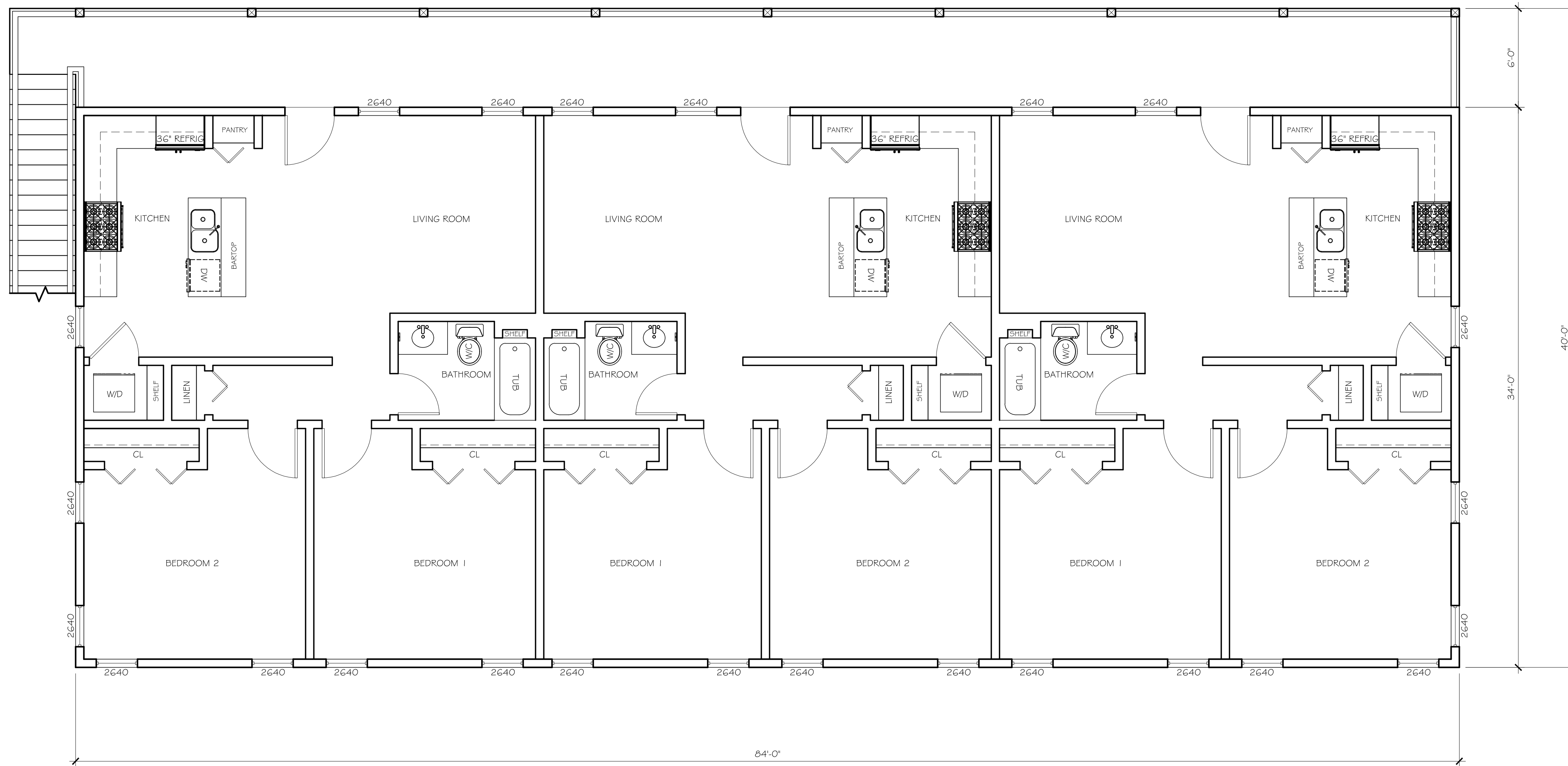
GARY THE CARPENTER
 800 SIMONTON STREET
 KEY WEST, FL 33040

JOB NO.	131083
DRAWN	BTD
DESIGNED	PRS
CHECKED	PRS
QC	
SHEET	A-1

1
A-2

PROPOSED SECOND LEVEL - UNIT FLOOR PLANS

SCALE: 1/4" = 1'-0"



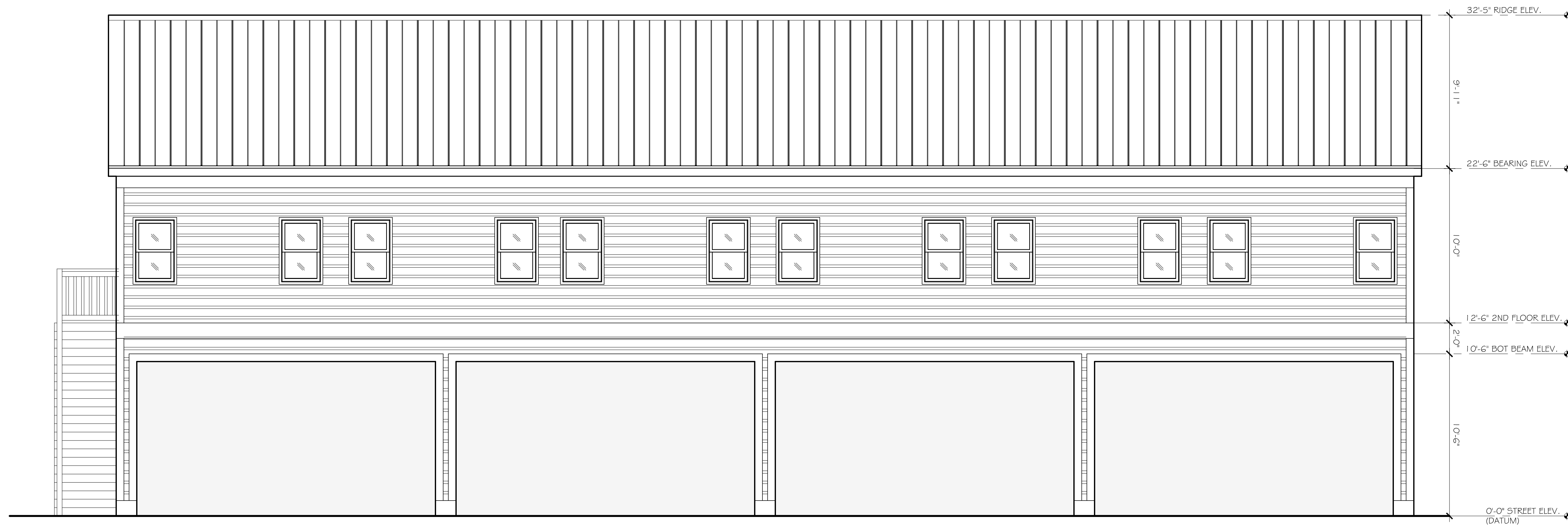
PAUL R. SEMMES, P.E.
 Florida P.E. NO. 44137
 May 1, 2014

REVISIONS	ORIGINAL
1	
2	
3	
4	
5	
6	

APARTMENT HOUSING
 725 DUVAL STREET
 KEY WEST, FL 33040
 CONCEPTUAL SECOND LEVEL - UNIT FLOOR PLANS

GARY THE CARPENTER
 800 SIMONTON STREET
 KEY WEST, FL 33040

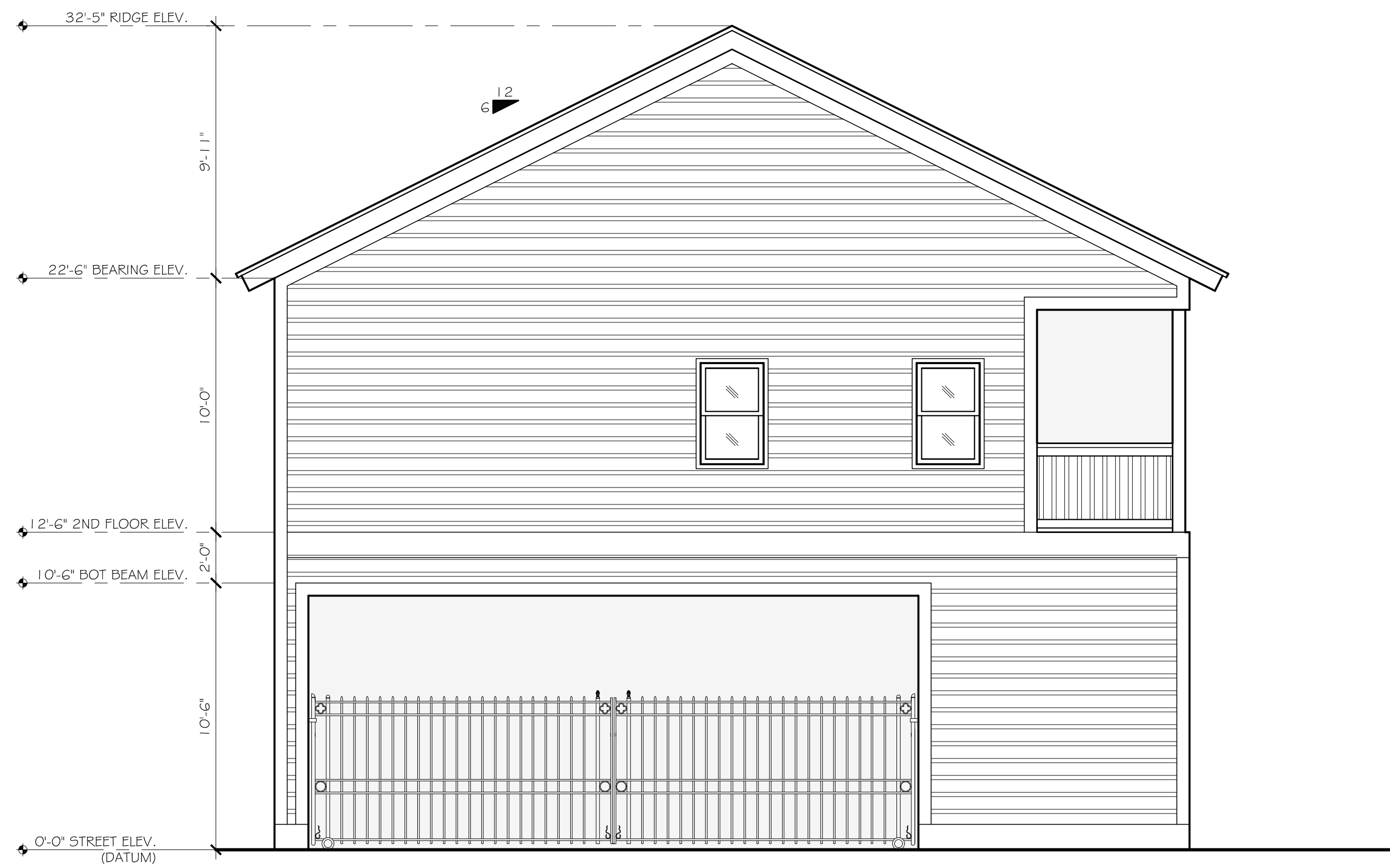
JOB NO.	131083
DRAWN	BTD
DESIGNED	PRS
CHECKED	PRS
QC SHEET	



1
A-3

REAR ELEVATION

SCALE: 1/4"=1'-0"



2
A-3

PETRONIA STREET ELEVATION

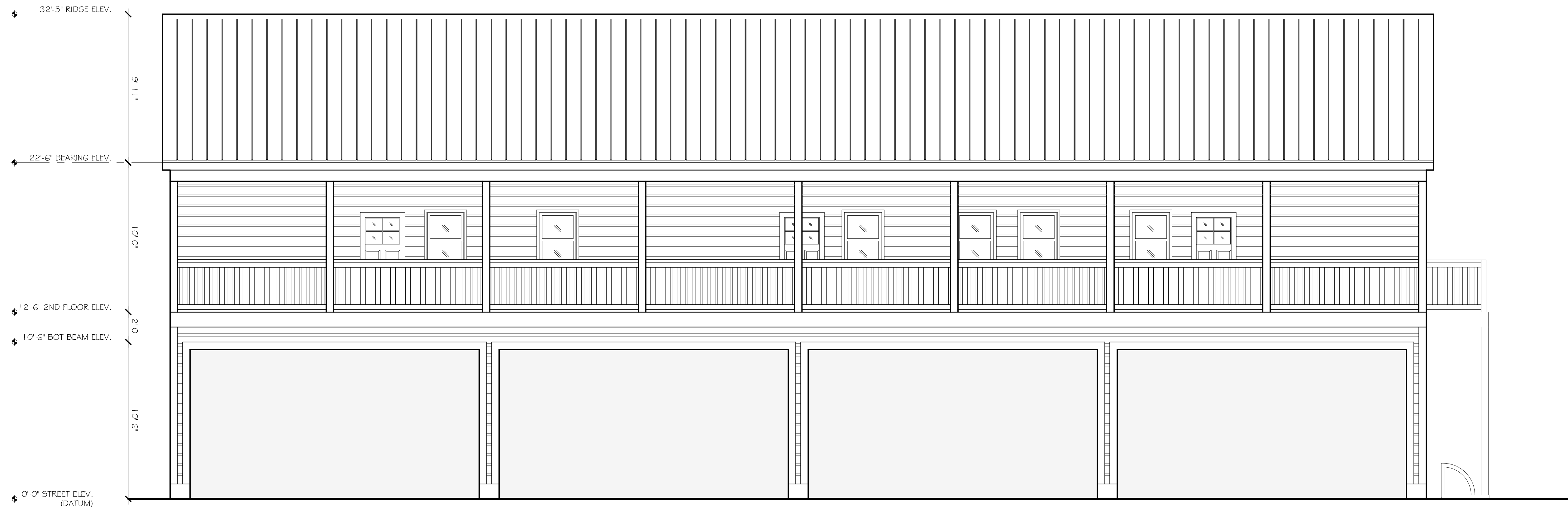
SCALE: 1/4"=1'-0"

REVISIONS	ORIGINAL
1	
2	
3	
4	
5	
6	

APARTMENT HOUSING
725 DUVAL STREET
KEY WEST, FL 33040
CONCEPTUAL ELEVATIONS

GARY THE CARPENTER
800 SIMONTON STREET
KEY WEST, FL 33040

JOB NO.	131083
DRAWN	BTD
DESIGNED	PRS
CHECKED	PRS
QC	
SHEET	A-3



1
A-4

DUPONT LANE ELEVATION

SCALE:1/4"=1'-0"



2
A-4

SIDE ELEVATION

SCALE:1/4"=1'-0"

REVISIONS	ORIGINAL
1	
2	
3	
4	
5	
6	

APARTMENT HOUSING
 725 DUVAL STREET
 KEY WEST, FL 33040
 CONCEPTUAL ELEVATIONS

GARY THE CARPENTER
 800 SIMONTON STREET
 KEY WEST, FL 33040

JOB NO.	131083
DRAWN	BTD
DESIGNED	PRS
CHECKED	PRS
QC	
SHEET	A-4

**Property Appraiser
Record Card**



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
 Marathon (305) 289-2550
 Plantation Key (305) 852-7130

Website tested on IE8, IE9, & Firefox.
 Requires Adobe Flash 10.3 or higher

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: **1016306** Parcel ID: **00015920-000000**

Ownership Details

Mailing Address:
 725 DUVAL STREET LLC
 301 LINCOLN RD
 MIAMI BEACH, FL 33139-3102

Property Details

PC Code: 11 - STORES ONE STORY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 725 DUVAL ST KEY WEST
Legal Description: KW PT LOT 4 SQR 2 TR 4 G10-447 G40-233/34 OR782-721D/C OR783-1572/73 OR841-117 OR937-365D/C OR937-366 OR1003-1925/1926P/R OR1027-243 OR1027-244 OR1135-191/92 OR1517-2234/35 OR2033-1204/05 OR2583-496/98

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
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100D - COMMERCIAL DRY

93

116

10,892.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1
 Total Living Area: 7469
 Year Built: 1991

Building 1 Details

Building Type
 Effective Age 11
 Year Built 1991
 Functional Obs 0

Condition G
 Perimeter 652
 Special Arch 0
 Economic Obs 0

Quality Grade 450
 Depreciation % 13
 Grnd Floor Area 7,469

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

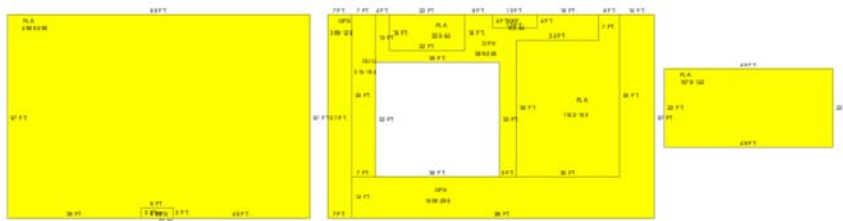
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 2
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 2

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	OPX		1	1991					1,506
2	OUU		1	1991					315
3	OPX		1	1991					399
4	FLA		1	1991					1,182
5	OPX		1	1991					589

6	SBF	1	1991	52
7	FLA	1	1991	220
8	FLA	1	1991	4,989
9	OPX	1	1991	27
10	FLA	1	1991	1,078

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2808	OFFICE BLD-1 STORY	50	N	Y
	2809	WAREHOUSE/MARINA C	50	N	Y
	2810	WAREHOUSE/MARINA C	100	N	Y
	2811	DEPT STORES-B	100	N	Y
	2812	WAREHOUSE/MARINA C	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
743	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN3:WROUGHT IRON	912 SF	152	6	1990	1991	3	60
2	PT2:BRICK PATIO	4,018 SF	0	0	1990	1991	1	50

Appraiser Notes

2002 & 2003 CUT OUT DONE- FOR H.T.CHITHAM,S
2004-02-05 OFFERING THE BUSINESS FOR SALE FOR \$250,000 PLUS THE INVENTORY \$400,000-SKI
CONCH REPUBLIC TRADING CO.

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes	
1	09-4108	12/01/2009	03/14/2011	4,000	Commercial	REPLACE 250 LF OF EXISTING GUTTER ON FRONT AND REAR OF BUILDING. REPLACE WITH 6" WHITE SEAMLESS GUTTER & DOWNSPOUT. INSTALL NEW VENTED SOFFIT ON FRONT OF BUILDING
1	12-3362	09/24/2012		4,500	Commercial	REPLACE EXISTING WOOD DOOR WITH IMPACT DOOR
1	12-2930	08/09/2012		2,000	Commercial	INTERIOR WORK ONLY. DEMO NON LOAD BEARING PARTITION WALLS AND INTERIOR FINISHES.
1	12-3070	08/24/2012		10,000	Commercial	INSTALL 150SF OF FALSE CEILING JOIST FOR DISPLAY PURPOSES, TWO INTERIOR DOORS, ONE WITH SIDE LIGHTS, REPAIR 300 SF OF WOOD FLOORING AND TRIM, DRYWALL AND PAINT, REPLACE REAR DOOR W/DOUBLE STEEL DOOR, POUR NEW RAMP FOR DELIVERIES. REMOVE RAMP AT FRONT DOOR AND REPAIR FOR ADA ACCESS AT 1/20 SLOPE, MOVE FRONT DOORS FORWARD.
1	13-0071	01/15/2013		9,500	Commercial	INSTALL NEW AWNING WITH "ESTATE LIQUIDATOR" ON FRONT
1	13-1310	04/08/2013		5,000	Commercial	REPLACE ROTTEN BOARDS AND TRIM ABOVE AWNING 98' X 2' & PAINT TO MATCH EXISTING, PATCH & REPAIR DRYWALL AT THIRD FLOOR PORCH
	11-0849	03/17/2011		0		FABRICATE AND INSTALL AN EDGE METAL TIE IN TO STOP LEAK.
1	9803293	10/26/1998	01/01/1999	2,000	Commercial	PAINT FIRST FLOOR BLDG
1	9901469	05/04/1999	11/03/1999	2,000		REPLACE SIGN

1	0001207	05/15/2000	11/16/2001	1,100	PRESSURE CLEAN/PAINT BLDG
1	03-1230	04/04/2003	10/03/2003	2,000	PAINT EXTERIOR
1	05-1236	04/19/2005	11/05/2005	4,000	GUTTER WORK AND REPAINT
1	06-4434	07/21/2006	12/19/2006	3,500	SECOND FLOOR BALCONY RETILE
1	06-4975	08/28/2006	12/19/2006	6,000	INSTALL HURRICANE SHUTTERS ON STORE FRONT

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	747,964	21,377	820,658	1,589,999	1,589,999	0	1,589,999
2012	777,105	22,113	820,658	1,619,876	1,619,876	0	1,619,876
2011	777,105	22,850	820,658	1,620,613	1,620,613	0	1,620,613
2010	796,533	23,480	819,841	1,639,854	1,639,854	0	1,639,854
2009	825,675	24,216	1,446,288	2,296,179	2,296,179	0	2,296,179
2008	825,675	24,953	1,728,099	2,578,727	2,578,727	0	2,578,727
2007	603,198	25,583	2,499,714	3,357,956	3,357,956	0	3,357,956
2006	603,198	26,319	980,280	3,097,500	3,097,500	0	3,097,500
2005	623,998	27,055	871,360	3,097,500	3,097,500	0	3,097,500
2004	643,639	27,685	647,280	2,298,000	2,298,000	0	2,298,000
2003	684,940	54,048	528,612	2,298,000	2,298,000	0	2,298,000
2002	684,940	56,065	528,612	2,298,000	2,298,000	0	2,298,000
2001	762,101	29,788	528,612	1,027,300	1,027,300	0	1,027,300
2000	735,217	12,345	453,096	1,027,300	1,027,300	0	1,027,300
1999	552,670	12,642	453,096	1,027,300	1,027,300	0	1,027,300
1998	474,566	26,476	453,096	1,027,300	1,027,300	0	1,027,300
1997	474,566	27,081	431,520	1,027,300	1,027,300	0	1,027,300
1996	431,424	27,687	431,520	952,231	952,231	0	952,231
1995	431,424	28,074	431,520	952,231	952,231	0	952,231
1994	431,424	28,680	431,520	902,114	902,114	0	902,114
1993	431,424	29,285	431,520	892,229	892,229	0	892,229
1992	431,424	29,672	431,520	892,616	892,616	0	892,616
1991	0	0	222,720	222,720	222,720	0	222,720
1990	0	0	179,568	179,568	179,568	0	179,568
1989	0	0	178,176	178,176	178,176	0	178,176
1988	0	0	150,336	150,336	150,336	0	150,336
1987	0	0	68,873	68,873	68,873	0	68,873
1986	0	0	66,883	66,883	66,883	0	66,883
1985	0	0	53,453	53,453	53,453	0	53,453
1984	0	0	40,090	40,090	40,090	0	40,090
1983	0	0	35,245	35,245	35,245	0	35,245
1982	0	0	30,234	30,234	30,234	0	30,234

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/3/2012	2583 / 496	3,000,000	WD	37
7/31/2004	2033 / 1204	3,450,000	WD	Q
5/1/1998	1517 / 2234	3,050,000	WD	U
6/1/1990	1135 / 191	1	WD	M
10/1/1981	841 / 117	45	WD	U

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Monroe County Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176