

RESIDENTIAL NEW CONSTRUCTION

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FLORIDA 33040

DEVELOPMENT AGREEMENT APPLICATION

FEBRUARY 16, 2016 (Revised Date: June 14, 2016)

PROJECT TEAM

OWNER / DEVELOPER:
Ocean Walk Key West Owner, LLC
119 Washington Ave., Suite 505
Miami Beach, Florida 33033

ARCHITECT:
K2M Design, Inc.
1001 Whitehead Street, Suite 101
Key West, Florida 33040
305.292.7722
Scott C. Maloney, R.A.
Phill Badalamenti, R.A.

ENGINEER:
K2M Design, Inc.
1001 Whitehead Street, Suite 101
Key West, Florida 33040
305.292.7722
Steven Grasley, P.E.

DRAWING INDEX

GENERAL

A0.1.1 COVER SHEET

ARCHITECTURE

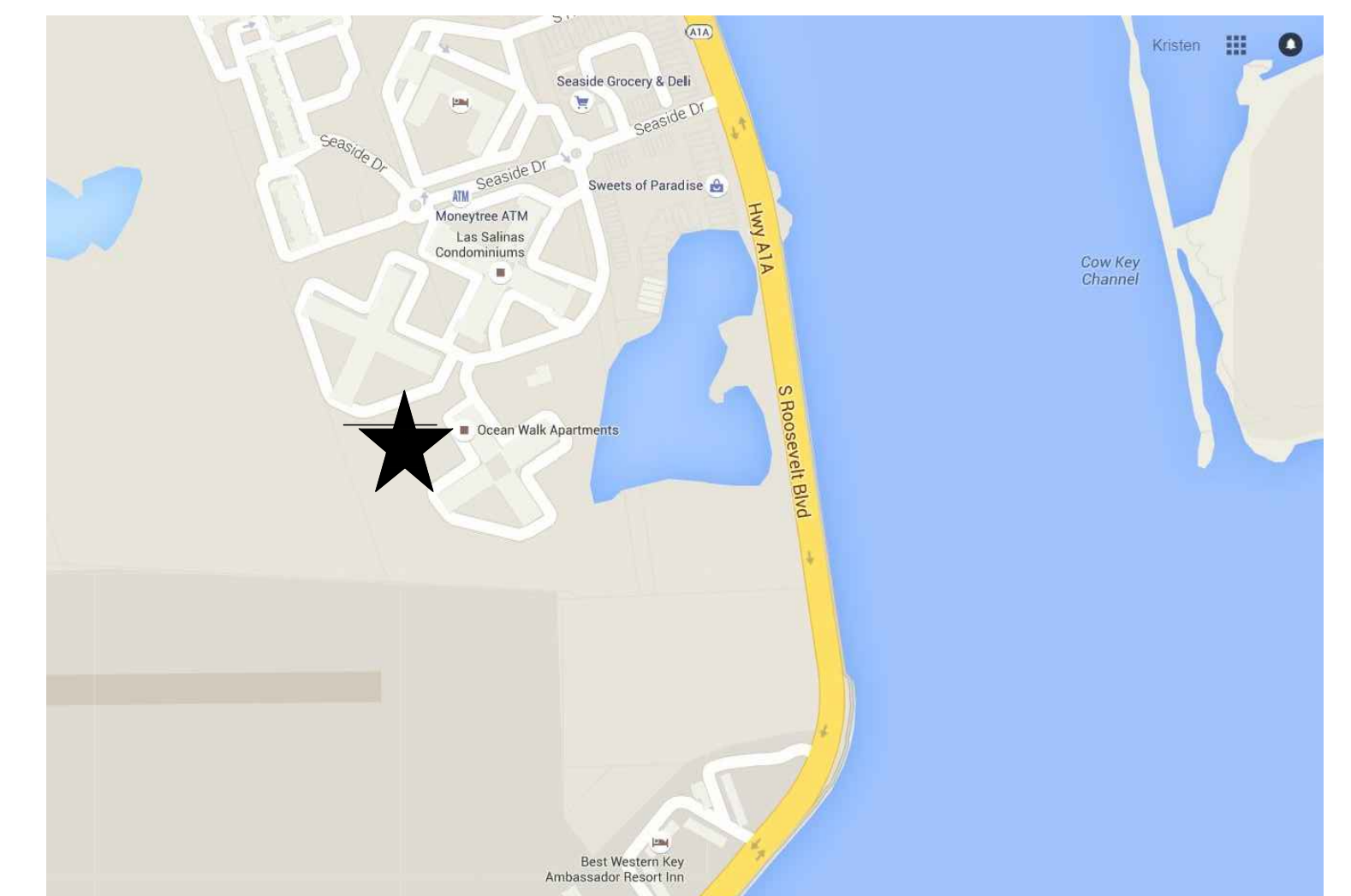
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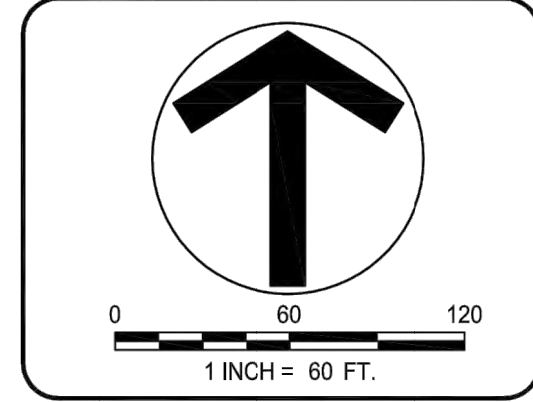
PROJECT LOCATION



LANDSCAPE

L0.01 DEMOLITION PLAN
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17 NORTH ARROW/SCALE



Sunrise at Seaside
Condominium
APN: 66180-025101

Match Line - See Sheet 1

19 SURVEY DRAWING

10 BASIS OF BEARINGS

The meridian for all bearings shown herein is based on the Eastern line of the subject property, known as being a bearing of S10°15'20"E, as shown in Plat Book 4, Page 69 of Monroe County Public Records.

12 PARKING INFORMATION

- 166 Covered Regular Parking Spaces (Under Building)
- 151 Regular Parking Spaces
- 8 Handicap Parking Spaces
- 325 Total Parking Spaces

13 LAND AREA

745,399 sq. ft.
17,120 acres

9 LEGEND

- | | |
|---------------------------|------------------------------------|
| (D) Dead | c ⁰⁰ Sewer Cleanout |
| (F) Flat | Light Pole |
| (M) Measured | Utility Vault |
| (C) Calculated | Sign |
| Found Monument (as Noted) | Irrigation Valve |
| Set Monument (as Noted) | Bolt |
| Manhole (Unknown) | Pressure Relief Valve |
| Sewer Manhole | Catch Basin |
| Drainage Manhole | Curb Inlet |
| Telephone Manhole | Traffic Pole |
| Electric Manhole | Utility Pole |
| Telephone Pedestal | Air Conditioner |
| Cable Pedestal | Concrete Utility Pole |
| Electric Pedestal | Traffic Signal Vault |
| Electric Transformer | Underground Utility Manhole |
| Electric Meter | Regular Spaces/
Handicap Spaces |
| Gas Meter | Right-of-Way |
| Gas Valve | Schedule B, Section II Items |
| Water Meter | Possible Apparent Use |
| Water Valve | O.R. Official Records |
| Water Vault | Landscaping Area |
| Back-Flow Preventor | Overhead Utilities |
| Fire Hydrant | Handicap Spaces |
| Monitor Well | Handicap Space |
| Adjoiner Property | Essement Line |
| Property Line | Setback Line |
| 2.0 Spot Elevation | |

3 SCHEDULE "B" ITEMS

- NOTES CORRESPONDING TO SCHEDULE "B" SECTION ONE EXCEPTIONS:**
6. Boundaries of the City of Key West Area of Critical Concern filed in Official Records Book 906, page 200, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - BLANKET IN NATURE - CONTAINS NO PLOTTABLE ITEMS**
 7. Terms, conditions and covenants as set forth in that certain Supplemental Access Easement among Lawrence M Marks, Eugene Marks, Stanley Marks, Paul Marks and Herman Marks, to Robert A. Butler and Rosemary T. Butler, dated July 2, 1986, filed July 3, 1986, in Official Records Book 980, page 659, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON**
 8. Terms, conditions and covenants as set forth in that certain Access Easement Agreement from Islands in the Sun Condominiums of Key West Florida, Inc. to Robert A. Butler and Rosemary T. Butler, dated July 2, 1986, and filed July 3, 1986, in Official Records Book 980, page 647 and filed July 11, 1986, in Official Records Book 980, page 2432, both Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON**
 9. Facilities Easement Agreement from Robert A. Butler and Rosemary T. Butler, dated July 2, 1986, filed July 11, 1986, in Official Records Book 980, page 673, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - BLANKET IN NATURE - CONTAINS NO PLOTTABLE ITEMS**
 10. Access to Roosevelt Boulevard is insured only through Easements as set forth in Schedule A hereof, and across that portion of the state road right of way located between the north and south boundaries of Parcel 3 of Schedule A, as extended along their existing courses to Parcel 2 of Schedule A. **AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON**
 11. Utility Easement Agreement made by and between Meacham Field Associates, Ltd., a Florida limited partnership and Ocean Walk Phase I, Ltd., a Florida limited partnership, filed May 15, 1989, in Official Records Book 1092, page 271, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON**
 12. Easement in favor of the Utility Board of the City of Key West, Florida, filed September 16, 1991, in Official Records Book 1183, page 1508, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - BLANKET IN NATURE - CONTAINS NO PLOTTABLE ITEMS**
 13. Egress and Ingress Easement made by and between Ocean Walk Phase I, Limited Partnership to Los Salinas Condominium Association, Inc., filed December 16, 1989, in Official Records Book 1115, page 434, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - BLANKET IN NATURE - CONTAINS NO PLOTTABLE ITEMS**
 14. Access Easement Agreement made by and between Meacham Field Associates, Ltd., a Florida limited partnership and Ocean Walk Phase I, Ltd., a Florida limited partnership, filed May 15, 1989, in Official Records Book 1092, page 278, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON**
 15. Utility Easement Agreement made by and between Meacham Field Associates, Ltd., a Florida limited partnership and Ocean Walk Phase I, Ltd., a Florida limited partnership, filed May 15, 1989, in Official Records Book 1092, page 262, Public Records of Monroe County, Florida. **AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON**
 16. Memorandum of Agreement for Easement and License by and between Equity Residential Properties Management Corp. and TCI Cablevision of Georgia, Inc. recorded in Official Records Book 1856, Page 522. **AFFECTS THE SUBJECT PROPERTY - BLANKET IN NATURE - CONTAINS NO PLOTTABLE ITEMS**
 17. Reservation as to an undivided 3/4 of all phosphate, minerals and metals and an undivided 1/2 of all petroleum reserved to The Trustees of the Internal Improvement Fund of the State of Florida by virtue of Deed No. 20719 recorded May 23, 1955 in Official Records Book 33, Page 422. **NOT A SURVEY RELATED ITEM**
 18. Reservation as to an undivided 3/4 of all phosphate, minerals and metals and an undivided 1/2 of all petroleum reserved to The Trustees of the Internal Improvement Fund of the State of Florida by virtue of Deed No. 20941 recorded July 15, 1955 in Official Records Book 38, Page 292. **NOT A SURVEY RELATED ITEM**

14 BUILDING AREA

Building #	Building Type	Building Area
1	2-Story Concrete Building	2,906 sq. ft.
2	3-Story Concrete Building	37,822 sq. ft.
3	2-Story Concrete Building	306 sq. ft.
4	1-Story Concrete Building	548 sq. ft.
5	5-Story Concrete Building	43,961 sq. ft.
6	2-Story Concrete Building	306 sq. ft.

Note: Buildings 2 & 5 (Apartment Buildings) have 1st Floor Parking Areas located at ground level, parking spaces shown were as of the date of this survey.

15 BUILDING HEIGHT

Building #	Building Height
1	16.7 ft.
2	26.6 ft.
3	22.5 ft.
4	12.5 ft.
5	43.9 ft.
6	22.5 ft.

7 POSSIBLE APPARENT USE

Easterly adjoines fence lies over and upon the subject property a maximum distance of 21.1'

Line Table

Line #	Direction	Length
L1 (D & M)	N81°15'57"W	40.14'
L2 (D & M)	S66°14'20"E	82.14'
L3 (D & M)	N24°18'46"E	123.74'

Curve Table

Curve #	Delta	Radius	Length	Chord	Chord Bearing
C1 (D & M)	2°13'57"	2339.83'	91.17'	91.17'	N11°22'18"W
C2 (D)	8°53'03"	2339.83'	362.83'	362.46'	S16°55'48"E
C3 (D)	11°07'00"	2339.93'	454.00'	453.28'	S15°48'50"E

The surveying company: Commercial Due Diligence Services certifies to the accuracy and sufficiency of the survey provided herein.

CDS
COMMERCIAL
DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Main Office Phone No.: 405-253-2444
Fax No.: 405-253-2444
Toll Free: 888.457.7878

1 SITE SURVEY COPY
SCALE: NTS

OCEAN WALK APARTMENTS

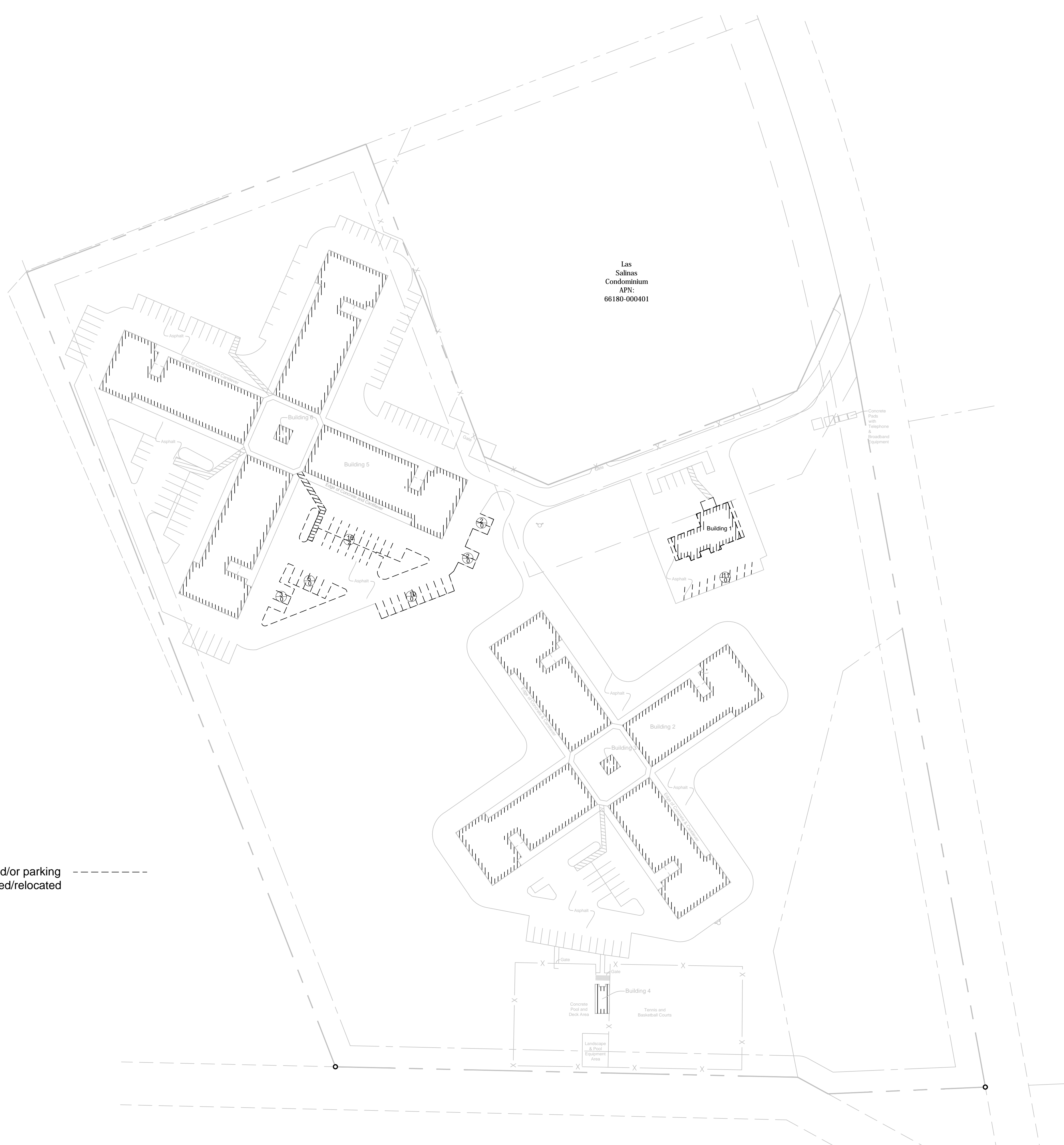
3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040 RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT



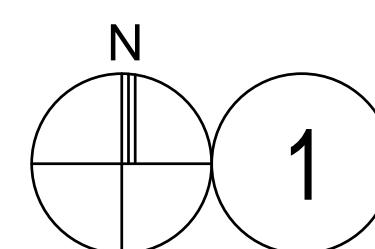
SITE DEMOLITION DATA

Buildings Demolished		
Building 1		
Building Area	2,906 sf	(per existing condition survey)
Building height	16.7 sf	(per existing condition survey)
Demolished Parking Spaces		
Regular Spaces Demolished	49	
ADA Spaces Demolished	2	

Note: The parking spaces being removed is being relocated and compensated for in the new layout



Represents building and/or parking being demolished/relocated



SITE DEMOLITION PLAN

SCALE: 1/64" = 1'-0"



SITE DATA TABLE				
Ocean Walk- 3900 S. Roosevelt Blvd.				
GENERAL	CODE REQUIREMENT	EXISTING (*A)	PROPOSED	VARIANCE REQUESTED
ZONING		High Density Residential District (HDR)	ZONE AE EL 8	
FLOOD ZONE				
SIZE OF SITE	43,560.00 SF (1.00 ACRE) MIN	745,312.00 SF (17.11 ACRES)	745,312.00 SF (17.11 ACRES)	NONE
MINIMUM LOT WIDTH	80'-0"	634'-8"	634'-8"	NONE
MINIMUM LOT DEPTH	100'-0"	691'-0"	691'-0"	NONE
IMPERVIOUS SURFACE	60% MAX	44.5% (332,171 SQ FT)	49.8% (371,238 SQ FT)	NONE
OPEN SPACE LANDSCAPING	35% MIN	56% (417,630 SQ FT)	50.2% (374,147 SQ FT)	NONE
DENSITY	22 DU PER ACRE	296 UNITS (17.30 PER ACRE)	376 UNITS (21.97 PER ACRE)	40 UNITS AWARDED DURING YEAR 2 BPAS. ADDITIONAL 40 UNITS WILL BE SUBMITTED FOR YEAR 4 BPAS APPLICATION

SITE SETBACKS (Existing and proposed setback numbers based on worst case scenario)				
SETBACK 1: FRONT	30'-0"	166'-3.5"	140'-10"	NONE
SETBACK 2: SIDE	25'-0"	30'-5"	30'-5"	NONE
SETBACK 3: STREET SIDE	25'-0"	92'-11"	92'-11"	NONE
SETBACK 4: REAR	25'-0"	29'-2"	29'-2"	NONE

HEIGHTS				
HEIGHT OF EXISTING BUILDINGS	CODE REQUIREMENT	EXISTING (*A)	PROPOSED	VARIANCE REQUESTED
BUILDING 1	40'-0"	16.7 FT	TO BE DEMOLISHED	
BUILDING 2	40'-0"	26.6 FT	N/A	NONE
BUILDING 3	40'-0"	22.5 FT	N/A	NONE
BUILDING 4	40'-0"	12.5 FT	N/A	NONE
BUILDING 5	40'-0"	43.5 FT	N/A	NONE
BUILDING 6	40'-0"	22.5 FT	N/A	NONE
HEIGHTS OF PROPOSED BUILDINGS (MEASURED FROM CROWN OF ROAD. CROWN OF ROAD MEASURED TO BE 3'-0" BASED ON AVERAGE OF SPOT ELEVATIONS TOWARDS THE CENTER OF THE ROAD)				
BUILDING A	40'-0"	N/A	40'-0"	NONE
BUILDING B	40'-0"	N/A	40'-0"	NONE

BUILDING COVERAGE EXISTING				
	CODE REQUIREMENT	EXISTING (*A)	PROPOSED DEMOLITION	VARIANCE REQUESTED
BUILDING 1		2,906 SQ. FT	2,906 SQ. FT	
BUILDING 2		37,927 SQ. FT		
BUILDING 3		306 SQ. FT		
BUILDING 4		548 SQ. FT		
BUILDING 5		43,961 SQ. FT		
BUILDING 6		306 SQ. FT		
TOTAL	40% MAX	11.5 % (85,949 SQ FT)		NONE

BUILDING COVERAGE PROPOSED				
	CODE REQUIREMENT	PROPOSED		VARIANCE REQUESTED
BUILDING A		15,261.1 SQ FT		
BUILDING B		18,361.5 SQ FT		
TOTAL	40% MAX	4.5 % (33,622.6 SQ FT)		NONE
TOTAL BUILDING COVERAGE: EXISTING - DEMOLISHED + PROPOSED =		40% MAX	15.6% (116,665.6 SQ FT)	NONE

PARKING DATA TABLE

Existing Buildings	Existing Parking	Demolished	Proposed
Auto	317	49	48
H-Cap	8	2	3
Bike	0	0	0
Scooter	0	0	0
Ratio (Car Parking/Unit) = 325/296 = 1.09			

New Buildings (A & B)

	Proposed
Auto	100
H-Cap	1
Bike	173
Scooter	0

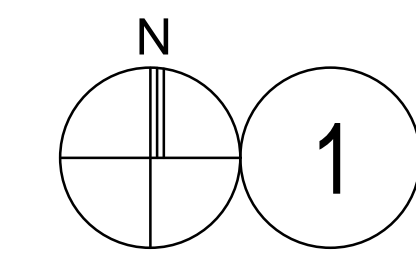
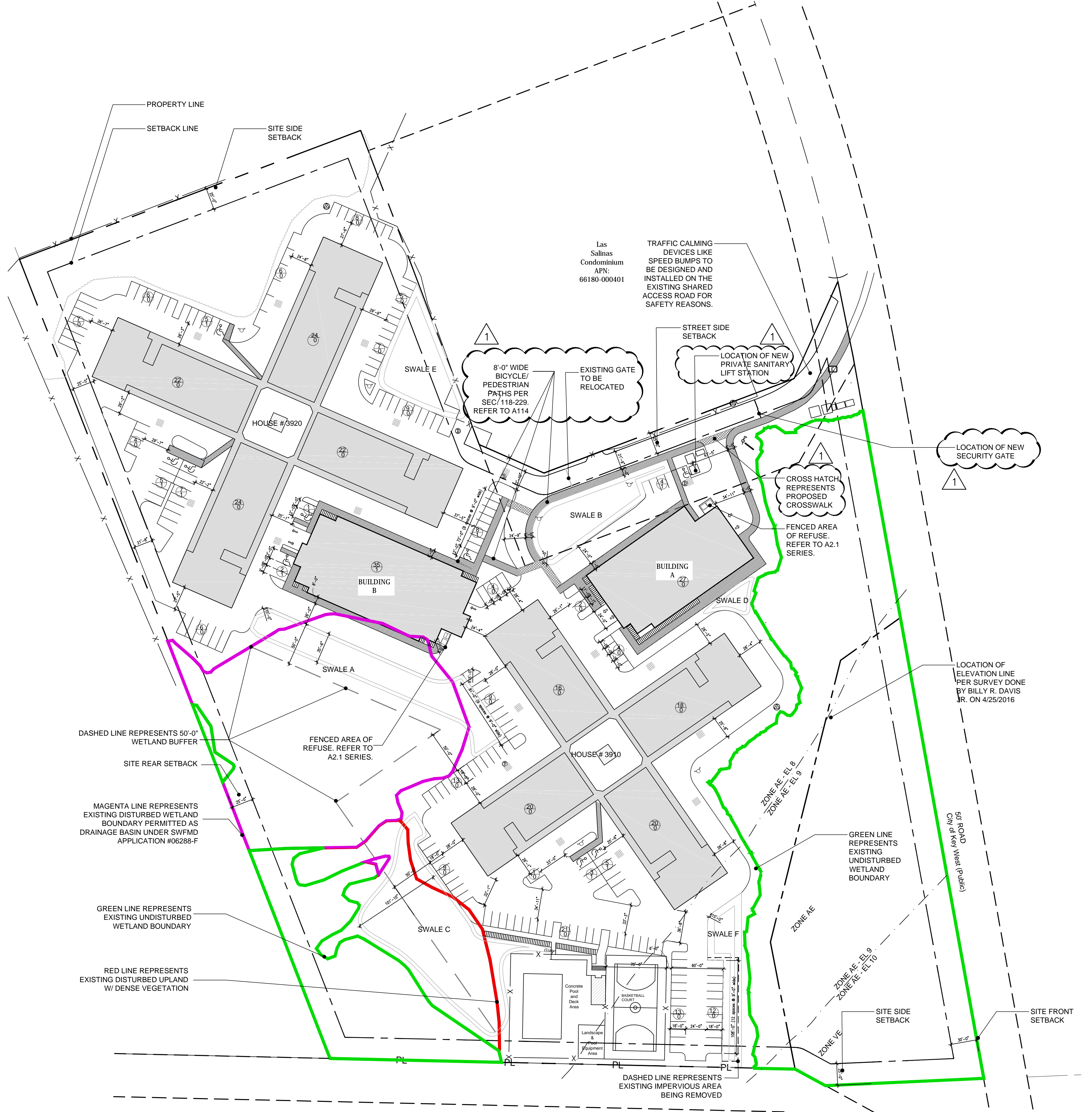
TOTAL PROPOSED PARKING

	Code Required	Proposed
Auto	767 (752 standard* + 15 ADA**)	426 (416 standard + 10 ADA)
Bike	77***	173
Scooter		0

Ratio (Car Parking/Unit) = 426/376 = 1.13 along with additional 173 bike parking spots.
 *General parking requirement based on 2 spaces per residential dwelling (Multi-Family outside historic district) per Sec. 108-572 of the code.
 ** ADA parking requirement based on 2% of the total parking spaces for 501-1000 parking spaces per Sec. 108-650 of the code.
 ***Bicycle parking requirement based on 10% of motor vehicles per Sec. 108-572 of the code.

Environmental Site Data

Parcel Area - Total	745,312.00 sf
Upland Area Impact	19,799.16 sf
Wetland Impacts - Disturbed	14,180.20 sf



PROPOSED SITE PLAN

SCALE: 1/64" = 1'-0"



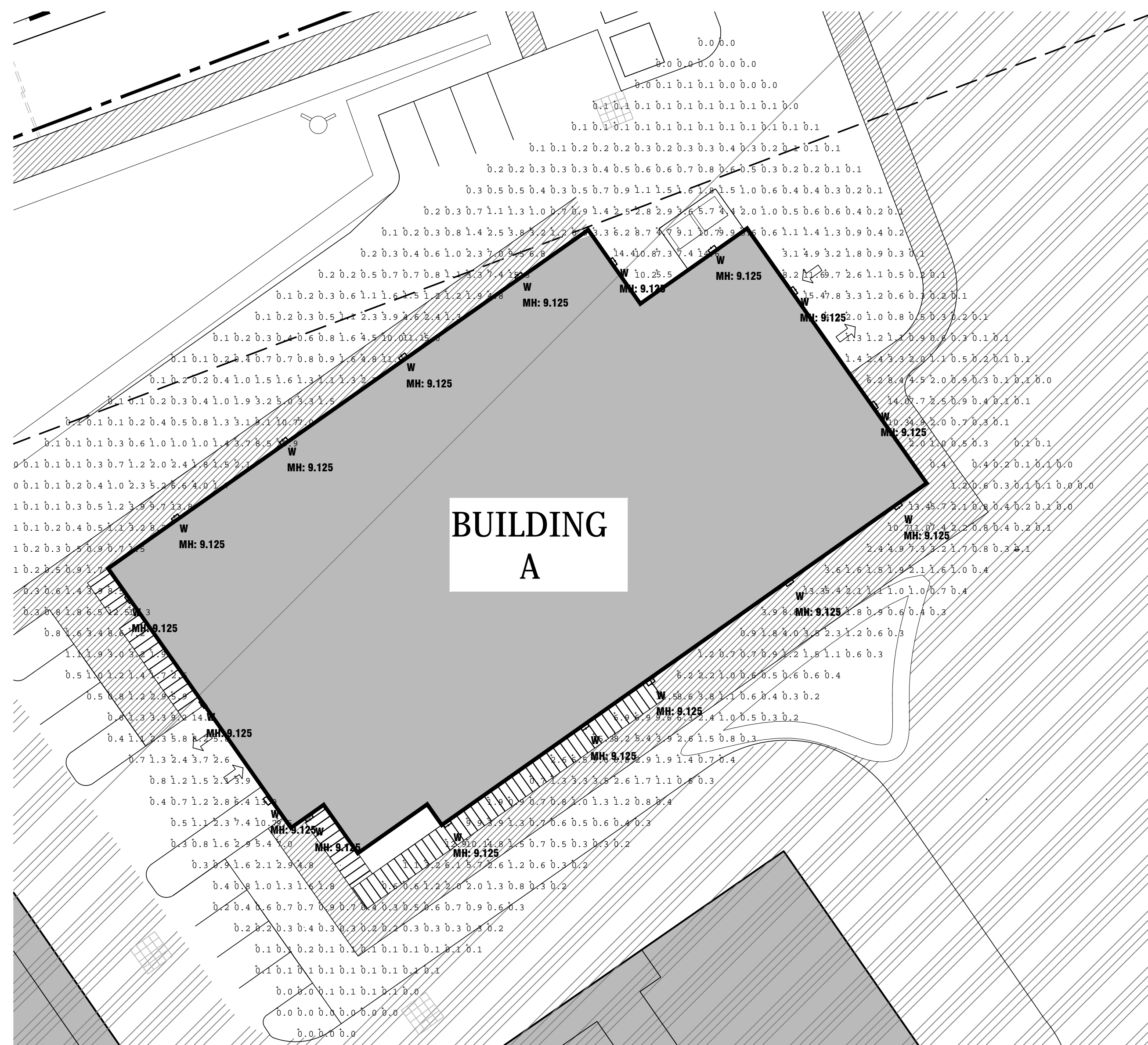
OCEAN WALK APARTMENTS

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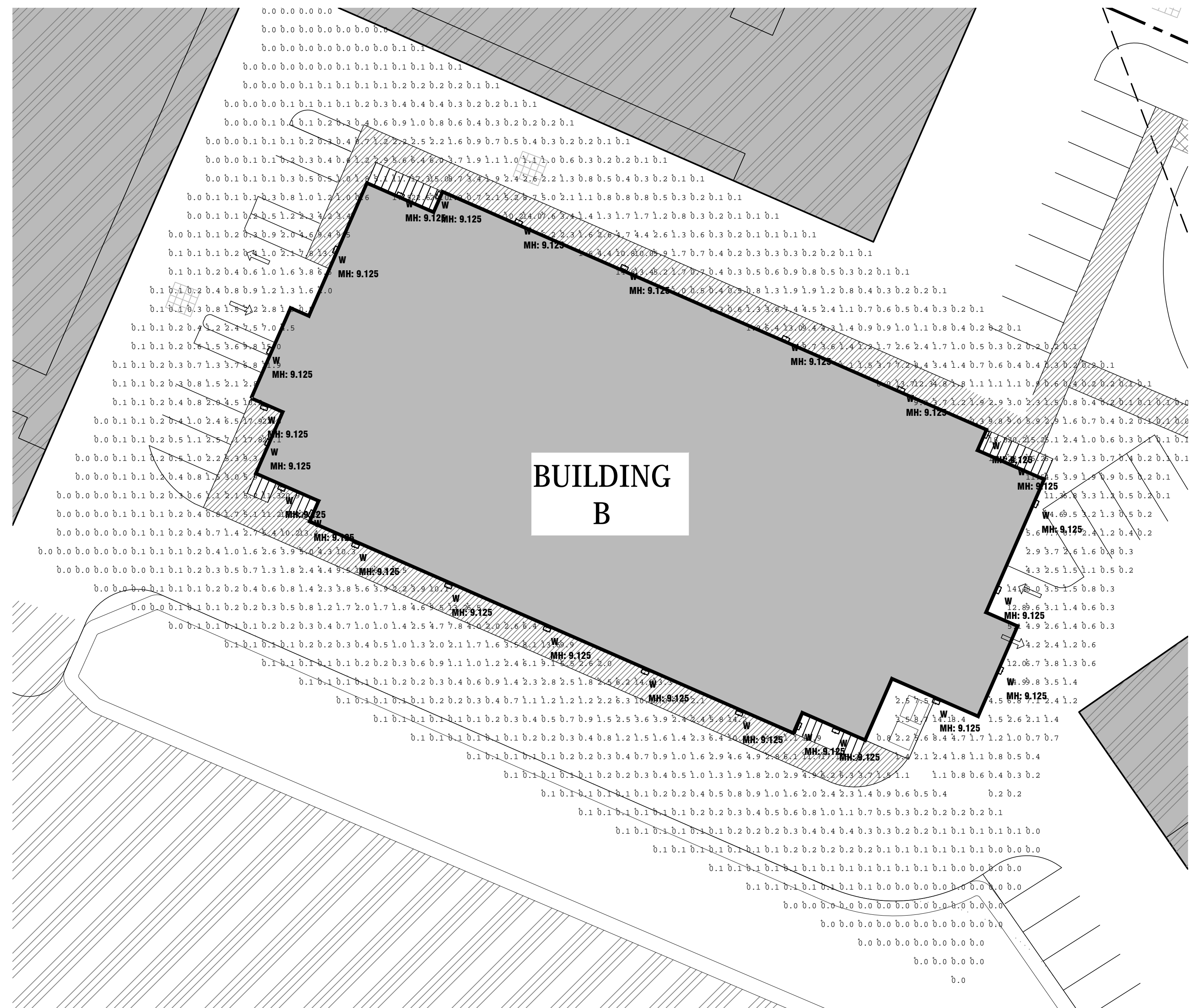
RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A1.1.1 K2M DESIGN

REVISED DATE: JUNE 14, 2016



2 BUILDING A SITE LIGHTING AND PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



1 BUILDING B SITE LIGHTING AND PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

Calculation Summary					
Project: OCEAN WALK APTS - BLDGS A & B - EXTERIOR - REV1					
Label	Avg	Max	Min	Avg Min	Max Min
BLDG A EXTERIOR	2.00	15.9	0.0	N.A.	N.A.
BLDG B EXTERIOR	2.02	25.1	0.0	N.A.	N.A.

Luminaire Schedule										
Project: OCEAN WALK APTS - BLDGS 1 & B - EXTERIOR - REV1 --- JAN - 12 - 2016										
Symbol	Qty	Label	Description	Lumens Lamp	LLD	LDD	BF	LLF	Lum. Watts	Total Watts
	42	W	LUMINOSO SWPK2-65W	4367	0.900	0.900	1.000	0.810	59.5	2499



LOCATION OF
ELEVATION LINE PER
SURVEY

LINE REPRESENTING
IMPACTED DISTURBED
WETLAND AREA

EXISTING
UNDISTURBED
WETLAND

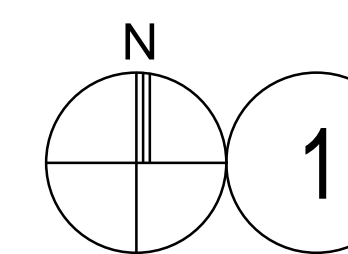
EXISTING
DISTURBED
WETLAND

EXISTING
UNDISTURBED
WETLAND

EXISTING
DISTURBED
UPLAND W/ HEAVY
VEGETATION

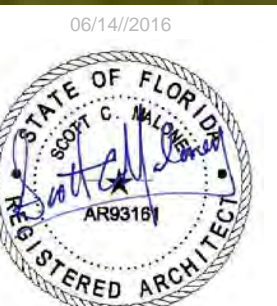
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1



ENVIRONMENTAL SITE PLAN

SCALE: NTS



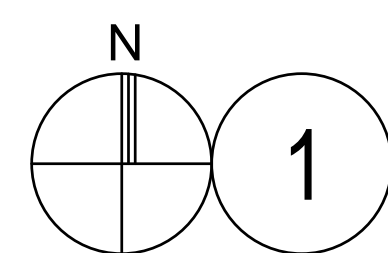
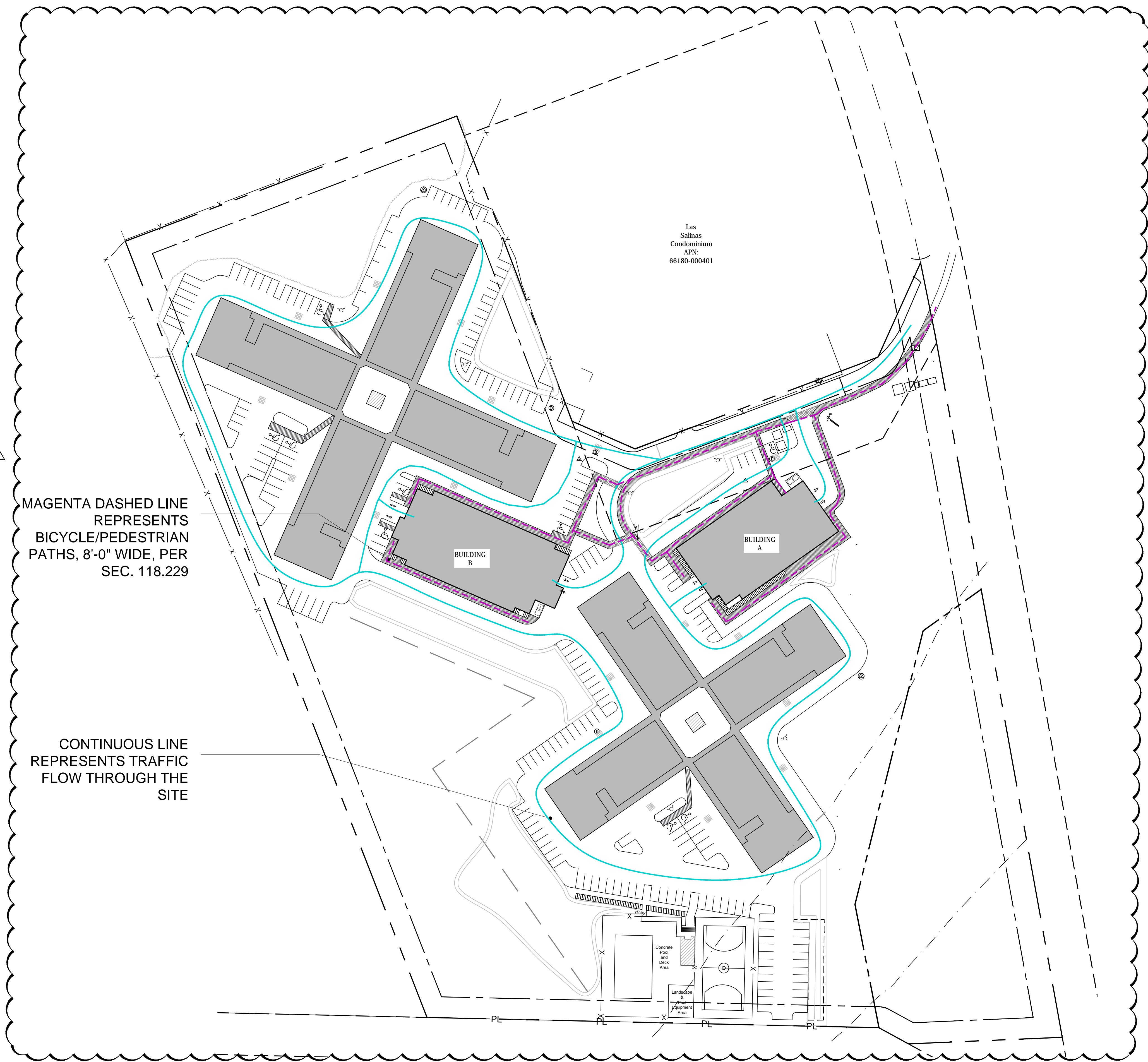
OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040

RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A1.1.3 **K2M** DESIGN

REVISED DATE: JUNE 14, 2016



TRAFFIC AND PEDESTRIAN CIRCULATION PLAN

SCALE: 1/64" = 1'-0"

0 60 120 180
GRAPHIC SCALE: 1" = 60'-0"



OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040

RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A1.1.4 **K2M** DESIGN

REVISED DATE: JUNE 14, 2016

FIRE PROTECTION SYSTEM REQUIREMENTS

Section 903: Automatic Sprinkler Systems

- 903.2.1 Group A - An automatic sprinkler system shall be provided throughout buildings and portions thereof used as Group A occupancies.
- 903.2.11.5 Commercial Cooking Operations - An automatic sprinkler system shall be installed in commercial kitchen exhaust hood and duct system where an automatic sprinkler system is used to comply with Section 904.
- 903.3.1.1 NFPA 13 Sprinkler System - Where the provisions of this code require that a building or portion thereof be equipped throughout with an automatic sprinkler system in accordance with this section, sprinklers shall be installed throughout in accordance with NFPA 13 except as provided in Section 903.3.1.1.1.
- 903.4 Sprinkler System Monitoring and Alarms - All valves controlling the water supply for automatic sprinkler systems, pumps, tanks, water levels and temperatures, critical air pressures and waterflow switches on all sprinkler systems shall be electrically supervised by a listed fire alarm control unit.

Shop Drawings

- Contractor shall submit sprinkler shop drawings compliant with all local, state, and federal regulations.

LIFE SAFETY - GENERAL NOTES:

- FINAL LOCATION OF FIRE EXTINGUISHERS TO BE COORDINATED WITH FIRE MARSHAL.
- CONTRACTOR TO PROVIDE FIRE ALARM SHOP DRAWINGS FOR COMPLIANT SYSTEM.
- CONTRACTOR TO PROVIDE FIRE PROTECTION SHOP DRAWINGS FOR COMPLIANT SYSTEM.

LIFE SAFETY - CODE REFERENCES:

Chapter 10: Means of Egress

Section 1004: Occupant Load

- Max floor area per occupant:
 - Refer to Occupancy Zone Legend
- Every room or space as an assembly occupant load shall have the number posted
- The outdoor area occupant load shall be assigned by the building official

Section 1005: Egress Width

- .3 inches per occupant stairs
 - XX occupants / X stairs = XX" per stair
- .2 inches per occupant for other components

Section 1009: Stairways

- Stairway width shall be per 1005 but not less than 44 inches.
- A flight of stairs shall not have a vertical rise greater than 12 feet between floors or landings.

Section 1011: Exit Signs

- Exits shall be marked with readily visible sign from any direction of egress travel. Sign placement shall be such that no point in an exit corridor or passageway is more than 100 feet from the nearest visible sign.
 - Signs are not required in rooms or areas that only require one exit.

Section 1014: Exit Access

- Common path of egress travel shall not exceed 100 feet for B occupancy with sprinklers per 903.3.1.1.
- Common path of egress travel for A occupancies shall comply with 1028.8.
- Common path of egress travel for S-2 shall not be limited.

Section 1015: Exit and Exit Access Doorways

- Two exits shall be provided where:
 - Occupant load exceeds 49 for A and B occupancies and 29 for S occupancies.
 - Common path of egress travel exceeds 1014.
 - Where required by 1015.3, 1015.4, 1015.5, 1015.6, or 1015.6.1.

Section 1016: Exit Access Travel Distance

- Travel distances shall not exceed values in Table 1016.1:

OCCUPANCY	SPRINKLED
A	250 FEET
B	300 FEET
S-1	400 FEET

Section 1022: Exit Enclosures

- Means of egress stairs required by 410.5.3 and 1015.6.1 are not required to be enclosed.

Section 1026: Exterior Exit Ramps and Stairways

- For occupancies in other than Group I-2, exterior exit stairways shall be permitted as an element of a required means of egress for buildings not exceeding four stories above grade plane of having occupied floors more than 75 feet above lowest level of fire department access.
- Stairs shall not be less than 50 percent open on one side and arranged to restrict the accumulation of smoke.
- Exterior stairs shall be separated from the interior of the building as required by 1022.1.

Section 1027: Exit Discharge

- Exits shall discharge directly to the exterior of the building.

LIFE SAFETY - FINISH RATINGS:

Chapter 8: Interior Finishes

Section 803: Wall and Ceiling Finishes









- Class A: Flame spread 0-25; smoke developed 0-450.
- Class B: Flame spread 26-75; smoke developed 0-450.
- Class C: Flame spread 76-200; smoke developed 0-450.

OCCUPANCY	EXITS - SPRINKLED	CORRIDOORS - SPRINKLED	ROOMS - SPRINKLED
R-2	B	B	C
A-3	B	B	C
B	B	C	C
S	C	C	C

Section 804: Interior Floor Finish

- Class I materials: 0.45 watts/cm2 or greater
- Class II materials: 0.22 watts/cm2 or greater
- Where sprinkled per 903.3.1.1, Class II materials are permitted anywhere Class I materials are required.

LIFE SAFETY PLAN LEGEND:

	SPRINKLER	WALL OR CEILING MOUNTED BY SEPARATE SUB-CONTRACTOR
	HORN / STROBE	WALL MOUNTED FIRE ALARM COMBINATION AUDIBLE/VISUAL SIGNALING NIT. HORN/FLASHING "FIRE" LIGHT MIN. 75CD. MOUNTED AT 80" A.F.F.
	SMOKE DETECTOR	CEILING MOUNTED SMOKE / CARBON DIOXIDE DETECTOR. WIRED AND CIRCUITED.
	EXIT SIGN	INTERIOR RECESSED EDGE LIT LED EXIT SIGN. DIRECTION AS SHOWN ON PLAN. WIRED & CIRCUITED TO UPS SYSTEM. BASIS OF DESIGN: CURVA-CRV-HT-LR-1/2-M-AL
	FIRE EXTINGUISHER	INTERIOR MULTI-PURPOSE CLASS K CHEMICAL FIRE EXTINGUISHER, INSTALLED ON WALL BRACKET. LOCATE 48" A.F.F. TO TOP OF EXTINGUISHER. REFER TO SPECIFICATIONS.
	FIRE EXTINGUISHER	INTERIOR MULTI-PURPOSE CLASS A, B, AND C CHEMICAL FIRE EXTINGUISHER, INSTALLED ION WALL BRACKET. LOCATE 48" AFF TO TOP OF EXTINGUISHER. REFER TO SPECIFICATIONS.
		EXIT ACCESS TRAVEL DISTANCES (FBC 1016)
	SHAFT ENCLOSURE (FBC 708)	1 HOUR FIRE BARRIER.

OCCUPANCY LEGEND:

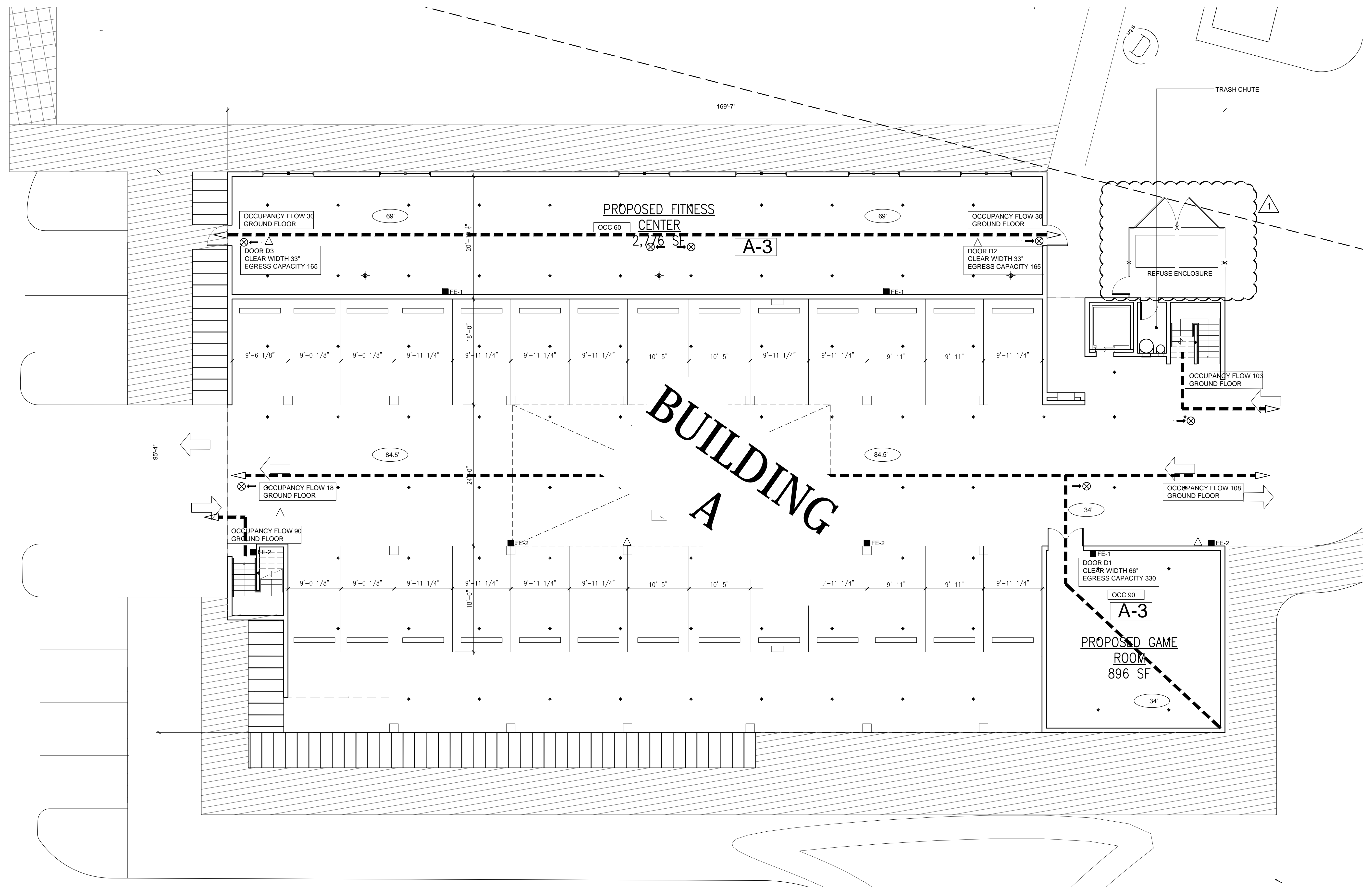
A-3	ASSEMBLY - FITNESS 50/SF GROSS GAMING 11/SF GROSS
B-1	BUSINESS AREA - 100 GROSS
A-2	APARTMENT RESIDENTIAL - 200 GROSS
S-1	GARAGE -300 SF GROSS GENERAL STORAGE -300 SF

LIFE SAFETY - OCCUPANCY CALCULATIONS

BUILDING A	
GROUND FLOOR	
S-1 / GARAGE 10738 SF / 300 = 36 OCCUPANCY	
A-3 / FITNESS 2983 SF / 50 = 60 OCCUPANCY	
A-3 / GAME ROOM 986 SF / 11 = 90 OCCUPANCY	
FIRST FLOOR	
R-2 / RESIDENTIAL APARTMENT 11085 SF / 200 = 56 OCCUPANCY	
S-1 / STORAGE 217 SF / 300 = 1 OCCUPANCY	
B-1/ ADMINISTRATIVE 1209 SF / 100 = 12 OCCUPANCY	
SECOND FLOOR	
R-2 / RESIDENTIAL APARTMENT 12204 SF / 200 = 61 OCCUPANCY	
THIRD FLOOR	
R-2 / RESIDENTIAL APARTMENT 12204 SF / 200 = 61 OCCUPANCY	
TOTAL BUILDING A OCCUPANCY	
GROUND FLOOR	14707 SF = 186 PERSONS
FIRST FLOOR	12511 SF = 69 PERSONS
SECOND FLOOR	12204 SF = 61 PERSONS
THIRD FLOOR	12204 SF = 61 PERSONS
BUILDING TOTAL OCCUPANCY:	50200 SF = 377 PERSONS
BUILDING B	
GROUND FLOOR	
S-1 / GARAGE 14131 SF / 300 = 48 OCCUPANCY	
S-1/ STORAGE 3635 SF / 300 = 12 OCCUPANCY	
FIRST FLOOR	
R-2 / RESIDENTIAL APARTMENT 15288 SF / 200 = 76 OCCUPANCY	
SECOND FLOOR	
R-2 / RESIDENTIAL APARTMENT 15268 SF / 200 = 76 OCCUPANCY	
THIRD FLOOR	
R-2 / RESIDENTIAL APARTMENT 15268 SF / 200 = 76 OCCUPANCY	
TOTAL BUILDING B OCCUPANCY	
GROUND FLOOR	17766 SF = 60 PERSONS
FIRST FLOOR	15268 SF = 76 PERSONS
SECOND FLOOR	15268 SF = 76 PERSONS
THIRD FLOOR	15268 SF = 76 PERSONS
BUILDING TOTAL OCCUPANCY:	63570 SF = 288 PERSONS

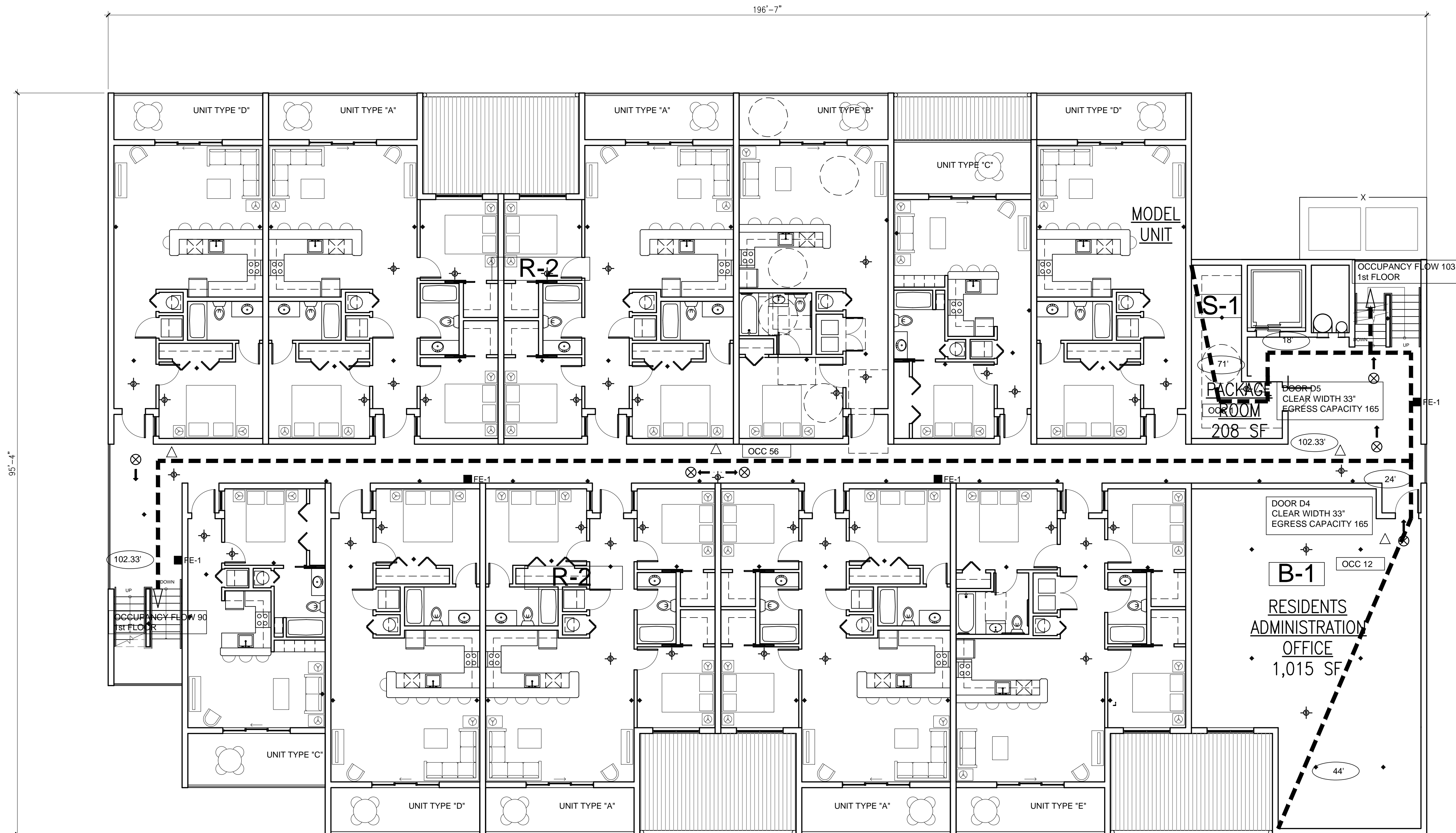
1 LIFE SAFETY LEGENDS AND NOTES

SCALE: NONE



1 BUILDING "A" GROUND FLOOR LIFE SAFETY PLAN - PARKING LEVEL
 SCALE: 1/8"=1'-0"





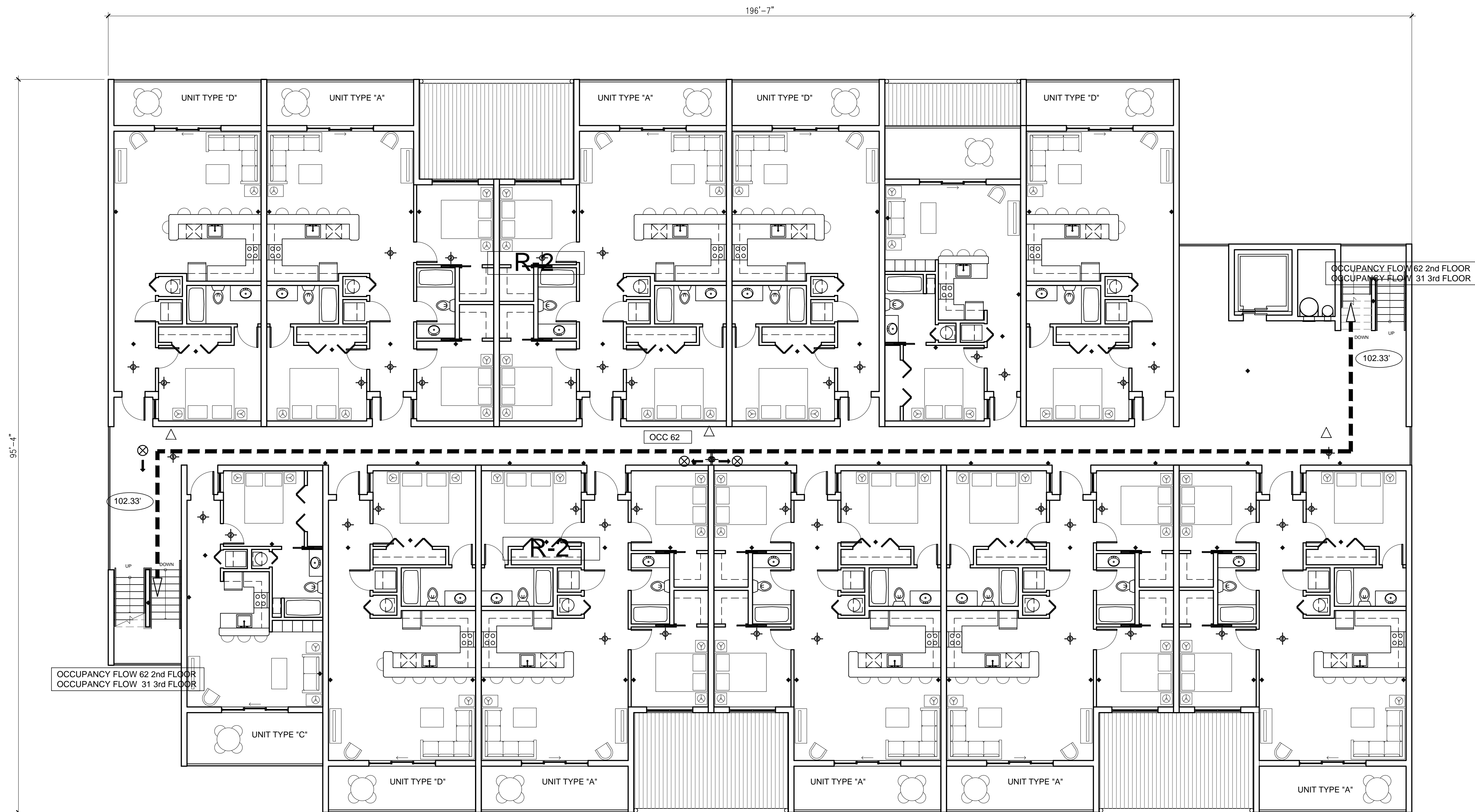
1 BUILDING "A" FIRST FLOOR LIFE SAFETY PLAN
SCALE: 1/8"=1'-0"



OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040 RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

ALS2.1.2 **K2M** DESIGN
REVISED DATE: JUNE 14, 2016



1 BUILDING "A" SECOND AND THIRD FLOOR LIFE SAFETY PLAN
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

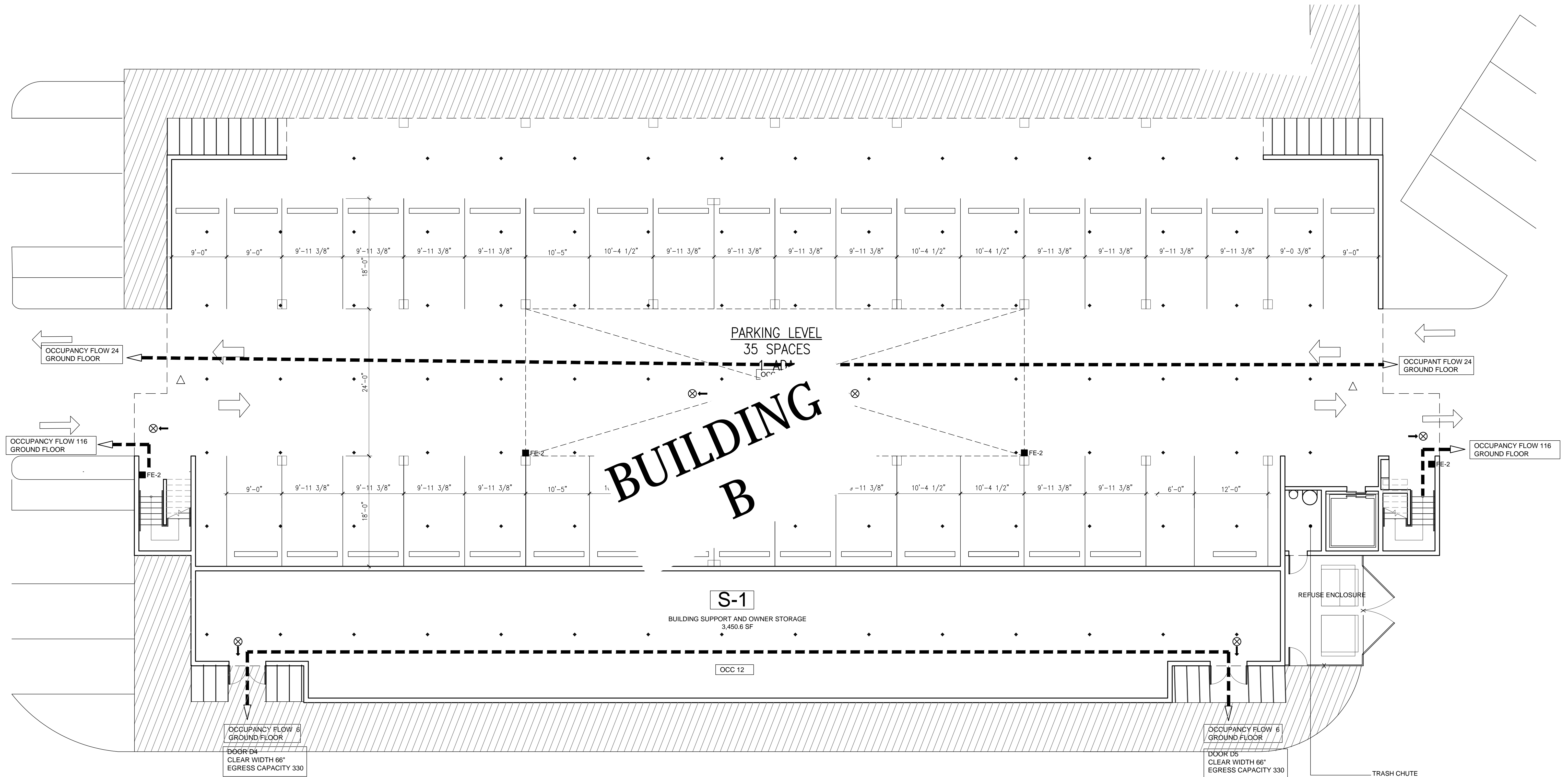


OCEAN WALK APARTMENTS

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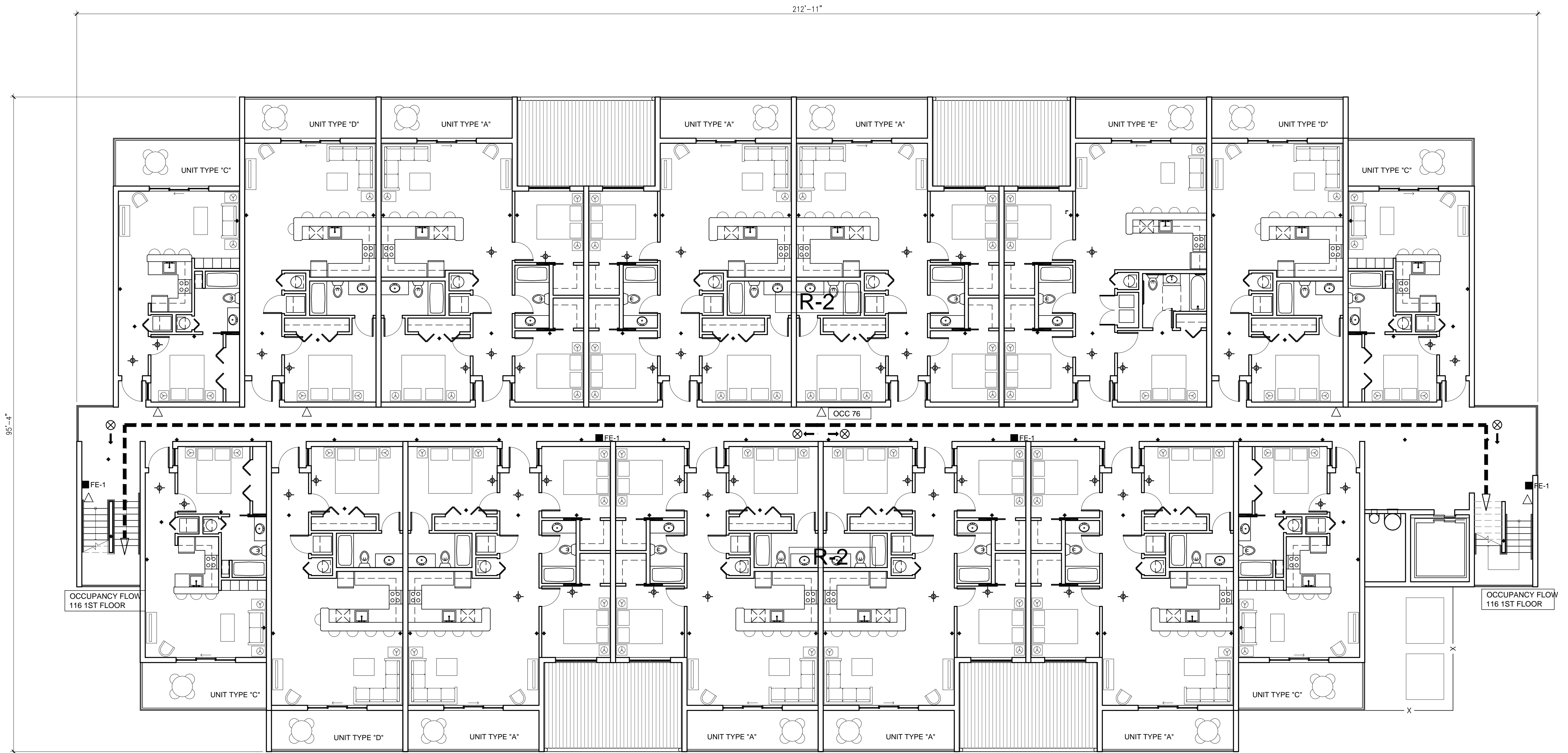
RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

ALS2.1.3 **K2M** DESIGN
REVISED DATE: JUNE 14, 2016

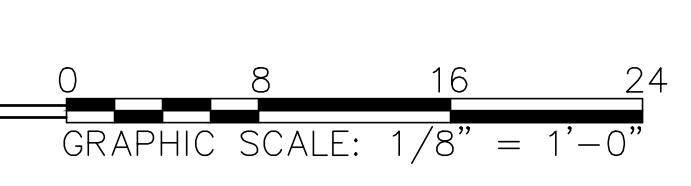


1 BUILDING "B" GROUND FLOOR LIFE SAFETY PLAN - PARKING LEVEL
SCALE: 1/8"=1'-0"





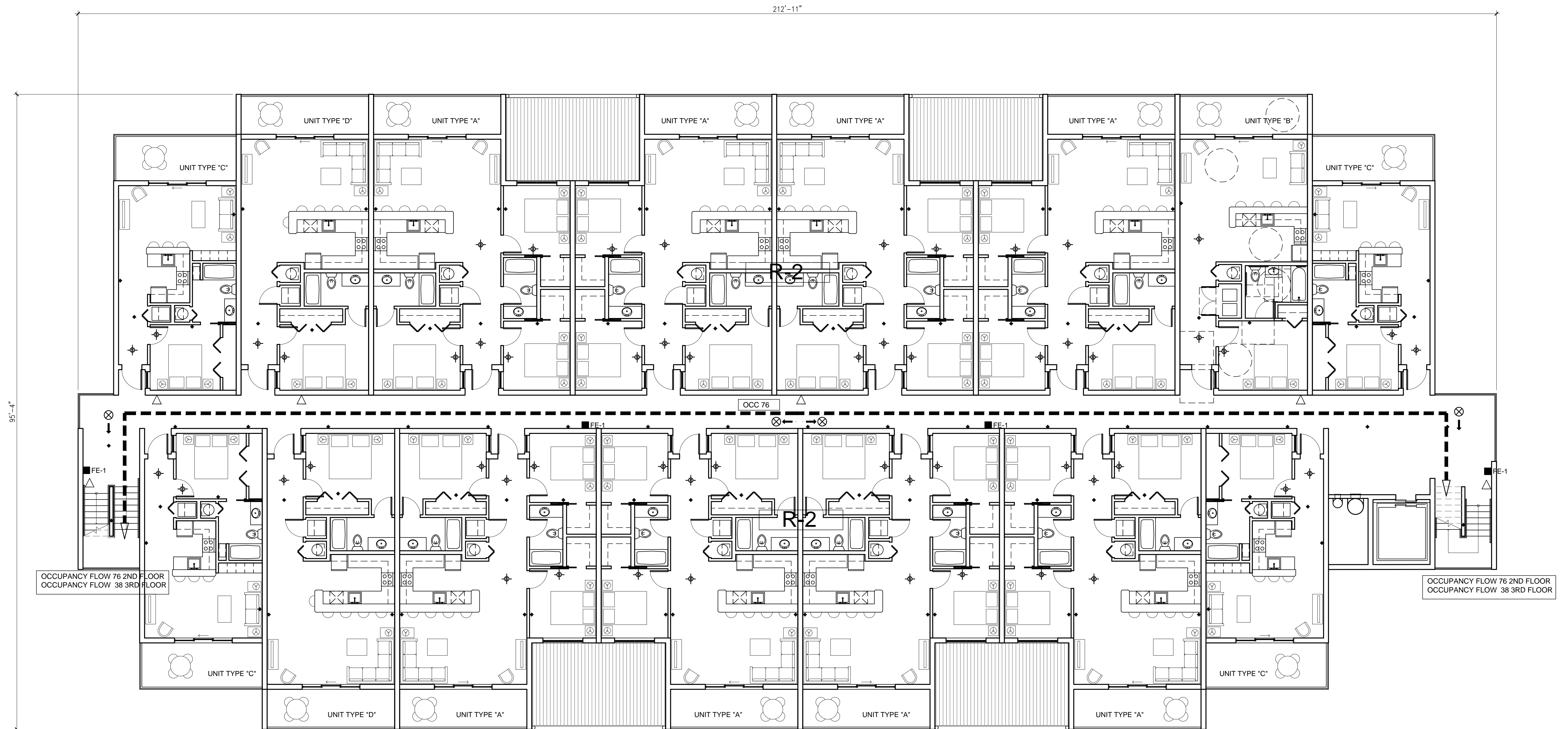
1 BUILDING "B" FIRST FLOOR LIFE SAFETY PLAN
SCALE: 1/8"=1'-0"



OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040 RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

ALS2.1.5 **K2M** DESIGN
REVISED DATE: JUNE 14, 2016



1 BUILDING "B" SECOND AND THIRD FLOOR LIFE SAFETY PLAN
SCALE: 1/8"=1'-0"

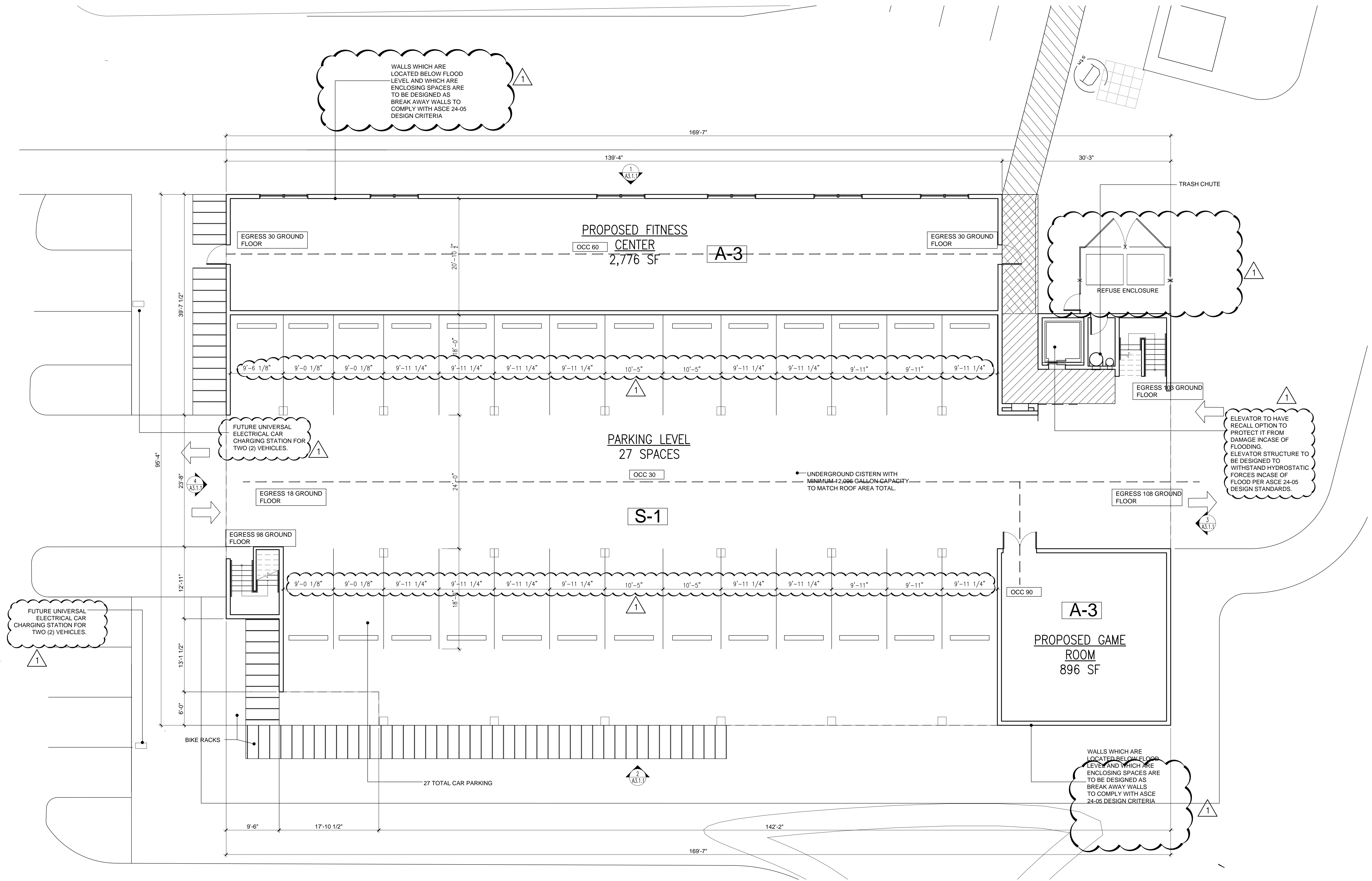


OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040

RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

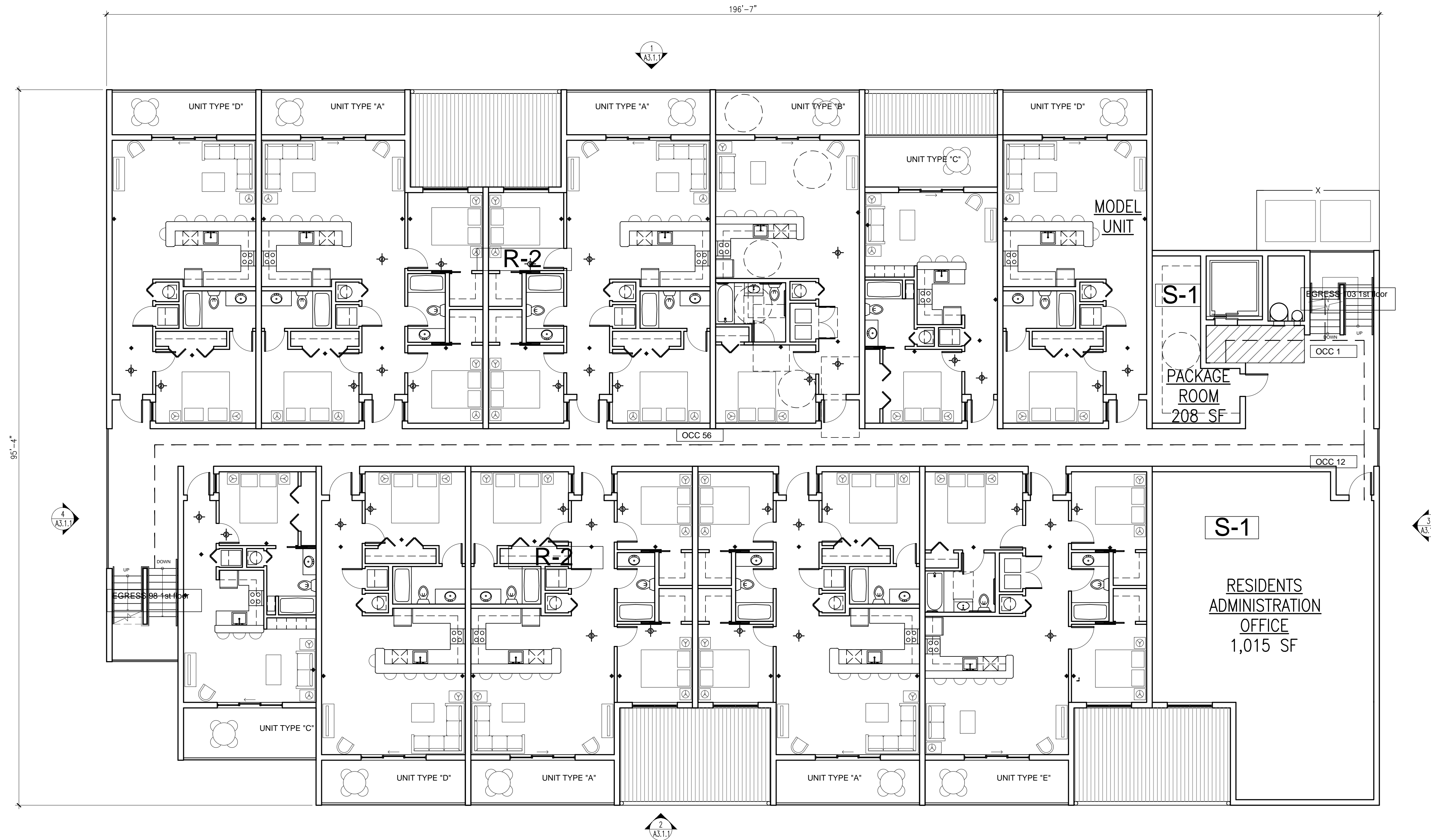
ALS2.1.6 **K2M** DESIGN
REVISED DATE: JUNE 14, 2016



1 BUILDING "A" GROUND FLOOR PLAN - PARKING LEVEL
 SCALE: 1/8" = 1'-0"



BUILDING "A" UNIT KEY			
TYPE	QUANTITY	DESCRIPTION	SQUARE FOOTAGE
A	16	3 BEDROOM 2 BATH UNIT	1,015 SF
B	1	ADA 1 BEDROOM 1 BATH UNIT	699 SF
C	6	1 BEDROOM 1 BATH UNIT	524 SF
D	11	1 BEDROOM 1 BATH UNIT	699 SF
E	1	ADA 3 BEDROOM 2 BATH UNIT	1,015 SF
TOTAL	35 UNITS		



1 BUILDING "A" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



OCEAN WALK APARTMENTS

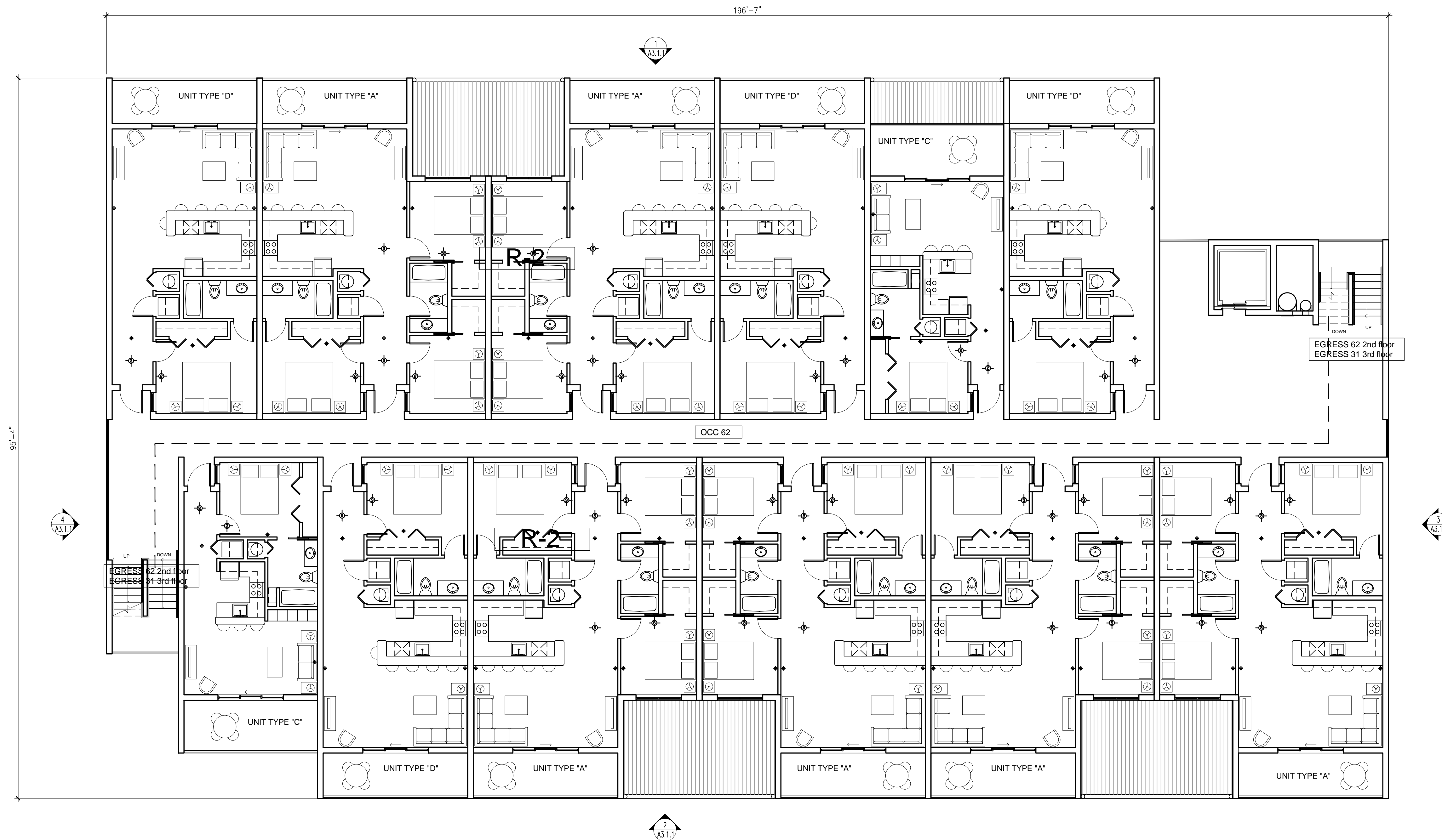
3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040 RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A2.1.2

REVISED DATE: JUNE 14, 2016



BUILDING "A" UNIT KEY			
TYPE	QUANTITY	DESCRIPTION	SQUARE FOOTAGE
A	16	3 BEDROOM 2 BATH UNIT	1,015 SF
B	1	ADA 1 BEDROOM 1 BATH UNIT	699 SF
C	6	1 BEDROOM 1 BATH UNIT	524 SF
D	11	1 BEDROOM 1 BATH UNIT	699 SF
E	1	ADA 3 BEDROOM 2 BATH UNIT	1,015 SF
TOTAL	35 UNITS		



1 BUILDING "A" SECOND AND THIRD FLOOR PLANS
SCALE: 1/8"=1'-0"



OCEAN WALK APARTMENTS

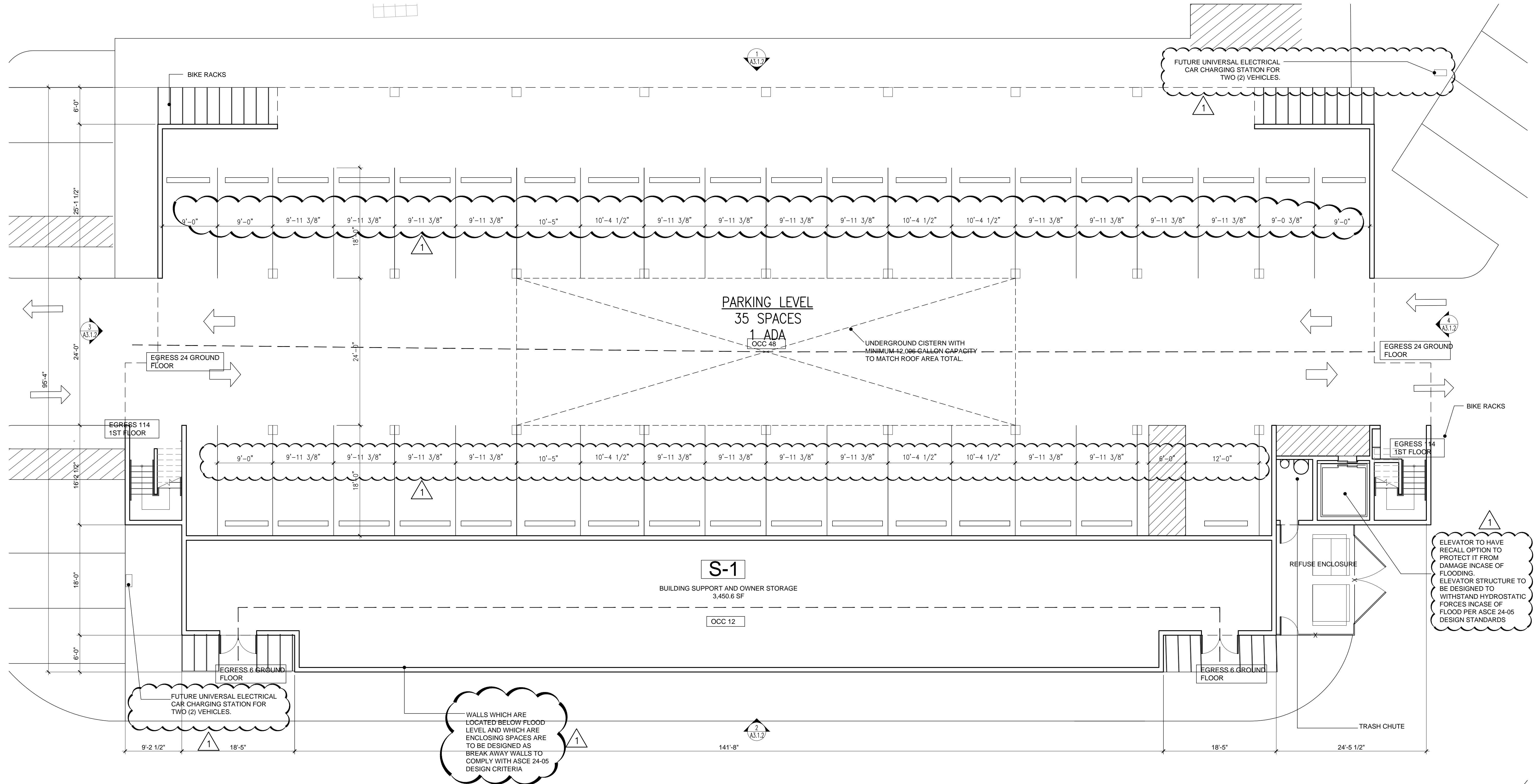
3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040

RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A2.1.3

REVISED DATE: JUNE 14, 2016





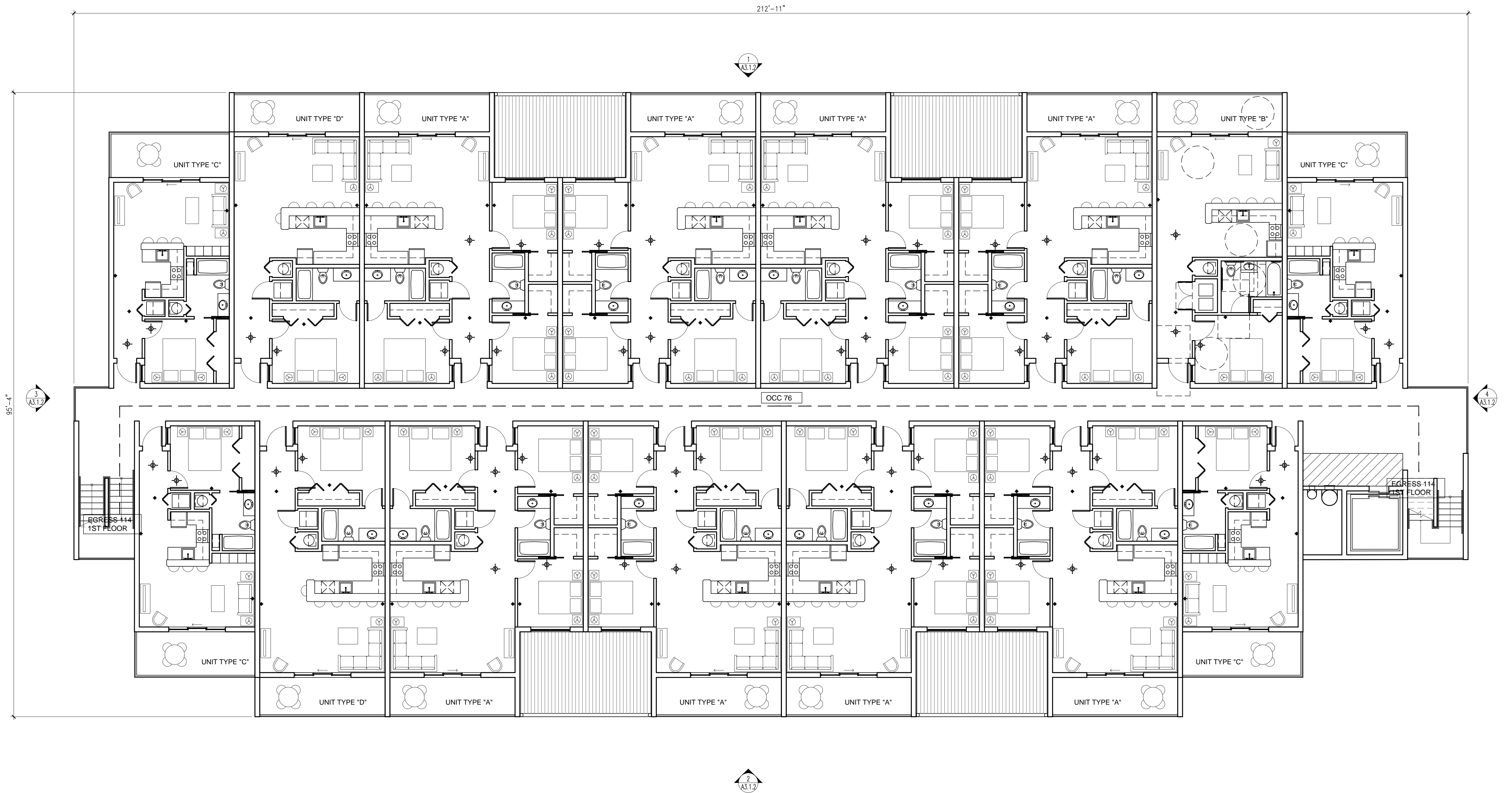
1 BUILDING "B" GROUND FLOOR PLAN - PARKING LEVEL
SCALE: 1/8"=1'-0"



ELEVATOR TO HAVE RECALL OPTION TO PROTECT IT FROM DAMAGE IN CASE OF FLOODING. ELEVATOR STRUCTURE TO BE DESIGNED TO WITHSTAND HYDROSTATIC FORCES IN CASE OF FLOOD PER ASCE 24-05 DESIGN STANDARDS



BUILDING "B" UNIT KEY			
TYPE	QUANTITY	DESCRIPTION	SQUARE FOOTAGE
A	23	3 BEDROOM 2 BATH UNIT	1,015 SF
B	2	ADA 1 BEDROOM 1 BATH UNIT	699 SF
C	12	1 BEDROOM 1 BATH UNIT	524 SF
D	7	1 BEDROOM 1 BATH UNIT	699 SF
E	1	ADA 3 BEDROOM 2 BATH UNIT	1,015 SF
TOTAL	45 UNITS		



1 BUILDING "B" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"



OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040

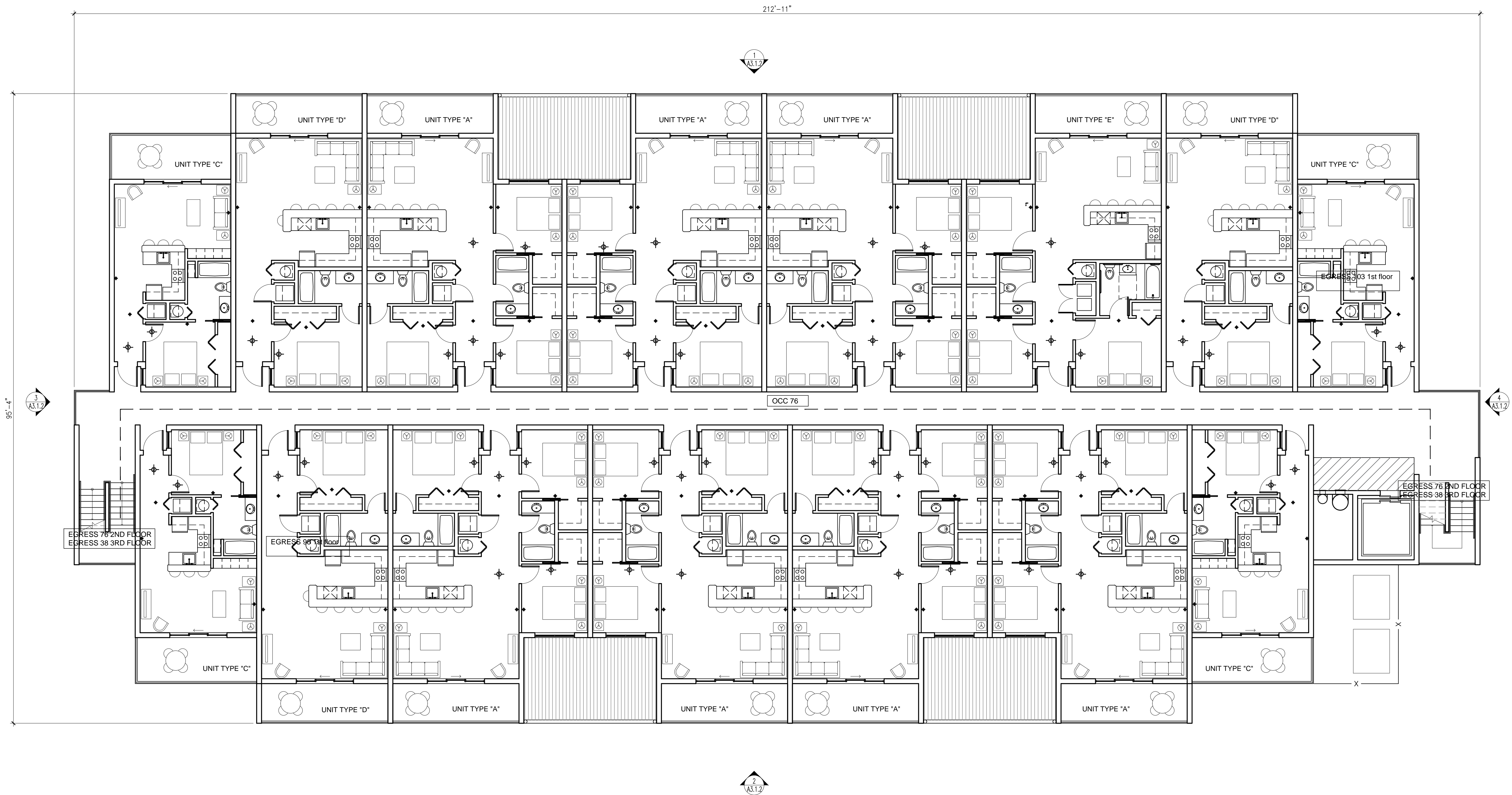
RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A2.1.5

REVISED DATE: JUNE 14, 2016



BUILDING "B" UNIT KEY			
TYPE	QUANTITY	DESCRIPTION	SQUARE FOOTAGE
A	23	3 BEDROOM 2 BATH UNIT	1,015 SF
B	2	ADA 1 BEDROOM 1 BATH UNIT	699 SF
C	12	1 BEDROOM 1 BATH UNIT	524 SF
D	7	1 BEDROOM 1 BATH UNIT	699 SF
E	1	ADA 3 BEDROOM 2 BATH UNIT	1,015 SF
TOTAL			45 UNITS



1 BUILDING "B" SECOND AND THIRD FLOOR PLANS
SCALE: 1/8"=1'-0"



OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040

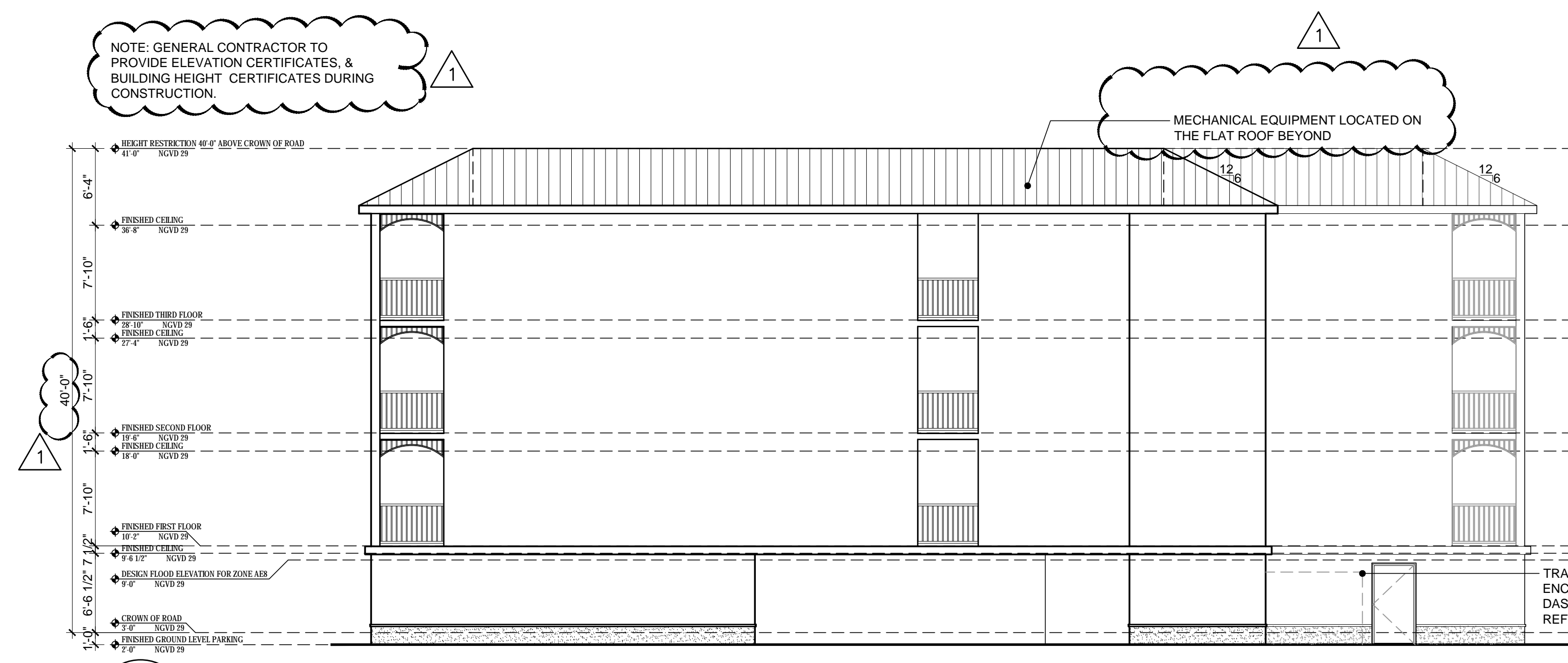
RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A2.1.6

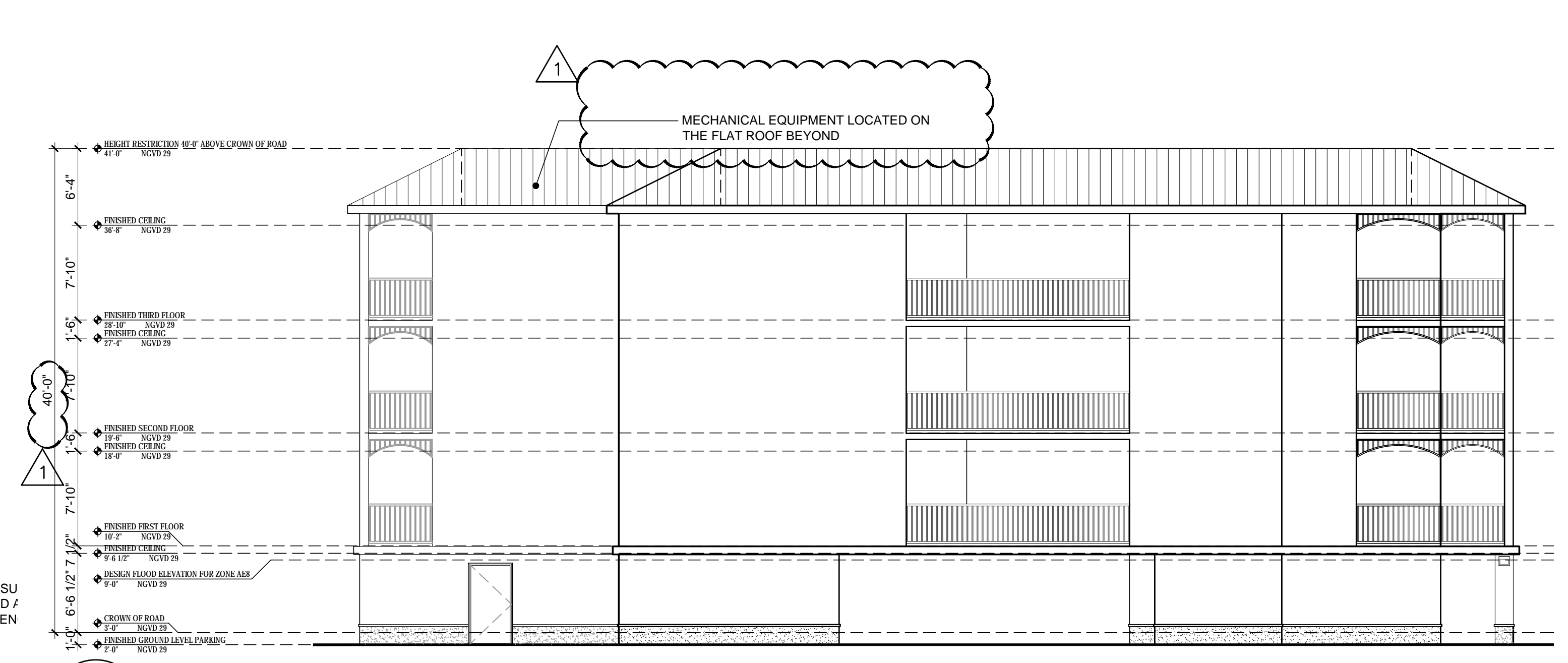
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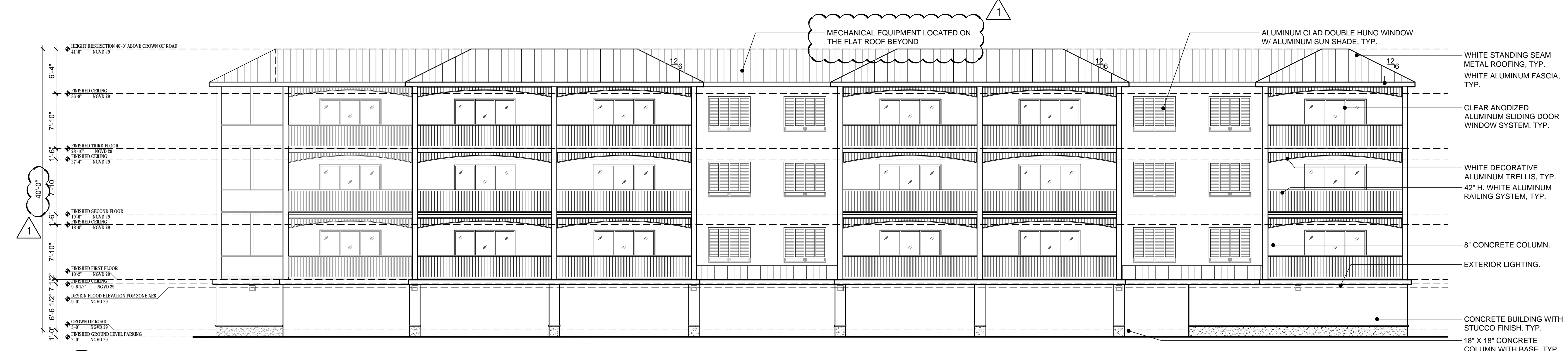
NOTE: GENERAL CONTRACTOR TO PROVIDE ELEVATION CERTIFICATES, & BUILDING HEIGHT CERTIFICATES DURING CONSTRUCTION.



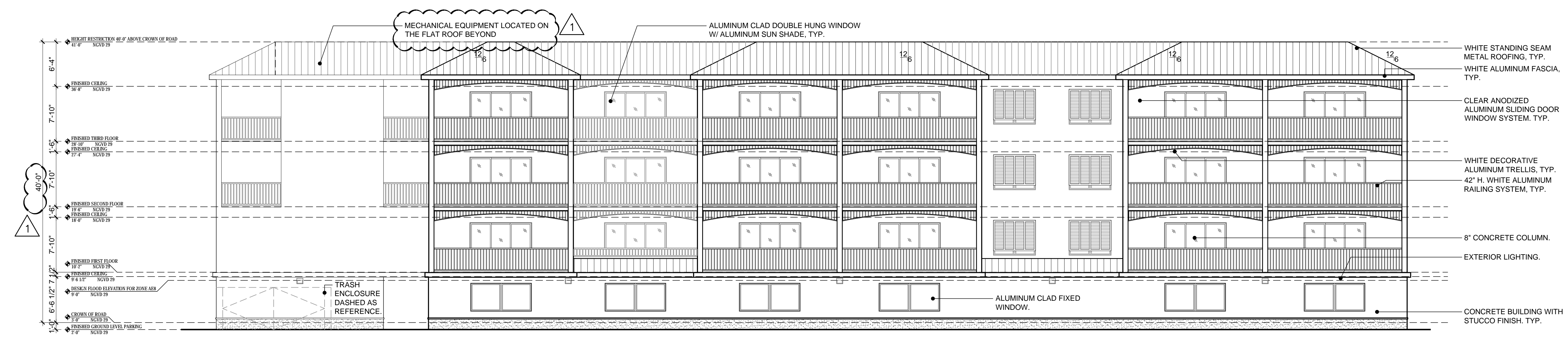
3 BUILDING "A" EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



4 BUILDING "A" WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING "A" SOUTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



1 BUILDING "A" NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



OCEAN WALK APARTMENTS

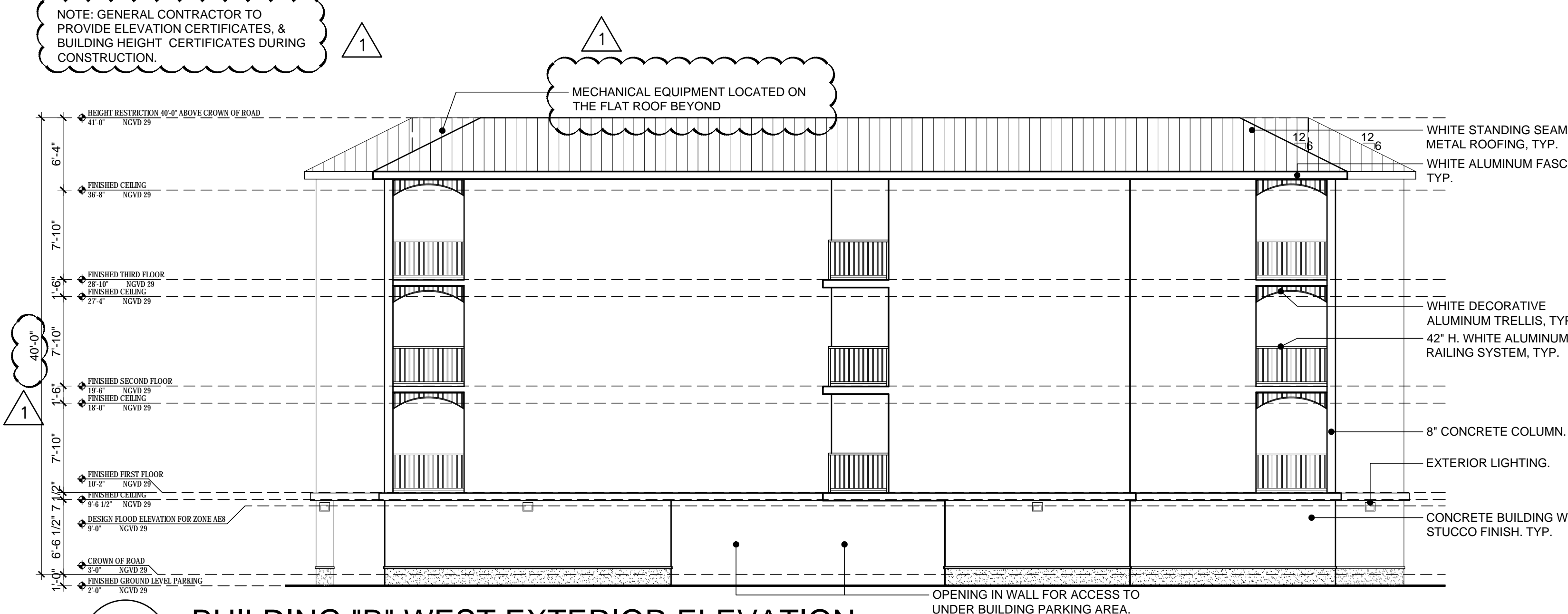
3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040 RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A3.1.1

REVISED DATE: JUNE 14, 2016

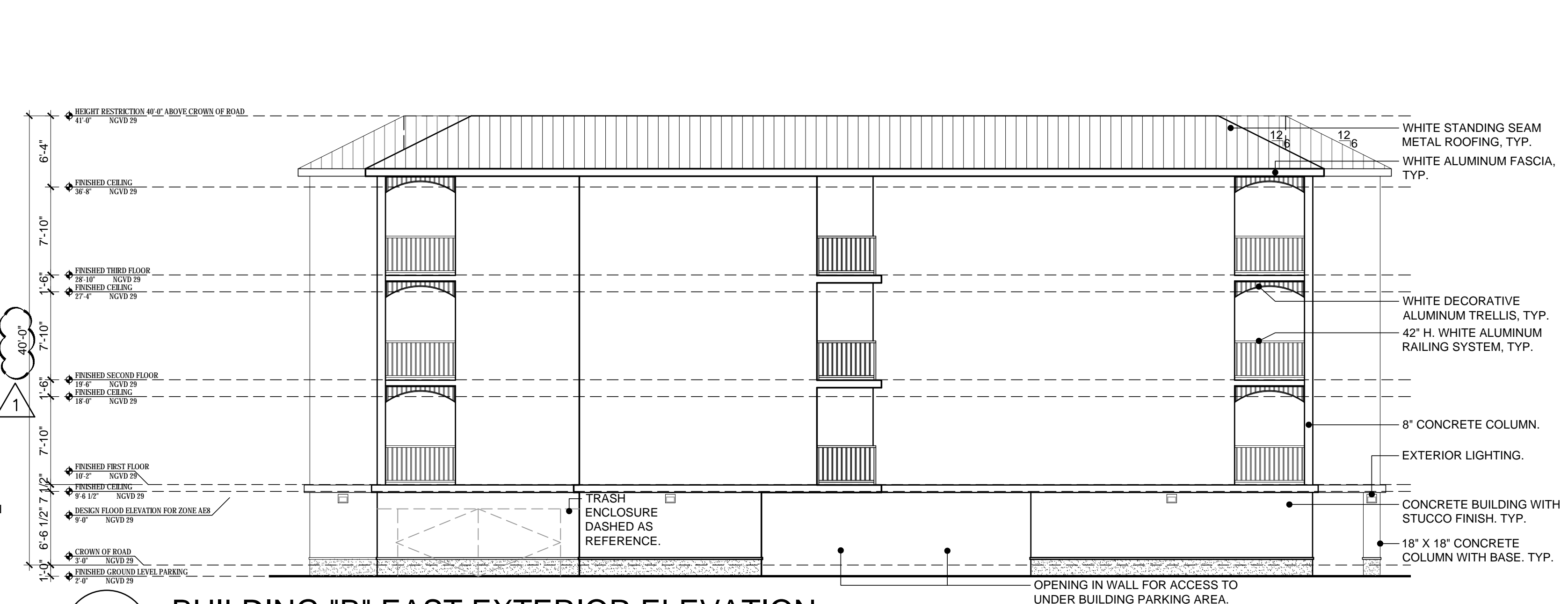


NOTE: GENERAL CONTRACTOR TO PROVIDE ELEVATION CERTIFICATES, & BUILDING HEIGHT CERTIFICATES DURING CONSTRUCTION.



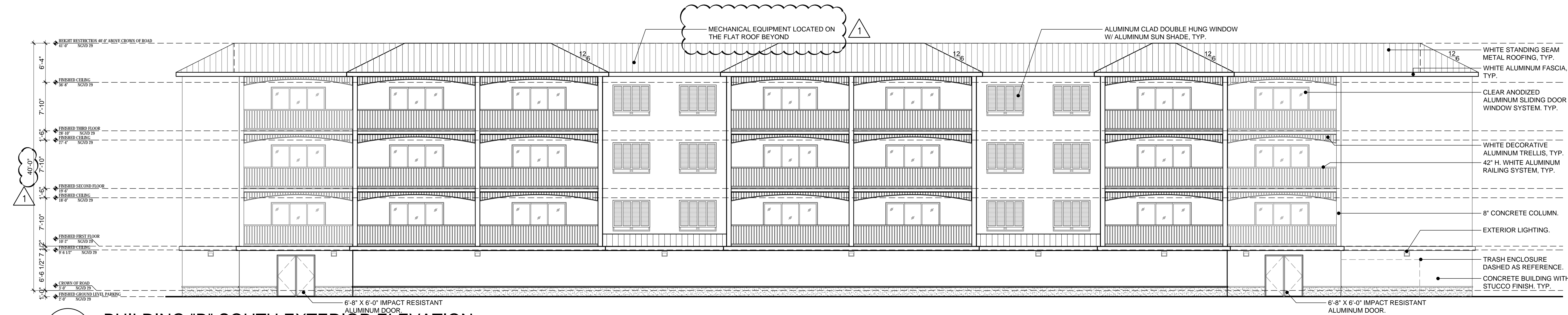
3 BUILDING "B" WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"



4 BUILDING "B" EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"



2 BUILDING "B" SOUTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"



1 BUILDING "B" NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"

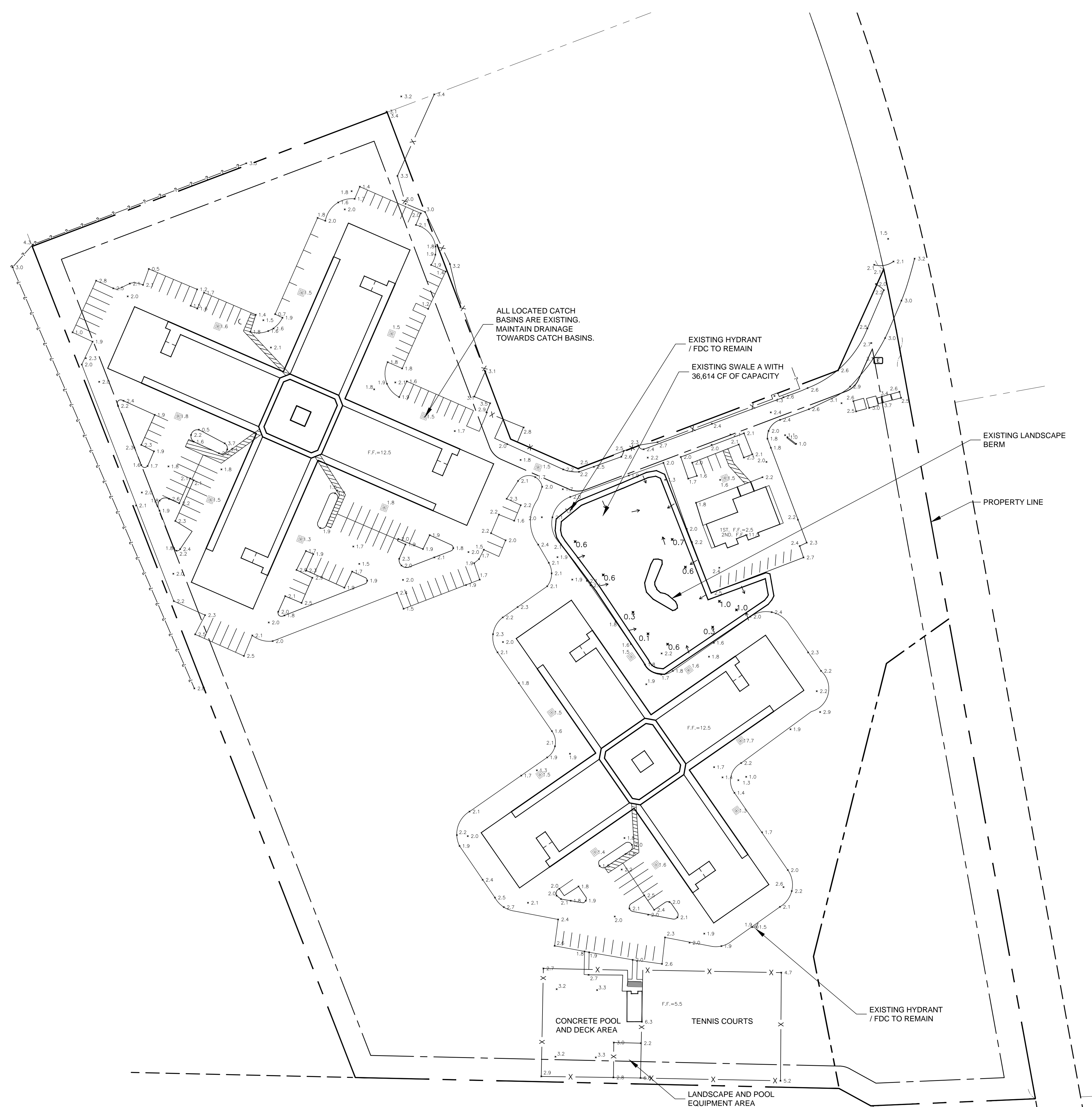
OCEAN WALK APARTMENTS

3900 SOUTH ROOSEVELT BOULEVARD, KEY WEST, FL 33040 RESIDENTIAL NEW CONSTRUCTION-DEVELOPMENT AGREEMENT

A3.1.2



REVISED DATE: JUNE 14, 2016



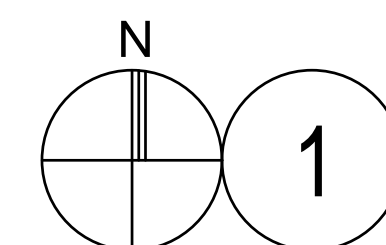
LEGEND

- * 2.4 SPOT ELEVATIONS PER SURVEY PROVIDED BY OWNER
- * 0.6 ASSUMED SPOT ELEVATIONS PER FIELD CONDITIONS

Existing Swale Calculation

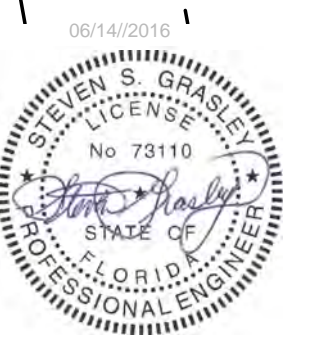
	Top Area (Average FT)	Bot Area (Average FT)	Depth (FT)	Volume (CF)
Swale A	26,968	21,852	1.5	36,615
Total				36,615

NOTE:
ALL EXISTING DRAINAGE AREAS ARE ASSUMED
AND BASED OFF OF SITE VISITS, PHOTOGRAPHS,
SURVEYS, AND AERIAL DATABASES.



EXISTING GRADING & DRAINAGE PLAN

SCALE: 1/60" = 1'-0"



Drainage Calculations

Water Quantity - Existing Site PRE DEVELOPMENT

Total Project Area	=	17.110	ac	acres X 43560 =	sf
Pervious Area	=	9.485	ac		
Impervious Area	=	7.625	ac		
% Impervious	=	44.5%			
Rainfall for 25yr/24hr event	=	9	in		
Rainfall for 25yr/3day event, P	=	12.23	in		
Depth to Water Table	=	1	ft		
Pre-developed Soil Storage Capability, SC	=	0.45	in	see table	
Soil Storage, S = (SC) (1-% Impervious)	=	0.25	in		
$Q_{pre} = \frac{(P - 0.2S)^2}{(P + 0.8S)}$	=	11.94	in		

Water Quantity - Proposed Site POST DEVELOPMENT

Total Project Area	=	17.110	ac		
Pervious Area (ACRES)	=	8.588	ac		
Impervious Area (ACRES)	=	8.522	ac		
% Impervious	=	49.8%			
Rainfall for 25yr/24hr event	=	9	in		
Rainfall for 25yr/3day event, P	=	12.23	in		
Depth to Water Table	=	1	ft		
Post-development Soil Storage Capability, SC	=	0.45	in	see table	
Soil Storage, S = (SC) (1-% Impervious Area)	=	0.23	in		
$Q_{post} = \frac{(P - 0.2S)^2}{(P + 0.8S)}$	=	11.96	in		

Post Development - Pre Development for Water Quantity Requirement

Qpost runoff - Qpre runoff	=	0.03	in
Volume = (Q runoff) (Total Area - Surface Water)	=	0.47	ac-in

Water Quality Calculation - Treatment Volume Requirement

Total Project Area	=	17.110	ac	745,312	sf
Surface Water + Pool Area	=	0.078	ac	3,383	sf
Roof Area	=	3.548	ac	154,554	sf
Pavement/Concrete/Walkways	=	4.886	ac	212,826	sf
Pervious area	=	8.588	ac	374,549	sf

Site Area for Water Quality = 13.484 ac 587,375 sf
(Total area - (water surface + pool + roof areas))

Impervious Area for Water Quality = 4.886 ac 212,826 sf
(Site area for Water Quality - Pervious area)

% Impervious for Water Quality = Impervious Area for Wtr Qual / Site Area for Wtr Qual = 36.2%

A) One inch of runoff from Total Upland Project = 17.11 ac-in

B) 2.5 inches times percent impervious
2.5" x % Impervious for Water Quality = 0.91 inches
(2.5")(% imperv)(Total Area - surface water) = 15.43 ac-in

Comparison 1" vs. 2.5" times % impervious: 15.43 < or > 17.11 ac-in

Comparison Water Quantity vs. Water Quality

Volume = (Q runoff) (Total Area - Surface Water) = 0.47 ac-in
Water Quality Treatment Volume = 17.11 ac-in

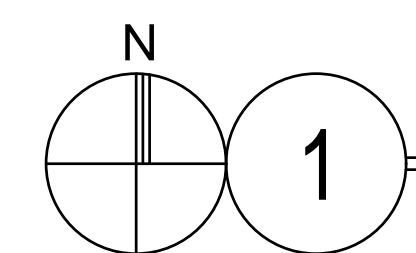
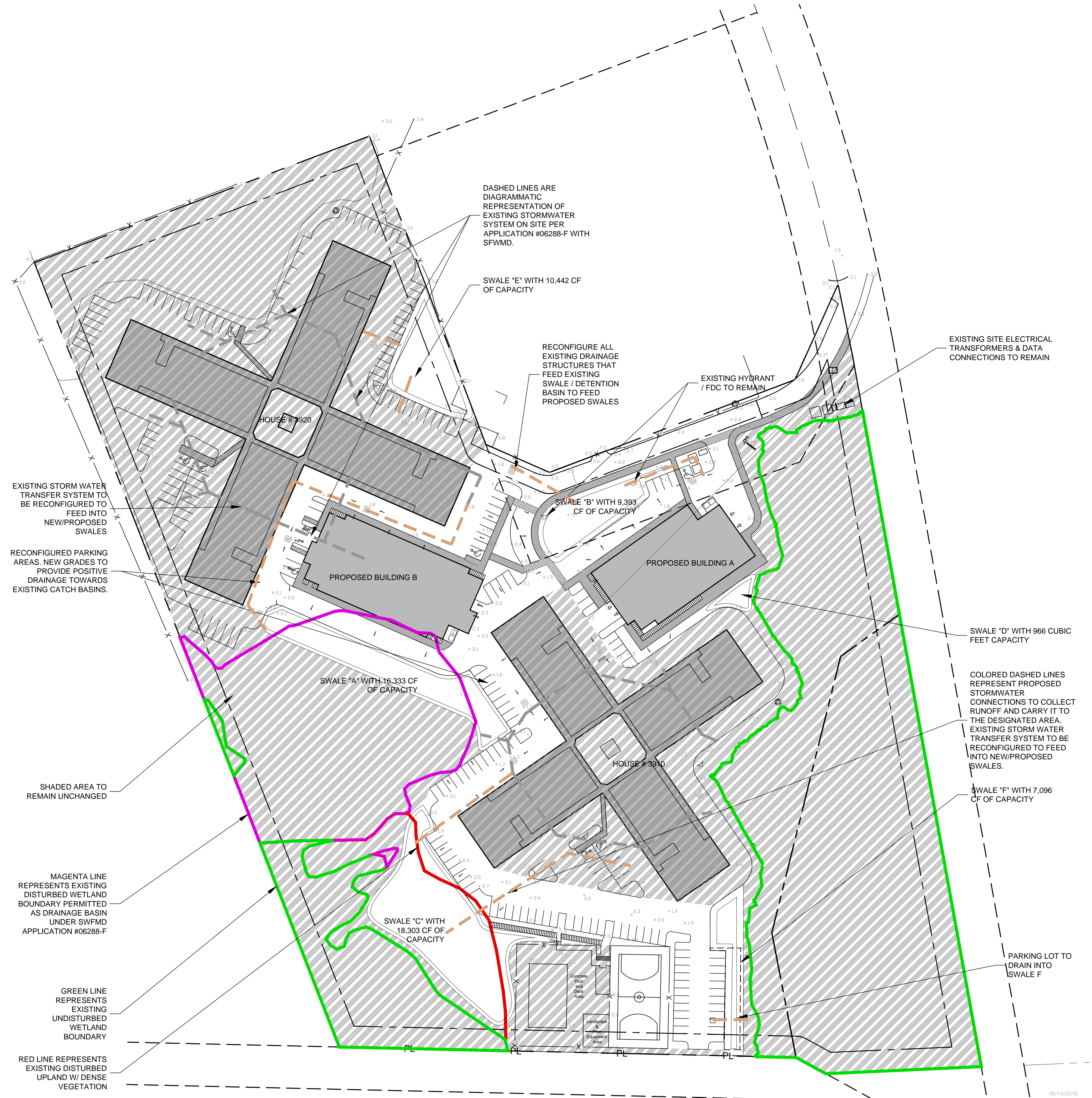
Comparison Water Quantity vs. Water Quality: 0.47 < or > 17.11

Summary POST - PRE Development Runoff, Water Quantity & Water Quality

(Total Area - surface water)(Qpost - Qpre) Volume = 0.47 ac-in
1" Project Water Quantity Treatment Volume = 17.110 ac-in
2.5" % Impervious Water Quality Treatment Volume = 15.429 ac-in

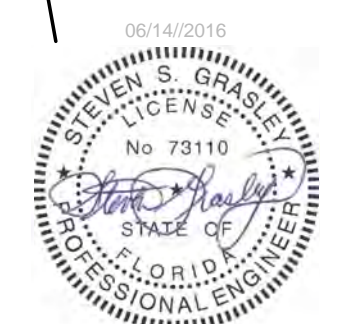
Depth to Water Table	Noncompacted Storage	Compacted Storage
1	0.6	0.45
2	2.5	1.88
3	6.6	4.95
4	10.9	8.18

STRUCTURE	TOP AREA	BOTTOM AREA	DEPTH	CAPACIT Y (CF)	CAPACIT Y (AC-FT)	CAPACIT Y (AC-IN)
Swale A	17736	14929	1	16,333		
Swale B	7511	5013	1.5	9,393		
Swale C	19799.2	16806.4	1	18,303		
Swale D	1272.97	659.9	1	966		
Swale E	8084.9	5837.8	1.5	10,442		
Swale F	5272.3	1823.98	2	7,096		
TOTAL				62,533	1.43	17.22

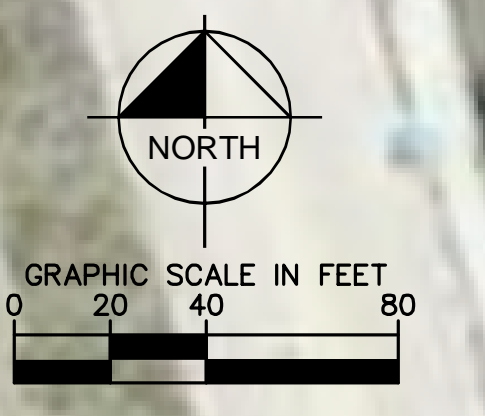


PROPOSED GRADING & DRAINAGE PLAN

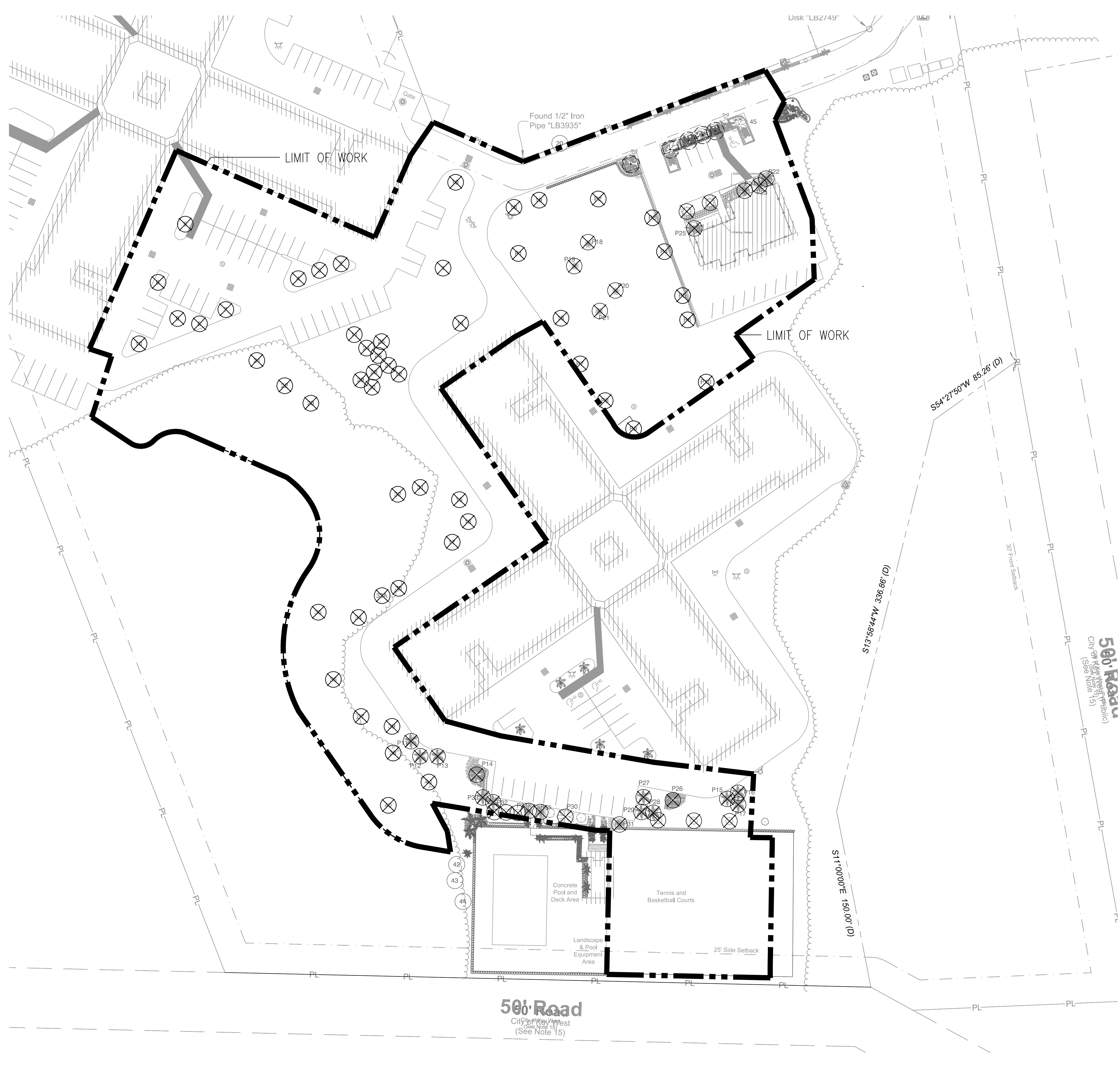
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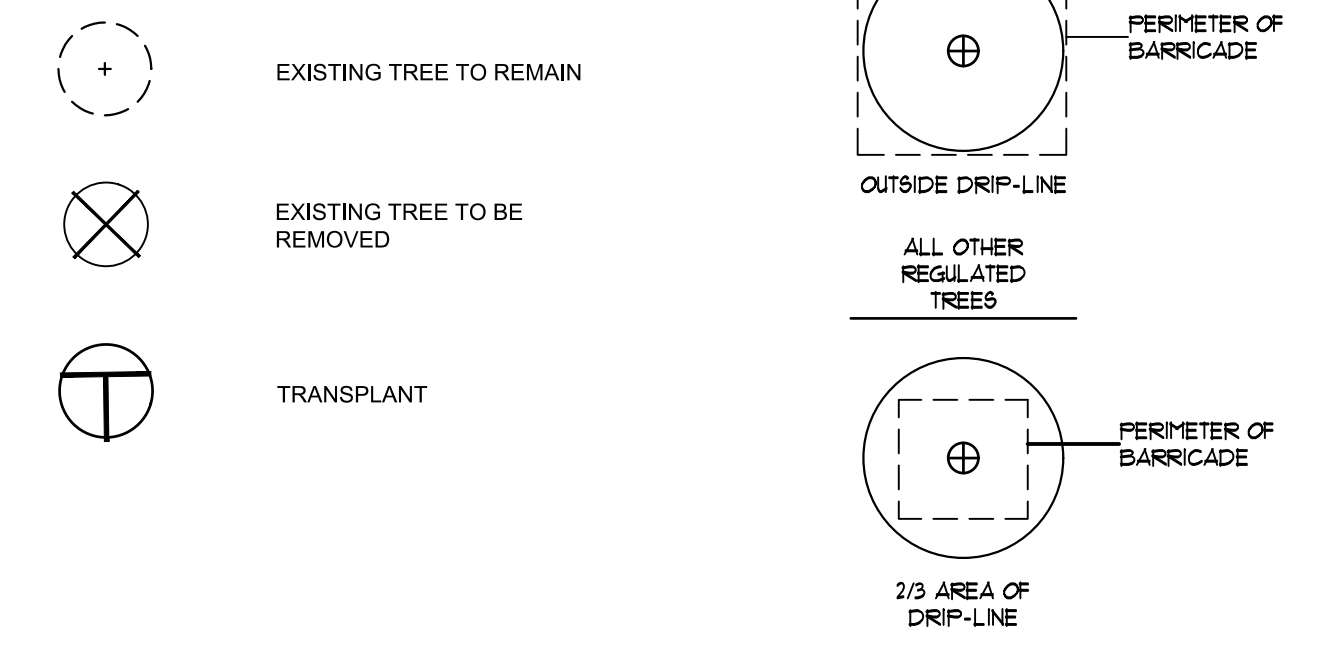
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LEGEND & SYMBOLS



TREE MITIGATION

Number	Botanical Name	Common Name	DBH (inches)	Condition
1	Pongamia pinnata	Pongam Tree	70	Good
2	Swietenia mahagoni	Mahogany	33	Poor
3	Swietenia mahagoni	Mahogany	43	Poor
4	Swietenia mahagoni	Mahogany	44	Poor
5	Conocarpus erectus	Buttonwood	47	Good
6	Swietenia mahagoni	Mahogany	38	Good
7	Swietenia mahagoni	Mahogany	67	Poor
8	Swietenia mahagoni	Mahogany	37	Good
9	Swietenia mahagoni	Mahogany	43	Good
10	Swietenia mahagoni	Mahogany	35	Poor
11	Cocos nucifera	Coconut Palm		
12	Cocos nucifera	Coconut Palm		
13	Cocos nucifera	Coconut Palm		
14	Cocos nucifera	Coconut Palm		
15	Pongamia pinnata	Pongam Tree	60	Good
16	Pongamia pinnata	Pongam Tree	38	Good
17	Pongamia pinnata	Pongam Tree	30	Good
18	Conocarpus erectus	Buttonwood	191	Good
19	Conocarpus erectus	Buttonwood	160	Good
20	Conocarpus erectus	Buttonwood	41	Poor
21	Conocarpus erectus	Buttonwood (Cluster)	214	Good
22	Drypetes diversifolia	Milk Bark Tree (Cluster)	21	Good
23	Ficus citrifolia	Shortleaf Fig	25	Poor
24	Metopium toxiferum	Poisonwood	14	Good
25	Conocarpus erectus	Buttonwood	32	Good
26	Erithalis fruticosa	Blacktorch	11	Good
27	Conocarpus erectus	Buttonwood (Cluster)	87	Poor
28	Cocos nucifera	Gumbo limbo	25	Good
29	Metopium toxiferum	Poisonwood	24	Good
30	Conocarpus erectus	Buttonwood	161	Good
31	Conocarpus erectus	Buttonwood	62	Good
32	Conocarpus erectus	Buttonwood	60	Good
33	Conocarpus erectus	Buttonwood	42	Poor
34	Conocarpus erectus	Buttonwood	65	Good
35	Conocarpus erectus	Buttonwood	38	Good
36	Conocarpus erectus	Buttonwood	62	Good
37	Conocarpus erectus	Buttonwood	68	Good
38	Conocarpus erectus	Buttonwood	14	Good
39	Capparis cynophallophora	Jamaican Caper	11	Good
40	Capparis cynophallophora	Jamaican Caper	14	Good
41	Capparis cynophallophora	Jamaican Caper	8	Good
42	Conocarpus erectus	Buttonwood	26	Good
43	Conocarpus erectus	Buttonwood	28	Good
44	Conocarpus erectus	Buttonwood	10	Good

Total "Poor" Inches Removed	417
Total "Good" Inches Removed	1682
Total Inches Provided	189

ALL INVASIVE SPECIES SHALL BE REMOVED FROM SITE

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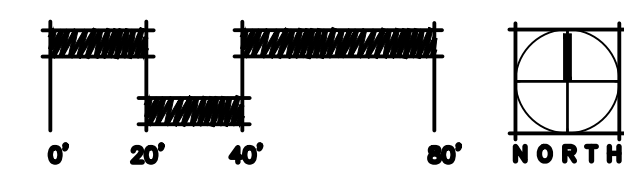
1615 Edgewater Drive, Suite 200, ORLANDO, FLORIDA 32804
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Leonard E. Arnold, Jr., P.E. 55241
Bruce C. Hall, P.L.A. LA0001367
Florida Firm Registration No. 28050

OCEAN WALK
KEY WEST, FL



DATE	REVISIONS
06.15.16	527116021

L0.01
DEMOLITION PLAN



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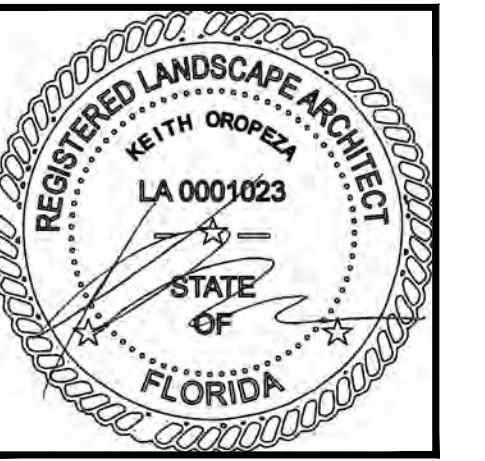
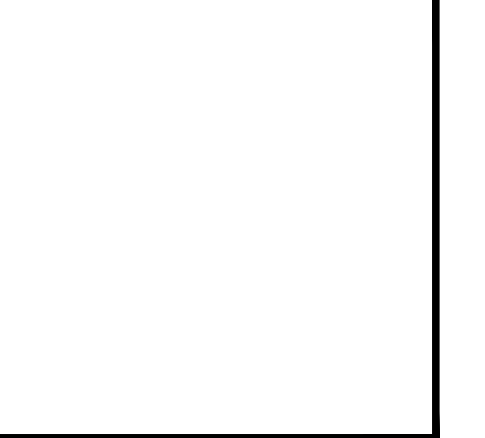
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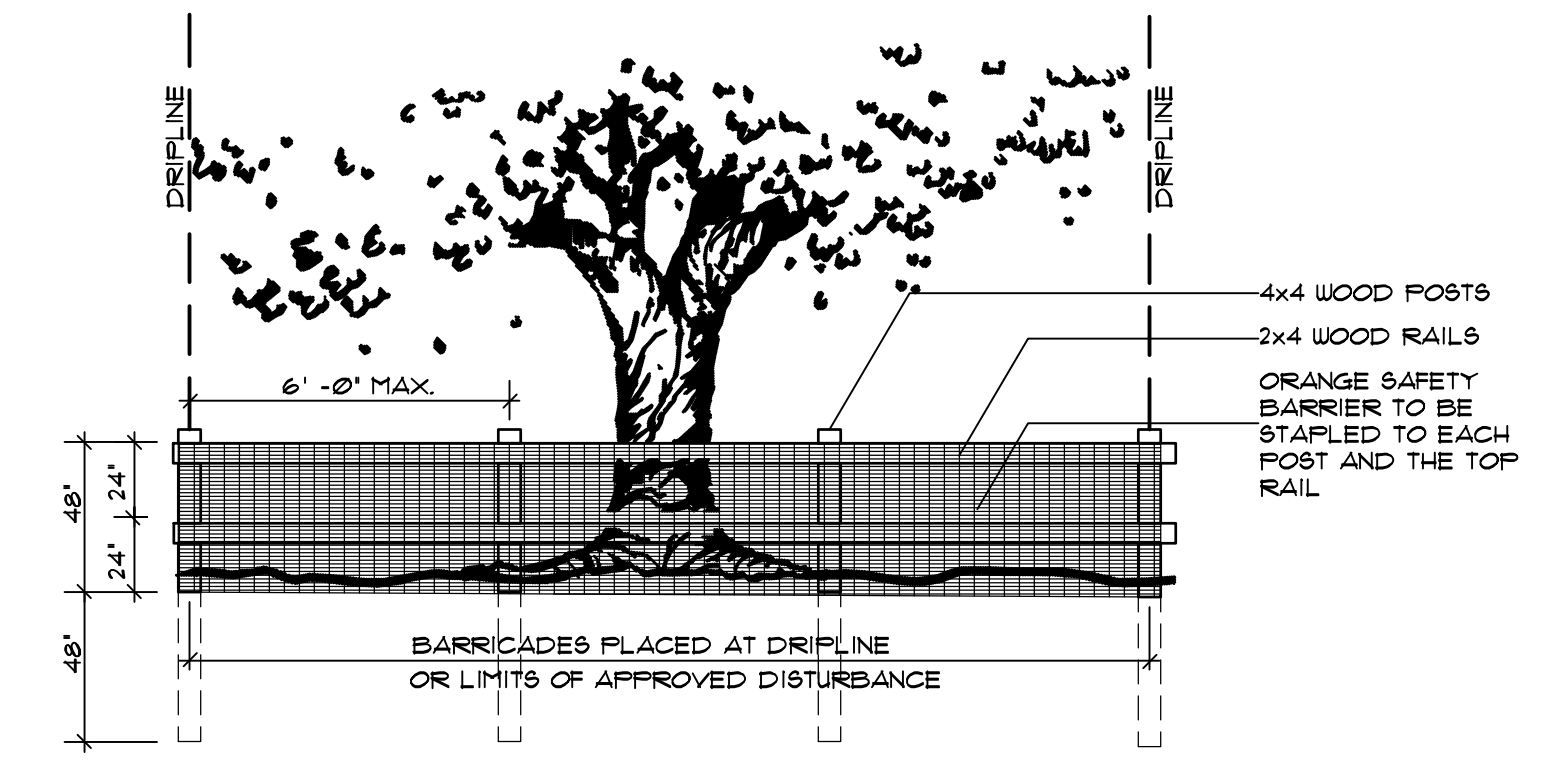
OCEAN WALK
 KEY WEST, FL



DATE	REVISIONS
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L0.02
 TREE PROTECTION
 DETAILS & NOTES

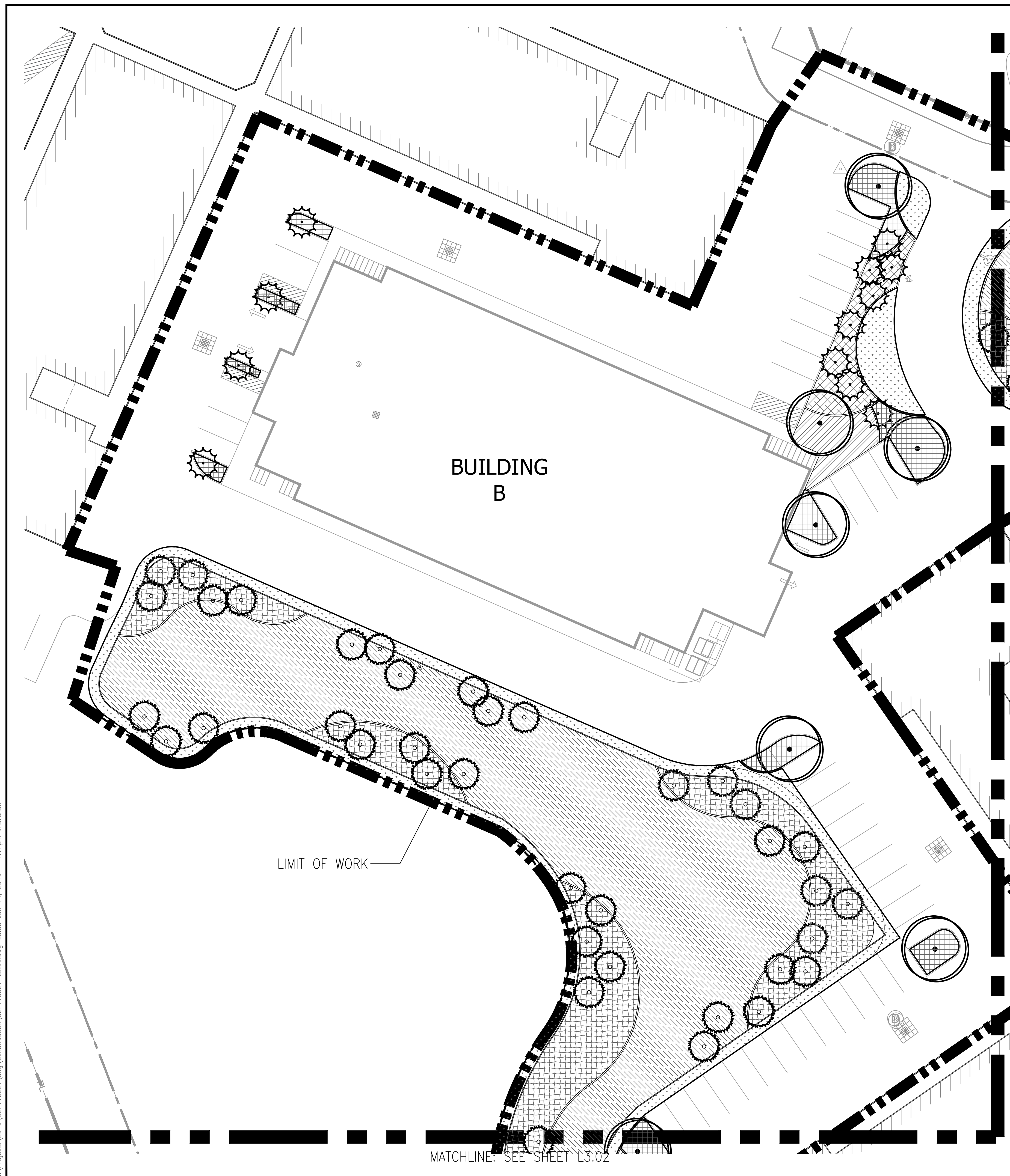
TREE PROTECTION- BARRIER PLACEMENT



TREE PROTECTION & BARRICADE ELEVATION

PROTECTIVE BARRIER REQUIREMENTS FOR EXISTING TREES TO REMAIN

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN
- CALL PLANNING SERVICES AT (352) 393-8188 TO SCHEDULE A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.
- AUTOMATIC IRRIGATION SYSTEM SHOULD BE PROVIDED FOR THE DEVELOPMENT AND PROVIDED BUBBLERS BY EACH TREE TO BE INSTALLED FOR THE DEVELOPMENT.
- PROTECTION BARRIERS (TREE BARRICADES) SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY WOOD CHIPS AT LEAST 8 INCHES COVER THE SOIL WITHIN THE BARRICADE.
- HIGH QUALITY HERITAGE TREES SHALL BE PROTECTED BY GALVANIZED CHAIN LINK FENCING A MINIMUM OF 48 INCHES HIGH, 11-GAUGE WIRE, AND 2 INCH MESH SIZE SECURED WITH 1-7/8" LINE POSTS NO FURTHER THAN 10 FEET APART SECURED AT A DEPTH OF 3 FEET BELOW SOIL LINE. CORNERS SHALL BE SECURED WITH 2-3/8" LINE POSTS SECURED TO A DEPTH OF 4 FEET BELOW SOIL LINE.
- FOR ALL OTHER TREES TO BE PRESERVED, SEE DETAIL THIS SHEET
- NO GRADE CHANGES SHALL BE MADE WITHIN THE PROTECTIVE BARRIER ZONES WITHOUT PRIOR APPROVAL OF THE CITY MANAGER OR DESIGNEE.
- THE METHOD OF PROTECTION IS TO MAKE CERTAIN THAT 50% OF THE AREA UNDER THE CANOPY DRIPLINE REMAINS UNDISTURBED (NO GRADE CHANGE OR ROOT CUT) AND THERE SHALL BE NO DISTURBANCE TO THE ROOT PLATE.
- WHERE ROOTS GREATER THAN ONE INCH IN DIAMETER ARE DAMAGED OR EXPOSED SHALL BE CUT CLEANLY AND RE-COVERED WITH SOIL WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND MITIGATION COSTS OF TREES DAMAGED BEYOND REPAIR THAT HAVE BEEN IDENTIFIED AS PROTECTED AND PRESERVED. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.



LANDSCAPE REQUIREMENTS		
Minimum Landscape Areas	Required	Provided
Site Area 195,515 SF X 20% Minimum Area of Building Site	39,103 SF/20%	57,058 SF/35%
Minimum Native Plant Requirement 70%	Total Provided	Percent Provided
Native Plants	7838	100%
Exotic Plants		0%
Total Native & Exotic Plants	7838	
Minimum Parking Lot Perimeter Landscaping		
10' Perimeter Landscape Width Buffer		
1060 LF Parking Lot Buffer/35 LF= 30.3		
1 Canopy Tree x 31	Total Required	Total Provided
10 Shrubs x 31	31 Canopy Trees	33 Canopy
	310 Shrubs	1,118 Shrubs
Nonvehicular Open Space (NOS) Landscape Requirements		
21% or 41,946 SF of Site Nonvehicular Open Space		
Requires 4 Trees/2,500 SF of NOS		
41,946 SF/2,500=16.8 X 4 Trees	Total Required	Total Provide
	67.1	68

IRRIGATION REQUIREMENTS:
 1" of water over 1.44 acres of pervious surfaces=8,960 gallons of water per watering cycle

- Water Source: 2- 12,096 gallon cisterns
- Water Available: 24,192 gallons
- Anticipated Water Use: 8,960 gallons per cycle twice a week= 17,920 gal/wk

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	BU	17	BURSERA SIMARUBA	GUMBO LIMBO	45 GAL., 14'-16' HT X 6'-8' SPRD. 4" CAL	
	CE	68	CONOCARPUS ERECTUS	BUTTONWOOD	30 GAL., 8'-10' HT. MT	
	PI	15	PISCIDIA PISCIPULA	JAMAICAN DOGWOOD	45 GAL., 14'-16' HT., 6' CT	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	CS2	127	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	30 GAL., 24"-36" X 24"-36"	36" o.c.
	MC	1,748	MUHLENBERGIA CAPILLARIS	PINK MUHLY	3 GAL., 24"-30" OA. FULL	30" o.c.
	SB2	2,787	SPARTINA PATENS	SALT MEADOW CORD GRASS	3 GAL., 24"-30" OA. FULL	36" o.c.
	TD2	99	TRIPSACUM FLORIDANUM	FLORIDA GAMAGRASS	3 GAL., 24"-30" OA	36" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	AG	1,887	ARACHIS GLABRATA	PERENNIAL PEANUT	1 GAL., FULL IN POT, 18" O.C.	8" o.c.
	FG	1,128	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	1 GAL., 18"-24" OA	24" o.c.
	PA	12,676 SF	PANICUM VIRGATUM	SWITCH GRASS	SOD	

MATCHLINE: SEE SHEET L3.01

MATCHLINE: SEE SHEET L3.02

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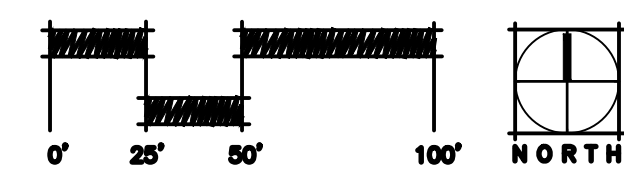
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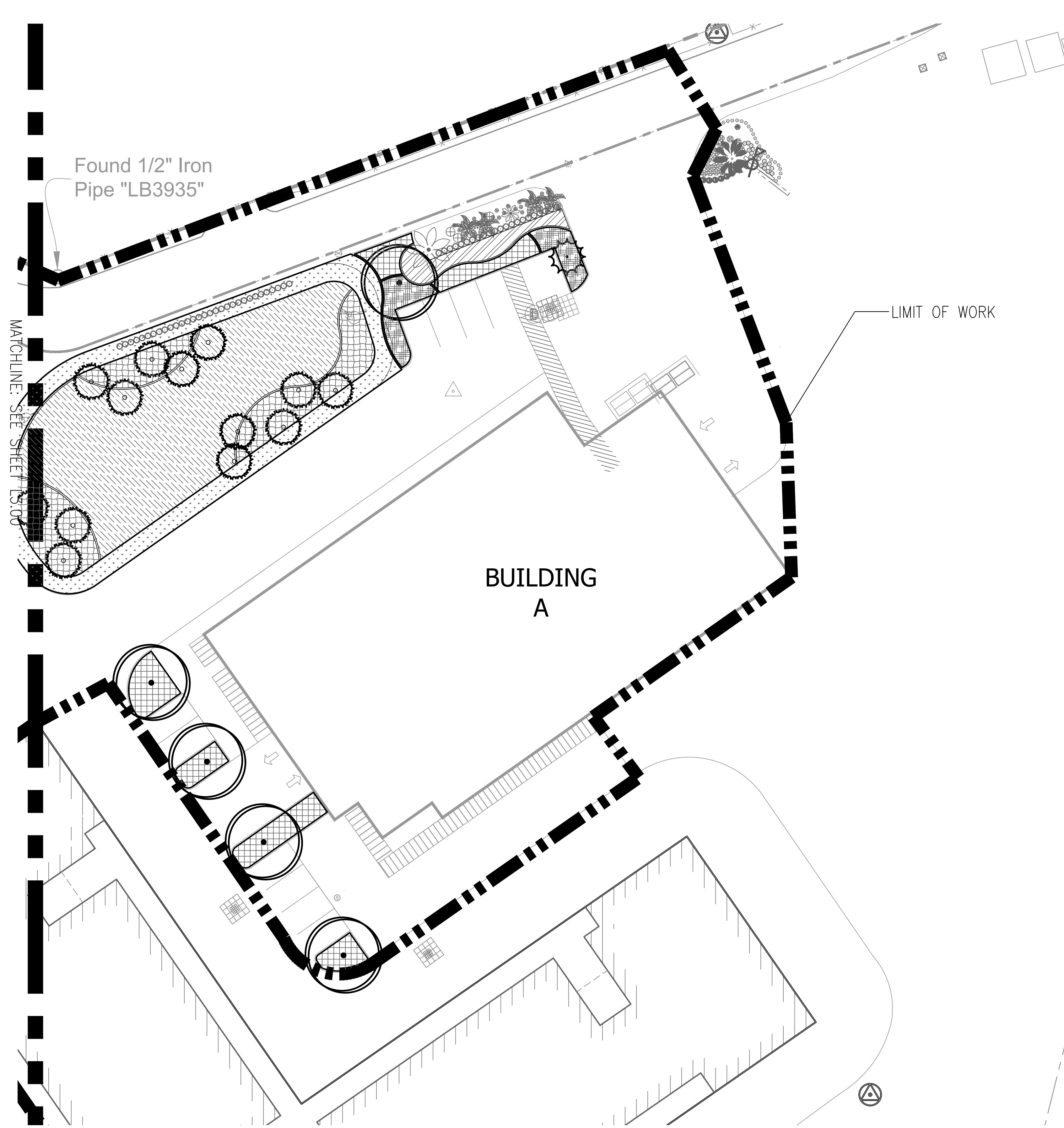


DATE	REVISIONS
06.15.16	527116021

L3.00
 LANDSCAPE PLAN



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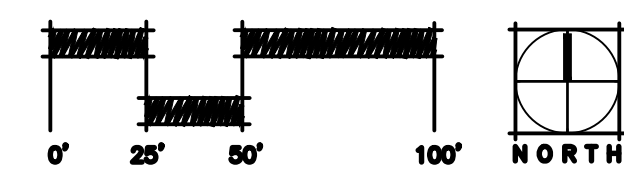
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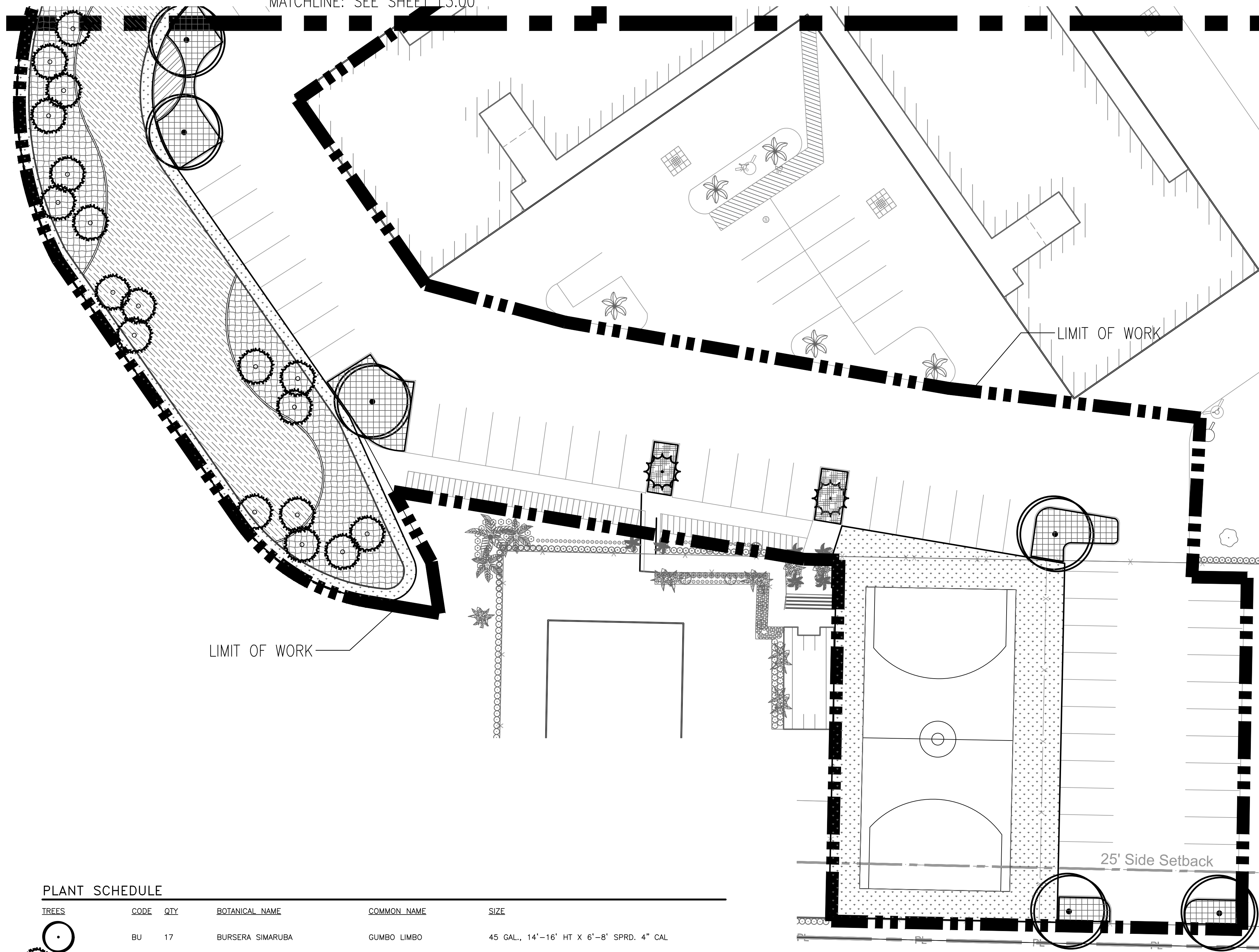
DATE	REVISIONS
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L3.01
 LANDSCAPE PLAN



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MATCHLINE: SEE SHEET L3.00

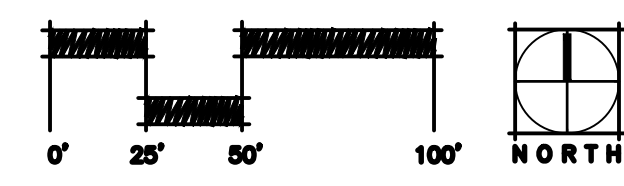


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L3.02
 LANDSCAPE PLAN
 & PLANT LIST

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