



VARIANCE AND AFTER THE FACT VARIANCE APPLICATION

CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: www.cityofkeywest-fl.gov

Application Fee Schedule	
Variance Application Fee	\$ 2,680.19
Advertising and Noticing Fee	\$ 376.81
Fire Department Review Fee	\$ 134.01
Total Application Fee	\$ 3,191.01

After the Fact Application Fee Schedule	
After the Fact Variance Application Fee	\$ 5,360.39
Advertising and Noticing Fee	\$ 376.81
Fire Department Review Fee	\$ 134.01
Total Application Fee	\$ 5,871.21

Please read the following carefully before filling out the application

This application and all required attachments should be submitted to the City Planning Department at 1300 White Street.

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.
- Variances are quasi-judicial hearings, and it is improper to speak to a Planning Board and/or Board of Adjustment member about the variance outside of the hearing.

Application Process

- Prior to submittal, the applicant will schedule a pre-application meeting with staff to review the application and suggest any modifications that may be necessary before submittal. A pre-application meeting is free of charge and should be the final step before submittal. To schedule a pre-application meeting, please call the Planning Department at (305) 809-3764.
- After submittal, the application will be reviewed by staff and additional modifications to the site plan may be necessary at that time. Any modifications within eight (8) days of the scheduled Planning Board meeting may result in the item being postponed till the following Planning Board meeting.
- The applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10-day appeal period.
- After the 10-day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

Please include the following with this application:

1. A copy of the most recent warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.
2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee.
3. Sign and Sealed site plan(s) of the subject site, indicating the following:
 - a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas, and decks.
 - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
 - c. All proposed changes to what exist, including those which make the variance(s) necessary.
 - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
 - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
 - f. Parking spaces and dimensions (**existing and proposed**).
 - g. Easements or other encumbrances on the property.
4. A survey of the property no more than ten years old
5. Elevation drawings or proposed structures, indicating finished height above established grade as measured from crown of road
6. Floor Plans of existing and proposed development
7. Stormwater management plan
8. PDF version of application and all required materials submitted to the Planning Department

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

For assistance, please call the Planning Department at (305) 809-3764.



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Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 1224 2ND ST.

Zoning District: _____

Real Estate (RE) #: 00051450-000000

Property located within the Historic District? Yes No

APPLICANT:

Owner

Authorized Representative

Name: Max Heller Mailing Address: 2117 FOGARTY AVE

City: Key West State: FL Zip: 33040

Home/Mobile Phone: (305) 393-2417 Office: _____ Fax: _____

Email: meandcc.LLC@gmail.com

PROPERTY OWNER: (if different than above)

Name: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____

Home/Mobile Phone: _____ Office: _____ Fax: _____

Email: _____

Description of Proposed Construction, Development, and Use: Re Build porches to 2ND FLOOR units

to be bigger than original porches

List and describe the specific variance(s) being requested:

Requesting side setback variances for 2ND floor porches, as it is now the zoning setbacks are into the building 12" being 25' each side set back.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property?
If yes, provide date of landscape approval, and attach a copy of such approval.

Yes No

Is this variance request for habitable space pursuant to Section 122-1078?

Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning		See Plan Set Included.		
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback				
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.

None

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

None

- 3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district.

None

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

None

- 5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

This is non injurious request.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

The structure itself is non-conforming as it was built into the side set backs when it was originally built in 1950

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department and one (1) electronic version in PDF format.

- Correct application fee, made payable to "City of Key West."
- Pre-application meeting form
- Notarized verification form signed by property owner or authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Monroe County Property record card
- Signed and sealed survey (Survey must be within 10 years from submittal of this application)
- Sign and sealed site plan (sign and sealed by an Engineer or Architect)
- Floor plans
- Any additional supplemental information necessary to render a determination related to the variance request



**City of Key West
Planning Department
Verification Form**

(Where Authorized Representative is an individual)

I, MAX Heller, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1224 2ND St. Key West, FL 33040
Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 20 March 2021 by
date

Max Yael Heller
Name of Authorized Representative

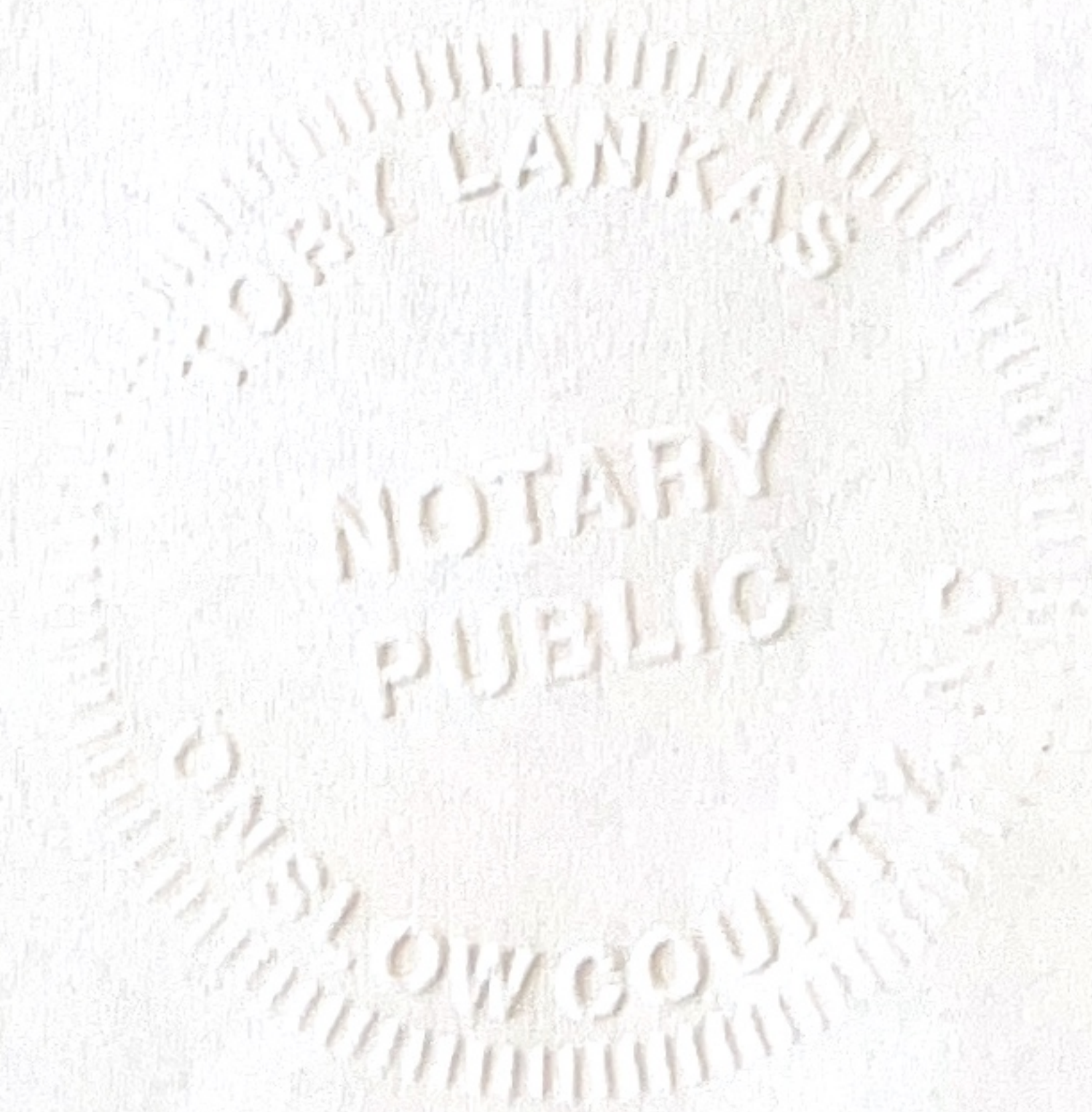
He/She is personally known to me or has presented FLDL as identification.

Notary's Signature and Seal

Tory Lankas
Name of Acknowledger typed, printed or stamped

End of com. 112929

Commission Number, if any



Prepared by and return to:
Gregory S. Oropeza, Esq.
Attorney at Law
Oropeza Stones Cardenas, PLLC
221 Simonton Street
Key West, FL 33040
305-294-0252
File Number: 22-224
Consideration: \$1,000,000.00

Parcel Identification No. 00051450-000000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 11 day of April, 2022 between Johnson Street Investments Limited, a Florida Limited Partnership successor by merger to Koelling Investment Co., a Florida general partnership whose post office address is 1 Dayton Road, Mendham, NJ 07945 of the County of Morris, State of New Jersey, grantor*, and Thomas Valente and Max Heller whose post office address is 1224 2nd Street, Key West, FL 33040 of the County of Monroe, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever; the following described land, situate, lying and being in Monroe County, Florida, to-wit:

Lot 5, Block 1, Sunshine Subdivision Plat No. 3, according to the plat thereof as recorded in Plat Book 2, Page 169, Public Records of Monroe County, Florida.

Subject to taxes for 2022 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

Margaret Krabbe
Witness Name: Margaret Krabbe
Thomas E. Caughman
Witness Name: Thomas E. Caughman

Johnson Street Investments, LTD

By: JOHNSON STREET HOLDINGS INC., as General Partner

By: [Signature]
Adam Hodge, Director

State of Florida
County of Palm

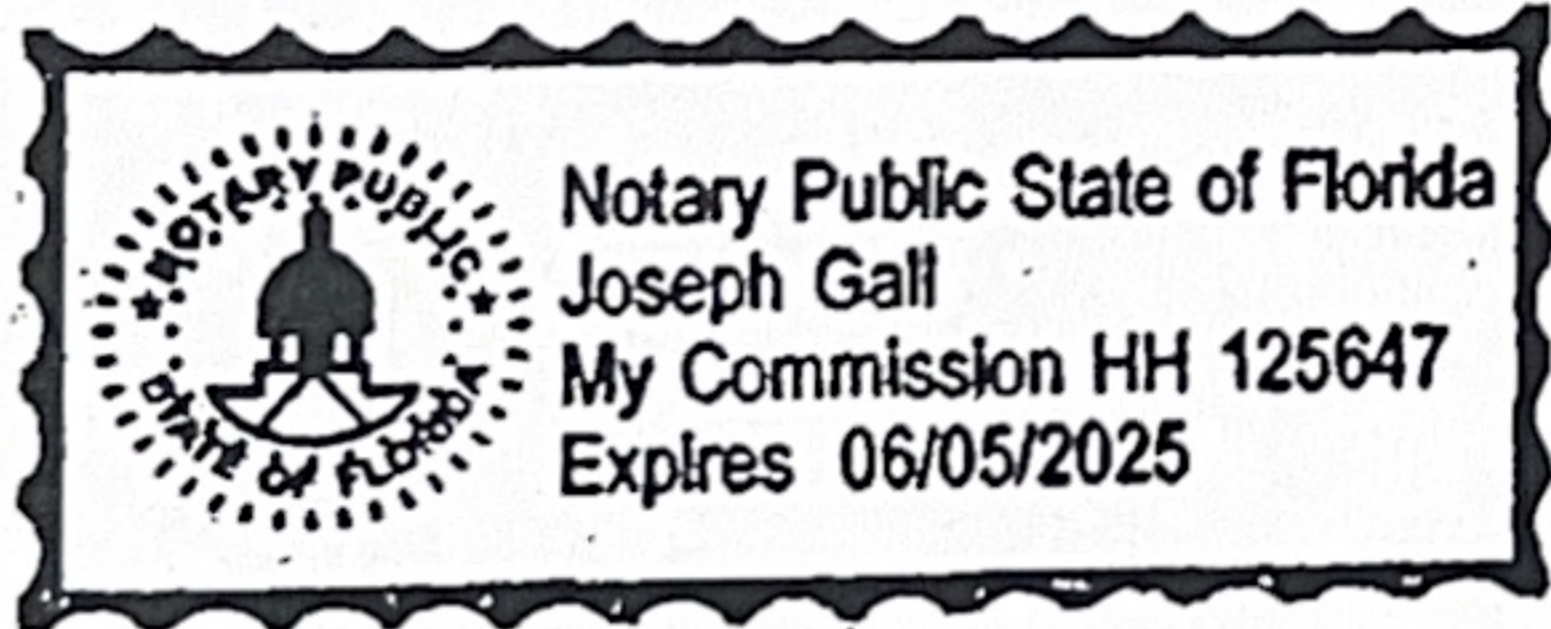
The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 6 day of April, 2022 by Adam Hodge, as Director of JOHNSON STREET HOLDINGS INC., the General Partner, of Johnson Street Investments, LTD on behalf of the corporation and the partnership. They are personally known to me or have produced a driver's license as identification.

[Notary Seal]

Joseph Gall
Notary Public

Printed Name: Joseph Gall

My Commission Expires: 6/5/2025



Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00051450-000000
 Account# 1052078
 Property ID 1052078
 Millage Group 10KW
 Location 1224 2ND St, KEY WEST
 Address
 Legal BK 1 LOT 5 SUNSHINE SUB PLAT NO 3 PB2-169 OR51-144 OR438-196 OR561-579 OR592-336 OR845-437 OR1188-247 OR1686-928 OR3167-2489
 Description (Note: Not to be used on legal documents.)
 Neighborhood 6183
 Property Class MULTI-FAMILY FOURPLEX (0804)
 Subdivision Sunshine Subdivision Plat No. 3
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

[VALENTE THOMAS](#)
 1224 2nd St
 Key West FL 33040

[HELLER MAX](#)
 1224 2nd St
 Key West FL 33040

Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$405,171	\$405,091	\$388,002	\$388,002
+ Market Misc Value	\$731	\$551	\$567	\$582
+ Market Land Value	\$549,990	\$521,640	\$515,970	\$442,260
= Just Market Value	\$955,892	\$927,282	\$904,539	\$830,844
= Total Assessed Value	\$955,892	\$927,282	\$904,539	\$707,009
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$955,892	\$927,282	\$904,539	\$830,844

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$521,640	\$405,091	\$551	\$927,282	\$927,282	\$0	\$927,282	\$0
2023	\$515,970	\$388,002	\$567	\$904,539	\$904,539	\$0	\$904,539	\$0
2022	\$442,260	\$388,002	\$582	\$830,844	\$707,009	\$0	\$830,844	\$0
2021	\$337,365	\$304,772	\$598	\$642,735	\$642,735	\$0	\$642,735	\$0
2020	\$334,530	\$304,772	\$614	\$639,916	\$615,047	\$0	\$639,916	\$0
2019	\$253,733	\$304,772	\$629	\$559,134	\$559,134	\$0	\$559,134	\$0
2018	\$283,500	\$309,461	\$603	\$593,564	\$582,530	\$0	\$593,564	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	7,000.00	Square Foot	70	100

Buildings

Building ID	4164	Exterior Walls	WD FRAME with 52% C.B.S.
Style	2 STORY ON GRADE	Year Built	1950
Building Type	M.F. - R4 / R4	EffectiveYearBuilt	2000
Building Name		Foundation	CONCR FTR
Gross Sq Ft	3776	Roof Type	GABLE/HIP
Finished Sq Ft	3000	Roof Coverage	METAL
Stories	2 Floor	Flooring Type	CONC ABOVE GRD
Condition	GOOD	Heating Type	NONE with 0% NONE
Perimeter	320	Bedrooms	4
Functional Obs	0	Full Bathrooms	4
Economic Obs	0	Half Bathrooms	0
Depreciation %	32	Grade	550
Interior Walls	PLYWOOD PANEL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	3,000	3,000	320
OJU	OP PR UNFIN UL	728	0	176
OPF	OP PRCH FIN LL	48	0	40
TOTAL		3,776	3,000	536

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1949	1950	15 x 6	1	90 SF	2
LC UTIL BLDG	2006	2007	7 x 10	1	70 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
4/11/2022	\$1,000,000	Warranty Deed	2371200	3167	2489	01 - Qualified	Improved		
12/1/1981	\$45	Warranty Deed		845	437	U - Unqualified	Improved		
2/1/1974	\$28,000	Conversion Code		592	336	Q - Qualified	Improved		

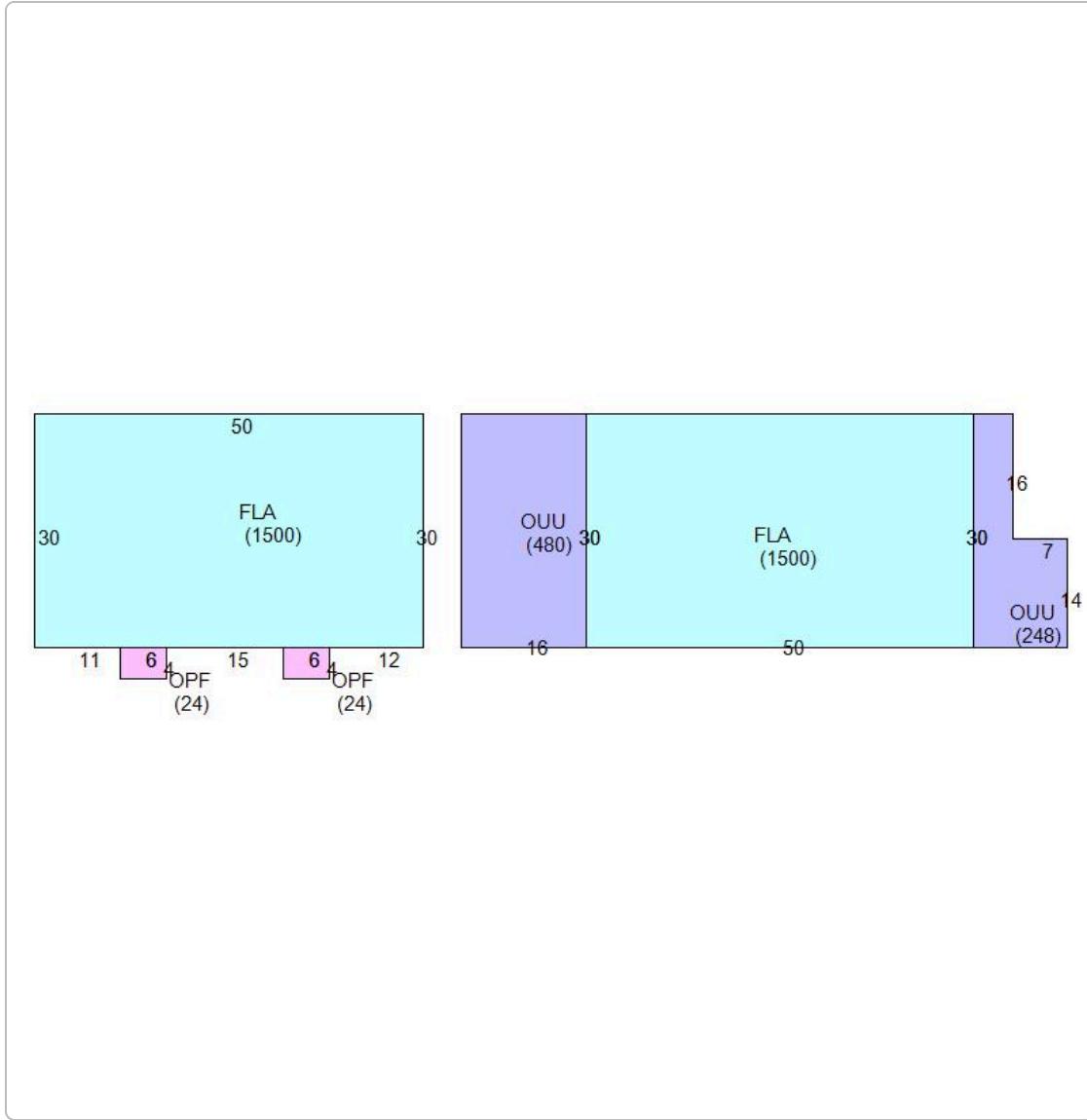
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
22-2257	08/03/2022	Expired	\$0	Residential	REPLACE TUB, VANITY AND TOILET. REPLACE 8' OF CAST IRON WITH PVC MAIN.
22-1364	05/16/2022	Completed	\$20,000	Residential	REMOVE 21 SQ EXISTING ROOFING AND INSTALL A NEW WHITE .032" ALUMINUM STANDING SEAM METAL ROOFING SYSTEM
22-1359	05/10/2022	Canceled	\$56,500	Residential	REPLACE 6 DOORS AND 26 WINDOWS WITH NEW, REPAIR 90' SPALLING TO TIE-BEAM AROUND ENTIRE PERIMETER, PLASTER ENTIRE EXTERIOR
14-5507	12/01/2014	Completed	\$1,850	Residential	RELOCATE EXSISTING SERVICE INSTALL NEW METER BANK
06-0931	02/15/2006	Completed	\$700	Residential	WD DECK AND METAL SHED
01-3527	10/26/2001	Completed	\$3,000	Residential	ROOF
9900256	01/20/1999	Completed	\$6,100	Residential	NEW A/SHING ROOF
9801494	05/14/1998	Completed	\$150	Residential	REPLACE WINDOW

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

2025 TRIM Notice (PDF)

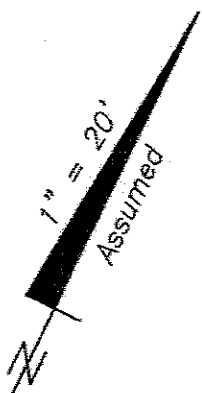
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[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 3/21/2026, 2:15:05 AM

Contact Us

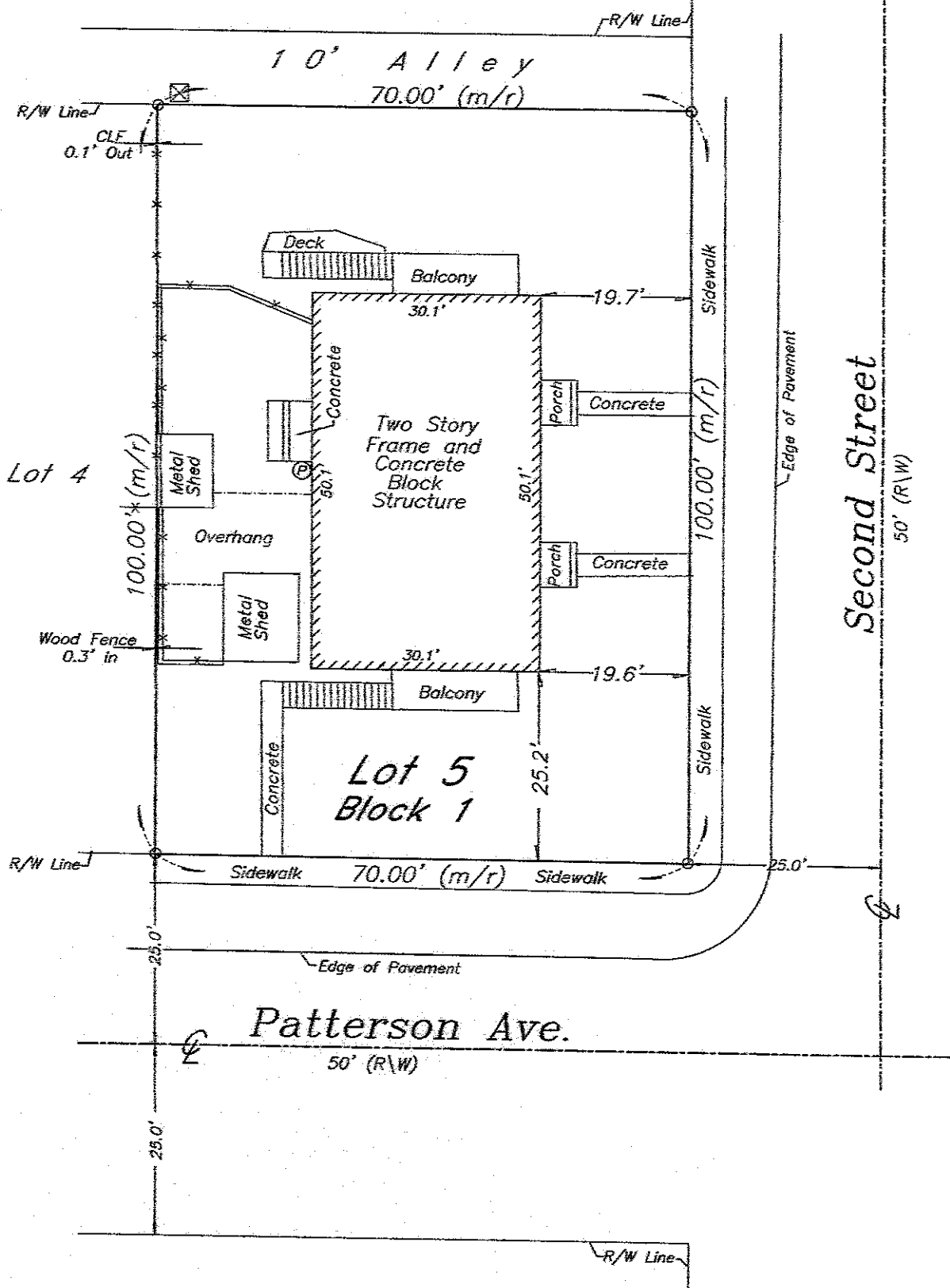
Developed by
 **SCHNEIDER**
GEOSPATIAL

Boundary Survey Map of Lot 5, Block 1 SUNSHINE SUBDIVISION, PLAT NO. 3



LEGEND

- ⊙ Found 1/2" Iron Pipe
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (RER)
- ▲ Found Nail & Disc (RER)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines
- ⊕ Propane Tank



NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1224 Second Street, Key West, FL
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: April 4, 2022
9. Ownership of fences is undeterminable, unless otherwise noted.

BOUNDARY SURVEY OF: Lot 5, Block 1, SUNSHINE SUBDIVISION PLAT #3, as recorded in Plat Book 2, Page 169, Monroe County Public Records.

BOUNDARY SURVEY FOR: Thomas Valente & Max Heller;
ClearEdge Lending, LLC;
Oropeza Stones & Cardenas;
Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

April 6, 2022

THIS SURVEY
IS NOT
ASSIGNABLE

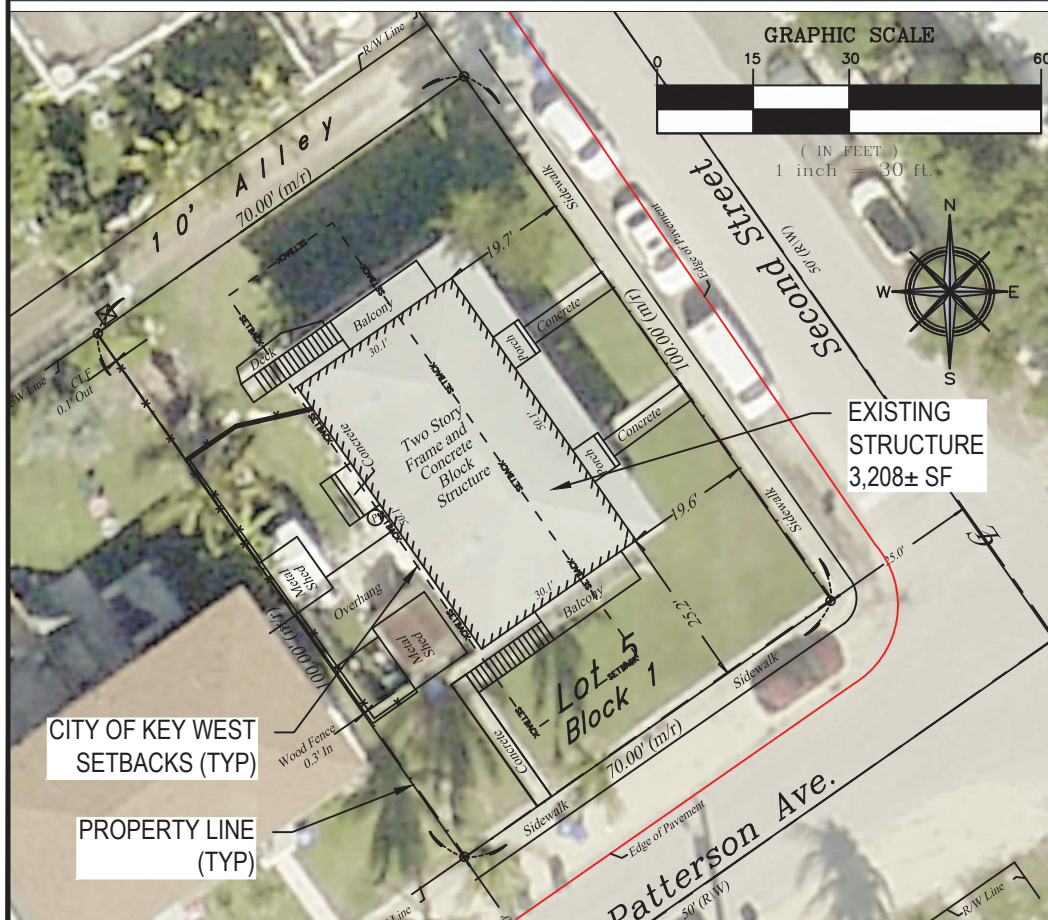
J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

PROJECT INFO

RE# 00051450-000000
OWNER THOMAS VALENTE & MAX HELLER
ADDRESS 1224 2ND ST, KEY WEST, FL 33040
SCT/TWN/RNG 05-68-25
LEGAL BK 1 LOT 5 SUNSHINE SUB PLAT NO 3 PB2-169
FLOOD ZONE EFFECTIVE: AE-7 (NGVD); PRELIM: AE-9 (NAVD)
FIRM COMMUNITY #12087C; MAP & PANEL 1516K; (02/18/05)
SETBACKS FRONT 30 FT / SIDE 25 FT / STREET SIDE 25 FT / REAR 25 FT
LOT AREA 7,000 SF
MAX HEIGHT 35 FT
OCCUPANCY R-2
ZONING MDR (MEDIUM-DENSITY RESIDENTIAL)
TYPE OF CONST V-B



GENERAL REQUIREMENTS

- 1. CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS, DIMENSIONS, AND DETAILS AND SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES, PERCEIVED OR REAL, PRIOR TO COMMENCEMENT OF WORK.
2. ANY ISSUES OR QUESTIONS PERTAINING TO THE CONSTRUCTION DRAWINGS RELATED TO SITE WORK IMPROVEMENTS SHALL BE DIRECTED TO THE ENGINEER.
3. ALL MATERIALS, EQUIPMENT, CONNECTORS, AND WORK SHALL MEET OR EXCEED THE DESIGN DATA AND COMPLIANCE CODE CITED.
4. ENGINEER IS NOT RESPONSIBLE FOR ANY SUPERVISION DURING CONSTRUCTION.
5. THE CONTRACTOR MAINTAINS THE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REQUIRED TO PERFORM THE WORK AS OUTLINED IN THE CONSTRUCTION PLANS. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
6. THE STRUCTURAL INTEGRITY OF THE WORK SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY APPLIED TO STRUCTURE AS DIRECTED. THE ENGINEER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.
7. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE ENGINEER.
8. DISSIMILAR METALS SHALL BE ISOLATED TO PREVENT GALVANIC ACTION.
9. ALL DEBRIS AND FILL MATERIAL EXCAVATED FROM THE SITE SHALL BE HANDLED IN COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND SHALL BE HAULED TO AN APPROVED DISPOSAL SITE.
10. UPON COMPLETION OF WORK, LEAVE SITE IN CLEAN CONDITION SATISFACTORY TO OWNER. CLEAN-UP SHALL INCLUDE DISPOSAL OF ALL ITEMS AND MATERIALS NOT REQUIRED FOR NEW CONSTRUCTION AS WELL AS ALL DEBRIS AND RUBBISH.

DESIGN DATA

- 1. THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE AND THE LATEST EDITIONS OF THE FLORIDA ENERGY CODE, FIRE CODE, AND LIFE SAFETY CODE.
2. FLOOR AND DECK LOADS: DEAD=20 PSF / LIVE=40 PSF
3. ROOF LOADS: DEAD=15 PSF / LIVE=20 PSF
4. INTERIOR PARTITIONS: DEAD=6 PSF
5. EXTERIOR 2x6 WALLS: DEAD=10 PSF
6. CEILING (MINIMAL ATTIC STORAGE): DEAD=5 PSF / LIVE=10 PSF
7. WIND SPEED = 180 MPH
8. EXPOSURE "D"
9. ASCE 7-16 USED FOR ALL WIND PRESSURE CALCULATIONS

HURRICANE ANCHORS

- 1. ALL HURRICANE ANCHORS TO BE FBC TESTED AND APPROVED, AND SIZED FOR LOADS REQUIRED.
2. SEE DRAWING PLANS AND DETAILS FOR SPECIFIC TYPE OF ANCHORS TO BE USED FOR EACH INDIVIDUAL APPLICATION.
3. ALL SIMPSON STRONG-TIE OR OTHER APPROVED WOOD CONNECTORS TO BE ZMAX GALVANIZED COATED UNLESS NOTED OTHERWISE.

SCOPE OF WORK
INSTALL 2 ELEVATED DECKS, 2 PAVER DRIVEWAYS, FENCING, AND REPLACE 2 PORCH ENTRYWAYS

INDEX OF DRAWINGS

- SHEET G-1.0 - SITE LOCATION AND NOTES
SHEET S-1.0 - EXISTING CONDITIONS
SHEET S-2.0 - PROPOSED SITE PLAN
SHEET S-3.0 - PROPOSED FRAMING PLAN
SHEET S-4.0 - CONSTRUCTION DETAILS
SHEET S-4.1 - CONSTRUCTION DETAILS (CONT'D)

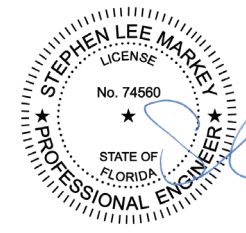
LUMBER

- 1. PRESSURE TREATMENT SHALL BE PROVIDED TO MEET OR EXCEED THE COMPLIANCE CODE CITED AND, WHERE NOTED, P.T. MEANS PRESSURE TREATMENT. FIELD CUTS AND HOLES SHALL BE PRESERVATIVE TREATED.
2. SEE RELATED NOTES ON ROOF TRUSSES AND ON HURRICANE ANCHORS.
3. WALL STUDS MIN. Fb = 1100 P.S.I. ALL 2x4 INTERIOR BEARING WALLS SHALL BE FRAMED 12" O.C., ALL 2x6 EXTERIOR WALLS AND 2x4 INTERIOR NON-BEARING WALLS SHALL BE FRAMED 16" O.C.
4. WOOD HEADERS MIN. Fb = 975 P.S.I. WHERE NOT NOTED SHALL BE (2) 2" x 12".
5. BEAM STRESSES: 2x8 Fb = 1610 P.S.I., E = 1,700,000
6. MIN 3/8" CDX PLYWOOD ROOF SHEATHING, WHERE NOT NOTED OTHERWISE, SHALL BE NAILED WITH 8d RING OR SCREW SHANK (0.131" x 2 1/2") NAILS AT 4" O.C. ALONG PANEL ENDS AND AT 6" O.C. IN THE FIELD ALONG INTERMEDIATE FRAMING SUPPORTS. USE PLYWOOD CLIPS AT ALL LOCATIONS.
7. ALL STRUCTURAL LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE NFPA "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" AND SUPPLEMENT, "DESIGN VALUES FOR WOOD CONSTRUCTION".
8. PROVIDE BLOCKING BETWEEN ALL JOISTS 2x6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.
9. ALL FLUSH CONNECTIONS SHALL HAVE BEAM OR JOIST HANGERS CAPABLE OF SUPPORTING THE MAXIMUM REACTION OF THE MEMBER.
10. ALL NAILING SHALL BE IN ACCORDANCE WITH FBC 2020 AND SHALL BE COMMON NAILS U.N.O.
11. ALL CONNECTIONS SHALL CONFORM TO THE CURRENT EDITION OF THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION AND THE CONTRACT DOCUMENTS.
12. ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL."
13. ALL WOOD FRAMING SHALL BE SOUTHERN PINE NO. 2 OR BETTER, KILN DRIED TO 15% MOISTURE CONTENT, UNLESS OTHERWISE NOTED, AND SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 1100 PSI, MODULUS OF ELASTICITY OF 1,400,000 PSI AND HORIZONTAL SHEAR STRESS OF 90 PSI.
14. HANGERS, FRAMING ANCHORS, AND FASTENERS: PROVIDE AND INSTALL STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED AS REQUIRED IN THE CONSTRUCTION DOCUMENTS OR CONNECTION SHOP DRAWINGS. NAILS TO BE THOSE FURNISHED BY THE MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR. "SIMPSON STRONG-TIE" OR OTHER APPROVED HANGERS SHALL BE PROVIDED CONFORMING TO THE REQUIREMENTS INDICATED. ALL HANGERS AND ANCHORS SHALL BE ZMAX GALVANIZED UNLESS NOTED OTHERWISE.
15. BOLTS AND EXPANSION ANCHORS SHALL BE ASTM A325, GALV., UNLESS NOTED OTHERWISE.

FOUNDATION & CONCRETE NOTES

- 1. CONTRACTOR SHALL VERIFY DIMENSIONS OF MODULAR STRUCTURE PRIOR TO BEGINNING ANY WORK.
2. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED. AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 16" DIAMETER NOR LESS THAN 3' INTO ROCK UNLESS OTHERWISE NOTED. CONCRETE SHALL NOT BE MIXED IN PLACE IN A WET AUGER HOLE. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS, OR GRID LINES UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL FURNISH FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB POUR.
4. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
5. SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS, UNLESS OTHERWISE NOTED.
6. CONSTRUCTION JOINTS FOR SLABS ON GRADE SHALL BE INSTALLED TO MINIMIZE RANDOM CRACKING PER ACI 224.3R-95(R2013), AS DETAILED IN THE PLANS, OR AS OTHERWISE APPROVED BY THE ENGINEER.
7. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
8. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
9. MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R, HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET, OR THE CONCRETE COVERED AND SPRAYED.
10. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
11. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRED TOGETHER.
12. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
13. LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
14. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES TO BE GALVANIZED.
15. ANCHOR BOLTS, NUTS, AND WASHERS SHALL BE MINIMUM 3/8" GALVANIZED STEEL AND EMBEDDED MINIMUM 7" INTO CONCRETE AND SPACED MAXIMUM 4' OC. ALL FASTENERS SHALL BE LOCATED A MINIMUM OF 6 TIMES THE FASTENER DIAMETER AWAY FROM CONCRETE EDGES.
16. MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.

November 18, 2023



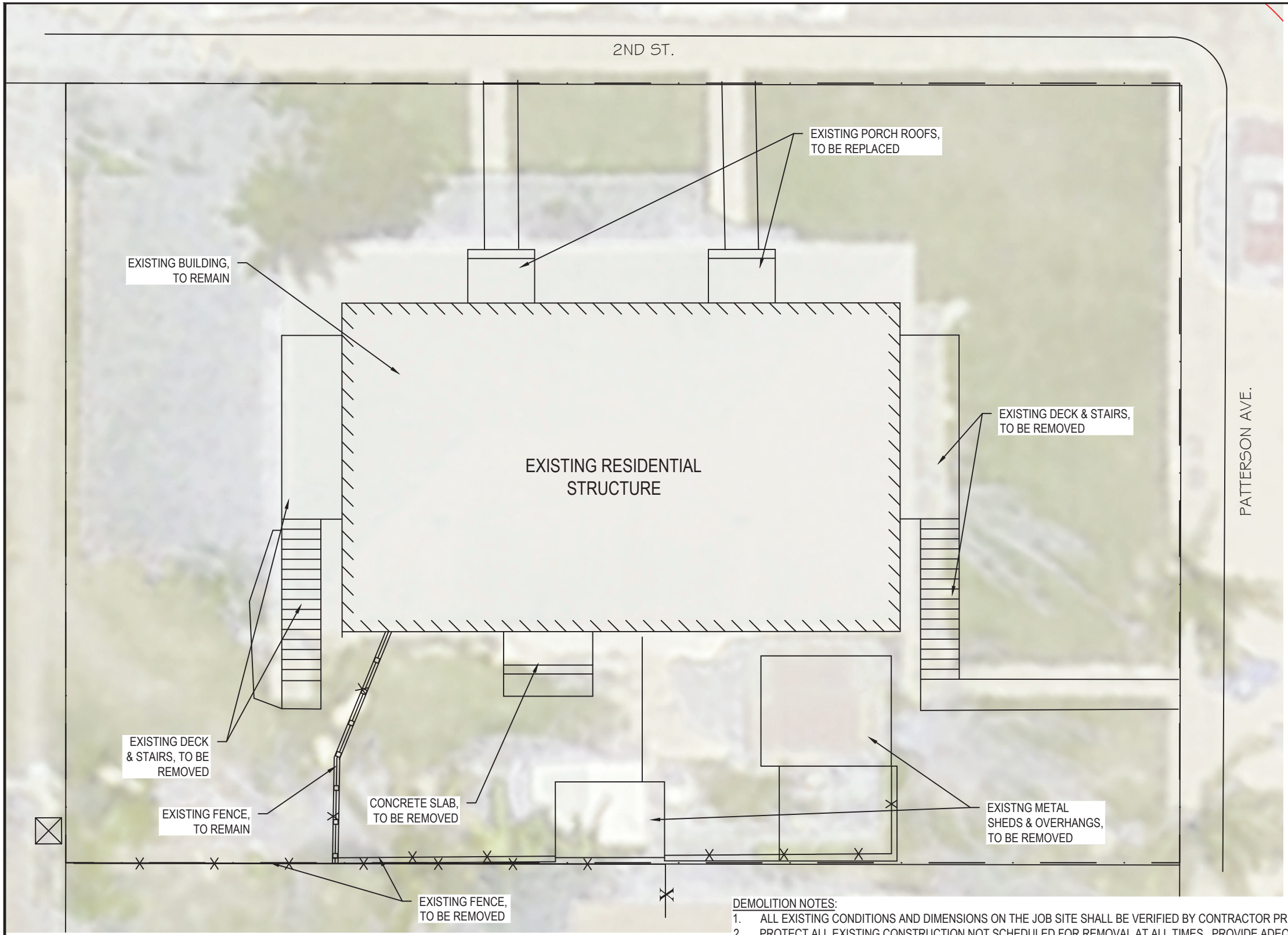
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Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.
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STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA

SLIM ENGINEERING INC.
CIVIL ENGINEERING SERVICES
KEY WEST, FL
(305) 509-2647
CERTIFICATE OF AUTHORIZATION #30200

Table with project details: PROJECT NO. 23-03.2, SCALE AS NOTED, DRAWN BY: SLM, REVISED BY: SLM, CAD FILE: 1224 2nd St Decks (11-09-23).dwg, SHEET SIZE: ANSIB (11x17)

1224 2nd STREET
RENOVATION PROJECT
1224 2nd ST.
KEY WEST, FL 33040

SHEET TITLE: SITE LOCATION AND NOTES
SHEET NUMBER: G-1.0
SHEET 1 OF 6
DATE: NOVEMBER 17, 2023



EXISTING CONDITIONS / DEMO PLAN

SCALE: 1" = 10'

DEMOLITION NOTES:

1. ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE SHALL BE VERIFIED BY CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. PROTECT ALL EXISTING CONSTRUCTION NOT SCHEDULED FOR REMOVAL AT ALL TIMES. PROVIDE ADEQUATE SHORING AND/OR BRACING TO PREVENT DAMAGE. PROMPTLY REPAIR DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO THE OWNER.
3. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT. PROVIDE SECURITY LOCKS OR OTHER MEANS TO PREVENT UNAUTHORIZED ENTRY INTO THE WORK ZONE.
4. CONSTRUCT DUST PROOF PARTITIONS TO SEPARATE WORK AREA WHERE NOISY OR DUSTY OPERATIONS ARE PERFORMED. KEEP WORK AREAS CLEAN TO LIMIT DUST AND DIRT TRACKING TO NON-CONSTRUCTION ZONES.
5. MAINTAIN EXISTING UTILITIES FOR USE BY OWNER AND PROTECT FROM DAMAGE. WHEN SERVICE INTERRUPTION IS UNAVOIDABLE, COORDINATE WITH OWNER AND UTILITY COMPANIES. PROVIDE TEMPORARY UTILITY SERVICE AS REQUIRED BY OWNER.
6. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED AND/OR APPROVED BY A PROFESSIONAL ENGINEER AND INSTALLED BY AN EXPERIENCED SHORING CONTRACTOR.
7. SHORING SHALL BE CONTINUOUS TO THE LOWEST LEVEL AND BE ADEQUATELY DISTRIBUTED TO PREVENT DAMAGE TO EXISTING GRADE SLABS.
8. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
9. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENTS, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
11. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.

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DRAWN BY:	SLM	PROJECT NO:	23-03.2
REVIEWED BY:	SLM	SCALE:	AS NOTED
CAD FILE:	1224 2nd St Decks (1109-23).dwg	SHEET SIZE:	ANSI B (11x17)

**1224 2nd STREET
 RENOVATION PROJECT**
 1224 2nd ST.
 KEY WEST, FL 33040

SHEET TITLE:
 EXISTING CONDITIONS PLAN

SHEET NUMBER:
S-1.0
 SHEET 2 OF 6

DATE:
 NOVEMBER 17, 2023

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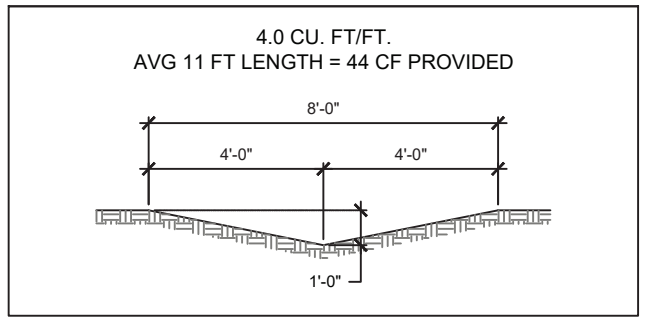
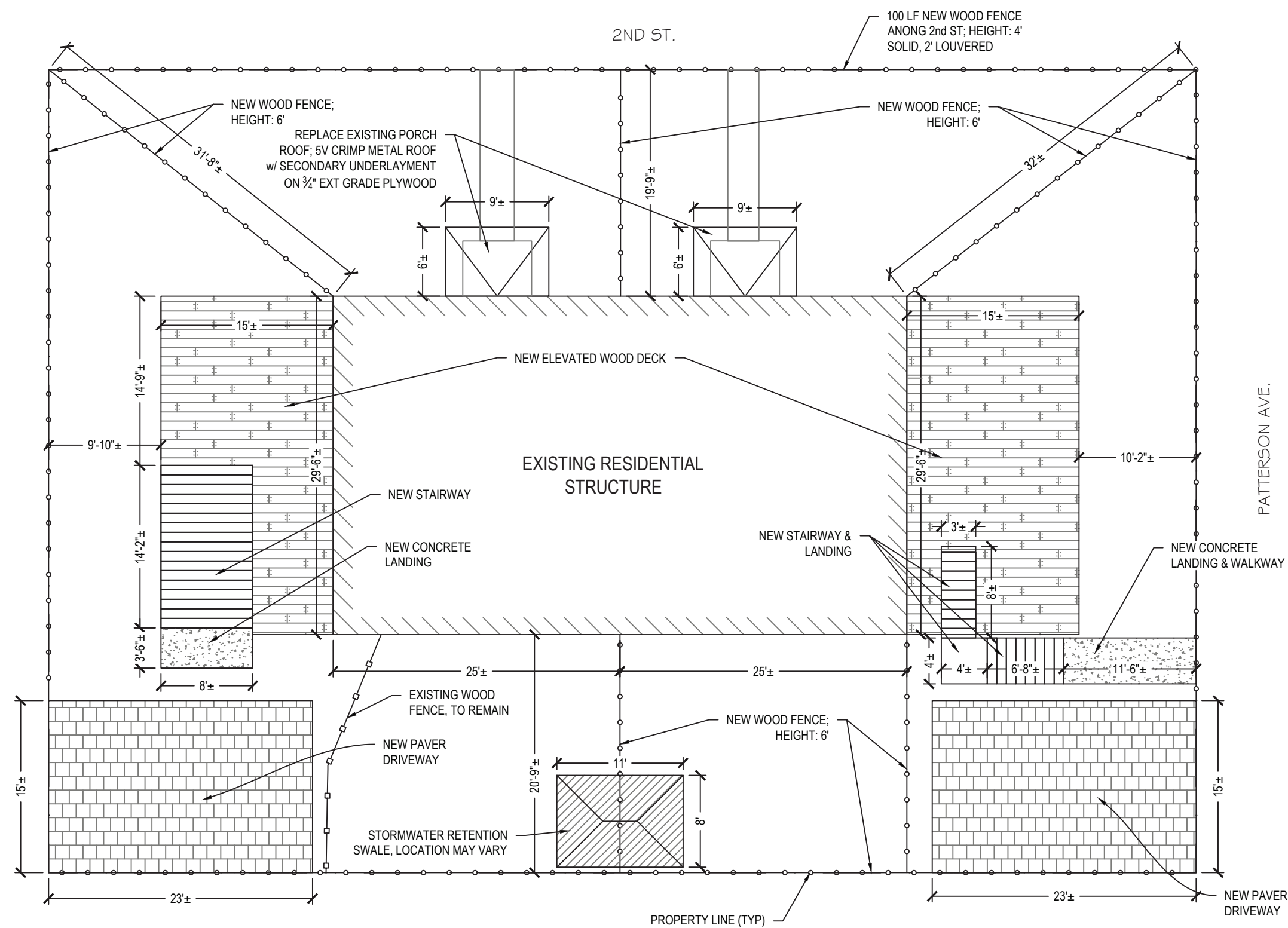
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1224 2nd STREET
 RENOVATION PROJECT
 1224 2nd ST.
 KEY WEST, FL 33040

SHEET TITLE:
 PROPOSED FRAMING PLAN

SHEET NUMBER:
S-2.0
 SHEET 3 OF 6

DATE:
 NOVEMBER 17, 2023



1 STORMWATER RETENTION SWALE DETAIL
 S-2.0 SCALE: N.T.S.

PROPOSED SITE PLAN
 SCALE: 1" = 10'

SITE DRAINAGE CALCULATIONS	
TOTAL LOT SIZE	7,000 SF
TOTAL EXISTING IMPERVIOUS COVERAGE	1,938 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE	2,474 SF
NEW IMPERVIOUS AREA	PROPOSED - EXISTING = 516 SF
CUBIC FT REQUIRED	516 SF x 0.083 = 42.83 CF
CUBIC FT PROVIDED	44 CF

SITE DATA CALCULATIONS			
	EXISTING	PROPOSED	VARIANCE REQ'D?
PROPERTY AREA	7,000 SF	7,000 SF	
BUILDING COVERAGE	1,958 SF	2,474 SF	NO
OPEN SPACE RATIO	0.72	0.65	
PERCENT BLDG COVERAGE	28%	35% (35% MAX)	NO
IMPERVIOUS AREA	1,938 SF	2,416 SF	
PERCENT IMPERVIOUS AREA	28%	35% (50% MAX)	NO

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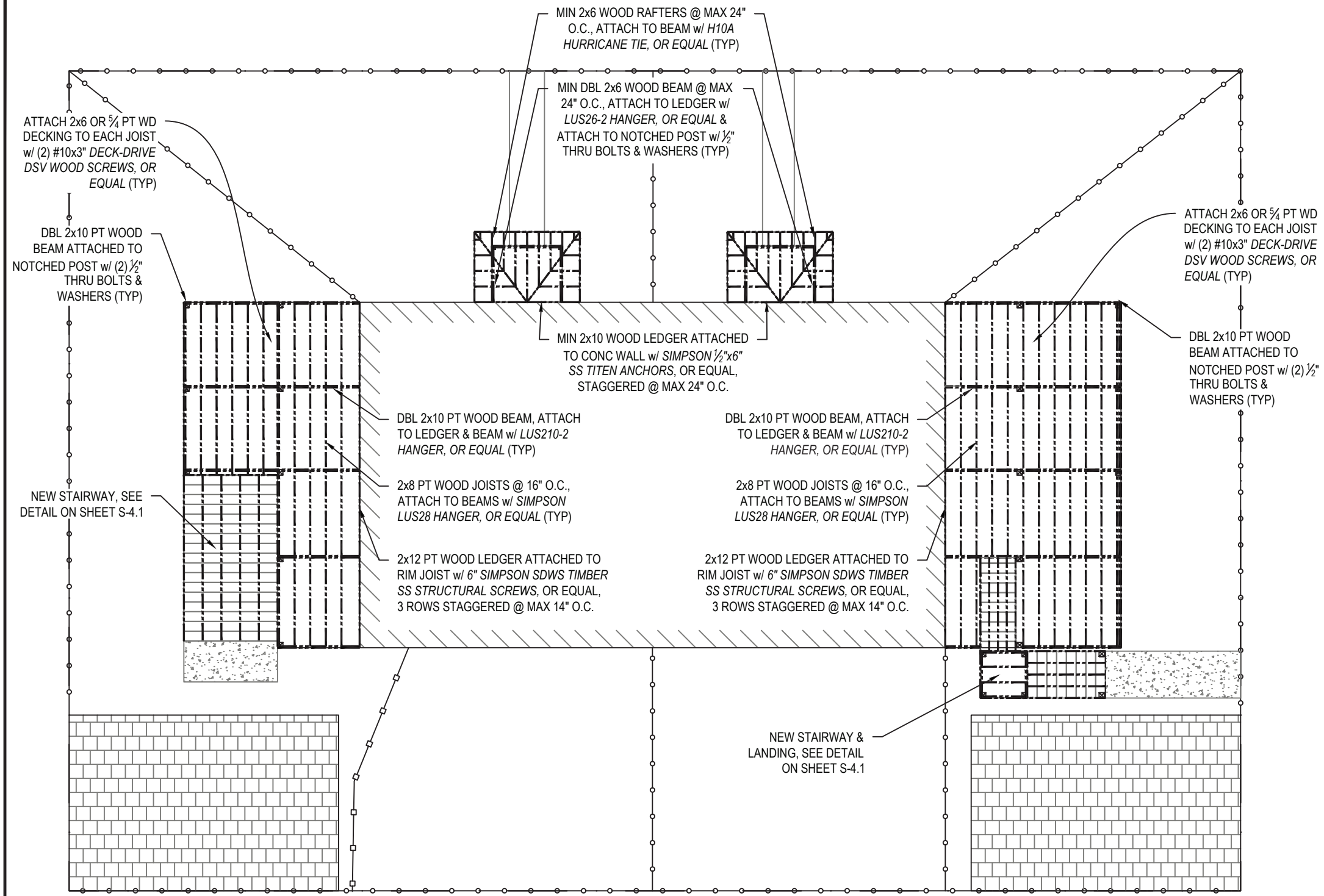
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**1224 2nd STREET
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SHEET TITLE:
 PROPOSED FRAMING PLAN

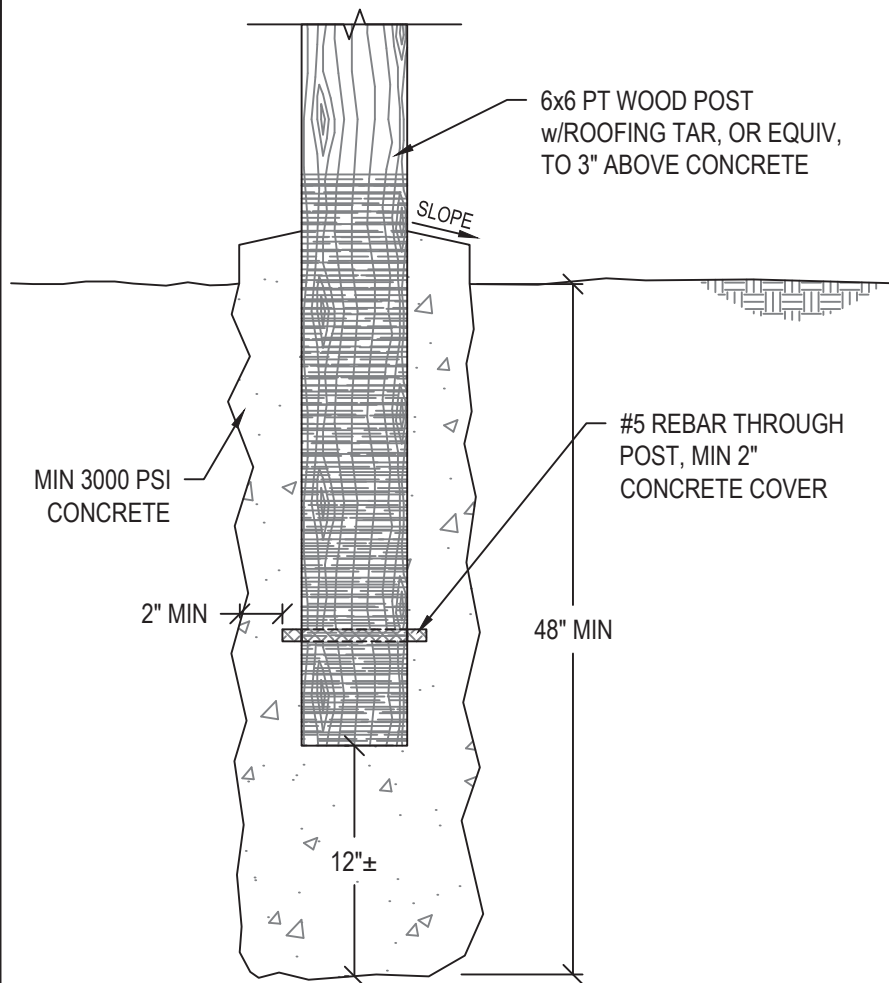
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S-3.0
 SHEET 4 OF 6

DATE:
 NOVEMBER 17, 2023

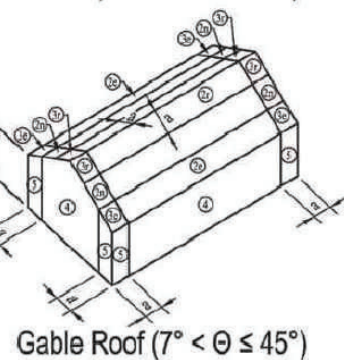
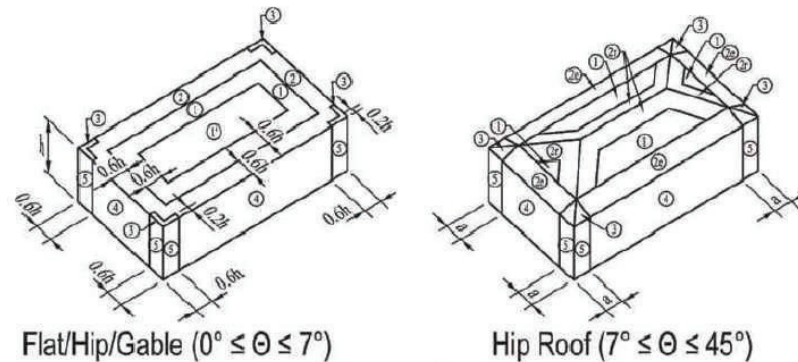
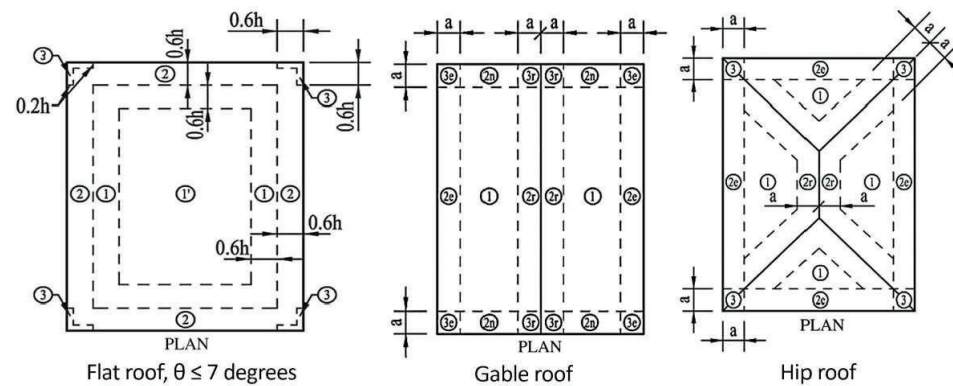


PROPOSED FRAMING PLAN
 SCALE: 1" = 10'

- NOTES:**
- DIMENSIONS SHOWN HEREIN ARE APPROXIMATE; CONTRACTOR TO MEASURE AND VERIFY PROPER DIMENSIONS PRIOR TO CONSTRUCTION.
 - HURRICANE STRAPS, TIES, AND CONNECTORS ARE BY SIMPSON STRONG-TIE, U.N.O., AND MAY BE SUBSTITUTED WITH ENGINEER APPROVED EQUAL.
 - ALL PRODUCTS SPECIFIED IN THESE PLANS SHALL BE INSTALLED OR APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - EXACT LOCATION OF PIERS & FOOTINGS SHOULD BE VERIFIED AND ADJUSTED AS NECESSARY TO ALIGN WITH THE EXISTING BEAM LOCATIONS.
 - ALL HARDWARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL PT POSTS EMBEDDED IN CONCRETE SHALL BE TREATED WITH A BRUSHABLE ROOFING TAR, OR SIMILAR, FROM POST BOTTOM UP TO MIN. 3" ABOVE CONCRETE.
 - CONCRETE FOOTERS SHALL BE SLOPED AT THE TOP TO ENSURE PROPER WATER DRAINAGE.
 - CONCRETE SHALL BE VIBRATED OR RODDED TO REMOVE AIR VOIDS.



2 POST FOUNDATION DETAIL
S-3.0 SCALE: N.T.S.



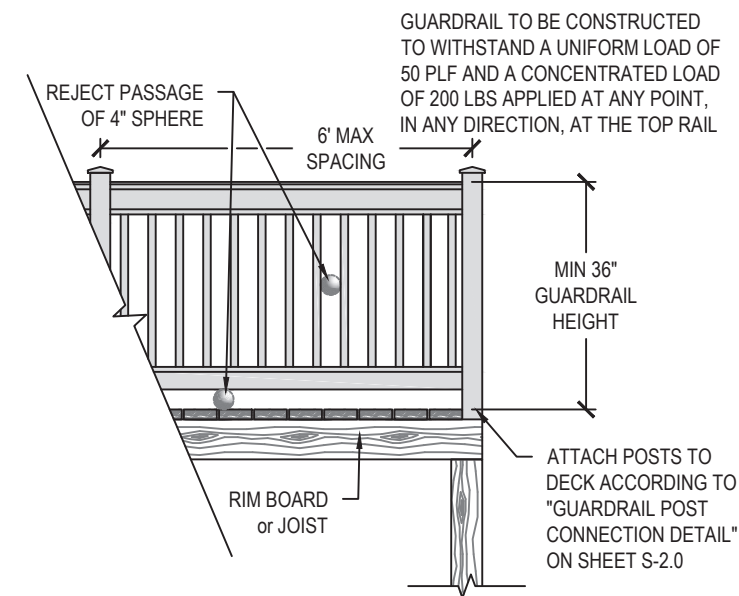
3 ASCE 7-16 WINDLOAD DIAGRAMS
S-3.0 SCALE: N.T.S.

ROOF CONSTRUCTION NOTES:

- DIMENSIONS SHOWN HEREIN ARE APPROXIMATE; CONTRACTOR TO MEASURE AND VERIFY PROPER DIMENSIONS PRIOR TO CONSTRUCTION.
- ROOF SHEATHING SHALL BE FASTENED WITH MINIMUM 8d RING OR SCREW SHANK (0.131" x 2 1/2") NAILS AS FOLLOWS:
 - ROOF ZONE 1 (FIELD) - AT 4" O.C. ALONG PANEL ENDS, AND AT 6" O.C. IN THE FIELD ALONG INTERMEDIATE FRAMING SUPPORTS.
 - ROOF ZONES 2 & 3 (PERIMETER ZONES & CORNER ZONES) - AT 3" O.C. ALONG PANEL ENDS, AND AT 3" O.C. IN THE FIELD ALONG INTERMEDIATE FRAMING SUPPORTS.
- HURRICANE STRAPS, TIES, AND CONNECTORS ARE BY SIMPSON STRONG-TIE, U.N.O., AND MAY BE SUBSTITUTED WITH ENGINEER APPROVED EQUAL.
- ALL PRODUCTS SPECIFIED IN THESE PLANS SHALL BE INSTALLED OR APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ANY EXISTING ROOF PANELS OR PANEL SECTIONS REMOVED SHALL NOT BE REUSED. NEW PANELING SHALL BE USED AND FASTENED ACCORDING TO FASTENER SCHEDULE FOR NEW CONSTRUCTION.
- ROOF OVERHANGS MUST BE SUPPORTED BY CONTINUOUS SHEATHING FASTENED TO COMMON RAFTERS/TRUSSES.

Notes:

- Pressures shown are applied normal to the surface, for exposure B, at h=30 ft (9.1m). Adjust to other conditions using ASCE 7-16 Equation 30.4-1.
- Plus and minus signs signify pressures acting toward and away from the surfaces, respectively.
- For hip roofs with $\theta \leq 25^\circ$, Zone 3 shall be treated as Zone 2e and 2r.
- For effective wind areas between those given, value may be interpolated, otherwise use the value associated with the lower effective wind area.
- Notation:
 - a: 10 percent of least horizontal dimension or 0.4h, whichever is smaller, but not less than either 4% of least horizontal dimension or 3 ft (0.9 m). If an overhang exists, the edge distance shall be measured from the outside edge of the overhang. The horizontal dimensions used to compute the edge distance shall not include any overhang distances.
 - B: Horizontal dimension of building measured normal to wind direction, in feet (meters).
 - h: Mean roof height, in feet (meters), except that eave height shall be used for $\theta < 10^\circ$.
 - θ : Angle of plane of roof from horizontal, in degrees.
 - L: Horizontal dimension of building, measured in along-wind direction, in feet (meters).



4 TYPICAL GUARDRAIL DETAIL
S-3.0 SCALE: N.T.S.

**ROOF WIND PRESSURE CALCULATIONS
HIP ROOF**

BASIC WIND SPEED	139.4 (180 ult)
ROOF SLOPE	3:12
OCCUPANCY	II
EXPOSURE CATEGORY	D
MEAN ROOF HEIGHT	10 ft
EFFECTIVE WIND AREA	10 sf
DIMENSION "a"	3.0 ft
ROOF ZONE 1	38.1 PSF
	-85.8 PSF
ROOF ZONE 2e	38.1 PSF
	-120.5 PSF
ROOF ZONE 2r	38.1 PSF
	111.8 PSF
ROOF ZONE 3	38.1 PSF
	-120.5 PSF

NOTES:

- ASCE 7-16 WINDLOAD PRESSURE REQUIREMENTS ARE SHOWN IN THE PLAN CALLOUTS AND TABLE AS "MAX POSITIVE PRESSURE (+) / MAX NEGATIVE PRESSURE (-)"; ALL PRESSURES ARE IN PSF.
- WIND PRESSURE CALCULATIONS AND IMPACT RATINGS ARE BASED ON ASCE 7-16 / ASTM E 1996-17, ZONE 4 U.N.O., 180 MPH (3-SEC GUST), EXPOSURE D.

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PROJECT NO: 23-03.2
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DRAWN BY: SLIM
REVIEWED BY: SLIM
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SHEET SIZE: ANSIB (11x17)

1224 2nd STREET
RENOVATION PROJECT

1224 2nd ST.
KEY WEST, FL 33040

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: S-4.0
SHEET 5 OF 6

DATE: NOVEMBER 17, 2023

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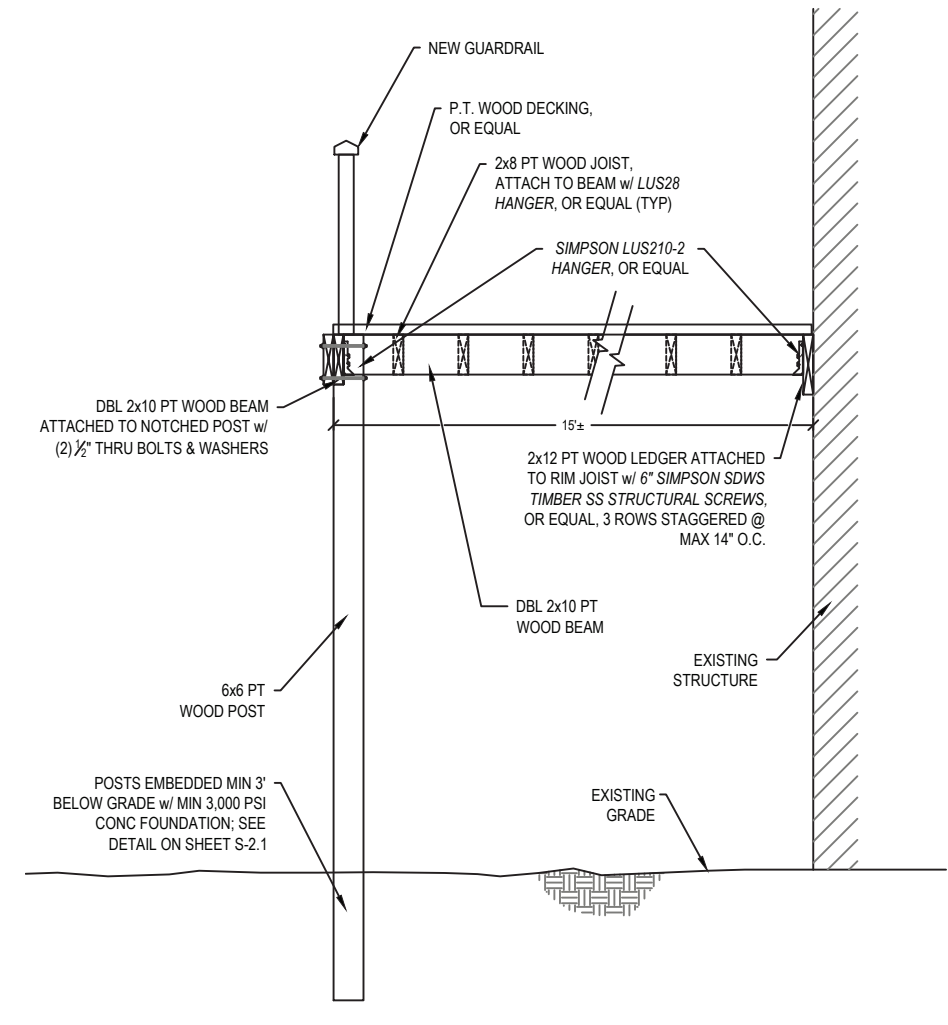
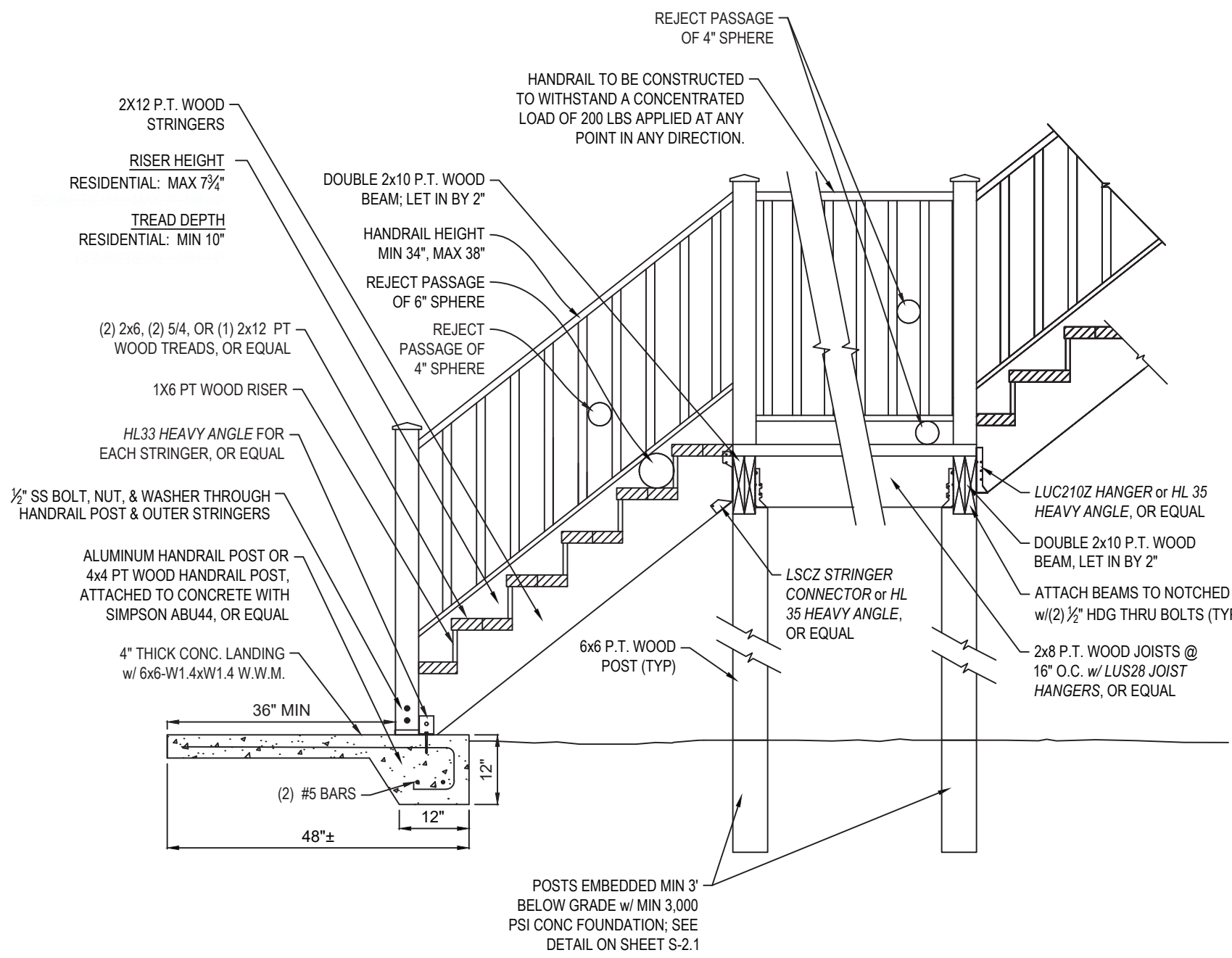
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**1224 2nd STREET
 RENOVATION PROJECT**
 1224 2nd ST.
 KEY WEST, FL 33040

SHEET TITLE:
 CONSTRUCTION DETAILS (CONT'D)

SHEET NUMBER:
S-4.1
 SHEET 6 OF 6

DATE:
 NOVEMBER 17, 2023



NOTES:

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