

Staff Report

4. Demolition of seating area in front of the store at Front Street- #501 Front Street-
FMH Builders Inc. (H12-01-1234)

This staff report is for the second reading for a Certificate of Appropriateness for the demolition of a non-historic seating area in front of the store. The Commission passed the first reading for the demolition at the August 15, 2012 meeting.

Staff understands that the request for this demolition should be reviewed using the demolition criteria of Chapter 102 Section 218 of the LDR's. The criteria state the following;

(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the criteria of section 102-125(1) through (9).

The Code also establishes, under Sec. 102-1, Definitions, that a historic building or structure means; any building or structure which, in whole or in any structural part, was built 50 or more years prior to the current date, and which is located in the historic zoning districts of the city or has been designated as a historic building and/or structure.

It is staff's opinion that the Commission can consider the request for demolition as it is consistent with the criteria for demolitions in the historic district, Sec. 102-218 of the Land Development Regulations. The proposed demolition will be for a non-historic seating structure that does not contribute to the integrity of the historic building.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # HC 12-01-1234

OWNER'S NAME: CONCH TOUR TRAIN INC DATE: 7-20-12

OWNER'S ADDRESS: PO Box 1237 KW, FL-33040 PHONE #: 294-3225

APPLICANT'S NAME: FMH Builders, INC PHONE #: 879-9735

APPLICANT'S ADDRESS: PO Box 4801 KW, FL-33041

ADDRESS OF CONSTRUCTION: 501 FRONT ST # OF UNITS:

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: Demolition of seating area in front of the store @ FRONT ST side

Chapter 837.06 F.S.-False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.



Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 7-20-12

Applicant's Signature: [Handwritten Signature]

Required Submittals

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved

8/15/12

Denied

Deferred

Reason for Deferral or Denial:

8/15/12 approved first reading demolition permit

HARC Comments:

Non-contributing
Ordinance for demolition

Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: 8/15/12

Signature: 

Historic Architectural
Review Commission



City Of Key West
Planning Department
3140 Flagler Avenue
Key West, Florida 33040

August 17, 2012

Mr. Frank Herrada
FMH Builders Inc.
PO Box 4801
Key West, Florida 33041

**RE: DEMOLITION OF SEATING AREA IN FRONT OF THE STORE
AT FRONT STREET
FOR: #501 FRONT STREET - HARC APPLICATION # H12-01-1234
KEY WEST HISTORIC DISTRICT**

Dear Mr. Herrada:

This letter is to notify you that the Key West Historic Architectural Review Commission **approved** the first reading for demolition for the above mentioned project on the public hearing held on Wednesday, August 15, 2012. The Commissioners motioned to approve the project based on the submitted documents.

Because this project includes a demolition request, a second reading will take place on Tuesday, August 28, starting at 5:30 pm at Old City Hall, 510 Greene Street. Should you have any questions, please do not hesitate to contact me at your convenience.

On behalf of the Historic Architectural Review Commission of our City, thank you for your interest in the preservation of Key West's historic heritage.

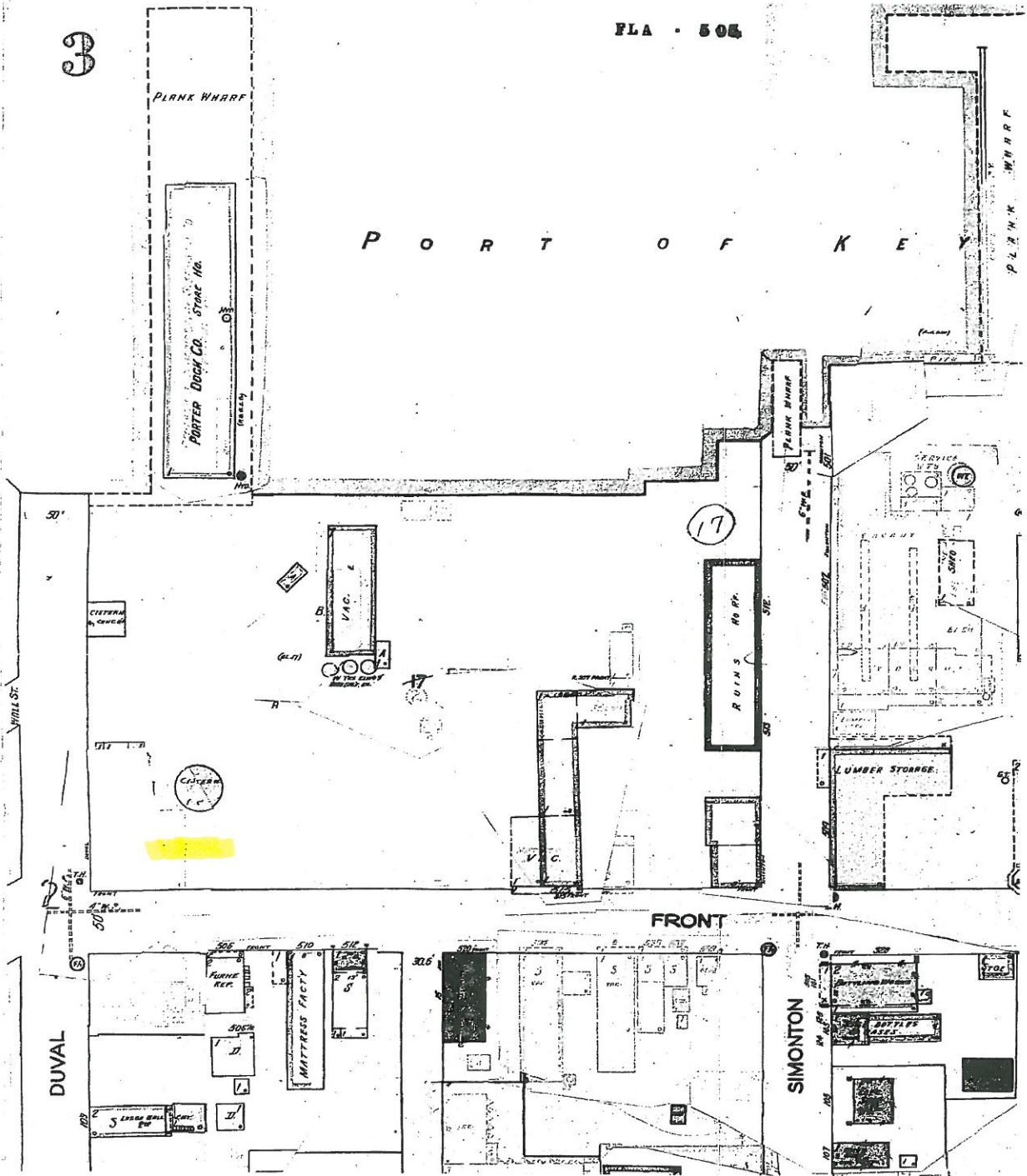
Sincerely:

A handwritten signature in black ink, appearing to read "Ginny Haller", written in a cursive style.

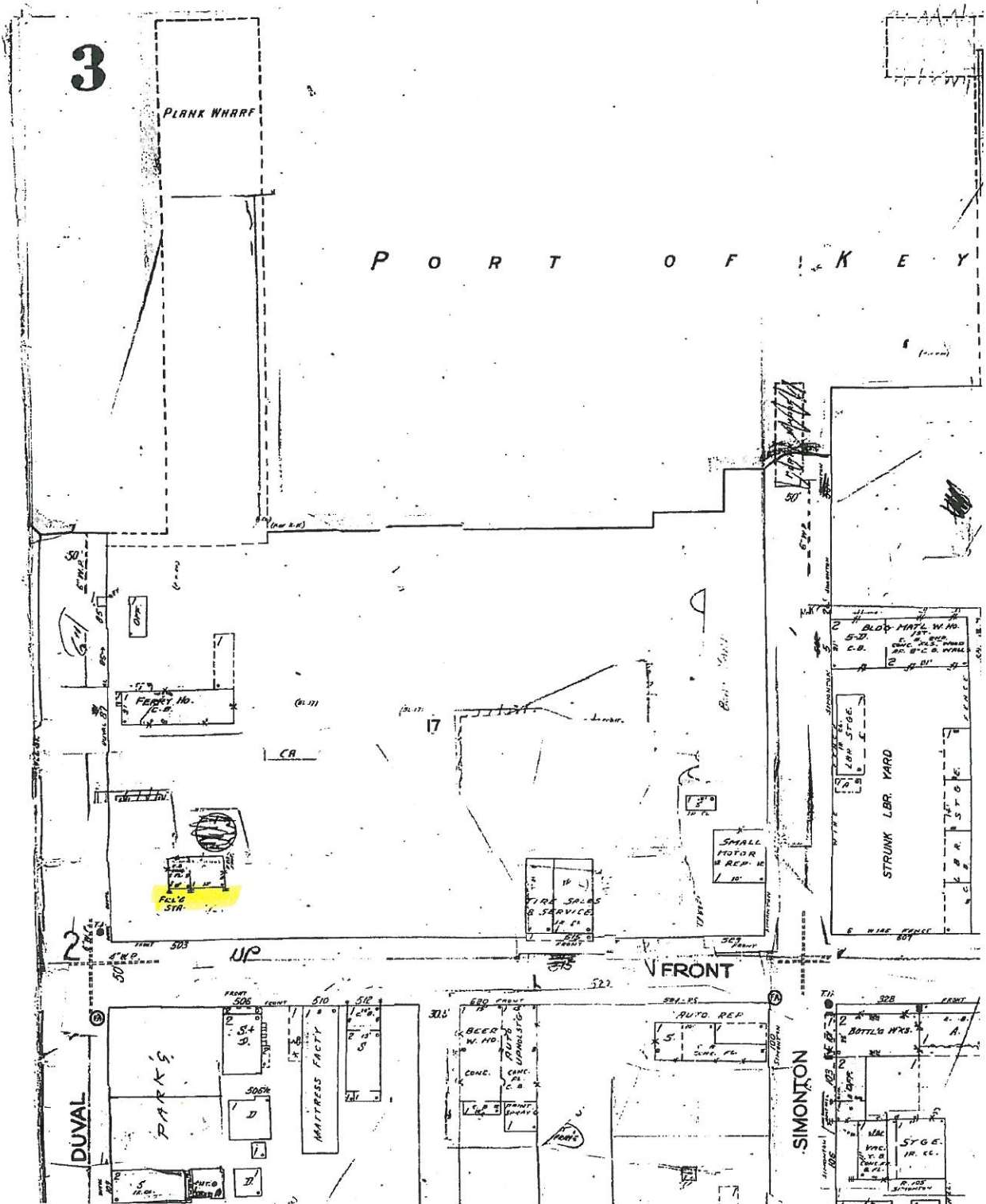
Ginny Haller
Planner
City of Key West
3140 Flagler Avenue
Key West, Florida 33040

305.809.3725

Sanborn Maps



#501 Front Street Sanborn map 1948



#501 Front Street Sanborn map 1962

Project Photos

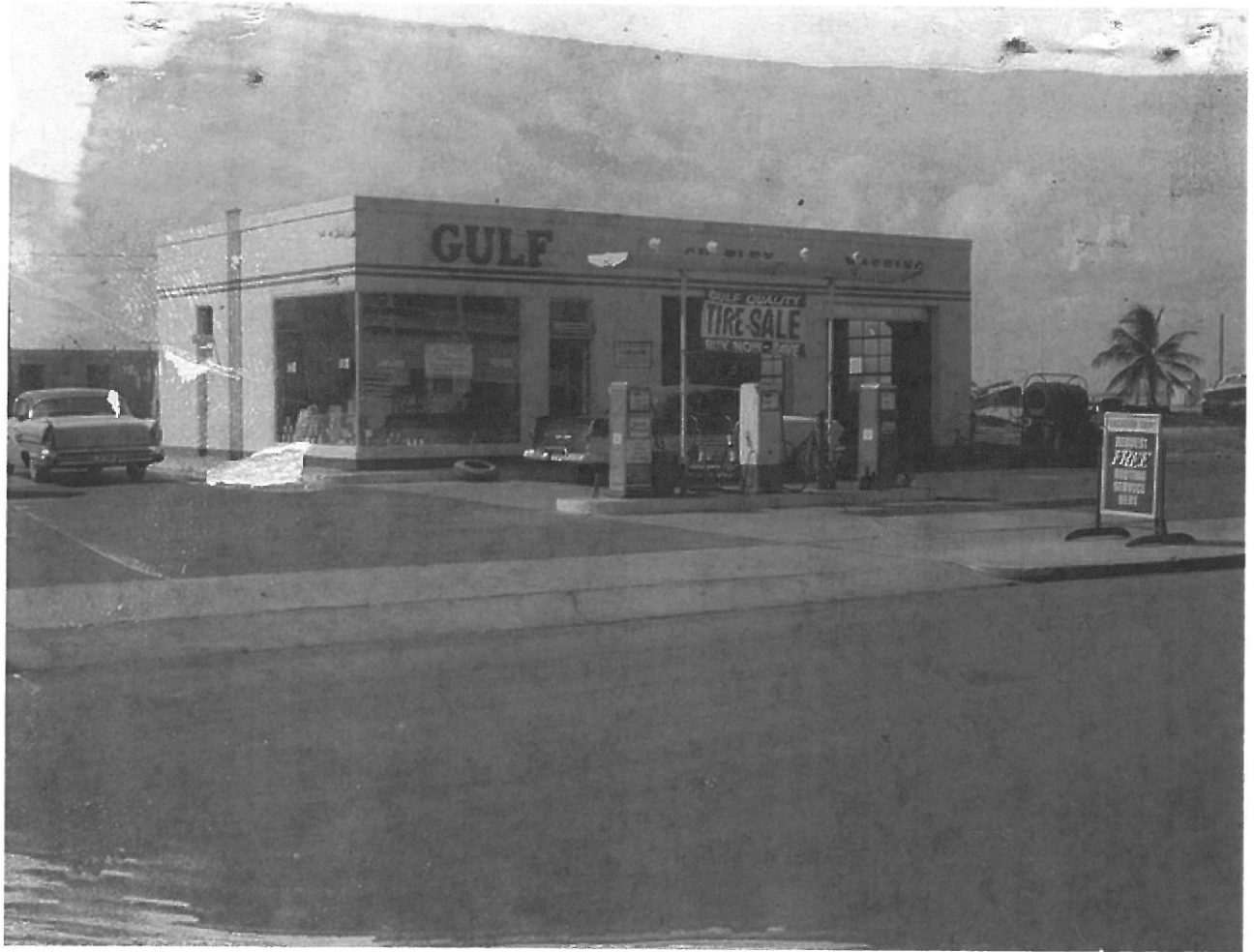


Photo taken by Property Appraiser's office c1965; 501 Front St.; Gulf Service Station. Monroe County Library

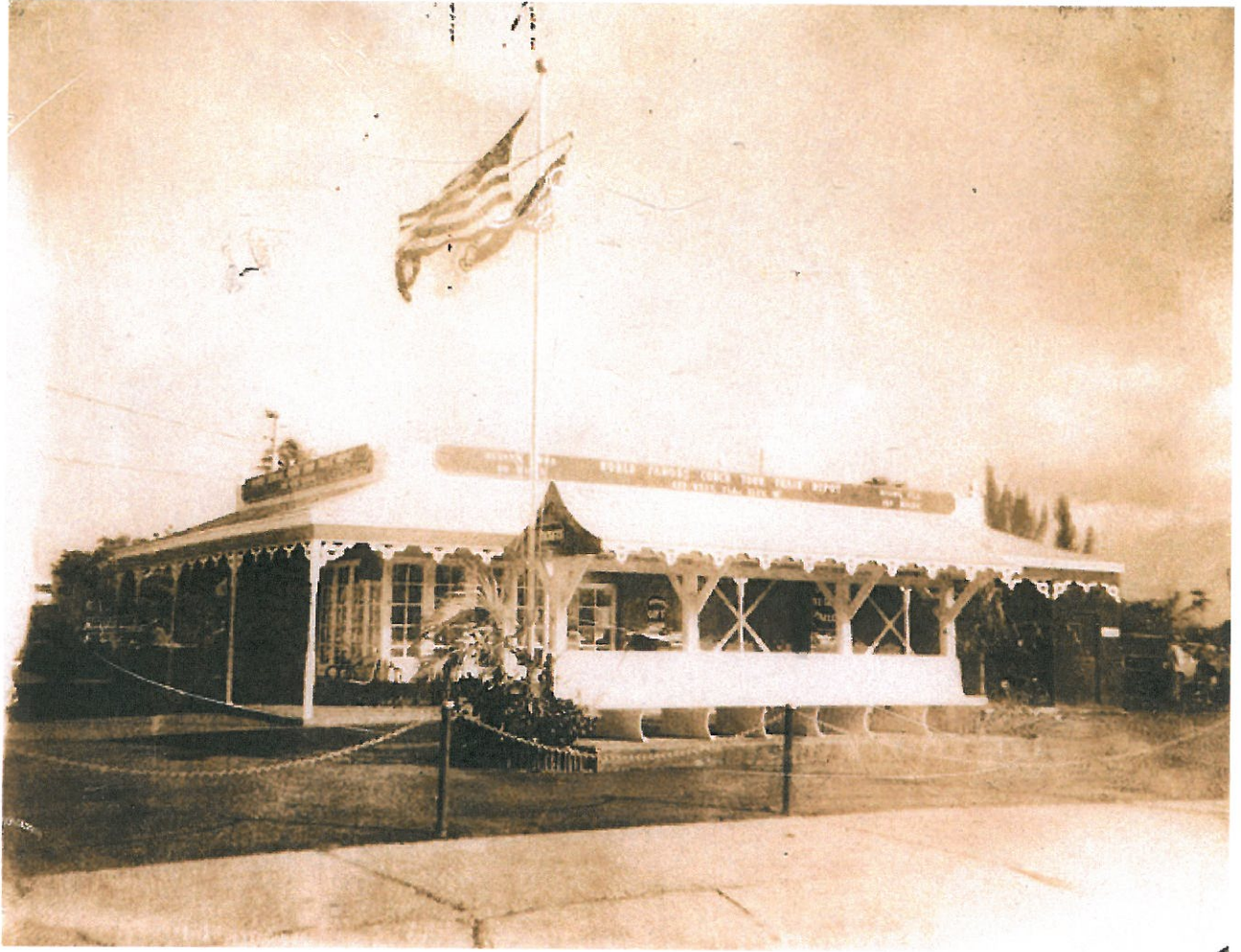


Photo taken by Property Appraiser's office c1975; 501 Front St.; Conch Train Station, Monroe County Library

503 Front Street



Exit Street View



© 2012 Google
© 2012 Google

Google earth

Report a problem

24°33'39.40" N 81°48'22.62" W elev 31 ft

Eye alt 9 ft



© 2012 Google

Google earth

imagery Date: 12/27/2010 1994

24° 39' 37.82" N 81° 48' 21.41" W elev. 1 ft

Eye alt. 379 ft

Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 15, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

DEMOLITION OF SEATING AREA IN FRONT OF THE STORE AT FRONT STREET

#501 FRONT STREET

Applicant- FMH BUILDERS INC - Application Number H12-01-1234

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at www.keywestcity.com .

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

**Property Appraiser
Information**

Karl D. Borglum Property Appraiser Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card - Map portion under construction.

Website tested on
Internet Explorer.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1000108 Parcel ID: 00000100-000000

Ownership Details

Mailing Address:
CONCH TOUR TRAIN INC
PO BOX 1237
KEY WEST, FL 33041-1237

Property Details

PC Code: 35 - TOURIST ATTRACTIONS (PC/LIST)
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 501-503 FRONT ST KEY WEST
Legal Description: KW PT LOTS 4 & 5 SQR 2 125 X 150 FT DUVAL & FRONT ST G17-309/12 G17-523/26 H3-300 OR593-905/09 OR612-803/04 OR618-287/88 OR593-905/09 OR880-1330/34 OR892-1800/01Q/C





Show Parcel Map that can launch map - Must have Adobe Flash Player 10.3 or higher

Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	150	125	18,750.00 SF

Building Summary

Number of Buildings: 2
 Number of Commercial Buildings: 2
 Total Living Area: 6988
 Year Built: 1975

Building 1 Details

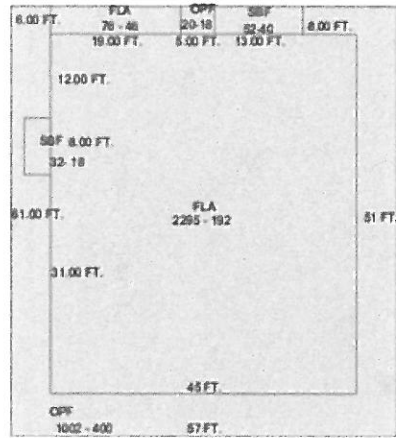
Building Type	Condition G	Quality Grade 400
Effective Age 16	Perimeter 266	Depreciation % 19
Year Built 1975	Special Arch 0	Grnd Floor Area 2,420
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 9	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1988					2,295
2	OPF		1	1988					1,002
3	SBF		1	1988					52
4	SBF		1	2000					32
5	OPF		1	1988					20
6	FLA		1	2000		Y			76
7	FLA		1	1988					49
8	OPF		1	1988		Y			153

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
		1 STY STORE-A	100	Y	Y
		TOURIST ATTRAC-B-	100	N	N
	67	1 STY STORE-A	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
16	WD OVER CONC BL	100

Building 2 Details

Building Type
Effective Age 12
Year Built 1988
Functional Obs 0

Condition G
Perimeter 482
Special Arch 0
Economic Obs 0

Quality Grade 400
Depreciation % 15
Grnd Floor Area 4,568

Inclusions:

Roof Type
Heat 1
Heat Src 1

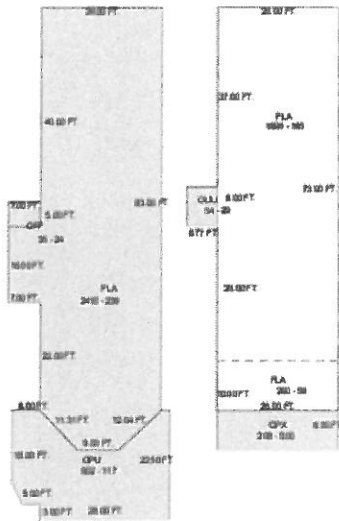
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 13

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1988		Y			2,410
2	OPX		1	1988					208
3	FLA		1	1988					1,898
4	OOU		1	1988					54
5	FLA		1	2005		Y			260
7	OPF		1	1988					35
8	OPU		1	1988					602

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
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	1 STY STORE-A	100	Y	Y
	1 STY STORE-A	100	Y	Y
72	1 STY STORE-A	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
17	CUSTOM	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AP2:ASPHALT PAVING	11,529 SF	0	0	1987	1988	2	25
2	TK2:TIKI	392 SF	0	0	1979	1980	3	40
3	TK2:TIKI	256 SF	16	16	1979	1980	3	40

Appraiser Notes

BLDGH #1 CONCH TOUR TRAIN, BLDG #2 = RON JON'S
TPP8532482 & 8532784 & 8907737
CITY ENGINEERING DEPT HAS ASSIGNED THE PHYSICAL ADDRESS FOR THE RON JON SURF SHOP (PREVIOUSLY BURGER KING) THE ADDRESS OF 503 FRONT ST.

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes	
10-1853	06/08/2010	12/10/2010	6,500	Commercial	PAINT EXTERIOR OF THE BUILDING. PAINT EXTERIOR OF TICKET BOOTH. REPLACE 375SF OF DUTCH LAP SIDING WITH HARDIE BOARD ON TICKET BOOTH. REPLACE 75 SF OF DUTCH LAP SIDING ON MAIN BUILDING CHANGE COLOR FROM COTTAGE RED TO FLAGLER YELLOW WITH WHITE TRIM.	
14	05-2237	06/08/2005	12/31/2005	1,200	Commercial	INSTALL 120V CIRCUIT FOR AIR CURTAIN
10	02-0018	01/30/2002	08/30/2002	8,280	Commercial	ELECTRIC
	09-1223	04/29/2009	02/24/2010	5,258	Commercial	INSTALL 500 SF ADVANCED SINGLE PLY ROOF
9	02-0018	01/24/2002	08/30/2002	6,780	Commercial	PLUMBING
22	05-5369	12/08/2005	12/31/2005	21,000	Commercial	REPLACE 30 SQS OF V-CRIMP ROOFING
21	05-4488	10/11/2005	12/31/2005	3,500	Commercial	REPLACE 2 WATER CLOSETS
8	02-0018	01/22/2002	08/30/2002	6,780	Commercial	HANDICAP BATHROOM
6	0000877	04/12/2000	07/22/2000	1,700	Commercial	SIGNS
	06-3579	06/14/2006	08/11/2006	2,500	Commercial	REPLACE 7 LIGHT FIXTURES, 2 FLOOD LIGHTS
19	05-3552	10/04/2005	12/31/2005	15,000	Commercial	ENCLOSE 2ND FLOOR PORCH WITH HARDI PLANK
20	05-4414	10/04/2005	12/31/2005	60,000	Commercial	DEMO INTERIOR & REBUILD
	06-4580	08/09/2006	12/11/2006	8,500	Commercial	REPLACE ROTTEN COLUMNS
18	9802733	11/13/1998	11/05/1998	1,000	Commercial	REPLACE BANK SIGN
3	9903150	09/08/1999	11/04/1999	3,800	Commercial	CHANGE-OUT A/C

5	0000742	04/05/2000	07/22/2000	2,541	Commercial	PAINT ROOFING
	06-2913	05/11/2006	08/09/2006	12,000	Commercial	REMOVE ASPHALT SHINGLES & REPLACE METAL ROOFING
2	96-4020	10/01/1996	12/01/1996	44,000	Commercial	REMODELING
17	9802345	08/04/1998	11/05/1998	2,000	Commercial	BRICK WORK TICKET BOOTH
4	0000522	03/01/2000	07/22/2000	1,200	Commercial	CHANGEOUT ATM PANEL
23	05-5248	11/29/2005	12/31/2005	125,000	Commercial	REVISION TO ORIGINAL PLANS
24	05-5808	12/15/2005	12/31/2005	69,900	Commercial	A/C MECHANICAL WORK
25	05-5683	12/13/2005	12/31/2005	75,000	Commercial	INSIDE WIRING
	06-0026	01/04/2006	12/31/2005	8,000	Commercial	HURRICANE REPAIRS REPLACE THREE CONDENSERS UNITS
12	02-0686	03/21/2002	08/30/2002	2,350	Commercial	CHANGE 3-TON A/C
	09-00004456	01/06/2010	02/24/2010	2,100	Commercial	REMOVE AND REPLACE 70 SF OF EXTERIOR FLOOR TILE AND TOUCH UP PAINT TO MATCH
	09-00004214	01/06/2010	02/24/2010	2,200	Commercial	REMOVE AND REPLACE TWO ROTTED 6"X 6" COLUMNS
	08-1347	04/29/2008	02/24/2010	2,400	Commercial	ROOFING

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	999,707	12,204	3,916,913	4,928,824	4,907,478	0	4,928,824
2010	1,016,465	12,204	3,432,675	4,461,344	4,461,344	0	4,461,344
2009	1,039,236	12,204	5,189,725	6,241,165	5,255,803	0	6,241,165
2008	1,039,236	12,204	3,726,563	4,778,003	4,778,003	0	4,778,003
2007	734,397	12,204	3,726,563	4,473,164	4,473,164	0	4,473,164
2006	734,397	12,204	2,625,000	3,371,601	3,371,601	0	3,371,601
2005	793,957	12,204	2,062,500	2,925,661	2,925,661	0	2,925,661
2004	780,132	12,204	1,875,000	2,882,925	2,882,925	0	2,882,925
2003	780,132	12,427	1,537,500	2,882,925	2,882,925	0	2,882,925
2002	796,248	13,500	1,537,500	2,882,925	2,882,925	0	2,882,925
2001	796,248	14,645	1,537,500	2,677,637	2,677,637	0	2,677,637
2000	796,248	8,646	1,162,500	2,608,498	2,608,498	0	2,608,498
1999	796,248	9,276	1,162,500	2,608,498	2,608,498	0	2,608,498
1998	575,125	9,865	1,162,500	1,640,856	1,640,856	0	1,640,856
1997	571,154	10,495	1,125,000	1,640,856	1,640,856	0	1,640,856
1996	470,412	11,085	1,125,000	1,276,593	1,276,593	0	1,276,593
1995	470,412	11,715	1,125,000	1,276,593	1,276,593	0	1,276,593
1994	470,412	12,304	1,125,000	1,276,593	1,276,593	0	1,276,593
1993	470,412	12,935	1,125,000	1,234,662	1,234,662	0	1,234,662
1992	470,412	13,524	1,125,000	1,203,404	1,203,404	0	1,203,404

1991	433,573	14,154	1,125,000	1,203,404	1,203,404	0	1,203,404
1990	433,573	14,743	979,688	1,203,404	1,203,404	0	1,203,404
1989	433,573	15,374	975,000	1,355,677	1,355,677	0	1,355,677
1988	73,204	6,214	787,500	866,918	866,918	0	866,918
1987	72,223	6,214	675,000	753,437	753,437	0	753,437
1986	72,344	6,214	675,000	753,558	753,558	0	753,558
1985	71,235	6,214	675,000	752,449	752,449	0	752,449
1984	51,552	6,214	270,000	327,766	327,766	0	327,766
1983	44,843	6,214	230,580	281,637	281,637	0	281,637
1982	39,230	6,214	230,580	276,024	276,024	0	276,024

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/1/1983	880 / 1330	475,000	WD	U

This page has been visited 23,211 times.

Monroe County Property Appraiser
 Karl D. Borglum
 P.O. Box 1176
 Key West, FL 33041-1176