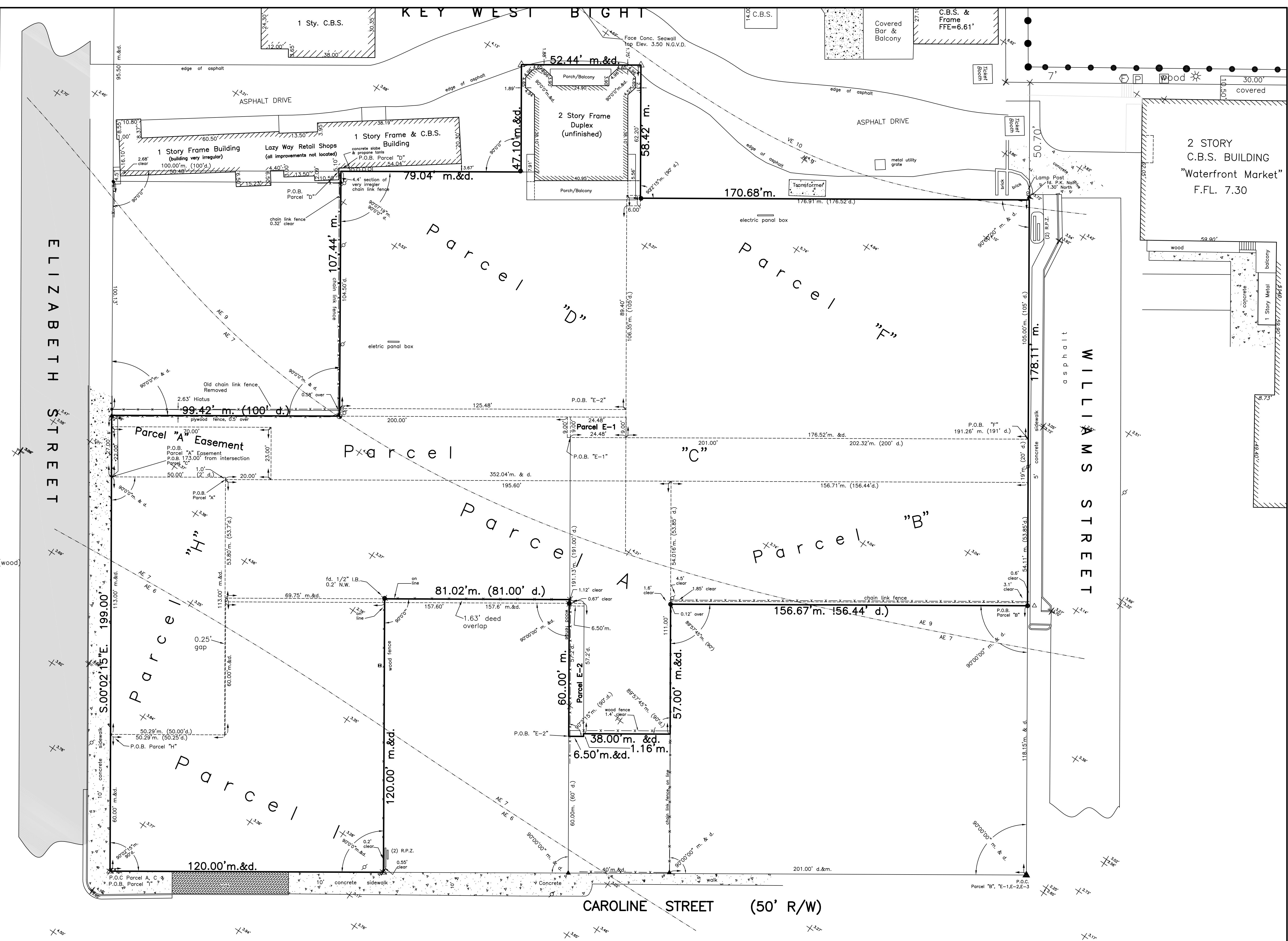


**SURVEYOR'S NOTES:**  
 North arrow based on assumed median  
 Reference Bearing: R/W Caroline Street  
 3.4 denotes existing elevation  
 Elevations based on N.G.V.D. 1929 Datum  
 Bench Mark No.: Basic Elevation: 14.324

**Monumentation:**  
 ● = set 1/2" Iron Pipe, P.L.S. No. 2749  
 ○ = Found 1/2" Iron Bar  
 ▲ = Set P.K. Nail, P.L.S. No. 2749

**Abbreviations:**  
 Sty. = Story  
 R/W = Right-of-Way  
 fd. = Found  
 p. = Plat  
 m. = Measured  
 d. = Deed  
 N.T.S. = Not to Scale  
 C. = Centerline  
 Elev. = Elevation  
 B.M. = Bench Mark  
 P.O.C. = Point of Commence  
 P.O.B. = Point of Beginning  
 P.B. = Plat Book  
 pg. = page  
 C.U.P. = Concrete Utility Pole  
 W.U.P. = Wood utility Pole  
 W.U.P. = Wood Utility Pole  
 with Guy wire  
 w.m. = Water Meter  
 Bal. = Balcony  
 Pl. = Planter  
 Hydt. = Fire Hydrant  
 F.W. = Fire Well  
 A/C = Air Conditioner  
 C.L.F. = Chain Link Fence  
 o/h = Overhead  
 u/g = Underground  
 F.F.L. = Finish Floor Elevation  
 Irr. = Irregular  
 conc. = concrete  
 I.P. = Iron Pipe  
 I.B. = Iron Bar  
 cov. d. = Covered  
 C.B. = Concrete Block  
 wd. = Wood  
 C.F. = Construction fence (wood)

Field Work performed on: 5/2/11



REVISIONS:		
No.	Date	Remarks

Sheet Description:  
**BOUNDARY SURVEY**

Project: **Key West Seaport Hotel  
 223 Elizabeth Street  
 Key West, FL 33040**

ISLAND SURVEYING INC.  
 ENGINEERS PLANNERS SURVEYORS  
 3152 Northside Drive  
 Suite 201  
 Key West, FL 33040  
 (305) 293-0466  
 Fax: (305) 293-0237  
 fmside1@islandsouth.net  
 L.B. No. 7700

Date: 5/12/11  
 Designed: FHH  
 Drawn: FHH  
 Checked: FHH  
 Job. No. 11-193  
 Sheet No. 1 of 2

**LEGAL DESCRIPTION:**

**PARCEL A**

On the Island of Key West, Monroe County, State of Florida, being known as Part of Square Eleven (11), more particularly described as follows:

Commencing at the Southerly corner of Square Eleven (11) where Caroline and Elizabeth Streets intersect and proceed along the Northeastly side of Elizabeth Street in a Northwesterly direction a distance of One Hundred Seventy Three (173) feet to a point proceed thence at right angles in a Northeastly direction Fifty (50) feet; thence at right angles in a Southeastly direction One (1) foot to the POINT OF BEGINNING; from the Point of Beginning, proceed at right angles in a Northeastly direction One Hundred Ninety five and Six tenths (195.6) feet; thence at right angles in a Southeastly direction One Hundred Eleven (111) feet; thence at right angles in a Southwesterly direction Thirty eight (38) feet; thence at right angles in a Northwesterly direction Fifty seven and two tenths (57.2) feet; thence at right angles in a Southwesterly direction One hundred fifty seven and six tenths (157.6) feet; thence at right angles in a Northwesterly direction fifty three and seven tenths (53.7) feet to the POINT OF BEGINNING. This parcel is together with an easement of ingress and egress over the following described property:

Commencing at the Southerly corner of Square eleven (11), at the intersection of Caroline Street and Elizabeth Street according to Whitehead's Map of Key West, Monroe County, Florida; thence in a Northwesterly direction along the Northeastly right of way line of Elisabeth Street, One hundred seventy three (173) feet to the POINT OF BEGINNING.; run thence at right angles in a Northeastly direction, fifty (50) feet; thence at right angles n a Southeastly direction, one (1) foot; thence at right angles in a Northeastly direction, twenty (20) feet; thence at right angles in a Northwesterly direction, twenty-three (23) feet; thence at right angles in a Southwesterly direction, seventy (70) feet; thence at right angles along Elizabeth Street, twenty-two feet to the POINT OF BEGINNING.

**PARCEL B:**

On the Island of Key West and known on William A. Whitehead's Map delineated in February, A.D. 1829, as a parcel of land in Square Eleven (11) more particularly described as follows: Commencing at the Northwesterly corner of the intersection of Caroline and William Streets move Northwesterly a distance of 118.15 feet to the POINT OR PLACE OF BEGINNING. Thence at right angles in a Southwesterly direction a distance of 156.44 feet; thence at right angles in a Northwesterly direction a distance of 53.85 feet; thence at right angles in a Northeastly direction a distance of 156.44 feet; thence at right angles in a Southeastly direction along William Street a distance for 53.85 feet to the POINT OR PLACE OF BEGINNING. on William Street.

**PARCEL C**

On the Island of Key West and known on William A. Whitehead's Map delineated in February, A.D. 1829, as a parcel of land in Square Eleven (11) more particularly described as follows: Commencing at the Northwesterly corner of the intersection of Caroline and Elizabeth Streets move Northwesterly along Elizabeth Street a distance of 173 feet to the POINT OF BEGINNING.. Thence continue in a Northwesterly direction along Elizabeth Street a distance of 27 feet to a point; thence at right angles in a Northeastly direction parallel to Caroline Street a distance of 200 feet to a point; thence at right angles in a Southeastly direction a distance of 9 feet to a point; thence at right angles in a Northeastly direction a distance of 200 feet to a point on the Westerly right of way of William Street; thence at right angles in a Southeastly direction along the Westerly boundary line of William Street a distance of 20 feet to a point; thence at right angles in a Southwesterly direction parallel to Caroline Street a distance of 352.04 feet to a point on the property line owned by Veterans of Foreign Wars; thence at right angles in a Northwesterly direction a distance of 2 feet to a point; thence at right angles in a Southwesterly direction a distance of 50 feet to the POINT OF BEGINNING.

**Parcel D**

On the Island of Key West and is part of Square 11 according to William A. Whitehead's Map of said Island delineated in 1829 and is more particularly described as follows: From the intersection of the Southeastly line of Green Street and Northeastly line of Elizabeth Street go Southeastly along the Northeastly line of Elizabeth Street a distance of 95.50 feet to a point; thence at right angles and Northeastly a distance of 100 feet to a point; which point is the POINT OF BEGINNING.; thence continue Northeastly along the previously described course a distance of 79.04 feet to a point; thence at right angles and Northwesterly a distance of 47.10 feet to a point; thence at right angles and Northeastly a distance of 52.44 feet to a point; thence at right angles and Southeastly a distance of 62.20 feet to a point; thence at right angles and Southwesterly a distance of 6.00 feet to a point; thence at right angles and Southeastly a distance of 89.40 feet to a point; thence at right angles and Southwesterly a distance of 125.48 feet to a point; thence at right angles and Northeastly a distance of 104.50 feet back to the POINT OF BEGINNING..

**PARCEL E 1**

A parcel of land in the Island of Key west, Monroe County, Florida, said parcel being a Part of Lot 1 of Square 11 of Whitehead's Map of the said Island as delineated in February 1829 and the said parcel being more particularly described by metes and bounds as follows: Commence at the intersection of the Northwesterly right of way line (ROWL) of Caroline Street with the Southwesterly ROWL of William Street and run thence in a Southwesterly direction along the Northwesterly ROWL of the said Caroline Street for a distance of 201.00 feet; thence Northwesterly and at right angles for a distance of 191.00 feet to the POINT OF BEGINNING; of the parcel of land being described herein; thence continue Northwesterly along a prolongation of the preceding course for a distance of 9.00 feet; thence Northeastly and at right angles for a distance of 24.48 feet; thence Southeastly and at right angles for a distance of 9.00 feet; thence Southwesterly and at right angles for a distance of 24.48 feet back to the POINT OF BEGINNING.

**PARCEL E 2**

A parcel of land on the Island of Key West, Monroe County, Florida, said parcel being a Part of Lot 1 of Square 11 of Whitehead's Map of the said island as delineated in February 1829 and the said parcel being more particularly described by metes and bounds as follows: Commence at the intersection of the Northwesterly right-of-way line (ROWL) of Caroline Street with the Southwesterly (ROWL) of William Street and run thence in a Southerwesterly direction along the Northwesterly (ROWL) of the said Caroline street for a distance of 201.00 feet; thence Northwesterly and at right angles for a distance of 60.00 feet to the POINT OF BEGINNING of the parcel of land being described herein; thence continue Northwesterly along a prolongation of the preceding course for a distance of 57.20 feet; thence Northeastly and at right angles for a distance of 6.50 feet; thence Southwesterly and at right angles for a distance of 57.20 feet; thence Southwesterly and at right angles for a distance of 6.50 to the POINT OF BEGINNING. .

**PARCEL F**

On the Island of Key West and is part of Square 11 according to William A. Whitehead's map of said Island delineated in 1829 and is more particularly described as follows: From the intersection of the Northwesterly line of Caroline Street and the Southwesterly line of William Street go Northwesterly along the said Southwesterly line of William Street a distance of 191 feet to a point; which point is the POINT OF BEGINNING; thence continue Northwesterly along said Southwesterly line of William Street a distance of 105 feet to a point; thence Southwesterly and at right angles a distance of 176.52 feet to a point; thence Southeastly and at right angles a distance of 105 feet to a point; thence Northeastly and at right angles a distance of 176.52 feet back to the POINT OF BEGINNING.

**PARCEL H**

In the City of Key West and known as a part of Lot Four (4) in Square Eleven (11) according to Charles W. Tiff's map of said City, commencing at a point on Elizabeth Street adjoining the Northwest corner of land owned on the 25th day of August, A.D. 1900 by the Esate of J.P. Roberts and extending thence in a Northwesterly direction One Hundred and Thirteen (113) feet; thence in a Northeastly direction Fifty (50) feet; thence in a Southeastly direction Fifty (50) feet; thence in a Southeastly direction One Hundred and Thirteen (113) feet; thence in a Southwesterly direction Fifty (50) feet to the place of beginning, Reference being had to a deed of conveyance from Whitmore Pinder et al to Louis Monton dated August 25, 1900 and recorded in Deed Book "I", page 416, of the public records of Monroe County, Florida.

**LEGAL DESCRIPTION (con't):**

**PARCEL I:**

In the City of Key West and is known as Part of Lot Two (2), of Square 11, according to the Map or Plat of the Island of Key West delineated in February A.D. 1829, by William A. Whitehead and being more particularly described as follows: Beginning at this point of intersection of the Northerly right-of-way boundary of Caroline Street with the Easterly right-of-way boundary line of Elizabeth street and thence Northeastly along Caroline Street 120 feet to a point; thence Northwesterly at right angles 120 feet to a point; thence Southwesterly at right angles 69.75 feet to a point; thence Southeastly at right angles 60 feet to a point; thence Southwesterly at right angles 50.25 feet to a point on the Easterly right-of-way boundary of said Elizabeth Street; thence Southeastly along the said line of Elizabeth Street 60 feet back to the Point of Beginning.

CERTIFICATION made to:  
Harborside, LLC  
Knigh-Barry Title, Inc.  
Fidelity National Title insurance Company

FLOOD MAP INFORMATION:  
Flood Map Number 120B7C1516 K  
Map Revised 2/18/2005  
Property Lies in Flood Zones AE 7- VE 10

CERTIFICATION:  
I HEREBY CERTIFY that the attached **Boundary Survey** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statue Section 472.027, and the American land Title Association, and that there are no visible encroachments unless shown hereon.

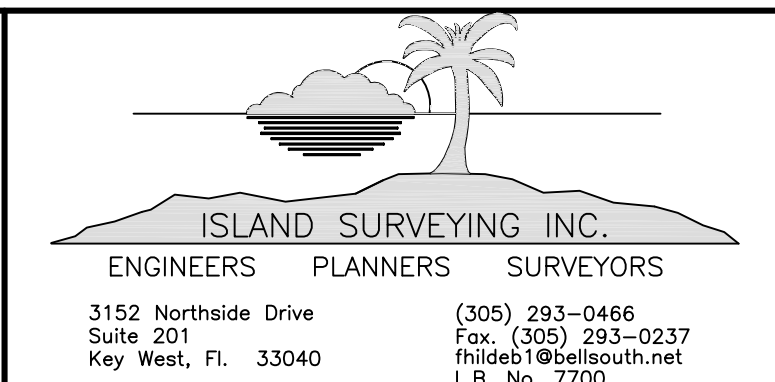
FREDERICK H. HILDEBRANDT  
Professional Land Surveyor & Mapper No. 2749  
Professional Engineer No. 36810  
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

REVISIONS:		
No.	Date	Remarks

Sheet Description:  
**BOUNDARY SURVEY**

Project: **Harborside, LLC  
223 Elizabeth Street  
Key West, FL 33040**



Date: 5/12/11  
Designed: FHH  
Drawn: FHH  
Checked: FHH  
Job. No. 11-193  
Sheet No. 2 of 2

# Site Plans



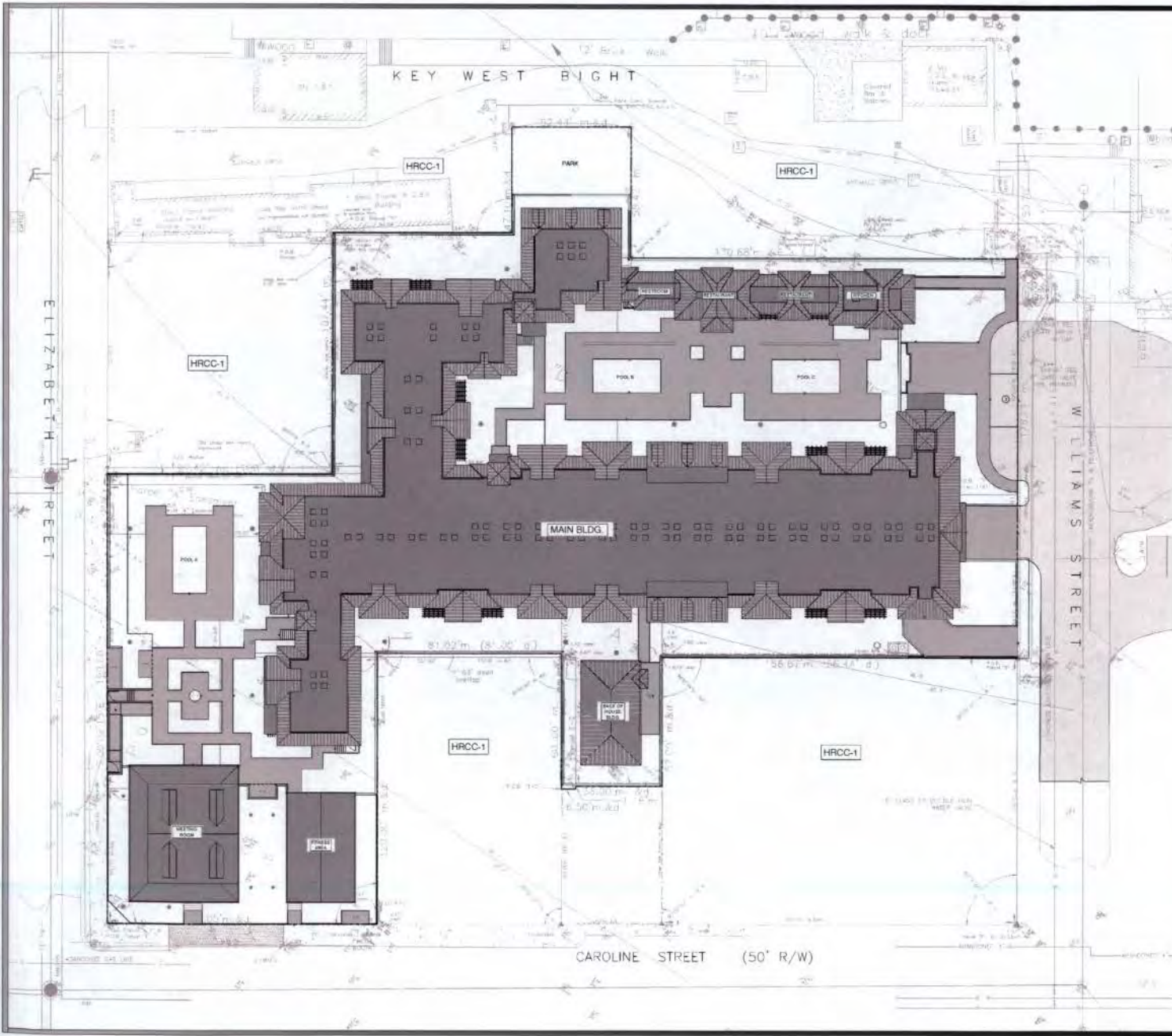
**ELIZABETH  
NEWLAND**  
LANDSCAPE  
ARCHITECTURE, LLC

2535 Prince de Ligne Blvd,  
Suite 502  
Coral Gables, Florida 33134  
305.461.6391  
enewland@earthlink.net

**KEY WEST SEAPORT HOTEL**  
HARBORSIDE, LLC - KEY WEST, FLORIDA

**SITE PLAN**

Date: April 24, 2012



Site Data	
Site Area:	82,559 S.F. (1.89 ACRES)
Land Use:	HRCC-1 (MIXTURE) RESIDENTIAL COMMERCIAL CORE EX-VAL STREET (GULFSIDE DISTRICT)
Flood Zone:	VE-10 / AE-9 AE-7 AE-4
Setbacks:	
Front Setback:	Required: NONE Proposed: 3.0'
Side Setback:	Required: 2.0' Proposed: 3.0'
Rear Setback:	Required: 10.0' Proposed: 10.0'
Street side Setback:	Required: NONE Proposed: 3.0'
F.A.R.	Allowable: 1.0 (82,559 S.F.) Proposed: 0.76 (63,151 S.F.)
Height:	Allowable: 35.0' +5.0' (PITCHED ROOF) Proposed: 35.0' 5.0'
Lot Coverage Area:	
Building Coverage:	Allowable: 41,279 S.F. (50% MAU) Proposed: 41,029 S.F. (49.8%)
Impervious Surface Ratio:	Allowable: 57.79% S.F. (70% MAU) Proposed: 58.64% S.F. (69.8%)
Open Space Area:	Required: 16,511 S.F. (20%) Proposed: 25,910 S.F. (31.4%)
Settlement Assessment:	
Total Enclosed Area:	Allowable: 39,650 S.F. Proposed: 39,151 S.F.

LEGEND	
—	PROJECT LIMITS
■	IMPERVIOUS SURFACE
■	ASPHALT PAVEMENT
■	BUILDING EXTENTS (ROOF)

SCALE: 1"=20'  
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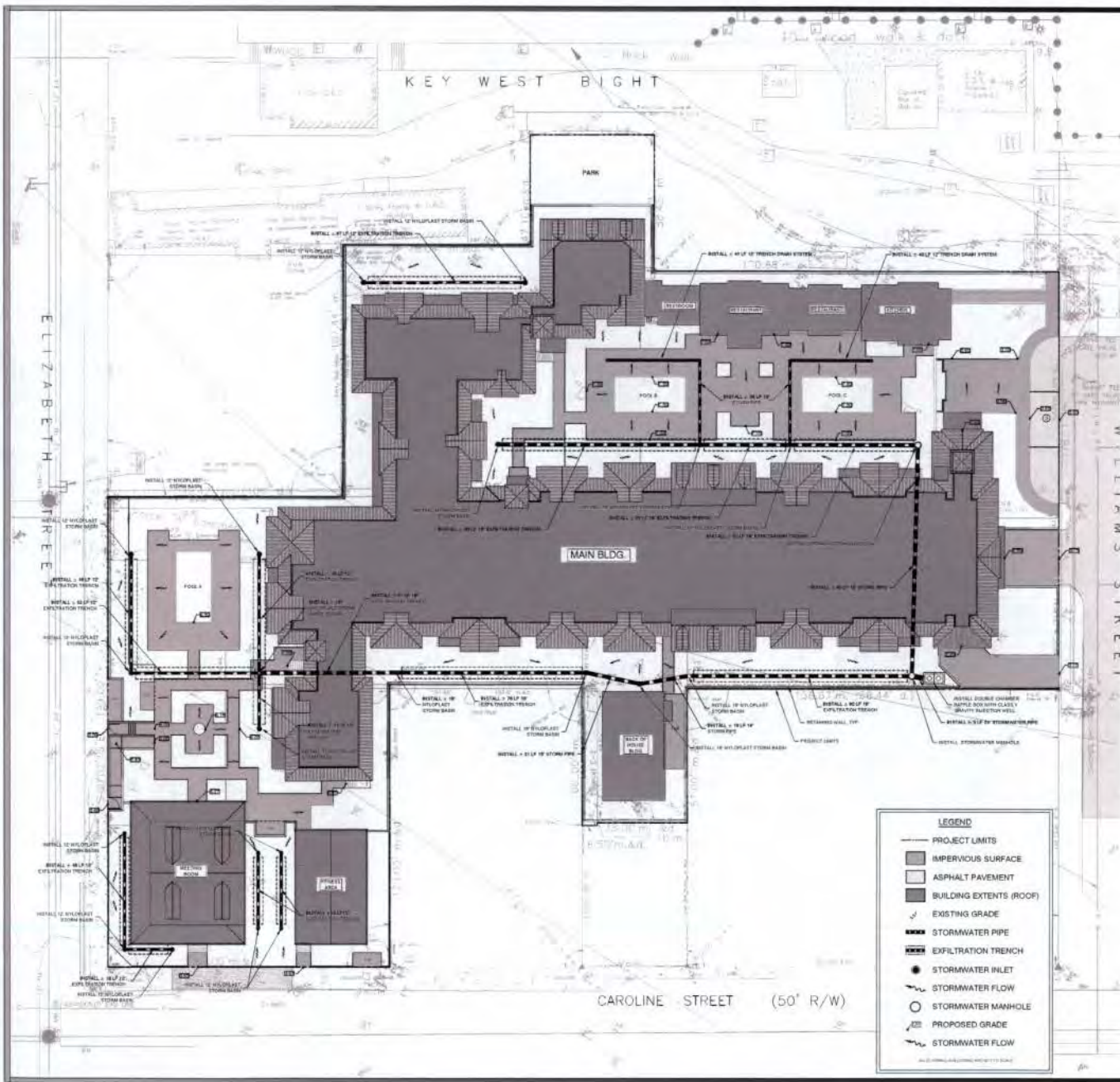
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 PROJECT: 2019-001  
 DRAWING: 001-01  
 SHEET: 01 OF 01  
 SCALE: 1"=20'  
 DATE: 03/20/2019 11:58 AM

KEY WEST SEAPORT HOTEL  
 223 ELIZABETH ST.  
 KEY WEST, FL 33040

HARBORSIDE, LLC  
 P.O. BOX 2039  
 KEY WEST, FL 33045

JOB NO: 21555  
 DRAWN: ATM  
 DESIGNED: AEP  
 CHECKED: AEP  
 DATE: 03/20/2019  
 SHEET: C-1

PEREZ ENGINEERING & DEVELOPMENT, INC.  
 1000 S.W. 10TH AVENUE, SUITE 400  
 MIAMI, FL 33135  
 TEL: 305.375.2222 FAX: 305.375.2223  
 WWW.PEREZENGINEERING.COM  
 ALEJANDRO PEREZ, P.E.  
 PROJECT MANAGER  
 MARCH 1, 2019



**Water Quantity and Water Quality Calculations**

**Storm Quantity - Preliminary**

Basin	A = 1,895	ac	82,556	cf
Parcels Area	1,937	ac	85,619	cf
Impervious Area	0,598	ac	2,588	cf
% Impervious	3,092			
Runoff for 25yr/24hr event	$P_{25} = 9$	in		
Runoff for 25yr/24hr event	$P_{25} = 10.23$	in		
Depth to Water Table	0.20	ft		
Predevelopment Available Storage	2.40	in		
Soil Storage	S = 2.40	in		
$Q_{max} = (P_{25} - S) \times A$	$Q_{max} = 9.41$	in		
$P_{25} = 0.362$				
Runoff Volume from 25 year 24hr storm	$V_{25,24hr} = 17.24$	ac-in		

**Storm Quantity - Preliminary**

Basin	A = 1,895	ac	82,556	cf
Parcels Area	0,598	ac	25,910	cf
Impervious Area	1,300	ac	56,646	cf
% Impervious	68.6%			
Runoff for 25yr/24hr event	$P_{25} = 9$	in		
Runoff for 25yr/24hr event	$P_{25} = 10.23$	in		
Depth to Water Table	2.7	ft		
Developed Available Storage	0.88	in		
Soil Storage	S = 1.58	in		
$Q_{max} = (P_{25} - S) \times A$	$Q_{max} = 10.83$	in		
$P_{25} = 0.362$				
Runoff Volume from 25 year 24hr storm	$V_{25,24hr} = 20.50$	ac-in		

**Postdevelopment - Preliminary**

$Q_{max} = Q_{pre} - Q_{dev}$	$Q_{max} = 1.42$	in		
Runoff Volume = $Q_{max} \times A$	$V_{25,24hr} = 2.69$	ac-in		

**Water Quality**

Basin A	1,895	ac	82,556	cf
Parcels Area	0,598	ac	0	cf
Roof Area	0,942	ac	41,026	cf
Predevelopment Impervious	0,598	ac	15,816	cf
Parcels Area	0,598	ac	25,910	cf
Site area for Water Quality	0,952	ac	41,528	cf
Total area (inlet surface + roof area)	0,399	ac	15,816	cf
Impervious area for water Quality	0,399	ac	15,816	cf
Site area for Water Quality - Parcels Area				
% Impervious	39%			
A) One inch of runoff from project area	1,895	ac-in		
B) 2.5 inches from parcel impervious	1,782	ac-in		
C) 2.5 percent impervious x (site area - surface water)				

**Comparison of Storm Quantity to Water Quality**

Predevelopment Volume Required	2,690	ac-in	2,690	ac-in
Post Volume Provided for Postdevelopment	2,870	ac-in	13,322	ac-in

**Infiltration Trench Design -Overland**

Required trench length (L) =

$$L = \frac{R \cdot P_{25} \cdot (2SD + D) \cdot D \cdot 2 + 2SD \cdot D + 1.5D \cdot D^2}{4000 \cdot D \cdot S}$$

Hydraulic Conductivity, K = 0.0001

H = 1.5	ft	
W = 5	ft	
D = 0.5	ft	
D = 1.5	ft	

Volume of Trench, V = 0.150 ac-in

Trench Length Required = 90 FT

Trench Length Provided = 120 FT

**Infiltration Trench Design -Retained Area**

Required trench length (L) =

$$L = \frac{R \cdot P_{25} \cdot (2SD + D) \cdot D \cdot 2 + 2SD \cdot D + 1.5D \cdot D^2}{4000 \cdot D \cdot S}$$

Hydraulic Conductivity, K = 0.0001

H = 1.5	ft	
W = 5	ft	
D = 0.5	ft	
D = 1.5	ft	

Volume of Trench, V = 2.550 ac-in

Trench Length Required = 426 FT

Trench Length Provided = 377 FT

- LEGEND**
- PROJECT LIMITS
  - IMPERVIOUS SURFACE
  - ASPHALT PAVEMENT
  - BUILDING EXTENTS (ROOF)
  - EXISTING GRADE
  - STORMWATER PIPE
  - INFILTRATION TRENCH
  - STORMWATER INLET
  - STORMWATER FLOW
  - STORMWATER MANHOLE
  - PROPOSED GRADE
  - STORMWATER FLOW

SCALE 1"=20'  
BAR IS TWO INCHES ON ORIGINAL DRAWING IF NOT TWO INCHES ON THIS SHEET ADJUST SCALAR ACCORDINGLY

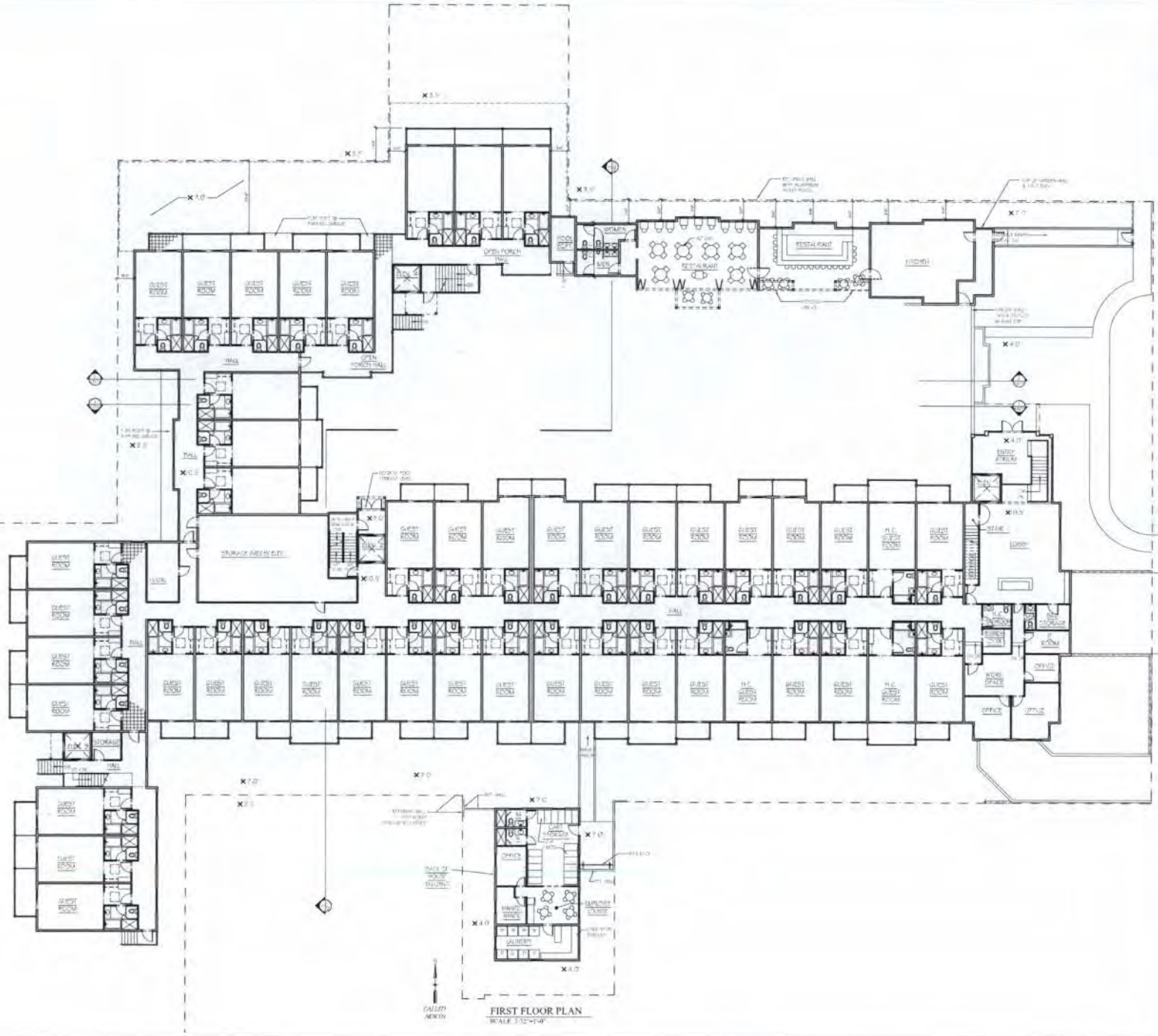
DATE: 06/15/2012  
DRAWN BY: ALDI E. PEREZ, P.E.  
CHECKED BY: ALDI E. PEREZ, P.E.  
PROJECT NO: 12170305  
JOB NO: 12170305  
DRAWN: ALDI E. PEREZ, P.E.  
DESIGNED: ALDI E. PEREZ, P.E.  
CHECKED: ALDI E. PEREZ, P.E.  
DATE: 06/15/2012

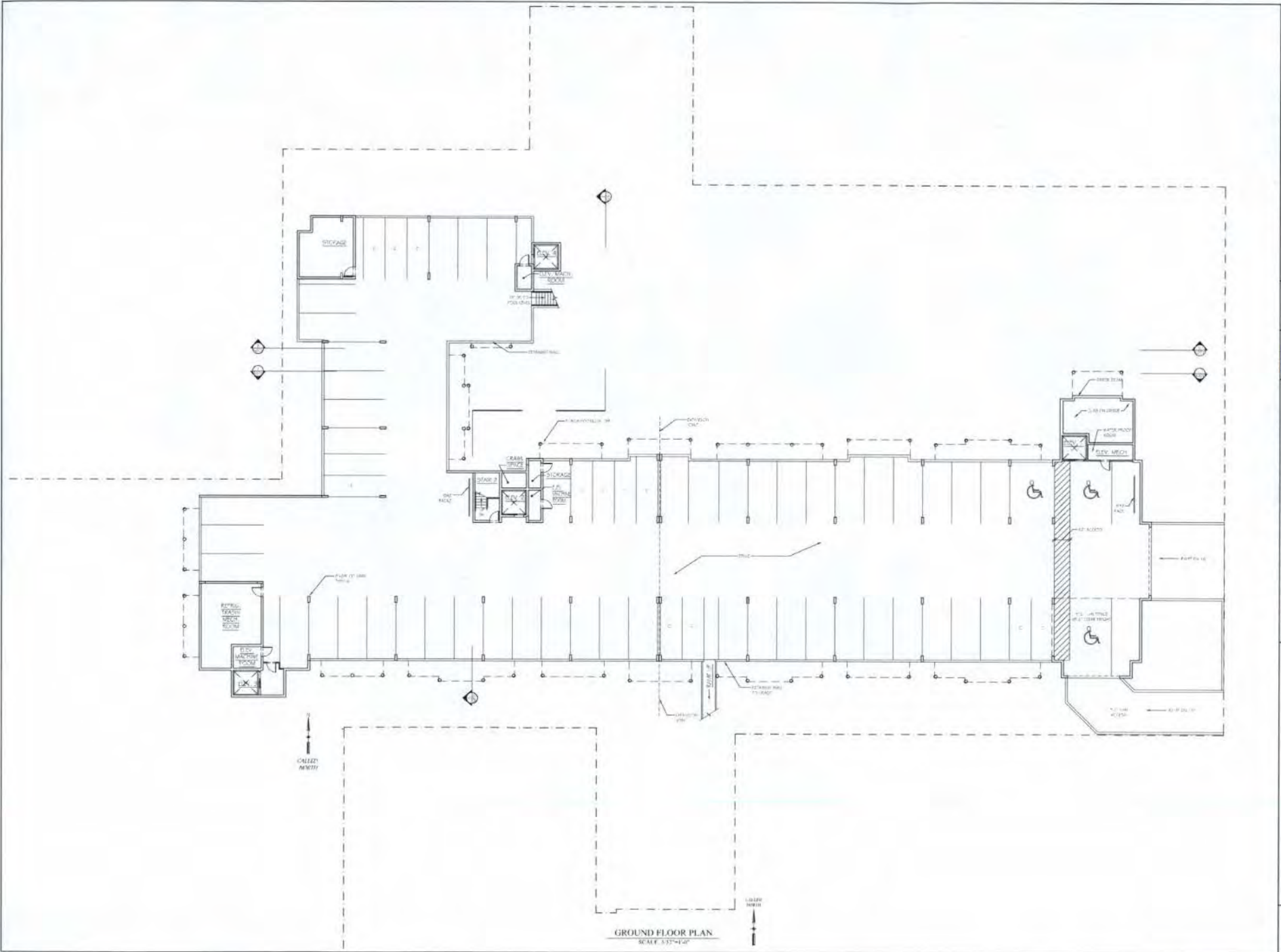
KEY WEST SEAPORT HOTEL  
225 ELIZABETH ST.  
KEY WEST, FL 33040

HARBORSIDE, LLC  
P.O. BOX 2039  
KEY WEST, FL 33045

CONCEPTUAL DRAINAGE & GRADING PLAN

ALDI E. PEREZ, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
FLORIDA LICENSE NO. 12170305  
DATE: 06/15/2012

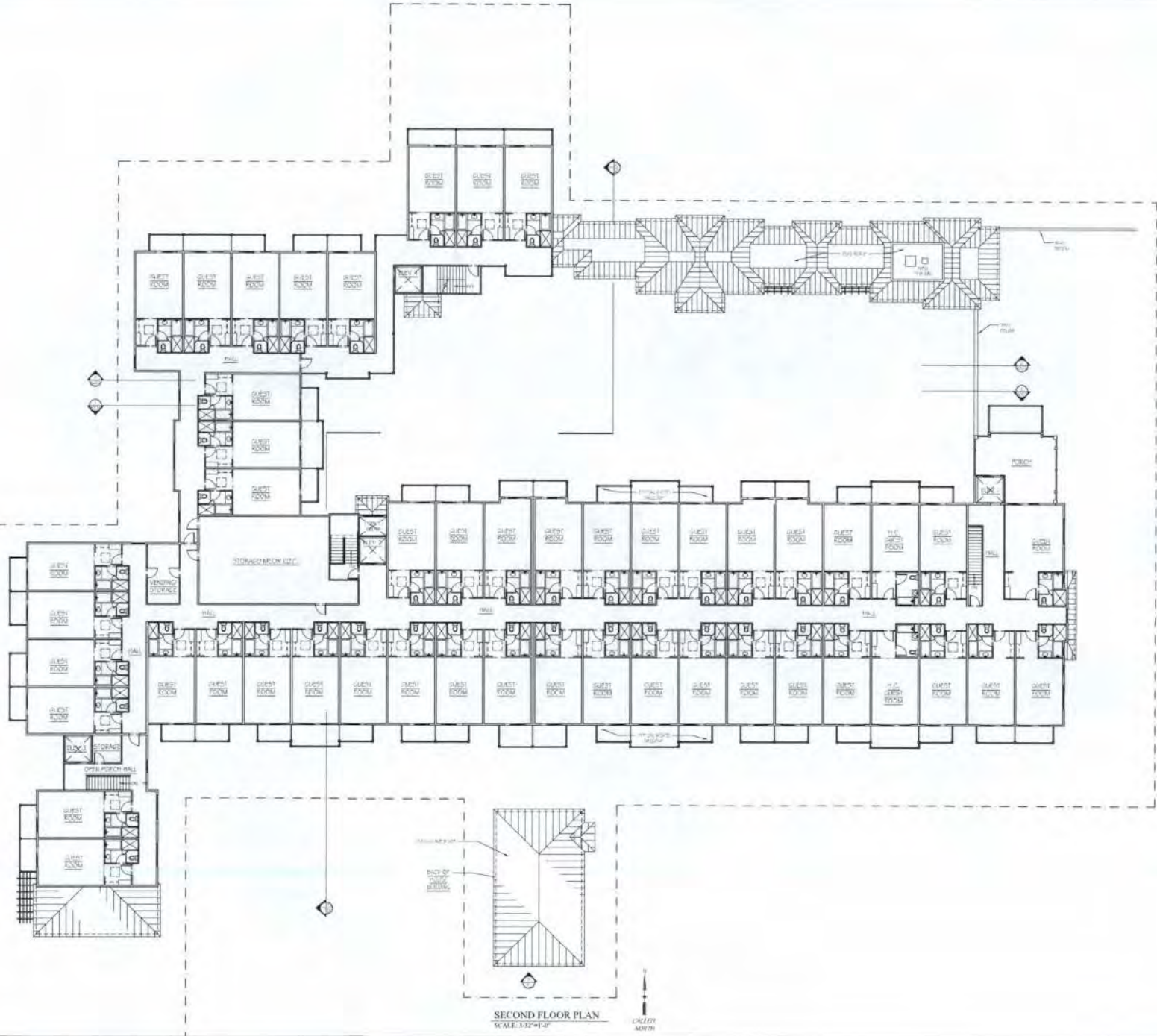




GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

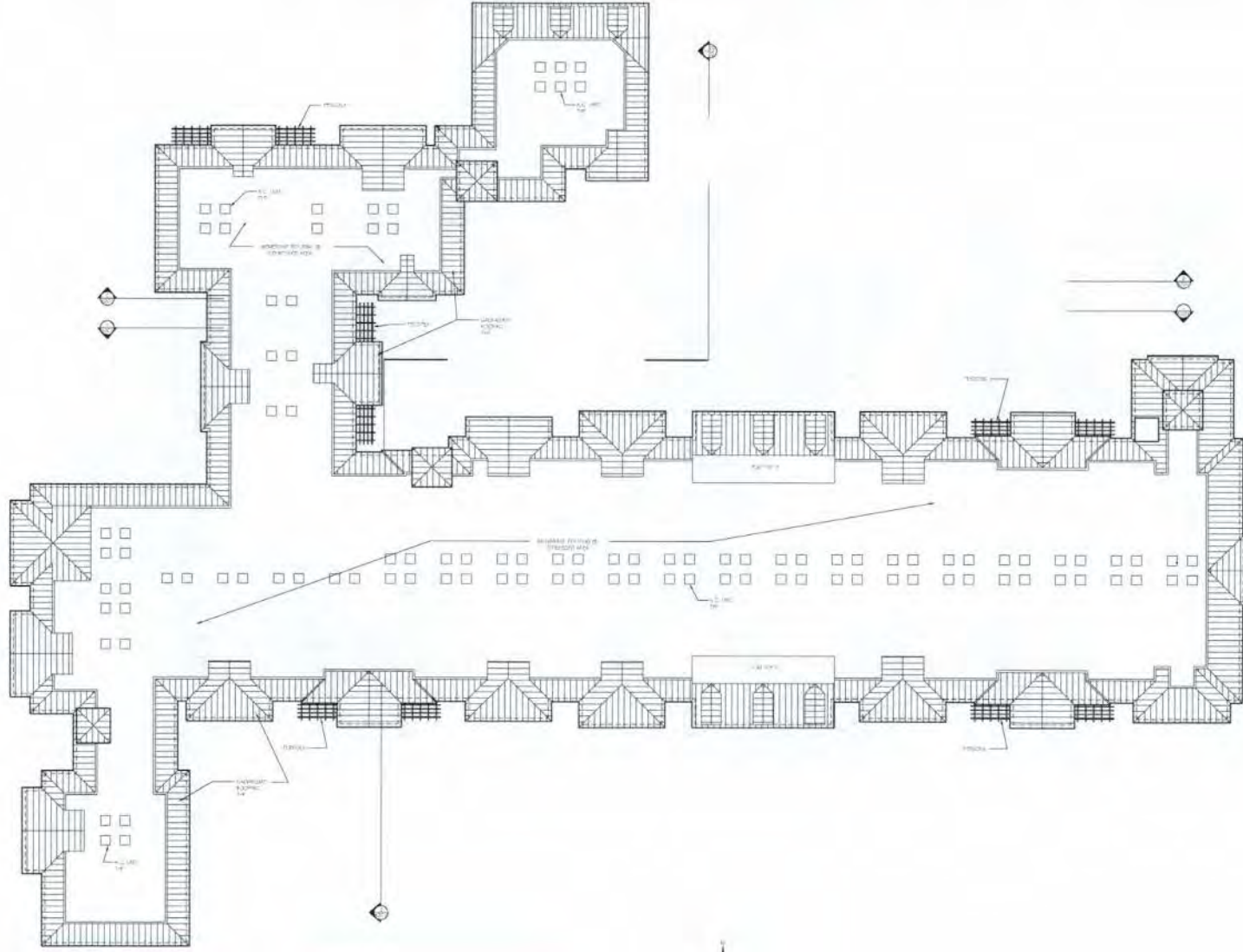
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DATE: 04/15/15
DATE: 07/15/15
DATE: 08/15/15





SECOND FLOOR PLAN  
SCALE: 1/32" = 1'-0"





ROOF PLAN  
SCALE: 1/32"=1'-0"

ROOF PLAN  
SCALE: 1/32"=1'-0"

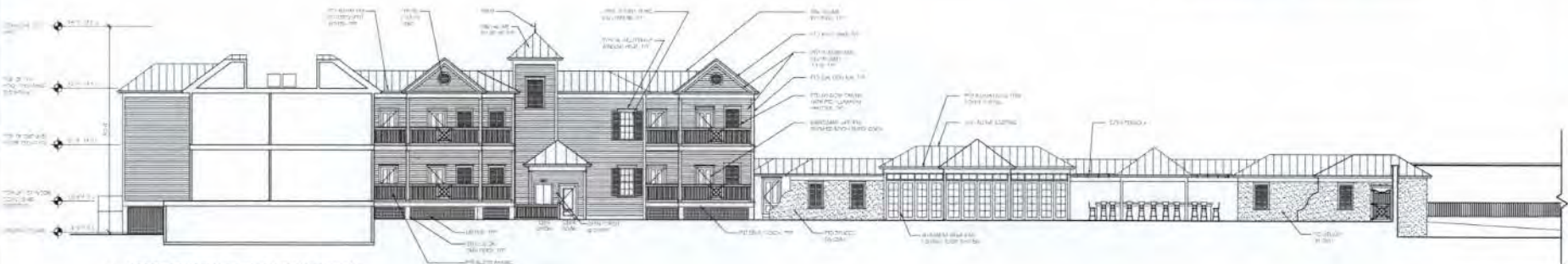




1 SOUTH COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"



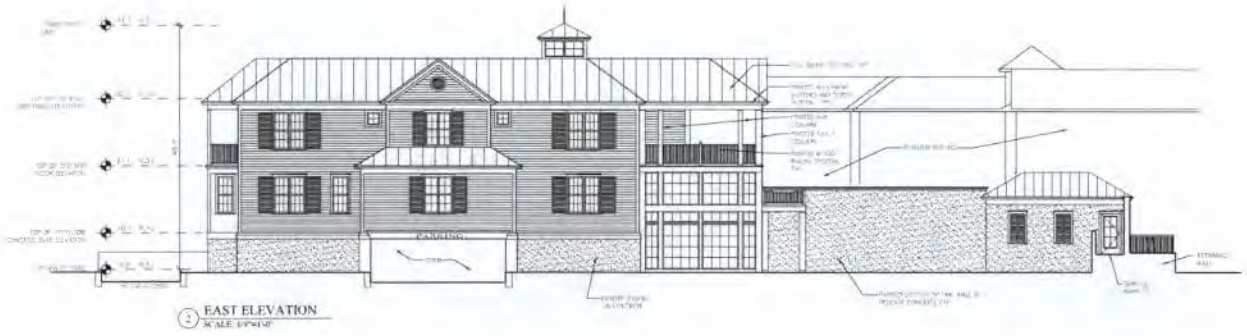
1 SOUTH COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"



2 NORTH COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"



3 WEST COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"





**NORTH ELEVATION -**  
SCALE: 1/8"=1'-0"



**BACK OF HOUSE BUILDING**  
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**BACK OF HOUSE BUILDING**  
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

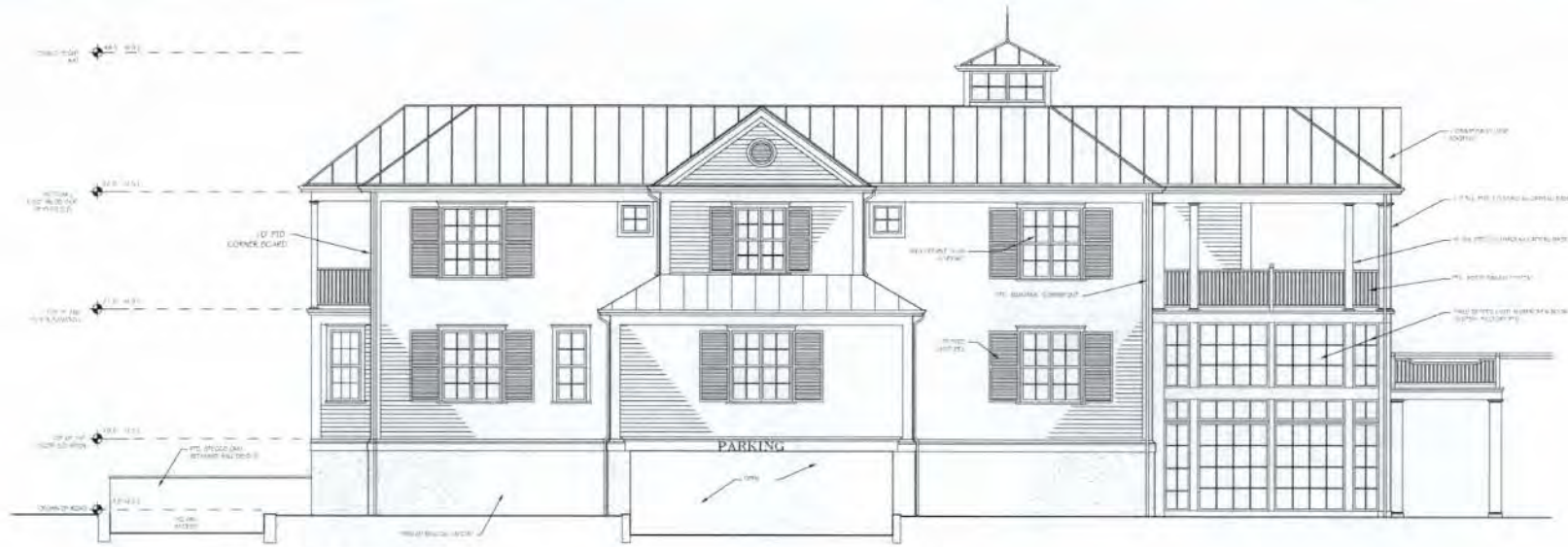


**BACK OF HOUSE BUILDING**  
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

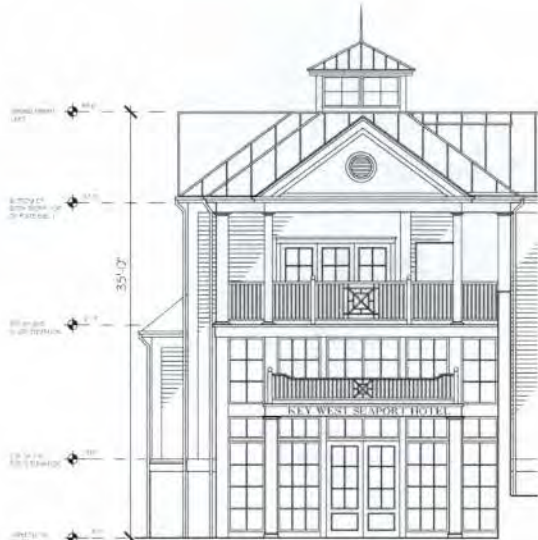


**BACK OF HOUSE BUILDING**  
**SOUTHELEVATION**  
SCALE: 1/8"=1'-0"

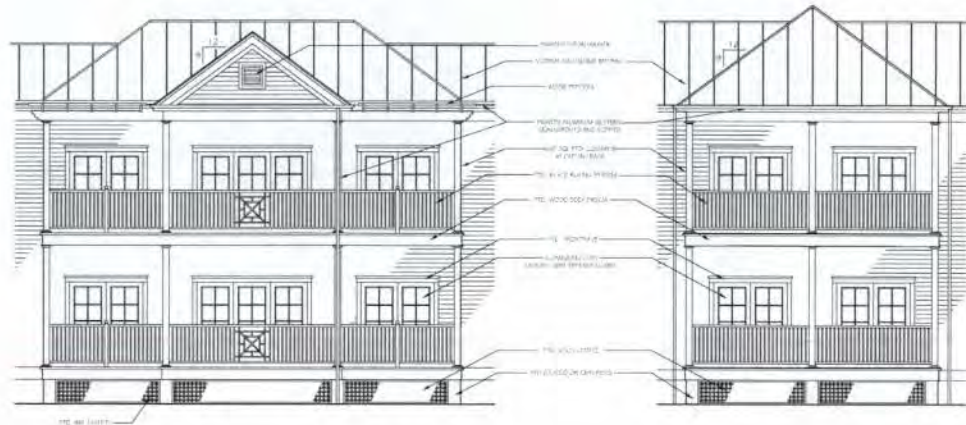
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DATE: 08.22.12	SCALE: 1/8"=1'-0"
DATE: 08.22.12	SCALE: 1/8"=1'-0"



NORTH ELEVATION  
SCALE: 1/4"=1'-0"

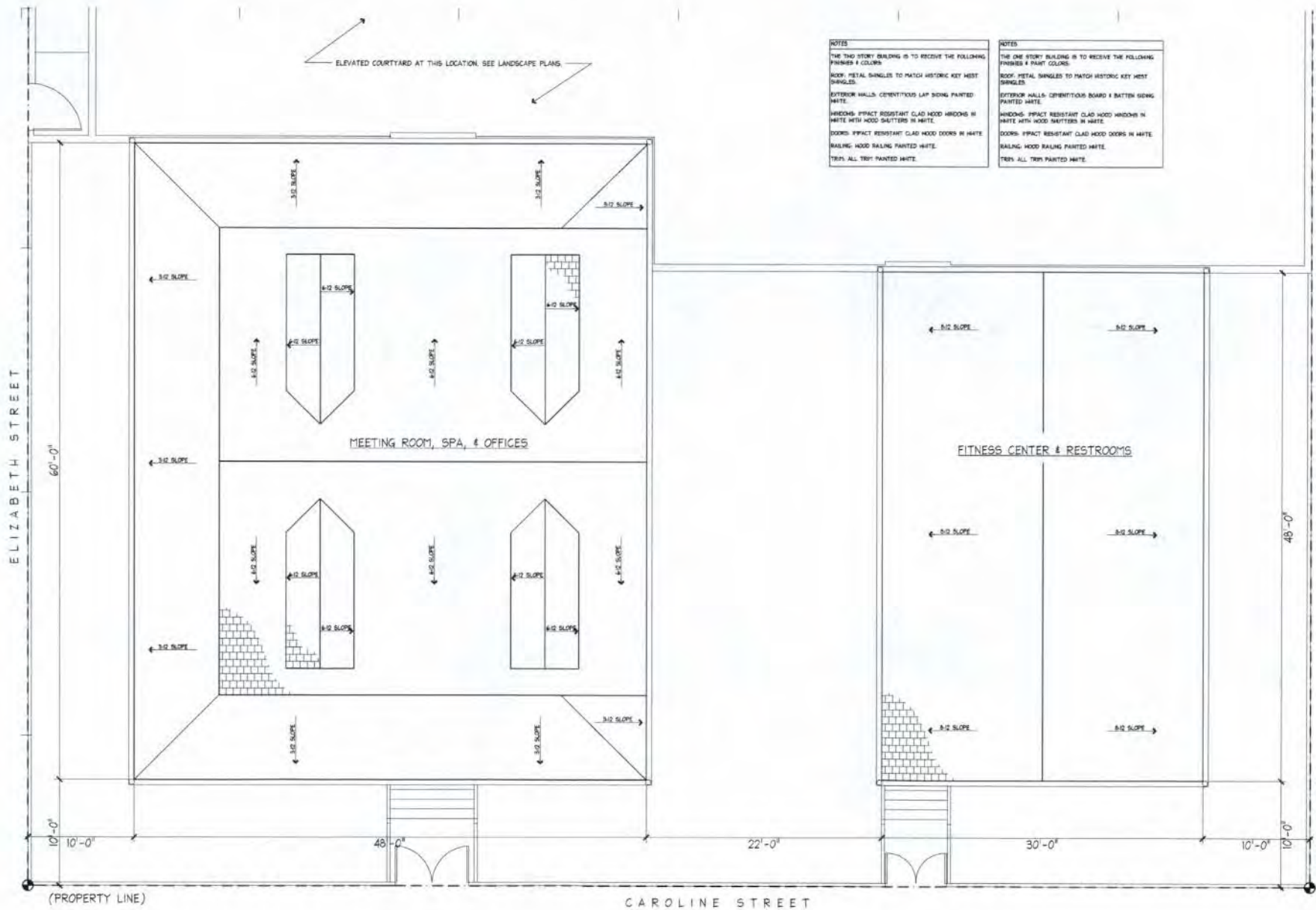


MAIN ENTRY ELEVATION  
SCALE: 1/8"=1'-0"



3-UNIT BALCONY  
SCALE: 1/4"=1'-0"

2-UNIT BALCONY  
SCALE: 1/4"=1'-0"



**NOTES**

THE TWO STORY BUILDING IS TO RECEIVE THE FOLLOWING FINISHES & COLORS:

ROOF: METAL SHINGLES TO MATCH HISTORIC KEY WEST SHINGLES.

EXTERIOR WALLS: CERAMITICUS LAP SIDING PAINTED WHITE.

WINDOWS: IMPACT RESISTANT CLAD WOOD WINDOWS IN WHITE WITH WOOD BATTERS IN WHITE.

DOORS: IMPACT RESISTANT CLAD WOOD DOORS IN WHITE.

RAILING: WOOD RAILING PAINTED WHITE.

TRIMS: ALL TRIMS PAINTED WHITE.

**NOTES**

THE ONE STORY BUILDING IS TO RECEIVE THE FOLLOWING FINISHES & PAINT COLORS:

ROOF: METAL SHINGLES TO MATCH HISTORIC KEY WEST SHINGLES.

EXTERIOR WALLS: CERAMITICUS BOARD & BATTEN SIDING PAINTED WHITE.

WINDOWS: IMPACT RESISTANT CLAD WOOD WINDOWS IN WHITE WITH WOOD BATTERS IN WHITE.

DOORS: IMPACT RESISTANT CLAD WOOD DOORS IN WHITE.

RAILING: WOOD RAILING PAINTED WHITE.

TRIMS: ALL TRIMS PAINTED WHITE.

**KEY WEST SEAPORT HOTEL**  
223 ELIZABETH STREET, KEY WEST, FLORIDA 33040  
OWNER: HARBORSIDE, LLC  
P. O. BOX 2039, KEY WEST, FLORIDA 33045

---

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 286-1547  
Facsimile (305) 298-2727  
Florida License #48799222

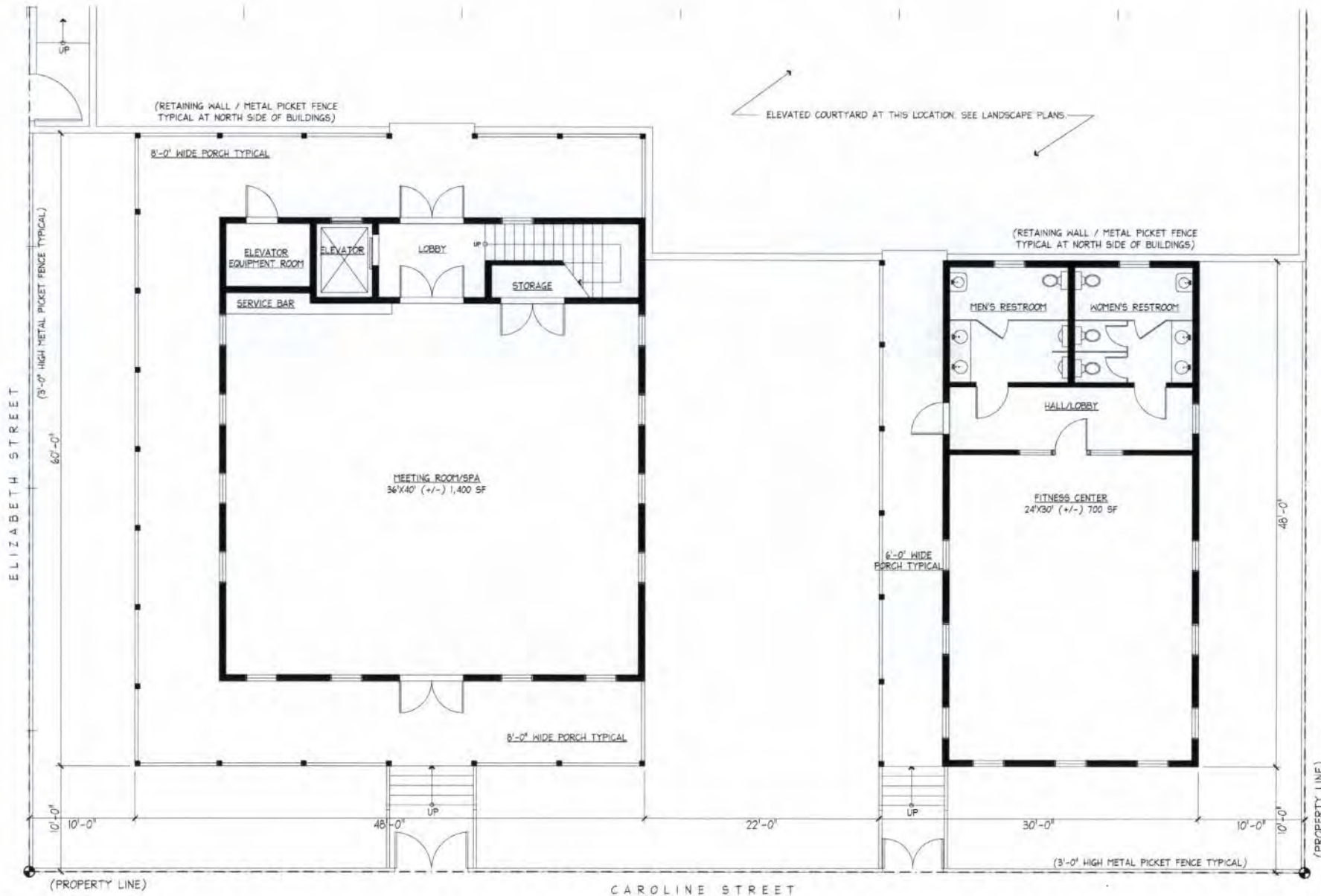
*Bender & Associates*  
**ARCHITECTS**  
P.C.

Project # 08  
DWG # 4112

A1

1 ROOF PLAN

SCALE: 1/8"=1'-0"



ELIZABETH STREET

CAROLINE STREET

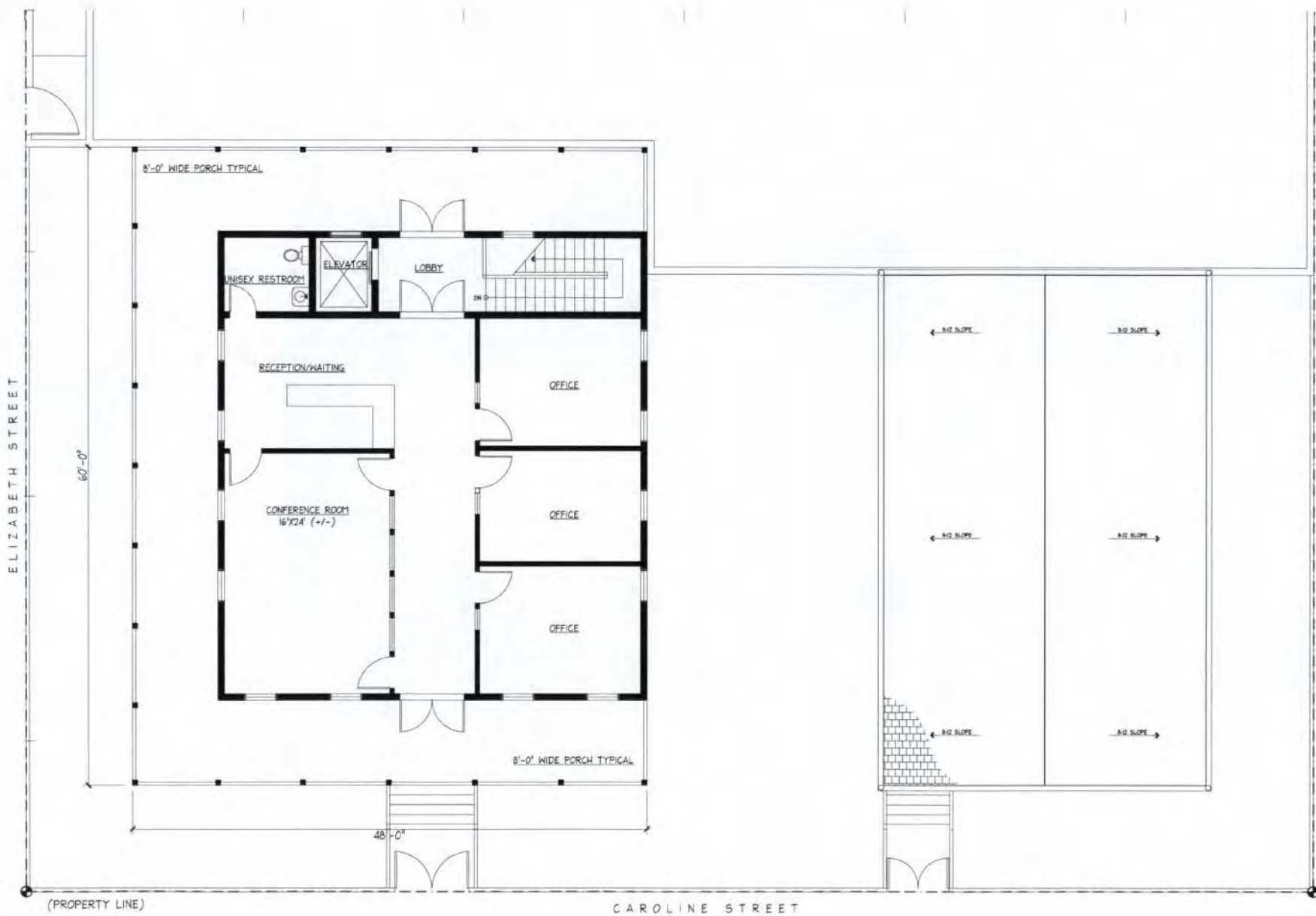
ELEVATED COURTYARD AT THIS LOCATION. SEE LANDSCAPE PLANS.

1  
A2 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

<b>KEY WEST SEAPORT HOTEL</b> 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040 OWNER: HARBORSIDE, LLC P.O. BOX 2039, KEY WEST, FLORIDA 33045
410 Angela Street Key West, Florida 33040 Telephone (305) 246-1347 Facsimile (305) 246-2727 Florida License #13030322
<b>Bender &amp; Associates</b> <b>ARCHITECTS</b> P.A.
Project # 154 
A2





ELIZABETH STREET

60'-0"

8'-0" WIDE PORCH TYPICAL

UNISEX RESTROOM

ELEVATOR

LOBBY

DN

RECEPTION/WAITING

OFFICE

CONFERENCE ROOM  
16'x24' (+/-)

OFFICE

OFFICE

8'-0" WIDE PORCH TYPICAL

48'-0"

(PROPERTY LINE)

CAROLINE STREET

← 8/12 SLOPE →

← 8/12 SLOPE →

← 8/12 SLOPE →

← 8/12 SLOPE →

← 8/12 SLOPE →

← 8/12 SLOPE →

(PROPERTY LINE)



**KEY WEST SEAPORT HOTEL**  
223 ELIZABETH STREET, KEY WEST, FLORIDA 33040  
OWNER: HARBORSIDE, LLC  
P.O. BOX 2039, KEY WEST, FLORIDA 33045



410 Angela Street  
Key West, Florida 33040  
Telephone (305) 236-1347  
Facsimile (305) 236-0721  
Florida License ALC9020217

*Bender & Associates*  
**ARCHITECTS** p.c.

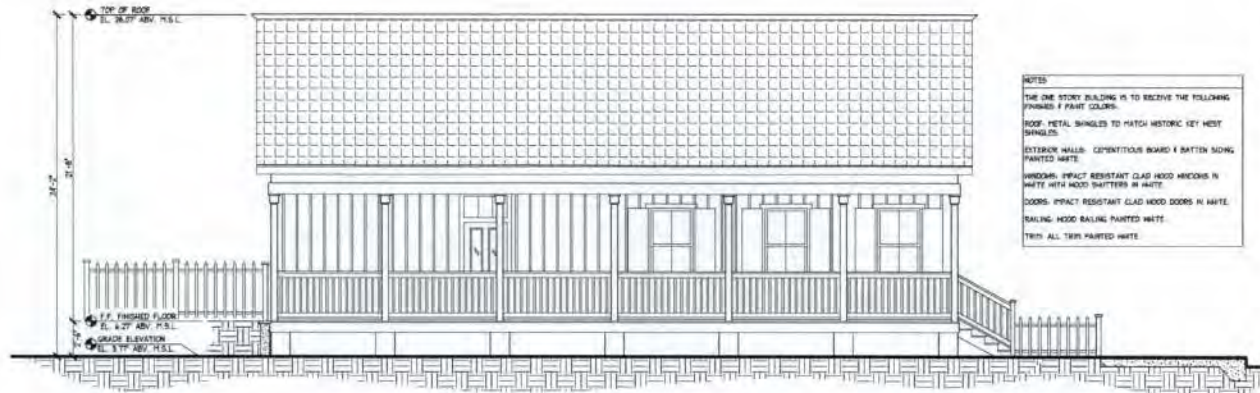
Project #	004
Date	6/7/12

**A3**

1 SECOND FLOOR PLAN  
A3

SCALE: 1/8" = 1'-0"





**NOTES**

THE ONE STORY BUILDING IS TO RECEIVE THE FOLLOWING FINISHED F PAINT COLORS.

ROOF: METAL SHINGLES TO MATCH HISTORIC KEY WEST SHINGLES.

EXTERIOR WALLS: CEMENTITIOUS BOARD & BATTEN SIDING PAINTED WHITE.

WINDOWS: IMPACT RESISTANT CLAD WOOD WINDOWS IN WHITE WITH WOOD SHUTTERS IN WHITE.

DOORS: IMPACT RESISTANT CLAD WOOD DOORS IN WHITE.

RAILING: WOOD RAILING PAINTED WHITE.

TRIM: ALL TRIM PAINTED WHITE.

2 WEST ELEVATION (FITNESS FACILITY ONLY)

SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION (CAROLINE STREET)

SCALE: 1/4"=1'-0"

**KEY WEST SEAPORT HOTEL**  
 228 ELIZABETH STREET, KEY WEST, FLORIDA 33040  
 OWNER: HARBORSIDE, LLC  
 P.O. BOX 2038, KEY WEST, FLORIDA 33045

410 Angela Street  
 Key West, Florida 33040  
 Telephone (305) 286-1347  
 Facsimile (305) 298-2727  
 Florida License #ACB00022

*Bender & Associates*  
**ARCHITECTS**  
 P.C.

Project # 104  
 Date 4/10

**A4**

**NOTES**  
 THE ONE STORY BUILDING IS TO RECEIVE THE FOLLOWING FINISHES & PAINT COLORS:  
 ROOF: METAL SHINGLES TO MATCH HISTORIC KEY WEST SHINGLES.  
 EXTERIOR WALLS: CERAMITIC BOARD & BATTEN SIDING PAINTED WHITE.  
 WINDOWS: IMPACT RESISTANT CLAD WOOD WINDOWS IN WHITE WITH WOOD SHUTTERS IN WHITE.  
 DOORS: IMPACT RESISTANT CLAD WOOD DOORS IN WHITE.  
 RAILING: WOOD RAILING PAINTED WHITE.  
 TRIM: ALL TRIM PAINTED WHITE.

**NOTES**  
 THE TWO STORY BUILDING IS TO RECEIVE THE FOLLOWING FINISHES & COLORS:  
 ROOF: METAL SHINGLES TO MATCH HISTORIC KEY WEST SHINGLES.  
 EXTERIOR WALLS: CERAMITICOUS LAP SIDING PAINTED WHITE.  
 WINDOWS: IMPACT RESISTANT CLAD WOOD WINDOWS IN WHITE WITH WOOD SHUTTERS IN WHITE.  
 DOORS: IMPACT RESISTANT CLAD WOOD DOORS IN WHITE.  
 RAILING: WOOD RAILING PAINTED WHITE.  
 TRIM: ALL TRIM PAINTED WHITE.



**KEY WEST SEAPORT HOTEL**  
 223 ELIZABETH STREET, KEY WEST, FLORIDA 33940  
 OWNER: HARBORSIDE, LLC  
 P.O. BOX 2039, KEY WEST, FLORIDA 33045



410 Angela Street  
 Key West Florida 33940  
 Telephone (305) 298-1262  
 Facsimile (305) 298-2727  
 Florida License #AC0002922

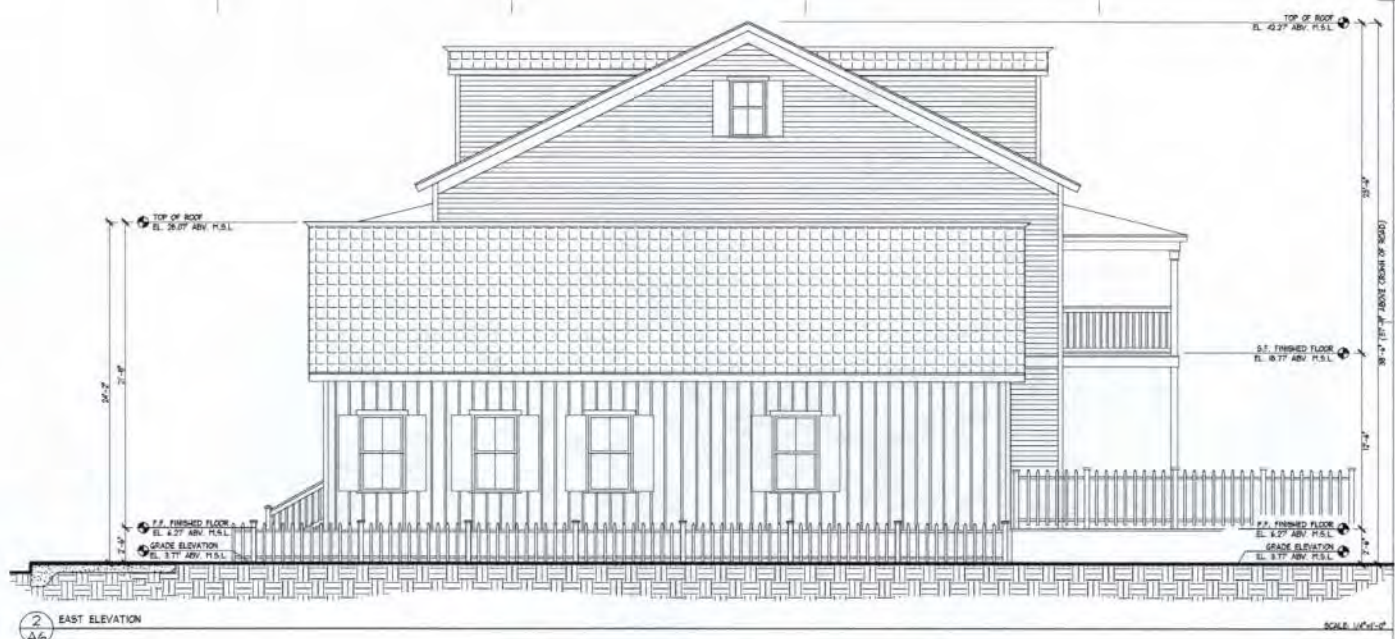
*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project # 00  
 Date 4/12

**A5**

1 NORTH ELEVATION  
 A5

SCALE 1/8\"/>



2 EAST ELEVATION  
A6



1 WEST ELEVATION (ELIZABETH STREET)  
A6



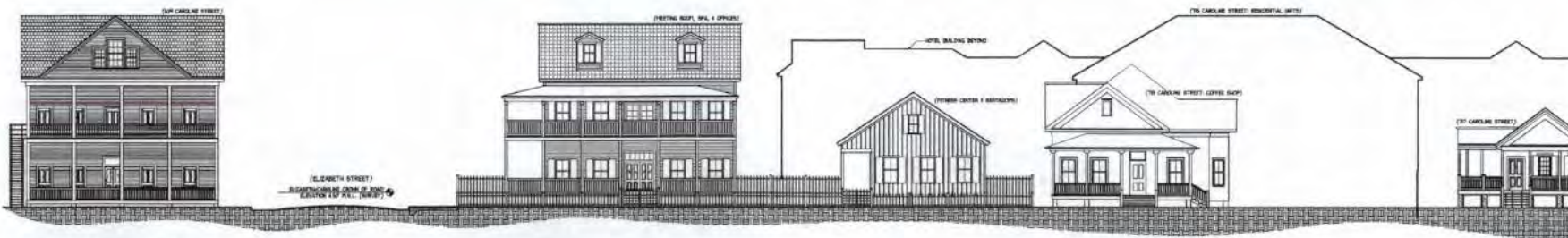
SCALE: 1/4"=1'-0"

<p><b>KEY WEST SEAPORT HOTEL</b>          223 ELIZABETH STREET, KEY WEST, FLORIDA 33040          OWNER: HARBORSIDE, LLC          P. O. BOX 2039, KEY WEST, FLORIDA 33045</p>	
<p>410 Angela Street          Key West, Florida 33040          Telephone (305) 296-1347          Facsimile (305) 298-0727          Florida License #46392022</p>	
<p><b>Bender &amp; Associates</b>  <b>ARCHITECTS</b>          P.L.L.C.</p>	
Project #	104
Sheets	47/51
<p><b>A6</b></p>	



2 ELIZABETH STREET ELEVATION EXPANDED

SCALE: 1/8"=1'-0"



1 CAROLINE STREET ELEVATION EXPANDED

SCALE: 1/8"=1'-0"

**KEY WEST SEAPORT HOTEL**  
 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040  
 OWNER: HARBORSIDE, LLC  
 P. O. BOX 2039, KEY WEST, FLORIDA 33045

410 Angela Street  
 Key West, Florida 33040  
 Telephone (305) 596-1342  
 Facsimile (305) 596-0721  
 Florida License A6002622

*Bender & Associates*  
**ARCHITECTS**  
 P.L.L.C.

Project # 104  
 Date 4/7/02

**A7**



1 SOUTH COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"



1 SOUTH COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"



2 NORTH COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"



3 WEST COURTYARD ELEVATION/SECTION  
SCALE: 1/8"=1'-0"



DATE: 01/14/10	SCALE: 1/8"=1'-0"
DRAWN BY: [Signature]	CHECKED BY: [Signature]



**NORTH ELEVATION -**  
SCALE: 1/8"=1'-0"



**BACK OF HOUSE BUILDING**  
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**BACK OF HOUSE BUILDING**  
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**BACK OF HOUSE BUILDING**  
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

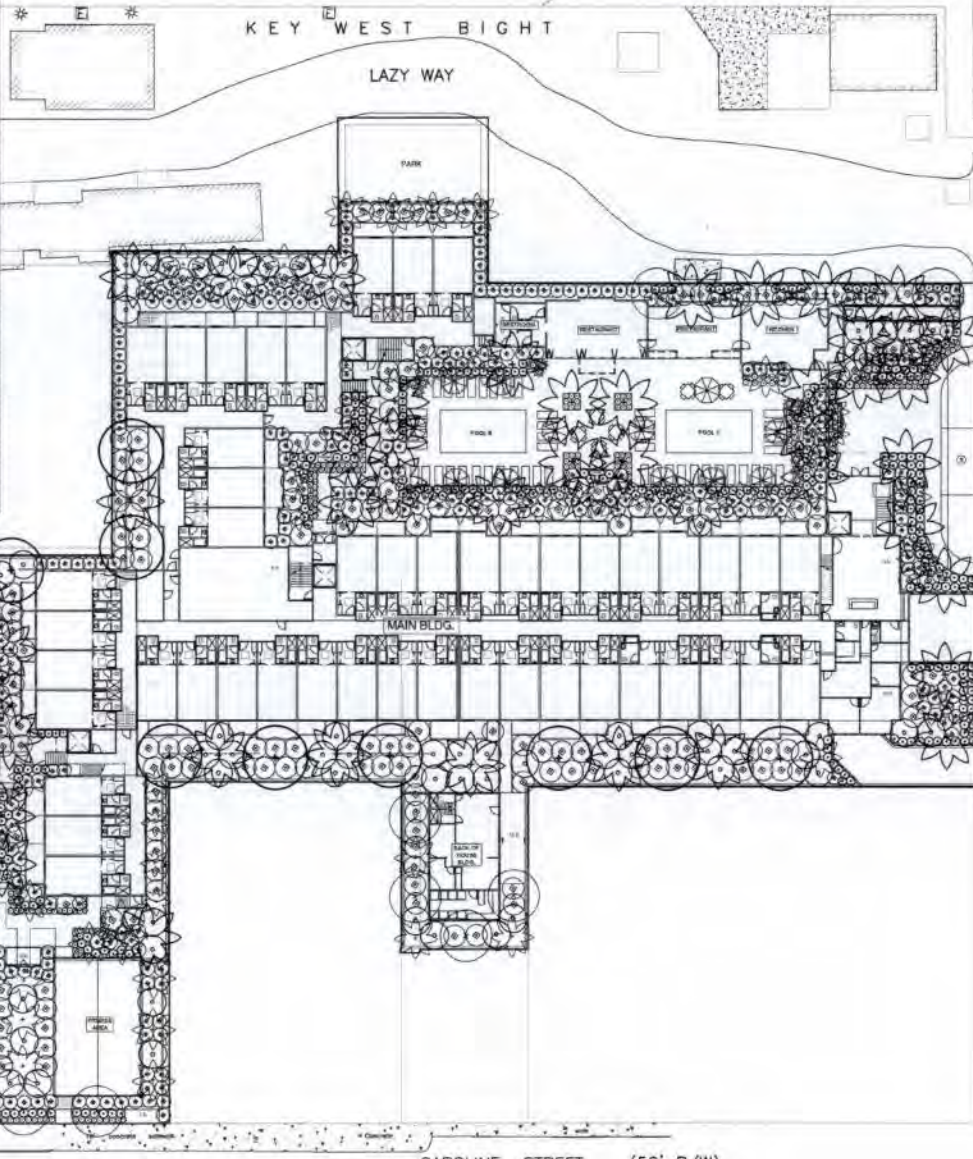


**BACK OF HOUSE BUILDING**  
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

DATE:	SCALE:	DATE:	SCALE:



SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	IN THE GROUND	HEIGHT	CANOPY	CONTAINER	SPACING	CONDITION
X	14	Banana cornucopia	Gladiolus Lindleyi	Yes	4'-6"	14'-18"	12'-14"	48 Gal	No Shrub
		Campanula medium	Campanula medium	Yes	3'-4"	12'-14"	8'-10"	48 Gal	No Shrub
		Convolvulus arvensis	Blue Bell	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Comarostaphylis ovata	Black Olive	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
X	22	Banana cornucopia	Gladiolus Lindleyi	Yes	4'-6"	14'-18"	12'-14"	48 Gal	No Shrub
		Campanula medium	Campanula medium	Yes	3'-4"	12'-14"	8'-10"	48 Gal	No Shrub
		Convolvulus arvensis	Blue Bell	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Comarostaphylis ovata	Black Olive	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
X	28	Banana cornucopia	Gladiolus Lindleyi	Yes	4'-6"	14'-18"	12'-14"	48 Gal	No Shrub
		Campanula medium	Campanula medium	Yes	3'-4"	12'-14"	8'-10"	48 Gal	No Shrub
		Convolvulus arvensis	Blue Bell	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Comarostaphylis ovata	Black Olive	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
X	40	Banana cornucopia	Gladiolus Lindleyi	Yes	4'-6"	14'-18"	12'-14"	48 Gal	No Shrub
		Campanula medium	Campanula medium	Yes	3'-4"	12'-14"	8'-10"	48 Gal	No Shrub
		Convolvulus arvensis	Blue Bell	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Comarostaphylis ovata	Black Olive	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
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		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
X	40	Banana cornucopia	Gladiolus Lindleyi	Yes	4'-6"	14'-18"	12'-14"	48 Gal	No Shrub
		Campanula medium	Campanula medium	Yes	3'-4"	12'-14"	8'-10"	48 Gal	No Shrub
		Convolvulus arvensis	Blue Bell	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Comarostaphylis ovata	Black Olive	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
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		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
X	40	Banana cornucopia	Gladiolus Lindleyi	Yes	4'-6"	14'-18"	12'-14"	48 Gal	No Shrub
		Campanula medium	Campanula medium	Yes	3'-4"	12'-14"	8'-10"	48 Gal	No Shrub
		Convolvulus arvensis	Blue Bell	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Comarostaphylis ovata	Black Olive	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
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		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub
		Conoclinium ovatum	Blackfoot	Yes	2'-0"	12'-14"	8'-10"	48 Gal	No Shrub



1 PLANT LIST  
SCALE 1/4" = 1'-0"

2 LANDSCAPE PLAN  
SCALE 1" = 30'-0"

**ELIZABETH NEWLAND**  
LANDSCAPE ARCHITECTURE LLC  
2525 Monroe St., Suite 300  
Clear Lake, Florida 32714  
352.441.1351  
enewland@earthlink.net

ELIZABETH NEWLAND  
Registered Landscape Architect  
# LA0001260  
State of Florida  
Contract No.  
Revision  
Date

**KEY WEST SEAPORT HOTEL**  
KEY WEST, FLORIDA

Drawing Size: 36"x48"  
Project #: 10-0001  
Drawn By: EN  
Checked By: EN  
Title: LANDSCAPE PLAN  
Sheet Number: L-1.0  
Date: April 18, 2014

**GENERAL NOTES**

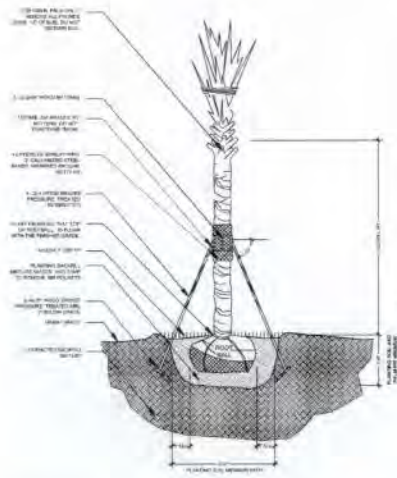
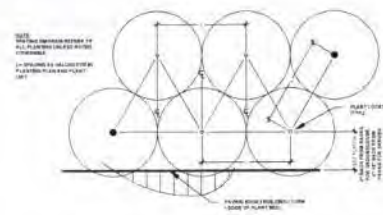
- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All utility companies and/or the General Contractor and Irrigation Contractor shall be notified to verify existing and proposed utility locations prior to Landscape Contractor digging. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for future extras or complaints.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting quantities shall take precedence over plant quantities. Its successors are to be made without prior consent of the Landscape Architect. Alternate plant material shall meet same specifications as original selection. Plant material supply is the responsibility of the Landscape Contractor and include shall take steps to insure availability at time of planting.
- All plant material shall be Florida #1 or better, as defined in the Grader and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor is responsible for scheduling a site stake out approval by Landscape Architect to approve the stakes out of all trees and palms prior to installation.
- Landscape Contractor is responsible for scheduling a site stake out approval by Landscape Architect to approve stake out of all shrubs prior to installation.
- Landscape Contractor shall coordinate work with that of the Irrigation Contractor.
- The Landscape Contractor shall treat new plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting.
- Landscape Contractor shall maintain all final grades for existing berms and swales established by General Contractor. Any impacts to elevations of berms or swales as a result of plant material installation shall be repaired to correct final grade prior to installing mulch and/or gravel.
- Planting soil shall be a mix of 50% inert rock and 50% beach-saver sand. Planting soil (mulch) shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for groundcovers, shrubs, palms and trees shall be as per details.
- All planting areas and planting site shall be tested for sufficient permeation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burp, string, cords or wire supports shall be removed before trees are planted. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burp shall be removed or buried into the plant soil before the trees are installed.
- Landscape Contractor is responsible for mulching all plant beds with a minimum 2" layer of natural color Eucalyptus or Enviro-mulch immediately after planting. In no case shall Cypress mulch or red color mulch be used.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No paint shall be applied to any surface of trees or palms. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility for their duration. All unattended and unattended tree jobs shall be properly braced and flagged during construction.
- All broken branches and clear trunk branches are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to min. 1/2" height clearance to the base of canopy if specified as clear trunk specimen in plant list.
- Landscape Contractor to provide all plants with watering as indicated below or until such time that a permanent irrigation system has been installed that provides 100% coverage of landscape.  
First Month: Daily Watering. Second Month: 3 Times Per Week. Third and Fourth Month: 2 Times Per Week. Last Eight Months: 1 Time Per Week. At each watering procedure apply 1/2 - 3/4" evenly over soil.
- Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant.  
Palms: 12-4-12 N-P-K, Slow Release Plant Special with micronutrients.  
Shrub, Groundcover and Tree: 6-6-6 N-P-K with micronutrients.  
Soil: 10-10-10 N-P-K, Slow Release.

**PLANTING NOTES**

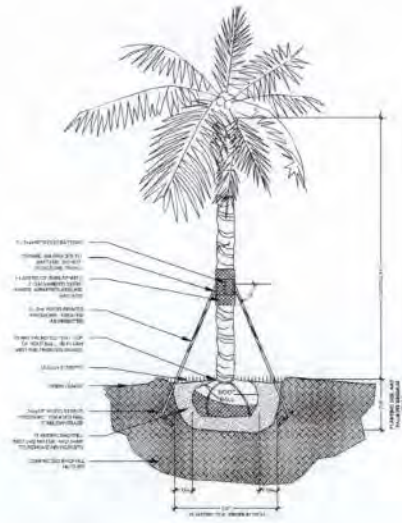
- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, gravel, and mulch.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect and Owner.
- All plant material shall be Florida #1 or better, as defined in the Grader and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor is responsible for scheduling a site stake out approval by Landscape Architect to approve the stakes out of all trees and palms prior to installation.
- Landscape Contractor is responsible for scheduling a site stake out approval by Landscape Architect to approve stake out of all shrubs prior to installation.
- Landscape Contractor shall coordinate work with that of the Irrigation Contractor.
- The Landscape Contractor shall treat new plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting.
- Landscape Contractor shall maintain all final grades for existing berms and swales established by General Contractor. Any impacts to elevations of berms or swales as a result of plant material installation shall be repaired to correct final grade prior to installing mulch and/or gravel.
- Planting soil shall be a mix of 50% inert rock and 50% beach-saver sand. Planting soil (mulch) shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for groundcovers, shrubs, palms and trees shall be as per details.
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- All synthetic burp, string, cords or wire supports shall be removed before trees are planted. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burp shall be removed or buried into the plant soil before the trees are installed.
- Landscape Contractor is responsible for mulching all plant beds with a minimum 2" layer of natural color Eucalyptus or Enviro-mulch immediately after planting. In no case shall Cypress mulch or red color mulch be used.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No paint shall be applied to any surface of trees or palms. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility for their duration. All unattended and unattended tree jobs shall be properly braced and flagged during construction.
- All broken branches and clear trunk branches are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to min. 1/2" height clearance to the base of canopy if specified as clear trunk specimen in plant list.
- Landscape Contractor to provide all plants with watering as indicated below or until such time that a permanent irrigation system has been installed that provides 100% coverage of landscape.  
First Month: Daily Watering. Second Month: 3 Times Per Week. Third and Fourth Month: 2 Times Per Week. Last Eight Months: 1 Time Per Week. At each watering procedure apply 1/2 - 3/4" evenly over soil.
- Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant.  
Palms: 12-4-12 N-P-K, Slow Release Plant Special with micronutrients.  
Shrub, Groundcover and Tree: 6-6-6 N-P-K with micronutrients.  
Soil: 10-10-10 N-P-K, Slow Release.

**01 PLANTING NOTES**

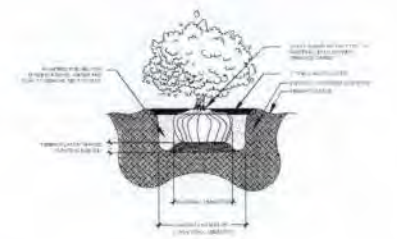
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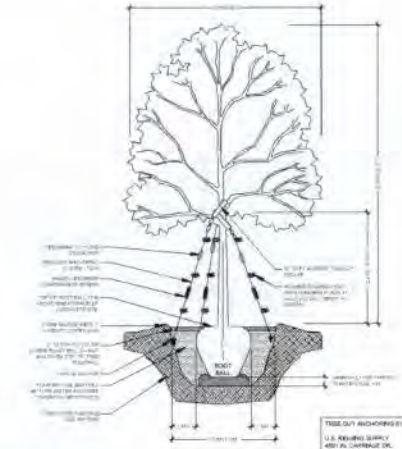
**02 SABAL PALM PLANTING DETAIL**  
SCALE: N.T.S.



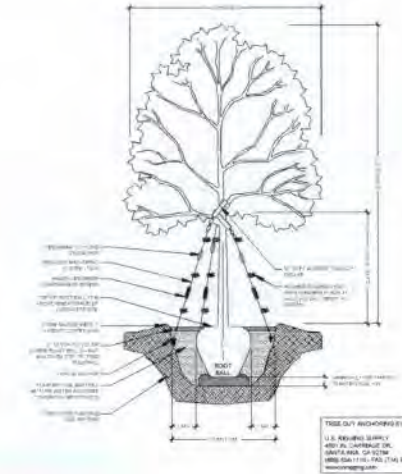
**03 PALM PLANTING DETAIL**  
SCALE: N.T.S.



**04 SHRUB PLANTING DETAIL**  
SCALE: N.T.S.



**05 SHRUB PLANTING DETAIL**  
SCALE: N.T.S.



**06 TREE PLANTING DETAIL**  
SCALE: N.T.S.

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Scale	
Project Name	KEY WEST SEAPORT HOTEL
Project Location	KEY WEST, FLORIDA
Contractor	
Architect	
Interior Designer	
Engineer	
Other	

**KEY WEST SEAPORT HOTEL**  
KEY WEST, FLORIDA

Drawing No. 110001-01  
Sheet No. 110001-01-01  
Title: **PLANTING NOTES & DETAILS**  
Scale: **L-2.0**  
Date: April 18, 2013