

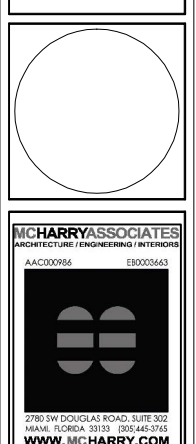
# KEY WEST CITY HALL AT GLYNN ARCHER

## 1300 WHITE STREET KEY WEST

### 90% CONSTRUCTION DOCUMENTS SUBMITTAL - MAY 28, 2014

REVISIONS:

KEY WEST CITY HALL  
AT GLYNN ARCHER  
1300 WHITE STREET KEY WEST, FLORIDA  
CITY OF KEY WEST



410 Angela Street  
Key West, Florida 33040  
Telephone (305) 298-1347  
Frostbite (305) 298-2727  
Florida License AIC002022

Bender & Associates  
ARCHITECTS  
P.C.

Project No: 1305  
Date: 3/3/14

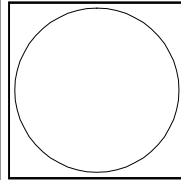
COVER

90% CONSTRUCTION DOCUMENTS SUBMITTAL

SITE MAP - KEY WEST	GENERAL NOTES	PROJECT DIRECTORY	SHEET INDEX																																																																																																																																																			
<p style="text-align: center;">SITE LOCATION 1300 WHITE ST. KEY WEST</p> <p style="text-align: right;">Not to Scale</p>	<ol style="list-style-type: none"> <li>All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:                      FLORIDA BUILDING CODE - Building 2010 EDITION                      FLORIDA BUILDING CODE - Existing 2010 EDITION                      FLORIDA BUILDING CODE - Residential 2010 EDITION                      FLORIDA BUILDING CODE - Plumbing 2010                      FLORIDA BUILDING CODE - Fuel Gas 2010 EDITION                      FLORIDA BUILDING CODE - Mechanical 2010 EDITION                      NATIONAL ELECTRICAL CODE 2008 EDITION                      NFPA 70 LIFE SAFETY CODE w/ Florida Modifications                      2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION                      NFPA 1 2006 EDITION                      This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 130 mph (gusts).                      2. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.                      3. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.                      4. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.                      5. Dimensions shall take precedence over scale.                      6. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.                      7. After completion of construction remove all debris and construction equipment. Restore site to original condition.                      8. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.                      9. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.                      10. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.                      61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.</li> </ol>	<p><b>PROJECT:</b> KEY WEST CITY HALL AT GLYNN ARCHER ARCHITECT'S PROJECT No.: 1305</p> <p><b>OWNER:</b> City of Key West, Florida P.O. Box 1409 Key West, FL 33041 E-mail: mview@keywestcity.com Phone: (305)-809-3964 Representative: Michael View</p> <p><b>ARCHITECT:</b> BENDER &amp; ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 298-1347 Fax: (305) 298-2727 E-mail: bbender@bellouth.net Project Manager: Bert L. Bender (Principal-in-Charge) Project Architect: David Salay</p> <p><b>ASSOCIATED ARCHITECT:</b> MC HARRY ASSOCIATES Address: 2780 SW Douglas Rd., Ste. 302, Miami, FL 33133 Tel: (305) 446-3765 Email: jpiersol@mharry.com Project Manager: James Piensol (Principal-in-Charge) Project Architects: Javier Torres, Thomas Carlson</p> <p><b>ENGINEERING CONSULTANTS:</b>  <b>STRUCTURAL:</b> H.W. KEISTER ASSOCIATES Address: 2027 University Boulevard, North Jacksonville, FL 32211 Tel: (904) 743-4633 Fax: (904) 744-6495 Representative: Mark J. Keister, P.E.,</p> <p><b>MEP:</b> HNGS ENGINEERS Address: 4800 SW 74th Court, Miami, FL 33155 Tel: 305-270-9835 Fax: 305-645-5898 E-mail: hngs@hngsengineers.com Representative: Enrique J. Suarez, Jr., P.E.</p> <p><b>CIVIL:</b> Perez Engineering and Development, Inc. 1010 Kennedy Dr., Suite 400, Key West Tel: (305) 293-9440 Email: perzenge@perezeng.com Representative: Allen Perez</p> <p><b>LANDSCAPE:</b> E SCIENCES, INC. 34 East Pine St., Orlando, FL 32801 Tel: 407-81-9006 Email: koropoz@esciencesinc.com Representative: Keith Croppes, ASLA</p> <p><b>ACOUSTICS, TECHNOLOGY, SECURITY:</b> KINSELLA-MARSH GROUP 901 Carleton Drive, Richardson, TX 75081 Tel: 305-868-1531 Email: david.marsh@kinsella-marsh.com Representative: David Marsh, Project Manager</p> <p><b>INTERIORS:</b> LEAF, INC. 708 William St., Key West, FL 33040 Tel: 305-890-6176 Representative: Patricia Baldus</p> <p><b>ENVIRONMENTAL ASSESSMENT:</b> E&amp;G, INC. Address: 4505 Commerce Way, Suite 400, Miami Lakes, FL 33064 Tel: (305) 374-8300 E-mail: rgrupenhoff@eandg.com Project Manager: Richard Grupenhoff (Principal-in-Charge)</p> <p><b>SURVEYING:</b> ISLAND SURVEYING, INC. Address: 3150 Northside Dr., Key West, FL 33040 Tel: 305-293-0466 Email: fhildeb@bellsouth.net Project Manager: Fred Hildebrandt</p> <p><b>LEED COMMISSIONING AGENT:</b> TLC ENGINEERING, INC. Address: 800 Fairway Dr, Suite 250, Deerfield Beach, FL 33441 Tel: 305-942-1064 Email: donna.bosold@tllc.net Contact: Donna Bosold</p> <p><b>PLANNING CONSULTANT:</b> DONNA BOSOLD Address: 720 Eaton Street, Key West, FL 33040 Tel: 305-942-1064 Email: donna.bosold@tllc.net Contact: Donna Bosold</p>	<p><b>COVER SURVEY</b> PROPERTY SURVEY</p> <p><b>LANDSCAPE:</b> L-1.0 HARDSCAPE PLAN L-1.1 HARDSCAPE PLAN L-1.2 HARDSCAPE PLAN ENLARGEMENTS L-4.0 HARDSCAPE DETAILS L-4.1 HARDSCAPE DETAILS L-4.2 HARDSCAPE DETAILS L-4.3 HARDSCAPE DETAILS L-5.0 LANDSCAPE PLAN L-5.1 LANDSCAPE PLAN L-6.0 PLANT PALETTE &amp; DETAILS L-7.0 IRRIGATION PLAN L-7.1 IRRIGATION PLAN L-8.0 SITE IRRIGATION LEGEND, NOTES, DETAILS</p> <p><b>CIVIL:</b> C-1 GENERAL NOTES C-2 SITE PLAN C-3 DRAINAGE PLAN C-4 IRRIGATION PLAN C-5 SWPPP PLAN C-6 CIVIL DETAILS C-7 CIVIL DETAILS</p> <p><b>ARCHITECTURAL:</b> A1.1 OVERALL ARCHITECTURAL SITEPLAN A1.2 SITE DEMOLITION PLAN A1.3 FIRST FLOOR DEMOLITION PLAN A1.4 SECOND FLOOR DEMO PLAN A1.5 ROOF DEMOLITION PLAN A2.1 OVERALL FIRST FLOOR PLAN A2.1A FIRST FLOOR - WING A A2.1B FIRST FLOOR - WING B A2.2 OVERALL SECOND FLOOR PLAN A2.2A SECOND FLOOR PLAN - WING A A2.2B SECOND FLOOR PLAN - WING B A3.1 OVERALL ROOF PLAN A3.1A ROOF PLAN - WING A A3.1B ROOF PLAN - WING B A4.1 OVERALL FIRST FLOOR REFLECTED CEILING PLAN A4.1A FIRST FLOOR RCP - WING A A4.1B FIRST FLOOR RCP - WING B A4.2 OVERALL SECOND FLOOR REFLECTED CEILING PLAN A4.2A SECOND FLOOR RCP - WING A A4.2B SECOND FLOOR RCP - WING B A5.1 EXTERIOR ELEVATIONS A5.1P EXTERIOR ELEVATIONS WITH PLANNING INFO A5.2 EXTERIOR ELEVATIONS WITH PLANNING INFO A5.2P EXTERIOR ELEVATIONS WITH PLANNING INFO A6.1 BUILDING SECTIONS A6.2 BUILDING SECTIONS A6.3 BUILDING SECTIONS A7.1 WALL SECTIONS A7.2 WALL SECTIONS A8.1 ENLARGED BRIDGE PLANS - FIRST FLOOR A8.2 ENLARGED BRIDGE PLANS - SECOND FLOOR A8.3 BRIDGE - LONGITUDINAL SECTIONS A8.4 BRIDGE SECTIONS A8.5 BRIDGE ELEVATIONS A9.1 ENLARGED STAIR PLANS A9.2 ENLARGED STAIR PLANS A9.3 ENLARGED INTERIOR RAMPS + RAILINGS - AUDITORIUM A9.4 EXTERIOR HISTORIC CONCRETE STAIRS AND RAILING DETAILS A9.6 ENLARGED EXTERIOR HISTORIC STAIR AND RAILING DETAILS A9.7 ENLARGED EXTERIOR HISTORIC STAIR AND RAILING DETAILS A9.8 ENLARGED BATHROOM PLANS, INTERIOR ELEVATIONS A9.9 ENLARGED BATHROOM PLANS, INTERIOR ELEVATIONS A9.10 ENLARGED BATHROOM PLANS, INTERIOR ELEVATIONS A10.0 WALL TYPES A10.1 DOOR SCHEDULE &amp; DETAILS A10.2 DOOR SCHEDULE &amp; DETAILS A11.1 WINDOW SCHEDULE &amp; DETAILS A11.2 WINDOW SCHEDULE &amp; DETAILS A11.3 DOOR, WINDOW DETAILS A12.1 INTERIOR ELEVATIONS A12.2 INTERIOR ELEVATIONS A12.3 INTERIOR ELEVATIONS A12.4 INTERIOR ELEVATIONS A12.5 INTERIOR ELEVATIONS A12.6 INTERIOR ELEVATIONS A13.1A FIRST FLOOR FURNITURE PLAN - WING A A13.1B FIRST FLOOR FURNITURE PLAN - WING B A13.2A SECOND FLOOR FURNITURE PLAN - WING A A13.2B SECOND FLOOR FURNITURE PLAN - WING B A14.1A FIRST FLOOR FINISH PLAN - WING A A14.1B FIRST FLOOR FINISH PLAN - WING B A14.2A SECOND FLOOR FINISH PLAN - WING A A14.2B SECOND FLOOR FINISH PLAN - WING B A14.3 ROOM FINISH SCHEDULE A16.1 ROOFING DETAILS A16.2 ROOFING DETAILS LS-1 FIRST FLOOR LIFE SAFETY PLAN LS-2 SECOND FLOOR LIFE SAFETY PLAN</p> <p><b>GENERAL NOTES</b> S0.1 GENERAL NOTES S0.2 GENERAL NOTES S0.3 COMPONENTS AND CLADDING S1.1 FOUNDATION AND FIRST FLOOR PLAN S1.2 SECOND FLOOR FINISH PLAN S1.3 ROOF FRAMING PLAN S2.1 SECTIONS</p> <p><b>DESCRIPTION OF WORK:</b> RENOVATION OF EXISTING TWO STORY BUILDING INTO NEW CITY HALL, WITH ALL ASSOCIATED LANDSCAPE AND SITEWORK.</p>	<p><b>SECTIONS</b> S2.3 SECTIONS S2.4 SECTIONS S5.1 TYPICAL DETAILS S5.2 TYPICAL DETAILS S5.3 COLUMN / FOOTING SCHEDULE</p> <p><b>MECHANICAL:</b> M2.1A 1ST FLOOR MECHANICAL-WING A M2.1B 1ST FLOOR MECHANICAL-WING B M2.2A 2ND FLOOR MECHANICAL -WING A M2.2B 2ND FLOOR MECHANICAL -WING B M3.1A ROOF MECHANICAL PLAN-WING A M3.1B ROOF MECHANICAL PLAN-WING B M4.0 MECHANICAL NOTES AND LEGEND M4.1 MECHANICAL SCHEDULES M4.2 CHILLED WATER SYSTEM DIAGRAM M4.3 CONTROL DIAGRAMS M4.4 CONTROL DIAGRAMS M4.5 MECHANICAL DETAILS M4.6 MECHANICAL DETAILS M4.7 MECHANICAL DETAILS M4.8 MECHANICAL DETAILS</p> <p><b>PLUMBING:</b> P2.1A 1ST FLOOR PLUMBING-WING A P2.1B 1ST FLOOR PLUMBING-WING B P2.2A 2ND FLOOR PLUMBING -WING A P2.2B 2ND FLOOR PLUMBING -WING B P4.0 PLUMBING NOTES &amp; DETAILS P4.1 PLUMBING DETAILS P4.2 PLUMBING DETAILS</p> <p><b>ELECTRICAL:</b> E0.0 GENERAL NOTES E0.1 LIGHTING FIXTURE SCHEDULE AND DETAILS E0.2 FIXTURE SCHEDULE E1.1 ELECTRICAL SITE PLAN E1.1P ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN E1.1A 1ST FLOOR LIGHTING PLAN-WING A E1.1B 1ST FLOOR LIGHTING PLAN-WING B E1.2A 2ND FLOOR LIGHTING PLAN-WING A E1.2B 2ND FLOOR LIGHTING PLAN-WING B E2.1A 1ST FLOOR POWER PLAN-WING A E2.1B 1ST FLOOR POWER PLAN-WING B E2.2A 2ND FLOOR POWER PLAN-WING A E2.2B 2ND FLOOR POWER PLAN-WING B E3.1A ROOF ELECTRICAL PLAN - WING A E3.1B ROOF ELECTRICAL PLAN - WING B E4.1A 1ST FLOOR FIRE ALARM PLAN-WING A E4.1B 1ST FLOOR FIRE ALARM PLAN-WING B E4.2A 2ND FLOOR FIRE ALARM PLAN-WING A E4.2B 2ND FLOOR FIRE ALARM PLAN-WING B E5.1 ENLARGED PLANS E6.1 POWER RISER DIAGRAM E6.2 DIMMING AND SHADE CONTROL RISER DIAGRAM E7.0 PANEL SCHEDULE E7.02 PANEL SCHEDULE</p> <p><b>FIRE PROTECTION:</b> FP2.1A 1ST FLOOR FIRE PROTECTION-WING A FP2.1B 1ST FLOOR FIRE PROTECTION-WING B FP2.2A 2ND FLOOR FIRE PROTECTION -WING A FP2.2B 2ND FLOOR FIRE PROTECTION -WING B FP4.0 FIRE PROTECTION NOTES, DETAILS AND SCHEDULES FP4.1 FIRE PROTECTION DETAILS FP4.2 FIRE PROTECTION DETAILS</p> <p><b>AUDIOVISUAL / ELECTRICAL:</b> EA0.0 ABBREVIATIONS, LEGEND, NOTES EA0.1 AUDIOVISUAL ELECTRICAL DETAILS EA0.2 AUDIOVISUAL ELECTRICAL DETAILS EA0.3 AUDIOVISUAL ELECTRICAL DETAILS EA2.1 AV ELECTRICAL FIRST FLOOR OVERALL PLAN EA2.1A AV ELECTRICAL FIRST FLOOR WING A - PLAN EA2.1B AV ELECTRICAL FIRST FLOOR WING B - PLAN EA2.2 AV ELECTRICAL SECOND FLOOR OVERALL PLAN EA2.2A AV ELECTRICAL SECOND FLOOR WING A - PLAN EA2.2B AV ELECTRICAL SECOND FLOOR WING B - PLAN EA4.1 AV ELECTRICAL FIRST FLOOR OVERALL REFLECTED CEILING PLAN EA4.1A AV ELECTRICAL FIRST FLOOR WING A - RCP EA4.1B AV ELECTRICAL FIRST FLOOR WING B - RCP EA4.2 AV ELECTRICAL SECOND FLOOR OVERALL REFLECTED CEILING PLAN EA4.2A AV ELECTRICAL SECOND FLOOR WING A - RCP EA4.2B AV ELECTRICAL SECOND FLOOR WING B - RCP EA6.1 AV ELECTRICAL BUILDING SECTIONS EA6.2 AV ELECTRICAL BUILDING SECTIONS EA6.3 AV ELECTRICAL BUILDING SECTIONS EA6.4 AV ELECTRICAL ENLARGED PLANS - AUDIOVISUAL SERVER ROOM AND AV CONTROL ROOM TECHNOLOGY INFRASTRUCTURE T1.00 DETAILS AND SYMBOL LEGEND T1.01 DETAILS AND CONCEPTUAL DIAGRAMS T2.00 OVERALL SITEPLAN T2.01 FIRST FLOOR OVERALL PLAN T2.02 SECOND FLOOR OVERALL PLAN T3.00 ENLARGED SERVER ROOM PLAN T4.00 CONCEPTUAL RISER DIAGRAM ACCESS CONTROL AND SURVEILLANCE: TS1.00 SECURITY DETAILS AND SYMBOL LEGEND TS1.01 SINGLE DOOR SECURITY CONDUIT DTLS. TS1.02 DOUBLE DOOR SECURITY CONDUIT DTLS. TS1.03 SURVEILLANCE CAMERA DTLS. TS2.01 FIRST FLOOR OVERALL SECURITY PLAN TS2.02 SECOND FLOOR OVERALL SECURITY PLAN</p>																																																																																																																																																		
<p style="text-align: center;">ABBREVIATIONS</p> <table border="0"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>AVC</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>BLKG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BUR</td><td>BUILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CER</td><td>CERAMIC</td><td>PL</td><td>PROPETYRY LINE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CHU</td><td>CONCRETE MASONRY UNIT</td><td>PNL</td><td>PANEL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>PT</td><td>CCA PRESSURE TREATED</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>PT</td><td>POINT</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr> <tr><td>DIAG</td><td>DIAGONAL</td><td>R</td><td>RADIUS (OR) RISER</td></tr> <tr><td>DS</td><td>DOWNSPOUT</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DTL</td><td>DETAIL</td><td>R/A</td><td>STEEL REINF. BAR</td></tr> <tr><td>DWR</td><td>DRAWER</td><td>REBR</td><td>REBAR</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>ELEC</td><td>ELECTRIC</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>T</td><td>TYPICAL</td></tr> <tr><td>EXH</td><td>EXHAUST</td><td>TYP</td><td>TYPICAL</td></tr> <tr><td>FV</td><td>FIELD VERIFY</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>GALV</td><td>GALVANIZED</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>G</td><td>GALVANIZED IRON</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>GYP</td><td>GYPSPUM</td><td>WD</td><td>WOOD</td></tr> <tr><td>HORZ</td><td>HORIZONTAL</td><td>WNF</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HDW</td><td>HARDWARE</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING &amp; AIR CONDITIONING</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>FC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr> <tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr> <tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr> <tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr> </table>	AB	ANCHOR BOLT	MIN	MINIMUM	ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE	AVC	AIR CONDITIONING	OA	OVERALL	BLKG	BLOCKING	OC	ON CENTER	BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CER	CERAMIC	PL	PROPETYRY LINE	CL	CENTER LINE	PLAM	PLASTIC LAMINATE	CLG	CEILING	PLF	POUNDS PER LINEAL FOOT	CHU	CONCRETE MASONRY UNIT	PNL	PANEL	COL	COLUMN	PT	CCA PRESSURE TREATED	CONC	CONCRETE	PT	POINT	DBL	DOUBLE	PVC	POLYVINYLCHLORIDE	DIAG	DIAGONAL	R	RADIUS (OR) RISER	DS	DOWNSPOUT	R/A	RETURN AIR	DTL	DETAIL	R/A	STEEL REINF. BAR	DWR	DRAWER	REBR	REBAR	EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)	EL	ELEVATION	SS	STAINLESS STEEL	ELEC	ELECTRIC	SPEC	SPECIFICATION	EQ	EQUAL	T	TYPICAL	EXH	EXHAUST	TYP	TYPICAL	FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE	GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE	G	GALVANIZED IRON	VERT	VERTICAL	GYP	GYPSPUM	WD	WOOD	HORZ	HORIZONTAL	WNF	WELDED WIRE FABRIC	HDW	HARDWARE	WH	WATER HEATER	HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT	FC	FACE OF CONCRETE			FOS	FACE OF STUD			FIN	FINISH			FE	FIRE EXTINGUISHER			FND	FOUNDATION			FTG	FOOTING			ID	INSIDE DIAMETER			MAX	MAXIMUM			<p style="text-align: center;">SYMBOLS LEGEND</p> <p><b>CROSS SECTION</b> 1/4" = 1'-0" DRAWING SCALE</p> <p><b>SECTION &amp; DETAIL DRWG. TITLES</b> POCHE ONLY WHERE ELEVATIONS ARE INDICATED SHT. A8 INDICATES # OF ELEVATION</p> <p><b>WALL ELEVATION INDICATOR</b> (SHOWN WITHIN ROOM ON PLAN) FIRST # INDICATES FLOOR 206</p> <p><b>ROOM NUMBER INDICATOR</b> (SHOWN BESIDE OR UNDER ROOM NAME) NUMBERS → 23 LETTERS → A</p> <p><b>DOOR OPENING INDICATOR</b> (EACH OPENING SCHEDULED SEPARATELY) LETTERS → E</p> <p><b>WINDOW INDICATOR</b> (EACH WINDOW TYPE &amp; SIZE SCHEDULED) LETTERS → E</p> <p><b>PARTITION/WALL TYPE INDICATOR</b> (COMMERCIAL &amp; INSTITUTIONAL PROJECTS)</p>	<p style="text-align: center;">MATERIAL DESIGNATIONS</p> <p>CONCRETE MASONRY UNITS IN PLAN CONC., STUCCO, PLASTER IN ELEV./POURED CONCR. IN PLAN METAL IN ELEVATION METAL IN SECTION FINISH WOOD IN ELEV. &amp; IN SECTION DIMENSION LUMBER IN SECTION (CONTINUOUS) WOOD BLOCKING IN SECTION (DISCONTINUOUS) GYPSUM WALL BOARD IN SECTION (LARGE SCALE) EARTH, NATURAL SUBSTRATE GRAVEL, AGGREGATE BASE COURSE, FILL FIBERGLASS BATT INSULATION RIGID INSULATION</p> <p><b>PARTITIONS &amp; WALLS</b> CONCRETE MASONRY UNITS POURED CONCRETE WOOD FRAME METAL STUDS EXISTING CONSTRUCTION TO REMAIN EXISTING CONSTRUCTION TO BE DEMOLISHED</p>
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COL	COLUMN	PT	CCA PRESSURE TREATED																																																																																																																																																			
CONC	CONCRETE	PT	POINT																																																																																																																																																			
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE																																																																																																																																																			
DIAG	DIAGONAL	R	RADIUS (OR) RISER																																																																																																																																																			
DS	DOWNSPOUT	R/A	RETURN AIR																																																																																																																																																			
DTL	DETAIL	R/A	STEEL REINF. BAR																																																																																																																																																			
DWR	DRAWER	REBR	REBAR																																																																																																																																																			
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)																																																																																																																																																			
EL	ELEVATION	SS	STAINLESS STEEL																																																																																																																																																			
ELEC	ELECTRIC	SPEC	SPECIFICATION																																																																																																																																																			
EQ	EQUAL	T	TYPICAL																																																																																																																																																			
EXH	EXHAUST	TYP	TYPICAL																																																																																																																																																			
FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE																																																																																																																																																			
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE																																																																																																																																																			
G	GALVANIZED IRON	VERT	VERTICAL																																																																																																																																																			
GYP	GYPSPUM	WD	WOOD																																																																																																																																																			
HORZ	HORIZONTAL	WNF	WELDED WIRE FABRIC																																																																																																																																																			
HDW	HARDWARE	WH	WATER HEATER																																																																																																																																																			
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT																																																																																																																																																			
FC	FACE OF CONCRETE																																																																																																																																																					
FOS	FACE OF STUD																																																																																																																																																					
FIN	FINISH																																																																																																																																																					
FE	FIRE EXTINGUISHER																																																																																																																																																					
FND	FOUNDATION																																																																																																																																																					
FTG	FOOTING																																																																																																																																																					
ID	INSIDE DIAMETER																																																																																																																																																					
MAX	MAXIMUM																																																																																																																																																					

REVISIONS:

KEY WEST CITY HALL  
AT GLYNN ARCHER  
1300 WHITE STREET KEY WEST, FLORIDA  
CITY OF KEY WEST



MCHARRY ASSOCIATES  
ARCHITECTURE ENGINEERING INTERIORS  
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Florida License AAC002022

Bender & Associates  
ARCHITECTS  
p.c.

Project No: 1305  
PROPOSED ARCHITECTURAL SITEPLAN  
Date: 3/3/14

A1.1  
OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL

SITE DATA TABLE

	CODE REQUIREMENT	EXISTING	PROPOSED	VARIANCE REQUEST	NOTES
ZONING	HPS				
FLOOD ZONE	ZONE X				
SIZE OF SITE	120,909 S.F. (2.77 ACRES)				
HEIGHT	25' MAX.	46.7' (53.9' - 7.2')	NO CHANGE	YES	HIGHEST TOP OF PEDIMENT +53.9'. CROWN OF ROAD +7.2'
FRONT SETBACK	20'	41.2'	41.2'		
SIDE SETBACK	5' OR 10% OF WIDTH TO 15'	15% OF 92.5' = 13.87'	14.5' (SOUTH PL TO GENERATOR)		
STREET SIDE SETBACK	10'	26.24' (SOUTH), 27.24' (NORTH)	26.24' (SOUTH), 27.24' (NORTH)		
REAR SETBACK	20'	442.41'	573.58'		
F.A.R.	1.0 MAX.	57,967 / 120,909 = .48	57,051 / 120,909 = .30		
BUILDING COVERAGE	40% MAXIMUM	43,117 / 120,909 = 35.6%	24,784 / 120,909 = 20.5%		
IMPERVIOUS SURFACE	50% MAXIMUM	92,658 / 120,909 = 76.6%	79,792 / 120,909 = 65.9%	YES	75,121 / 120,909 = 62.1% WITHOUT PARKING SHELTERS
PARKING	37051 / 300 = 124 SPACES	30 SPACES	124 SPACES		
HANDICAP PARKING	5 SPACES	0 SPACES	5 SPACES		
BICYCLE PARKING	32 SPACES	0 SPACES	32 SPACES		
OPEN SPACE / LANDSCAPING	20% MINIMUM	28,251 / 120,909 = 23.3%	41,117 / 120,909 = 34.2%		
NUMBER & TYPE OF UNITS					
CONSUMPTION AREAS					

**PARKING SPACE COUNT:**

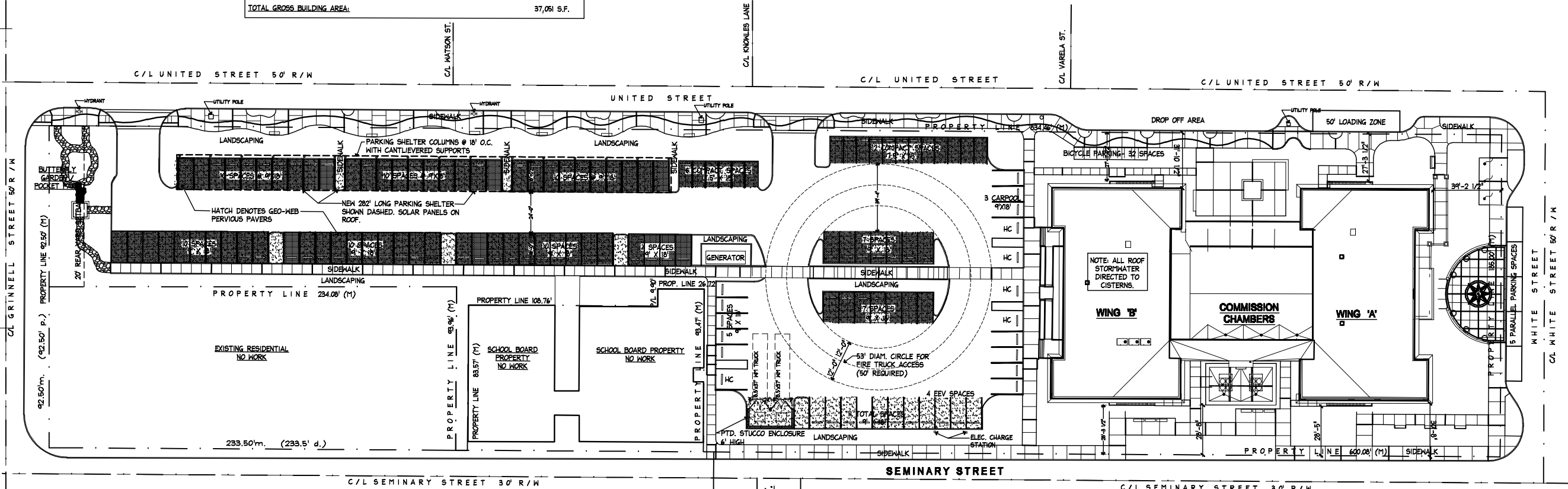
REGULAR (9' X 18') PARKING SPACES:	97 SPACES
COMPACT (7.5' X 15') PARKING SPACES:	18 SPACES
ACCESSIBLE (12' X 18') PARKING SPACES:	5 SPACES
EEV PARKING SPACES:	4 SPACES
<b>TOTAL PARKING SPACES:</b>	<b>124 SPACES</b>

**GROSS FLOOR AREA (MEASURED TO INSIDE OF EXTERIOR WALLS):**

FIRST FLOOR BUILDING A + AUDITORIUM:	10,741 S.F.
FIRST FLOOR AUDITORIUM COVERED EXTERIOR WALKWAYS:	2,192 S.F.
FIRST FLOOR FRONT PORCH:	284 S.F.
FIRST FLOOR MECHANICAL ROOM:	538 S.F.
FIRST FLOOR BUILDING B:	7,602 S.F.
SECOND FLOOR BUILDING A:	7,362 S.F.
SECOND FLOOR COVERED INTERIOR WALKWAY:	830 S.F.
SECOND FLOOR BUILDING B:	7,602 S.F.
<b>TOTAL GROSS BUILDING AREA:</b>	<b>37,051 S.F.</b>

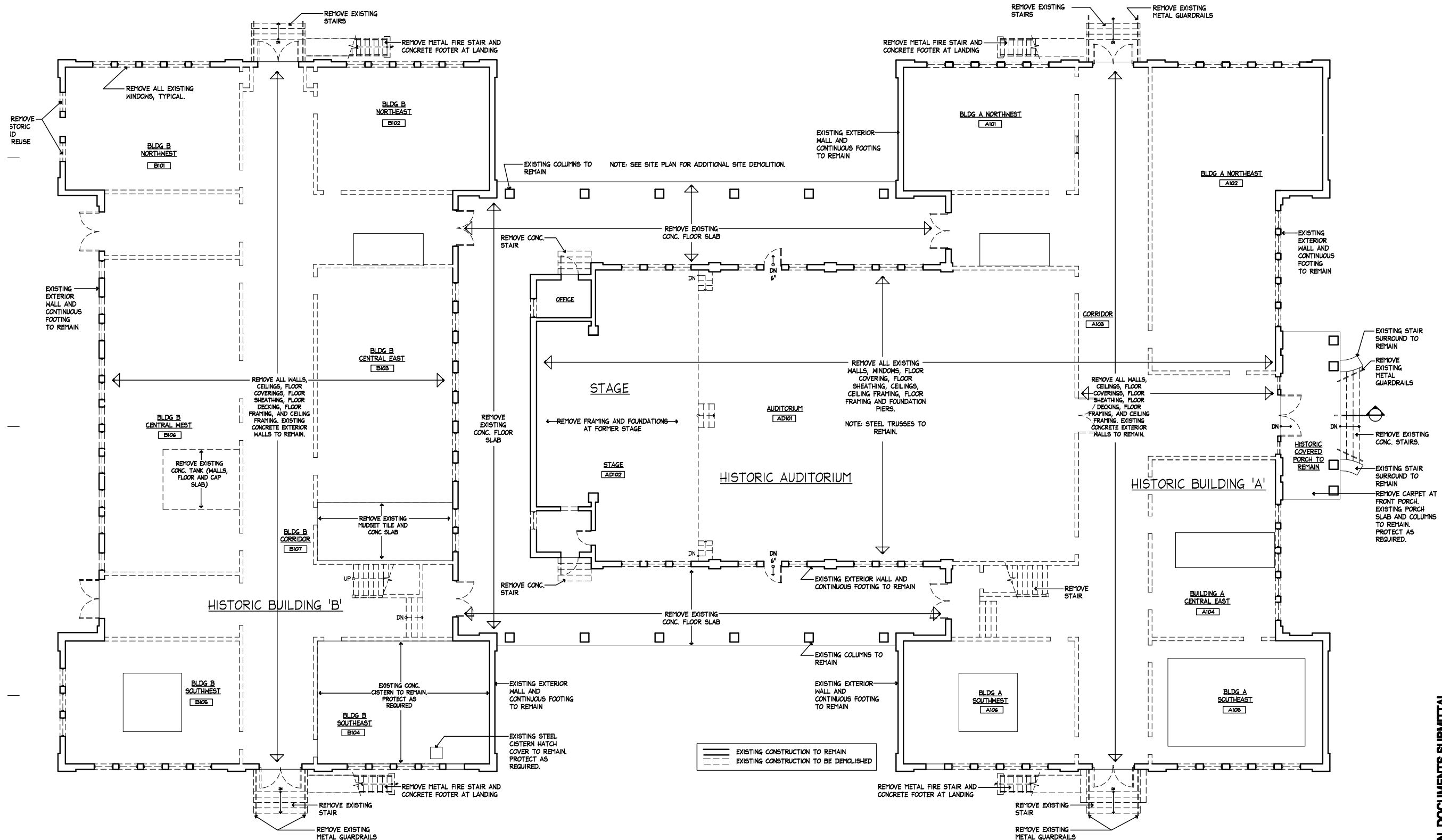
LEGAL DESCRIPTION (FROM 6/8/98 SURVEY FROM ISLAND SURVEYING, CORRECTED TO 7/12/13.)

**LEGAL DESCRIPTION:**  
On the Island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1828, but better known as Lots 1, 2, 3, 4, 8, 9, 10, 13, 14, 17, 18, 21, 22, 25, 26, 28, 30, 31, & 32, Square 1 and Lots 1, 2, 3, 4, 8, 9, 10, & 13, Square 2, Tract 18, "GEORGE W. NICHOLS SUBDIVISION", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida.  
**AND**  
On the Island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1828, but better known as Lots 1, 2, 3, & 4, Square 8, "DIAGRAM OF THE WEBB REALTY COMPANY", of part of Tract 18, according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida.  
**AND**  
Whalton Street, being 50 feet wide lying between United and Seminary Streets.  
**LESS OUT (Gym and Arts Bldg.):**  
On the Island of Key West, Monroe County, Florida and being a part of Tract 18, according to William A. Whitehead's map delineated in February, 1828, but better known as Lots 3, 4, & 9, Square 2, Tract 18, "GEORGE W. NICHOLS SUBDIVISION", according to the plat thereof, as recorded in Plat Book 1, at page 42 of the Public Records of Monroe County, Florida, and being more particularly described as follows:  
Commence at the Intersection of the Northeasterly Right-of-Way Line of Grinnell Street and the Northeasterly Right-of-Way Line of Seminary Street; thence in a Northeasterly direction along the said Northeasterly Right-of-Way Line of Seminary Street for a distance of 240.32 feet to the Point of Beginning; thence at a right angle and in a Northeasterly direction for a distance of 69.57 feet; thence at a right angle and in a Northeasterly direction for a distance of 108.76 feet; thence at a right angle and in a Northeasterly direction for a distance of 9.90 feet; thence at a right angle and in a Northeasterly direction for a distance of 28.72 feet; thence at a right angle and in a Southeasterly direction for a distance of 88.47 feet to the said Northeasterly Right-of-Way Line of Seminary Street; thence at a right angle and in a Southwesterly direction along the said Northeasterly Right-of-Way Line of Seminary Street for a distance of 136.48 feet to the Point of Beginning.  
Containing 11,886.50 square feet, more or less.



1 ARCHITECTURAL SITEPLAN  
A1.1 1" = 30'-0"



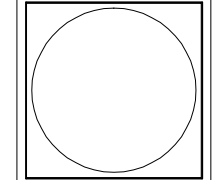


**1 FIRST FLOOR DEMOLITION PLAN**  
 A1.3 1/8"=1'-0"

REVISIONS:

--	--

**KEY WEST CITY HALL  
 AT GLYNN ARCHER**  
 1300 WHITE STREET KEY WEST, FLORIDA  
 CITY OF KEY WEST



**MCHARRY ASSOCIATES**  
 ARCHITECTURE ENGINEERING INTERIORS  
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 WWW.MCHARRY.COM

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 Telephone (305) 298-1347  
 Facsimile (305) 298-2727  
 Florida License AIC002022

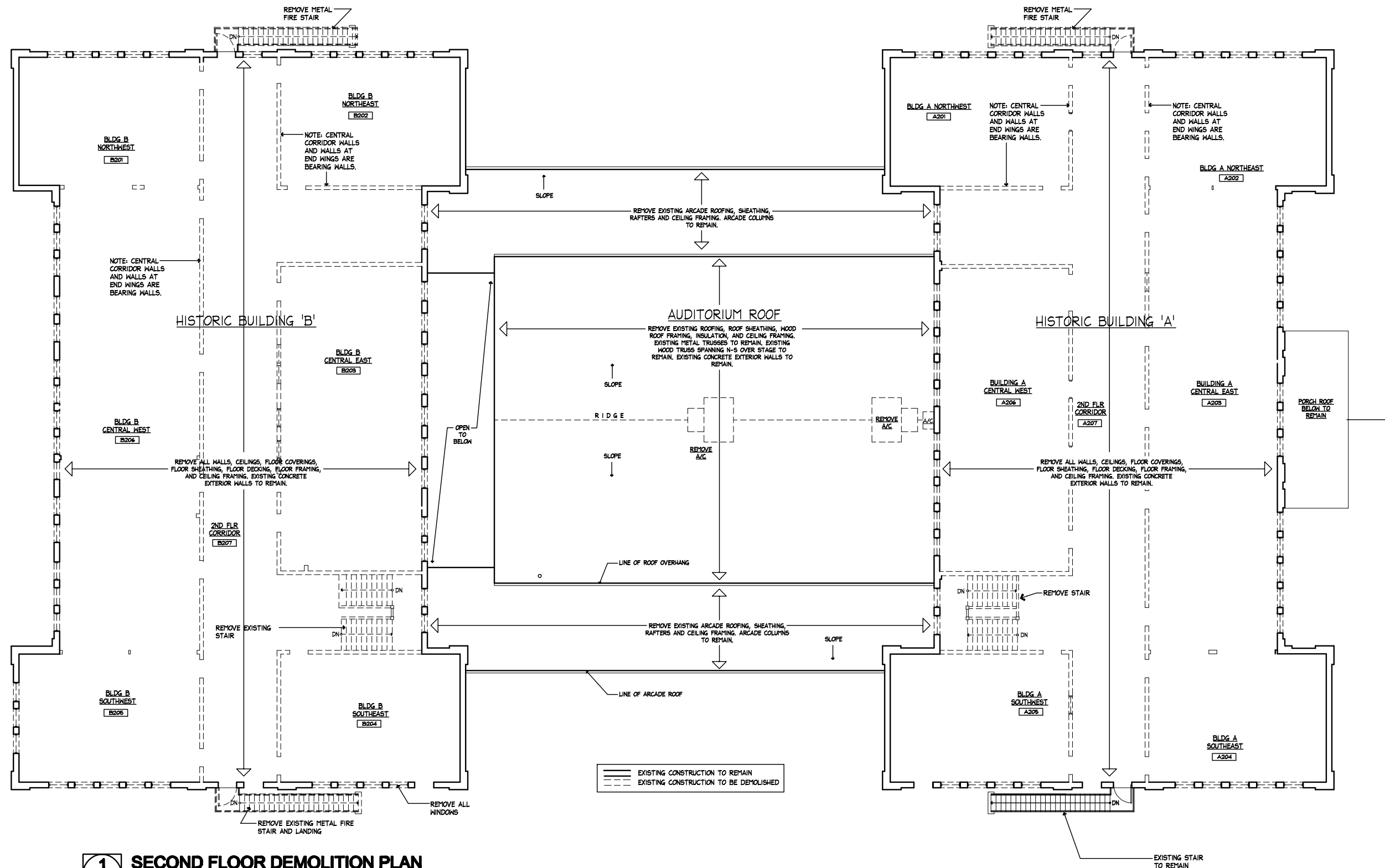
*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No: 1305  
**DEMOLITION PLAN**  
 Date: 3/3/14

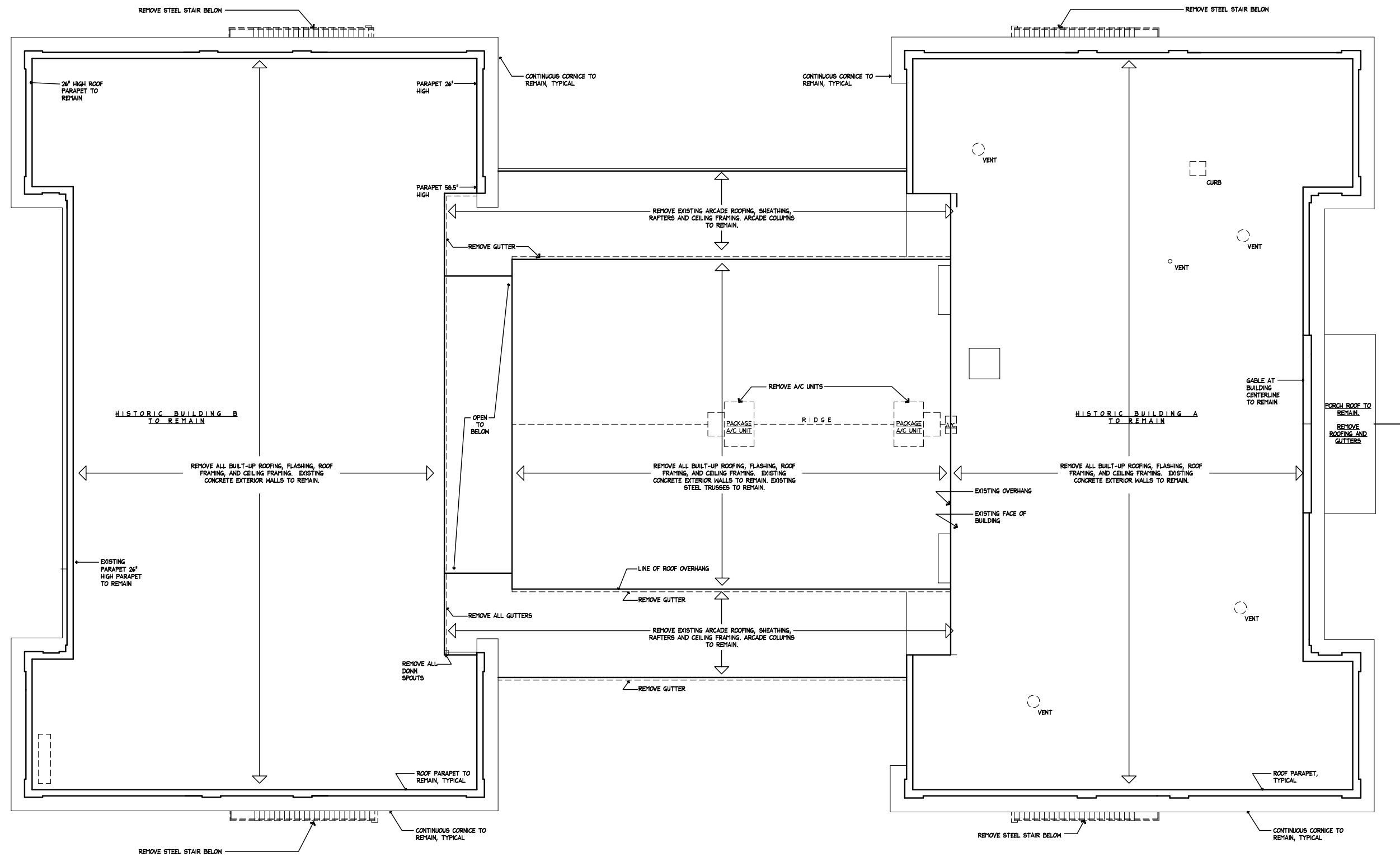
**A1.3**  
 OF

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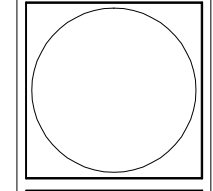
**1 SECOND FLOOR DEMOLITION PLAN**  
A1.4  
1/8"=1'-0"



**1 ROOF DEMOLITION PLAN**  
 A1.5 1/8"=1'-0"

REVISIONS:

**KEY WEST CITY HALL  
 AT GLYNN ARCHER**  
 1300 WHITE STREET KEY WEST, FLORIDA  
 CITY OF KEY WEST



**MCHARRY ASSOCIATES**  
 ARCHITECTURE ENGINEERING INTERIORS  
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 Florida License AIC002022

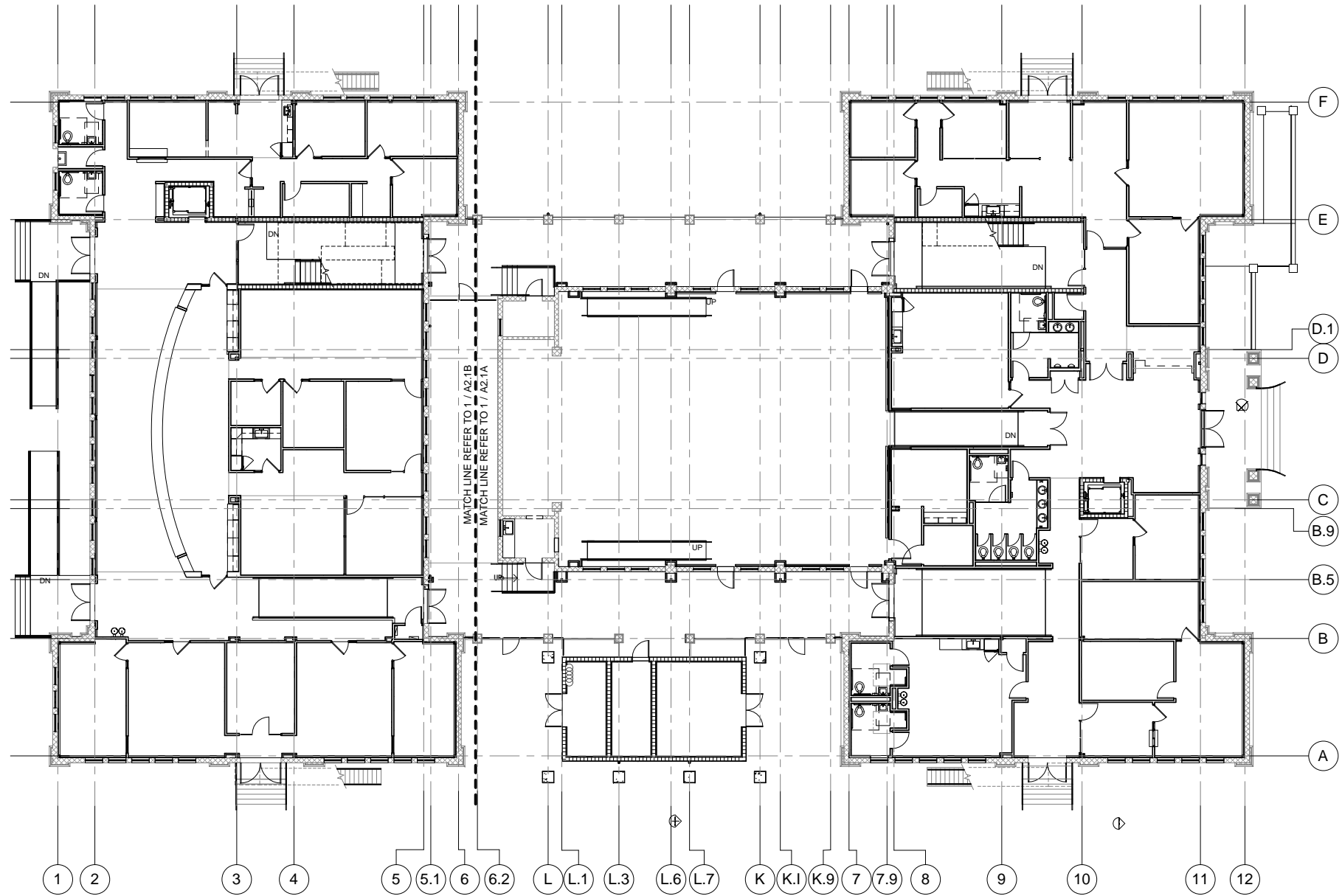
*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No: 1305  
 DEMOLITION PLAN  
 Date: 3/3/14

**A1.5**  
 OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL



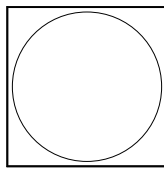


**1** OVERALL 1ST FLOOR PLAN  
A2.1 3/32" = 1'-0"



REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST



**MCHARRY ASSOCIATES**  
ARCHITECTS ENGINEERS INTERIORS  
AEC000966 E0000463  
2300 DR DOUGLASS ROAD, SUITE 202  
MIAMI, FLORIDA 33134 PHONE: 305  
WWW.MCHARRY.COM

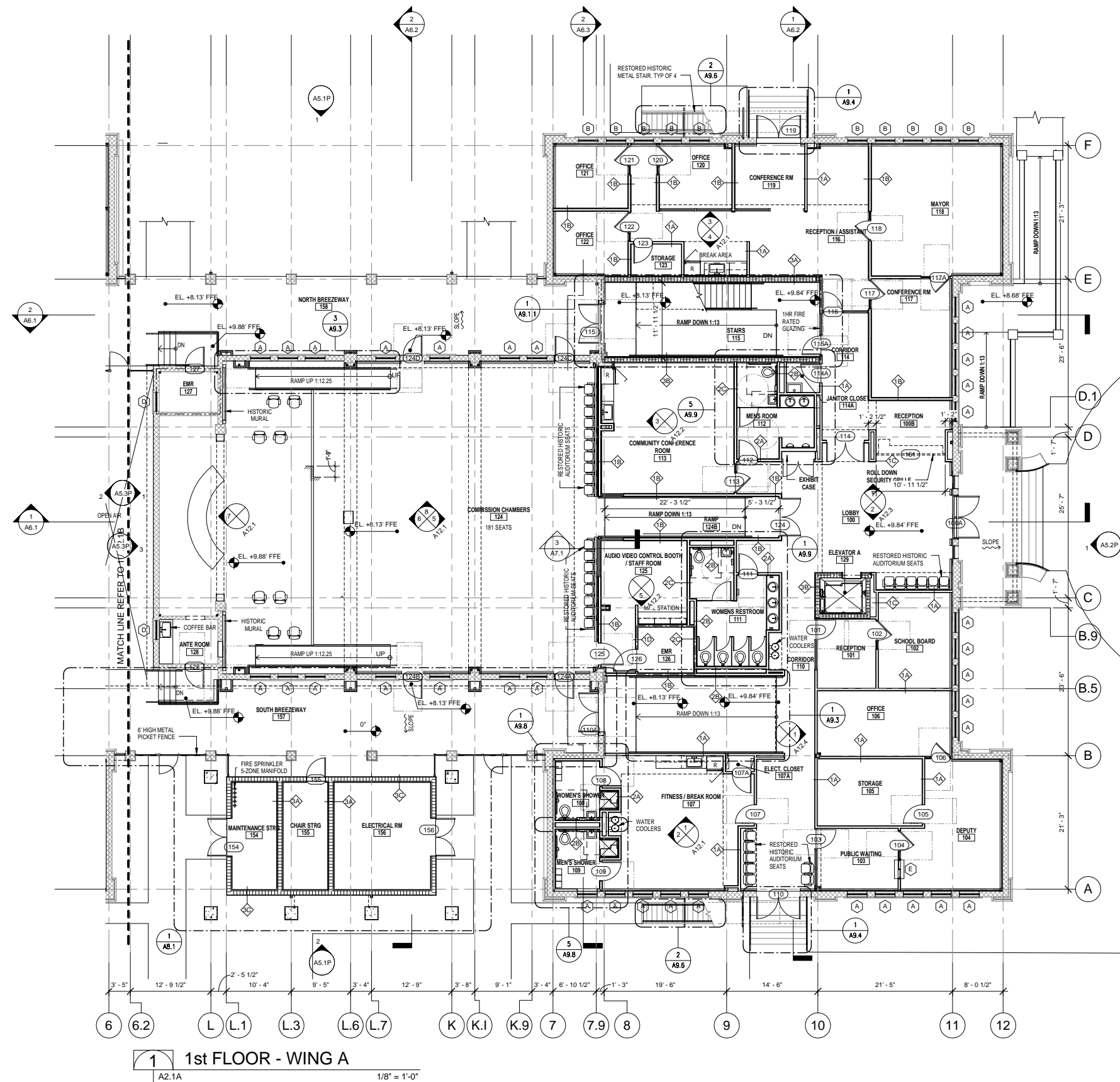
410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1317  
Facsimile (305) 296-2727  
Florida License AHC002022

*Bender & Associates*  
**ARCHITECTS**  
p.c.

Project No.	1305
OVERALL 1ST FLOOR PLAN	
Date:	3/3/14

**A2.1**  
OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL



**GENERAL NOTES**

**SOIL TREATMENT, PER FBC-B SECTION 1816.1:**

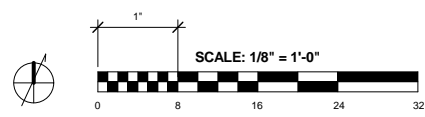
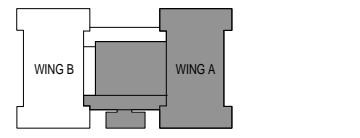
1. TERMITES PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS FOR TERMITES PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE FBC-B SECTION 202, REGISTERED TERMITICIDE. UPON COMPLETION OF THE APPLICATION OF THE TERMITES PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:  
 "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

2. ALL INTERIOR DIMENSIONS ARE SHOWN TO THE FACE OF FINISH SURFACES, UNLESS OTHERWISE NOTED.

3. PER FBC-B SECTION 719: INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.

**LEGEND**

	8' CMU WALL
	1 HR FIRE RATED PARTITION ASSEMBLY
	GYPHUM WALLBOARD PARTITION
	EXISTING CONCRETE WALL/COLUMN TO REMAIN
	REFRIGERATOR
	STOREFRONT
	WINDOW
	DOOR TAG
	WINDOW TAG
	WALL TAG



1 1st FLOOR - WING A  
 A2.1A 1/8" = 1'-0"

REVISIONS

**KEY WEST CITY HALL  
 AT GLYNN ARCHER**  
 PHASE 2  
 1300 WHITE STREET - KEY WEST, FLORIDA  
 CITY OF KEY WEST

MCHARRY ASSOCIATES  
 ARCHITECTS (REGISTERED ARCHITECTS)  
 AAC000966 EBB00043  
  
 2300 DR. DOUGLASS ROAD, SUITE 202  
 MIAMI, FLORIDA 33132 | PHONE: 305  
 WWW.MCHARRY.COM

410 Angela Street  
 Key West, Florida 33040  
 Telephone (305) 296-1317  
 Facsimile (305) 296-2727  
 Florida License: AHC002922

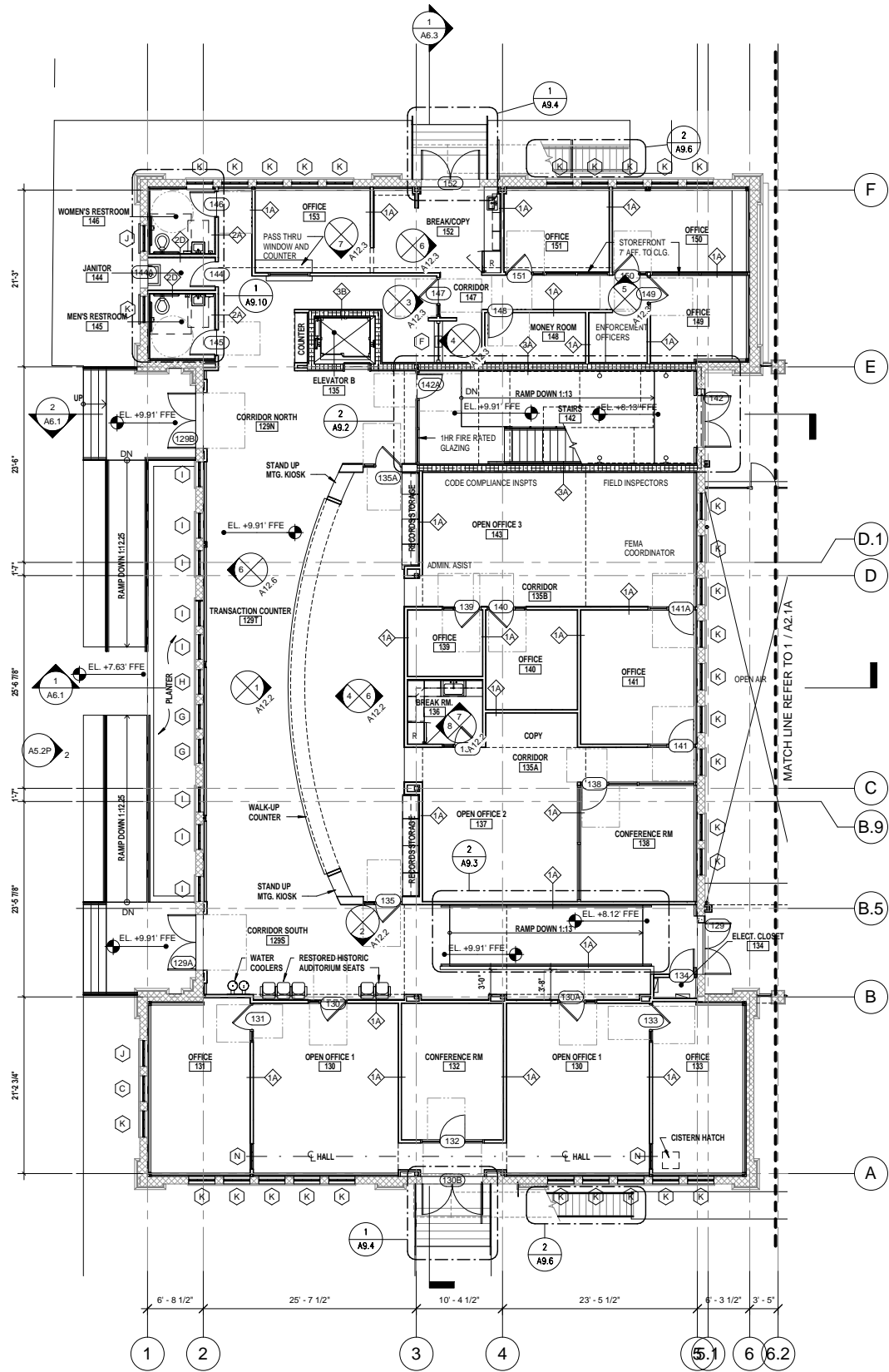
*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No: 1305  
 1ST FLOOR PLAN - WING A  
 Date: 3/3/14

**A2.1A**  
 OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL





1 1st FLOOR - WING B  
A2.1B 1/8" = 1'-0"

**GENERAL NOTES**

**SOIL TREATMENT, PER FBC-8 SECTION 1816.1:**

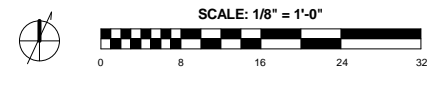
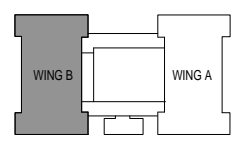
1. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS FOR TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE FBC-8 SECTION 202, REGISTERED TERMITICIDE. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:  
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

2. ALL INTERIOR DIMENSIONS ARE SHOWN TO THE FACE OF FINISH SURFACES, UNLESS OTHERWISE NOTED.

3. PER FBC-8 SECTION 719: INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.

**LEGEND**

- 8" CMU WALL
- 1 HR FIRE RATED PARTITION ASSEMBLY
- GYPSUM WALLBOARD PARTITION
- EXISTING CONCRETE WALL/COLUMN TO REMAIN
- REFRIGERATOR
- STOREFRONT
- WINDOW
- DOOR TAG
- WINDOW TAG
- WALL TAG



REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST

MCHARRY ASSOCIATES  
ARCHITECTS (REGISTERED ARCHITECTS)  
A0000086 E0000463  
  
2300 DR DOUGLASS ROAD, SUITE 302  
MIAMI, FLORIDA 33122 (305) 396-3300  
WWW.MCHARRY.COM

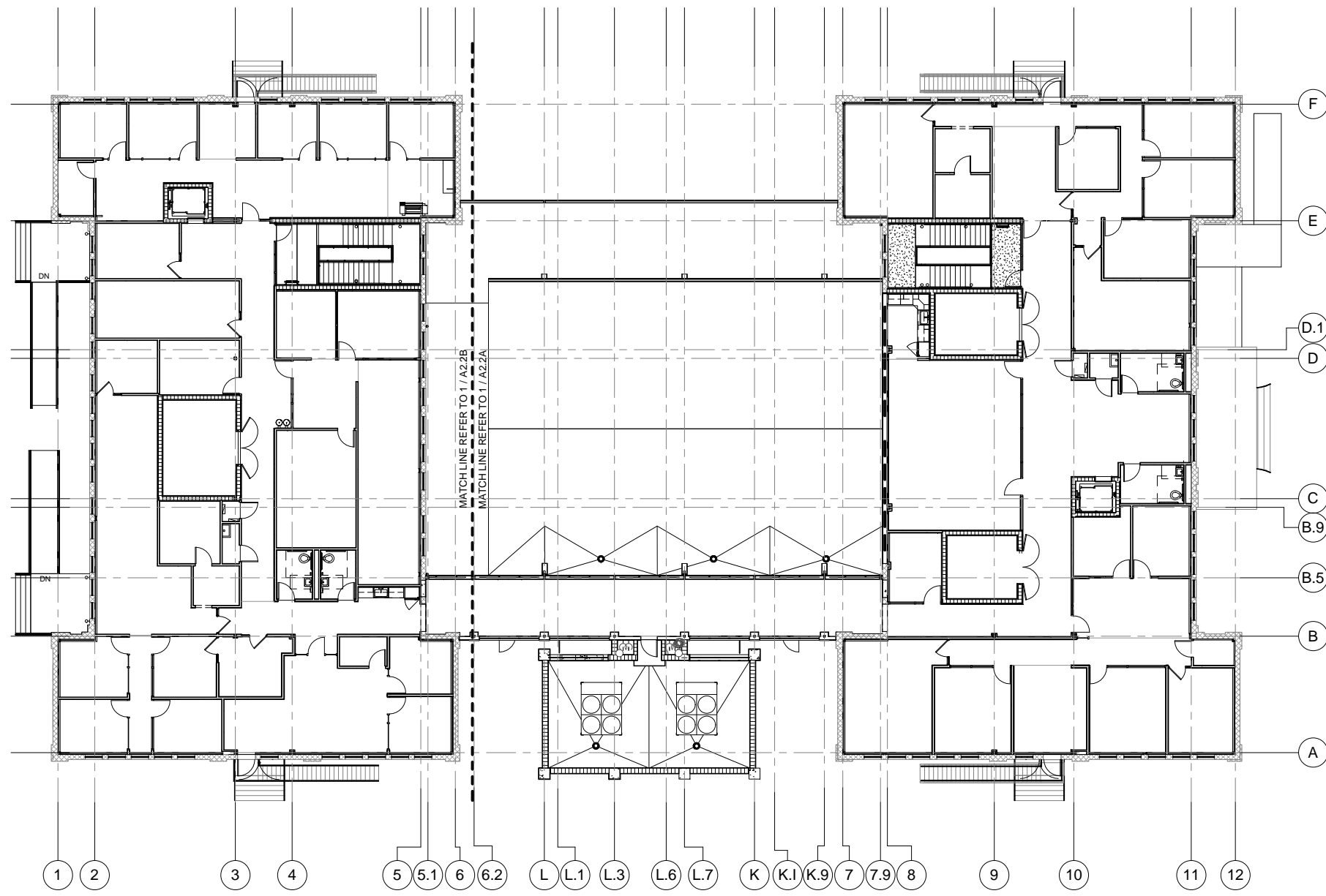
410 Angela Street  
Key West, Florida 33040  
Telephone: (305) 296-1317  
Facsimile: (305) 296-2727  
Florida License: A11002022

*Bender & Associates*  
**ARCHITECTS**  
p.c.

Project No: 1305  
1ST FLOOR PLAN - WING B  
Date: 3/3/14

**A2.1B**  
OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL

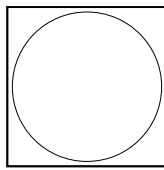


1 OVERALL 2ND FLOOR PLAN  
A2.2 3/32" = 1'-0"



REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST



**MCHARRY ASSOCIATES**  
ARCHITECTS ENGINEERS INTERIORS  
AEC00096 E000043  
280 DR DOUGLASS ROAD, SUITE 202  
MIAMI, FLORIDA 33122 PHONE: 305  
WWW.MCHARRY.COM

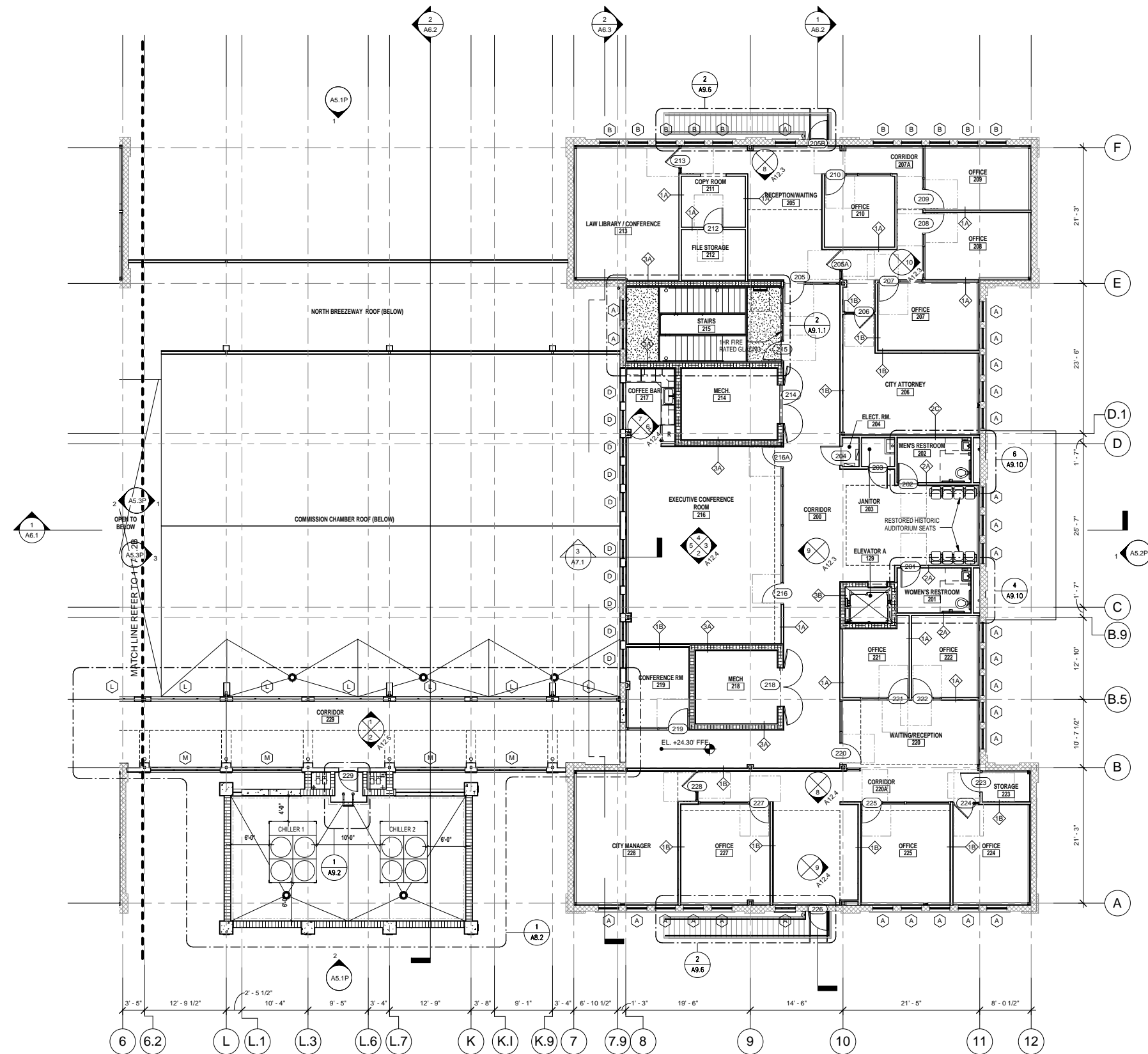
410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1317  
Facsimile (305) 296-2727  
Florida License: 11C002922

*Bender & Associates*  
**ARCHITECTS**  
p.c.

Project No:	1305
OVERALL SECOND FLOOR PLAN	
Date:	3/3/14

**A2.2**  
OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL



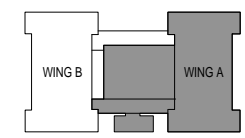
1 2ND FLOOR PLAN - WING A  
A2.2A 1/8" = 1'-0"

**GENERAL NOTES**

- SOIL TREATMENT PER FBC-8 SECTION 1816.1:**
1. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS FOR TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE FBC-8 SECTION 902, REGISTERED TERMITICIDE. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:  
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
  2. ALL INTERIOR DIMENSIONS ARE SHOWN TO THE FACE OF FINISH SURFACES, UNLESS OTHERWISE NOTED.
  3. PER FBC-8 SECTION 719: INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450.

**LEGEND**

- 8" CMU WALL
- 1 HR FIRE RATED PARTITION ASSEMBLY
- GYPSUM WALLBOARD PARTITION
- EXISTING CONCRETE WALL/COLUMN TO REMAIN
- REFRIGERATOR
- STOREFRONT
- WINDOW
- DOOR TAG
- WINDOW TAG
- WALL TAG



REVISIONS

**KEY WEST CITY HALL  
AT GYLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST

MCHARRY ASSOCIATES  
ARCHITECTS (REGISTERED ARCHITECTS)  
AARC000966 EB050343

2100 DR. DOUGLAS ROAD, SUITE 202  
MIAMI, FLORIDA 33132 (305) 356-3100  
WWW.MCHARRY.COM

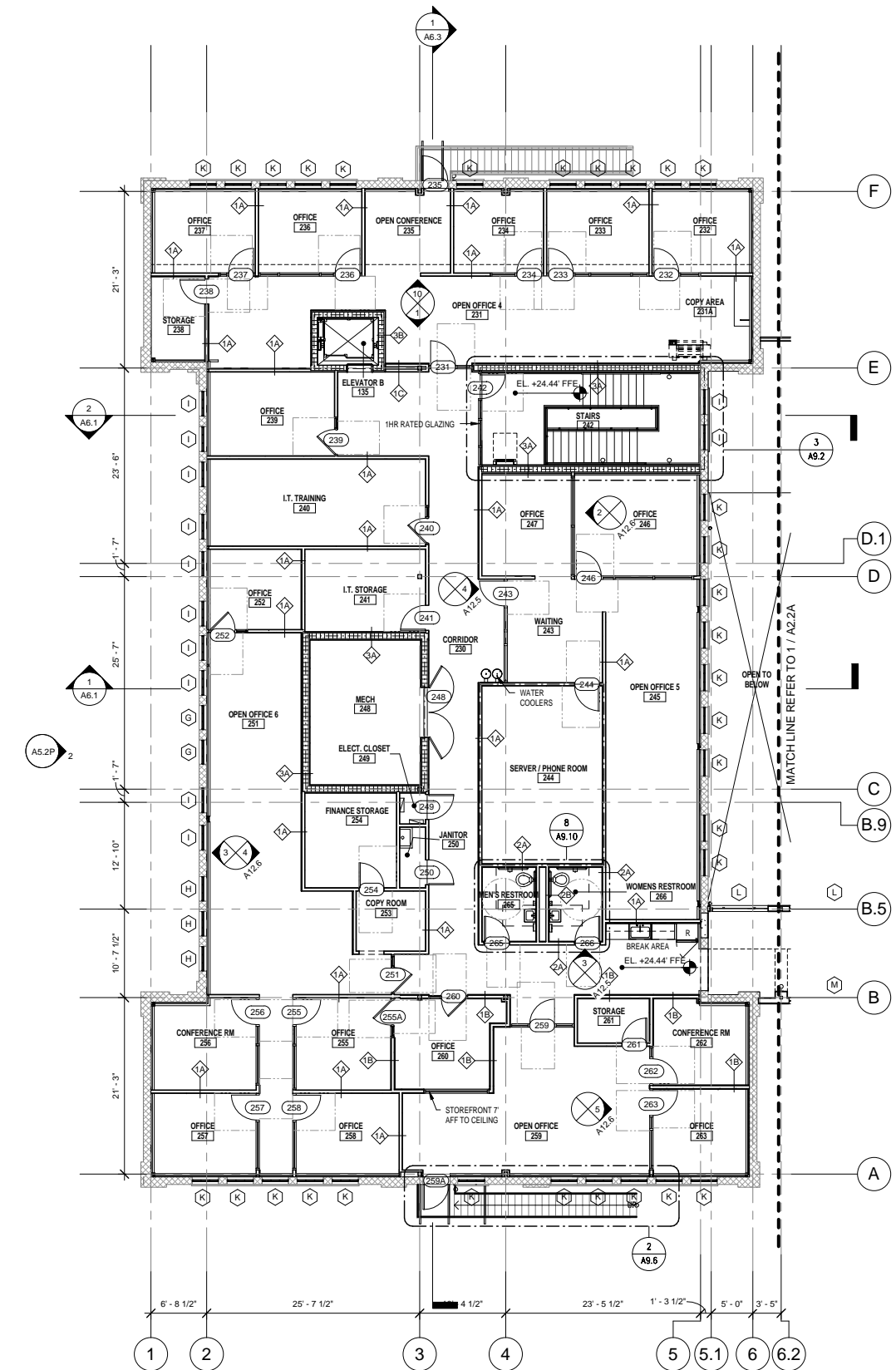
410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1317  
Facsimile (305) 296-2727  
Florida License A11002022

Bender & Associates  
ARCHITECTS  
p.c.

Project No: 1305  
2ND FLOOR PLAN - WING A  
Date: 3/3/14

90% CONSTRUCTION DOCUMENTS SUBMITTAL

**A2.2A**  
OF



**1** 2ND FLOOR PLAN - WING B  
A2.2B 1/8" = 1'-0"

**GENERAL NOTES**

**SOIL TREATMENT, PER FBC-B SECTION 1816.1:**

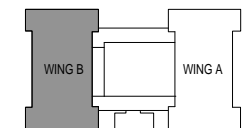
1. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS FOR TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE FBC-B SECTION 202, REGISTERED TERMITICIDE. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:  
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

2. ALL INTERIOR DIMENSIONS ARE SHOWN TO THE FACE OF FINISH SURFACES, UNLESS OTHERWISE NOTED.

3. PER FBC-B SECTION 719- INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.

**LEGEND**

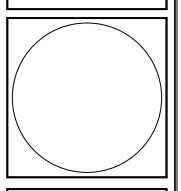
- 8' CMU WALL
- 1 HR FIRE RATED PARTITION ASSEMBLY
- GYPSUM WALLBOARD PARTITION
- EXISTING CONCRETE WALL/COLUMN TO REMAIN
- REFRIGERATOR
- STOREFRONT
- WINDOW
- DOOR TAG
- WINDOW TAG
- WALL TAG



REVISIONS

NO.	DESCRIPTION

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST



**MCHARRY ASSOCIATES**  
ARCHITECTS ENGINEERS INTERIORS  
AEC000966 E0000463  
280 DR DOUGLASS ROAD, SUITE 302  
MIAMI BEACH, FLORIDA 33139  
WWW.MCHARRY.COM

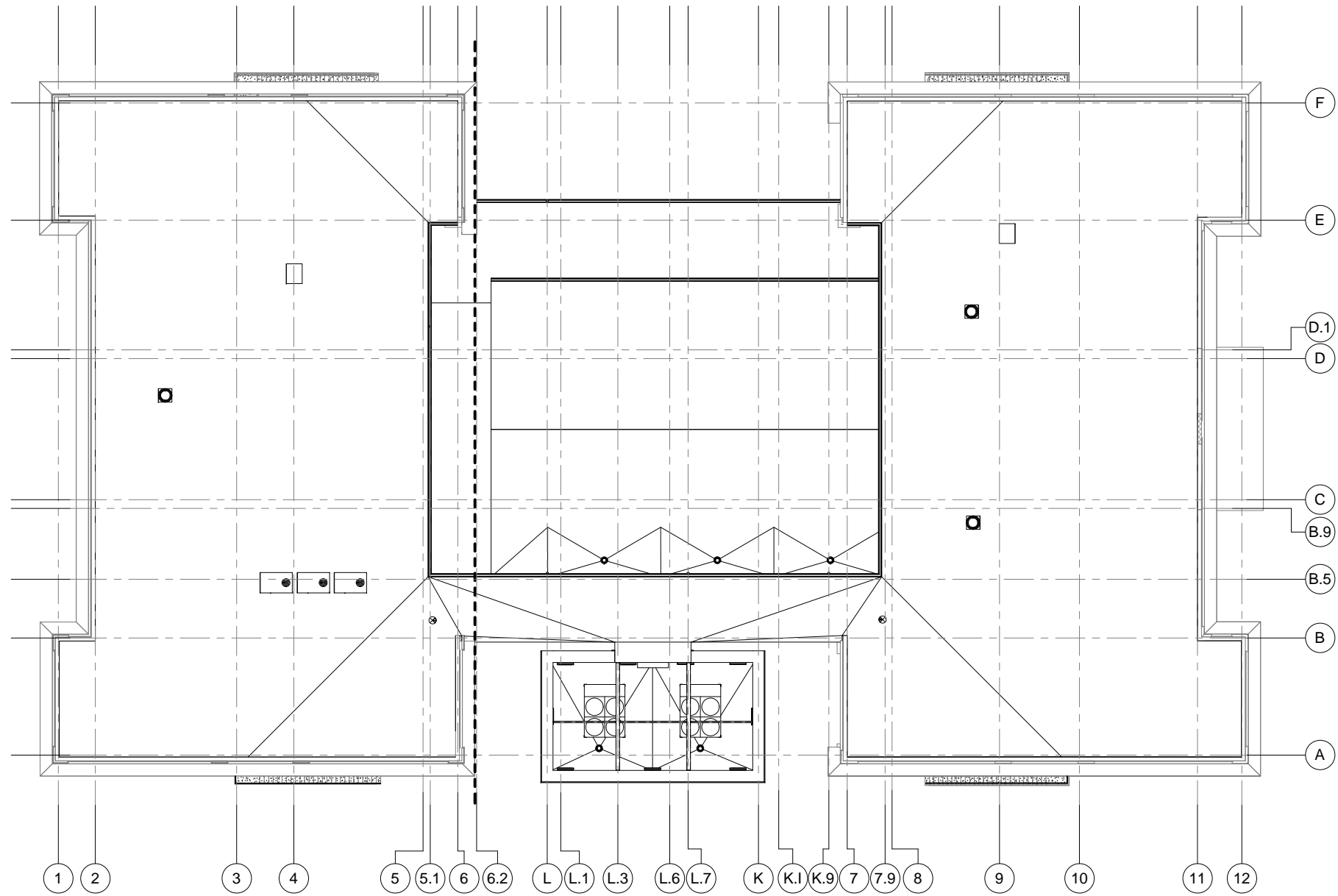
410 Angela Street  
Key West, Florida 33340  
Telephone (305) 296-1317  
Facsimile (305) 296-2727  
Florida License A11002022

*Bender & Associates*  
**ARCHITECTS**  
p.c.

Project No. 1305  
2ND FLOOR PLAN - WING B  
Date: 3/3/14

**A2.2B**  
OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL

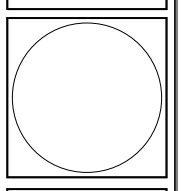



**1** OVERALL ROOF PLAN  
 A3.1 3/32" = 1'-0"



REVISIONS

**KEY WEST CITY HALL  
 AT GLYNN ARCHER**  
 PHASE 2  
 1300 WHITE STREET - KEY WEST, FLORIDA  
 CITY OF KEY WEST



**MCHARRY ASSOCIATES**  
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 2300 DR DOUGLASS ROAD, SUITE 302  
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 WWW.MCHARRY.COM

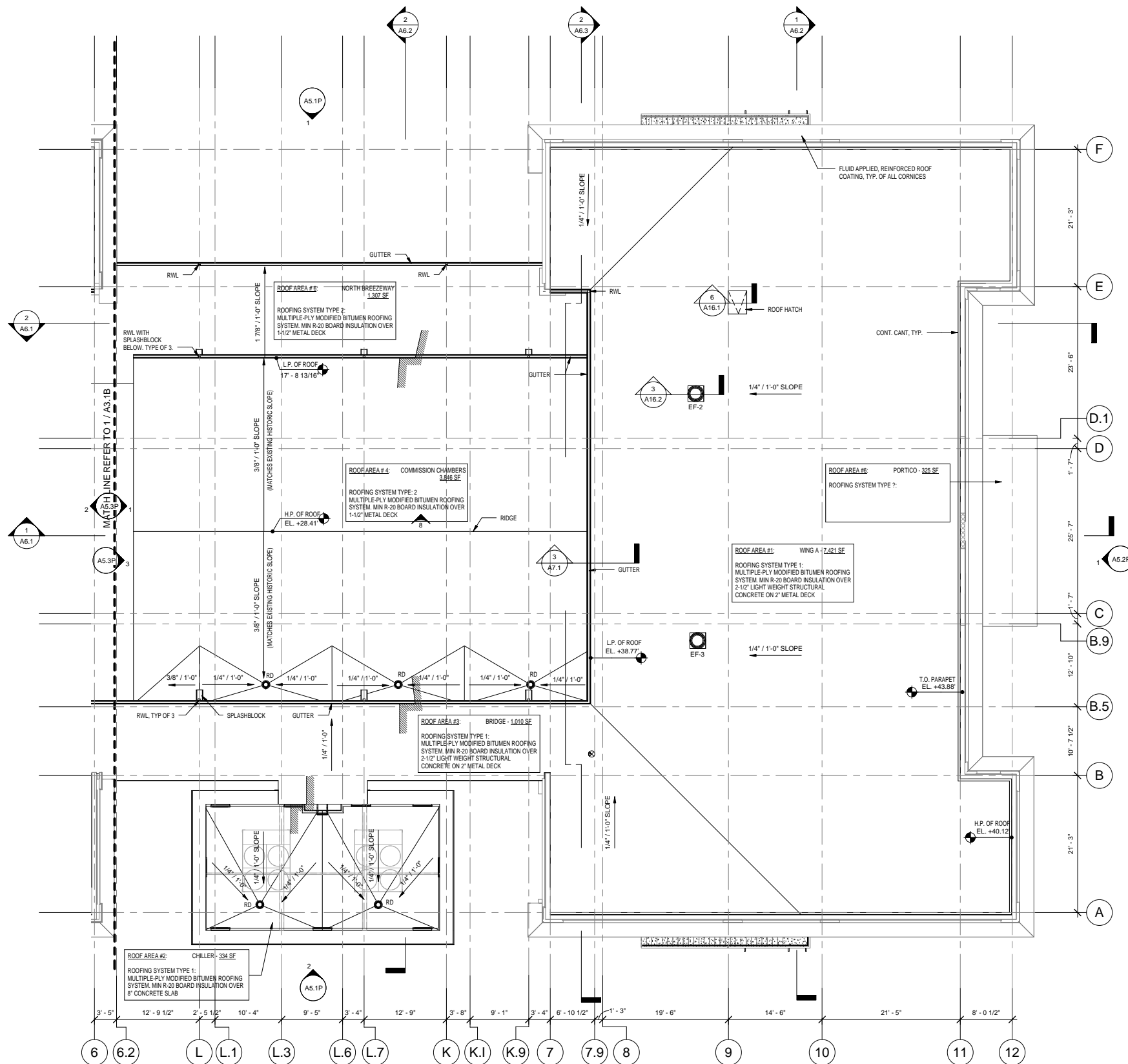
410 Angela Street  
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 Telephone (305) 296-1317  
 Facsimile (305) 296-2727  
 Florida License AIC002922

*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No:	1305
OVERALL ROOF PLAN	
Date:	3/3/14

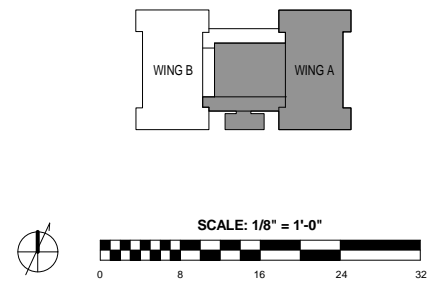
**A3.1**  
 OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL



**1** ROOF PLAN - WING A AND AUDITORIUM  
A3.1A  
1/8" = 1'-0"

- ### ROOFING GENERAL NOTES
1. ALL ROOFING COMPONENTS SHALL BE APPROVED FOR INSTALLATION AND HAVE CURRENT FLORIDA PRODUCT APPROVAL OR MIAMI-DADE COUNTY NOTICE OF ACCEPTANCE (NOA).
  2. ROOFING SYSTEMS REQUIRED APPROVALS MAY INCLUDE, AMONG OTHERS, STRUCTURAL BONDING ADHESIVES, INSULATION BOARDS AND ADHESIVES, SBS MODIFIED BITUMEN MEMBRANES AND ASPHALTIC UNDERLAYMENTS, ROOF MOUNTED EQUIPMENT, AND ALL OTHER ROOFING RELATED ACCESSORIES REQUIRED TO PROVIDE A WATERPROOF SYSTEM.
  4. ALL ROOFING SYSTEMS SHOULD MEET OR EXCEED COMPONENTS AND CLADDING ROOF PRESSURE CRITERIA LISTED ON STRUCTURAL WIND DIAGRAMS.
  5. BASIS OF DESIGN FOR ALL NEW ROOFING AREAS: SIPLAST MULTIPLE-PLY SBS MODIFIED BITUMEN SYSTEM. TORCH APPLIED OVER ROOF COVER BOARDS TO FULLY ADHERED POLYISOCYANURATE INSULATION BOARDS; HOLDING MIAMI-DADE CO. PRODUCT APPROVAL (NOA) 13-0514.04; SYSTEM TYPE 1; PG. 20 OF NOA. ROOFING CAP MEMBRANE SHALL HAVE MINIMUM SOLAR REFLECTIVE INDEX (SRI) OF 78 AND 25% PRE-CONSUMER/POST INDUSTRIAL RECYCLED CONTENT.
  6. EXISTING ROOF AREAS TO BE PATCHED AND RE-FLASHED SHALL USE MATERIALS AND SYSTEMS MATCHING THOSE THAT ARE EXISTING.
  7. DESIGN OF ROOF MOUNTED EXHAUST FANS IS BASED ON: DIRECT DRIVE CENTRIFUGAL FANS, BY GREENHECK, SERIES G W/MIAMI-DADE CO NOA 11-0802.07
  8. ALL ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED ON PREMANUFACTURED, INSULATED ROOF CURBS. DESIGN IS BASED ON: "RCP-3L" BY ROOF PRODUCTS, INC.
  9. ALL METAL FLASHING MATERIALS AND CORRESPONDING FASTENERS SHALL BE MADE OF STAINLESS STEEL, UNLESS OTHERWISE NOTED.
  10. REFER TO PROJECT MANUAL FOR SUBMITTAL REQUIREMENTS INCLUDING SUBSTITUTIONS, PRODUCT DATA, SHOP DRAWINGS, SAMPLES, INSTALLER QUALIFICATIONS, MANUFACTURER'S CERTIFICATES, INSTALLATION MOCKUPS, WARRANTIES, AND REQUIRED FIELD TESTS FOR SPECIFIC SYSTEMS.
  11. ALL ROOF RUNOFF WILL BE DIRECTED TO CISTERNS. SEE CIVIL DRAWINGS.



REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST

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AIA 000986 E0000463  
2300 DR. DOUGLASS ROAD, SUITE 302  
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WWW.MCHARRY.COM

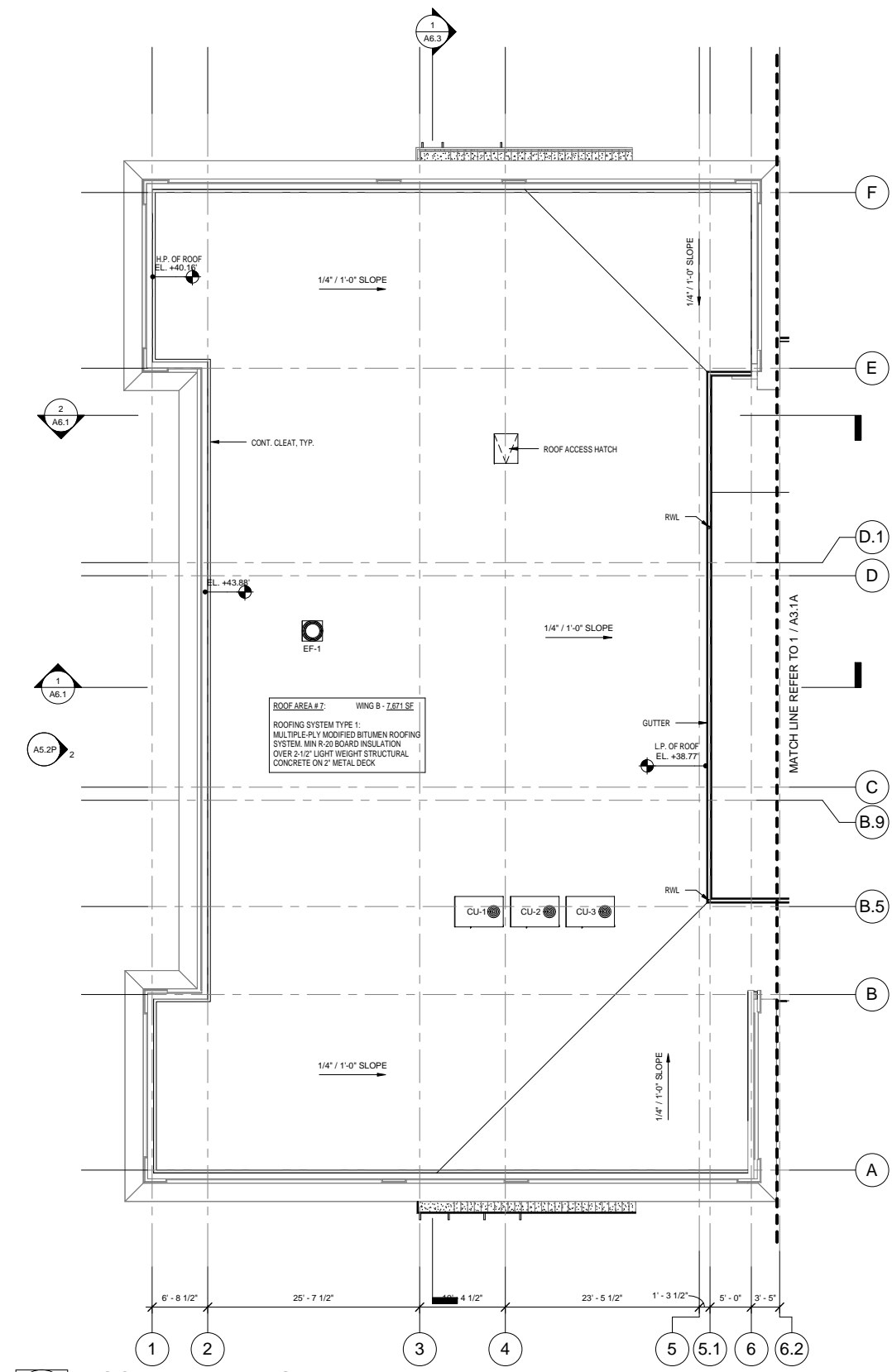
110 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1317  
Facsimile (305) 296-0727  
Florida License: AIC002022

*Bender & Associates*  
**ARCHITECTS**  
p.a.

Project No: 1305  
ROOF PLAN - WING A  
Date: 3/3/14

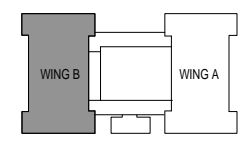
**A3.1A**  
OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL



**1 ROOF PLAN - WING B**  
 A3.1B 1/8" = 1'-0"

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REVISIONS

**KEY WEST CITY HALL  
 AT GLYNN ARCHER**  
 PHASE 2  
 1300 WHITE STREET KEY WEST, FLORIDA  
 CITY OF KEY WEST

MCHARRY ASSOCIATES  
 ARCHITECTS (REGISTERED ARCHITECTS)  
 AAC000966 EB030463

2300 DR DOUGLASS ROAD, SUITE 202  
 MIAMI, FLORIDA 33134 (305) 396-3366  
 WWW.MCHARRY.COM

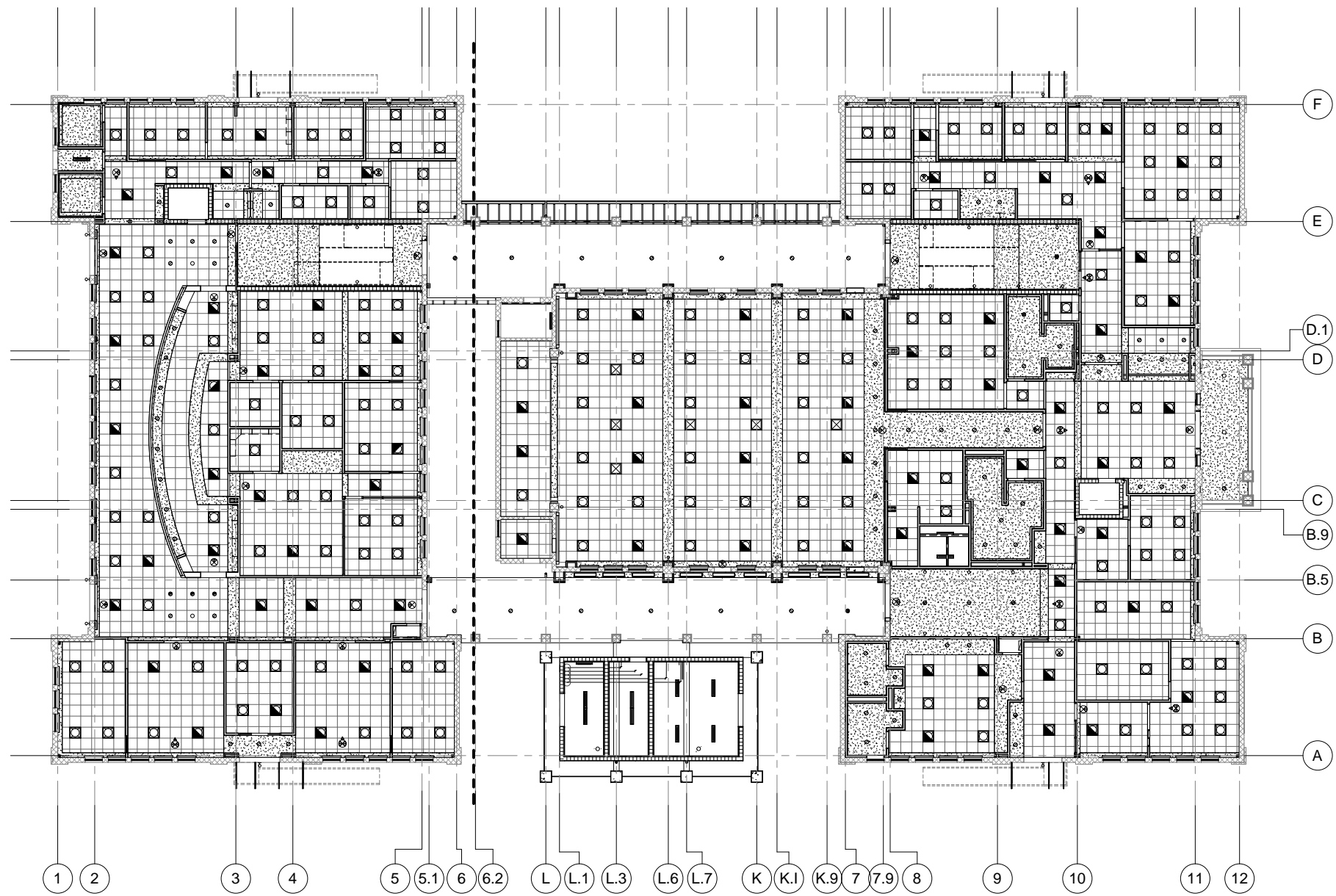
410 Angela Street  
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 Telephone (305) 296-1317  
 Facsimile (305) 296-2727  
 Florida License A11002022

*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No: 1305  
 ROOF PLAN - WING B  
 Date: 3/3/14

**A3.1B**  
 OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL

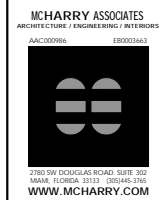
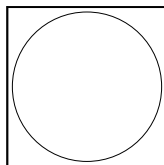


1 OVERALL 1ST FLOOR RCP  
A4.1 3/32" = 1'-0"



REVISIONS

KEY WEST CITY HALL  
AT GLYNN ARCHER  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST



110 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1317  
Facsimile (305) 296-2727  
Florida License AIC0002022

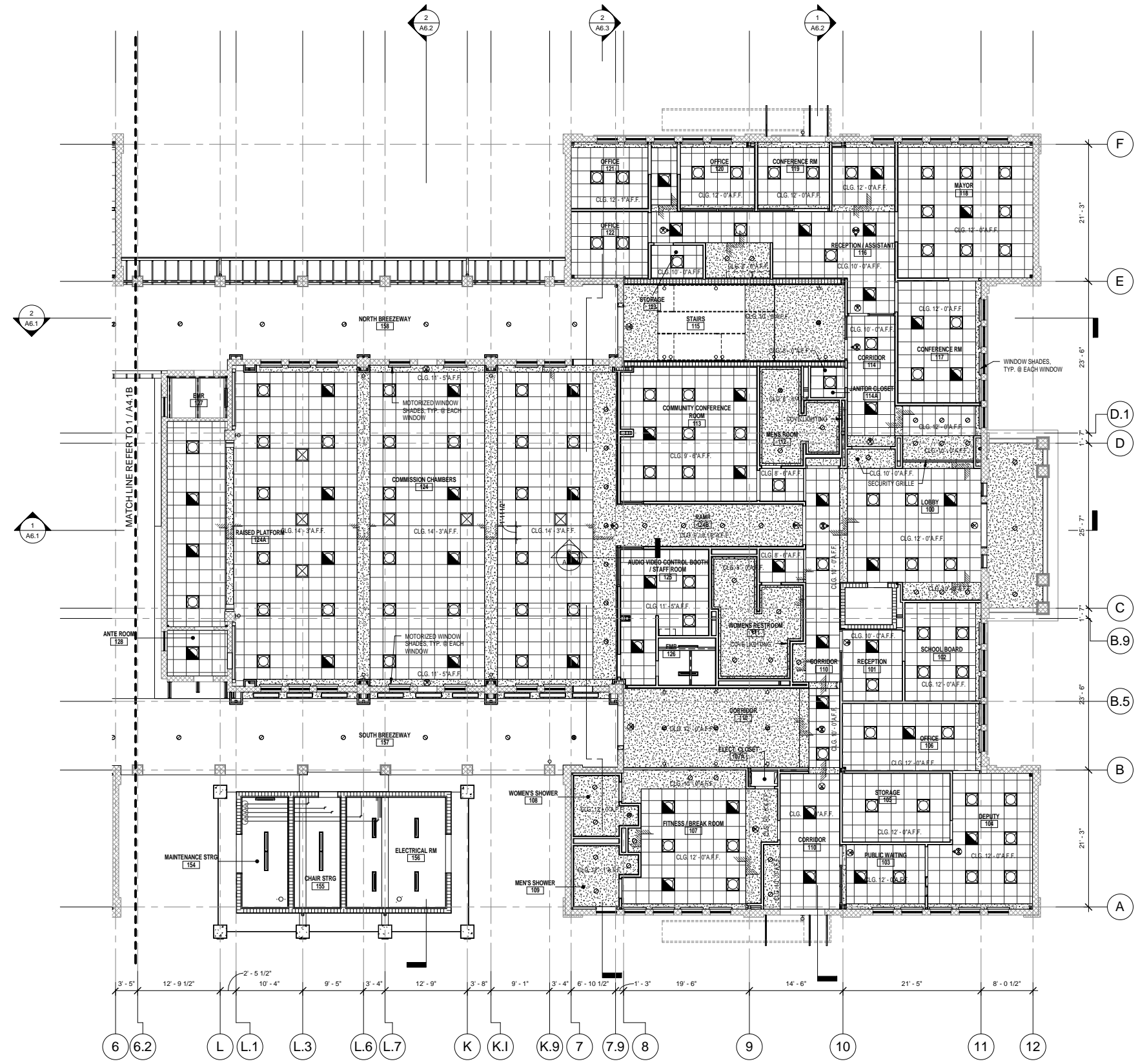
Bender & Associates  
ARCHITECTS  
p.a.

Project No: 1305  
OVERALL 1ST FLOOR RCP  
Date: 3/3/14

A4.1  
OF

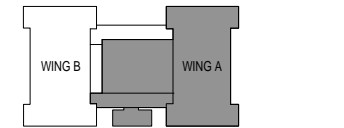
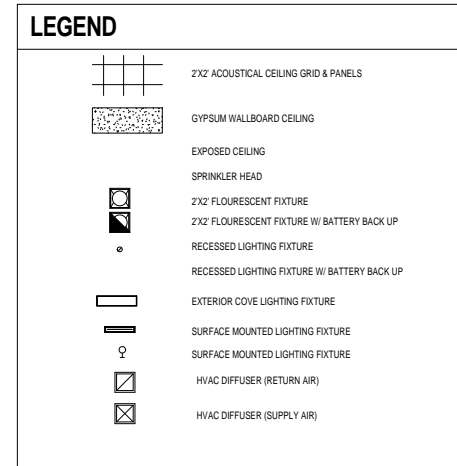
90% CONSTRUCTION DOCUMENTS SUBMITTAL





1 1ST FLOOR RCP - WING A  
A4.1A 1/8" = 1'-0"

- ### GENERAL CEILING NOTES
- BUILDING SYSTEMS, FIXTURES AND DEVICES SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS ARE SHOWN TO DEMONSTRATE LOCATION AND LAYOUT PATTERN WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS MAY NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS.
  - CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURAL REFLECTED CEILING PLANS AND OTHER DISCIPLINES PRIOR TO INSTALLATION.
  - REFER TO MECHANICAL DRAWINGS FOR TYPES AND SIZES OF SUPPLY AND RETURN GRILLES.
  - LIGHTING FIXTURES, ALARM DEVICES, AND EXIT SIGNS ARE SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS FOR LAYOUT CLARITY ONLY. SEE ELECTRICAL DRAWINGS FOR TOTAL QUANTITIES AND OTHER REQUIREMENTS.
  - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE AND LIGHTING FIXTURES NOT SHOWN ON ARCHITECTURAL DRAWINGS.
  - WHERE AN ITEM IS MOUNTED ON THE CEILING, IT SHALL BE CENTERED ON THE ELEMENT (CEILING PANEL, BOARD BAND, OR CONTROL JOINT, ETC.) IN WHICH IT IS PLACED UNLESS INDICATED OTHERWISE.
  - CEILING HEIGHTS ARE BASED ON DIMENSION ABOVE FINISHED FLOOR.
  - CENTER SPRINKLER HEADS IN THE CEILING TILE/PANEL. SPRINKLER HEADS SHALL BE ALIGNED IN BOTH DIRECTIONS.
  - CONTRACTOR TO INSTALL CEILING GRID TIE WIRES AS PER CODE. GRID TIE WIRES TO ATTACH TO STRUCTURE ABOVE THRU APPROPRIATE BLOCKING WHERE REQUIRED. DO NOT ATTACH TO HVAC DUCTWORK, SOFFIT SUBFRAMING, OR STEEL ROOF DECK.



REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST

MCHARRY ASSOCIATES  
ARCHITECTS (REGISTERED ARCHITECTS)  
AARC000866 EB030343  
2100 DR DOUGLASS ROAD, SUITE 302  
MIAMI, FLORIDA 33132 (305) 396-1317  
WWW.MCHARRY.COM

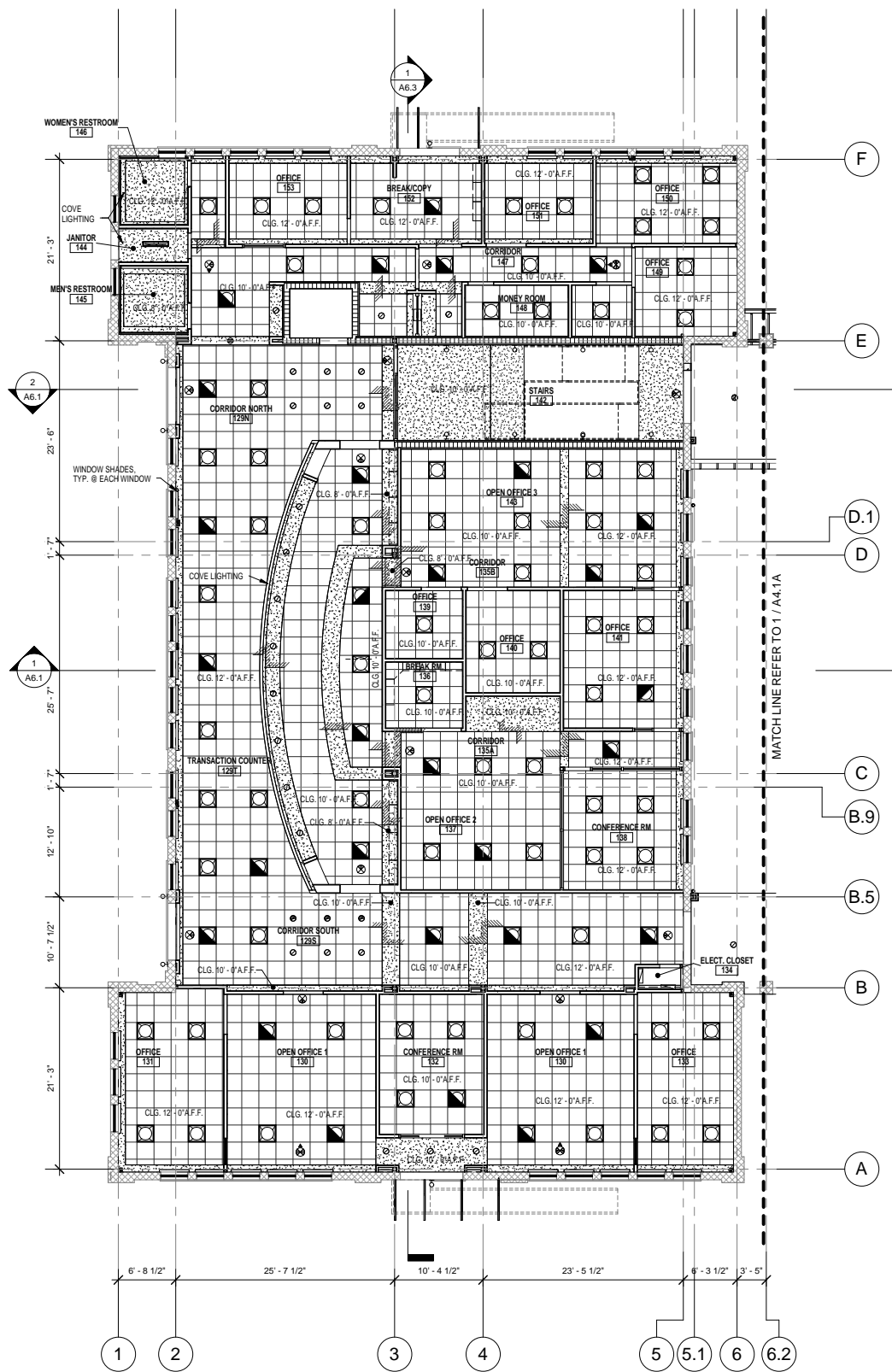
110 Angela Street  
Key West, Florida 33340  
Telephone (305) 296-1317  
Facsimile (305) 296-2727  
Florida License LA0002922

*Bender & Associates*  
**ARCHITECTS**  
p.a.c.

Project No: 1305  
FIRST FLOOR RCP - WING A  
Date: 3/3/14

**A4.1A**  
OF

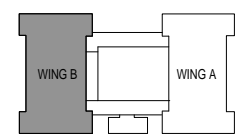
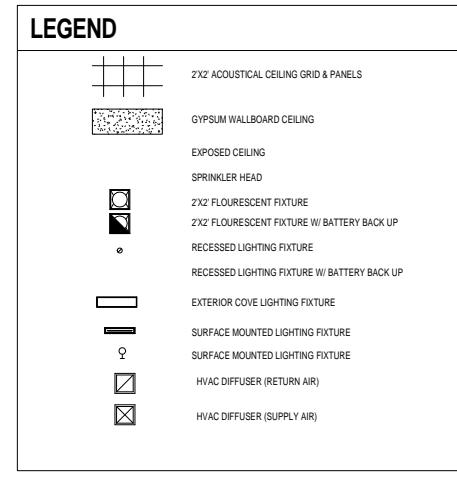
90% CONSTRUCTION DOCUMENTS SUBMITTAL



1 1ST FLOOR RCP - WING B  
A4.1B 1/8" = 1'-0"

### GENERAL CEILING NOTES

- BUILDING SYSTEMS, FIXTURES AND DEVICES SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS ARE SHOWN TO DENOTE LOCATION AND LAYOUT PATTERN WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS MAY NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURAL REFLECTED CEILING PLANS AND OTHER DISCIPLINES PRIOR TO INSTALLATION.
- REFER TO MECHANICAL DRAWINGS FOR TYPES AND SIZES OF SUPPLY AND RETURN GRILLES.
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- CENTER SPRINKLER HEADS IN THE CEILING TILE/PANEL. SPRINKLER HEADS SHALL BE ALIGNED IN BOTH DIRECTIONS.
- CONTRACTOR TO INSTALL CEILING GRID TIE WIRES AS PER CODE. GRID TIE WIRES TO ATTACH TO STRUCTURE ABOVE THRU APPROPRIATE BLOCKING WHERE REQUIRED. DO NOT ATTACH TO HVAC DUCTWORK, SOFFIT SUBFRAMING, OR STEEL ROOF DECK.



REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST

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AARC000866 EB030343  
  
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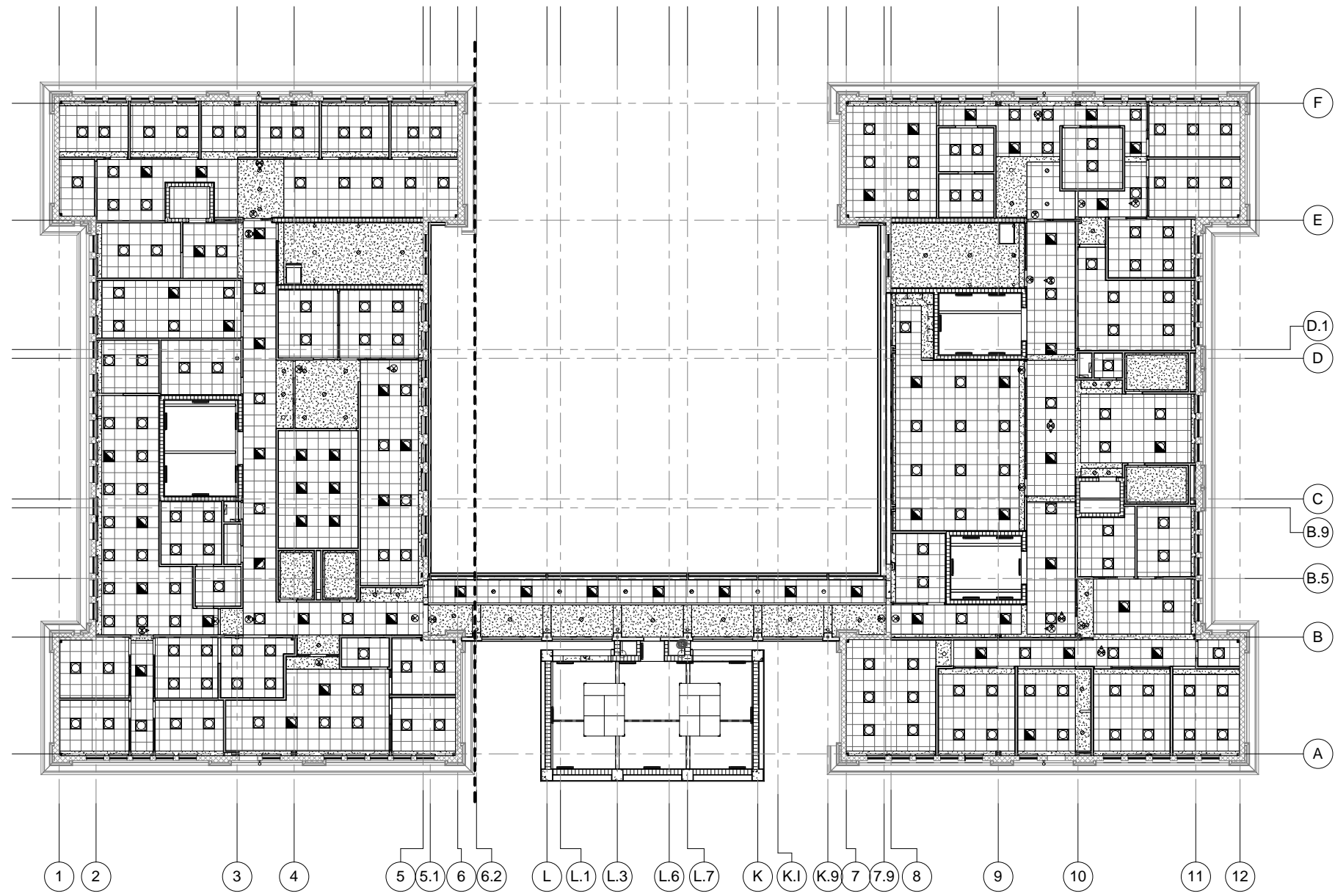
410 Angela Street  
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Florida License: 141002022

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**ARCHITECTS**  
p.a.

Project No: 1305  
1ST FLOOR RCP - WING B  
Date: 3/3/14

**A4.1B**  
OF

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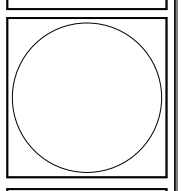


1 OVERALL 2ND FLOOR RCP  
 A4.2 3/32" = 1'-0"



REVISIONS

**KEY WEST CITY HALL  
 AT GLYNN ARCHER**  
 PHASE 2  
 1300 WHITE STREET - KEY WEST, FLORIDA  
 CITY OF KEY WEST



**MCHARRY ASSOCIATES**  
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 2500 DR. DOUGLASS ROAD, SUITE 202  
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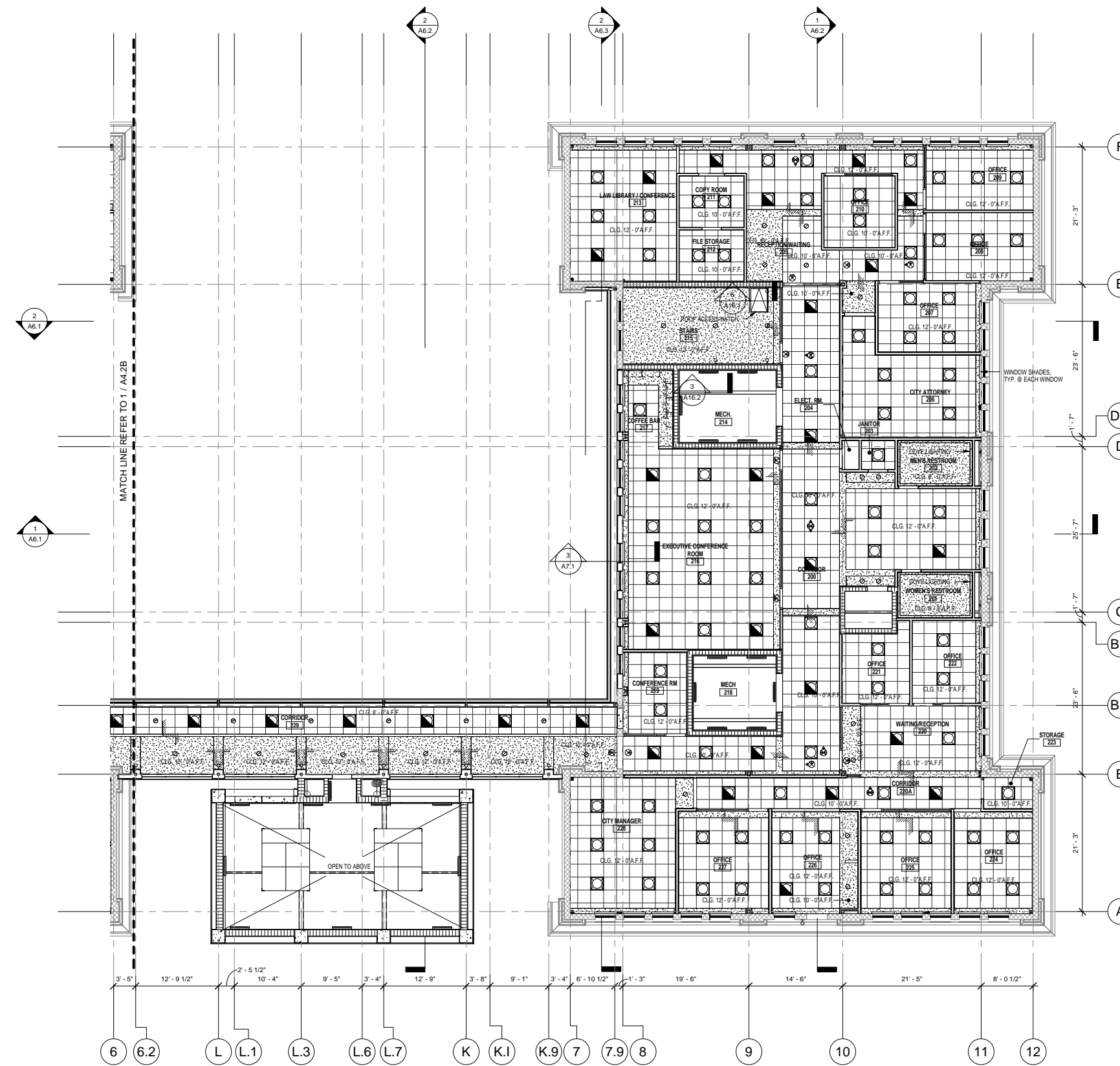
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 Facsimile (305) 296-2727  
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*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No.	1305
OVERALL 2ND FLOOR RCP	
Date:	3/3/14

**A4.2**  
 OF

90% CONSTRUCTION DOCUMENTS SUBMITTAL



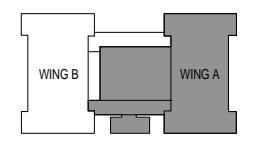
1 2ND FLOOR RCP - WING A  
A4.2A 1/8" = 1'-0"

### GENERAL CEILING NOTES

1. BUILDING SYSTEMS, FIXTURES AND DEVICES SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS ARE SHOWN TO DENOTE LOCATION AND LAYOUT PATTERN WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS MAY NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS.
2. CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURAL REFLECTED CEILING PLANS AND OTHER DISCIPLINES PRIOR TO INSTALLATION.
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### LEGEND

	2'X2' ACOUSTICAL CEILING GRID & PANELS
	GYPSUM WALLBOARD CEILING
	EXPOSED CEILING
	SPRINKLER HEAD
	2'X2' FLOURESCENT FIXTURE
	2'X2' FLOURESCENT FIXTURE W/ BATTERY BACK UP
	RECESSED LIGHTING FIXTURE
	RECESSED LIGHTING FIXTURE W/ BATTERY BACK UP
	EXTERIOR COVE LIGHTING FIXTURE
	SURFACE MOUNTED LIGHTING FIXTURE
	SURFACE MOUNTED LIGHTING FIXTURE
	HVAC DIFFUSER (RETURN AIR)
	HVAC DIFFUSER (SUPPLY AIR)



REVISIONS

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280 DR DOUGLASS ROAD, SUITE 202  
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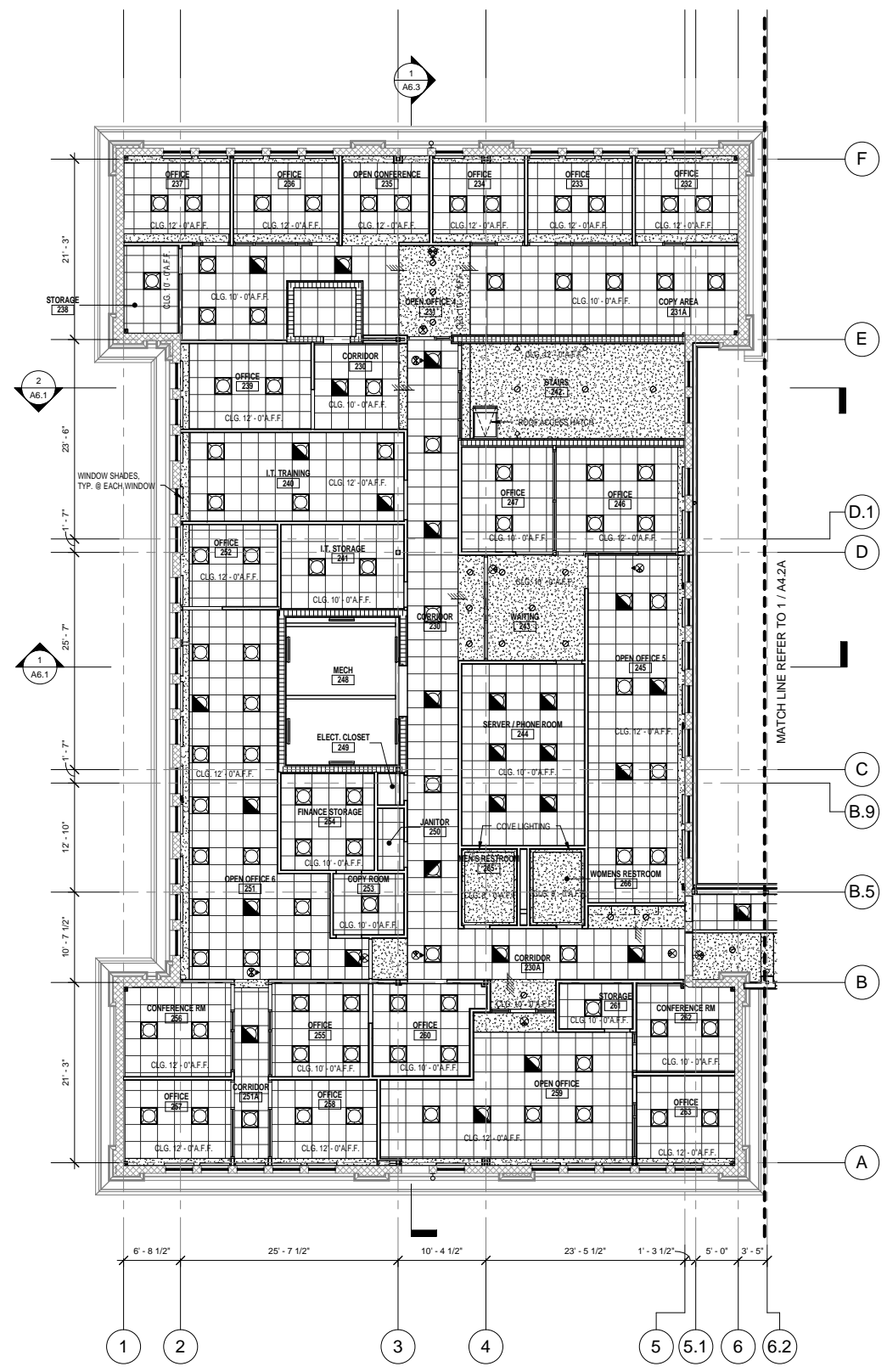
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Facsimile (305) 296-0727  
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*Bender & Associates*  
**ARCHITECTS**  
p.a.c.

Project No: 1305  
2ND FLOOR RCP - WING A  
Date: 3/3/14

**A4.2A**  
OF

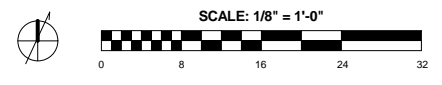
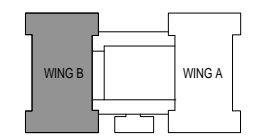
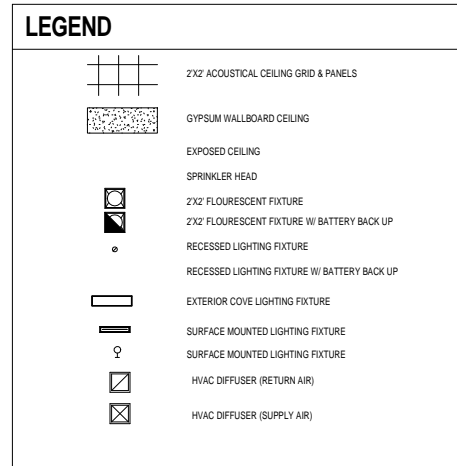
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1 2ND FLOOR RCP - WING B  
A4.2B 1/8" = 1'-0"

### GENERAL CEILING NOTES

- BUILDING SYSTEMS, FIXTURES AND DEVICES SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS ARE SHOWN TO DENOTE LOCATION AND LAYOUT PATTERN WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS MAY NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURAL REFLECTED CEILING PLANS AND OTHER DISCIPLINES PRIOR TO INSTALLATION.
- REFER TO MECHANICAL DRAWINGS FOR TYPES AND SIZES OF SUPPLY AND RETURN GRILLES.
- LIGHTING FIXTURES, ALARM DEVICES, AND EXIT SIGNS ARE SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS FOR LAYOUT CLARITY ONLY. SEE ELECTRICAL DRAWINGS FOR TOTAL QUANTITIES AND OTHER REQUIREMENTS.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE AND LIGHTING FIXTURES NOT SHOWN ON ARCHITECTURAL DRAWINGS.
- WHERE AN ITEM IS MOUNTED ON THE CEILING, IT SHALL BE CENTERED ON THE ELEMENT (CEILING PANEL, BOARD BAND, OR CONTROL JOINT, ETC.) IN WHICH IT IS PLACED UNLESS INDICATED OTHERWISE.
- CEILING HEIGHTS ARE BASED ON DIMENSION ABOVE FINISHED FLOOR.
- CENTER SPRINKLER HEADS IN THE CEILING TILE/PANEL. SPRINKLER HEADS SHALL BE ALIGNED IN BOTH DIRECTIONS.
- CONTRACTOR TO INSTALL CEILING GRID TIE WIRES AS PER CODE, GRID TIE WIRES TO ATTACH TO STRUCTURE ABOVE THRU APPROPRIATE BLOCKING WHERE REQUIRED. DO NOT ATTACH TO HVAC DUCTWORK, SOFFIT SUBFRAMING, OR STEEL ROOF DECK.



REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST

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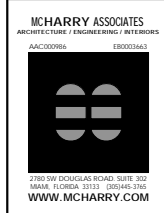
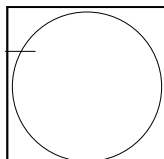
Project No. 1305  
2ND FLOOR RCP - WING B  
Date: 3/3/14

**A4.2B**  
OF

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REVISIONS

KEY WEST CITY HALL  
AT GLYNN ARCHER  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST



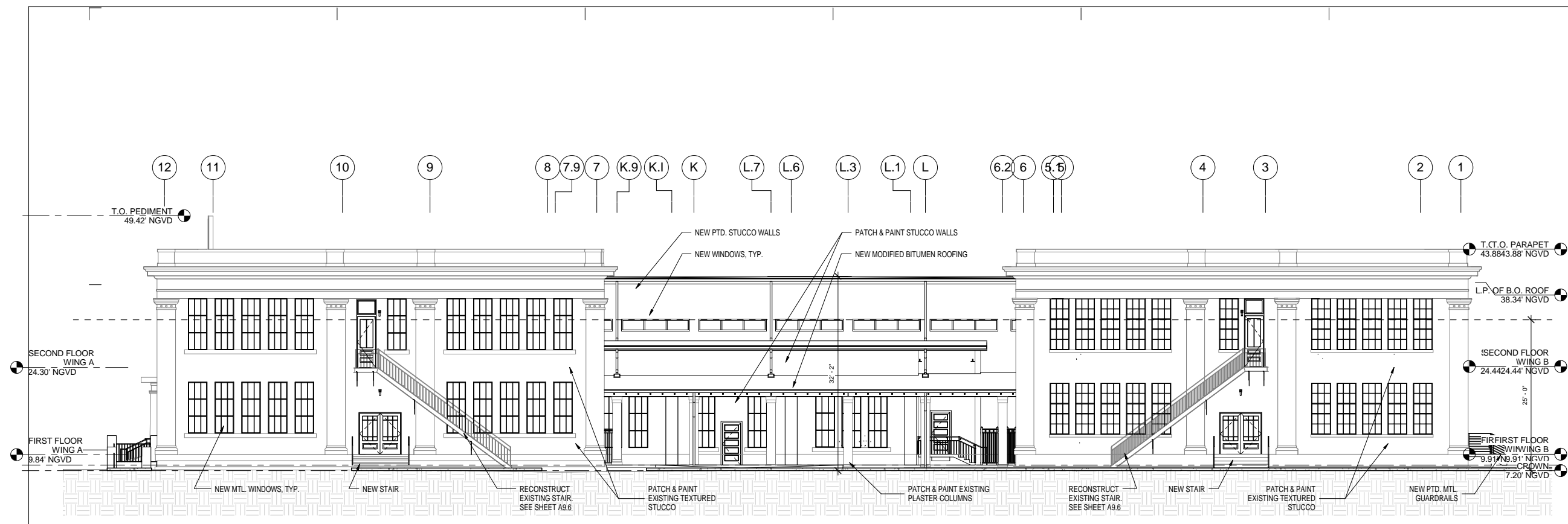
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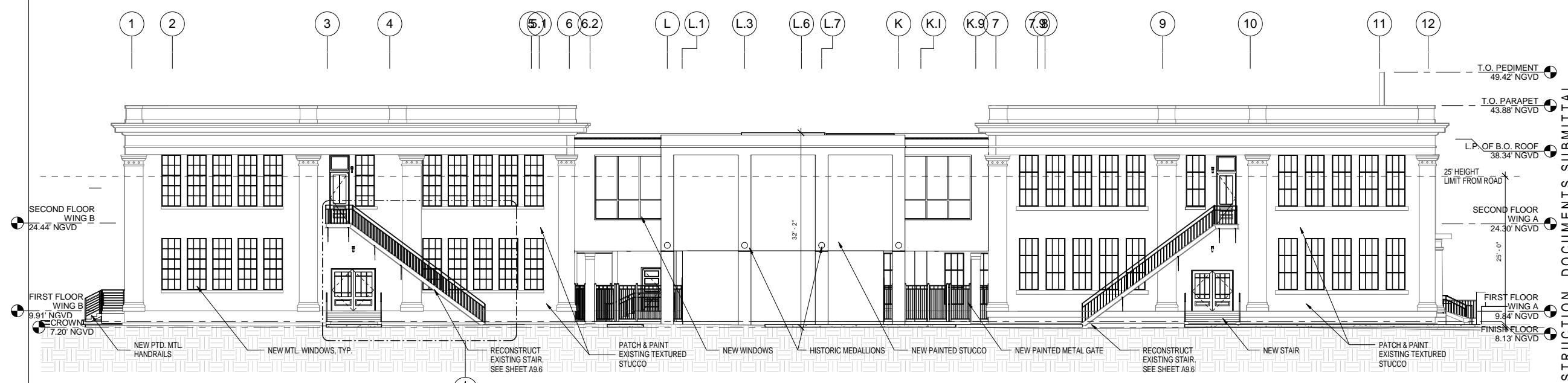
Project No: 1305  
BUILDING EXTERIOR ELEVATIONS  
Date: 3/3/14

A5.1  
OF

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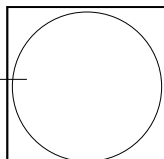
1 North Exterior Elevation  
A5.1 1/8" = 1'-0"



2 South Exterior Elevation  
A5.1 1/8" = 1'-0"

REVISIONS

KEY WEST CITY HALL  
AT GLYNN ARCHER  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST



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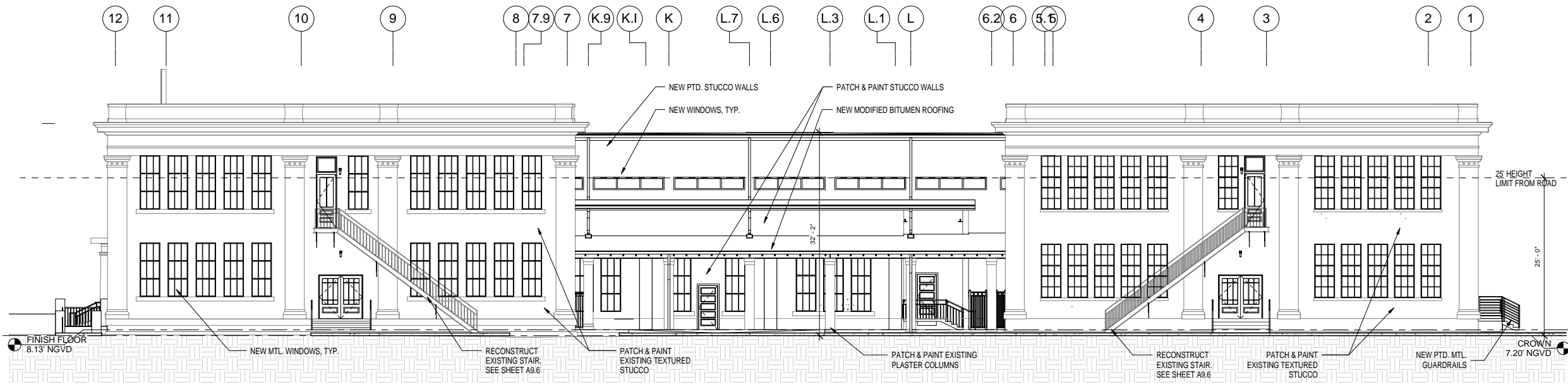
410 Angela Street  
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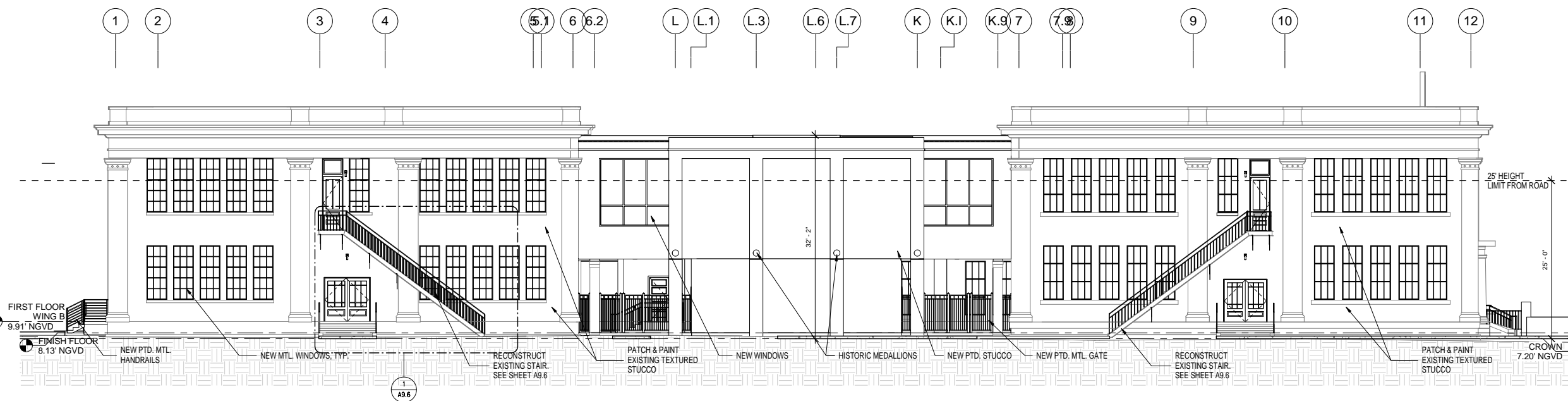
Project No: 1305  
BUILDING EXTERIOR ELEVATIONS  
Date: 3/3/14

A5.1P  
PLANNING  
OF

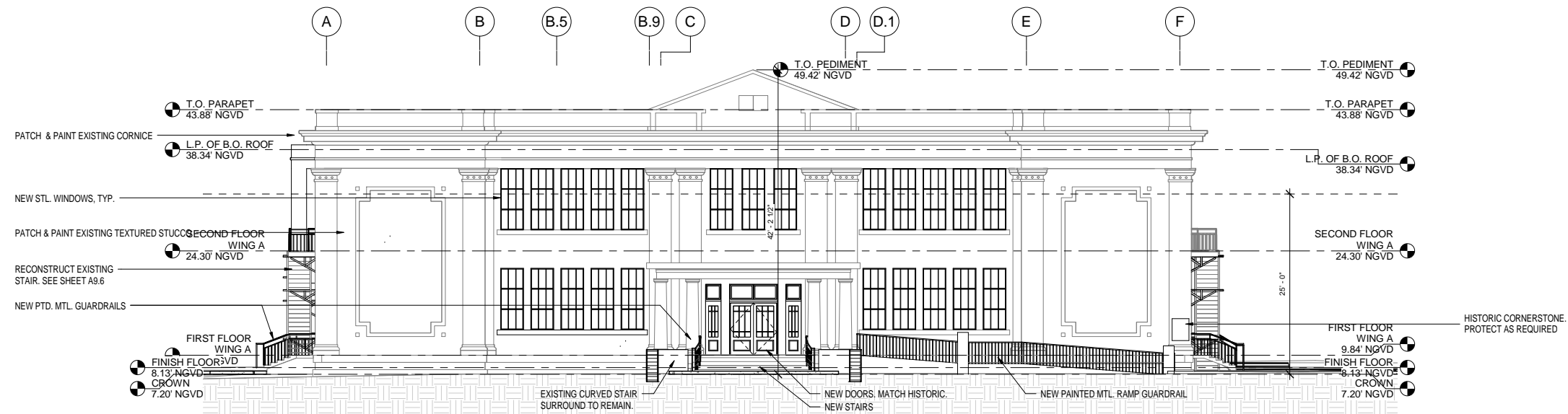
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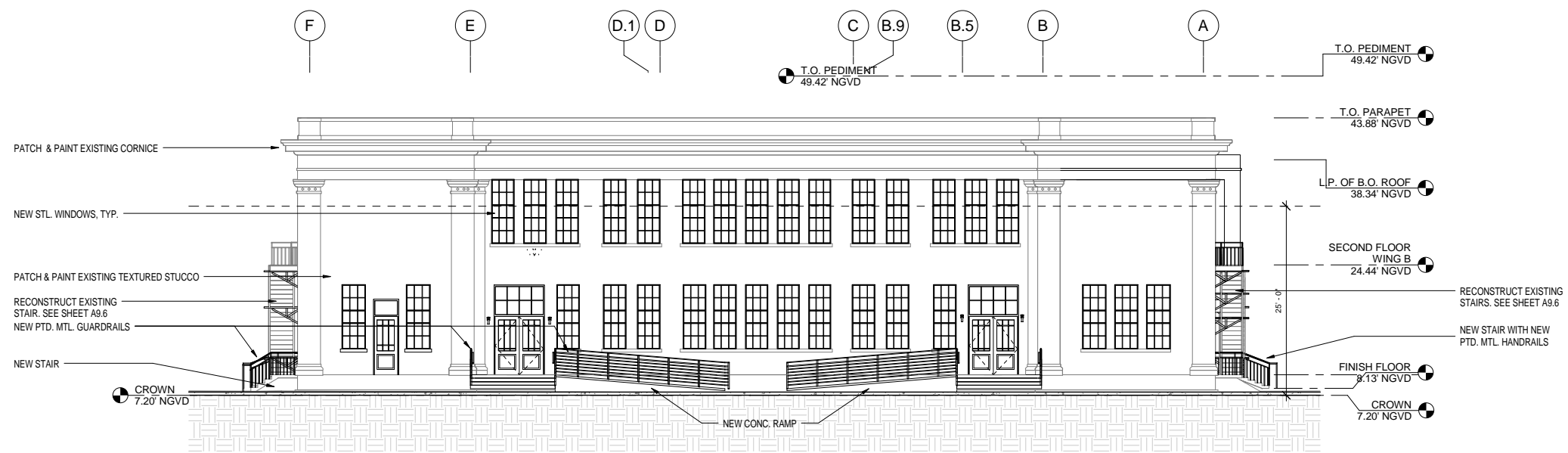
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A5.1P 1/8" = 1'-0"



2 Planning - South Exterior Elevation  
A5.1P 1/8" = 1'-0"



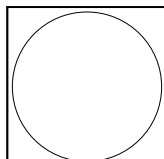
1 East (Front) Exterior Elevation  
A5.2  
1/8" = 1'-0"



2 West (Rear) Exterior Elevation  
A5.2  
1/8" = 1'-0"

REVISIONS

KEY WEST CITY HALL  
AT GLYNN ARCHER  
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CITY OF KEY WEST



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ARCHITECTS  
P.A.

Project No: 1305  
BUILDING EXTERIOR ELEVATIONS  
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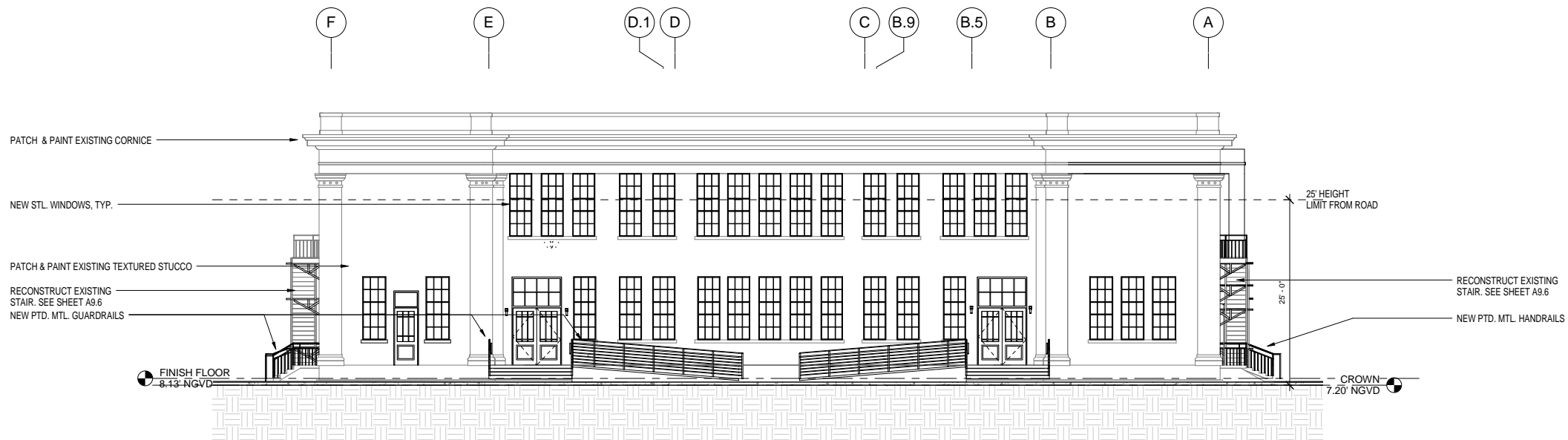
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OF

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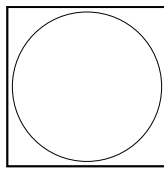
**1** Planning - East (Front) Exterior Elevation  
A5.2P 1/8" = 1'-0"



**2** Planning - West (Rear) Exterior Elevation  
A5.2P 1/8" = 1'-0"

REVISIONS

**KEY WEST CITY HALL  
AT GLYNN ARCHER**  
PHASE 2  
1300 WHITE STREET - KEY WEST, FLORIDA  
CITY OF KEY WEST



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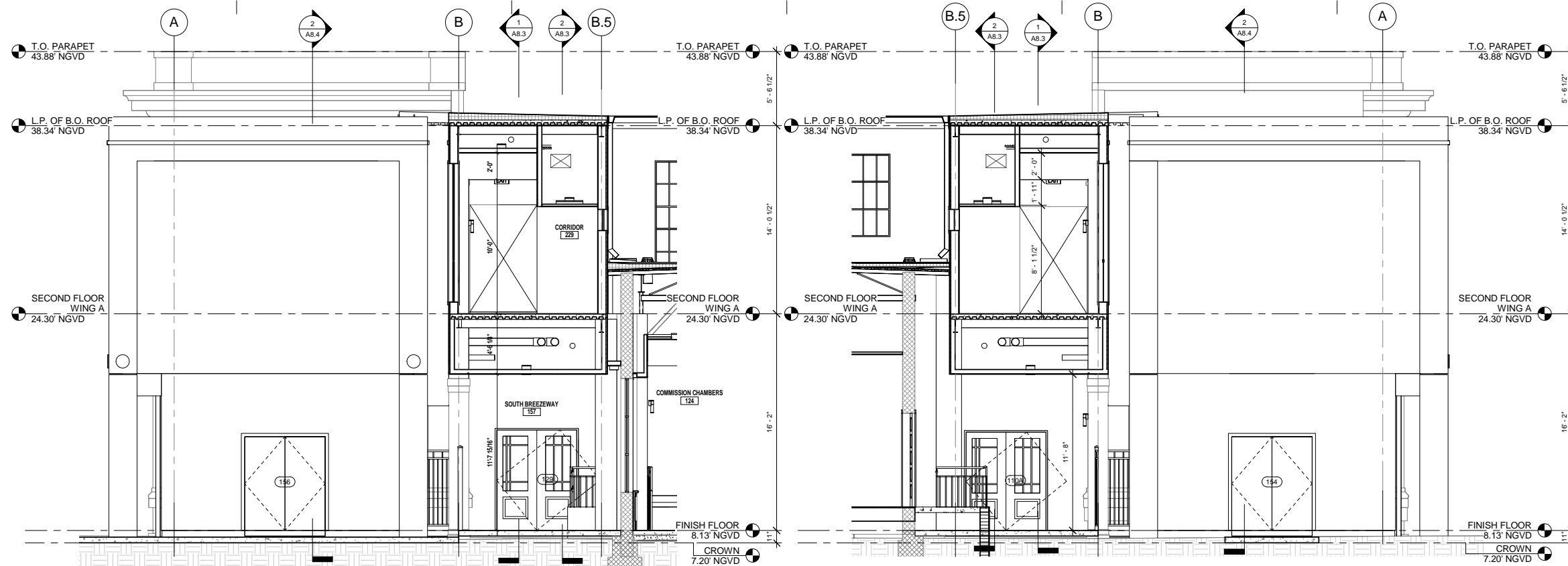
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**ARCHITECTS**  
p.c.

Project No.	1305
BUILDING EXTERIOR ELEVATIONS	
Date:	3/3/14

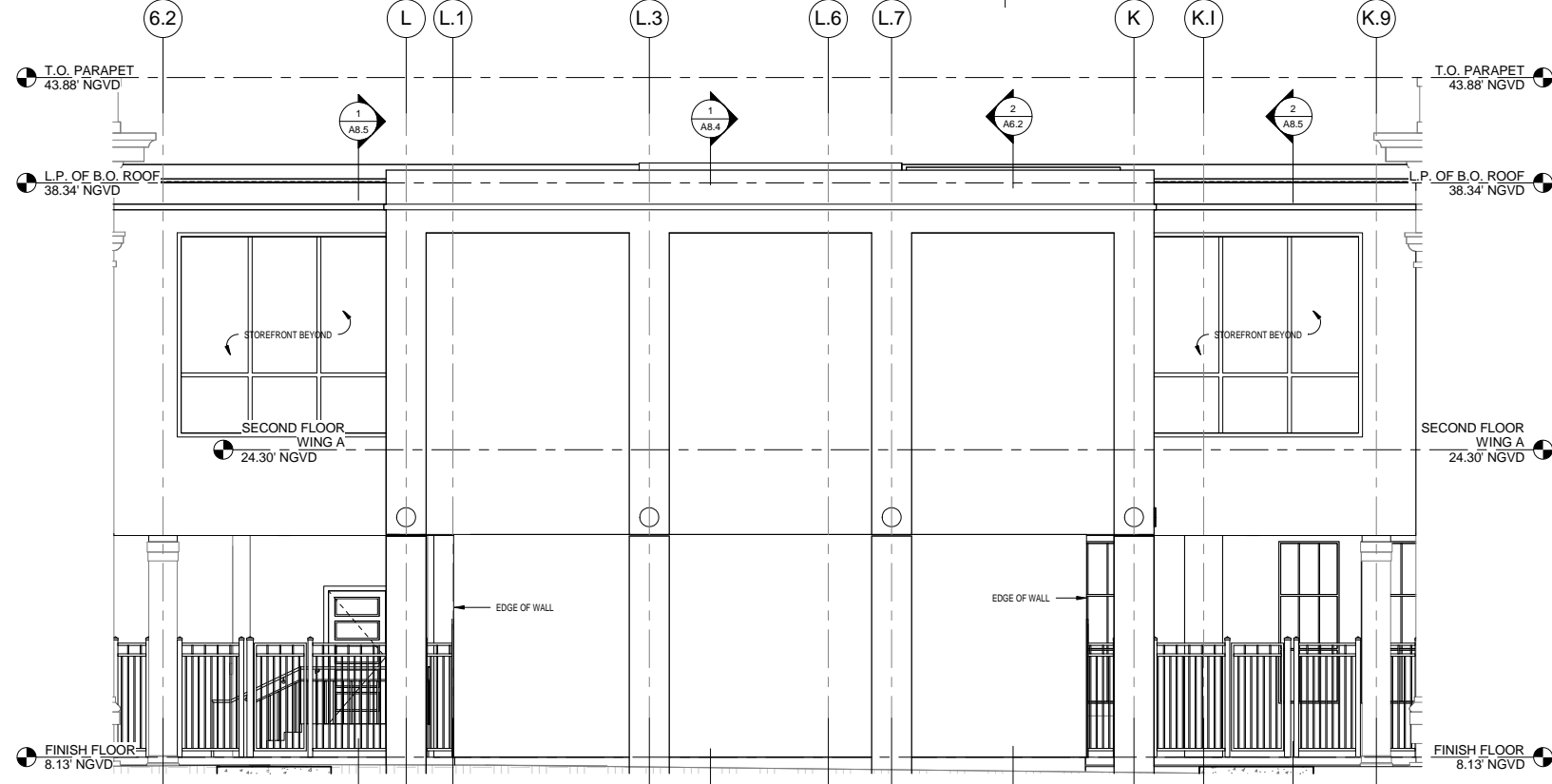
**A5.2P**  
PLANNING  
OF

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**2 CHILLER EAST ELEVATION**  
 1/4" = 1'-0"

**1 CHILLER WEST ELEVATION**  
 1/4" = 1'-0"

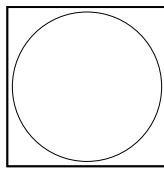


**3 CHILLER SOUTH ELEVATION**  
 1/4" = 1'-0"

REVISIONS

--	--

**KEY WEST CITY HALL  
 AT GLYNN ARCHER**  
 PHASE 2  
 1300 WHITE STREET - KEY WEST, FLORIDA  
 CITY OF KEY WEST



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Project No. 1305  
 BRIDGE ELEVATIONS  
 Date: 3/3/14

**A8.5**  
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### PORTABLE FIRE EXTINGUISHER REQUIREMENTS

CLASSIFICATION OF HAZARDS	AREA	REQUIRED	PROVIDED	UL RATING

### EGRESS CRITERIA

	FBC-B CODE REFERENCE	ALLOWED	AS DESIGNED
<b>OCCUPANCY CLASSIFICATION: A (ASSEMBLY)</b>			
MAX. EXIT ACCESS TRAVEL DIST. (SPRINKLERED)	1028.7	250	47'-1"
*COMMON PATH OF TRAVEL	1028.8	20/75	47'-1"
MAX DEAD END CORRIDOR	1018.4	20	0
<b>OCCUPANCY CLASSIFICATION: B (BUSINESS)</b>			
MAX. EXIT ACCESS TRAVEL DIST. (SPRINKLERED)	1016.1	300	155'-0"
COMMON PATH OF TRAVEL	1030.2	100	82'-1"
MAX DEAD END CORRIDOR	1018.4	50	

### CAPACITY OF MEANS OF EGRESS

OCCUPANCY CLASSIFICATION: GROUP B (BUSINESS) & A (ASSEMBLY)  
FULLY SPRINKLERED

FLOOR	OCC. LOAD	EGRESS COMPONENT	REQUIRED	PROVIDED
1ST FLOOR (BUSINESS)	83+1/8 481=	MIN. NUMBER OF EXITS	2	9
		*CORRIDOR	44" MIN.	58"
		DOORS		
1ST FLOOR (ASSEMBLY)	396+20 481=	MIN. NUMBER OF EXITS	2	3
		*CORRIDOR	44" MIN.	36"
		DOORS		
2ND FLOOR	156	MIN. NUMBER OF EXITS	2	3
		*CORRIDOR	44" MIN.	60"
		DOORS		
2ND FLOOR	156	0.2 CAPACITY FACTOR 481 X 0.2 = 96.2 IN. CLEAR	(2) 32 IN CLR DOORS PER FBC 1005.1	(3) 32 IN CLR DOORS
		STAIRS	(3) 18.6 IN MIN. CLR PER FBC 1005.1	(3) 48 IN MIN. CLR

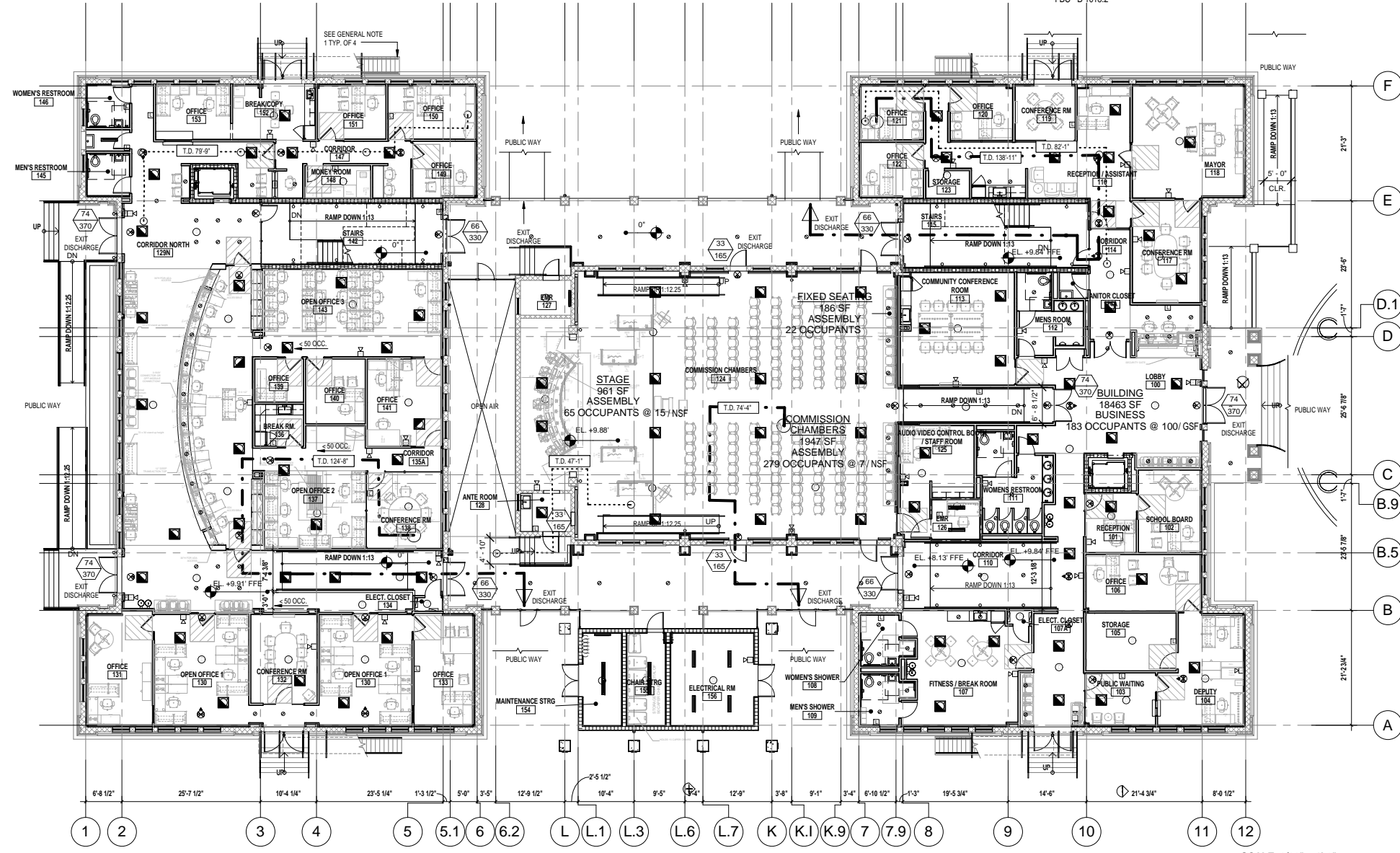
- ### GENERAL NOTES:
- GENERAL NOTES**
- EXISTING HISTORIC STEEL STAIRS (FIRE ESCAPES) TO BE RESTORED AS PART OF THE HISTORICAL RESTORATION WORK, BUT NOT TO BE USED AS A COMPONENT OF THE MEANS OF EGRESS.
  - FIRE PROTECTION DURING BUILDING DEMOLITION, ALTERATION AND CONSTRUCTION OPERATIONS:**  
PORTABLE FIRE EXTINGUISHERS: STRUCTURES UNDER DEMOLITION, ALTERATION AND CONSTRUCTION SHALL BE PROVIDED WITH APPROVED PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF FBC AND FPPC, INCLUDING BUT NOT LIMITED TO FBC-B SECTION 906 AND 3309, FBC-EB SECTION 1404, NFPA 1(F) SECTION 16.3, AND NFPA 241-2004 CHAPTERS 7, 8, 9 AND 10.
  - SUITABILITY, DISTRIBUTION AND MAINTENANCE OF PORTABLE FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH NFPA 10-2007. AT LEAST ONE 10-LB MULTI-PURPOSE UL-LISTED DRY CHEMICAL FIRE EXTINGUISHER WITH MINIMUM RATING OF 4-A-40-B-C SHALL BE PROVIDED AND MAINTAINED IN PLAIN SIGHT WITHIN AN ACCESSIBLE LOCATION AT EACH STORAGE SHED AND CONSTRUCTION TRAILER, AND ON EACH FLOOR WITHIN EACH RAMP AND STAIRWAY.
  - FLAMMABLE AND COMBUSTIBLE LIQUIDS: STORAGE, HANDLING OR USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE RESTRICTED TO AREAS OUTSIDE OF THE STRUCTURE(S), AT LEAST 25 FT FROM ENTRANCES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS, AND IN STRICT COMPLIANCE WITH NFPA 1(F) SECTION 16.2.3.1 AND CHAPTER 66; NFPA 30-2008, AND LEED INDOOR AIR QUALITY REQUIREMENTS.
  - ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST (E.G., AREAS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED). SPARE FIRE EXTINGUISHERS SHALL BE PROVIDED ON SITE FOR IMMEDIATE REPLACEMENT OF DISCHARGED FIRE EXTINGUISHERS. FREE ACCESS TO PORTABLE FIRE EXTINGUISHERS SHALL BE MAINTAINED AT ALL TIMES.
  - STORAGE OF CLASS I AND CLASS II LIQUIDS SHALL NOT EXCEED 60 GALLONS WITHIN 50 FEET OF THE STRUCTURE. STORAGE AREAS SHALL BE KEPT FREE OF WEEDS, DEBRIS AND COMBUSTIBLE MATERIALS NOT NECESSARY TO THE STORAGE. OPEN FLAMES AND SMOKING SHALL NOT BE PERMITTED IN FLAMMABLE AND COMBUSTIBLE STORAGE AREAS. SUCH STORAGE AREAS SHALL BE APPROPRIATELY POSTED AS "NO SMOKING" AREAS. CLASS I LIQUIDS SHALL BE DISPENSED ONLY WHERE THERE ARE NO OPEN FLAMES OR OTHER SOURCES OF IGNITION WITHIN THE POSSIBLE PATH OF VAPOR TRAVEL.

### INTERIOR WALL & CEILING FINISHES

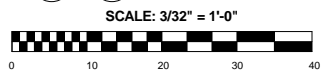
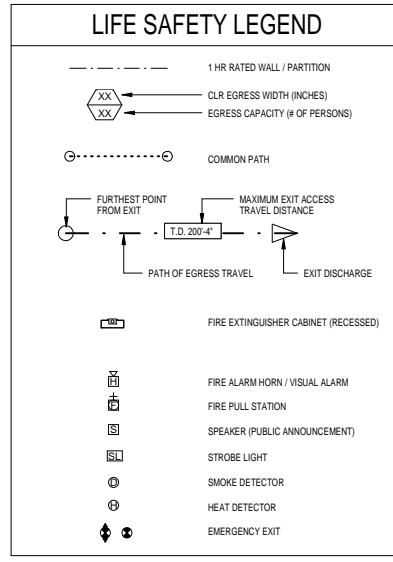
CLASSIFICATION OF HAZARDS	ALLOWED	PROVIDED

### OCCUPANT LOAD

FLOOR LEVEL	NAME	CLASSIFICATION TYPE	AREA	OCCUPANT	OCCUPANT FACTOR	OCCUPANT LOAD
1ST FLOOR	COMMISSION CHAMBERS	ASSEMBLY	1947 SF	0	7	279
1ST FLOOR	FIXED SEATING	ASSEMBLY	186 SF	22	0	22
1ST FLOOR	STAGE	ASSEMBLY	961 SF	0	15	65
1ST FLOOR	ASSEMBLY		3095 SF			366
1ST FLOOR	BUILDING BUSINESS	BUSINESS	18463 SF	0	100	185
1ST FLOOR	BUSINESS		15493 SF			155
1ST FLOOR	BUSINESS		21557 SF			551
2ND FLOOR	BUILDING BUSINESS	BUSINESS	15493 SF	0	100	155
2ND FLOOR	BUSINESS		15493 SF			155
2ND FLOOR	BUSINESS		15493 SF			155
Grand total			37051 SF			706



**1 FIRST FLOOR LIFE SAFETY PLAN**  
LS-1  
3/32" = 1'-0"



REVISIONS

**KEY WEST CITY HALL**  
**AT GLYNN ARCHER**  
PHASE 2  
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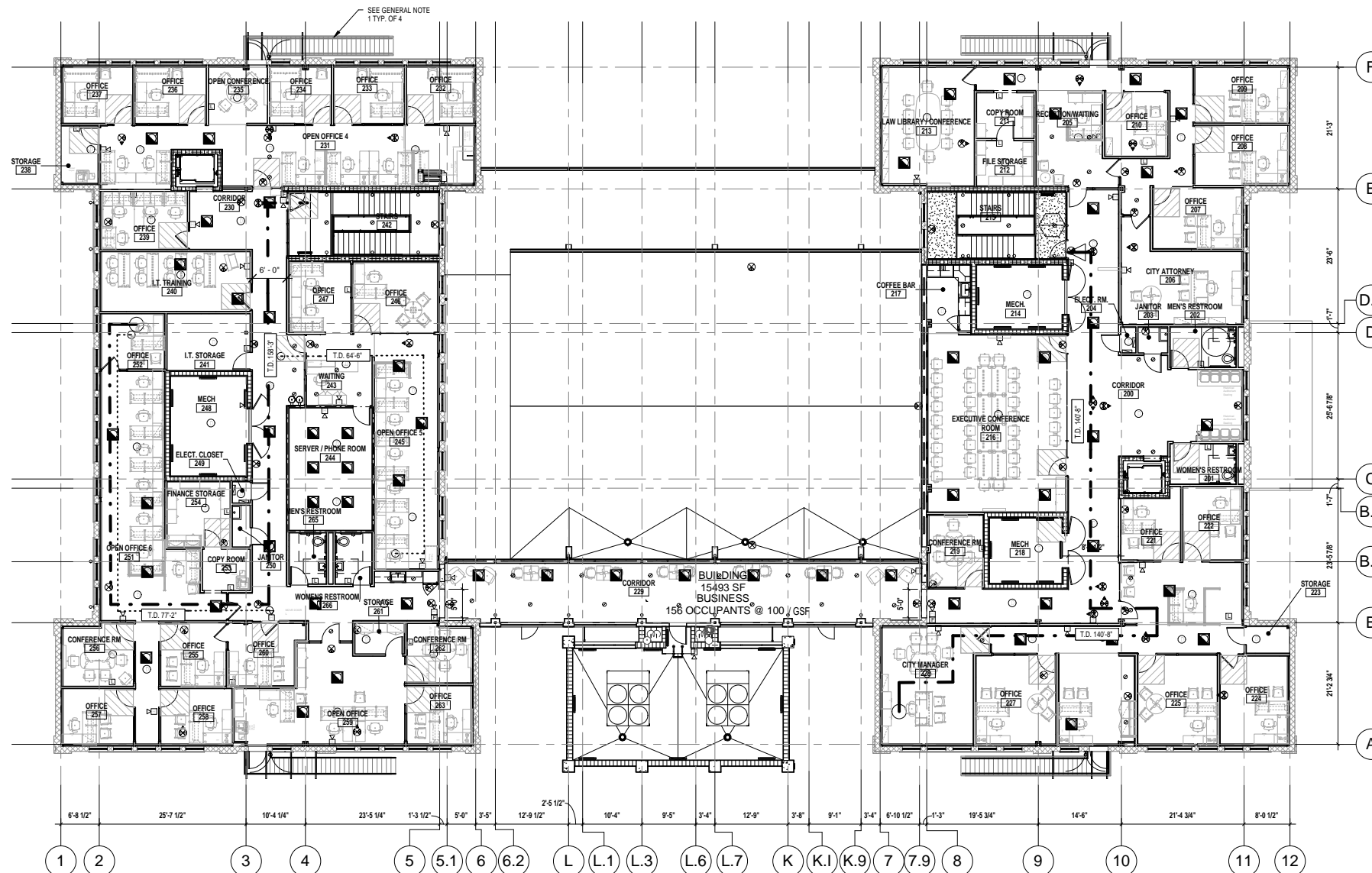
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Project No: 1305  
FIRST FLOOR LIFE SAFETY PLAN  
Date: 3/3/14

**LS-1**  
OF

PLUMBING FIXTURE COUNT																
CLASSIFICATION	Classification #	OCCUPANT LOAD	OCCUPANCY		WATER CLOSESTS				LAVATORIES				DRINKING FOUNTAINS		UTILITY SINK	
			MALE OCCUPANTS	FEMALE OCCUPANTS	REQUIRED	MALE PROVIDED	URINAL	FEMALE PROVIDED	REQUIRED	MALE PROVIDED	FEMALE PROVIDED	REQUIRED	PROVIDED			
ASSEMBLY	1	366	183	183	2	1	2	3	4	1	2	2	3	1		
BUSINESS	2	340	170	170	5	4	0	5	4	4	4	4	4	4		
Grand total		706	353	353	7	5	2	8	8	5	6	6	7	5	0	0

OCCUPANT LOAD						
FLOOR LEVEL	NAME	CLASSIFICATION TYPE	AREA	OCCUPANT	OCCUPANT FACTOR	OCCUPANT LOAD
1ST FLOOR	COMMISSION CHAMBERS	ASSEMBLY	1947 SF	0	7	279
1ST FLOOR	FIXED SEATING	ASSEMBLY	186 SF	22	0	22
1ST FLOOR	STAGE	ASSEMBLY	961 SF	0	15	65
	ASSEMBLY		3095 SF			366
1ST FLOOR	BUILDING	BUSINESS	18463 SF	0	100	185
BUSINESS			18463 SF			185
1ST FLOOR			21557 SF			551
2ND FLOOR	BUILDING	BUSINESS	15493 SF	0	100	155
BUSINESS			15493 SF			155
2ND FLOOR			15493 SF			155
Grand total			37051 SF			706

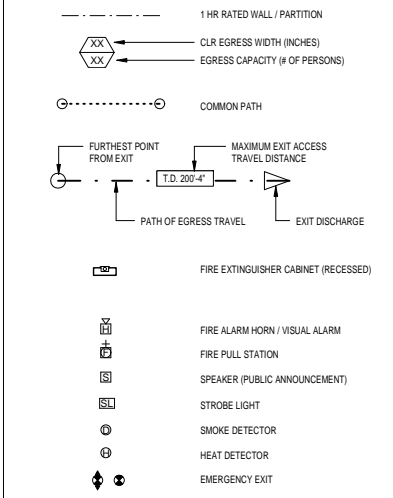


**1 SECOND FLOOR LIFE SAFETY PLAN**  
LS-2 3/32" = 1'-0"

**GENERAL NOTES:**

- GENERAL NOTES**
- EXISTING HISTORIC STEEL STAIRS (FIRE ESCAPES) TO BE RESTORED AS PART OF THE HISTORICAL RESTORATION WORK, BUT NOT TO BE USED AS A COMPONENT OF THE MEANS OF EGRESS.
  - FIRE PROTECTION DURING BUILDING DEMOLITION, ALTERATION AND CONSTRUCTION OPERATIONS:**  
PORTABLE FIRE EXTINGUISHERS: STRUCTURES UNDER DEMOLITION, ALTERATION AND CONSTRUCTION SHALL BE PROVIDED WITH APPROVED PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF FBC AND FFC, INCLUDING BUT NOT LIMITED TO FBC-B SECTION 906 AND 3309, FBC-EB SECTION 1404, NFPA 1(FI) SECTION 16.3, AND NFPA 241-2004 CHAPTERS 7, 8, 9 AND 10.
  - SUITABILITY, DISTRIBUTION AND MAINTENANCE OF PORTABLE FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH NFPA 10-2007. AT LEAST ONE 10-LB MULTI-PURPOSE UL-LISTED DRY CHEMICAL FIRE EXTINGUISHER WITH MINIMUM RATING OF 4-A:40-B:C SHALL BE PROVIDED AND MAINTAINED IN PLAIN SIGHT WITHIN AN ACCESSIBLE LOCATION AT EACH STORAGE SHED AND CONSTRUCTION TRAILER, AND ON EACH FLOOR WITHIN EACH RAMP AND STAIRWAY.
  - FLAMMABLE AND COMBUSTIBLE LIQUIDS: STORAGE, HANDLING OR USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE RESTRICTED TO AREAS OUTSIDE OF THE STRUCTURE(S), AT LEAST 25 FT FROM ENTRANCES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS, AND IN STRICT COMPLIANCE WITH NFPA 1(FI) SECTION 16.2.3.1 AND CHAPTER 66; NFPA 30-2008, AND LEED INDOOR AIR QUALITY REQUIREMENTS.
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**LIFE SAFETY LEGEND**



REVISIONS

**KEY WEST CITY HALL AT GLYNN ARCHER**  
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*Bender & Associates* ARCHITECTS  
p.c.

Project No: 1305  
SECOND FLOOR LIFE SAFETY PLAN  
Date: 3/3/14

**LS-2**  
OF

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