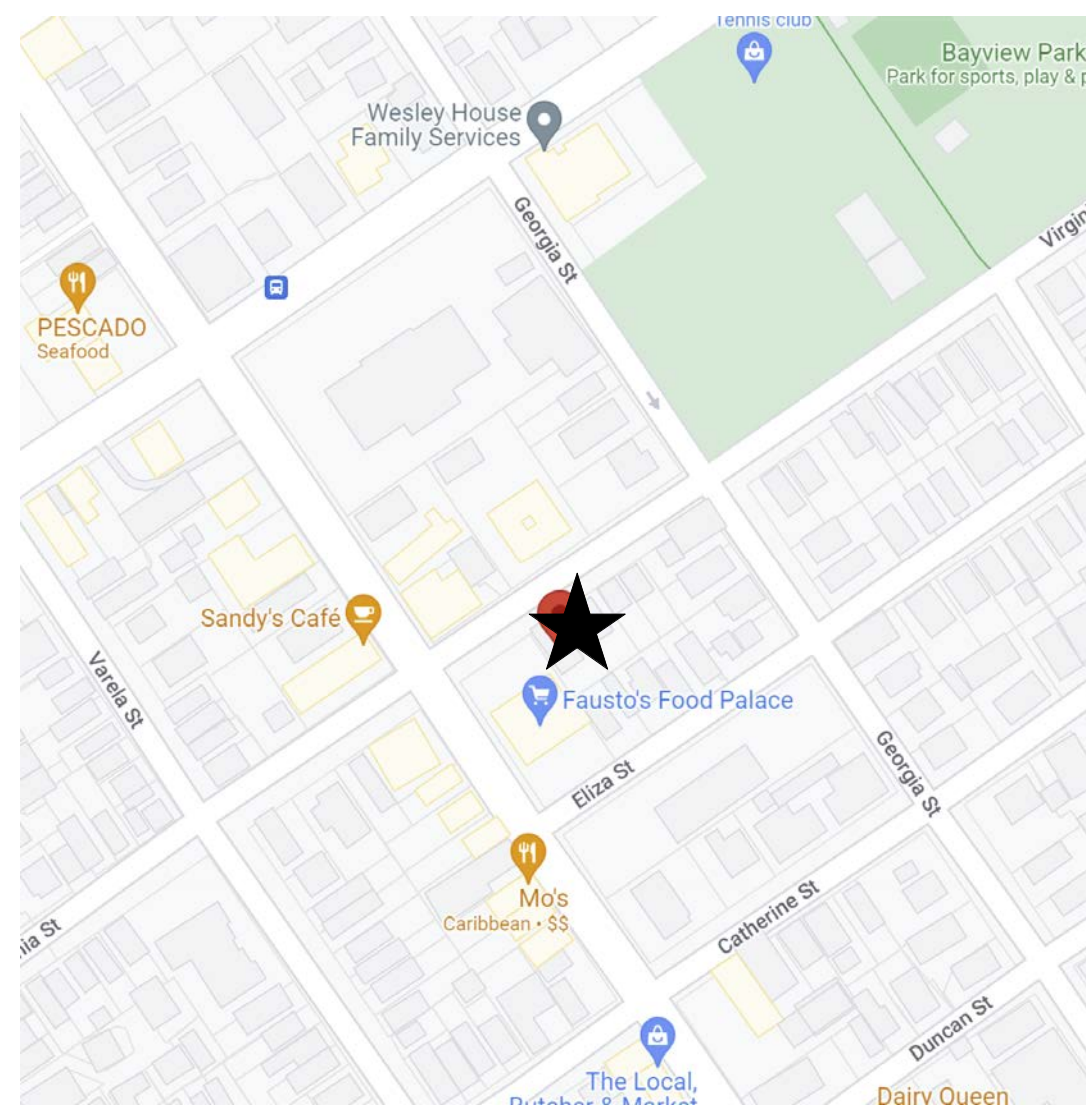


LOCATION MAP



BUILDING DATA

SITE DATA:
 FLOOD ZONE: X-ZONE
 ZONING: HMDR - HISTORIC MEDIUM DENSITY RESIDENTIAL

LEGAL DESCRIPTION:
 KW ISLAND CITY SUB PB 1-26 LOT 5 SQR 1 TR 14

RE #: 00033940-000000

ADDRESS: 1208 VIRGINIA STREET; KEY WEST, FL 33040

OCCUPANCY: R3
TYPE OF CONSTRUCTION: VB

SQUARE FOOTAGES PER FLOOR:
 FIRST FLOOR: 1,222 SF
 SECOND FLOOR: 1,238 SF
 TOTAL SF: 2,460 SF

CONTRACTOR GENERAL NOTES:
 - ALL WORK TO BE IN ACCORDANCE WITH APPLICABLE CODES.
 - WORKMANSHIP TO MEET OR EXCEED ACCEPTED STANDARDS OF RESPECTIVE TRADES.
 - VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT IF ANY CONFLICTS EXIST PRIOR TO COMMENCEMENT OF WORK.
 - FOR ANY TYPE I OR TYPE II CONSTRUCTION PROJECTS FIRE RETARDANT TREATED WOOD (EXTERIOR OR INTERIOR GRADE) MUST BE USED IN ALL WOOD CONSTRUCTION MATERIALS.
 - FOR ALL WALL SYSTEMS WITH EIFS USE EXTERIOR GRADE GLASS MATT SHEATHING OR CEMENTITIOUS BOARD ONLY.

FIRE EXTINGUISHERS WILL BE PROVIDED AS REQUIRED BY AUTHORITY HAVING JURISDICTION OR AS DIRECTED BY THE LOCAL FIRE DEPARTMENT.

WALL R-VALUE (CONTINUOUS) = 6
 WALL R-VALUE (CAVITY) = 13
 ROOF R-VALUE = 39

CONTRACTOR TO PROVIDE ESR REPORTS FOR CLOSED-CELL SPRAY FOAM SELECTED FOR REVIEW BY DESIGN PROFESSIONAL.

SCOPE OF WORK:

NEW SINGLE FAMILY RESIDENCE W/ 2,460 SF AC SPACE. 2-STORIES ON CONCRETE PILE/FOOTER FOUNDATION PER PLAN. NEW MEP PER PLAN. IMPACT RATED WINDOWS/DOORS. METAL ROOF. 4 BEDROOMS/4.5 BATHROOMS.

GENERAL NOTES

- THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
- NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE AND REPORT ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY, OR LOSS AT THE JOB SITE TO ALL PERSONS EMPLOYED TO DO WORK, PERSONS VISITING THE SITE AND THE GENERAL PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- THE CONTRACTOR SHALL DO ALL THE WORK IN STRICT CONFORMANCE TO THE PLAN, 2020 FLORIDA BUILDING CODE (7TH EDITION), LOCAL CODES AND ORDINANCES, MANUFACTURING'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. THE MOST STRINGENT REQUIREMENTS SHALL GOVERN WHEN CONDITIONS CONFLICT, HOWEVER THE ARCHITECT SHALL BE NOTIFIED OF ALL CONFLICTS.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL SYSTEMS SHALL HAVE THE SEAL OF A REGISTERED FLORIDA ENGINEER AS REQUIRED BY BUILDING CODE AND SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER BY THE CONTRACTOR FOR REVIEW PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES, HE SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL CHECK AND COORDINATE WORK OF VARIOUS TRADES TO PREVENT CONFLICTS.
- CONTRACTOR SHALL FURNISH SUBCONTRACTORS WITH A COMPLETE SET OF PLANS.
- PLUMBING AND A/C SHALL CONFORM TO THE STATE OF FLORIDA ENERGY CODE.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND FLORIDA BUILDING CODE.
- PORTABLE REST ROOM FACILITIES SHALL BE PROVIDED AT SITE BY CONTRACTOR.
- COMPLETE HOT AND COLD WATER SYSTEMS, VENTS, WASTE AND DRAIN SYSTEMS TO SEPTIC TO CODE, SHALL BE FURNISHED.
- PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
- ALL BOLTS, CLIPS, HANGERS, ETC., SHALL BE GALVANIZED OR STAINLESS.
- NO PIPES, CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER REMOVAL OF ALL DEBRIS.
- ALL ELEVATIONS ARE MEASURED FROM NGVD 1929.

CODE INFORMATION

BUILDING CODE: 2020 FLORIDA BUILDING CODE, 6TH EDITION
MECHANICAL CODE: 2020 FLORIDA MECHANICAL CODE
PLUMBING CODE: 2020 FLORIDA PLUMBING CODE
ELECTRICAL CODE: 2017 NATIONAL ELECTRIC CODE (NEC) NFPA
FUEL GAS CODE: 2020 FLORIDA FUEL GAS CODE
ENERGY CODE: 2020 FLORIDA ENERGY CONSERVATION CODE
ADA ACCESSIBILITY CODE: 2020 FLORIDA ACCESSIBILITY CODE
STANDARD LOAD DESIGN CRITERIA: ASCE 7-16

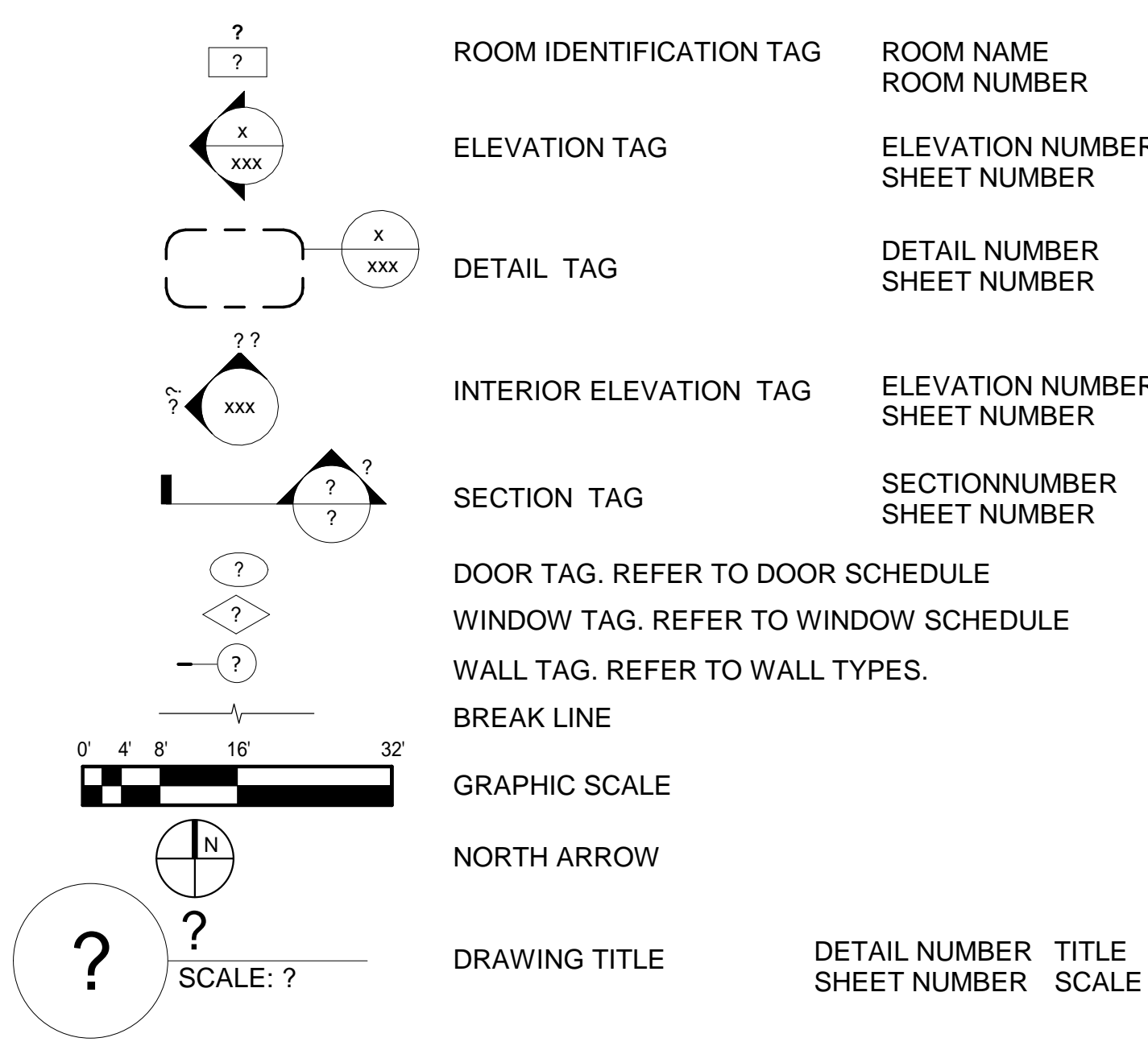
LOCAL BUILDING REQUIREMENTS: CITY OF KEY WEST CODES AND ORDINANCES
FEMA REQUIREMENTS: FLOOD ZONE: X-ZONE NGVD 1929
DESIGN FLOOD ELEVATION: FLOOD ZONE: X-ZONE NGVD 1929
CURRENT ZONING: HMDR - HISTORIC MEDIUM DENSITY RESIDENTIAL
MAX BUILDING HEIGHT: 35' FROM COR/LAG

ALL ELEVATIONS PROVIDED IN NGVD 1929.

ABBREVIATIONS

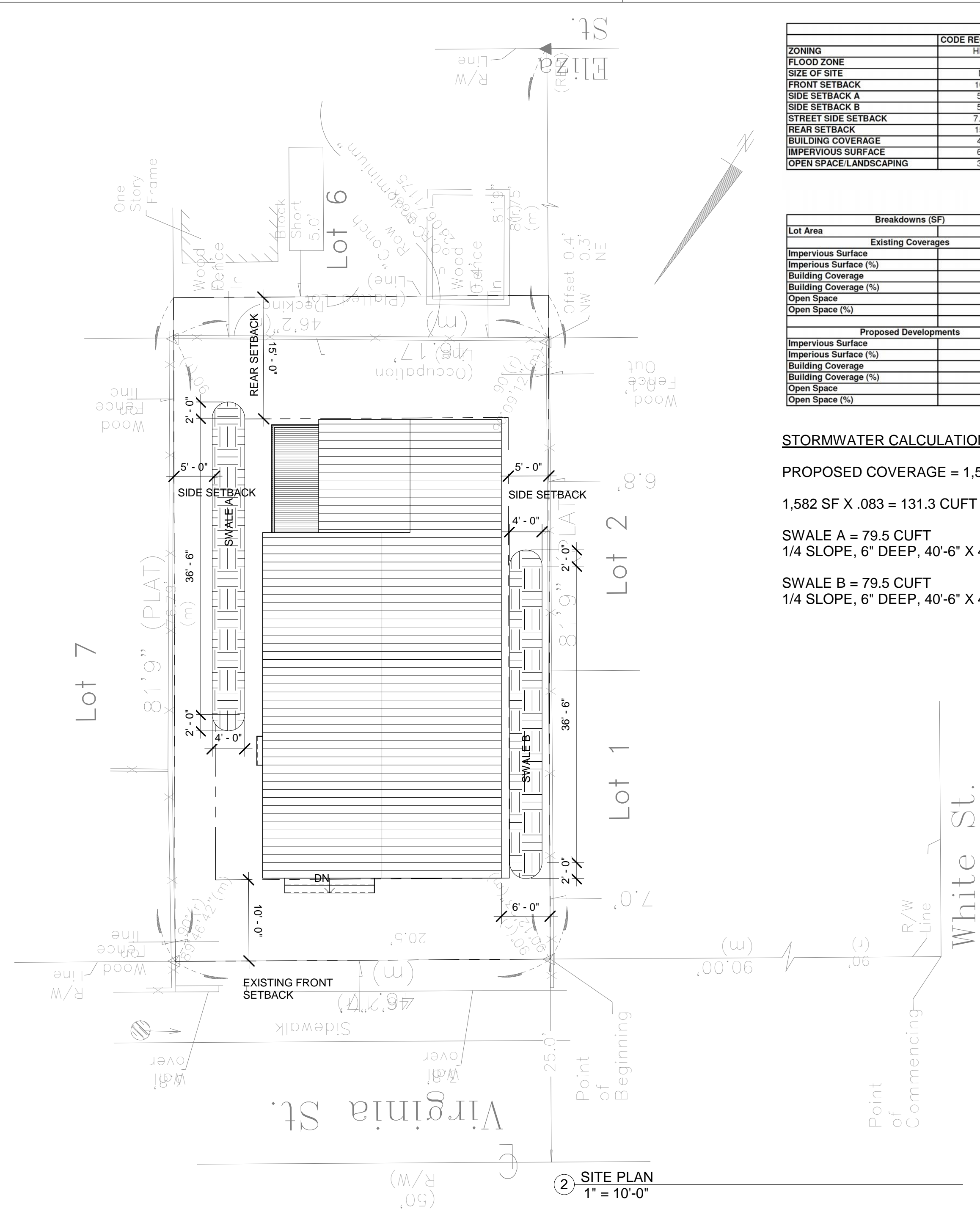
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
AV	AUDIO VISUAL
BO	BOTTOM OF
CL	CENTERLINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CONC	CONCRETE
D	DRYER
DIA	DIAMETER
DTLS	DETAILS
DW	DISHWASHER
E	ELECTRICAL METER
FBC	FLORIDA BUILDING CODE
FEC	FIRE EXTINGUISHER CABINET
GA	GAUGE
GAL	GALLON
GFI	GROUND FLOOR IMPACT
GWB	GYPSON WALL BOARD
HB	HOSE BIB
HVAC	HEATING, VENTILATION, & AIR CONDITIONING
LHM	LOWEST HORIZONTAL MEMBER
MAX	MAXIMUM
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O.C.	ON CENTER
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
RCP	REFLECTED CEILING PLAN
RE	REFERENCE
REF	REFRIGERATOR
REQ'D	REQUIRED
RO	ROUGH OPENING
STL	STEEL
THK	THICK
TO	TOP OF
TOP	TOP OF PILE
TOW	TOP OF WALL
TYP	TYPICAL
U.N.O.	UNLESS OTHERWISE NOTES
VTR	VENT TO ROOF
W	WASHER
WC	WATER CLOSET
WD	WOOD
W/D	WASHER/DRYER
WP	WATERPROOF
WH	WATER HEATER

SYMBOLS



DRAWING INDEX

A 0	COVER SHEET
A 1	FLOOR PLANS
A 01	SITE PLAN & SURVEY
A 2	ROOF PLAN & SCHEDULES
A 3	ELEVATIONS
A 4	ELEVATIONS
A 5	3D VIEWS
A 6	RCPS
E 1	ELECTRICAL NOTES & RISER DIAGRAM
E 2	ELECTRICAL PLAN & PANEL SCHEDULE
M 1	NOTES & SCHEDULE
M 2	MECHANICAL FLOOR PLAN
M 3	SECTIONS
P 1	NOTES & SCOPE
P 2	PLUMBING PLANS
P 3	WASTE & SUPPLY DIAGRAMS
S 1	STRUCTURAL NOTES
S 2	STRUCTURAL NOTES
S 3	FOUNDATION & FIRST FLOOR FRAMING PLAN
S 4	SECOND FLOOR FRAMING & ROOF PLAN
S 5	WALL SECTIONS
S 6	SECTIONS



SITE DATA TABLE

ZONING	CODE REQUIREMENT	EXISTING SITE	PROPOSED	VARIANCE REQUEST
FLOOD ZONE	HDMR	HDMR	HDMR	N/A
SIZE OF SITE	X	X	X	N/A
FRONT SETBACK	N/A	3,774	UNCHANGED	N/A
FRONT SETBACK A	10'-0"	0'-5"	10'-0"	N/A
FRONT SETBACK B	5'-0"	6'-10"	6'-0"	N/A
FRONT SETBACK C	5'-0"	12'-0"	10'-0"	N/A
FRONT SETBACK D	7'-0"	N/A	N/A	N/A
FRONT SETBACK E	15'-0"	19'-3"	15'-0"	N/A
FRONT SETBACK F	40%	42%	40%	N/A
FRONT SETBACK G	60%	7%	1%	N/A
FRONT SETBACK H	35%	51%	56%	N/A

Breakdowns (SF)

Lot Area	Existing Coverages	Proposed Developments
3,774	268	87
Impervious Surface (%)	7%	1%
Building Coverage (%)	1,582	1,509
Open Space (%)	42%	46%
Open Space (%)	1,924	2,178
Open Space (%)	51%	56%

STORMWATER CALCULATIONS:
 PROPOSED COVERAGE = 1,582 SF
 1,582 SF X .083 = 131.3 CUFT
 SWALE A = 79.5 CUFT
 1/4 SLOPE, 6" DEEP, 40'-6" X 4'
 SWALE B = 79.5 CUFT
 1/4 SLOPE, 6" DEEP, 40'-6" X 4'

DATE:	REV:	SET/DESCRIPTION
2023.10.25		HARC SUBMITTAL SET

SEAL:

NOT FOR CONSTRUCTION

NOT VALID FOR CONSTRUCTION UNLESS SIGNED/SEALED IN THIS BLOCK

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ERICA HELEN POOLE USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ERICA HELEN POOLE - ARCHITECT
 #AR98525

SANDBAR DESIGN STUDIO
 2915 CAMELLIA LANE
 BIG PINE KEY, FL 33043
 WWW.SANDBARDESIGNSTUDIO.COM
 #R7039584

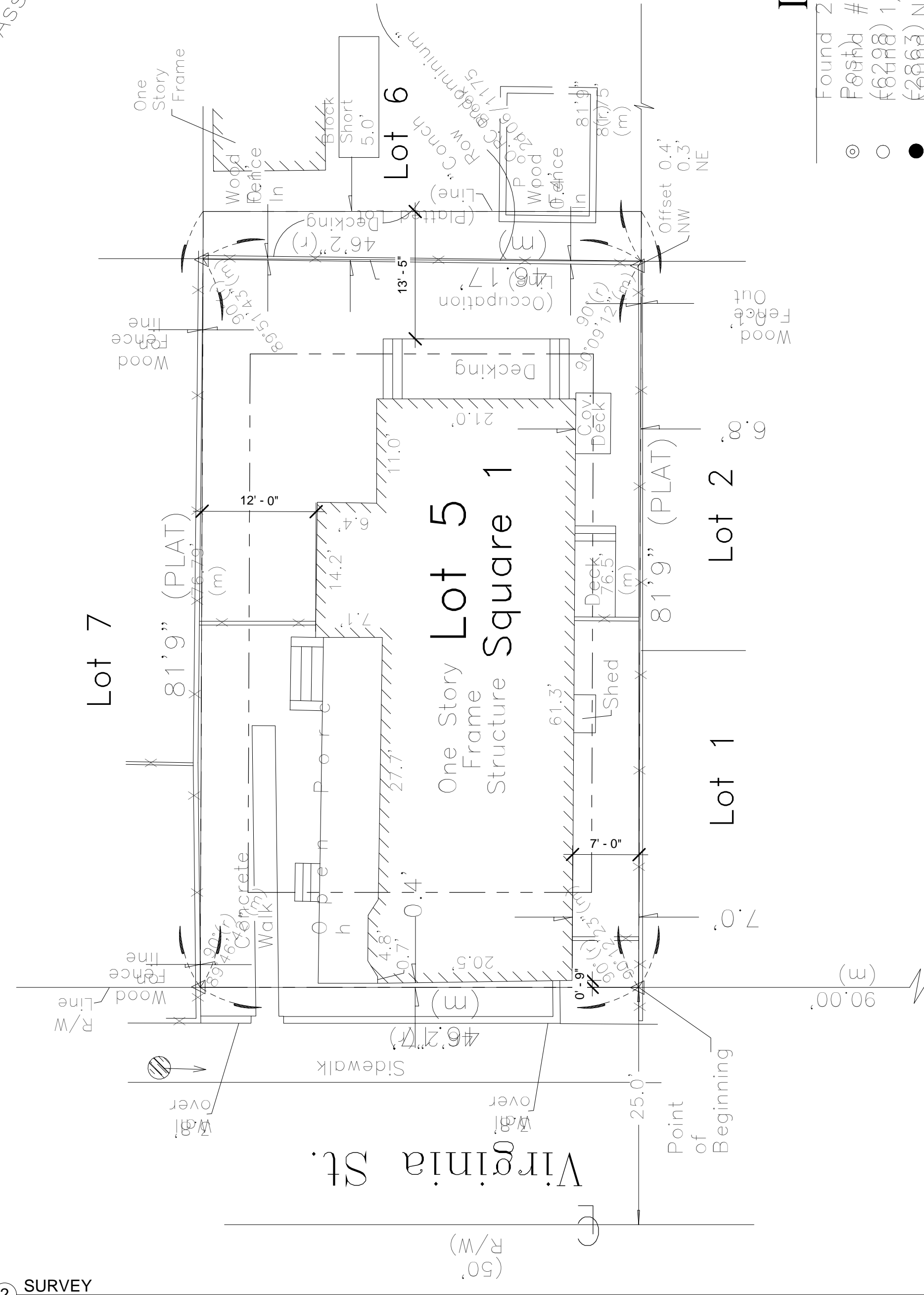
New Single Family Residence
 1208 Virginia Street
 Key West, FL 33040

SHEET
 COVER SHEET

PROJECT NO: LAK2022B
 DRAWN BY: Author
 APPROVED BY: Checker

② SURVEY
1" = 10'-0"

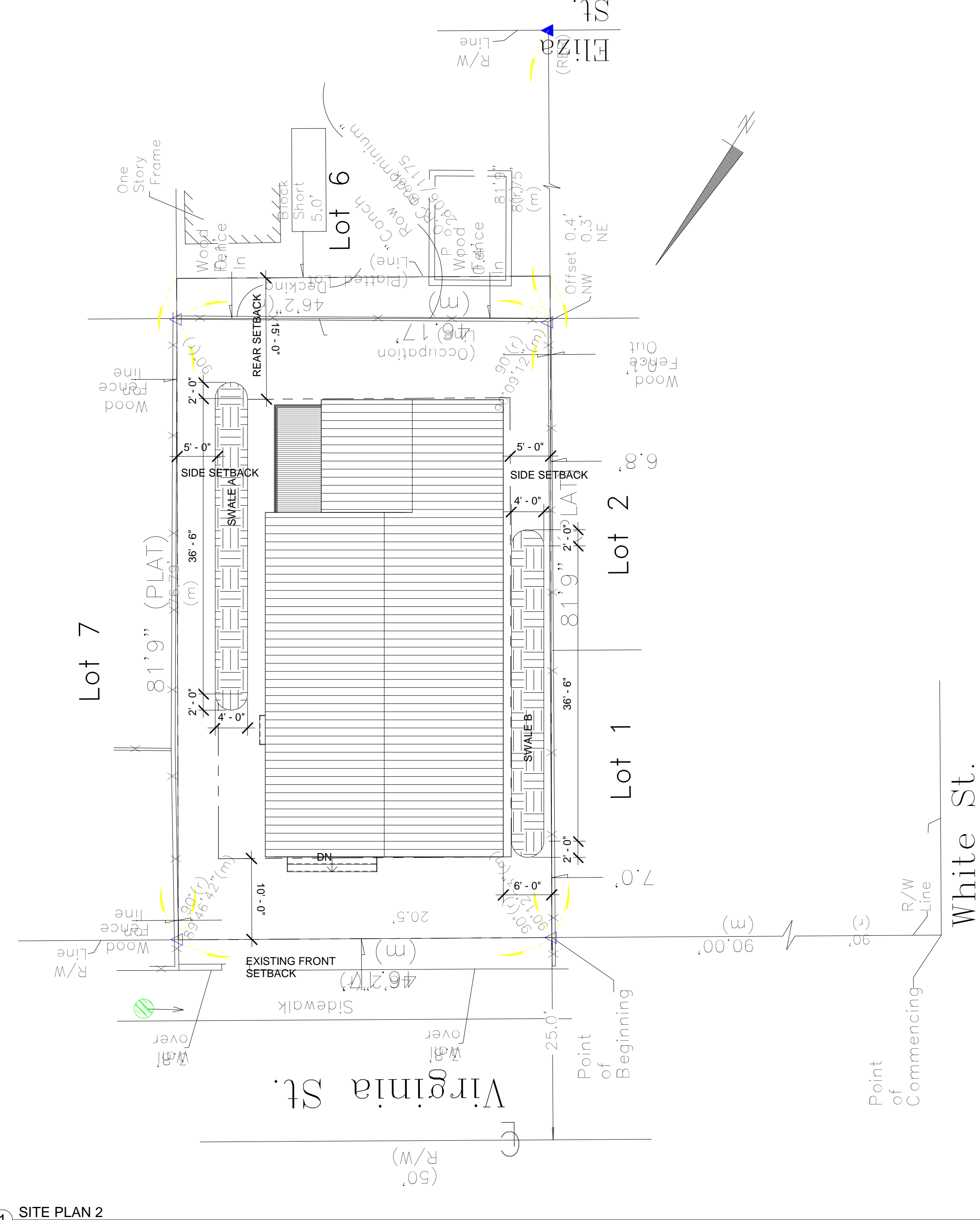
Assumed



LEGEND

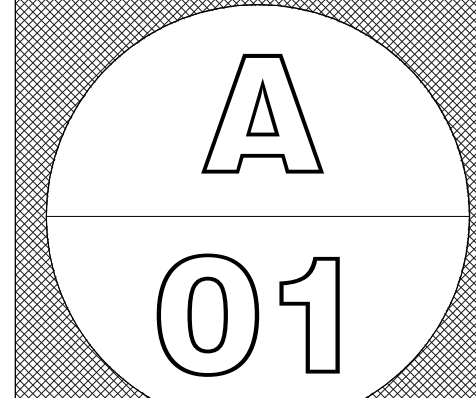
- Found 2" Iron Pipe (Fence Posts)
- #5 rebar w/cap (8228)
- 1/2" Iron Rod (8888)
- Nail & Disc (PTS)

① SITE PLAN 2
1" = 10'-0"



New Single Family Residence
1208 Virginia Street
Key West, FL 33040

SHEET
SITE PLAN & SURVEY



PROJECT NO. LAK2022B
DRAWN BY: Author
APPROVED BY: Checker

SANDBAR DESIGN STUDIO
SANDBAR DESIGN STUDIO
29185 CAPELLA LANE
BIG PINE KEY, FL 33043
WWW.SANDBARDESIGNSTUDIO.COM
817.933.854

ERICA HELEN POOLE - ARCHITECT
#AR98525

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

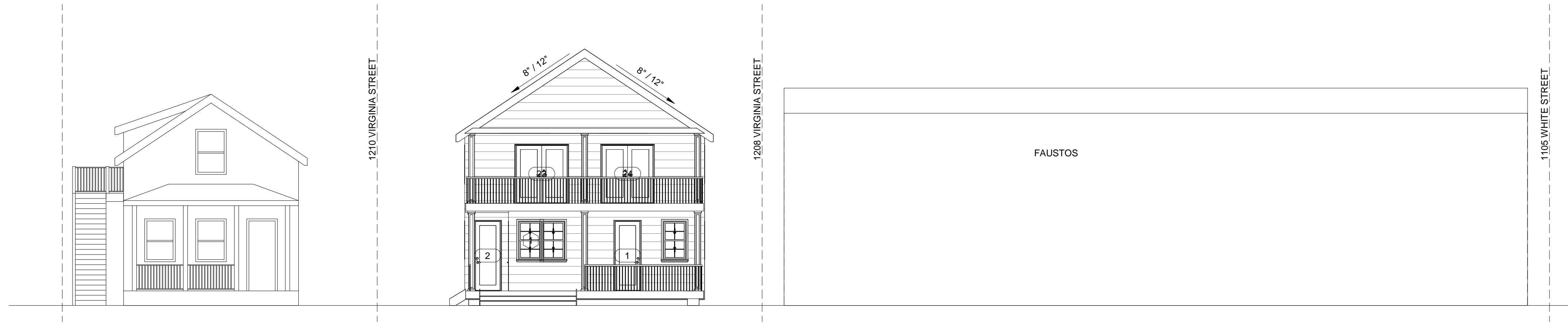
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ERICA HELEN POOLE USING A DIGITAL SIGNATURE.

NOT VALID FOR CONSTRUCTION UNLESS SIGNED/SEALED IN THIS BLOCK

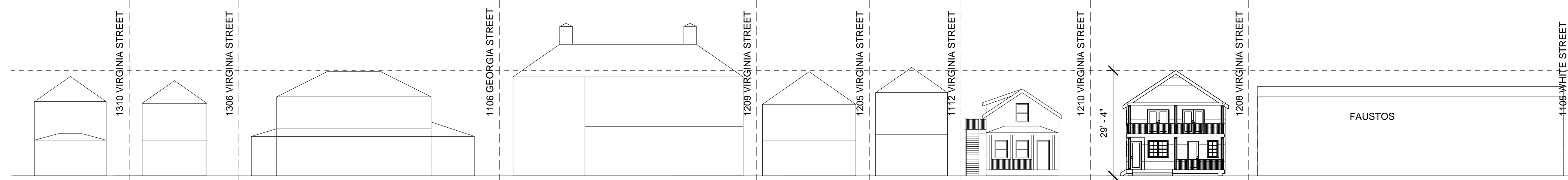
SEAL:

DATE	REV.	SET DESCRIPTION
2023.10.25		HARC SUBMITTAL SET

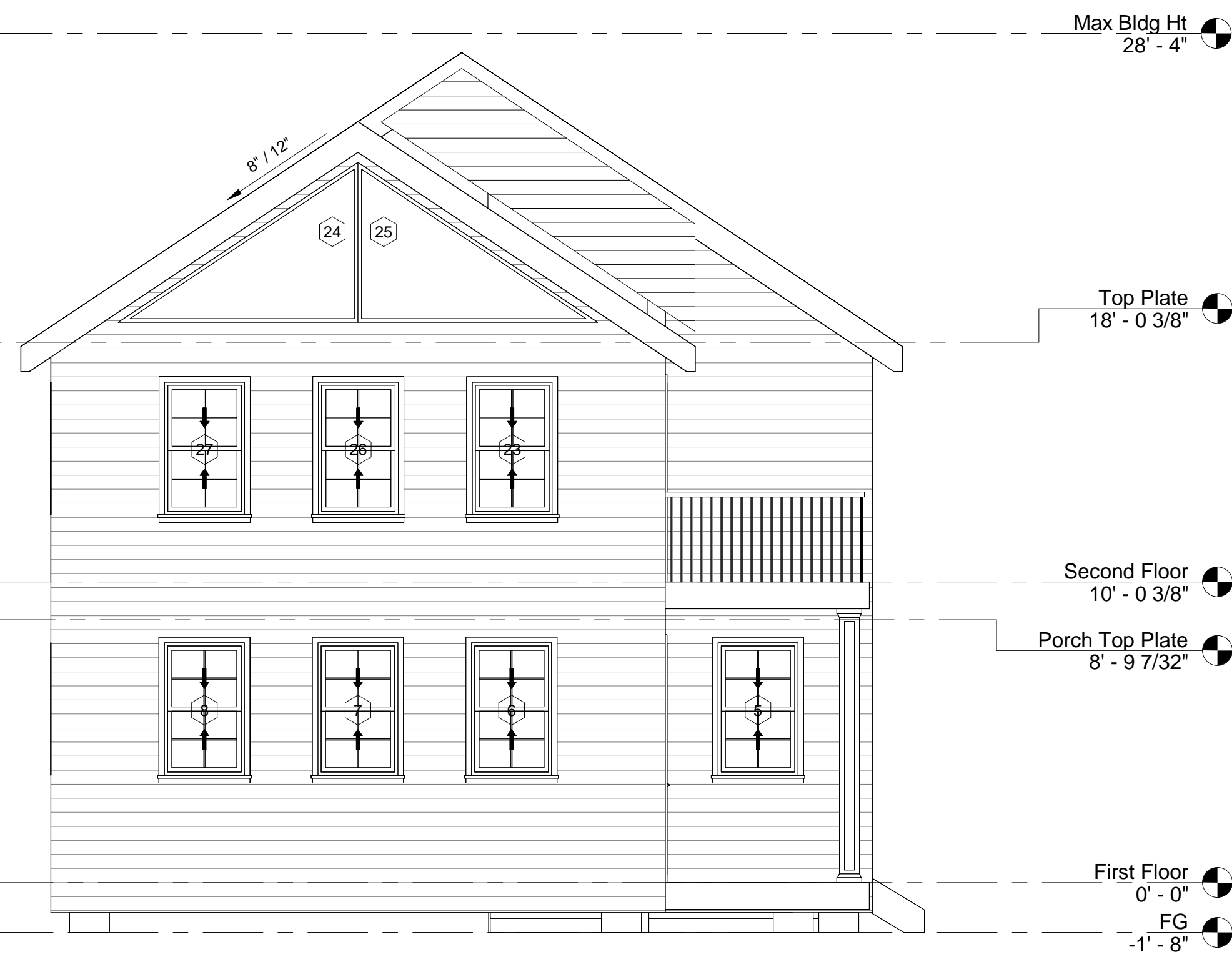
NOT FOR CONSTRUCTION



1 Street Elevation
1/8" = 1'-0"



2 Street Elevation - Height Study
1" = 20'-0"



3 North
1/4" = 1'-0"



4 South
1/4" = 1'-0"

DATE: REV. SET DESCRIPTION
2023.10.25 HARC SUBMITTAL SET

SEAL:

NOT FOR CONSTRUCTION

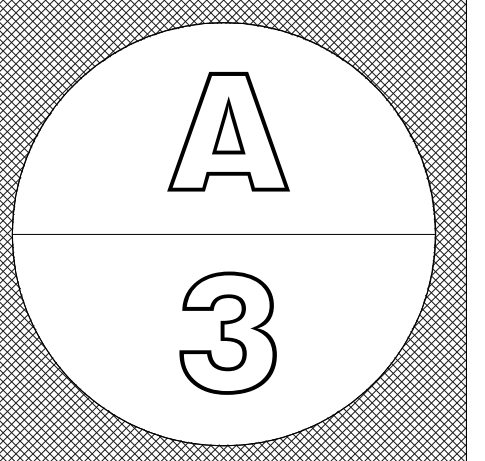
NOT VALID FOR CONSTRUCTION UNLESS SIGNED/SEALED IN THIS BLOCK
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ERICA HELEN POOLE USING A DIGITAL SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ERICA HELEN POOLE - ARCHITECT
#AR98525



New Single Family Residence
1208 Virginia Street
Key West, FL 33040

SHEET ELEVATIONS



PROJECT NO: LAK2022B DRAWN BY: Author APPROVED BY: Checker