



Historic Architectural Review Commission Staff Report for Item 9

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Matthew Crawford
Historic Architectural Preservationist

Meeting Date: November 18, 2025

Applicant: Bender & Associates Architects

Application Number: C2025-0094

Address: 913 Terry Lane

Description of Work:

New one-story accessory structure in rear property.

Site Facts:

The building under review is a contributing resource to the historic district; however, the rear addition is historic and non-contributing shown in a 1972 aerial photo. The main structure was built circa 1929, but staff has found that the structure is shown on the 1912 Sanborn Map. This historic one-story frame and concrete block structure faces Terry Lane. Currently, the house is under renovation from a separate permit.

Currently the house sits on piers, and it is in an X flood zone.



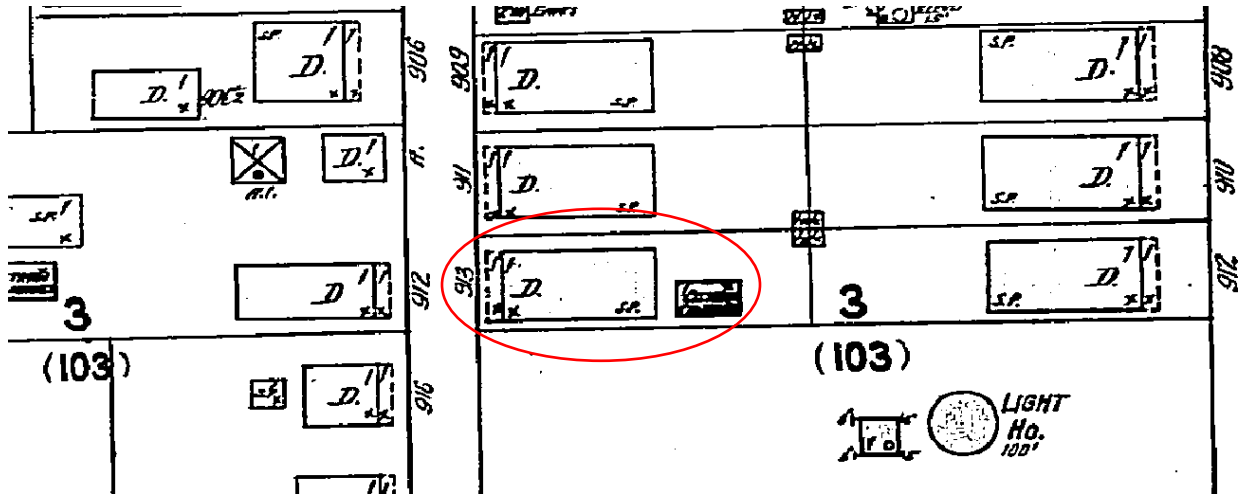
Photo taken by the Property Appraiser's office circa 1965. Monroe County Library.



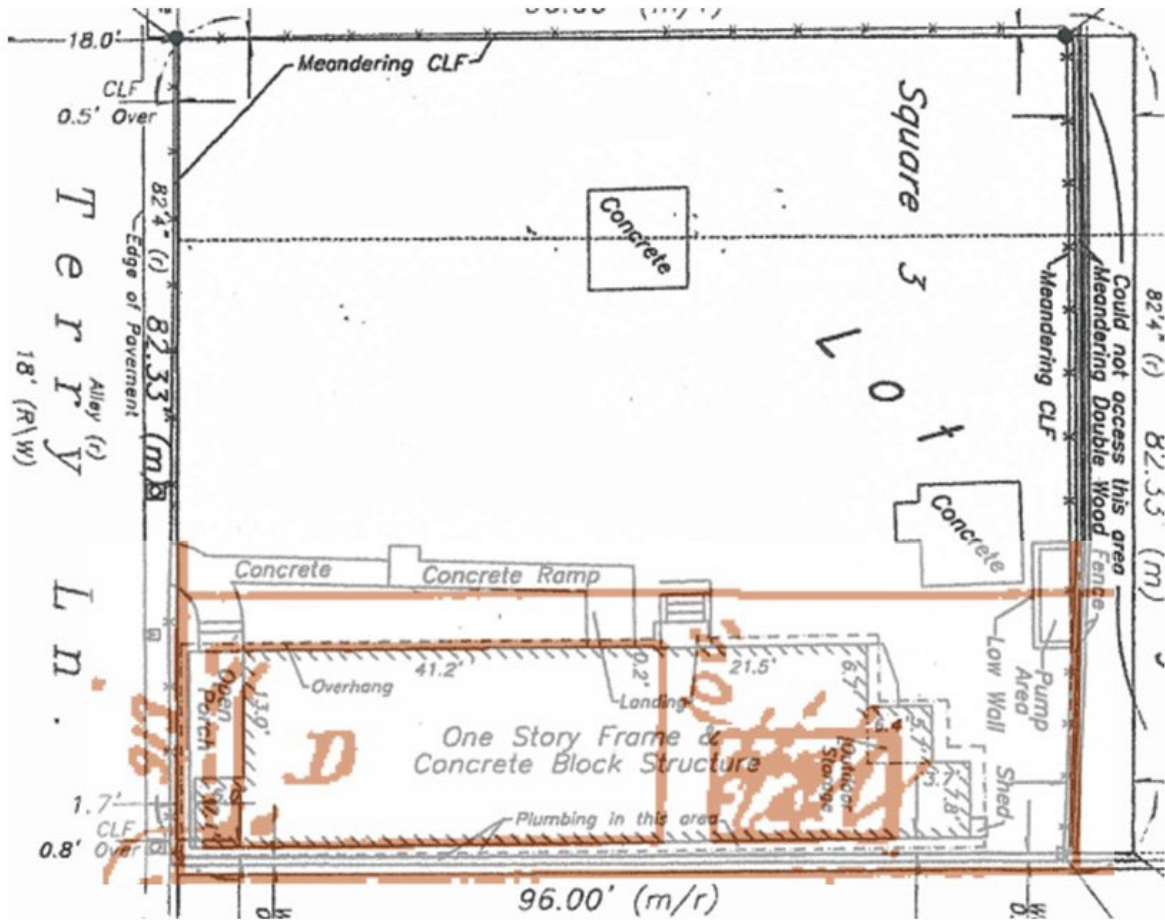
Current Photo of House Under Review.



Current Photo of House Under Review.



1912 Sanborn Map.



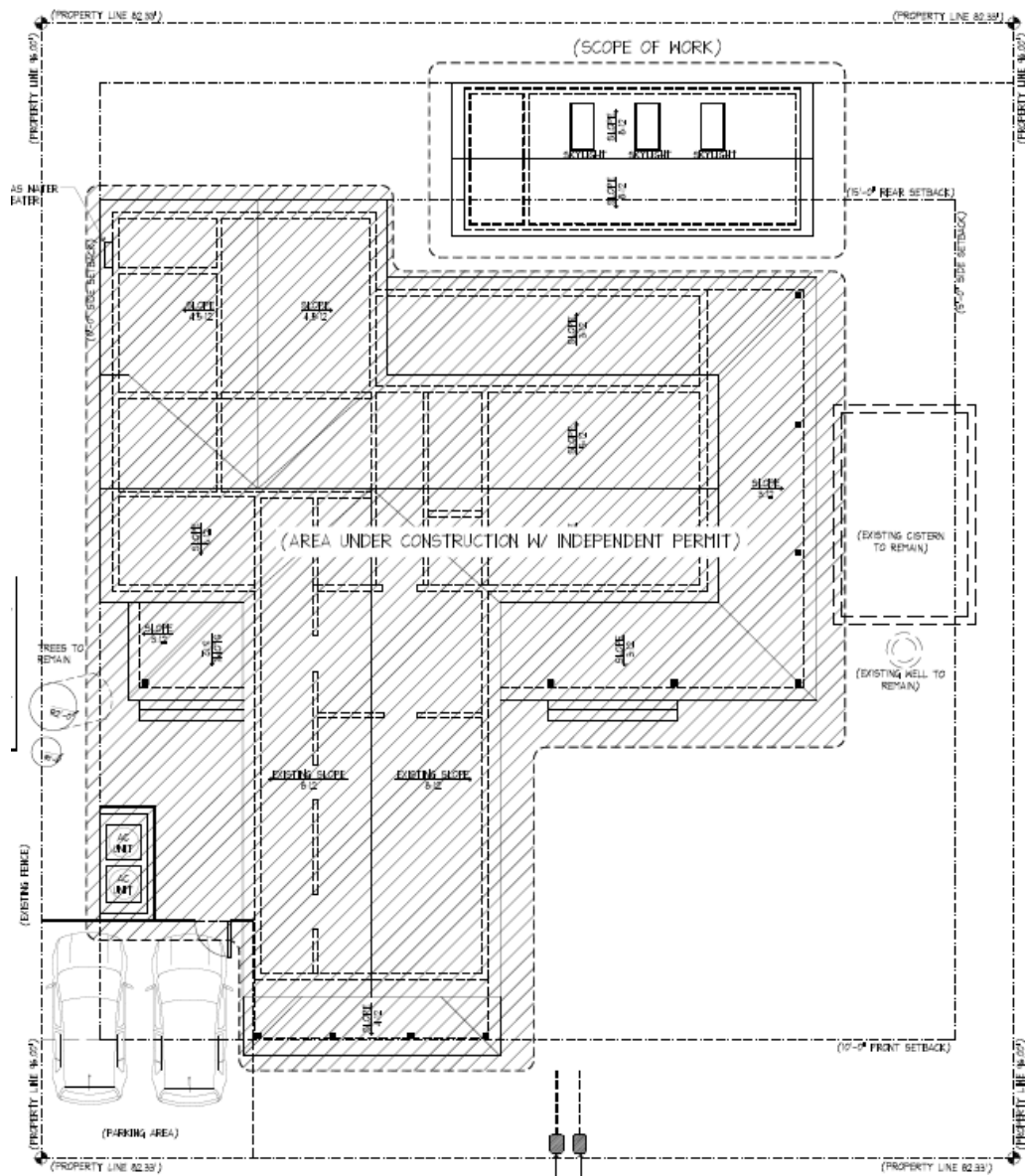
Current survey and 1962 Sanborn Map.

Guidelines Cited on Review:

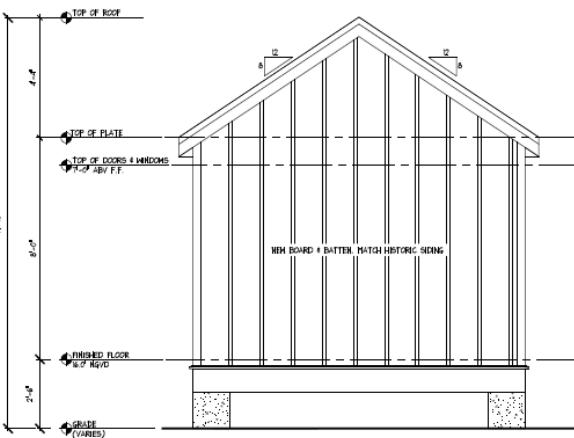
- Guidelines for Building Exteriors (page 24), specifically guidelines 1 (specifically board and batten).
- Guidelines for Roofing (page 26), specifically guidelines 2 and 3.
- Guidelines for Windows (pages 29a-l), specifically guidelines A (3, and 5).
- Guidelines for Entrances, Porches, Doors, and exterior staircases (page 32), specifically guidelines 9 and 12.
- Guidelines for New Construction (pages 38a-38q), specifically guidelines 1, 2, 6 (first two sentences), 9, 11, 12, 13 (first sentence), 14, 18, 22, 23, 24, and 25.

Staff Analysis:

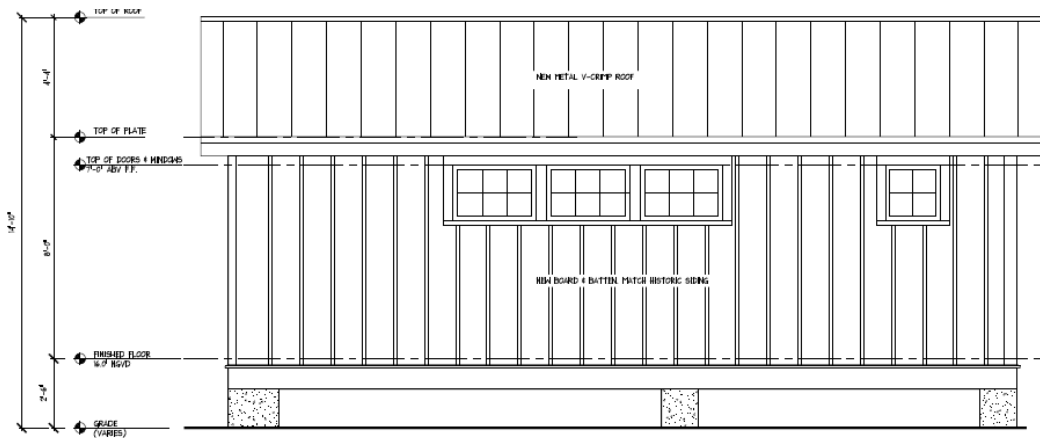
A Certificate of Appropriateness is currently under review for a new accessory structure at the rear of a historic, contributing house. The structure will include 6 over 6 windows, board and batten siding, and a 5v crimp metal roof. The proposed one-story structure will be built lower than the main structure on the property. The main structure is 19' tall and the proposed accessory structure is 14'10" tall.



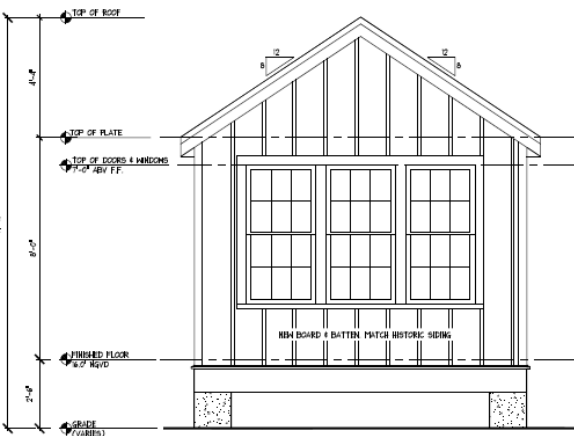
Proposed Site Plan.



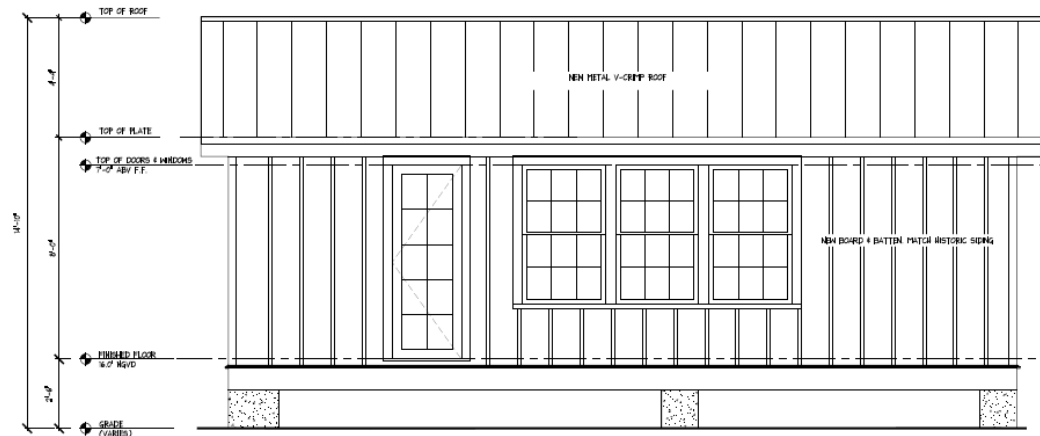
4 PROPOSED NORTH ELEVATION - ACCESSORY STRUCTURE
A4 SCALE 1/2" = 1'-0"



3 PROPOSED EAST ELEVATION - ACCESSORY STRUCTURE
A4 SCALE 1/2" = 1'-0"



2 PROPOSED SOUTH ELEVATION - ACCESSORY STRUCTURE
A4 SCALE 1/2" = 1'-0"



1 PROPOSED WEST ELEVATION - ACCESSORY STRUCTURE
A4 SCALE 1/2" = 1'-0"

Consistency with Cited Guidelines:

Staff opines that the overall design is cohesive with the surrounding context and that it meets cited guidelines. The new accessory structure meets many of the Guidelines for New Construction. The accessory structure follows Guideline 6 as it is situated with consideration to building setbacks, orientation and front and side yards open space. The accessory structure also meets Guidelines 22-24 as the proposed siding and roof materials will be the same as the existing main structure on the property. Also, the pattern and proportions of the window and door openings on the accessory structure fall within a range associated with similar buildings in the historic district.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

913 Terry Ln.

NAME ON DEED:

Deborah Ann Snelgrove

PHONE NUMBER

OWNER'S MAILING ADDRESS:

EMAIL

APPLICANT NAME:

Bender & Associates Architects.

PHONE NUMBER 305-296-1347

APPLICANT'S ADDRESS:

410 Angela St.

EMAIL hburkee@benderarchitects.com

APPLICANT'S SIGNATURE:

DATE 10.18.2025

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ____ RELOCATION OF A STRUCTURE ____ ELEVATION OF A STRUCTURE ____

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☒ NO ____ INVOLVES A HISTORIC STRUCTURE: YES ☒ NO ____

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ____ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: New accessory structure.

MAIN BUILDING:

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

N/A

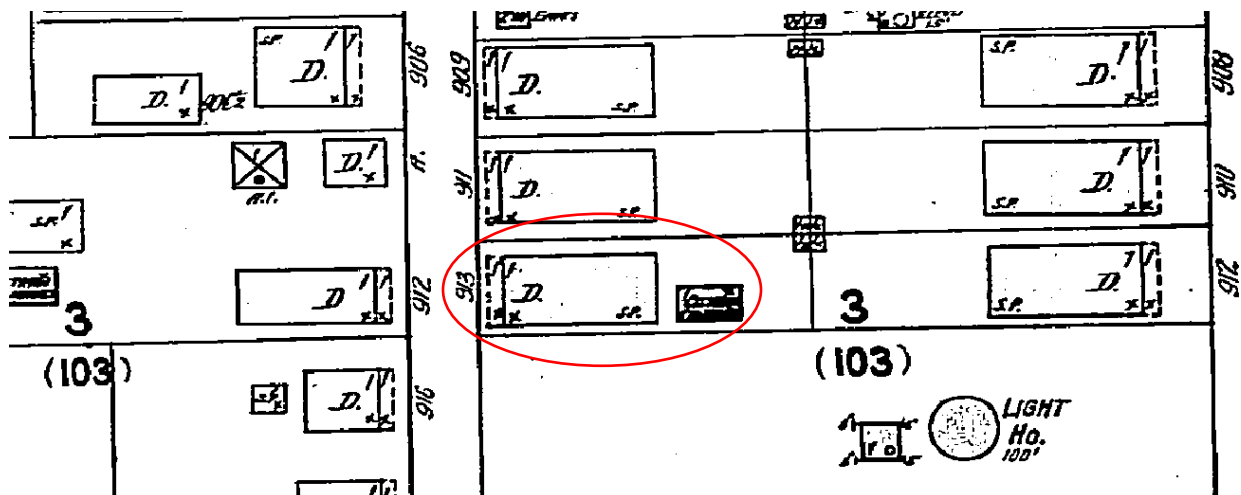
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):		New accessory structure.	
PAVERS: None		FENCES: N/A	
DECKS: N/A		PAINTING: All new paint to be white	
SITE (INCLUDING GRADING, FILL, TREES, ETC): See plans.		POOLS (INCLUDING EQUIPMENT): N/A	
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):		OTHER: N/A	
N/A			

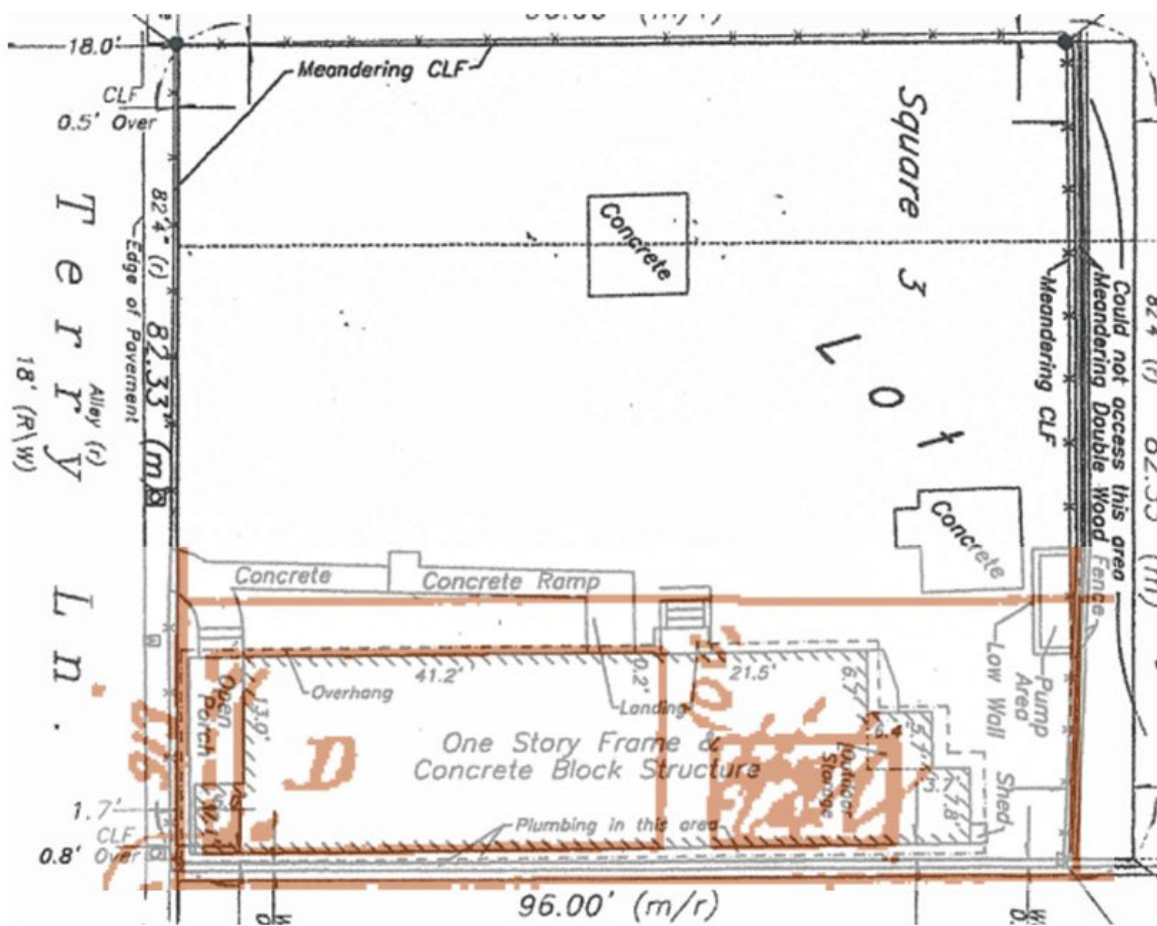
OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

SANBORN MAPS



1912 Sanborn Map.



Current survey and 1962 Sanborn Map.

PROJECT PHOTOS



3
A6 PHOTOGRAPH OF THE AREA OF THE PROJECT (SOUTH OF THE PROPERTY)
N.T.S.

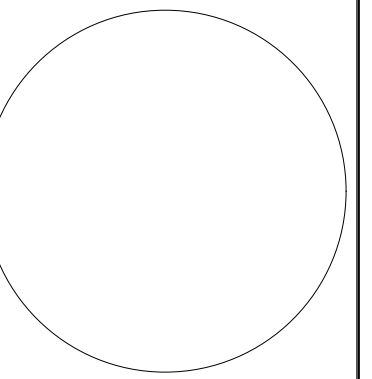


2
A6 PHOTOGRAPH OF THE AREA OF THE PROJECT (EAST OF THE PROPERTY)
N.T.S.



1
A6 PHOTOGRAPH OF THE AREA OF THE PROJECT (SOUTH OF THE PROPERTY)
N.T.S.

913 TERRY LANE
KEY WEST, FLORIDA



410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No: 2325



Date: 10/18/2025

A6

SURVEY

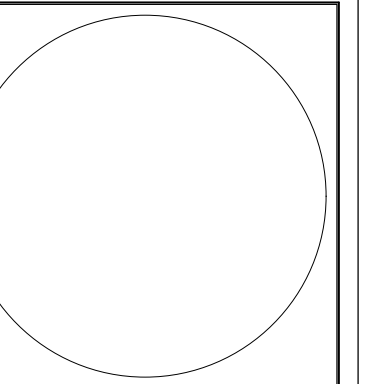
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- # LEGEND
-
- | | |
|--------|---------------------------------|
| ⊙ | Found 1" Iron Pipe (No ID) |
| ○ | Set 3/4" Iron Pipe w/cap (6298) |
| ● | Found 1/2" Iron Rod (5234) |
| ▲ | Found Nail & Disc (5234) |
| △ | Set Nail & Disc (6298) |
| (M) | Measured |
| (R) | Record |
| (M/R) | Measured & Record |
| C.B.S. | Concrete Block Structure |
| R\W | Right of Way |
| CLF | Chain Link Fence |
| ⊘ | Centerline |
| ⊗ | Wood Utility Pole |
| ⊗ | Concrete Utility Pole |
| -P- | Overhead Utility Lines |
| Ⓢ | Sewer Cleanout |
| Ⓢ | Water Meter |

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 913 Terry Lane, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: October 9, 2023
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. Benchmark utilized: U 267
12. Elevations are shown in parenthesis and refer to Mean Sea Level N.G.V.D. 1929 Datum.

1 SURVEY
S SCALE: N.T.S.

913 TERRY LANE
KEY WEST, FLORIDA



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ARCHITECTS
p.a.

Project N° : 2325

Date: 10/18/2025

S

PROPOSED DESIGN

913 TERRY LANE

Key West Florida 33040

HARC PERMIT (ACCESSORY STRUCTURE ONLY)

SITE MAP - KEY WEST



Not to Scale

PROJECT DIRECTORY

PROJECT: 913 TERRY LANE
ARCHITECT'S PROJECT No.: 2325

CONTACT: DEBORAH ANN SNELGROVE
Address: 913 Terry Ln.
Key West Florida, 33040

Tel: --
Email: --

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.
Address: 410 Angela Street, Key West, FL 33040
Tel: (305) 296-1347 Fax: (305) 296-2727
E-mail: info@benderarchitects.com
Architect: Haven Burkee
Designer Associate: Ana Catalina Alvarez

GENERAL NOTES

1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:

FLORIDA BUILDING CODE - Building 2023 EDITION
FLORIDA BUILDING CODE - Existing 2023 EDITION
FLORIDA BUILDING CODE - Residential 2023 EDITION
FLORIDA BUILDING CODE - Plumbing 2023 EDITION
FLORIDA BUILDING CODE - Fuel Gas 2023 EDITION
FLORIDA BUILDING CODE - Mechanical 2023 EDITION
FLORIDA BUILDING CODE - Energy Conservation 2023 EDITION
NATIONAL ELECTRICAL CODE 2023 EDITION
NFPA 101 LIFE SAFETY CODE w/ Florida Modifications
8TH EDITION FLORIDA FIRE PREVENTION CODE 8TH EDITION
NFPA 1 2023 EDITION

This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.

- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

FLORIDA ADMINISTRATIVE CODE

61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.

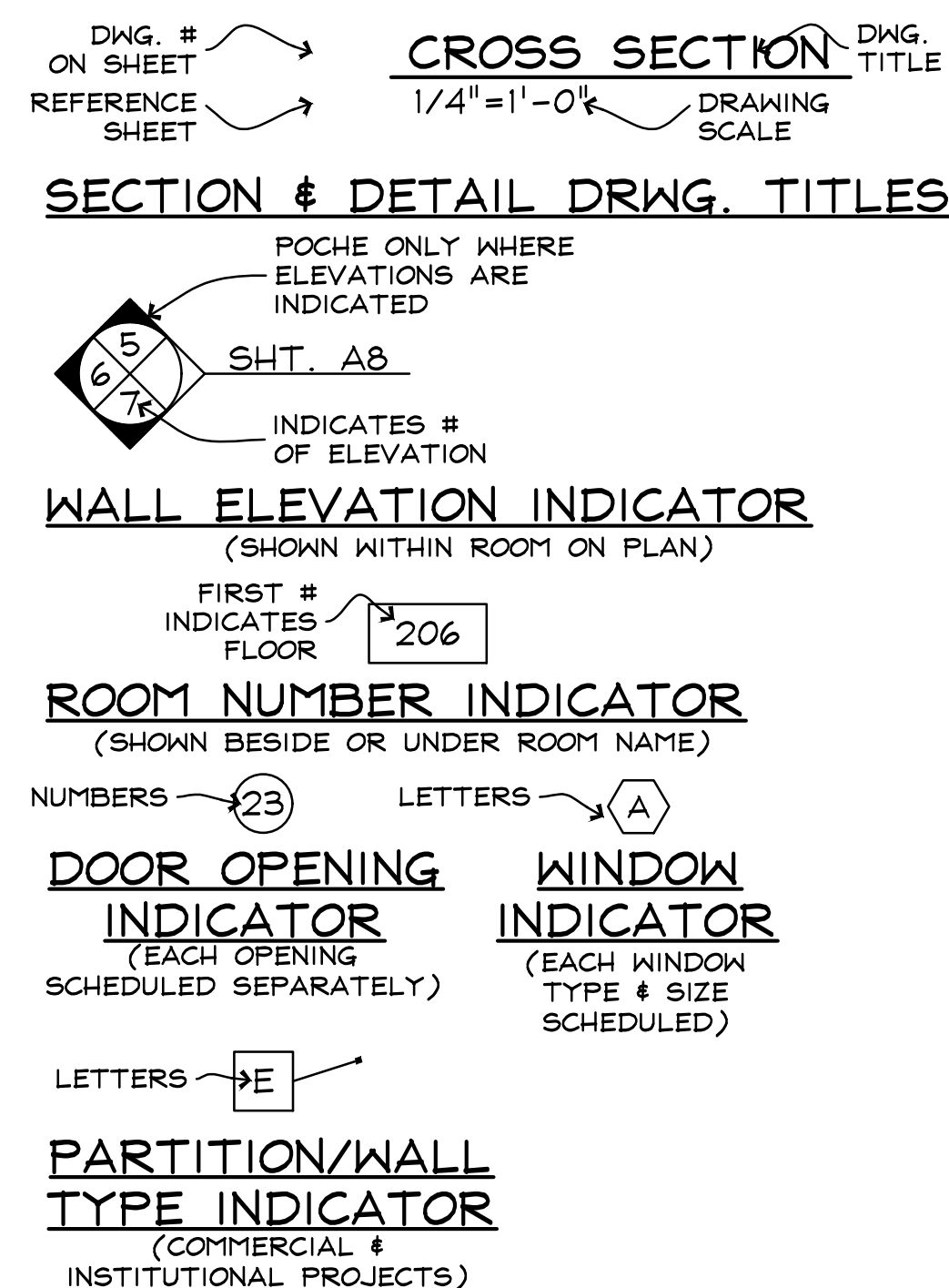
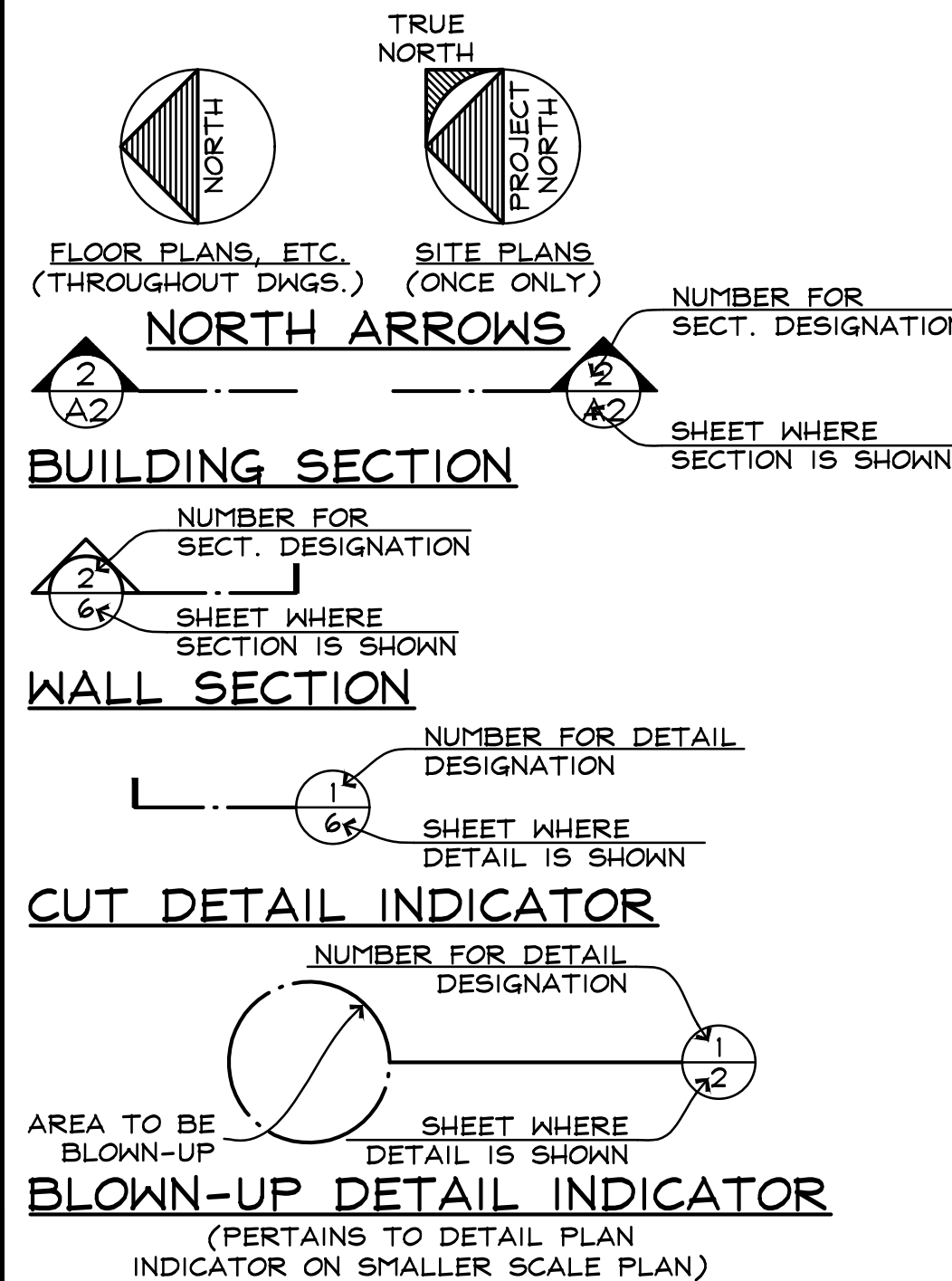
DESCRIPTION OF WORK:

SCOPE OF WORK: ACCESSORY STRUCTURE ONLY.

ABBREVIATIONS

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPENTRY LINE
CL	CENTER LINE	PLM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	CCA	PRESSURE TREATED
CONC	CONCRETE	PT	POINT
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE
DIAG	DIAGONAL	R	RADIUS (OR) RISER
DS	DOWNSPOUT	R/A	RETURN AIR
DTL	DETAIL	REBAR	STEEL REINF. BAR
DNR	DRAWER	REFR.	REFRIGERATOR
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)
EL	ELEVATION	SS	STAINLESS STEEL
ELEC	ELECTRIC	SPEC	SPECIFICATION
EQ	EQUAL	T	TYPICAL
EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE
FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GI	GALVANIZED IRON	WD	WOOD
HORZ	HORIZONTAL	WHF	WELDED WIRE FABRIC
HDW	HARDWARE	WH	WATER HEATER
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		

SYMBOLS LEGEND



MATERIAL DESIGNATIONS

CONCRETE MASONRY UNITS IN PLAN
CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN
METAL IN ELEVATION
METAL IN SECTION
FINISH WOOD IN ELEV. & IN SECTION
DIMENSION LUMBER IN SECTION (CONTINUOUS)
WOOD BLOCKING IN SECTION (DISCONTINUOUS)
GYPSTUM WALL BOARD IN SECTION (LARGE SCALE)
EARTH, NATURAL SUBSTRATE
GRAVEL, AGGREGATE BASE COURSE, FILL
FIBERGLASS BATT INSULATION
RIGID INSULATION

PARTITIONS & WALLS

CONCRETE MASONRY UNITS
POURED CONCRETE
WOOD FRAME
METAL STUDS
EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE DEMOLISHED

SHEET INDEX

C	COVER
S	SURVEY
A1	PROPOSED SITE PLAN
A2	PROPOSED FLOOR PLAN
A3	PROPOSED FLOOR & ROOF PLAN
A4	PROPOSED ELEVATIONS
A5	PROPOSED SITE ELEVATIONS
A6	PHOTOS OF AREA OF WORK

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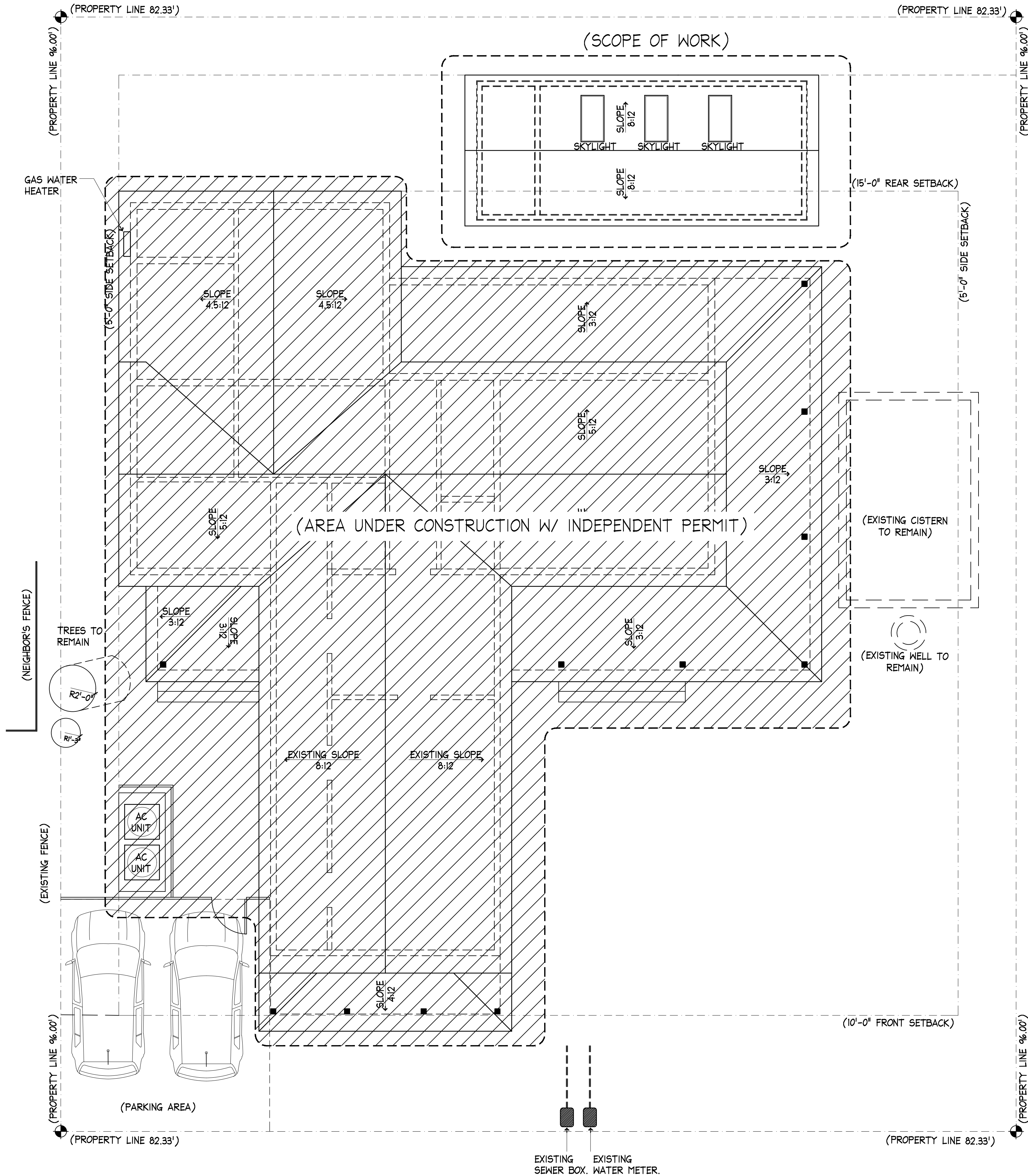
Bender & Associates
ARCHITECTS
p.a.

Project No.: 2325
SITE MAP KEY WEST
PROJECT DIRECTORY
GENERAL NOTES
SYMBOLS LEGEND
SHEET INDEX

Date: 04/8/2025

C

PROJECT STATISTICS			
FEMA FLOOD ZONE	ZONE 'X'		
ZONING DESIGNATION	HMDR		
LOT SIZE	7,904 S.F.		
OCCUPANCY	SINGLE FAMILY		
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE	3,162 S.F. MAX.	1,468 S.F.	2,689 S.F.
7,904 S.F. X 40%			
IMPERVIOUS SURFACE	4,742 S.F. MAX.	1,680 S.F.	841 S.F. (BUILDING ELEVATED 2'-6" ABOVE GRADE MIN.)
7,904 S.F. X 60%			
BUILDING HEIGHT (CROWN OF ROAD)	30'-0" MAX.	18'-7"	19'-0"
FRONT SETBACK (TERRY LN.)	10'-0" MIN.	0'-10"	15'-2"
STREET SIDE SETBACK (NORTH)	7'-6" MIN.	62'-0"	6'-0"
SIDE SETBACK (SOUTH)	5'-0" MIN.	0'-6"	26'-0"
REAR SETBACK (EAST)	15'-0" MIN.	16'-6"	16'-0"
OPEN SPACE (35%)	1,976 S.F. MIN.	6,224 S.F.	4,374 S.F.
ACCESSORY STRUCTURE	30% OF REAR YARD MAX. (REAR YARD: 1,295 S.F.)	N/A	20% COVERAGE (305 S.F.)



NEW POWER SUPPLIED FROM THIS EXISTING ELECTRIC CONCRETE POLE

EXISTING ELECTRIC CONCRETE POLE WITH TRANSFORMER

1
A1
PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"

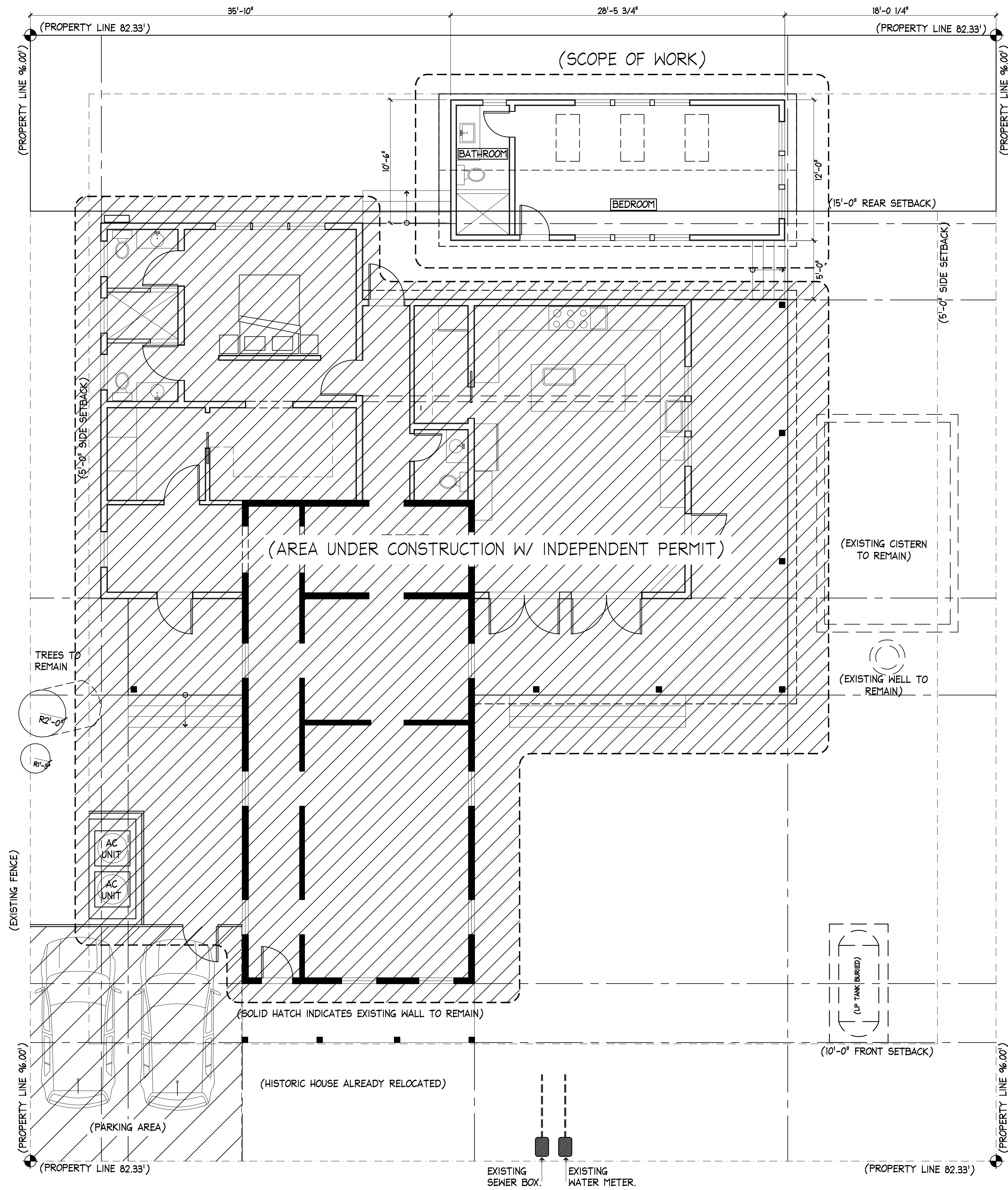
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A1



NEW POWER SUPPLIED
FROM THIS EXISTING
ELECTRIC CONCRETE
POLE

EXISTING ELECTRIC
CONCRETE POLE
WITH TRANSFORMER

1
A2
PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

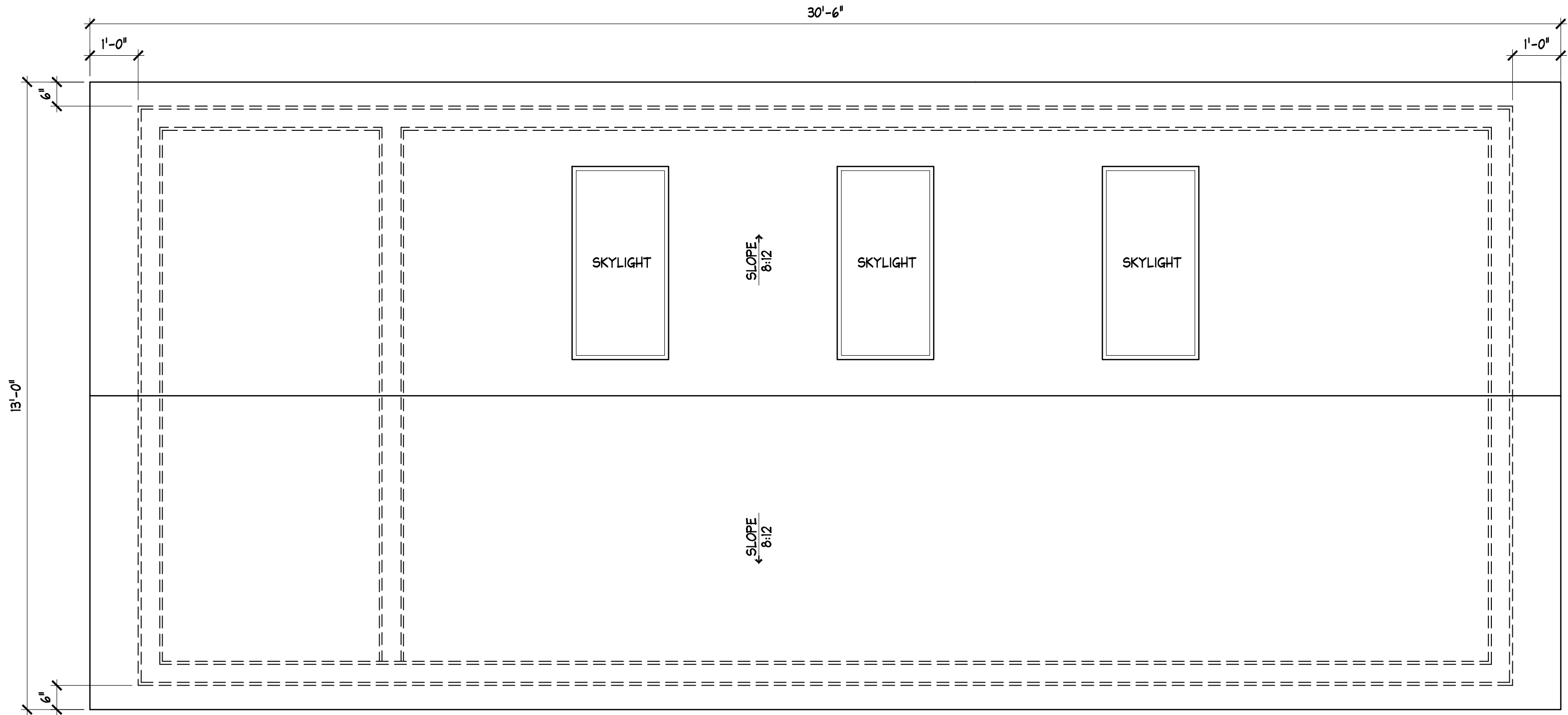
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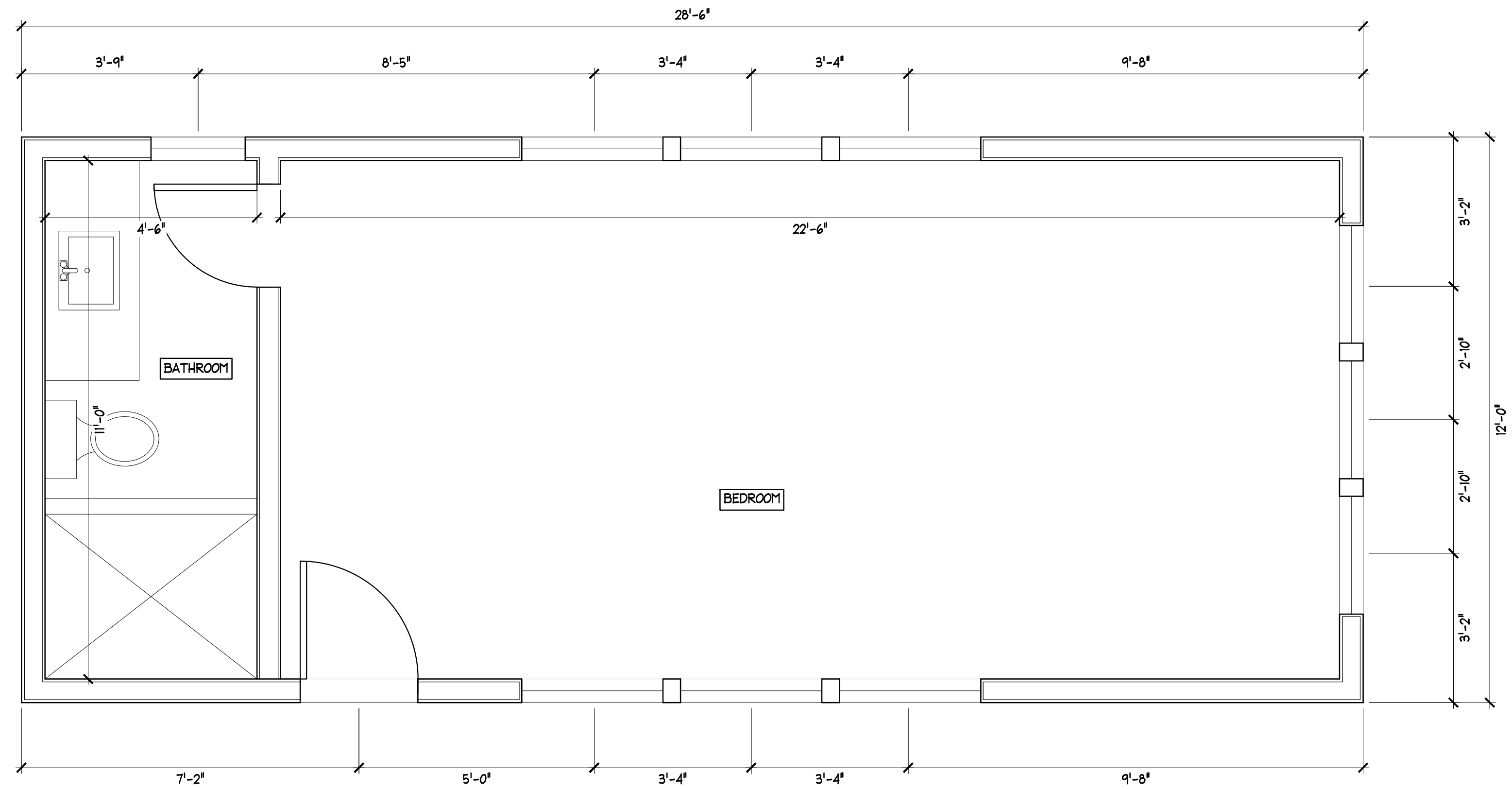
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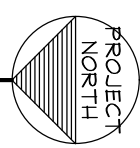
A2



2
A3
PROPOSED ROOF PLAN - ACCESSORY STRUCTURE
SCALE: 1/2" = 1'-0"



1
A3
PROPOSED FLOOR PLAN - ACCESSORY STRUCTURE
SCALE: 1/2" = 1'-0"



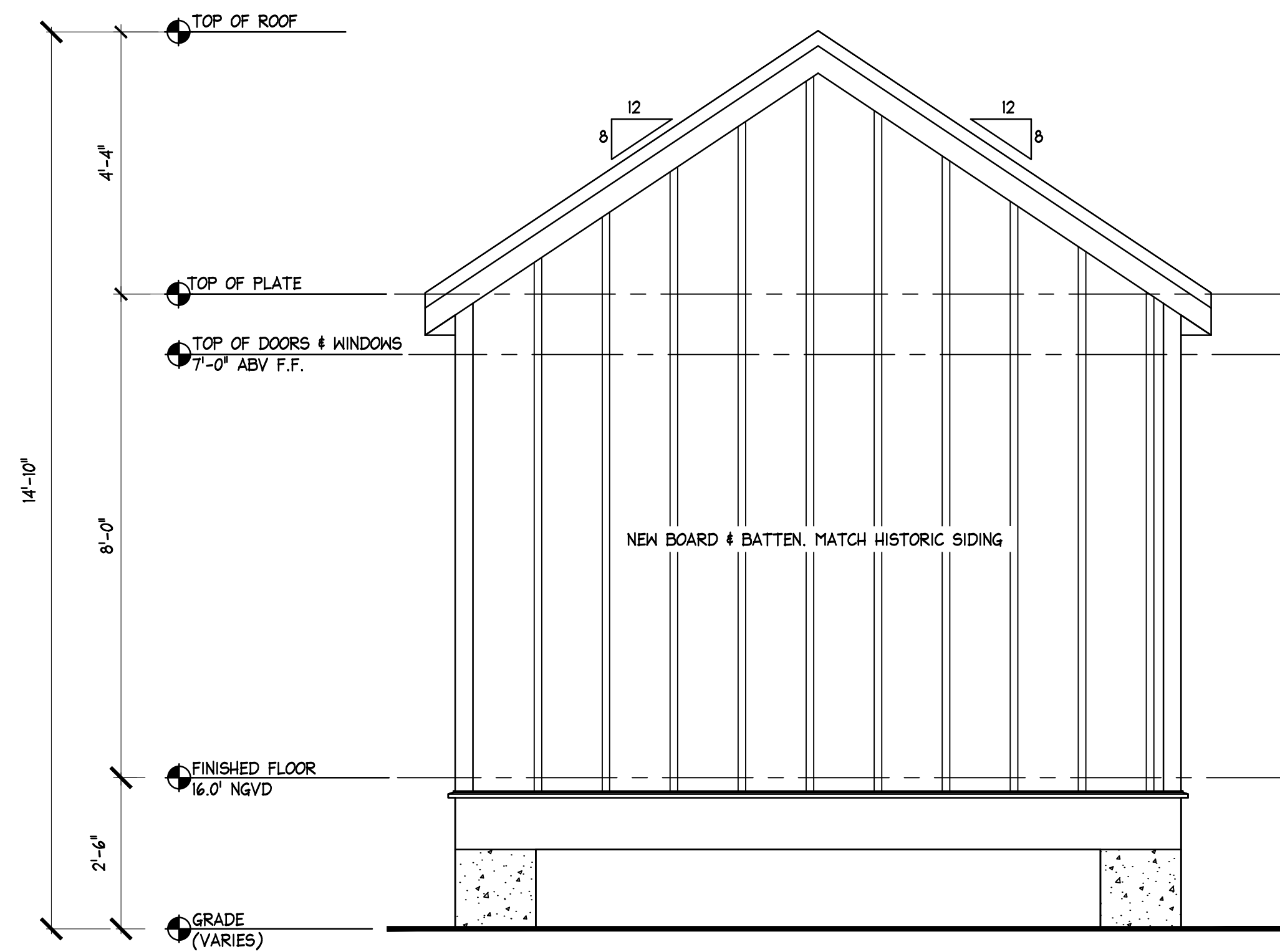
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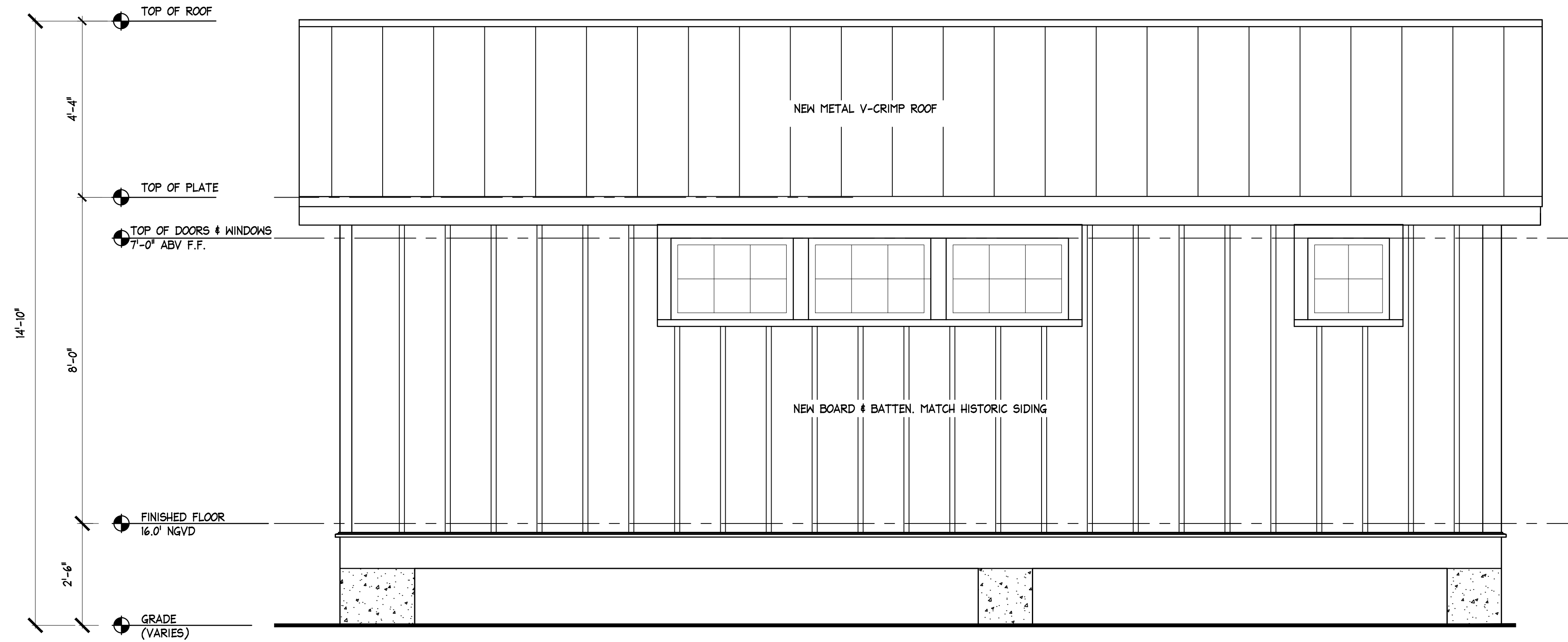
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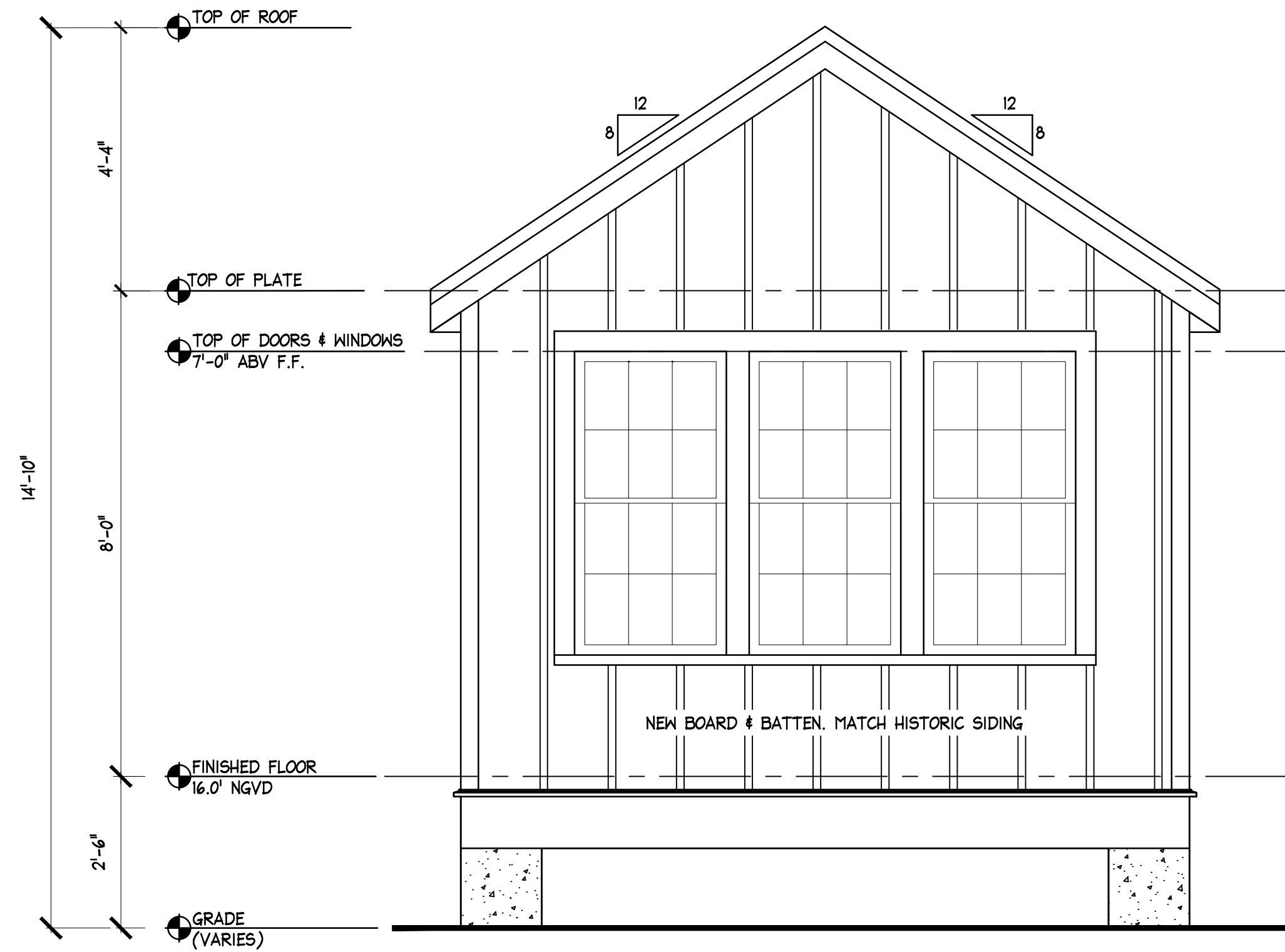
A3



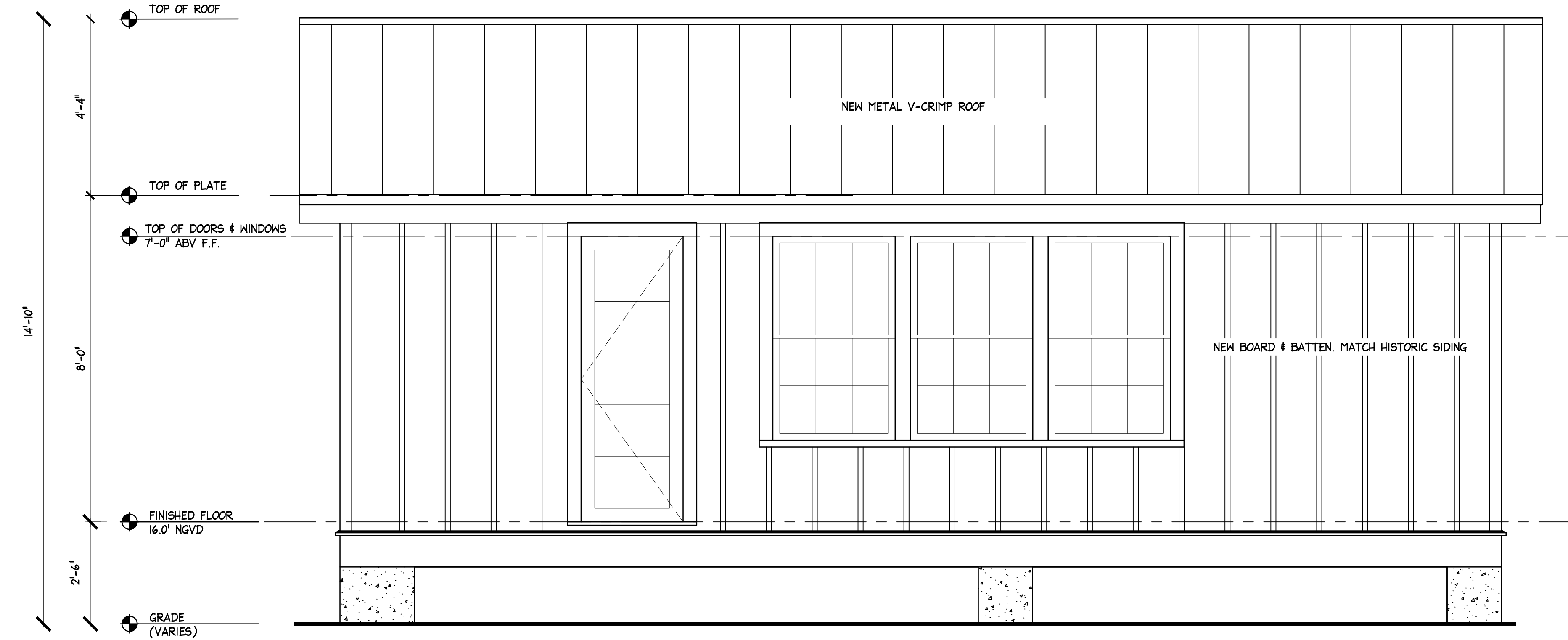
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A4 PROPOSED NORTH ELEVATION - ACCESSORY STRUCTURE
SCALE: 1/2" = 1'-0"



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A4 PROPOSED EAST ELEVATION - ACCESSORY STRUCTURE
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A4 PROPOSED WEST ELEVATION - ACCESSORY STRUCTURE
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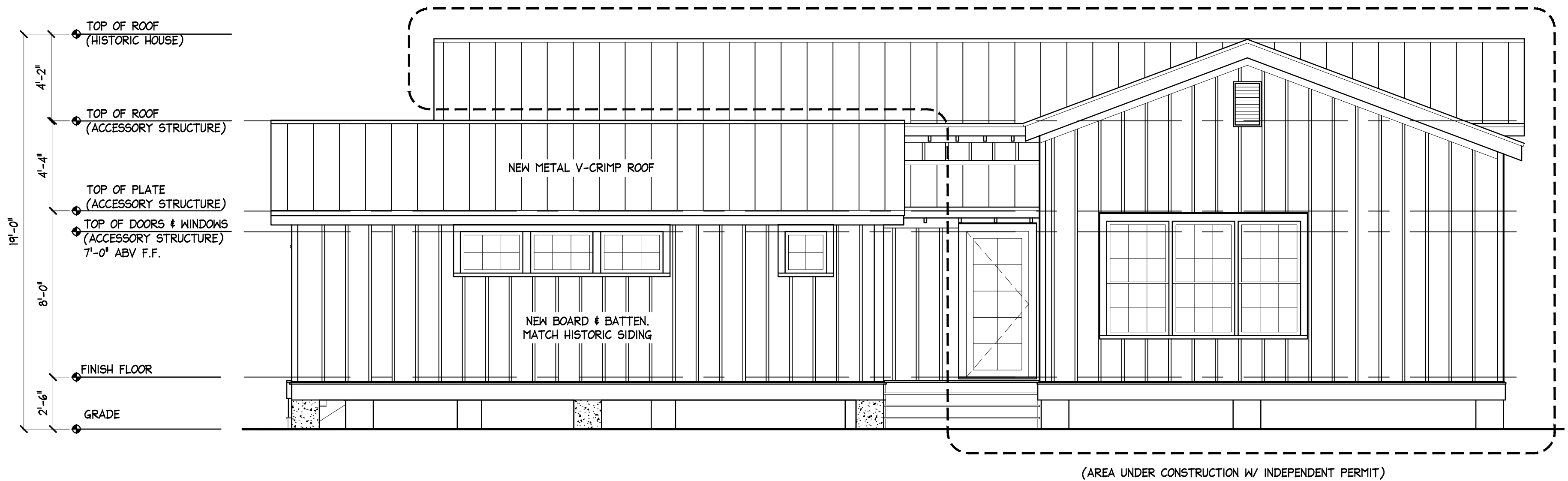
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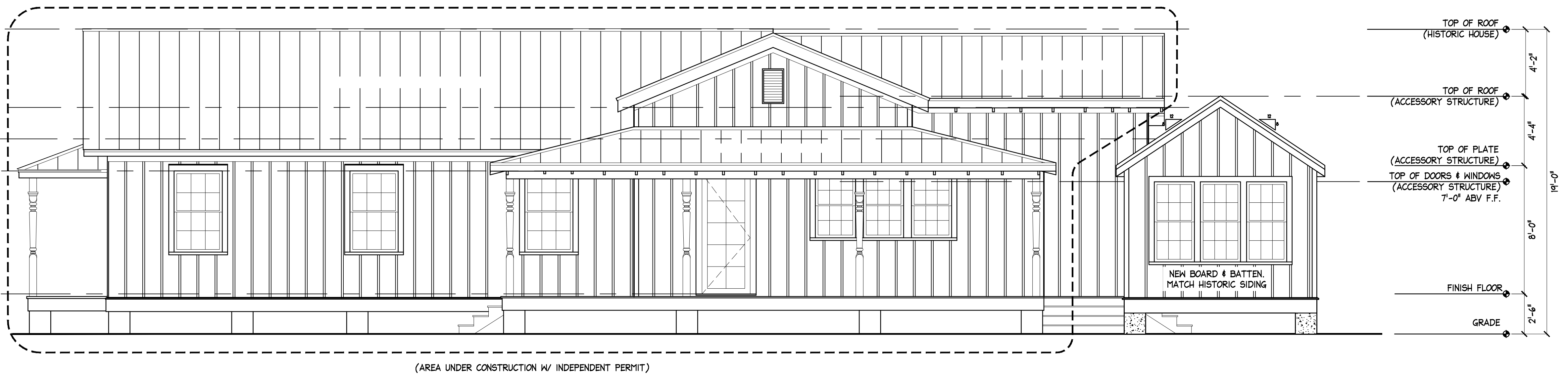
Bender & Associates
ARCHITECTS
p.a.

Project No: 2325
Date: 10/18/2025

A4



2 PROPOSED WEST ELEVATION - ACCESSORY STRUCTURE
A5 SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH SITE ELEVATION - ACCESSORY STRUCTURE
A5 SCALE: 1/4" = 1'-0"

913 TERRY LANE
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No: 2325
Date: 10/18/2025

A5

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., November 18, 2025, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW ONE-STORY ACCESSORY STRUCTURE IN REAR OF PROPERTY.

#913 TERRY LANE

Applicant – Bender & Associates Architects Application #C2025-0094

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared ANA ALVAREZ, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
913 Terry Ln. on the 07 day of November, 2025.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on November 18, 2025.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is #C2025-0094.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Ana Alvarez
Date: 9/10/2025
Address: 410 Angela St.
City: Key West
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 7th day of November, 2025.

By (Print name of Affiant) Ana Alvarez who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Caitlin Dempsey

Print Name: _____

Notary Public - State of Florida (seal)

My Commission Expires: _____



Caitlin Dempsey
Comm.: HH 456193
Expires: Oct. 19, 2027
Notary Public - State of Florida

Public Meeting Notice

The Ultimate Architectural Review Commission will hold a public meeting on **5:00 p.m., November 15, 2025**, at **City Hall, 1200 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW ONE-STORY ACCESSORY STRUCTURE IN REAR OF PROPERTY.

0913 TERRY LANE

Applicant - Bender & Associates Architects Application #C2025-0094

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1200 White Street, call 305-495-2979 or visit our website at www.cityofkeywest.com.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL THE DECISION IS FINALIZED.

ADA ACCOMMODATION: If you are unable to attend the public meeting, you may request an accommodation by contacting the City of Key West at 305-495-2979. The City of Key West is an equal opportunity employer and does not discriminate on the basis of race, color, sex, age, religion, or national origin. If you are unable to attend the public meeting, you may request an accommodation by contacting the City of Key West at 305-495-2979.



Public
Meeting
Notice

PROPERTY APPRAISER INFORMATION

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID	00028700-000000
Account#	1029483
Property ID	1029483
Millage Group	10KW
Location	1202 SIMONTON St, KEY WEST
Address	
Legal Description	KW LOT 20 SQR 8 TR 11 (L-215) D2-587 H2-18 OR175-379 OR262-2 OR1279-373 OR1292-2455 OR1292-2458 OR2073-1588 OR2871-2202 OR3112-2004 OR3245-0027 OR3261-0536
	(Note: Not to be used on legal documents.)
Neighborhood	32080
Property Class	RESTAURANT (2100)
Subdivision	
Sec/Twp/Rng	06/68/25
Affordable Housing	No



Owner

PASION PROJECT LLC
1107 Key
Key West FL 33040

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$431,525	\$456,183	\$404,053	\$404,053
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$1,334,170	\$758,051	\$606,441	\$606,441
= Just Market Value	\$1,765,695	\$1,214,234	\$1,010,494	\$1,010,494
= Total Assessed Value	\$1,335,657	\$1,214,234	\$1,010,494	\$1,010,494
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,765,695	\$1,214,234	\$1,010,494	\$1,010,494

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$758,051	\$456,183	\$0	\$1,214,234	\$1,214,234	\$0	\$1,214,234	\$0
2021	\$606,441	\$404,053	\$0	\$1,010,494	\$1,010,494	\$0	\$1,010,494	\$0
2020	\$606,441	\$404,053	\$0	\$1,010,494	\$1,010,494	\$0	\$1,010,494	\$0
2019	\$695,130	\$422,145	\$0	\$1,117,275	\$1,117,275	\$0	\$1,117,275	\$0
2018	\$1,032,473	\$380,814	\$0	\$1,413,287	\$1,413,287	\$0	\$1,413,287	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(2100)	4,700.00	Square Foot	50	100

Buildings

Building ID	39970	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1953
Building Type	RESTRNT/CAFETR-B- / 21B	EffectiveYearBuilt	2000
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	4366	Roof Type	FLAT OR SHED
Finished Sq Ft	4366	Roof Coverage	MIN/PAINT CONC
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	282	Bedrooms	0
Functional Obs	35	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	30	Grade	300
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,366	4,366	0
TOTAL		4,366	4,366	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
2/2/2024	\$100	Warranty Deed	2449975	3261	0536	11 - Unqualified	Improved		
9/29/2023	\$1,700,000	Warranty Deed	2434351	3245	0027	01 - Qualified	Improved		
7/12/2021	\$1,442,000	Warranty Deed	2330310	3112	2004	03 - Qualified	Improved		
8/31/2017	\$1,800,000	Warranty Deed	2137413	2871	2202	35 - Unqualified	Improved	MARIGOLD INC	
1/4/2005	\$900,000	Warranty Deed		2073	1588	Q - Qualified	Improved		

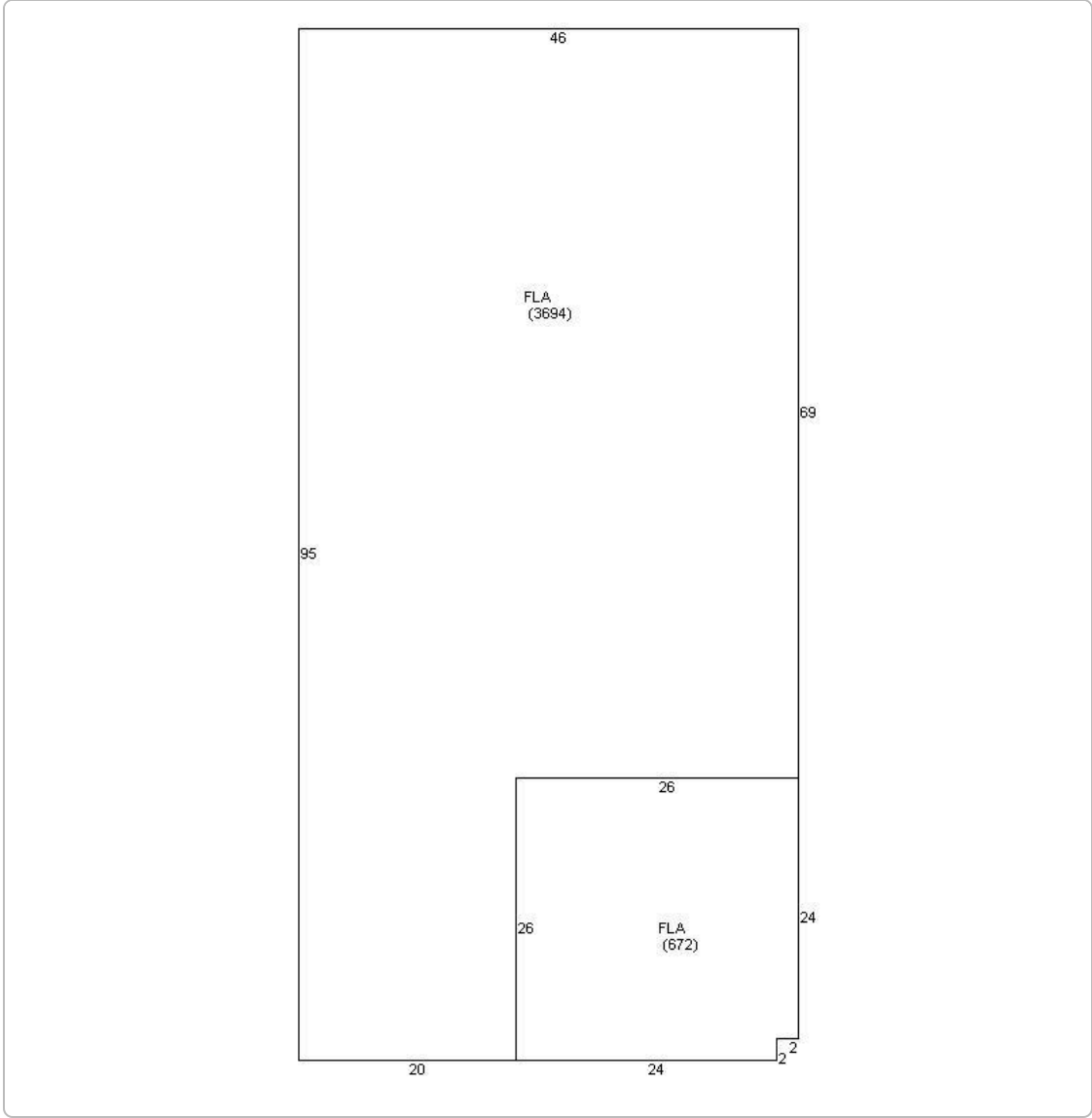
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
24-0531	2/28/2024		\$7,200	Commercial	Demo kitchen hood, selective removal of drywall and soffits. Construct temporary walls infill door openings. Interior work only.
HARC2021-0153	11/19/2021	8/11/2023	\$0	Commercial	CHINA WHITE. TRICORN BLACK FOR SHUTTERS.
BLD2021-2181	8/6/2021	9/5/2023	\$0	Commercial	DEMO OLD EQUIPMENT, LVT FLOORING, DRYWALL, PAINT
18-00002514	6/14/2018	7/2/2021	\$11,875	Commercial	REPLACE EXISTING 10 TO RHEEM RPWL - 120C RHGM- 120Z. **NOC REQUIRED**
14-0318	1/28/2014	5/13/2017	\$1,135	Commercial	EXISTING ROOF TOP CONDENSOR BURNED OUT AND WAS REPLACED WNEW. NEW UNIT WAS CONNECTED TEMP. ORDERED NEW EQUIP. APPLIED FOR PERMIT. EXT. ROOF TOP 100A 3-PHASE DISCONNECT SWITCH FEEDING CONDENSOR AND EQUIP. WILL BE REPLACED W/100A UP 3 PHASE BREAKER PANEL. 3-POLE 50A BREAKER FOR CONDENSOR PANEL. 3-POLE 50A BREAKER FOR EVAP. COIL.
11-3742	10/12/2011		\$0		INSTALL 700SF GALVALUME V-CRIMP METAL ROOFING
10-3583	11/10/2010		\$800		REPLACE CBS BLOCK WALL BETWEEN PROPERTIES AT REAR.
0102921	11/8/2001	10/3/2002	\$650		INSTALL SEC SYSTEM
0102879	8/17/2001	10/31/2001	\$9,500		NEW C/AC
0102706	8/1/2001	10/31/2001	\$50,000		REMODEL/RENOVATION
0102673	7/26/2001	10/31/2001	\$3,000		DEMO INTERIOR
0003418	11/28/2000	1/4/2001	\$1,300		REPAINT BUILDING
9901772	5/24/1999	11/18/1999	\$400	Commercial	BURGLAR ALARM
9901682	5/17/1999	11/18/1999	\$500	Commercial	ELECTRICAL
9901681	5/16/1999	11/18/1999	\$300	Commercial	PLUMBING
9900535	2/16/1999	11/18/1999	\$2,900	Commercial	RENOVATIONS
9702742	8/1/1997	12/1/1997	\$4,300		REPLACE EXISTING AC UNIT
9701227	4/1/1997	12/1/1997	\$250		SIGN
9700358	2/1/1997	12/1/1997	\$6,000		MECHANICAL
9700148	1/1/1997	12/1/1997	\$963		FIRE ALARM
9700188	1/1/1997	12/1/1997	\$3,500		MECHANICAL
9700189	1/1/1997	12/1/1997	\$8,800		MECHANICAL
9700210	1/1/1997	12/1/1997	\$1,160		PLUMBING
9604567	12/1/1996	12/1/1997	\$1,000		PLUMBING
9604693	12/1/1996	12/1/1997	\$9,000		REPAIR ROOF
9604748	12/1/1996	12/1/1997	\$2,000		ELECTRICAL
9604363	11/1/1996	12/1/1997	\$20,000		REPAIR/REMODELING
A953317	10/1/1995	12/1/1995	\$7,000		45 SQS BUILTUP
A953089	9/1/1995	12/1/1995	\$2,500		REPAIRS
E952927	9/1/1995	12/1/1995	\$4,000		ALTERATION TO ELECTRICAL
A951143	4/1/1995	12/1/1995	\$250		CANVAS AWNINGS
B950019	1/1/1995	12/1/1995	\$10,000		REMODEL FACADE
M941879	6/1/1994	12/1/1994	\$2,500		INSTALL 3 TON AC
B941714	5/1/1994	12/1/1994	\$1,200		PAINT EXT/REPLACE AWN/SIG

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos





TRIM Notice

2023 TRIM Notice (PDF)

No data available for the following modules: Yard Items.

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[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 7/16/2024, 6:04:44 AM

Contact Us

