

Van D. Fischer, Esquire
626 Josephine Parker Road
Suite 205, Mail Box 7
Key West, Florida 33040
305-849-3893
van@vdf-law.com

RECEIVED
CITY CLERK'S OFFICE
2021 AUG 18 PM 1:41
CITY OF KEY WEST
KEY WEST, FLORIDA

Via Hand Delivery

August 18, 2021

Cheri Smith, MMC, CPM, City Clerk
City of Key West
1300 White Street
Key West, FL 33040

Re: Notice of Appeal of Planning Board Resolution No. 2021-31, which denied variances for maximum building coverage and maximum impervious surface ratio at 1617 White Street, Key West, Florida.

Dear Cheri,

Please allow this correspondence to serve as a Notice of Appeal of Planning Board Resolution No. 2021-31, which was fully rendered on August 9, 2021, pursuant to Sections 90-426 and 90-431 of the City of Key West Code of Ordinances. A copy of Resolution No. 2021-31 is attached as Exhibit "A". A copy of the variance application packet is attached as Exhibit "B". A copy of the staff report dated July 15, 2021, is attached as Exhibit "C". A Brief in Support of Appeal of Planning Board Resolution No. 2021-31 is attached, and a check in the amount of \$2,100.00 is enclosed for payment of the fee for the appeal.

The owner of 1617 White Street respectfully requests that the Board of Adjustment modify the Planning Board Resolution to approve the variance for maximum impervious surface ratio. The impervious surface ratio is an existing nonconformity which is allowed to continue pursuant to section 122-27, et seq., City of Key West Code of Ordinances. It was erroneous for a variance to be required for an existing nonconformity which was being reduced in scope.

Please contact me regarding coordinating the appeal. Thank you for your consideration and assistance. Please do not hesitate to contact me with any questions.

Sincerely,

Van D. Fischer

**PLANNING BOARD
RESOLUTION NO. 2021-31**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD DENYING VARIANCES TO THE MAXIMUM BUILDING COVERAGE AND MAXIMUM IMPERVIOUS SURFACE RATIO TO CONSTRUCT AN ACCESSORY GUEST COTTAGE ON PROPERTY LOCATED WITHIN THE SINGLE FAMILY (SF) ZONING DISTRICT PURSUANT TO Sections 90-395, 122-238(4)a., AND 122-238(4)b.1., OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA.

WHEREAS, the subject property is located within the Single Family Zoning District; and


WHEREAS, pursuant to Sections 90-395, 122-238(4)a., and 122-238(4)b.1., of the Land Development Regulations (the "LDRs") of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City"), the applicant filed a variance application to construct an accessory guest cottage at a parcel located at 1617 White Street ; and

WHEREAS, City Code Section 90-395 outlines the criteria for reviewing a variance application by the Planning Board; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on July 15, 2021; and

WHEREAS, the Planning Board found that the proposed variance does not comply with the criteria in City Code Section 90-395; and

WHEREAS, the approval of the variance application will not be in harmony with the general purpose and intent of the LDRs, and will be injurious to the neighborhood, or otherwise detrimental


Vice-Chairman
Planning Director

to the public welfare.

NOW THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as fully set forth herein.

Section 2. That a variance request, pursuant to Section 90-395 of the Code of Ordinances of the City of Key West, Florida is hereby denied as follows: A request for variances to the maximum building coverage and the maximum impervious surface ratio in order to demolish an existing shed and construct an accessory guest cottage on property located within the Single Family (SF) zoning district pursuant to Sections 90-395, 122-238(4) a., and 122-238(4)b.1., of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Section 3. This resolution does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 4. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 5. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this resolution will take effect.





Vice-Chairman

Planning Director


Exhibit "A"

Read and denied on first reading at a regularly scheduled meeting held this 15th day of July 2021.

Authenticated by the Chair of the Planning Board and the Planning Director.

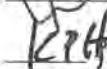

James Gilleran, Planning Board Vice-Chair 08-02-21
Date

Attest:


Katie P. Halloran, Planning Director 7/22/2021
Date

Filed with the Clerk:

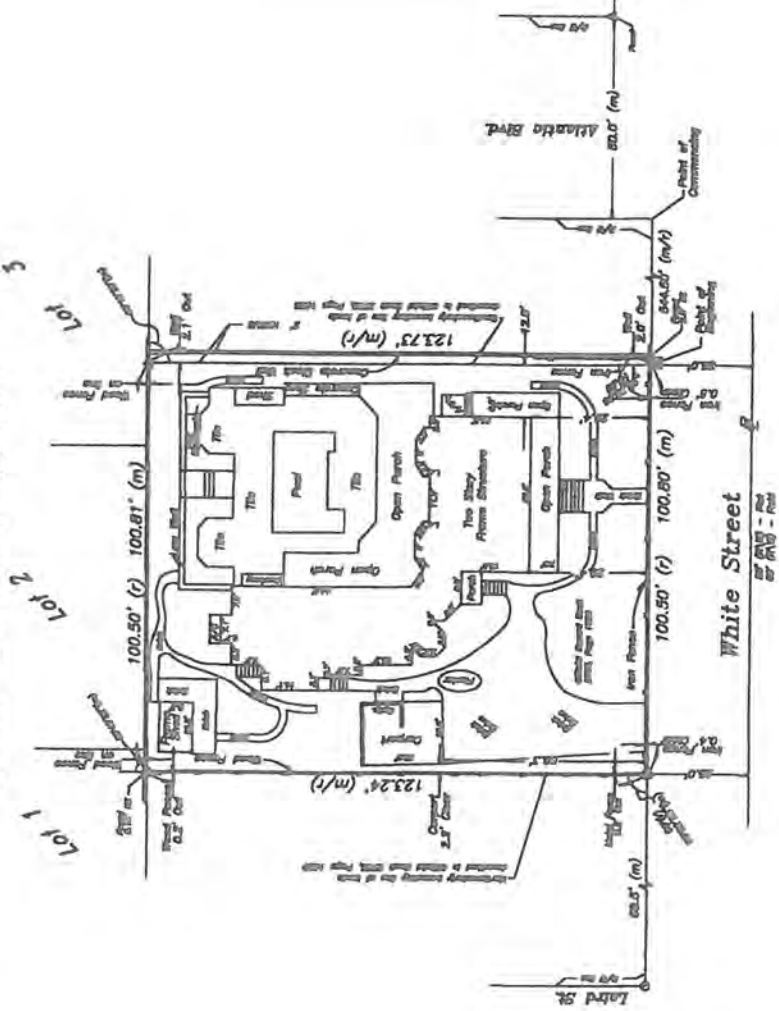

Cheryl Smith, City Clerk 8/9/21
Date

 Vice-Chairman
 Planning Director

Boundary Survey Map of part of Tract 28,
Island of Key West



SUNSHINE SUBDIVISION, PLAT NO. 1



LEGEND

- Found 3/4" Iron Pipe (No ID)
- Found 1/2" Iron Rod (In Cutout)
- Found 1/2" Iron Rod (PTS-March 25, 2004)
- △ Found Nail & Disc (PTS-March 25, 2004)
- △ Set/Found Nail & Disc (8208)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- E Easement
- ⊙ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines

NOTE:
This Survey Map is not
full and complete without
the attached Survey Report.

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.
Professional Surveyor & Mapper
Full License

3430 Duck Ave., Key West, FL 33040
(305) 853-7422 Fax (305) 263-2844

JLO

KPOT
7/22/21

Boundary Survey Report of part of Tract 28,
Island of Key West

NOTES:

1. The legal description shown hereon was authored by the undersigned. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1617 White Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of Field work: April 26, 2019
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjacent are not furnished.
11. The Survey Report is not full and complete without the attached Survey Map.

BOUNDARY SURVEY OF: A parcel of land on the Island of Key West and known as a part of Tract 28, but now better described by notes and bounds as follows:
COMMENCE at the intersection of the Northwesterly right of way line of Atlantic Boulevard with the Northeastery right of way line of White Street and run thence Northwesterly along the Northeastery right of way line of the said White Street for a distance of 544.60 feet to the Point of Beginning, said point being the Southerly corner of the lands described in Official Record Book 2768 at Page 1699 of the Public Records of Monroe County, Florida; thence continue Northwesterly along the Northeastery right of way line of the said White Street for a distance of 100.80 feet to the Westerly corner of the said lands; thence Northwesterly with a deflection angle of 80°02'55" to the right and along the Northwesterly boundary line of said lands, for a distance of 123.24 feet to the Southwesterly boundary line of Lot 1, of SUNSHINE SUBDIVISION, Plat No. 1, according to the plat thereof, as recorded in Plat Book 2, at Page 150 of the Public Records of the said Monroe County, Florida; thence Southeastery with a deflection angle of 89°40'28" to the right and along the Southeastery boundary line of Lots 1, 2 and 3, of said SUNSHINE SUBDIVISION, Plat No. 1, for a distance of 100.81 feet; thence Southwesterly with a deflection angle of 80°19'38" to the right and along the Southeastery boundary line of the said lands described in Official Record Book 2768 at Page 1699, for a distance of 123.73 feet back to the Point of Beginning.

BOUNDARY SURVEY FOR: Robert H. Vannucciini,
Orpeesa, Stones & Cardenas, PLLC,
Chicago Title Insurance Company.

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 61-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #62298

THIS SURVEY
IS NOT
ASSIGNABLE

April 26, 2019

Sheet Two of Two Sheets

J. LYNN O'FLYNN, INC.

Professional Surveyor & Mapper

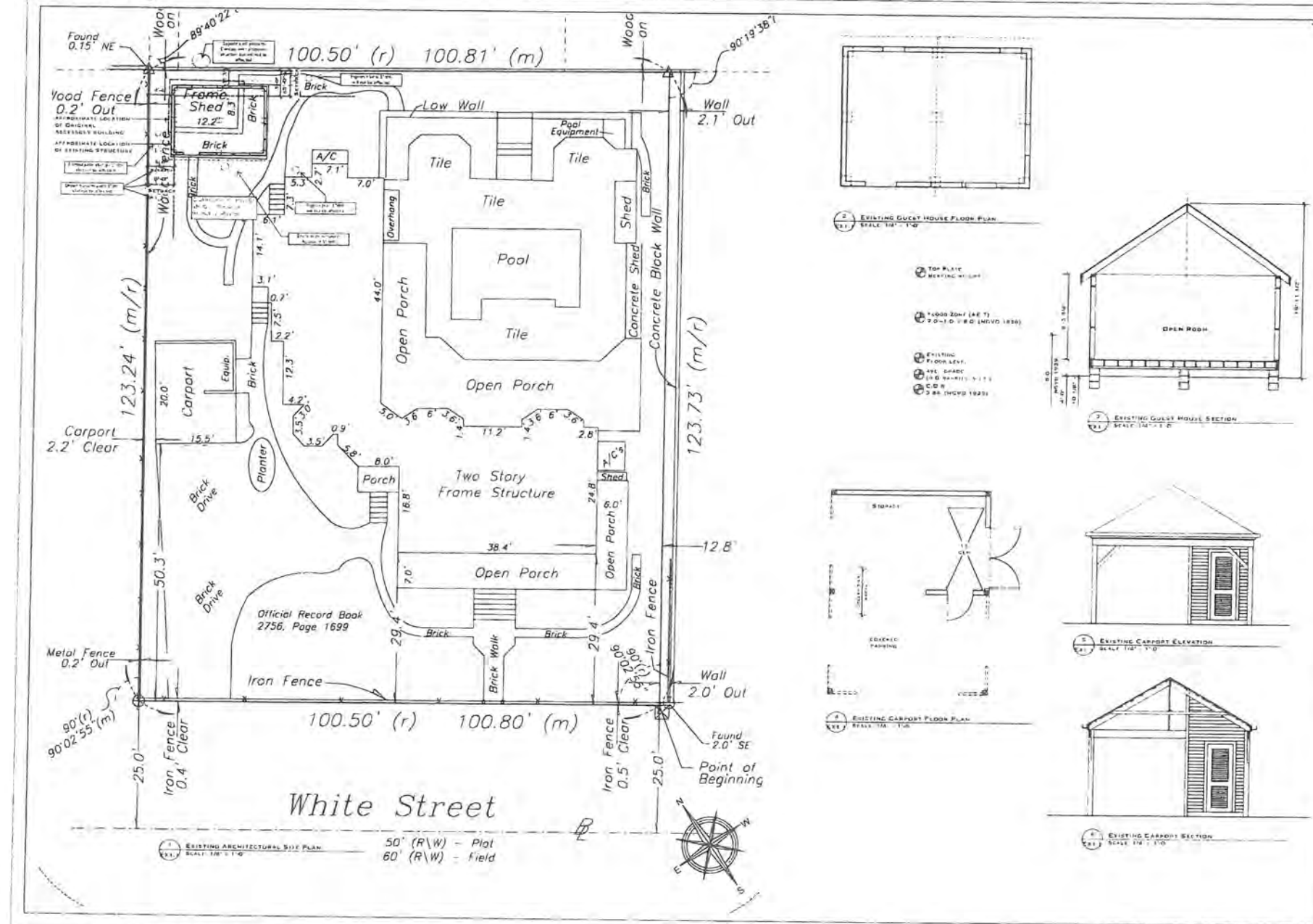
2430 Duval Ave., Key West, FL 33040
(305) 858-7422 Fax (305) 858-5244

LC Pct 7/22/2021

R

Handwritten signature

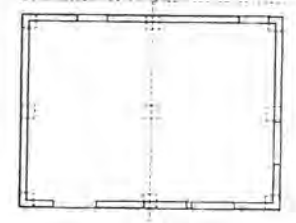
Tree Survey



T.S. NEAL ARCHITECT INC.
23274 OVERSEAS HWY
CUSTOIA, PA 15558
800.240.8801
201.422.8547

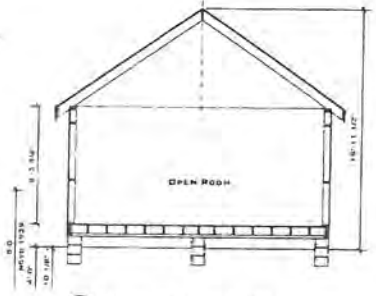


JOHN LINDLE
1617 WHITE ST.
KEY WEST, FL 33040

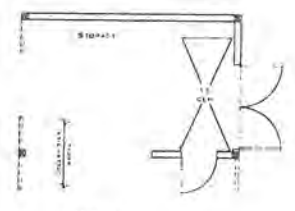


EXISTING GUEST HOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"

- TOP PLATE WORKING WEIGHT
- WOOD JOINT (AS TO 2'-0" O.C. VEG. (MIN. 1.5")
- EXISTING FLOOR LEV.
- NO. 10 G. (AS TO 1'-0" O.C.)
- 2" x 4" SIPS



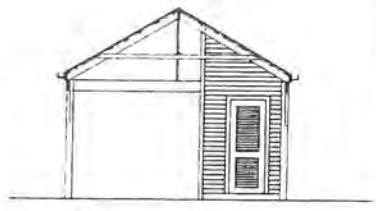
EXISTING GUEST HOUSE SECTION
SCALE: 1/4" = 1'-0"



EXISTING CARPORT FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING CARPORT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING CARPORT SECTION
SCALE: 1/4" = 1'-0"

DRAWING TITLE:
EXISTING FLOOR PLANS, SECTION & SITE PLAN

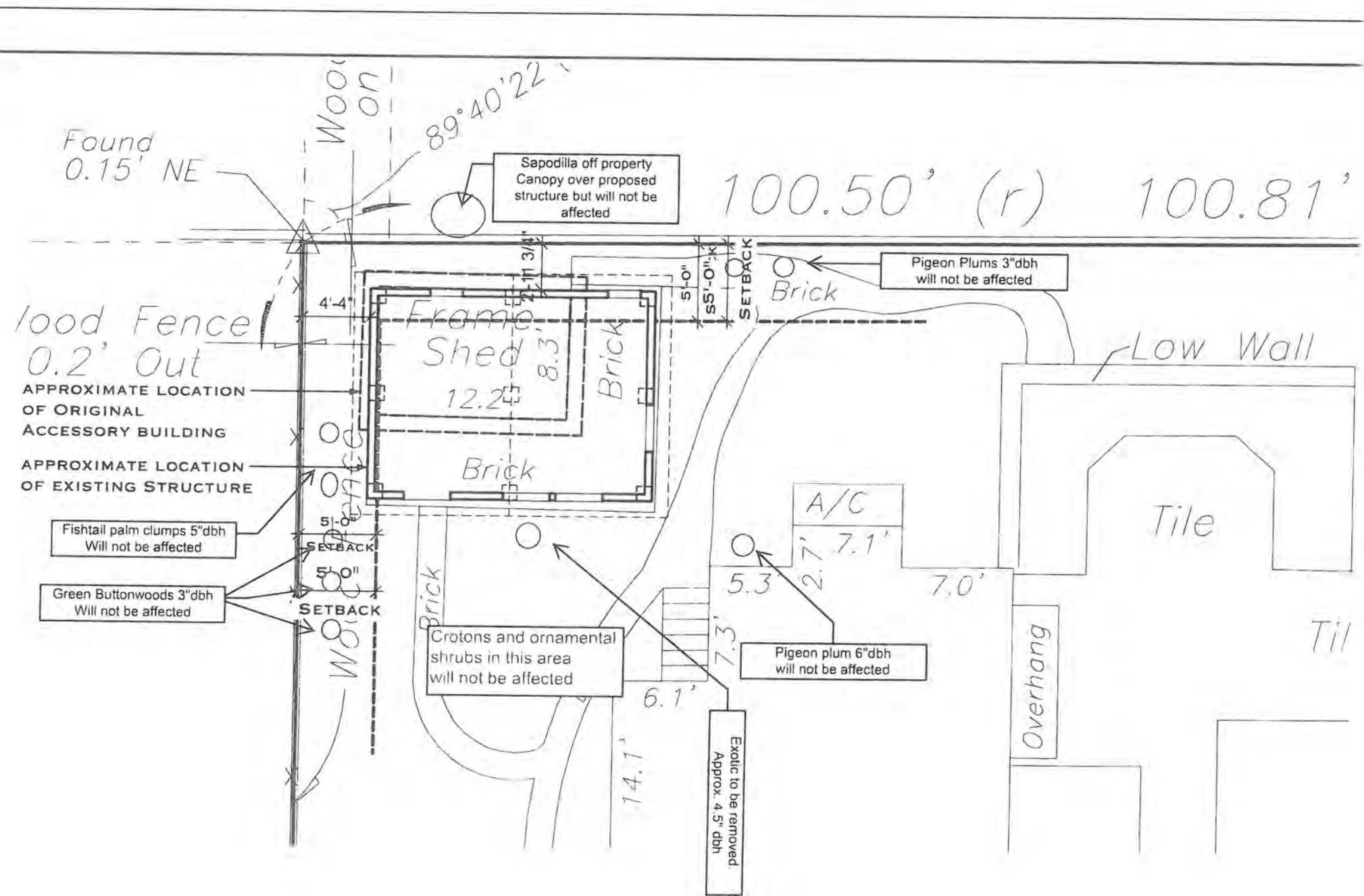
DRAWN: TMN
CHECKED: TMN
DATE: 06-08-2021

PROVISION: DATE

EX1.1
SHEET 2



KPH
7/22/2021




KPH
7/22/2021

SITE DATA 1617 WHITE ST.				
ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
HEIGHT	0'	0'	0'	NO CHANGE
RTS AREA	16,446 SQ. FT.	6,899 SQ. FT.	6,899 SQ. FT.	NO CHANGE
LOT SIZE	500 SQ. FT.	500 SQ. FT.	500 SQ. FT.	NO CHANGE
IMPERVIOUS	7,500 SQ. FT. (46.2%)	4,500 SQ. FT. (25.0%)	4,500 SQ. FT. (25.0%)	IMPROVED HOME IMPROVEMENT
OPEN SPACE	4,191 SQ. FT. (25.2%)	4,504 SQ. FT. (26.7%)	4,504 SQ. FT. (26.7%)	COMPLIANT
BUILDING COV.	4,504 SQ. FT. (26.7%)	4,504 SQ. FT. (26.7%)	4,504 SQ. FT. (26.7%)	NO CHANGE
ACCESSORY STRUCTURES	0 SQ. FT. (0.0%)	0 SQ. FT. (0.0%)	0 SQ. FT. (0.0%)	NO CHANGE
REAR YARD COV.	0 SQ. FT. (0.0%)	0 SQ. FT. (0.0%)	0 SQ. FT. (0.0%)	NO CHANGE

ACCESSORY STRUCTURE SETBACKS				
FRONT SETBACK	EXISTING	0'	10'-0" (10')	COMPLIANT
REAR SETBACK	EXISTING	0'	5'-0" (5')	COMPLIANT
RIGHT SIDE SETBACK	EXISTING	0'	5'-0" (5')	COMPLIANT
LEFT SIDE SETBACK	EXISTING	0'	5'-0" (5')	COMPLIANT
BUILDING HEIGHT	EXISTING	0'-0" (0')	0'-0" (0')	COMPLIANT

FEMA MAP FLOOD ZONE AE 7, 7'+1'-8" (NGVD 1929)




JOHN LINDLE
1617 WHITE ST.
KEY WEST, FL 33040

DESIGN NOTES:	GENERAL NOTES:
<p>THE NEW STRUCTURE IS DESIGNED TO MEET THE FOLLOWING: FSC 2020 - RESIDENTIAL (PBC-R) A.S.C.E. 24-05 REGULATIONS PER FSC DISTRICT 97-10 EXPOSURE '0' LIVE LOAD 40 PSF WIND LOAD 100 M.P.H. SEE STRUCTURAL DRAWINGS, SHEET S-1 CONSTRUCTION TYPE V0</p>	<p>1. NO PORT SHALL BE DRAWING. 2. SECTION DIMENSIONS HAVE PREFERRED OVER BOLD DIMENSIONS. LARGER BOLD DETAILS HAVE PREFERENCE OVER SMALLER BOLD DETAILS. ANY DIMENSIONS ARE TO BE REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION. 3. SHOW THE ARCHITECT IN THE EVENT ANY FILE OR WORK NECESSARY FOR THE PROGRESS COMPLETION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS. 4. ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS. ALL MATERIALS MUST BE APPROVED AND IN A PROFESSIONAL MANNER BY ENGINEER BEFORE USE AND LISTED IN THEIR RESPECTIVE TRADES. 5. ALL MANUFACTURED MATERIALS, MATERIALS AND EQUIPMENT SHALL BE APPROVED, INSTALLED, ERIGED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. 6. ALL DIMENSIONS BETWEEN BRACKETS, LEGS, CORNERS, DOWNS AND INSURANCE DIMENSIONS AND/OR SPACING SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION ON THE WORK OF EACH SHOPPING TRAIL. 7. ALL WORK SHALL COMPLY TO THE REQUIREMENTS OF MUNICIPAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER APPLICABLE REGULATIONS, AND CONVENTIONAL SUBSIDIARIES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS. 8. ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REPAIRED, REPLACED, AND RESTORED. 9. ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED. 10. ALL TRADES AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY. 11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE PROJECT. 12. ALL EXISTING TRAILS, BRUSH, VEGETATION, AND LANDSCAPE ELEMENTS ON PLANTING ARE TO BE MAINTAINED AND PROTECTED DURING THE CONSTRUCTION PERIOD. 13. ANY REVISIONS MUST BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION. 14. ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IN CONNECTION WITH THIS PROJECT WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION IS PROHIBITED. 15. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED AND SIGNED BY THE ARCHITECT/ENGINEER.</p>

SCOPE OF WORK:	
EXISTING ACCESSORY STRUCTURE TO BE BROUGHT INTO CODE COMPLIANCE AND BUILT TO THE 2020 FSC.	

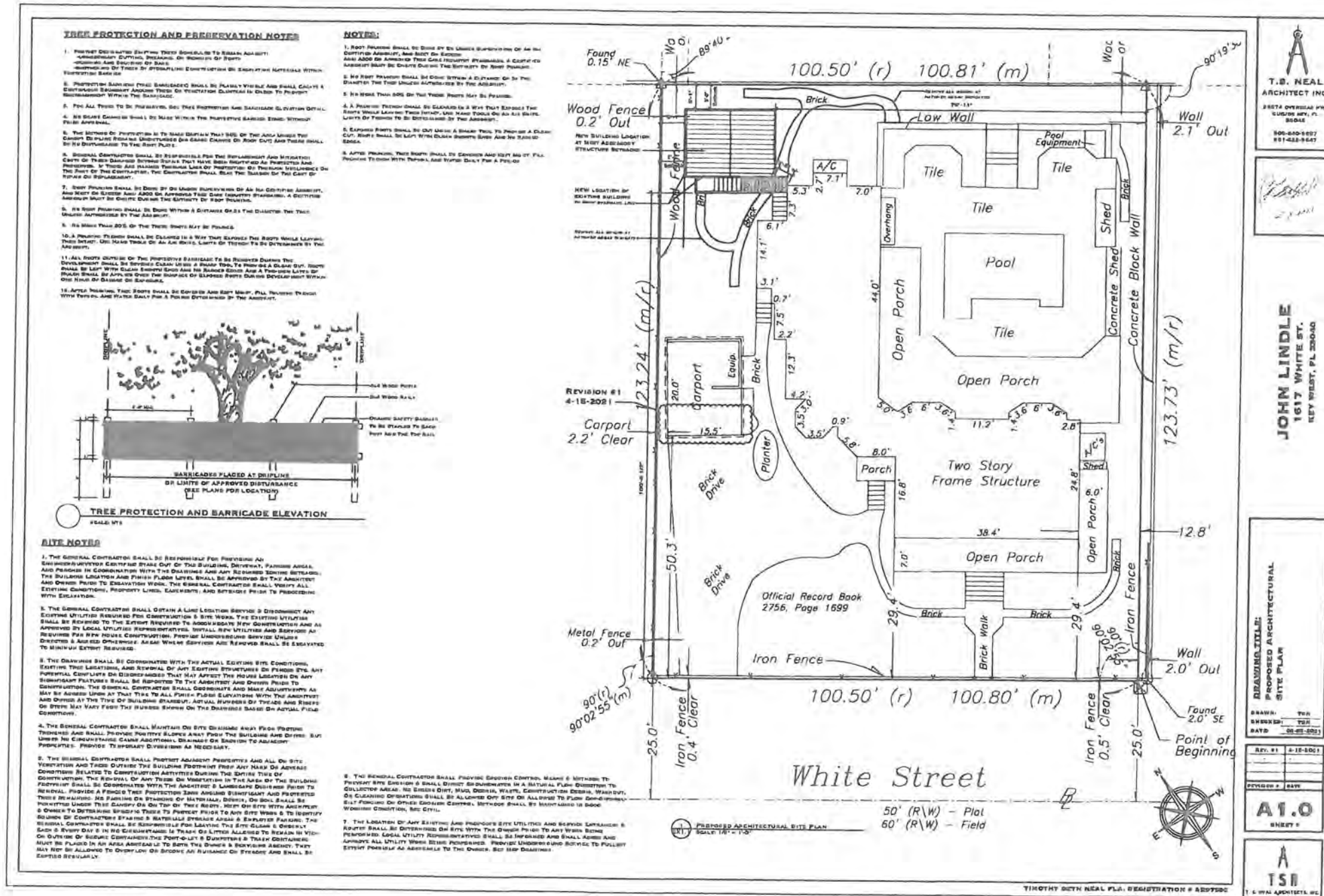
DRAWING SCHEDULE:	
TT.1	TITLE, SITE DATA & PROJECT INFO
EX.1.0	EXISTING FLOOR PLANS, SECTION & SITE PLAN
A1.0	PROPOSED ARCHITECTURAL SITE PLAN
A1.1	FLOOR PLAN, ELEVATIONS, SECTION & NOTES
A1.2	CARPENTRY FLOOR PLAN & ELEVATIONS
S-1	STRUCTURAL DRAWINGS
S-2	STRUCTURAL DRAWINGS
MEP	MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

ABBREVIATION LEGEND:	
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ARCH.	ARCHITECTURAL
BALC.	BALCONY
BO.	BOARD
C.I.P.	CAST IN PLACE
C.J.	CENTRAL JOINT
CL.	CLOSET
CL.	CENTERLINE
CONC.	CONCRETE
COOR.	CORNER
C.O.R.	CORNER OF ROAD
D.	DOWN
DIM.	DIMENSION
DN.	DOWN
DW.	DRAIN
DR.	DRAIN
DRY.	DRY
ELEV.	ELEVATOR
ELECT.	ELECTRICAL PANEL
E.P.	EQUAL
EX.	EXISTING
E.J.	EXPANSION JOINT
FRZ.	FREEST
FRZ. BO.	FREEST WALL BOARD
HORIZ.	HORIZONTAL
HR.	HOLE
MAX.	MAXIMUM
MIN.	MINIMUM
MIN.	MINIMUM
M.S.	MORTAR RESISTANT
N.A.	NOT APPLICABLE
N.C.	NOT IN CONTACT
O.H.	OPPOSITE HAND
PT.	PAINTED
P.T.	PRESSURE TREATED
R.A.	RETURN AIR
REF.	REQUIRED
REFR.	REFRIGERATOR
REQ.	REQUIRED
SCHED.	SCHEDULE
S.F.	SQUARE FOOT
SOL.	SOLAR
STR.	STRAP
STRUC.	STRUCTURAL
SQ.	SQUARE
T.	TYPICAL
U.C.	UNDER COUNTER
U.S.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
V.F.P.	VEGETATION FIELD
W.	WASHER
W.	WIND
W.H.	WATER HEATER

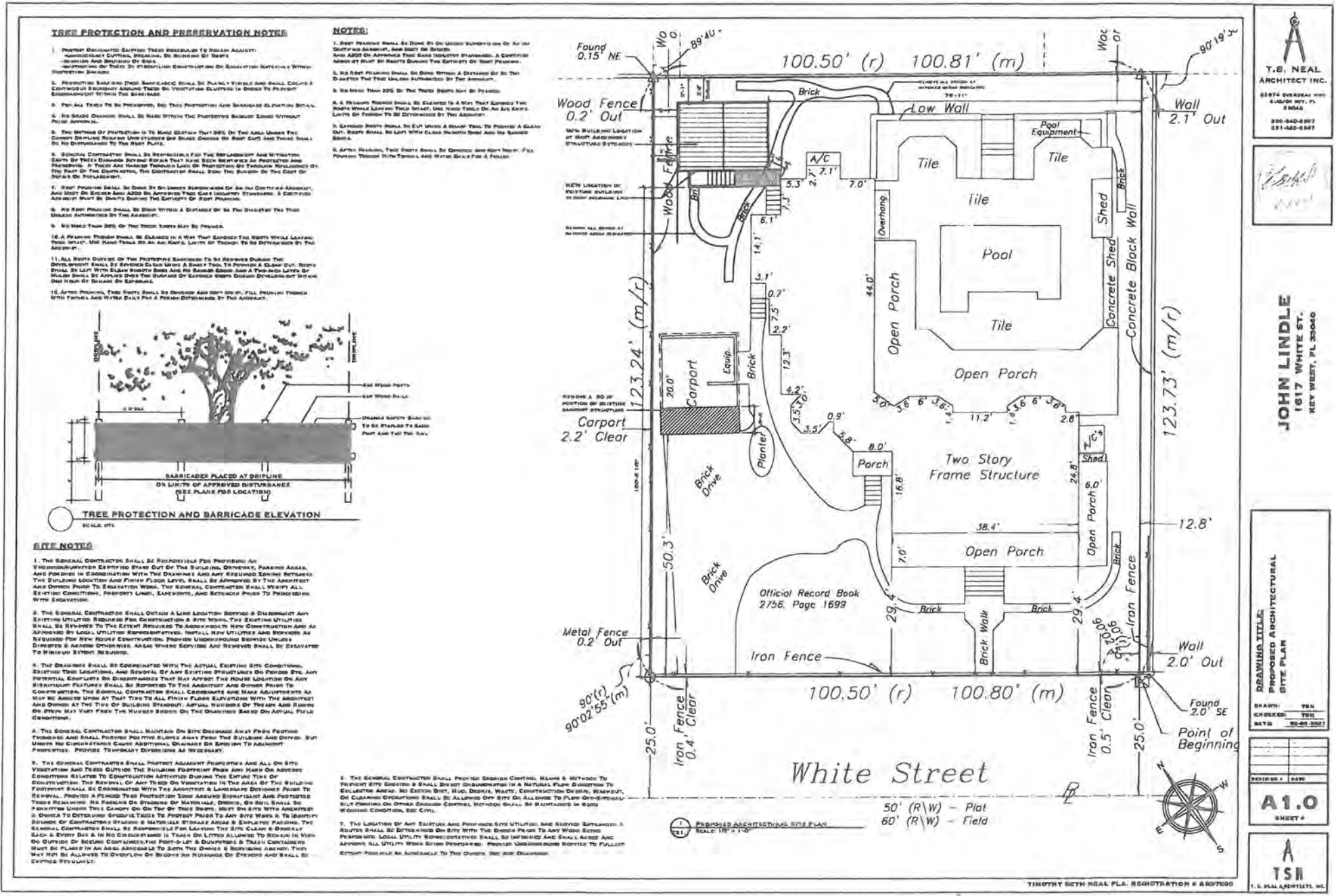
 T.S. NEAL ARCHITECT INC. 28274 OVERSEA HWY CUNHAM SPR., FL 33046 305-540-8207 305-422-8547
JOHN LINDLE 1617 WHITE ST. KEY WEST, FL 33040
REVISIONS: TITLE, SITE DATA & PROJECT INFORMATION REVISION: TSN NUMBER: TSN DATE: 02-22-2021
REV. #1 02-16-2021 T1.1 SHEET #
TSN T.S. NEAL ARCHITECT, INC.

Handwritten signature

Kept 7/22/2021



Handwritten signature/initials



T.E. NEAL ARCHITECT INC.
3874 OVERSEAS HWY
GULF BREEZE, FL
33656
251-282-8177
251-282-8147

JOHN LINDLE
1817 WHITE ST.
KEY WEST, FL 33090

DRAWING TITLE: PROPOSED ARCHITECTURAL SITE PLAN

BROWN: TSN
CHECKED: TSN
DATE: 09-07-2021

NO.	DATE	DESCRIPTION
1	09-07-2021	ISSUED FOR PERMIT

A1.0

SHEET #

ATSN

T.E. NEAL ARCHITECT, INC.

Handwritten notes:
KPT
7/22/2021

FINISH NOTES:

1. CONTRACTOR VERIFY ALL FINISH SCHEDULES & QUANTITIES FOR FINISHES & FINISHES.
2. ALL FINISHES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. ALL FINISHES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. CONTRACTOR TO VERIFY ALL FINISHES AND MATERIALS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. CONTRACTOR TO VERIFY ALL FINISHES AND MATERIALS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. CONTRACTOR TO VERIFY ALL FINISHES AND MATERIALS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
7. VERIFY BACK FINISH PLUMBING MATERIAL WITH THE OWNER AND OBTAIN PERMITS FOR BACK FINISHES.
8. PROVIDE SOUND BATT INSULATION (EQUAL TO INTERIOR WALL FINISHES) INSULATE ALL EXTERIOR WALLS 8-16 IN. & 16-24 IN. OVER EXISTING FINISHES AT EACH LEVEL AND 8-16 IN. OVER CELL JOIST AND FLOOR INSULATION TO ROOF THROUGH BASEMENTS, PLUMBING CHASES AND SERVICE TUNNELS. REQUIREMENTS PER F2 CODE & APPROVED REQUIREMENTS.
9. PROVIDE SOUND BATT INSULATION (EQUAL TO INTERIOR WALL FINISHES) INSULATE ALL EXTERIOR WALLS 8-16 IN. & 16-24 IN. OVER EXISTING FINISHES AT EACH LEVEL AND 8-16 IN. OVER CELL JOIST AND FLOOR INSULATION TO ROOF THROUGH BASEMENTS, PLUMBING CHASES AND SERVICE TUNNELS. REQUIREMENTS PER F2 CODE & APPROVED REQUIREMENTS.
10. GENERAL CONTRACTOR AND FINISHERS SHALL COORDINATE WITH THE OWNER FOR LIGHT FIXTURES OR WALLCOVERINGS AND OTHER WALL MOUNTED ITEMS. FINISHERS SHALL VERIFY ALL WALL COVERINGS AND OTHER WALL MOUNTED ITEMS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

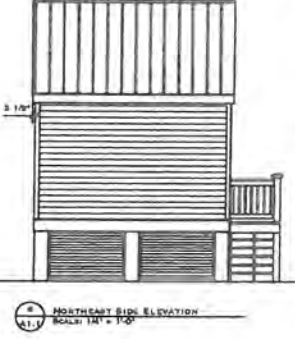
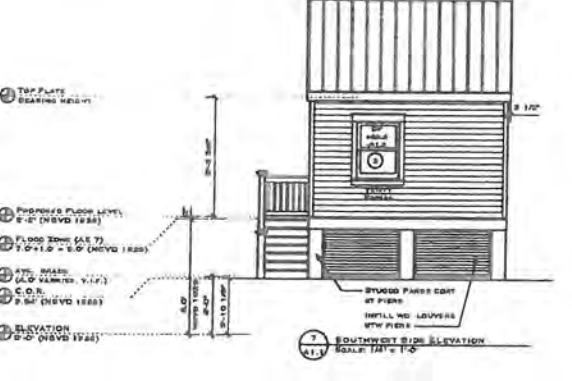
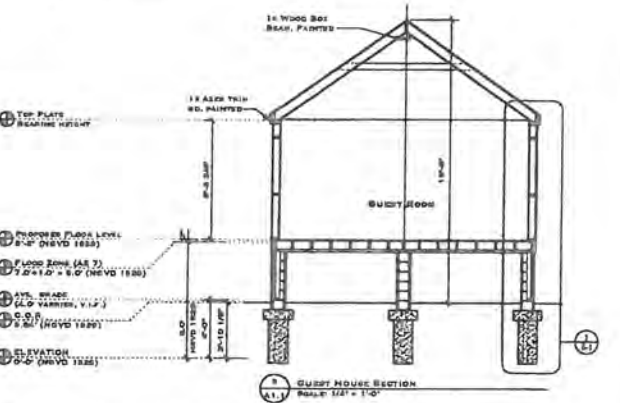
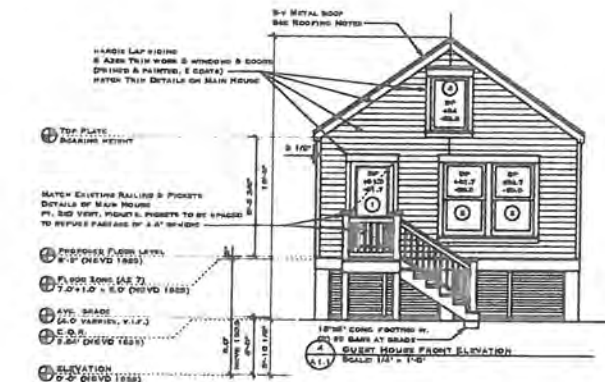
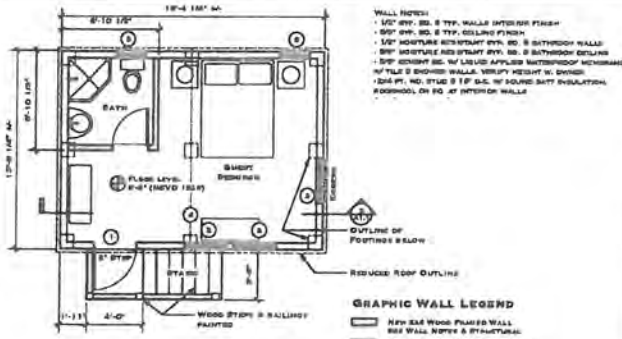
DOOR & WINDOW PRESSURES

Door/Window	15 mph	30 mph	45 mph	60 mph
1. Double Door	31.8	27.8	48.8	151.5 psf, 41.7 psf
2. Single Window	31.8	31.8	47.8	151.5 psf, 40.3 psf
3. Single Door	31.8	48.8	47.8	151.5 psf, 41.7 psf
4. Window	31.8	31.8	48.8	151.5 psf, 41.7 psf
5. Window	31.8	31.8	38.8	154.8 psf, 37.7 psf

(The Maximum Wind speed for use in determining the design wind pressures.)
 (The Maximum Wind speed for use in determining the design wind pressures.)

ROOFING NOTES:

1. PROVIDE METAL ROOFING SYSTEMS & ALL STRUCTURAL COMPONENTS SHALL BE EQUAL TO EXISTING EXCEPT FOR: 1. 16-GAUGE STEEL ROOFING.
2. REFER STRUCTURAL DRAWINGS FOR WIND RESISTANCE AND DESIGN REQUIREMENTS.
3. METAL ROOF PANELS & FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. VERIFY MANUFACTURER'S INSTALLATION INSTRUCTIONS & REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
5. PROVIDE 1/2" X 1/2" X 1/2" METAL ROOFING SYSTEMS & ALL STRUCTURAL COMPONENTS SHALL BE EQUAL TO EXISTING EXCEPT FOR: 1. 16-GAUGE STEEL ROOFING.
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12. VERIFY MANUFACTURER'S INSTALLATION INSTRUCTIONS & REQUIREMENTS SHALL BE STRICTLY ADHERED TO.



T.S. NEAL ARCHITECT INC. 23724 OVERLOOK HWY. CUNNINGHAM, FL 32008 904-543-8877 904-543-8877

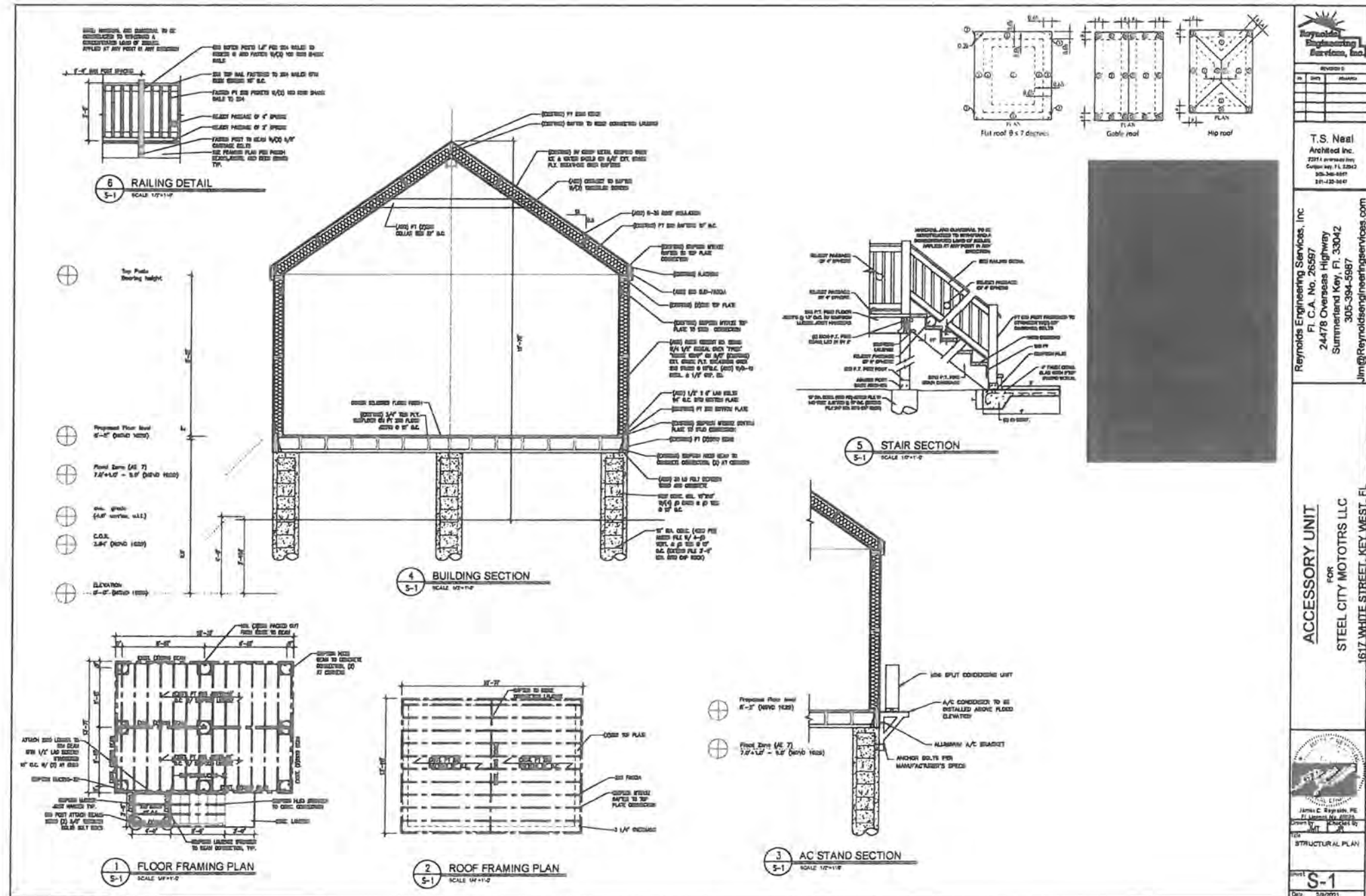
JOHN LINDLE 1617 WHITE ST. KEY WEST, FL 33040

DRAWING TITLE: FLOOR PLAN, ELEVATIONS, SECTION, & NOTES. REVISION: 01. DATE: 08-25-2021

A1.1 SHEET 1

TSH T.S. NEAL ARCHITECT, INC.

KPH 7/22/2021



Reynolds Engineering Services, Inc.
 2271 1st Avenue
 Cape Coral, FL 33914
 305-366-8887
 305-394-5987
 jim@reynoldsengeering.com

T.S. Neal
 Architect Inc.
 2271 1st Avenue
 Cape Coral, FL 33914
 305-366-8887
 305-394-5987

ACCESSORY UNIT
 FOR
STEEL CITY MOTOTRS LLC
 1617 WHITE STREET, KEY WEST, FL

STRUCTURAL PLAN
 S-1
 Date: 3/2/2021

Handwritten signature

*KPH
 7/22/2021*

Application



Exhibit "B"
RECEIVED
MAY 05 2021
Dms

Application for Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

Application Fee: \$2,415.00 / After-the-Fact: \$4,515.00

(includes \$210.00 advertising/noticing fee and \$105.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 1617 White Street

Zoning District: SF

Real Estate (RE) #: 00059580-000200

Property located within the Historic District. Yes No

APPLICANT: Owner Authorized Representative

Name: Van D. Fischer, Esq./VDF LAW, PLLC Mailing Address: 626 Josephine Parker Dr. Suite 205

City: Key West, FL 33040 State: Zip: Home/Mobile Phone:

Office: 305-849-3893 Fax:

Email: van@vdf-law.com

PROPERTY OWNER: (if different than above)

Name: Steel City Motors LLC Mailing Address: 9925 Jourdan Way

City: Dallas, TX 75230 State: Zip: Home/Mobile Phone:

Office: Fax:

Email:

Description of Proposed Construction, Development, and Use:

Variance required per Planning Department for permit 2021-0583 which will resolve code case 2020-01335.

See attached pages for detailed description.

List and describe the specific variance(s) being requested:

Existing nonconforming Impervious area of 61.9% which will be reduced to 61.7% which will require a 11.7% variance to 50% code limit.

The proposed project will reduce the existing nonconforming impervious area.

Building coverage area of 35.6% which will require a 0.6% variance to the 35% code limit.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents:

Exhibit "B"

Please include the following with this application:

1. A copy of the most recent warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.
2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee.
3. Sign and Sealed site plan(s) of the subject site, indicating the following:
 - a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas and decks.
 - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
 - c. All proposed changes to what exist, including those which make the variance(s) necessary.
 - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
 - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
 - f. Parking spaces and dimensions (**existing and proposed**).
 - g. Easements or other encumbrances on the property.
4. A survey of the property no more than ten years old
5. Elevation drawings or proposed structures, indicating finished height above established grade as measured from crown of road
6. Floor Plans of existing and proposed development
7. Stormwater management plan
8. PDF version of application and all required materials submitted to the Planning Department

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

For assistance please call the Planning Department at (305) 809-3764.

Exhibit "B"

Will any work be within the dripline (canopy) of any tree on or off the property?
 If yes, provide date of landscape approval, and attach a copy of such approval.

Yes No

Is this variance request for habitable space pursuant to Section 122-1078?

Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	SF			
Flood Zone	AE-7			
Size of Site	12,440 sq ft			
Height	25' + 5'			N/A
Front Setback	30'			N/A
Side Setback	5'			N/A
Side Setback	5'			N/A
Street Side Setback				N/A
Rear Setback	5'			N/A
F.A.R				N/A
Building Coverage	35%	34.5%	35.6%	0.6%
Impervious Surface	50%	61.9%	61.7%	11.7%
Parking				N/A
Handicap Parking				N/A
Bicycle Parking				N/A
Open Space/ Landscaping	35% (minimum)	38%	38.2%	none - conforming
Number and type of units				N/A
Consumption Area or Number of seats				N/A

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Exhibit "B"

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

See attached pages for detailed description.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

See attached pages for detailed description.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

See attached pages for detailed description.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

See attached pages for detailed description.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

See attached pages for detailed description.

Exhibit "B"

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department and one (1) electronic version in PDF format.

- Correct application fee, made payable to "City of Key West."
- Pre-application meeting form Permit application review and discussions with staff substitute for form
- Notarized verification form signed by property owner or authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Monroe County Property record card
- Signed and sealed survey (Survey must be within 10 years from submittal of this application)
- Sign and sealed site plan (sign and sealed by an Engineer or Architect)
- Floor plans
- Any additional supplemental information necessary to render a determination related to the variance request.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

See attached pages for detailed description.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

See attached pages for detailed description.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Background and Description of Proposed Project

Owner was cited on November 5, 2020, for unpermitted construction on an existing shed, case number CC2020-01335. Work immediately stopped and Owner retained Van D. Fischer, Esq., and Seth Neal, Architect, to assist with resolving the violation.

The original scope of the project was to simply repair the existing dilapidated shed so that it would be usable again. However, after Owner received the notice of violation and discussed the matter with attorney and architect, the scope of the project was completely changed to an accessory guest cottage. The impetus for the modification being that the permitting process would be the same for a shed as it would be for converting the shed into an accessory guest cottage. As such, the actual proposed project is not an application for an after the fact shed repair permit, but rather an application for the proposed guest cottage.

It is important to note that the existing shed is nonconforming with regard to setbacks. The proposed guest cottage will be conforming in all code requirements except for the two requirements which are the basis of this variance request. Also, the initial proposed reduction of the carport was not desired by Owner, but intended to avoid the need for a variance and to speed along the permitting process for the guest cottage. However, given that a variance is necessary for the impervious area, there was no longer a compelling reason to reduce the carport by 85 square feet.¹

Legally Cognizable Hardship

The current Owner of the subject property did not create the underlying hardship which requires this variance request. At the time the property was developed the lot was approximately 24,346 square feet in area and the impervious surface area and building coverage area were nowhere near the code limits. However, the lot was split on April 29, 2019 as evidenced by the Warranty Deed recorded in book 2961, page 1528 of the Official Records of Monroe County, Florida (a true and accurate copy of said deed is attached hereto). As a result of the lot split, the size of the subject property was reduced to approximately 12,440 square feet in area. The current Owner purchased the property on April 6, 2020, as recorded in the Warranty Deed recorded in book 3018, page 650, of the Official Records of Monroe County, Florida (a true and accurate copy of said deed is attached hereto).

Unfortunately, the lot split created a nonconformity for the impervious area ratio. Prior to the lot split, the impervious area was approximately 31.7% and after the lot split the percentage doubled to the current 61.9%. With regard to building coverage the percentage prior to the lot split was approximately 17.7% and after the lot split it doubled to 34.5%.

¹ While reducing the carport by 85 square feet sounds simple on paper, it would actually require a near complete reconstruction of the carport because of the need to re-engineer the structure and roof.

Exhibit "B"

The legally cognizable hardship regarding impervious area is self-evident as the current nonconforming impervious area is 61.9%. Here, the proposed project will reduce the impervious area to 61.7% and require a variance of 11.7% to the 50% code limit. The existing building coverage amount also constitutes a legally cognizable hardship because a literal application of the code limit of 35% would create an unnecessary hardship. The unnecessary hardship being that the Owner would be denied its constitutional right to improve the property to enhance its value. "The **constitutional right** to own private property includes at least three aspects: (1) the right to use the property, (2) **the right to improve the property to enhance its value**, and (3) the right to transfer or alienate the property." Department of Transp. v. Weisenfeld, 617 So.2d 1071, 1086 (Fla. 5th DCA 1993)(emphasis added). Here, the proposed project requires a mere 0.6% variance to the 35% code limit which will be unnoticeable on the property. Section 90-391, Key West Code, expressly authorizes the Planning Board to grant variances such as this one when "a literal enforcement of the land development regulations would result in unnecessary hardship."

- (1) **Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

Please refer to Legally Cognizable Hardship section above. In sum, the original lot was basically split in half in 2019 which caused the various site calculations (e.g. impervious area, building coverage) to essentially double. It is not reasonably feasible to reduce the existing impervious area or building coverage without causing substantial, unnecessary hardship to Owner. Further, a literal enforcement of the land development regulations would create an unnecessary hardship because it would deny Owner its constitutional right to improve the property to enhance its value.

- (2) **Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

Please refer to Legally Cognizable Hardship section above. The reduction of lot area occurred prior to the current Owner and the Owner did not create the nonconforming conditions. The variance requested for impervious area is actually a net reduction in the existing impervious area, and the variance requested for building coverage is for 85 square feet which amounts to a statistically insignificant 0.6% variance request.

- (3) **Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

No special privileges would be conferred. The proposed accessory structure will not increase the existing impervious area as noted by the City's Engineering Department in its review notes. The proposed project will resolve setback nonconformities and reduce impervious area with only a

Exhibit "B"

0.6% variance needed for building coverage. The net result of the proposed project will be a reduction of existing nonconformities and a greater overall code conformity on the site than currently exists.

- (4) **Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

Please refer to Legally Cognizable Hardship section above. The existing nonconforming impervious area cannot be cured without substantial demolition of the property. However, the proposed project will reduce the current amount of impervious area which is an improvement. Likewise, if the land development regulations are literally enforced, the existing building coverage would limit building coverage to a mere 55 additional square feet. Such a literal limitation would cause unnecessary hardship and be contrary to the constitutional right of Owner to improve the property. Further, the requested variance of 0.6%, or 85 square feet, is very minimal and commensurate with the property and surrounding neighborhood.

- (5) **Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.**

The requested variances are the minimum required to make possible the reasonable use of the land proposed. The result of granting the variances will be a net reduction in nonconformities on the property which is an improvement to the existing conditions. There will be a decrease in existing impervious area, an elimination of nonconforming setbacks, and the requested 0.6% variance to building coverage is the minimum required to allow for the reasonable use of the land and structure proposed.

- (6) **Not injurious to the public welfare. That the grant of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

As described above, the proposed project will result in a net reduction of nonconformities on the property. Such a reduction of nonconformities is in harmony with the intent and purpose of the land development regulations. Denial of the requested variances would be contrary to the intent and purpose of the land development regulations which strives to reduce nonconformities over time. The requested variances are appropriate in this instance because granting the variances will avoid unnecessary hardship and result in a net reduction of nonconformities. The requested variances will not be injurious to the public welfare as the variances will only affect Owner's property.

Exhibit "B"

- (7) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other properties is not the basis of this variance request. The proposed project involves use of Owner's property allowed as-of-right under the land development regulations.

Variance Information sheet

City of Key West, Florida • Planning Department
1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

Application Fee: \$2,415.00 / After-the-Fact: \$4,515.00

(includes \$210.00 advertising/noticing fee and \$105.00 fire review fee)

Please read the following carefully before filling out the application

This application and all required attachments should be submitted to the
City Planning Department at 1300 White Street.

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.
- Variances are quasi-judicial hearings and it is improper to speak to a Planning Board and/or Board of Adjustment member about the variance outside of the hearing.

Application Process

- Prior to submittal, the applicant will schedule a pre-application meeting with staff to review the application and suggest any modifications that may be necessary before submittal. A pre-application meeting is free of charge and should be the final step before submittal. To schedule a pre-application meeting, please call the Planning Department at (305) 809-3764.
- After submittal, the application will be reviewed by staff and additional modifications to the site plan may be necessary at that time. Any modifications within eight (8) days of the scheduled Planning Board meeting may result in the item being postponed till the following Planning Board meeting.
- The applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10-day appeal period.
- After the 10-day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

Warranty Deed

Doc# 2217864 05/01/2019 9:32AM
Filed & Recorded in Official Records of
MONROE COUNTY KEVIN MADOK

Prepared by and return to:
Gregory S. Oropeza, Esq.
Attorney at Law
Oropeza Stones Cardenas, PLLC
221 Simonton Street
Key West, FL 33040
305-294-0252
File Number: 19-188
Consideration: \$3,285,000.00

05/01/2019 9:32AM
DEED DOC STAMP CL: Brit \$22,995.00

Doc# 2217864
Bk# 2961 Pg# 1528

Parcel Identification No. 00059580-000200

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Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 29th day of April, 2019 between William H. Fehr and Holly A. Fehr, as husband and wife whose post office address is 28885 Summit Ranch Drive, Golden, CO 80401 of the County of Jefferson, State of Colorado, grantor*, and Robert H. Vannuccini, a married man whose post office address is 1617 White Street, Key West, FL 33040 of the County of Monroe, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit:

*BOUNDARY SURVEY OF: A parcel of land on the Island of Key West and known as a part of Tract 28, but now better described by metes and bounds as follows:
COMMENCE at the intersection of the Northwesterly right of way line of Atlantic Boulevard with the Northeasterly right of way line of White Street and run thence Northwesterly along the Northeasterly right of way line of the said White Street for a distance of 544.60 feet to the Point of Beginning, said point being the Southerly corner of the lands described in Official Record Book 2756 at Page 1699 of the Public Records of Monroe County, Florida; thence continue Northwesterly along the Northeasterly right of way line of the said White Street for a distance of 100.80 feet to the Westerly corner of the said lands; thence Northeasterly with a deflection angle of 90°02'55" to the right and along the Northwesterly boundary line of said lands, for a distance of 123.24 feet to the Southwesterly boundary line of Lot 1, of SUNSHINE SUBDIVISION, Plat No. 1, according to the plat thereof, as recorded in Plat Book 2, at Page 150 of the Public Records of the said Monroe County, Florida; thence Southeasterly with a deflection angle of 89°40'22" to the right and along the Southwesterly boundary line of Lots 1, 2 and 3, of said SUNSHINE SUBDIVISION, Plat No. 1, for a distance of 100.81 feet; thence Southwesterly with a deflection angle of 90°19'38" to the right and along the Southeasterly boundary line of the said lands described in Official Record Book 2756 at Page 1699, for a distance of 123.73 feet back to the Point of Beginning.*

Signature Page to Follow

Subject to taxes for 2019 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Deu
Witness Name: Gregory Oropeza
X [Signature]
Witness Name: _____

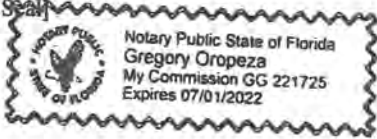
[Signature] (Seal)
William H. Fehr

Deu
Witness Name: Gregory Oropeza
" [Signature]
Witness Name: _____

[Signature] (Seal)
Holly A. Fehr

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me this 29 day of April, 2019 by William H. Fehr and Holly A. Fehr, who are personally known or have produced a driver's license as identification.

[Notary Seal]


Deu
Notary Public
Printed Name: _____
My Commission Expires: _____

MONROE COUNTY
OFFICIAL RECORDS

Doc # 2263267 Bk# 3018 Pg# 650 Electronically Recorded 4/15/2020 at 3:54 PM Pages 2
Filed and Recorded in Official Records of MONROE COUNTY KEVIN MADOK
ElectronicallyREC: \$18.50 Deed Doc Stamp \$22,995.00

Exhibit "B"

Prepared by and return to:
Gregory S. Oropeza, Esq.
Attorney at Law
Oropeza Stones Cardenas, PLLC
221 Simonton Street
Key West, FL 33040
305-294-0252
File Number: 20-209
Consideration: \$3,285,000.00

Parcel Identification No. 00059580-000200

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 6th day of April, 2020 between Robert H. Vannuccini, a married man whose post office address is 1617 White Street, Key West, FL 33040 of the County of Monroe, State of Florida, grantor*, and Steel City Motors LLC, a Texas limited liability company whose post office address is 9925 Jourdan Way, Dallas, TX 75230 of the County of Dallas, State of Texas, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit:

A parcel of land on the Island of Key West and known as a part of Tract 28, but now better described by metes and bounds as follows:

COMMENCE at the intersection of the Northwesterly right of way line of Atlantic Boulevard with the Northeasterly right of way line of White Street and run thence Northwesterly along the Northeasterly right of way line of the said White Street for a distance of 544.50 feet to the Point of Beginning, said point being the Southerly corner of the lands described in Official Record Book 2756 at Page 1699 of the Public Records of Monroe County, Florida; thence continue Northwesterly along the Northeasterly right of way line of the said White Street for a distance of 100.80 feet to the Westerly corner of the said lands; thence Northeasterly with a deflection angle of 90°02'55" to the right and along the Northwesterly boundary line of said lands, for a distance of 123.24 feet to the Southwesterly boundary line of Lot 1, of SUNSHINE SUBDIVISION, Plat No. 1, according to the plat thereof, as recorded in Plat Book 2, at Page 150 of the Public Records of the said Monroe County, Florida; thence Southeasterly with a deflection angle of 89°40'22" to the right and along the Southwesterly boundary line of Lots 1, 2 and 3, of said SUNSHINE SUBDIVISION, Plat No. 1, for a distance of 100.81 feet; thence Southwesterly with a deflection angle of 90°19'38" to the right and along the Southeasterly boundary line of the said lands described in Official Record Book 2756 at Page 1699, for a distance of 123.73 feet back to the Point of Beginning.

Subject to taxes for 2020 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

THE PROPERTY CONVEYED HEREIN IS NEITHER THE DOMICILE NOR THE HOMESTEAD OF GRANTOR, NOR GRANTOR'S SPOUSE, NOR ANY OF GRANTOR'S IMMEDIATE HOUSEHOLD, AS DEFINED BY THE LAWS OF THE STATE OF FLORIDA. GRANTOR RESIDES AT THE ADDRESS SHOWN ABOVE.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

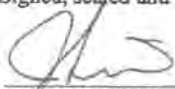
DoubleTime®

Exhibit "B"

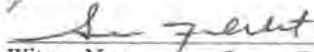
* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: John W. Sigala


 (Seal)
Robert H. Vannuccini


Witness Name: Sean Flahart

State of Texas
County of Denton

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 2 day of April, 2020 by Robert H. Vannuccini, who is personally known or has produced a driver's license as identification.

[Notary Seal]


Notary Public

Printed Name: Sean Flahart

My Commission Expires: 4-4-22



Verification Form



**City of Key West
Planning Department
Verification Form**

(Where Authorized Representative is an individual)

I, Van D. Fischer, Esq., being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1617 White Street, Key West, Florida

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this April 29th, 21 by

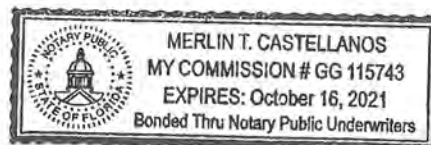
Van D. Fischer, Esq.

date

Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Notary's Signature and Seal



Merlin T. Castellanos

Name of Acknowledger typed, printed or stamped

#GG 115743

Commission Number, if any



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, John Lindle as
Please Print Name of person with authority to execute documents on behalf of entity

Managing Member of Steel City Motors, LLC
Name of office (President, Managing Member) Name of owner from deed

authorize Van D. Fischer, Esq.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 4-30-2021
Date

by John Lindle
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented DRIVERS LICENCE as identification.

Kristine Marshall
Notary's Signature and Seal

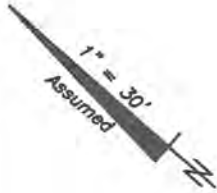


Kristine Marshall
Name of Acknowledger typed, printed or stamped

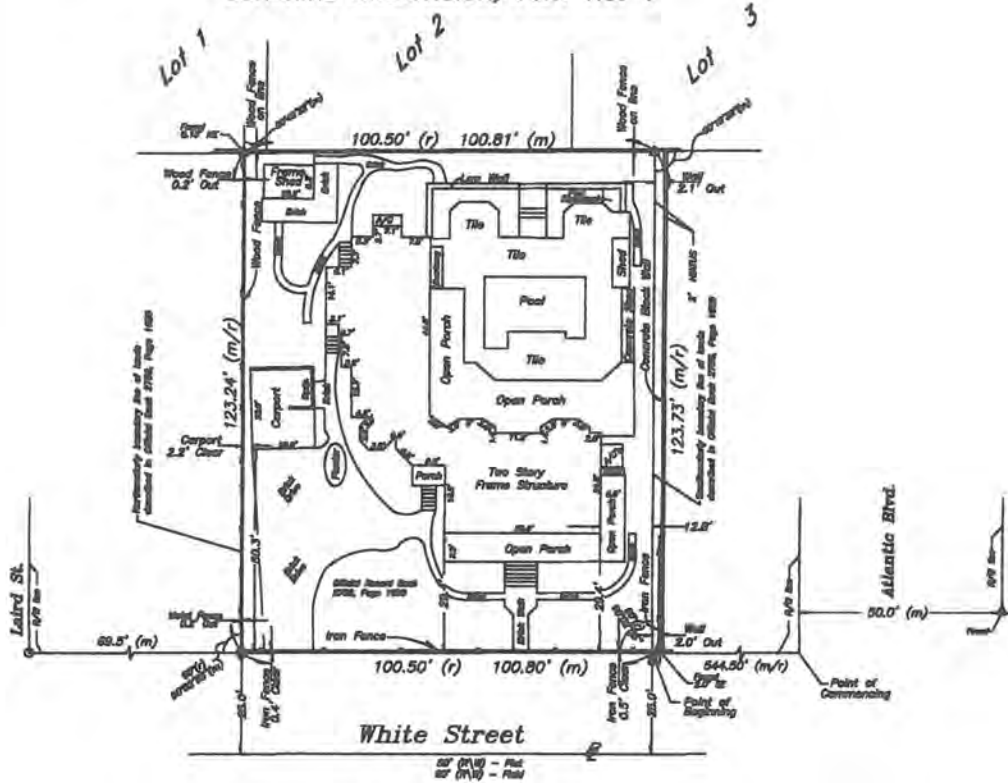
055385
Commission Number, if any

Site Plans

Boundary Survey Map of part of Tract 28,
Island of Key West



SUNSHINE SUBDIVISION, PLAT NO. 1



LEGEND

- Found 3/4" Iron Pipe (No ID)
- Found 1/2" Iron Rod (In Cutout)
- ⊙ Found 1/2" Iron Rod (PTS-March 25, 2004)
- ▲ Found Nail & Disc (PTS-March 25, 2004)
- △ Set/Found Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊔ Baseline
- ⊙ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines

NOTE:
This Survey Map is not
full and complete without
the attached Survey Report.

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
P.S. 6288

3430 Duck Ave., Key West, FL 33040
(305) 298-7422 FAX (305) 298-2244

Boundary Survey Report of part of Tract 28,
Island of Key West

NOTES:

1. The legal description shown hereon was authored by the undersigned. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1617 White Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: April 26, 2019
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. The Survey Report is not full and complete without the attached Survey Map.

BOUNDARY SURVEY OF: A parcel of land on the Island of Key West and known as a part of Tract 28, but now better described by metes and bounds as follows:
COMMENCE at the intersection of the Northwesterly right of way line of Atlantic Boulevard with the Northeasterly right of way line of White Street and run thence Northwesterly along the Northeasterly right of way line of the said White Street for a distance of 544.60 feet to the Point of Beginning, said point being the Southerly corner of the lands described in Official Record Book 2768 at Page 1699 of the Public Records of Monroe County, Florida; thence continue Northwesterly along the Northeasterly right of way line of the said White Street for a distance of 100.80 feet to the Westerly corner of the said lands; thence Northeasterly with a deflection angle of 90°02'55" to the right and along the Northwesterly boundary line of said lands, for a distance of 123.24 feet to the Southwesterly boundary line of Lot 1, of SUNSHINE SUBDIVISION, Plat No. 1, according to the plat thereof, as recorded in Plat Book 2, at Page 160 of the Public Records of the said Monroe County, Florida; thence Southeasterly with a deflection angle of 89°40'22" to the right and along the Southwesterly boundary line of Lots 1, 2 and 3, of said SUNSHINE SUBDIVISION, Plat No. 1, for a distance of 100.81 feet; thence Southwesterly with a deflection angle of 90°19'38" to the right and along the Southeasterly boundary line of the said lands described in Official Record Book 2768 at Page 1699, for a distance of 123.73 feet back to the Point of Beginning.

BOUNDARY SURVEY FOR: Robert H. Vannuccini;
 Oropeza, Stones & Cardenas, PLLC;
 Chicago Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
 Florida Reg. #6298

THIS SURVEY
IS NOT
ASSIGNABLE

April 26, 2019

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
 PSM #6298

3430 Duck Ave., Key West, FL 33040
 (305) 298-7432 FAX (305) 298-2244

Exhibit "B"

Tree Survey

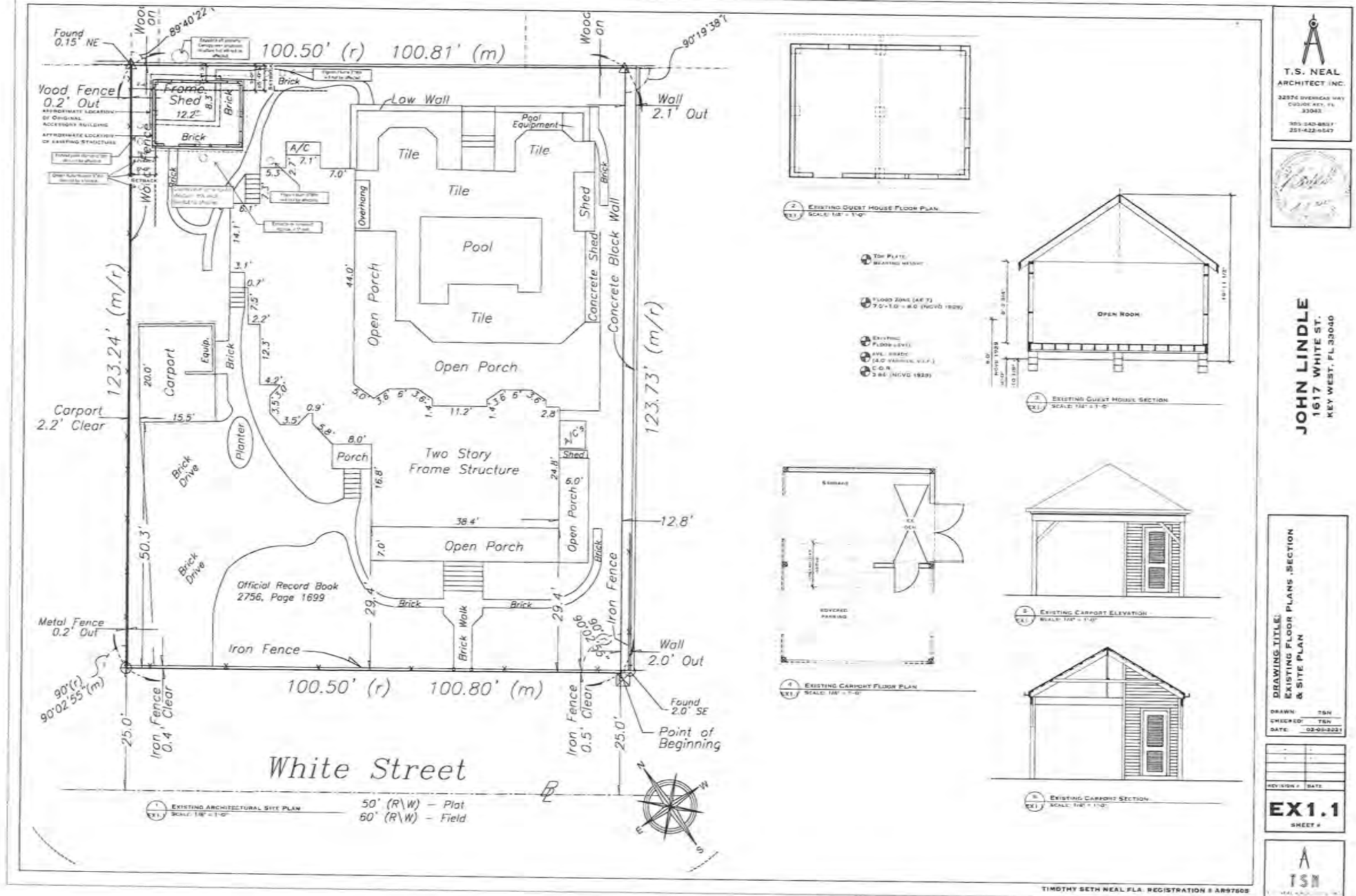


Exhibit "B"

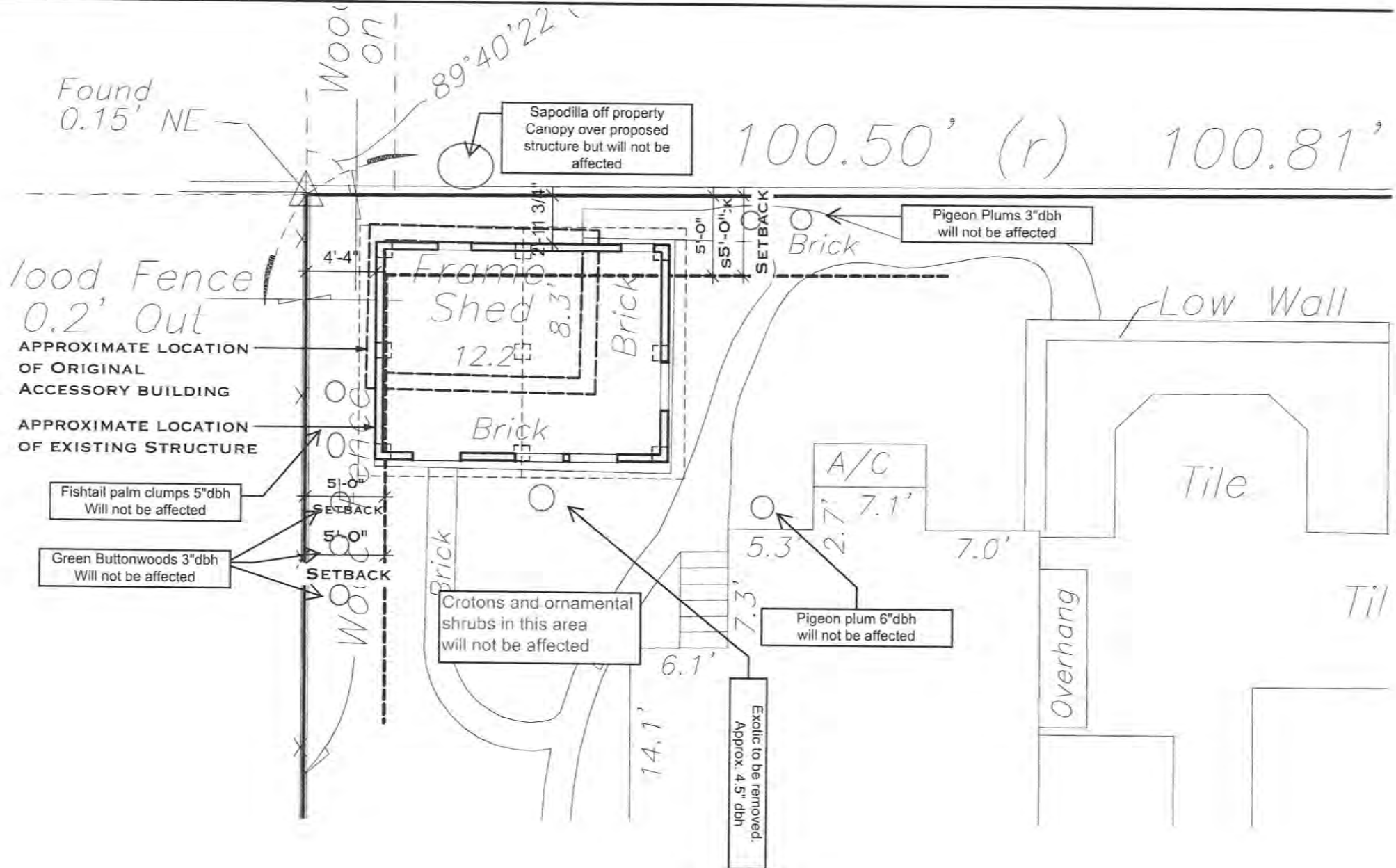


Exhibit "B"

SITE DATA 1617 WHITE ST.

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	SP	SP	SP	NO CHANGE
SITE AREA	15,440 SQ. FT.	8,000 SQ FT	EXISTING	NO CHANGE
LOT SIZE	822 SURVEY	50' X 100' (MIN)	EXISTING	NO CHANGE
IMPERVIOUS	7,700 SQ. FT. (51.75%)	6,500 SQ. FT. (75% MAX)	7,800 SQ. FT. (51.75%)	IMPROVED NON-COMPLIANT
OPEN SPACE	4,750 SQ. FT. (31.25%)	4,500 SQ. FT. (50% MIN)	4,750 SQ. FT. (31.25%)	COMPLIANT
BUILDING COV.	4,800 SQ. FT. (31.12%)	4,500 SQ. FT. (50% MAX)	4,800 SQ. FT. (31.12%)	VARIOUS REQUIRED SEE 4-19-2021
ACCESSORY STRUCTURE REAR YARD COV.	50' SQ. FT. (0.32%)	750.1 SQ. FT. REAR YARD AREA (5.007%)	450 SQ. FT. (17.5%)	COMPLIANT

REVISION #1
4-19-2021

ACCESSORY STRUCTURE SETBACKS

FRONT SETBACK	EXISTING	30'	100'-0" 1.0'	COMPLIANT
REAR SETBACK	EXISTING	5'	5'-0"	COMPLIANT
NORTH SIDE SETBACK	EXISTING	5'	5'-0"	COMPLIANT
SOUTH SIDE SETBACK	EXISTING	5'	7'-0" 1.1'	COMPLIANT
BUILDING HEIGHT ACCESSORY STRUCTURE	EXISTING	10'-0" + 5'-0"	10'-0"	COMPLIANT

FEMA MAP FLOOD ZONE AE 7, 7'+1'-8" (NGVD 1929)



JOHN LINDLE
1617 WHITE ST.
KEY WEST, FL 33040

SITE LOCATION MAP



DESIGN NOTES:

THE NEW STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:
FBC 2020 - RESIDENTIAL (FBC-R)
A.R.C.C. 54-05 REGULATIONS
PER FBC CHABGE 07-10
EXPOSURE "D"
LIVE LOAD 40 PSF
WIND LOAD 150 M.P.H.
SEE STRUCTURAL DRAWINGS, SHEET S-1
CONSTRUCTION TYPE VB

SCOPE OF WORK:

EXISTING ACCESSORY STRUCTURE TO BE BROUGHT INTO CODE COMPLIANCE AND BUILT TO THE 2020 FBC.

GENERAL NOTES:

- DO NOT SCALE ANY DRAWING.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS HAVE PRECEDENCE OVER SMALLER SCALE DETAILS. ANY DISCREPANCIES ARE TO REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS.
- ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS, ALL BUILDING CODE REQUIREMENTS AND IN A PROFESSIONAL MANNER BY MECHANICS SKILLED AND LICENSED IN THEIR RESPECTIVE TRADES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS, LOCAL CODES, BUILDING INSPECTOR REQUIREMENTS AND/OR EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR RESOLUTION. ALL DIMENSIONS AND CONDITIONS OF EACH TRADE ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE WORK OF EACH SPECIFIC TRADE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, AND CONVENTIONAL GUIDELINES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REMOVED, REPLACED, AND RECTIFIED.
- ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED.
- ALL TRENCH AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
- ALL CONSTRUCTION DRAWINGS SHALL BE REVISED PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL EXISTING TREES, SHRUBS, VEGETATION, AND LANDSCAPE ELEMENTS OR FEATURES ADJACENT TO AND IN THE VICINITY OF THE BUILDING AND STAGING AREA SHALL BE PROTECTED DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- ANY REVISIONS MUST BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

DRAWING SCHEDULE:

- | | |
|-------|--|
| T1.1 | TITLE, SITE DATA & PROJECT INFO |
| EX1.0 | EXISTING FLOOR PLANS, SECTION & SITE PLAN |
| A1.0 | PROPOSED ARCHITECTURAL, SITE PLAN |
| A1.1 | FLOOR PLAN, ELEVATIONS, SECTION & NOTE |
| A1.2 | CARPENT FLOOR PLAN & ELEVATIONS |
| S-1 | STRUCTURAL DRAWINGS |
| S-2 | STRUCTURAL DRAWINGS |
| MEP | MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS |



JOHN LINDLE
1617 WHITE ST.
KEY WEST, FL 33040

ABBREVIATION LEGEND:

- | | |
|----------|--------------------------|
| ADJ. | = ADJUSTABLE |
| A.F.F. | = ABOVE FINISH FLOOR |
| ALUM. | = ALUMINUM |
| ARCH. | = ARCHITECTURAL |
| BAL.C. | = BALCONY |
| BD. | = BOARD |
| C.I.P. | = CAST IN PLACE |
| C.J. | = CONTROL JOINT |
| CL. | = CLOSET |
| C. | = CENTERLINE |
| CONC. | = CONCRETE |
| COORD. | = COORDINATE |
| C.O.R. | = CROWN OF ROAD |
| D. | = DRYER |
| DN. | = DOWN |
| DW. | = DRAINWASHER |
| DWS. | = DRAWING |
| ELECT. | = ELECTRICAL |
| ELEV. | = ELEVATOR |
| E.P. | = ELECTRICAL PANEL |
| EQ. | = EQUAL |
| F. | = FINISH |
| E.J. | = EXPANSION JOINT |
| FRES. | = FREESTAND |
| GYP. BD. | = GYPSUM WALL BOARD |
| HORIZ. | = HORIZONTAL |
| HOUR. | = HOUR |
| MAX. | = MAXIMUM |
| MECH. | = MECHANICAL |
| MIC. | = MICROWAVE OVEN |
| MIN. | = MINIMUM |
| M.R.E. | = MOLDRESISTANT |
| N.A. | = NOT APPLICABLE |
| N.I.C. | = NOT IN CONTRACT |
| O.H. | = OPPOSITE HAND |
| PT. | = PAINTED |
| R.T. | = REFRIGERATE TREATED |
| R.A. | = RETURN AIR |
| REF. | = REFERENCE |
| REFR. | = REFRIGERATOR |
| REQ. | = REQUIRED |
| SCHED. | = SCHEDULE |
| S.P. | = SQUARE FOOT |
| SIM. | = SIMILAR |
| STOR. | = STORAGE |
| STRUCT. | = STRUCTURAL |
| sq. | = SQUARE |
| TL. | = TILE |
| TRYP. | = TYPICAL |
| U.C. | = UNDER COUNTER |
| U.N.O. | = UNLESS NOTED OTHERWISE |
| VERT. | = VERTICAL |
| V.F.F. | = VERIFY IN FIELD |
| W. | = WARMER |
| W/TH | = WITH |
| WD. | = WOOD |
| W.H. | = WATER HEATER |

DRAWING TITLE:
TITLE, SITE DATA & PROJECT
INFORMATION

DRAWN: TEN
CHECKED: TEN
DATE: 02-04-2021

REV. #1 4-19-2021

T1.1
SHEET #



TIMOTHY SETH NEAL FLA. REGISTRATION # AR97908

Exhibit "B"

TREE PROTECTION AND PRESERVATION NOTES

1. PROTECT DESIGNATED EXISTING TREES EQUIVALENT TO TREES AS NOTED IMMEDIATELY CUTTING, BRANCHING, OR REMOVAL OF TOPS, BRANCHES AND BRUISES OF BARK.
2. PROTECTIVE BARRIERS (TREE BARRICADES) SHALL BE PLACED AT DIAPHRAGM AND SHALL CONTAIN A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT WITHIN THE BARRICADE.
3. FOR ALL TREES TO BE PRESERVED, SEE TREE PROTECTION AND BARRICADE ELEVATION DETAIL.
4. NO BARK CHANGES SHALL BE MADE WITHIN THE PROTECTIVE BARRIERS WITHOUT PRIOR APPROVAL.
5. THE METHOD OF PROTECTION IS TO BE SURE CERTAIN THAT SOIL OF THE AREA UNDER THE CANOPY OF THE TREE REMAINS UNDISTURBED (NO GRADE CHANGES OR ROOT CUT) AND THERE SHALL BE NO DISTURBANCE TO THE ROOT PLUM.
6. SPECIAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND MITIGATION COSTS OF TREES DAMAGED BEYOND REPAIR THAT HAVE BEEN IDENTIFIED AS PROTECTIVE AND PRESERVED. IF TREES ARE DAMAGED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE OF THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAT THE SUCCESS OF THE COST OF REPAIR OR REPLACEMENT.
7. ROOT PRUNING SHALL BE DONE BY OR UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST, AND MUST BE DONE EARLY AND ON APPROVED TREE CARE SCHEDULE. A CERTIFIED ARBORIST MUST BE ON SITE DURING THE ENTIRETY OF ROOT PRUNING.
8. NO ROOT PRUNING SHALL BE DONE WITHIN A DISTANCE OF 24 TIMES THE DIAMETER THE TREE UNDER AUTHORITY BY THE ARBORIST.
9. NO MORE THAN 25% OF THE TREE'S ROOTS MAY BE PRUNED.
10. A PRUNING PRISON SHALL BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT. USE HAND TOOLS ON AN AIR SHOVE. LIMITS OF PRISON TO BE DETERMINED BY THE ARBORIST.
11. ALL ROOTS OUTSIDE OF THE PROTECTIVE BARRICADE TO BE REMOVED DURING THE DEVELOPMENT SHALL BE REMOVED CLEAN USING A SHARP TOOL TO PROVIDE A CLEAN CUT. ROOTS SHALL BE LEFT WITH A CLEAN SURFACE AND A PROTECTIVE LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS DURING DEVELOPMENT WITH ONE INCH OF DRAINAGE OR MORE.
12. AFTER PRUNING, THE ROOTS SHALL BE COVERED AND KEPT MOIST. FULL PRUNING TRIMMINGS WITH TWIGS AND WATER DAILY FOR A PERIOD ESTABLISHED BY THE ARBORIST.

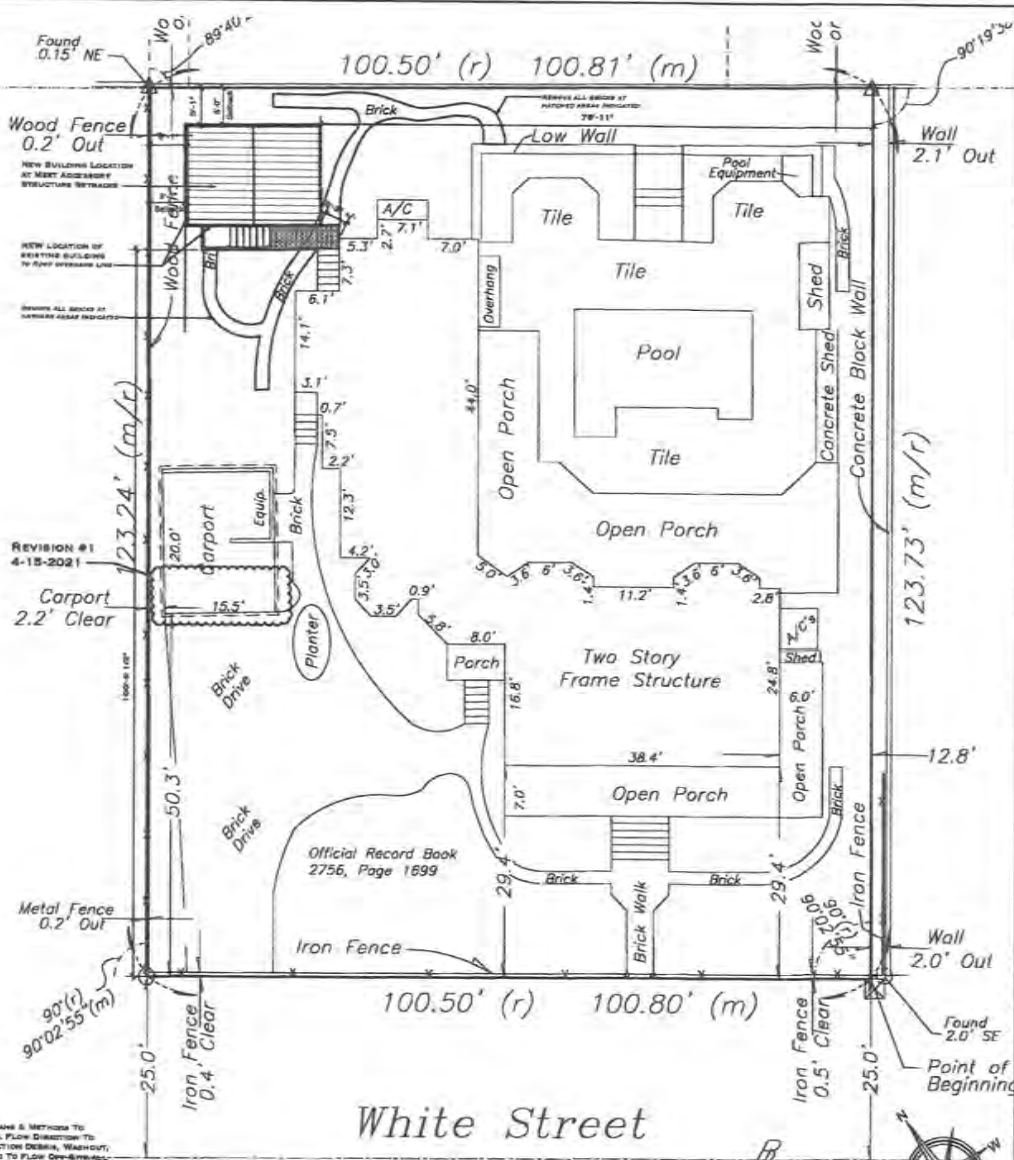
NOTES:

1. ROOT PRUNING SHALL BE DONE BY OR UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST, AND MUST BE DONE EARLY AND ON APPROVED TREE CARE SCHEDULE. A CERTIFIED ARBORIST MUST BE ON SITE DURING THE ENTIRETY OF ROOT PRUNING.
2. NO ROOT PRUNING SHALL BE DONE WITHIN A DISTANCE OF 24 TIMES THE DIAMETER THE TREE UNDER AUTHORITY BY THE ARBORIST.
3. NO MORE THAN 25% OF THE TREE'S ROOTS MAY BE PRUNED.
4. A PRUNING PRISON SHALL BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT. USE HAND TOOLS ON AN AIR SHOVE. LIMITS OF PRISON TO BE DETERMINED BY THE ARBORIST.
5. EXPOSED ROOTS SHALL BE CUT USING A SHARP TOOL TO PROVIDE A CLEAN CUT. ROOTS SHALL BE LEFT WITH A CLEAN SURFACE AND A PROTECTIVE LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS DURING DEVELOPMENT WITH ONE INCH OF DRAINAGE OR MORE.
6. AFTER PRUNING, THE ROOTS SHALL BE COVERED AND KEPT MOIST. FULL PRUNING TRIMMINGS WITH TWIGS AND WATER DAILY FOR A PERIOD ESTABLISHED BY THE ARBORIST.



SITE NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN ENGINEER/SURVEYOR CERTIFIED STAKE OUT OF THE BUILDING, DRIVEWAY, PARKING AREAS, AND FENCES IN COORDINATION WITH THE OWNER AND ANY REQUIRED ZONING REGULATIONS. THE BUILDING LOCATION AND FENCE FLOOR LEVEL SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO EXCAVATION WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, PROPERTY LINES, EASEMENTS, AND SETBACKS PRIOR TO PROCEEDING WITH EXCAVATION.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A LINE LOCATION SERVICE & DISCONNECT ANY EXISTING UTILITIES REQUIRED FOR CONSTRUCTION & SITE WORK. THE EXISTING UTILITIES SHALL BE REMOVED TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND AS APPROVED BY LOCAL UTILITIES REPRESENTATIVES. UNPAID, NEW UTILITIES AND SERVICES AS REQUIRED FOR NEW HOUSE CONSTRUCTION PROVIDE UNDERGROUND SERVICE UNLESS OTHERWISE NOTED. ASSESS OTHERS, AREAS WHERE SERVICE AND REMOVED SHALL BE EXAMINED TO MINIMUM EXTENT REQUIRED.
3. THE DRAWINGS SHALL BE COORDINATED WITH THE ACTUAL EXISTING SITE CONDITIONS, EXISTING TREE LOCATIONS, AND REMOVAL OF ANY EXISTING STRUCTURES OR FENCES ETC. ANY POTENTIAL CONFLICTS OR DISCREPANCIES THAT MAY AFFECT THE HOUSE LOCATION OR ANY SIGNIFICANT FEATURES SHALL BE REPORTED TO THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAKE ADJUSTMENTS AS MAY BE AGREED UPON AT THAT TIME TO ALL PLANNED EXCAVATIONS WITH THE ARCHITECT AND OWNER AT THE TIME OF BUILDING STAKEOUT. ACTUAL NUMBERS OF TREES AND HEIGHTS OR STRENGTH MAY VARY FROM THE NUMBER SHOWN ON THE DRAWINGS BASED ON ACTUAL FIELD CONDITIONS.
4. THE GENERAL CONTRACTOR SHALL MAINTAIN ON SITE DRAINAGE AWAY FROM FOOTING, FENCING AND SHALL PROVIDE POSITIVE SLOPE AWAY FROM THE BUILDING AND DRIVEWAY, BUT UNDER NO CIRCUMSTANCES CHANGE OR REMOVE TO ADJACENT PROPERTIES. PROVIDE TEMPORARY DIVERSIONS AS NECESSARY.
5. THE GENERAL CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND ALL ON SITE VEGETATION AND TREES OUTSIDE THE BUILDING FOOTPRINT FROM ANY HARM OR ADVERSE CONDITIONS RELATED TO CONSTRUCTION ACTIVITIES DURING THE ENTIRE TIME OF CONSTRUCTION. THE REMOVAL OF ANY TREES OR VEGETATION IN THE AREA OF THE BUILDING FOOTPRINT SHALL BE COORDINATED WITH THE ARCHITECT & LANDSCAPE DESIGNER PRIOR TO REMOVAL. PROVIDE A FENCED TREE PROTECTION ZONE AROUND SIGNIFICANT AND PRESERVED TREES REMAINING. NO PARKING OR STORAGE OF MATERIALS, DEBRIS, OR SOIL SHALL BE ALLOWED UNDER THESE CANOPY OR ON TOP OF THE ROOTS. MEET ON SITE WITH ARCHITECT IMMEDIATELY TO DETERMINE BARRICADE TREE TO PROTECT FROM TO ANY SITE WORK & TO VERIFY POSITION OF CONTRACTOR STAKES & MATERIALS STORAGE AREAS & EXISTING FENCING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE SITE CLEAR & OPENLY EACH & EVERY DAY & IN NO CIRCUMSTANCES IS TRASH OR LITTER ALLOWED TO REMAIN IN VIEW OR OUTSIDE OR BEHIND CONTAINERS. THE PORT-O-LET & DIAPHRAGMS & TRASH CONTAINERS MUST BE PLACED IN AN AREA APPROVED BY BOTH THE OWNER & SERVICE AGENCY. THEY MAY NOT BE ALLOWED TO OVERFLOW OR REDUCE AN INSURANCE OR EGRESS AND SHALL BE EMPTIED REGULARLY.
6. THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL MEANS & METHODS TO PREVENT SITE EROSION & SHALL CHECK UNDERWATER IN A NATURAL FLOW DIRECTION TO PREVENT EROSION. NO EXCESS DIRT, MUD, DEBRIS, WASTE, CONSTRUCTION DEBRIS, WASTE, OR CLEANING OPERATIONS SHALL BE ALLOWED OFF SITE OR ALLOWED TO FLOW ON-ADJACENT-SITE FENCING OR OTHER EROSION CONTROL MEANS SHALL BE MAINTAINED IN GOOD WORKING CONDITION. SEE CIVIL.
7. THE LOCATION OF ANY EXISTING AND PROPOSED UTILITIES AND SERVICE EASEMENTS & SERVICE SHALL BE DETERMINED ON SITE WITH THE OWNER PRIOR TO ANY WORK BEING PERFORMED. LOCAL UTILITY REPRESENTATIVES SHALL BE INFORMED AND SHALL APPROVE AND APPROVE ALL UTILITY WORK BEING PERFORMED. PROVIDE UNDERGROUND SERVICE TO FULLY EXTENT POSSIBLE AS APPROVED TO THE OWNER. SEE MEY DRAWINGS.



PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

T.S. NEAL
ARCHITECT INC.
3327A OVERBANK HWY
DUKE RD., FL
33048
305-340-8877
351-428-9547



JOHN LINDLE
1617 WHITE ST.
KEY WEST, FL 33040

DRAWING TITLE:
PROPOSED ARCHITECTURAL
SITE PLAN

BRAWN:	TEN
CHECKED:	TEN
DATE:	02-08-2021

REV. #1 4-18-2021

SECTION / DATE

A1.0
SHEET #



Exhibit "B"

TREE PROTECTION AND PRESERVATION NOTES

1. FOREST DESTROYED EQUIPMENT SHALL BE REMOVED TO REVEAL EXISTING UNDERGROUND UTILITIES, INCLUDING, BUT NOT LIMITED TO, WATER, GAS, AND CABLES OF ALL TYPES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL EXISTING UTILITIES AND STRUCTURES WITHIN THE PROTECTION BARRICADE.
2. PROTECTIVE BARRICADES SHALL BE PLACED TO FULLY PROTECT ALL EXISTING UTILITIES AND STRUCTURES AND TO MAINTAIN A CONTINUOUS BARRICADE AROUND THE PERIMETER OF ALL EXISTING UTILITIES AND STRUCTURES WITHIN THE PROTECTION BARRICADE.
3. FOR ALL TREES TO BE PRESERVED, SEE TREE PROTECTION AND BARRICADE ELEVATION DRAWING.
4. NO BRUSH CUTTING SHALL BE MADE WITHIN THE PROTECTIVE BARRICADE UNDER ANY CIRCUMSTANCES.
5. THE METHOD OF PROTECTION IS TO MAINTAIN THAT 90% OF THE AREA UNDER THE CANOPY BEING REMOVED IS UNDISTURBED AND GRASS GROWING ON ROOT CUTS AND THERE SHALL BE NO DISTURBANCE TO THE ROOT SYSTEM.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND PROTECTION OF ALL TREES DAMAGED BY THE CONSTRUCTION OF THIS PROJECT AND FOR THE PROTECTION AND PRESERVATION OF ALL TREES DAMAGED BY THE CONSTRUCTION OF THIS PROJECT. A CERTAIN AMOUNT MUST BE OBTAINED DURING THE CONSTRUCTION OF THIS PROJECT.
7. ROOT PRUNING SHALL BE DONE BY OR UNDER SUPERVISION OF AN AIA CERTIFIED ARBORIST AND MUST BE DONE WITHIN A DISTANCE OF 60 FEET FROM THE TRUNK OF THE TREE UNLESS AUTHORIZED BY THE ARBORIST.
8. NO ROOT PRUNING SHALL BE DONE WITHIN A DISTANCE OF 60 FEET FROM THE TRUNK OF THE TREE UNLESS AUTHORIZED BY THE ARBORIST.
9. NO MORE THAN 30% OF THE TREE ROOTS MAY BE PRUNED.
10. A PRUNING PRIMER SHALL BE CLEANED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT. USE HAND TOOLS ON AN AIR DRIVE. LIGHTS ON TRUCKS TO BE OPERATED BY THE ARBORIST.
11. DAMAGED ROOTS SHALL BE CUT USING A BUSHY TOOL TO PREVENT A CLEAN CUT. ROOTS SHALL BE LEFT WITH CLEAN BUSHY ENDS AND NO BRUSHY ENDS AND A TWO-INCH LAYER OF MULCH SHALL BE APPLIED TO THE SURFACE OF EXPOSED ROOTS DURING DEVELOPMENT WITHIN ONE HOUR OF DRAINAGE OR EXPOSURE.
12. AFTER PRUNING, TREE ROOTS SHALL BE COVERED AND NOT MOIST. FILL PRUNING TRENCH WITH TOPSOIL AND WATER DAILY FOR A PERIOD DETERMINED BY THE ARBORIST.

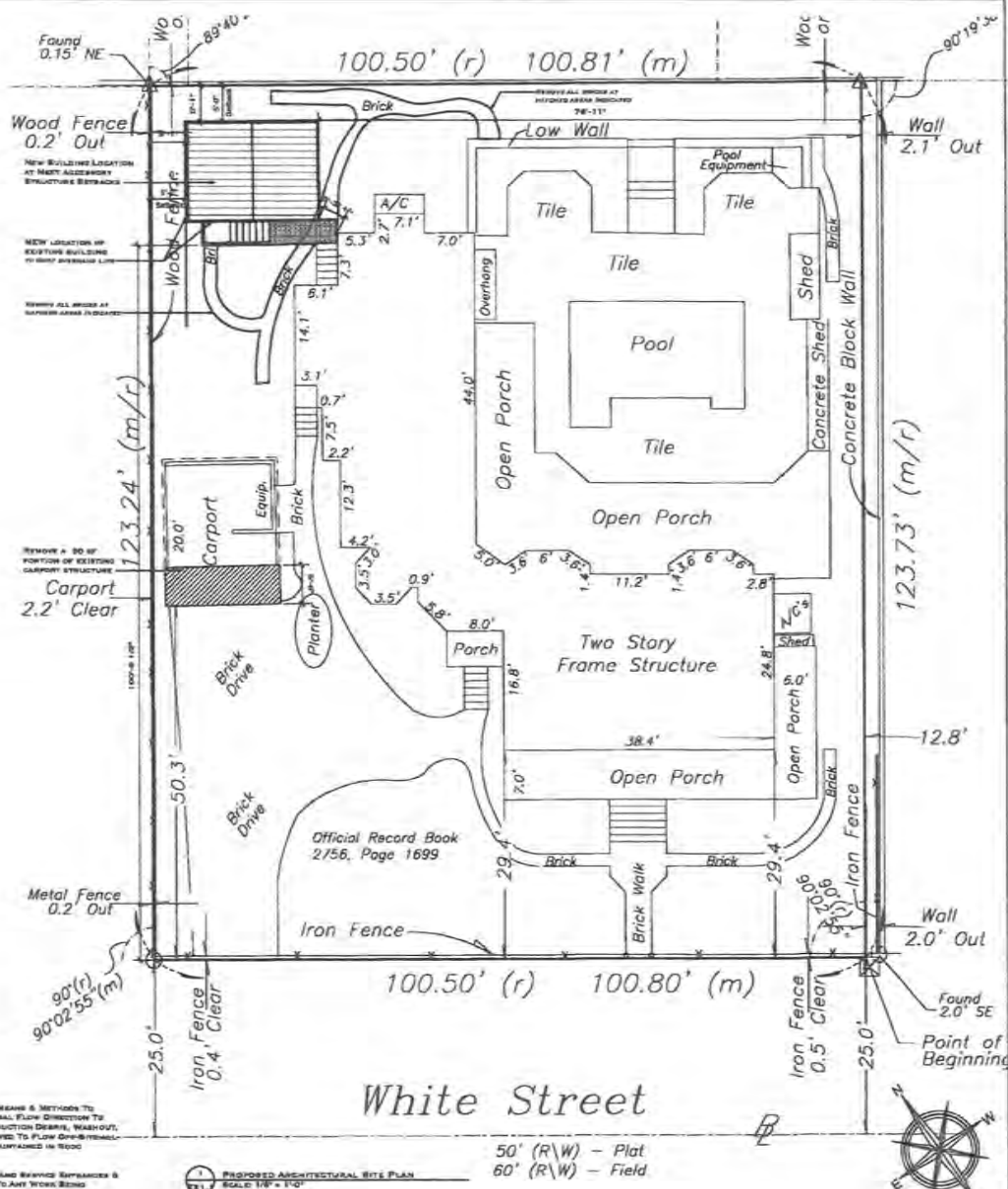
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1. ROOT PRUNING SHALL BE DONE BY OR UNDER SUPERVISION OF AN AIA CERTIFIED ARBORIST AND MUST BE DONE WITHIN A DISTANCE OF 60 FEET FROM THE TRUNK OF THE TREE UNLESS AUTHORIZED BY THE ARBORIST.
2. NO MORE THAN 30% OF THE TREE ROOTS MAY BE PRUNED.
3. A PRUNING PRIMER SHALL BE CLEANED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT. USE HAND TOOLS ON AN AIR DRIVE. LIGHTS ON TRUCKS TO BE OPERATED BY THE ARBORIST.
4. DAMAGED ROOTS SHALL BE CUT USING A BUSHY TOOL TO PREVENT A CLEAN CUT. ROOTS SHALL BE LEFT WITH CLEAN BUSHY ENDS AND NO BRUSHY ENDS.
5. AFTER PRUNING, TREE ROOTS SHALL BE COVERED AND NOT MOIST. FILL PRUNING TRENCH WITH TOPSOIL AND WATER DAILY FOR A PERIOD DETERMINED BY THE ARBORIST.



SITE NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN ENGINEER/SURVEYOR CERTIFIED STAKE OUT OF THE BUILDING, DRIVEWAY, PARKING AREA, AND PORCHES IN COORDINATION WITH THE DRAWINGS AND ANY REQUIRED SURVEY SETBACKS. THE BUILDING LOCATION AND FINISH FLOOR LEVEL SHALL BE APPROVED BY THE ARCHITECT AND CHECKED PRIOR TO EXCAVATION WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, PROPERTY LINES, EASEMENTS, AND SETBACKS PRIOR TO PROCEEDING WITH EXCAVATION.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A LOW VOLTAGE SERVICE & DISCONNECT ANY EXISTING UTILITIES REQUIRED FOR CONSTRUCTION & SITE WORK. THE EXISTING UTILITIES SHALL BE REMOVED TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND AS APPROVED BY LOCAL UTILITY REPRESENTATIVES. INSTALL NEW UTILITIES AND SERVICES AS REQUIRED FOR NEW HOUSE CONSTRUCTION. PROVIDE UNDERGROUND SERVICES UNLESS DIRECTED & APPROVED OTHERWISE. AREAS WHERE SERVICES ARE REMOVED SHALL BE EXCAVATED TO MINIMUM EXTENT REQUIRED.
3. THE DRAWINGS SHALL BE COORDINATED WITH THE ACTUAL EXISTING SITE CONDITIONS, EXISTING TREE LOCATIONS, AND REMOVAL OF ANY EXISTING STRUCTURES ON PORCHES ETC. ANY POTENTIAL CONFLICTS OR INCONGRUENCIES THAT MAY AFFECT THE HOUSE LOCATION ON ANY SIGNIFICANT FEATURES SHALL BE REPORTED TO THE ARCHITECT AND CHECKED PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAKE ADJUSTMENTS AS MAY BE APPLIED UPON AT THAT TIME TO ALL FINISH FLOOR ELEVATIONS WITH THE ARCHITECT AND CHECKED AT THE TIME OF BUILDING BRANDY. ACTUAL NUMBER OF TREES AND NUMBER OF SITES MAY VARY FROM THE NUMBER SHOWN ON THE DRAWINGS BASED ON ACTUAL FIELD CONDITIONS.
4. THE GENERAL CONTRACTOR SHALL MAINTAIN ON SITE DRAINAGE AWAY FROM FOOTING TRENCHES AND SHALL PROVIDE POSITIVE SLOPES AWAY FROM THE BUILDING AND DRIVEWAY. BUT UNDER NO CIRCUMSTANCES CAUSE ADDITIONAL DRAINAGE OR EROSION TO ADJACENT PROPERTIES. PROVIDE TEMPORARY DIVERSIONS AS NECESSARY.
5. THE GENERAL CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND ALL ON SITE VEGETATION AND TREES OUTSIDE THE BUILDING FOOTPRINT FROM ANY HAZARD OR OTHER CONDITIONS RELATED TO CONSTRUCTION ACTIVITIES DURING THE ENTIRE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE PROTECTION FROM ANY HAZARD OR OTHER CONDITIONS THAT MAY AFFECT THE HOUSE LOCATION ON ANY SIGNIFICANT FEATURES. THE PROTECTION SHALL BE COORDINATED WITH THE ARCHITECT & LANDSCAPE DESIGNER PRIOR TO INSTALLATION. PROVIDE A FENCED TREE PROTECTION ZONE AROUND SIGNIFICANT AND PROTECTED TREES REMAINING. NO PARKING OR STORAGE OF MATERIALS, EQUIPMENT, OR TRUCKS SHALL BE PERMITTED UNDER THIS CANOPY ON OR TOP OF TREE ROOTS. MEET ON SITE WITH ARCHITECT & DESIGNER TO DETERMINE SPECIFIC TREES TO PROTECT PRIOR TO ANY SITE WORK & TO IDENTIFY BOUNDARY OF CONTRACTOR'S STORAGE & MATERIALS STORAGE AREA & EMPLOYEE PARKING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE SITE CLEAN & ORDERLY EACH & EVERY DAY & IN NO CIRCUMSTANCE IS TRUCK OR EQUIPMENT ALLOWED TO REMAIN IN VIEW OR OUTSIDE OF SECURE CONTAINER. THE PORT-O-LET & DUMPSTERS & TRAILER CONTAINERS MUST BE PLACED IN AN AREA APPROVED TO BOTH THE OWNER & NEIGHBORS AGENCY. THEY MAY NOT BE ALLOWED TO OVERFLOW OR BECOME AN OBSTACLE ON STREETS AND SHALL BE REMOVED REGULARLY.
6. THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES & METHODS TO PREVENT SITE EROSION & SHALL DRAINAGE IN A NATURAL FLOW DIRECTION TO COLLECTION AREAS. NO EROSION CONTROL, MULCH, COVER, MATS, CONSTRUCTION DERRAMA, WASHOUT, OR CLEANING OPERATIONS SHALL BE ALLOWED OFF SITE OR ALLOWED TO FLOW OFF-SITE. INSTALL FENCING ON OTHER EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING CONDITION, SEE CIVIL.
7. THE LOCATION OF ANY EXISTING AND PROPOSED SITE UTILITIES AND SERVICE SETBACKS & ROUTES SHALL BE DETERMINED ON SITE WITH THE OWNER PRIOR TO ANY WORK BEING PERFORMED. LOCAL UTILITY REPRESENTATIVES SHALL BE INFORMED AND SHALL MARK AND APPROVE ALL UTILITY WORK BEING PERFORMED. PROVIDE UNDERGROUND SERVICES TO FULLY EXTENT POSSIBLE AS AGREED TO THE OWNER. SEE MEP DRAWINGS.



White Street
50' (R)W - Plat
60' (R)W - Field

PROPOSED ARCHITECTURAL SITE PLAN
SCALE 1/8" = 1'-0"

T.S. NEAL
ARCHITECT INC.
3887A OVERSEAS HWY
CULVER HWY, FL.
83042
305-840-8887
351-422-8547

JOHN LINDLE
1617 WHITE ST.
KEY WEST, FL 33040

DRAWING TITLE:
PROPOSED ARCHITECTURAL
SITE PLAN
DRAWN: TSN
CHECKED: TSN
DATE: 03-08-2021

A1.0
SHEET 0

TSH
T.S. NEAL ARCHITECT INC

TIMOTHY BETH NEAL, P.L.A. REGISTRATION # AR57908



T.S. NEAL
ARCHITECT INC.
22574 OVERSEA HWY
LUDLOW KY, FL
32084
786-340-8827
351-423-8547



JOHN LINDLE
1617 WHITE ST.
KEY WEST, FL 33040

DRAWING TITLE:
FLOOR PLAN, ELEVATIONS,
SECTION, & NOTES

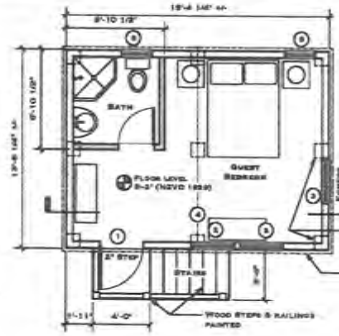
DRAWN: TSN
CHECKED: TSN
DATE: 05-28-2021

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SHEET #



WALL NOTES:

- 15# TYR. WALLS INTERIOR FINISH
- 8# TYR. BS. & TYR. GELLING FINISH
- 15# MOISTURE RESISTANT DRY. BS. & BATHROOM WALLS
- 8# TYR. MOISTURE RESISTANT DRY. BS. & BATHROOM GELLING
- 8# TYR. GELTAC BS. W/ LIQUID APPLIED WATERPROOF MEMBRANE
- 15# TYR. & BRICKER WALLS, VERIFY HEIGHT W. OWNER
- 8# TYR. BS. & TYR. BS. W/ INSUL. BATT INSULATION, RODDWOOD, OR EQ. AT INTERIOR WALLS



1 GUEST HOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"

GRAPHIC WALL LEGEND

- NEW 2x4 WOOD FRAMED WALL, SEE WALL NOTES & STRUCTURAL
- EXIST. W/ FRAMED WALL TO REMAIN, SEE WALL NOTES & STRUCTURAL



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOFING NOTES:

PROVIDE METAL ROOFING SYSTEM & ALL REQUIRED COMPONENTS EXCEPT AS SHOWN TO RESIST WINDS UP TO 60-MPH WIND VELOCITY.

REFER STRUCTURAL DRAWINGS FOR WIND PRESSURES AND DESIGN REQUIREMENTS.

INSTALL NEW PEEL & STICK MOISTURE UNDERLAYMENT MT.

VERIFY COMPATIBILITY OF ROOFING AND UNDERLAYMENT WITH MANUFACTURER.

ROOFING MANUFACTURER SHALL CONFIRM THAT METAL ROOFING MEETS ALL TYPICAL CODES REGARDING WINDLIFT & WIND CRITERIA AND ANY OTHER DESIGN OR SPECIFIC CRITERIA APPLICABLE TO THE ROOFING. PROVIDE PER FLA. APPROVAL FOR ROOFING PRODUCT AND INSTALLATION. MANUFACTURER INSTALLATION INSTRUCTIONS & RECOMMENDATION SHALL BE STRICTLY ADHERED TO.

ROOFING MANUFACTURER SHALL SUPPLY ALL PRODUCTS & COMPONENTS INCLUDING BUT NOT LIMITED TO FLASHING, TRIM, METEOR CORNERS, FLASHINGS, HEADLATH, ETC. COMPATIBLE WITH ROOFING SYSTEM FOR A COMPLETE AND WEATHER-TIGHT ROOFING SYSTEM INSTALLED IN A PUNCTURE-RESISTANT MANNER. PROVIDE FLASHING AND TRIM AS PER MANUFACTURER'S RECOMMENDATIONS AND SEAMAN'S STANDARD MANUAL DETAILS.

PROVIDE 30 YEAR MINIMUM FINISH WEATHERRESISTANCE & CORROSION WARRANTY.

PROVIDE CONTINUOUS INSULATION, R-30 MIN.

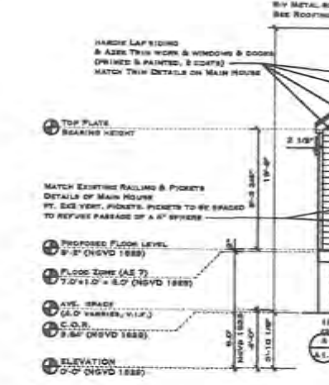
FINISH NOTES:

- CONTRACTOR VERIFY ALL FINISH SELECTIONS (DOOR, COUNTERTOPS, TILE FLOORS & SHOWERS, CABINETS & CLOSET HARDWARE, ETC.) WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- ALL TILEWORK AND MOUNTING PROFILES AND FINISHES AS SELECTED BY OWNER & CONTRACTOR, SEE DETAIL FOR REFERENCE AS BASIS FOR FINISHES.
- ALL PLUMBING FIXTURES, DECORATIVE LIGHT FIXTURES/LAMP APPLIANCES AS SELECTED BY OWNER & CONTRACTOR INSTALLED.
- CABINETS DESIGN BY OTHERS, PLAN LAYOUT FOR REFERENCED ONLY.
- CONTRACTOR TO VERIFY CLOSET SHELVING AND ROOF CONSTRUCTION WITH OWNER.
- CONTRACTOR TO PAINT ENTIRE INSIDE EXTERIOR WITH APPROXIMATE COLOR SELECTIONS EG. TO SIMULATE NOISE ON EXTERIOR WALLING.
- VERIFY EACH FINISH FLOOR MATERIAL WITH THE OWNER AND DESIGNER FOR SPECIFIC TYPES.
- PROVIDE SOUND BATT INSULATION (EQUAL TO ROOF/CEILING) AT INTERIOR WALLS FOR NOISE. INSULATE ALL EXTERIOR WALLS R-15 MIN. & BIRD STOPS OVER BATTERY PANS AT ROOF LINE, AND R-15 CLOSED CELL FOAM AT FLOOR. INSULATION TO MEET THERMAL BARRIER, FLAME SPREAD AND SMOKE RADIATION REQUIREMENTS PER IBC CODE & NATIONAL TEST PROCEDURES.
- PROVIDE MOISTURE RESISTANT BRIMS AT ALL WET AREAS. PROVIDE CORNER CORNER BOARD ON WETROOMS AND BATHS. TILE AREA ON EXTERIOR BATHS FOR BATHS. CONTIGUOUS BATHS OF TILE WITH THE OWNER'S DESIGNER. PROVIDE TILE AROUND ALL TUB & SHOWERS UP TO 8" MIN. UNLESS INDICATED OTHERWISE. ALL TILE AT FLOOR AND WALL SHALL BE INSTALLED PER TMA. MANUFACTURER'S RECOMMENDATIONS. USE EPOXY GROUT, BANNED GROUT AT JOINTS LARGER THAN 1/8" AND UNBANNED FOR 1/8" AND SMALLER. VERIFY ALL GROUT/COLOR SELECTIONS WITH OWNER.
- GENERAL CONTRACTOR AND PAINTING SUB CONTRACTOR SHALL COMPLY WITH THE OWNER FOR EXACT LOCATIONS OF WALLCOVERINGS AND SPECIAL WALL MOUNTED ITEMS THAT SHALL REQUIRE WALL SURFACE PREPARATION OR SPECIAL BLINDING FOR PROTECT. THE PAINTING SUB CONTRACTOR SHALL PROTECT WALLS PRIOR TO ANY WORK SURFACES TO RECEIVE WALL COVERINGS WITH PLASTER SURFACES TO RECEIVE WALL COVERINGS NOTED AND APPROVED.

DOOR & WINDOW PRESSURES

Ultimate Wind Speed: 130 mph, Normal Wind Speed: 70 mph, Wind Exposure: D

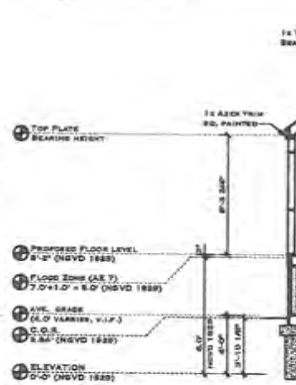
Item	Description	Area (sq. ft.)	Wind Speed (mph)	Pressure (psf)	Force (kips)
1	Roof Wind Area	30.8	130	48.8	+15.9 kips, -41.7 psf
2	Wind Wall	30.8	130	51.8	+12.7 kips, -48.3 psf
3	Wind Wall	30.8	130	47.8	+13.5 kips, -41.5 psf
4	Wind Wall	27.8	130	48.8	+14.8 kips, -45.3 psf
5	Wind Wall	21.8	130	48.8	+14.0 kips, -72.2 psf



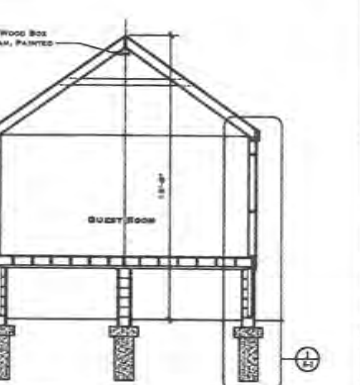
3 GUEST HOUSE FRONT ELEVATION
SCALE: 1/8" = 1'-0"



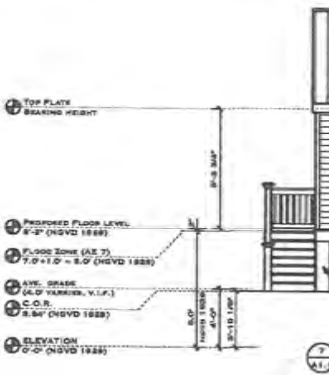
4 GUEST HOUSE SECTION
SCALE: 1/8" = 1'-0"



5 NORTHWEST SIDE ELEVATION
SCALE: 1/8" = 1'-0"

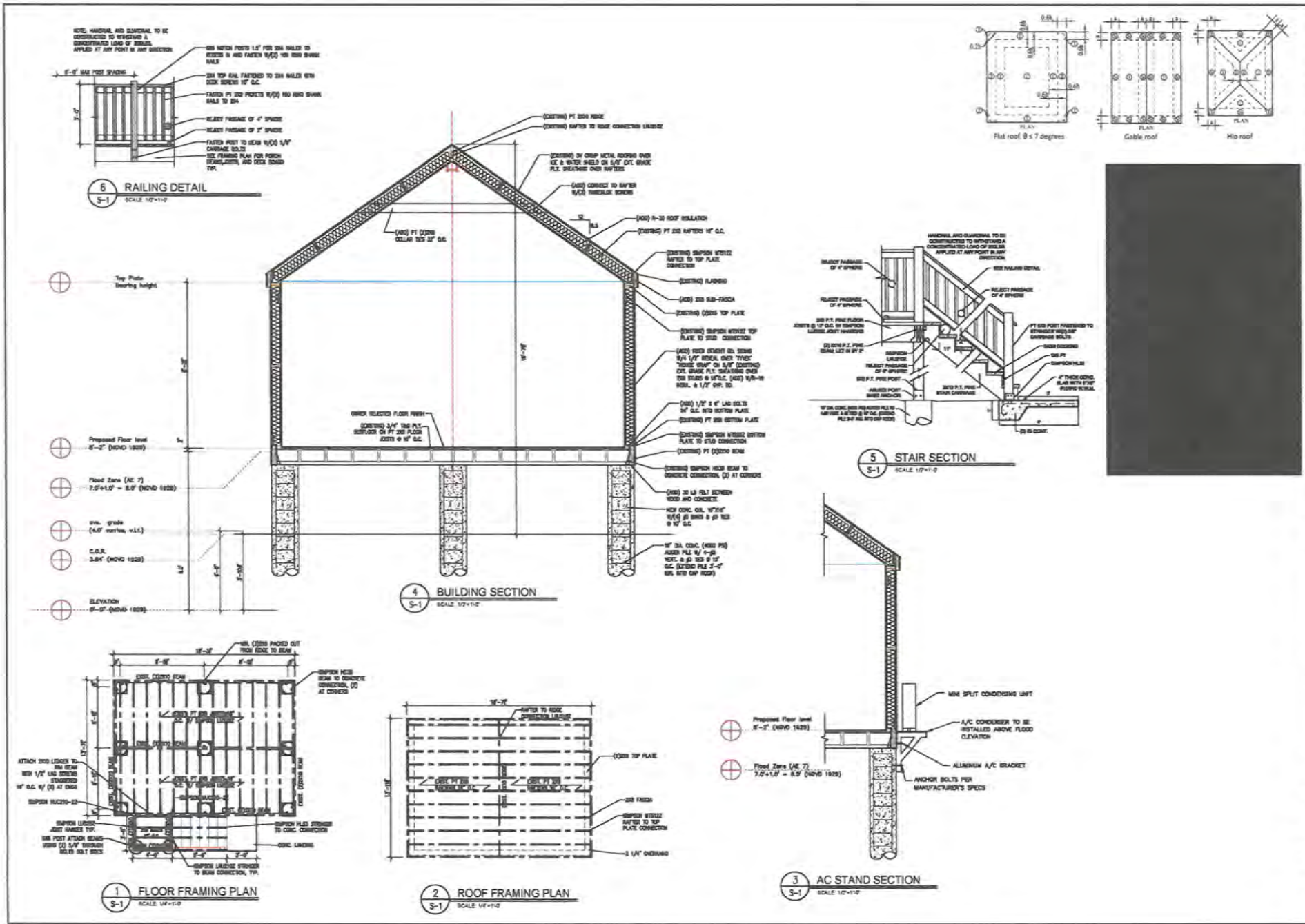


6 GUEST HOUSE BACK ELEVATION
SCALE: 1/8" = 1'-0"



7 SOUTHEAST SIDE ELEVATION
SCALE: 1/8" = 1'-0"

Exhibit "B"



REV	DATE	REVISION

T.S. Neal
Architect Inc.
2374 Greenway
Cudahy, MI, 48243
313-240-8827
313-420-5547

Reynolds Engineering Services, Inc.
Fl. C.A. No. 26597
24478 Overseas Highway
Summerville Key, FL 33042
305-394-5987
jim@reynoldsengeering.com

ACCESSORY UNIT
FOR
STEEL CITY MOTOTRS LLC
1617 WHITE STREET, KEY WEST, FL



James C. Reynolds, PE
24478 Overseas Highway
Summerville Key, FL 33042
Tel: 305-394-5987
FLA. REG. NO. 12430
STRUCTURAL PLAN
Sheet **S-1**
Date: 08/2021

Site Visit

Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



Exhibit "B"



**Additional
Information**

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00059580-000200
 Account# 8632959
 Property ID 8632959
 Millage Group 10KW
 Location 1617 WHITE St, KEY WEST
 Address
 Legal Description KW PT TR 28 .24AC (100.5FT X 125FT) G31-455 G39-130 OR18-419/420 OR18-421/22 OR84-414 OR450-364 OR496-796 OR507-512 OR615-3 OR855-1060 OR855-1061 OR1050-1524/25 OR1372-2404/05 OR1460-853/54 OR1696-1272 OR2744-219/21 OR2756-1699/702C OR2961-1528 OR3018-0650
 (Note: Not to be used on legal documents.)
 Neighborhood 6131
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

STEEL CITY MOTOTRS LLC
 9925 Jourdan Way
 Dallas TX 75230

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$1,766,936	\$1,692,481	\$1,649,863	\$1,687,360
+ Market Misc Value	\$70,065	\$71,785	\$109,563	\$112,563
+ Market Land Value	\$862,577	\$933,152	\$1,098,267	\$983,164
= Just Market Value	\$2,699,578	\$2,697,418	\$2,857,693	\$2,783,087
= Total Assessed Value	\$2,699,578	\$2,153,389	\$2,670,252	\$2,615,331
- School Exempt Value	\$0	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$2,699,578	\$2,128,389	\$2,645,252	\$2,590,331

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	12,447.00	Square Foot	0	0

Buildings

Building ID 32691
 Style 2 STORY ELEV FOUNDATION
 Building Type S.F.R. - R1 / R1
 Gross Sq Ft 6461
 Finished Sq Ft 3252
 Stories 2 Floor
 Condition GOOD
 Perimeter 489
 Functional Obs 0
 Economic Obs 0
 Depreciation % 3
 Interior Walls WALL BD/WD WAL

Exterior Walls CUSTOM
 Year Built 1983
 EffectiveYearBuilt 2016
 Foundation WD CONC PADS
 Roof Type IRR/CUSTOM
 Roof Coverage METAL
 Flooring Type SFT/HD WD
 Heating Type FCD/AIR DUCTED with 0% NONE
 Bedrooms 4
 Full Bathrooms 3
 Half Bathrooms 1
 Grade 700
 Number of Fire PI 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	1,040	0	264
DCF	F DET CARPORT	320	0	72
FLA	FLOOR LIV AREA	3,252	3,252	489
OPU	OP PR UNFIN LL	1,717	0	210
OUU	OP PR UNFIN UL	102	0	44
OPF	OP PRCH FIN LL	12	0	14
SBF	UTIL FIN BLK	18	0	18
TOTAL		6,461	3,252	1,111

Exhibit "B"

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1987	1988	1	822 SF	2
BRICK PATIO	1995	1996	1	1585 SF	2
WROUGHT IRON	1997	1998	1	774 SF	1
TIKI	2002	2003	1	120 SF	5
CUSTOM PATIO	2002	2003	1	288 SF	4
FENCES	2002	2003	1	720 SF	2
CUSTOM POOL	2003	2002	1	375 SF	3
WATER FEATURE	2002	2003	1	1 UT	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
4/6/2020	\$3,285,000	Warranty Deed	2263267	3018	0650	01 - Qualified	Improved
4/29/2019	\$3,285,000	Warranty Deed	2217864	2961	1528	01 - Qualified	Improved
8/12/2015	\$0	Warranty Deed		2756	1699	11 - Unqualified	Improved
5/23/2015	\$3,005,300	Warranty Deed		2744	219	02 - Qualified	Improved
6/1/1997	\$1,050,000	Warranty Deed		1460	0853	Q - Qualified	Improved
10/1/1995	\$825,000	Warranty Deed		1372	2404	U - Unqualified	Improved
5/1/1982	\$50,000	Warranty Deed		855	1060	Q - Qualified	Vacant

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
15-5062	12/18/2015	3/21/2016	\$36,000	Residential	INSTALL VIC METAL SHINGLES, FLAT, KINSTALL SECONDARY WATER BARRIER
15-3933	9/22/2015	3/21/2016	\$28,000	Residential	
15-3630	9/3/2015	3/21/2016	\$2,200	Residential	AFTER THE FACT** ADD TRELIS ROOF TO EXISTING GAZEBO IN REAR OF HOME.
15-3642	9/3/2015	3/21/2016	\$15,000	Residential	AFTER THE FACT** DECK REPLACEMENT TO BE COMPLETE IN REAR OF HOME AS PER PLANS., REPAIR ONE FRONT STAIR RISER. REPAIR TO EXISTING.
15-3255	8/31/2015	3/21/2016	\$27,000	Residential	KITCHEN CABINETS, TILE HALF BATH, MASTER BEDROOMS, 160 SF FLOORING FIRST FLOOR, 1850 SF BAE BOARD REPAIR/REPLACE 2300 LF.
15-3210	8/4/2015	3/21/2016	\$0	Residential	
15-3227	8/4/2015	3/21/2016	\$1,500	Residential	ATF INSTALL 1 WATER HEATER INSTALL 4 TOILETS, 6 HAND SINKS LAVS, & 2 SHOWERS
15-3231	8/4/2015	3/21/2016	\$7,500	Residential	REMODEL KITCHEN REPLACE SWITCHES RECEPS, REPLACE PANEL AT KITCHEN
15-2239	6/12/2015	3/16/2016	\$5,000	Residential	REMODEL OF KITCHEN 2-3 BATHROOMS, TILE AND HARD WOOD FLOOR. (NO FRAMING TO BE REMOVED) NOTE: DEMOLITION ONLY PER E.C.
13-2095	5/10/2013	12/13/2013	\$3,728	Residential	CHANGE OUT A 2 TON A/C SYSTEM USING EXISTING ELECTRICAL.
12-2149	6/8/2012	12/13/2013	\$2,100	Residential	RE INSTALL NEW DECKING 14x14 DUE TO WATER LEAK IN ROOF
08-4257	11/17/2008	12/13/2008	\$650	Residential	EMERGENCY 200 AMP METER CAN REPLACEMENT. METER CAN IS BURNT, DISCONNECT BY KEYS ENERGY.
04-3009	9/15/2004	12/15/2004	\$3,100	Residential	METAL ROOF
04-2252	7/7/2004	12/15/2004	\$500	Residential	relocate pool heater
00-2421	8/18/2000	12/12/2000	\$100	Residential	ELECTRICAL
9702286	7/28/1999	12/31/1998	\$150,000	Residential	RENOVATIONS/ADDITIONS
9703434	10/10/1997	12/31/1998	\$6,700	Residential	RETILE,REPLASTER POOL
9702735	8/14/1997	12/31/1998	\$3,000	Residential	CENTRAL AC
9702699	8/12/1997	12/31/1998	\$7,351	Residential	ROOFING
9702392	7/16/1997	12/31/1998	\$5,000	Residential	DEMO/RENOVATIONS
9600389	1/1/1996	8/1/1996	\$3,000	Residential	RENOVATIONS
B953627	10/1/1995	12/1/1995	\$1,500	Residential	INSULATE CEILING
E953561	10/1/1995	12/1/1995	\$2,113	Residential	ALARM SYSTEM
B940551	2/1/1994	12/1/1994	\$1,000	Residential	ADD BAY ADDITION

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Exhibit "B"

Photos



Map



TRIM Notice

[2020 TRIM Notice\(PDF\)](#)

2020 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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 Schneider
GEOSPATIAL

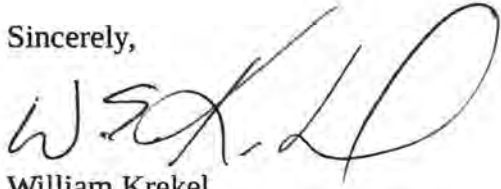
[Version 2.3.93](#)

Exhibit "B"

To the City of Key West Planning Board:

My name is William Krekel and I live at 1601 White Street. I am the next-door neighbor of John and Gretchen Lindle who live at 1617 White Street. I have discussed the proposed guest cottage and variance application submitted by John and Gretchen. I have no objections and support the proposed project and variance.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. Krekel', written in a cursive style.

William Krekel

Exhibit "B"

To the City of Key West Planning Board:

My name is Diana Krekel and I live at 1601 White Street. I am the next-door neighbor of John and Gretchen Lindle who live at 1617 White Street. I have discussed the proposed guest cottage and variance application submitted by John and Gretchen. I have no objections and support the proposed project and variance.

Sincerely,

A handwritten signature in black ink, appearing to read 'D Krekel', written in a cursive style.

Diana Krekel

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

Through: Katie P. Halloran, Planning Director

From: Melissa Paul-Leto, Planner I

Meeting Date: July 15, 2021

Agenda Item: **Variance – 1617 White Street (RE# 00059580-000200)** – A request for variances to the maximum building coverage and the maximum impervious surface ratio in order to demolish an existing shed and construct an accessory guest cottage on property located within the Single Family (SF) zoning district pursuant to Sections 90-395, 122-238(4) a., and 122-238(4)b.1., of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

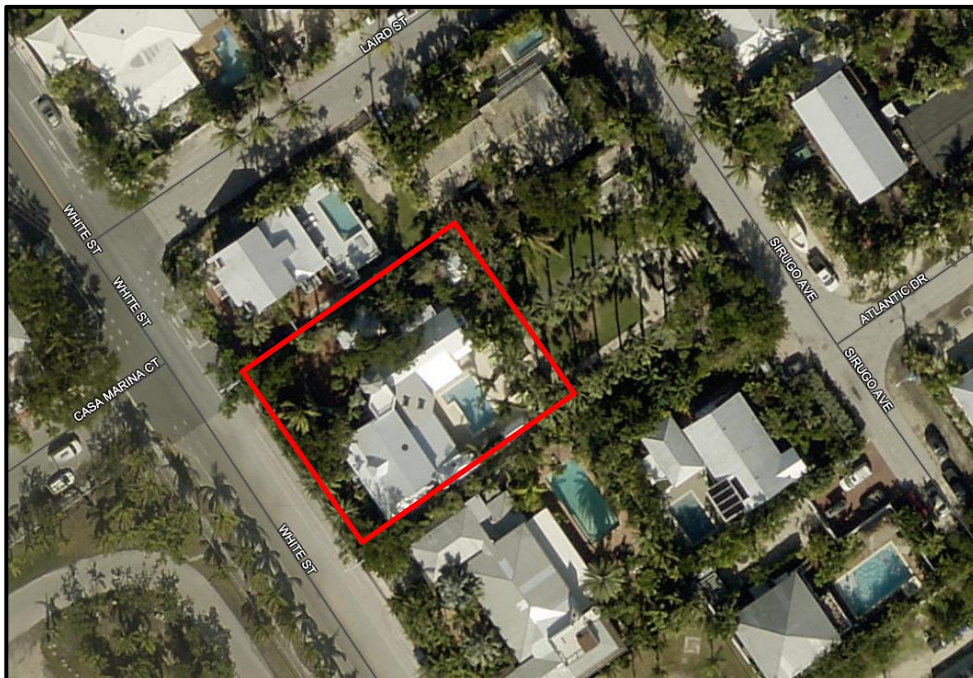
Request: The applicant is proposing to complete construction of an accessory structure.

Applicant: Van D. Fisher, Esquire/VDF Law, PLLC

Property Owner: Steel City Motors LLC

Location: 1617 White Street (RE# 00059580-000200)

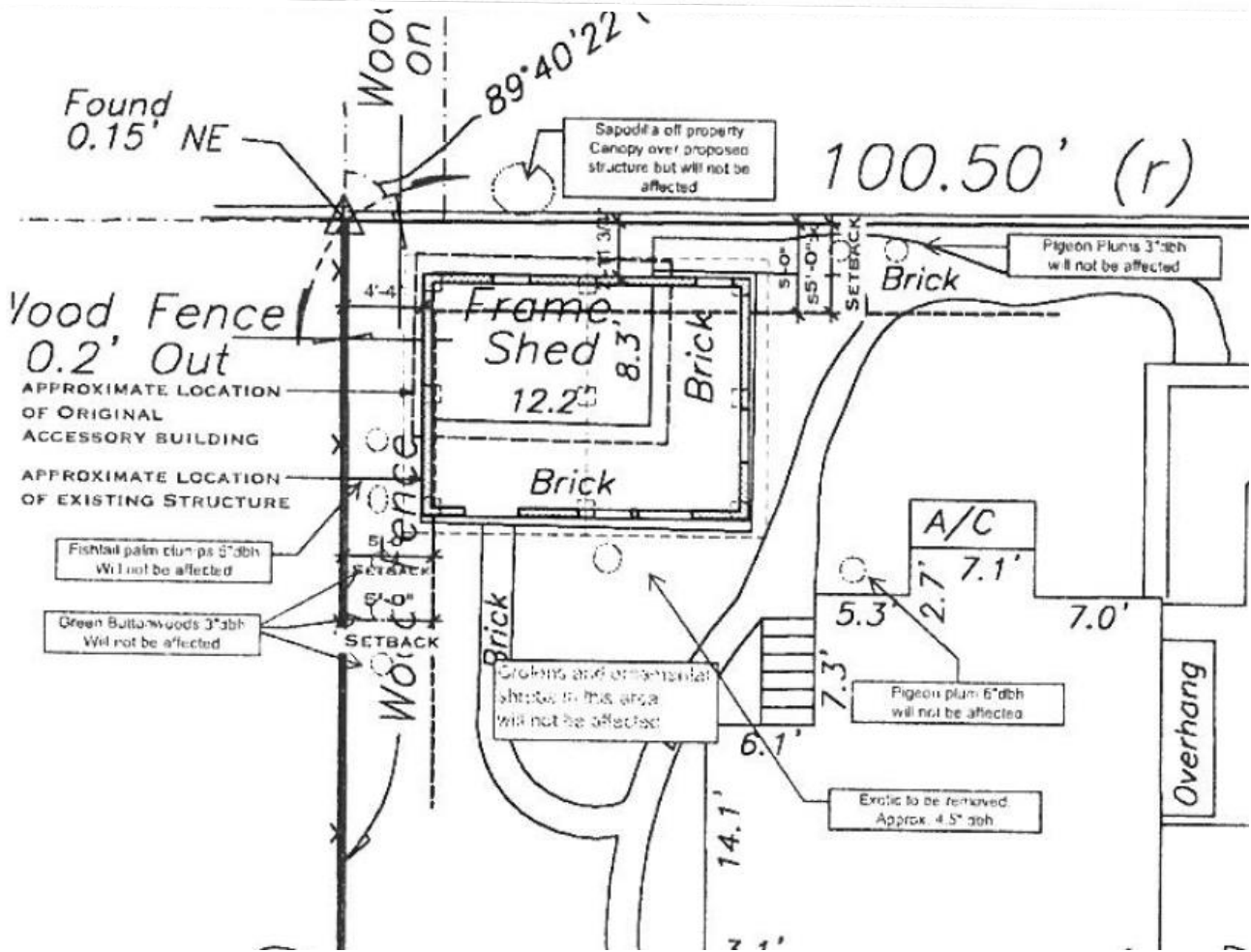
Zoning: Single Family (SF) zoning district



Background/Request:

The subject property is located near the corner of Laird Street and White Street, facing White Street. The parcel size is 12,440 square feet and is one lot of record. The lot includes the following: a two-story framed house with attached open porches, three sheds, a pool, pool equipment, two separate ac equipment locations, a brick driveway, and a carport.

The property owner received a code violation on November 5, 2020 for unpermitted construction on the existing shed. Construction has paused so the applicant may apply for variances. The rear and side setbacks to the shed are existing non-conformities. However, the property owner expanded the shed's footprint into the brick areas depicted on the plan without building permits or planning approval. The total square footage of the shed currently is 265 square feet, prior to renovations, the shed was 101.26 square feet.

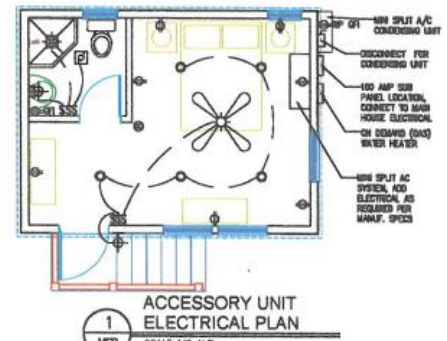
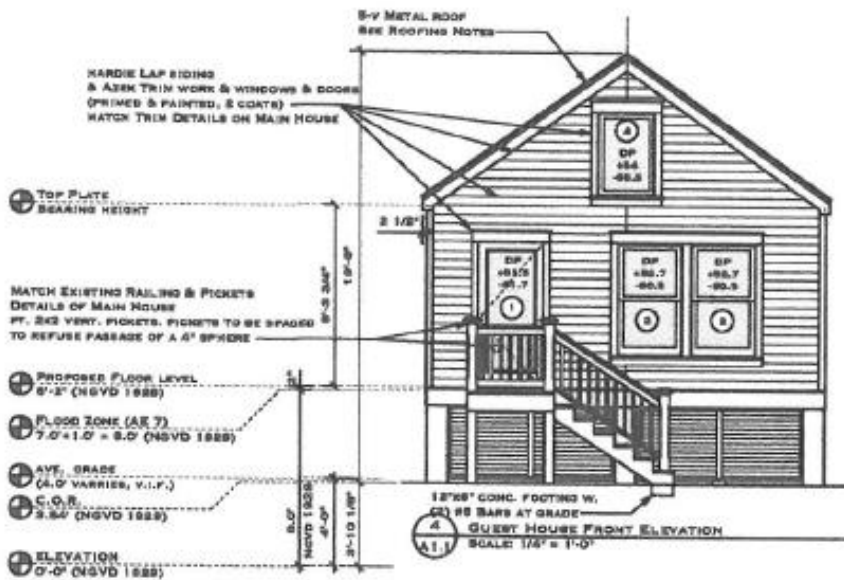


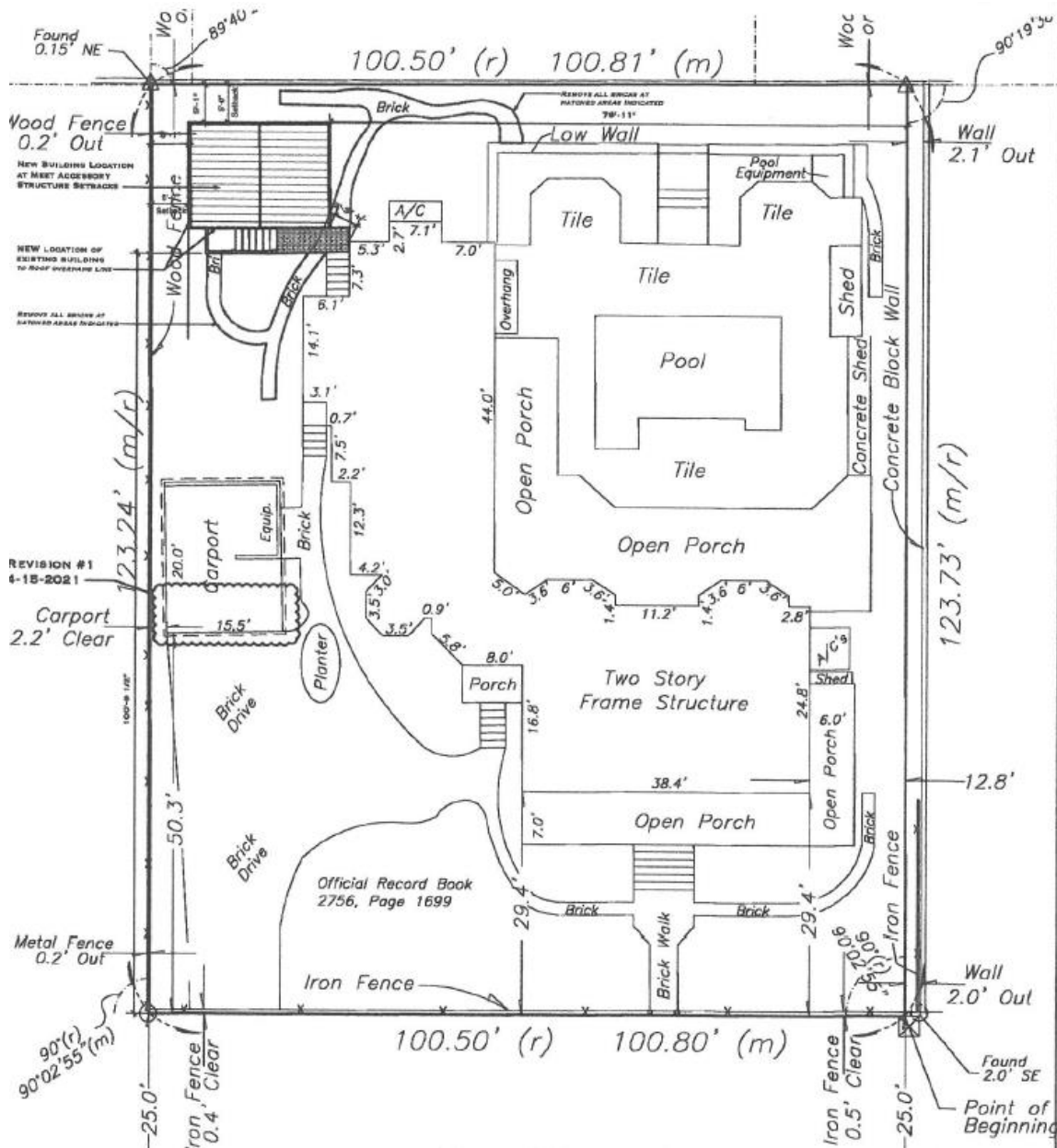
Existing site plan – close-up of existing shed with expanded footprint



Site visit June 22, 2021 - photo of the subject accessory structure

The proposed plan and application indicate the property owner will be converting the shed into a habitable accessory structure. The structure will be relocated to conform with all accessory structure setbacks and will be elevated to meet FEMA requirements.





1617 White Street – Proposed site Plan

The applicant is proposing to complete construction on a 265 square foot accessory structure, relocate the structure and elevate it closer to the two-story principal structure at 1617 White Street. Based on the plans submitted, the proposed design would require variances to the following dimensional requirements:

- The required maximum building coverage in the (SF) zoning district is 35%, or 4,354 square feet. The existing building coverage is 34.5%, or 4,299 square feet. The applicant is proposing 35.6%, or 4,439 square feet.
- The required maximum impervious surface ratio in the (SF) zoning district is 50%, or 6,220 square feet. The existing impervious surface ratio is 61.9%, or 7,709 square feet. The applicant is proposing 61.7%, or 7,668 square feet.

Relevant SF Zoning District Dimensional Requirements: Code Section 122-238				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Flood Zone	AE-7			
Maximum Height	25 feet plus an additional 5 feet for no habitable purposes if the structure has a pitched roof.	N/A	19 feet 8 inches (accessory structure)	In compliance
Minimum Lot Size	6,000 SF	12,440 SF	12,440 SF	In compliance
Maximum Building Coverage	35 % 4,354 SF	34.5 % 4,299 SF	35.6 % 4,439SF	Variance Required +85 SF
Maximum Impervious Surface Ratio	50 % 6,220 SF	61.9 % 7,709 SF	61.7 % 7,668 SF	Variance Required +1,448 SF
Minimum Open Space	35 % 4,354 SF	38 % 4,731 SF	38.8 % 4,757 SF	In compliance
Minimum Front Yard Setback	30 feet or the average depth of front yards on developed lots within 100 feet each side, but not less than 20 feet	N/A	100 feet 9 ½ inches (accessory structure)	In compliance
Minimum N.E. Side Yard Setback	5 feet	4 feet 4 inches (accessory structure)	5 feet 1 inch (accessory structure)	In compliance
Minimum S.W. Side Yard Setback	5 feet	N/A	76 feet 11 inches (accessory structure)	In compliance
Minimum Rear Yard Setback	5 feet (accessory structure)	2 feet 11 ¾ inches (accessory structure)	5 feet 1 inch (accessory structure)	In compliance

Process:

Planning Board Meeting:	July 15, 2021
Local Appeal Period:	30 days
DEO Review Period:	up to 45 days

Analysis – Evaluation for Compliance with the Land Development Regulations:

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all the following:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.***

The existing dimensions and size of the parcel as well as the structures pre-date the dimensional requirements of the current Land Development Regulations, and therefore were legally non-conforming in the SF zoning district. However, the minimum parcel size in the SF zoning district is 6,000 square feet whereas, the subject property has a lot size of 12,440 square feet. Therefore, there are no special conditions or circumstances.

NOT IN COMPLIANCE

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.***

The variance request is a result of the actions of the applicant enlarging an existing shed without building permits, proposing to convert it to a habitable accessory structure, proposing to relocate it to comply with the accessory structure minimum setbacks and proposing to elevate it to conform with FEMA requirements.

NOT IN COMPLIANCE

- 3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district.***

The property currently is nonconforming with the minimum side yard setback, minimum rear yard setback, and maximum impervious surface. The proposed design for the accessory structure would conform with the minimum side and rear yard setbacks. However, the maximum building coverage is increasing, and impervious surface is still non-conforming. A habitable accessory structure is not a requirement in the SF zoning district.

NOT IN COMPLIANCE

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.***

Denial of the requested variance would not deprive the applicant of rights commonly enjoyed by other properties in the SF zoning district. The applicant is proposing to further increase the maximum building coverage and is still non-conforming with the maximum impervious surface in order to have an enlarged accessory structure. Therefore, hardship conditions do not exist.

NOT IN COMPLIANCE

5. ***Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.***

The Variance request is not the minimum required that will make possible the reasonable use of the land, building, or structure.

NOT IN COMPLIANCE

6. ***Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.***

Due to not following all the standards for considering variances, the granting of the requested variances may be injurious to the area involved and otherwise detrimental to the public interest.

NOT IN COMPLIANCE

7. ***Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.***

Existing non-conforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

IN COMPLIANCE

Concurrency Facilities and Other Utilities or Service (Section 108-233):

It does not appear that the requested variance will trigger any public facility capacity issues.

The Planning Board shall make factual findings regarding the following:

That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.

The standards established by Section 90-395 of the City Code have been fully met by the applicant for the variances requested.

That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

The Planning Department has received no public comments for the variance requests as of the date of this report.

Pursuant to Code Section 90-392, in granting such application the Planning Board must make specific affirmative findings respecting each of the matters specified in Code Section 90-394.

The planning board shall not grant a variance to permit a use not permitted by right or as a conditional use in the zoning district involved or any use expressly or by implication prohibited by the terms of the ordinance in the zoning district.

No use not permitted by right or as a conditional use in the zoning district involved or any use expressly or by implication prohibited by the terms of the ordinance in the zoning district would be permitted.

No nonconforming use of neighboring lands, structures, or buildings in the same zoning district and no permitted use of lands, structures, or buildings in other zoning districts shall be considered grounds for the authorization of a variance.

No such grounds were considered.

No variance shall be granted that increases or has the effect of increasing density or intensity of a use beyond that permitted by the comprehensive plan or these LDRs.

No density or intensity of a use would be increased beyond that permitted by the comprehensive plan or these LDRs.

RECOMMENDATION:

Based on the criteria established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the request for variances be **denied**.

If Planning Board chooses to approve the request for variances, then staff suggests the following condition:

1. The proposed design shall be consistent with the plans dated, February 3, 2021 by T.S. Neal, Architect Inc.