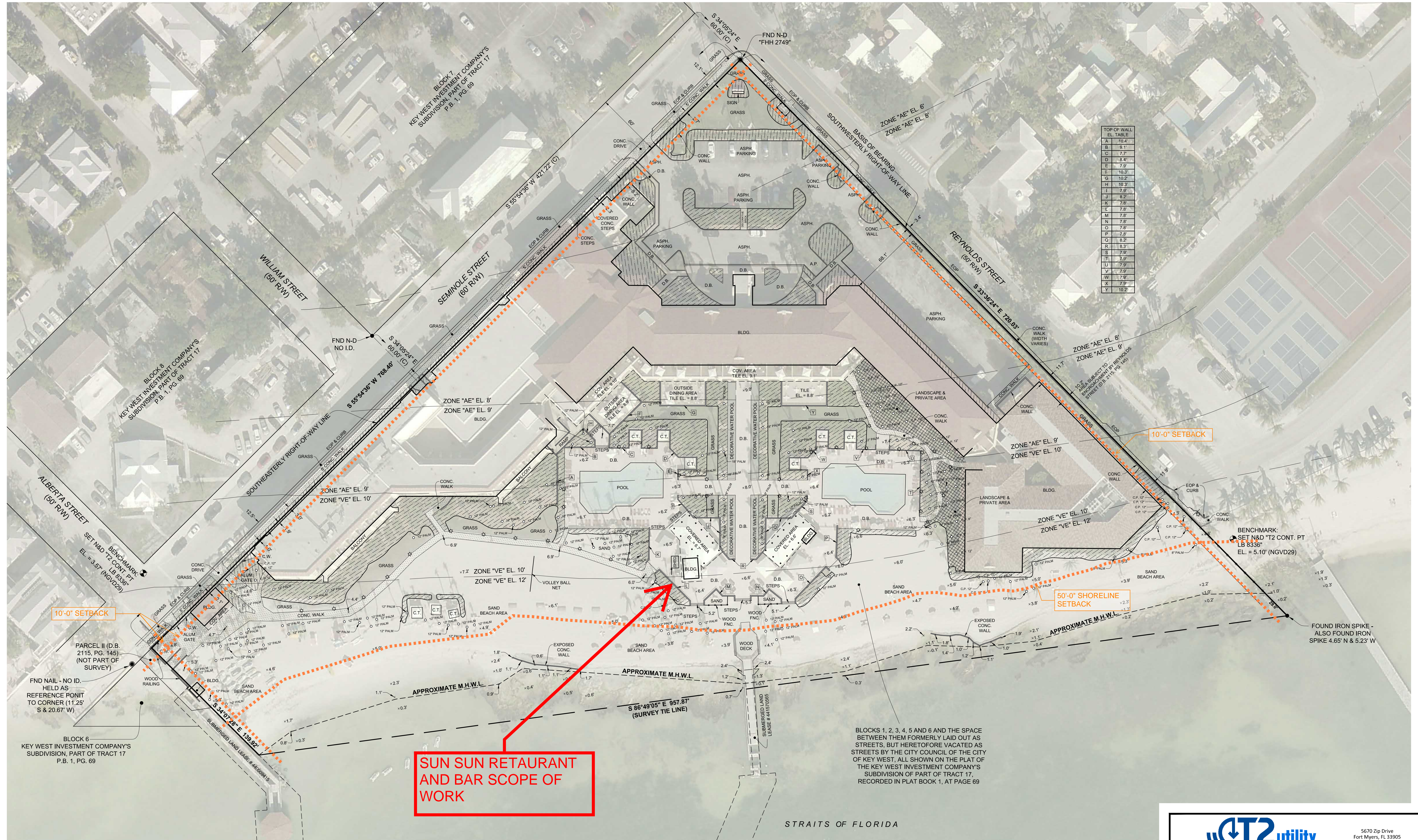
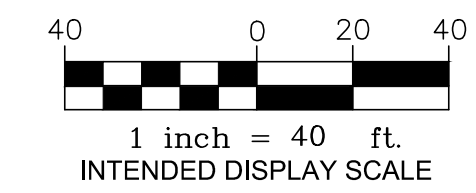


CASA MARINA RESORT SUN SUN SITE DATA TABLE

SCOPE:		The proposed project is for the alteration of the existing 1 story building for an outdoor pool and dining area in the Casa Marina Hotel property. The renovated West building will contain a kitchen and storage space while the east building will contain a ground floor bar and an upper roof bar.		
GENERAL SITE DATA				
PROPERTY DATA:				
	PROPERTY STREET ADDRESS:	1500 Reynolds St, Key West, FL 33040		
	PARCEL ID:	37160.0001		
	ZONING DISTRICT:	INC		
	LAND AREA OF PARCEL:	137,761,984.80		
DEVELOPMENT:		ZONING CODE	PROPOSED	
	MAXIMUM IMPERVIOUS AREA OF PROPERTY:	MINIMUM 20% OPEN SPACE REQUIRED	EXISTING BUILDING COVERAGE: 85,626 SF EXISTING IMPERVIOUS: 163,134 SF EXISTING PERVIOUS: 145,702 SF *EXISTING CALCS INCLUDE SUITES DECK PROJECT UNCHANGED BUILDING COVERAGE: 85,626 SF UNCHANGED IMPERVIOUS: 163,134 SF UNCHANGED PERVIOUS: 145,702 SF *USING EXISTING CONCRETE DECKING THUS NO CHANGE TO IMPERVIOUS AND PERVIOUS SQUARE FOOTAGE	
	SHORE LINE SET BACK	MINIMUM COASTAL SETBACKS OF 10 TO 20 FEET FROM THE MEAN HIGH TIDE OF MAN MADE WATER BODIES AND/OR LAWFULLY ALTERED SHORELINES OF NATURAL WATER BODIES	20 FEET REQUIRED < 50 FEET PROVIDED	
BUILDING:				
	MAXIMUM BUILDING HEIGHT	35'-0"	WEST BUIDLING: 26'-2" EAST BUILDING: 28'-6"	
	FRONT YARD SETBACK: OCEAN SIDE	0-30'		
	SIDE YARD SETBACK: ADJOINING PROPERTY	10'-0" PRIMARY AND 5'-0" SECONDARY		
	REAR YARD SETBACK	10'-0"		
	LOWEST ADJACENT GRADE	6'-4"		
BUILDING CODE INFORMATION				
PROJECT DATA:				
	PROPOSED USE:	Group A-2		
	GROSS FLOOR AREA:	WEST BUILDING: 2,913SF, EAST BUILDING 2,861SFTOTAL: 5,774 GSF		
	BUILDING BASE FLOOD:	ZONE VE BASE FLOOD ELEVATION EQUALS 10'-0"	LEVEL 3 RENOVATION PER FBC-EB. FLOODPROOFING PROVIDED UP TO DFE OF 11'-0"	ALLOWED BUILDING HEIGHT ABOVE NGVD1929: 41'-4"
	BUILDING BASE FF:	WEST BUILDING 6'-7", EAST BUILDING 6'-6"		
APPLICABLE CODES:				
	2020	FLORIDA BUILDING CODE - EXISTING (FBC-EB)	EXISTING BUILDING	
	2020	FLORIDA BUILDING CODE - BUILDING (FBC-B)	BUILDING	
	2020	FLORIDA BUILDING CODE - MECHANICAL (FBC-M)	MECHANICAL	
	2020	FLORIDA BUILDING CODE - PLUMBING (FBC-P)	PLUMBING	
	2020	FLORIDA BUILDING CODE - ELECTRICAL (FBC-E)	ELECTRICAL	
	2020	FLORIDA BUILDING CODE - ACCESSIBILITY (FBC-A)	ACCESSIBILITY	
	2020	FLORIDA BUILDING CODE - ENERGY CONSERVATION (FBC-EC)	ENERGY CONSERVATION	
	2020	FLORIDA FIRE PREVENTION CODE (FFPC)	FIRE	
		MONROE COUNTY AMENDMENTS	BUILDING	

BOUNDARY AND TOPOGRAPHIC SURVEY

LYING IN KEY WEST
SECTION 5, TOWNSHIP 68 SOUTH, RANGE 25 EAST
MONROE COUNTY, FLORIDA



TOP OF WALL EL. TABLE	
A	10.4'
B	9.1'
C	7.7'
D	8.4'
E	7.9'
F	10.2'
G	10.2'
H	10.2'
I	7.9'
J	8.2'
K	7.5'
L	7.5'
M	7.5'
N	7.5'
O	7.5'
P	7.5'
Q	8.2'
R	8.3'
S	7.5'
T	3.9'
U	7.9'
V	7.9'
W	7.4'
X	7.9'
Y	10.2'

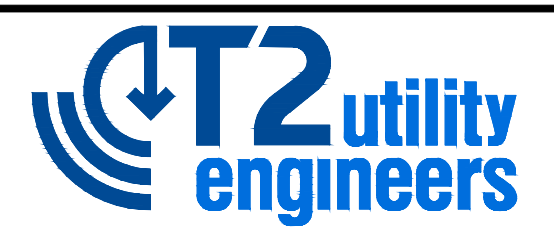
SUN SUN RESTAURANT AND BAR SCOPE OF WORK

BLOCKS 1, 2, 3, 4, 5 AND 6 AND THE SPACE BETWEEN THEM FORMERLY LAID OUT AS STREETS, BUT HERETOFORE VACATED AS STREETS BY THE CITY COUNCIL OF THE CITY OF KEY WEST, ALL SHOWN ON THE PLAT OF THE KEY WEST INVESTMENT COMPANY'S SUBDIVISION OF PART OF TRACT 17, RECORDED IN PLAT BOOK 1, AT PAGE 69

FOR: **K2M DESIGN, INC.**
1160 VIRGINIA STREET
KEY WEST, FLORIDA, 33040

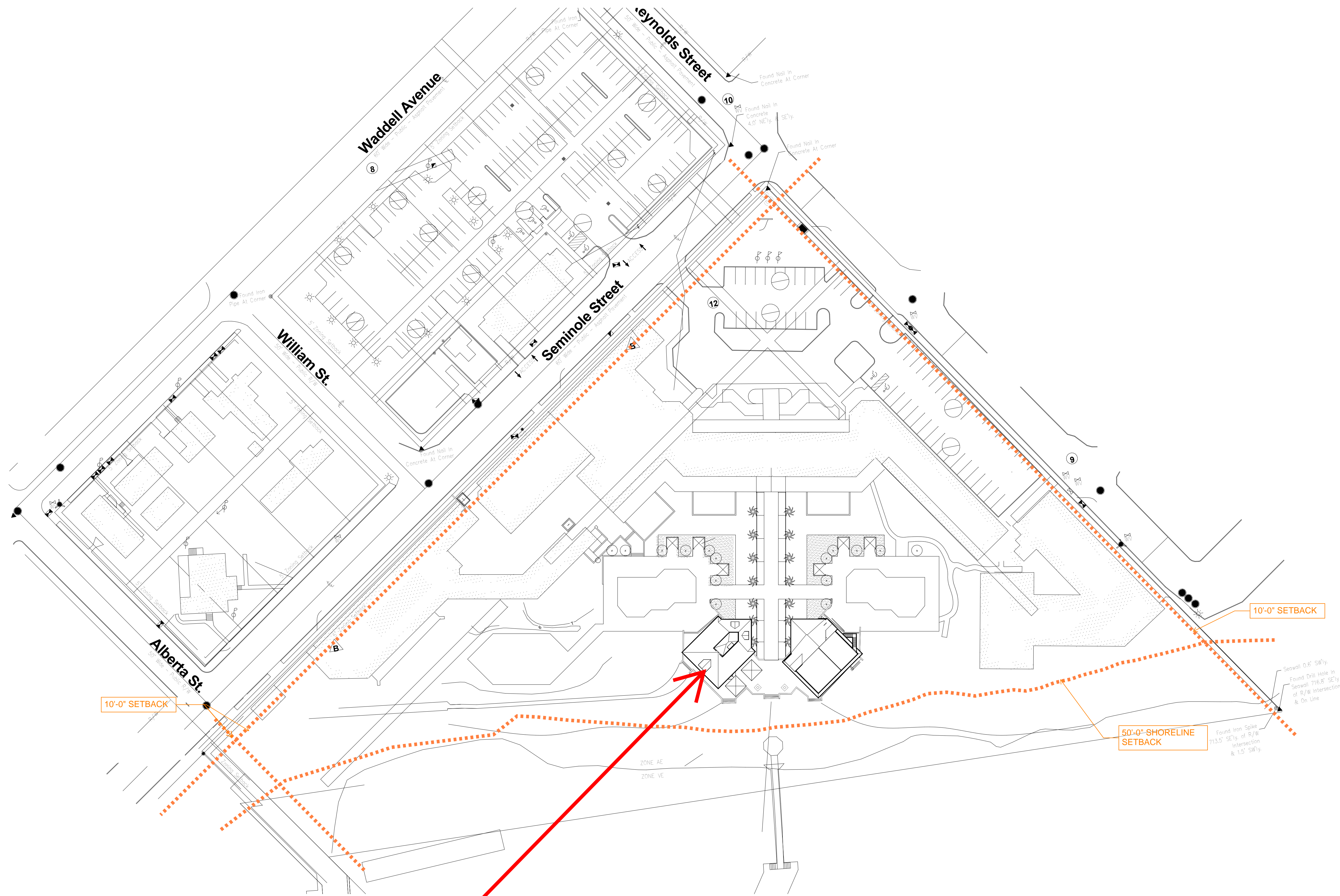
COUNTY:	MONROE	DWG. DATE:	8-3-2022	FOR:
SEC.	5-68-25	SURVEY DATE:	7-12-2022	DATE:
PROJECT NUMBER:	220507	DRAWN BY:	R.J.O.	REVISION:
DWG. NUMBER:	220507 - BNDT	CHECKED BY:	S.U.	

BOUNDARY AND TOPOGRAPHIC SURVEY
LYING IN KEY WEST
SECTION 5, TOWNSHIP 68 SOUTH, RANGE 25 EAST
MONROE COUNTY, FLORIDA



5670 Zip Drive
Fort Myers, FL 33905
Tel: 239.277.0722
Fax: 239.277.7179

PROPOSED SITE PLAN



1 SITE PLAN
SCALE: 1" = 50'-0"

SUN SUN RESTAURANT
AND BAR SCOPE OF
WORK

ARCHITECT:

K2M DESIGN

Architecture, Engineering,
Interior Design,
Facility Asset Management

Key Largo, Florida
Key West, Florida
Marathon, Florida
www.k2mdesign.com
PROF. REG. AA26001059

Building Relationships
Based on Trust and Results

Cleveland | Indianapolis | Key Largo | Key West |
Marathon | Charlotte | Baltimore | Bensenville

Seal:

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

Scott C. Makney, License # AR83161
Expiration Date: 02/28/2025
COA #: AA26001059

Steven S. Grasley, License # F3110
Expiration Date: 02/28/2025
COA #: 30945

NOTE: This item has been digitally signed and sealed. Digital signatures must be verified on electronic files. Reproduced copies of digitally signed, dated, and sealed documents are not considered signed and sealed.

Submissions:

No.	Description	Date

CASA MARINA - REBRANDING
1500 Reynolds St, Key West, FL 33040

SUN SUN BAR AND RESTAURANT RENOVATION

PARK HOTELS & RESORTS
14100 Bonnet Creek Resort Lane, Orlando, FL 32821

Drawing Size 24X36	Project #: 22075
Drawn By: Designer	Checked By: Checker

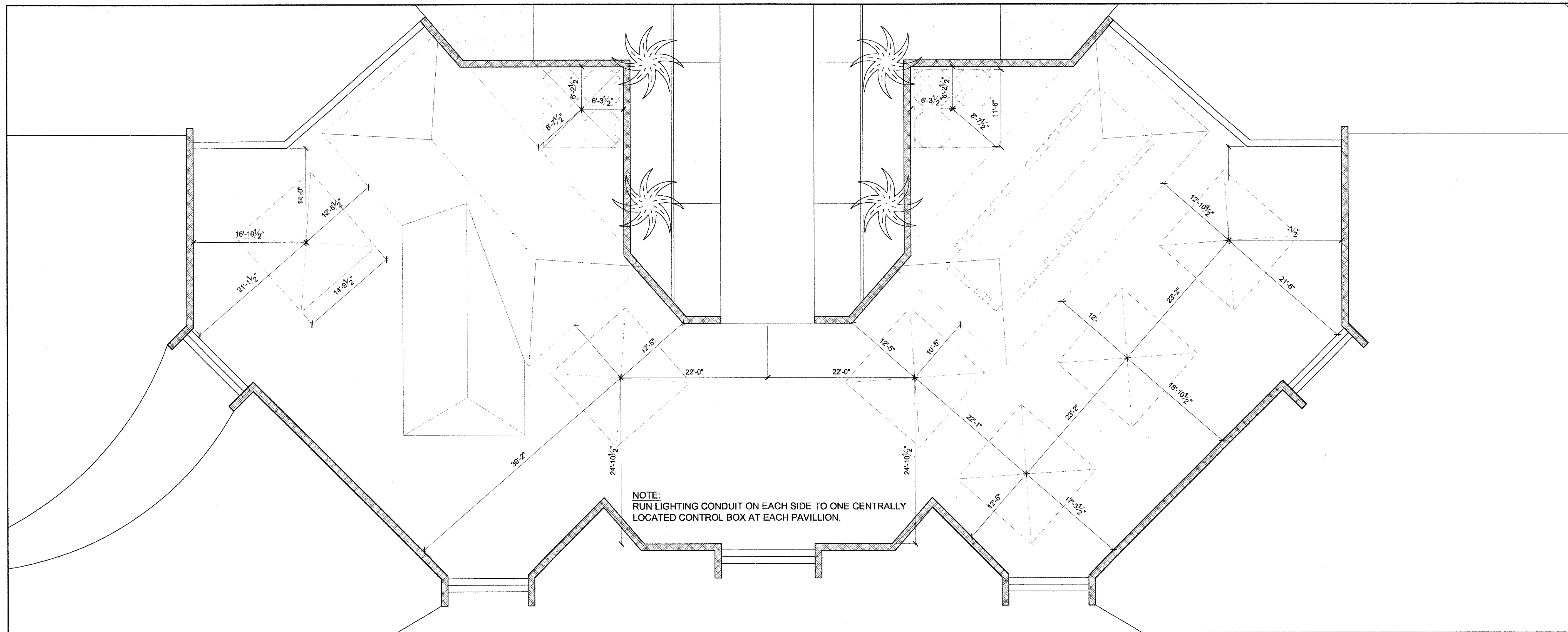
Title:
SITE PLAN

Sheet Number:
A1.1.1

Date: 03/15/2023
©2023 by K2M Design, Inc.

7/19/2023 2:43:54 PM \\K2M\SRV-NFS\0\UEM\Profile\jlopez\jlopez\Documents\22075 - CASA - Pool and Dining Area Concepts_R22_jlopez\AR168E.rvt

EXISTING FLOOR PLAN



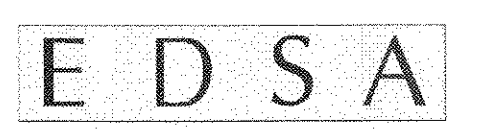
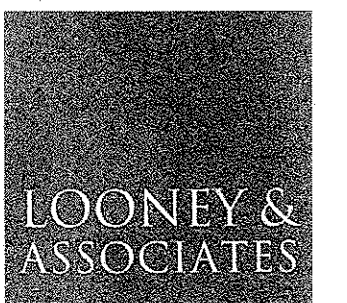
1 A1.04 EXISTING FLOOR PLAN

CASA MARINA RESORT

POOL AREA AND DINING PAVILION

1500 Reynolds Street
Key West, Florida 33040

Gonzalez Architects
Architecture * Planning * Interiors
2720A North Roosevelt Blvd. * Key West, Florida * 33040
(305) 294-3748 Fax (305) 294-8217
32 East Bay Street * Savannah, Georgia * 31401
(912) 201-9888 Fax (912) 201-0240



Registration Seal
AA 0002305
AZ 0008134

Issue/Revised

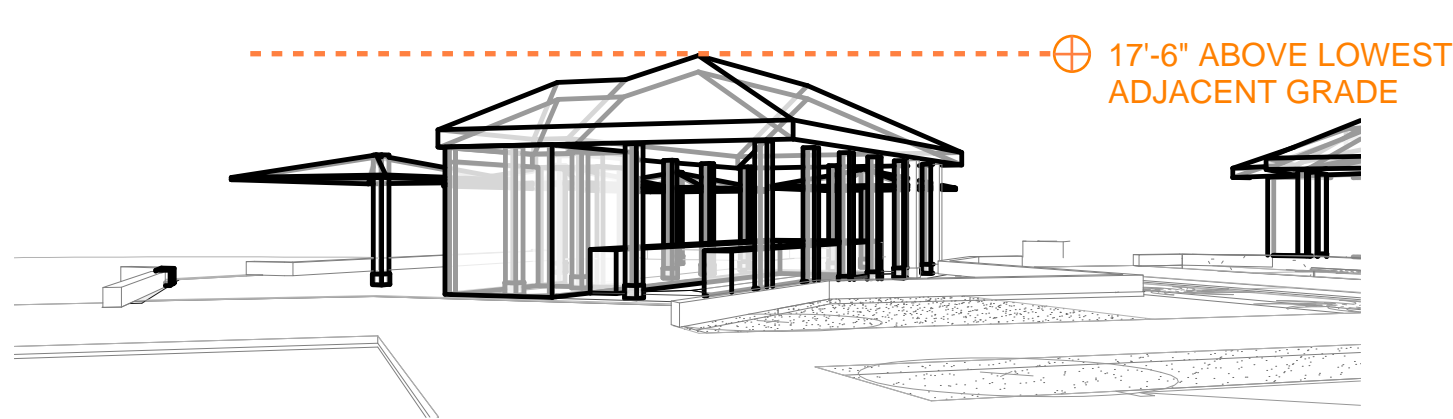
No	Date	Description

Drawing Title
Umbrella/Seating Plan and Details

Scale: See Note
Date: 4.12.2007
Drawn By: Staff
Project No: 05019.10
Drawing No:

A1.04

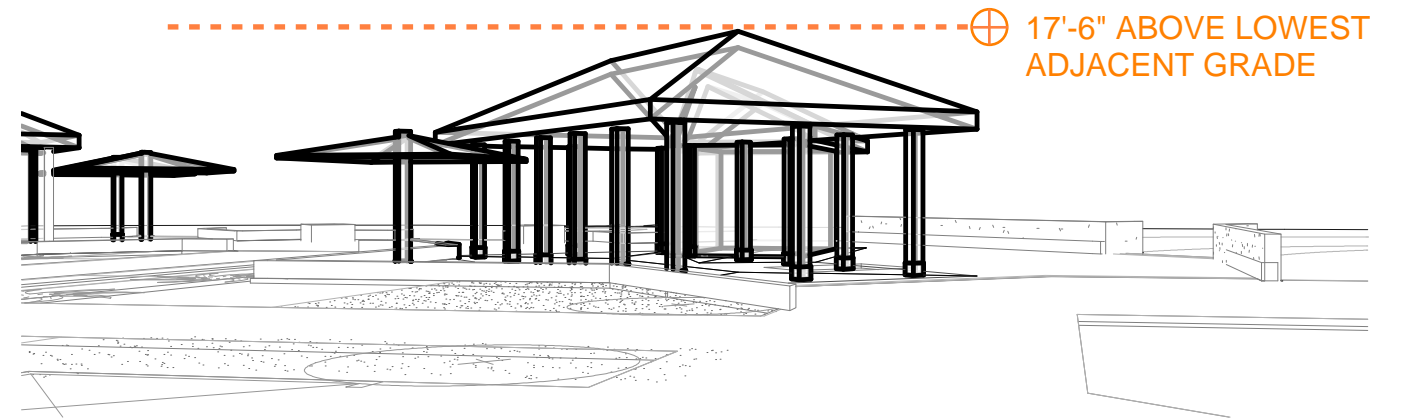
EXISTING 3D VIEWS



EAST BUILDING - EXISTING

SCALE: N.T.S.

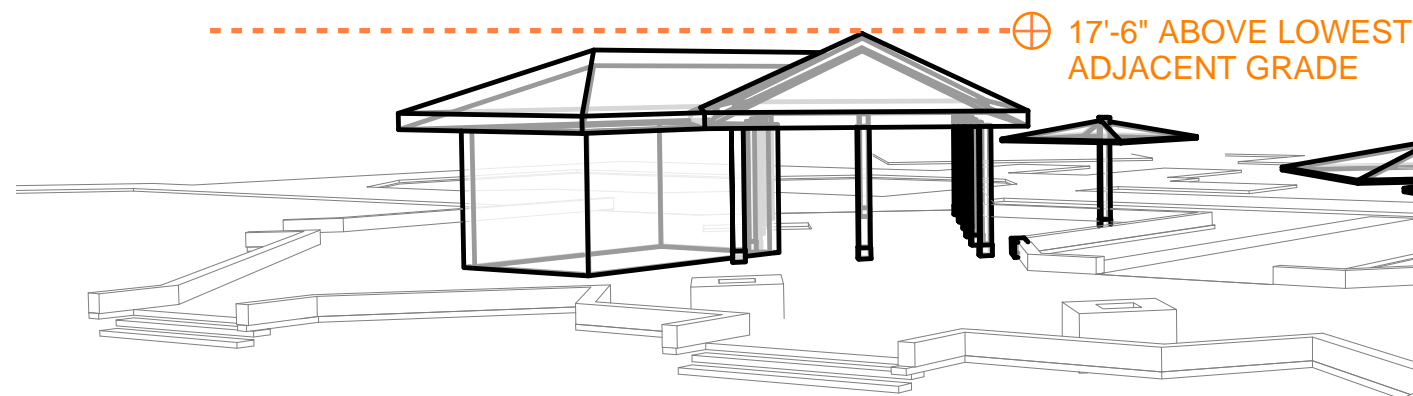
3



WEST BUILDING - EXISTING

SCALE: N.T.S.

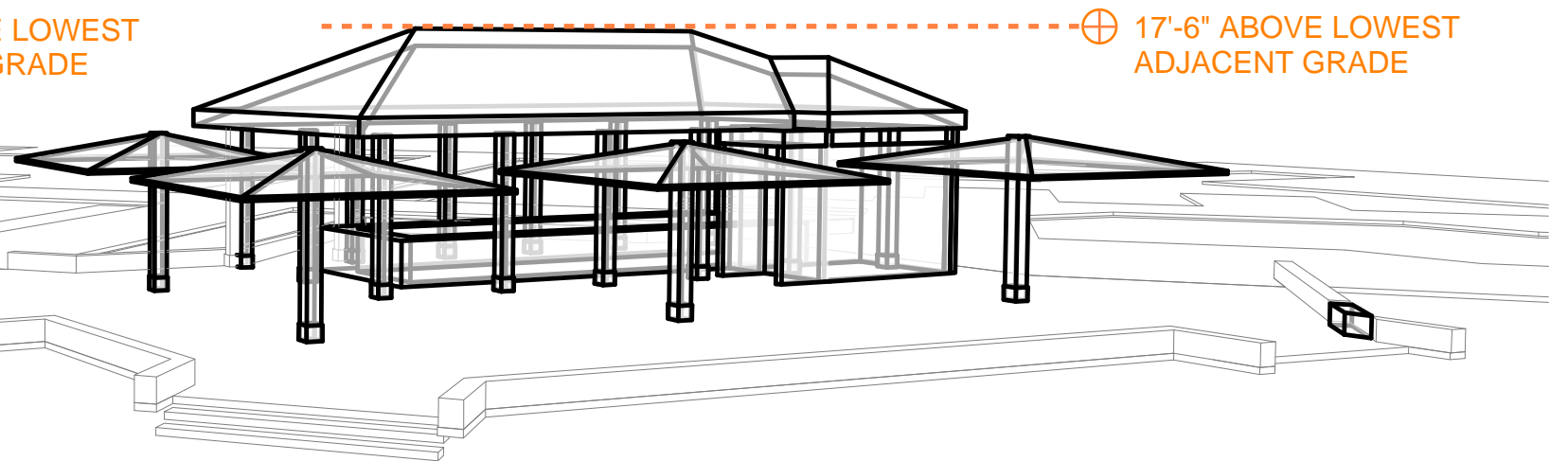
2



SUN SUN - EXISTING

SCALE: N.T.S.

1



17'-6" ABOVE LOWEST ADJACENT GRADE



CASA MARINA - REBRANDING

BUILDING RELATIONSHIPS BASED ON TRUST AND RESULTS
Key Largo, Florida | Key West, Florida | Marathon, Florida

1500 Reynolds St, Key West, FL 33040

DEMOLITION PLAN

3:

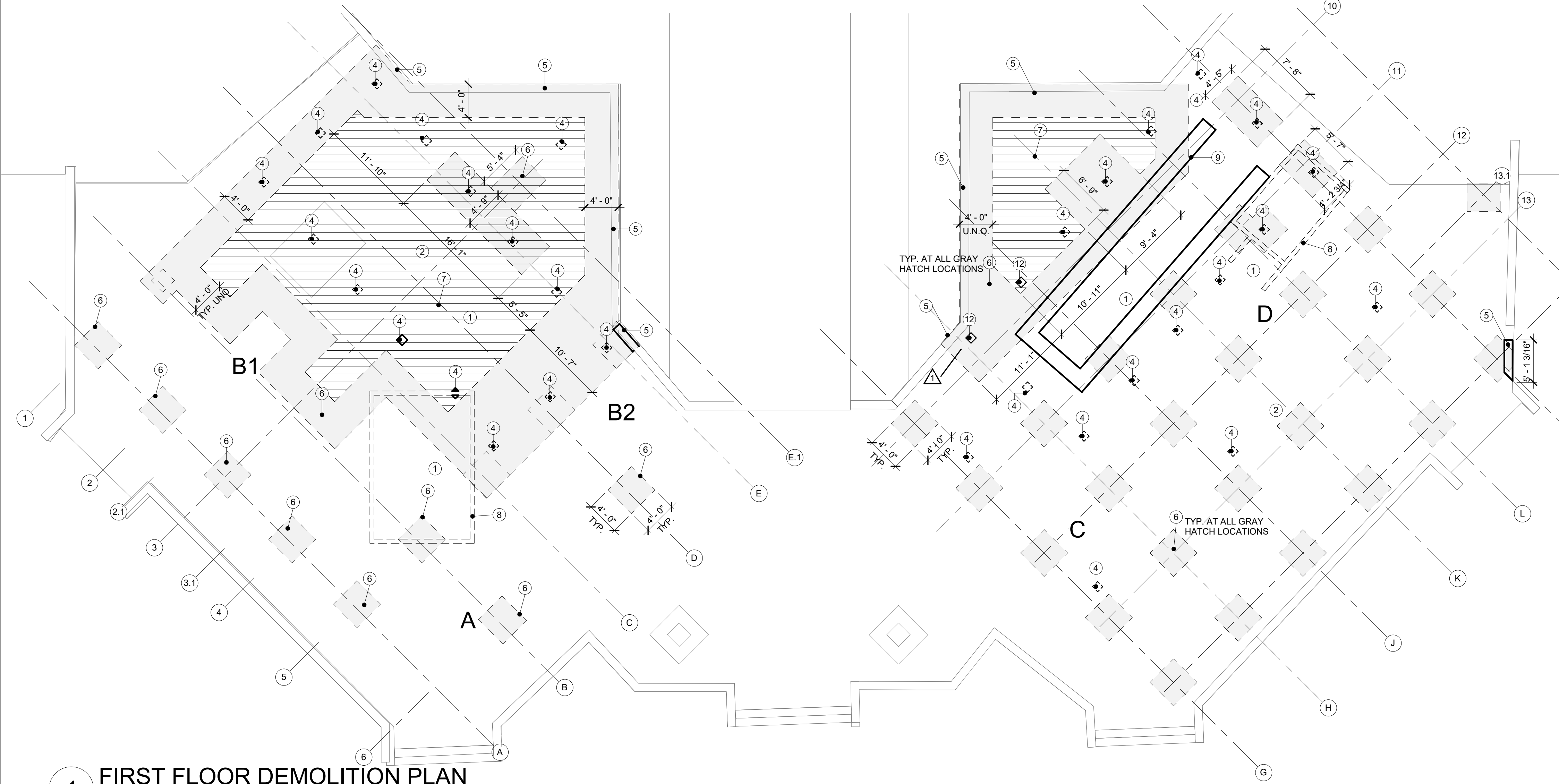
3. THE EXISTING CONDITION DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT. DEMOLITION IS NOT SHOWN IN COMPLETE DETAIL AND IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTORS TO REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ACCOMPLISH THE NEW DESIGN INTENT AND/OR WORK SHOWN OR REASONABLY IMPLIED FOR CONSTRUCTION OF THE FLOOR PLAN. REMOVE ALL EXISTING ITEMS SHOWN IN THE DRAWING SET INDICATED TO BE DEMO'D WITHIN THE ENTIRE DRAWING THE SET UNLESS OTHERWISE NOTED TO REMAIN OR TO BE REUSED. COORDINATE ALL DEMOLITION WITH OTHER TRADES AND AS NOTED IN THE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION DRAWINGS AND NOTES.
4. WHERE ANYTHING INDICATED TO BE REMOVED, REMOVE THE ENTIRE SYSTEM INCLUDING ALL APPURTENANCES TO FACILITATE NEW CONSTRUCTION AS SHOWN IN THE CONSTRUCTION DOCUMENTS UNLESS DIRECTED OTHERWISE BY THE ARCHITECT.
5. WHERE ANYTHING IS INDICATED TO BE SALVAGED, "REMOVED AND RELOCATED," OR ANY OTHER SIMILAR TERM, THE CONTRACTOR SHALL STORE THE ITEM IN A LOCKED, SECURE, AND ENVIRONMENTALLY PROTECTED LOCATION OF THE CONTRACTOR'S CHOICE UNTIL FUTURE REINSTALLATION. ANY REQUEST FOR ON SITE STORAGE MUST BE MADE IN WRITING AND APPROVED BY THE ARCHITECT. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY CONDITIONAL ISSUE OF ANY SALVAGED ITEM PRIOR TO STORAGE. CONTRACTOR IS LIABLE FOR THE SALVAGED ITEM AND SHALL REPLACE ALL BROKEN OR DAMAGED ITEMS DEEMED UNSUITABLE FOR REUSE BY THE ARCHITECT.
6. CONTRACTOR TO COORDINATE WITH THE ARCHITECT BEFORE REMOVING UNFORESEEN CONDITION ITEMS FOUND WITHIN WALLS, FLOORS, AND CEILINGS THAT RUN THROUGH THE SPACE AND APPEAR TO FEED ADJACENT AREA(S) INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING, FIRE PROTECTION, AND MECHANICAL.
7. EXISTING TO REMAIN J-BOXES, SWITCHES, CONTROLS, ETC. LOCATED ON TO BE REMOVED SUBSTRATES ARE TO BE RELOCATED TO ACCOMMODATE CONSTRUCTION ON EITHER NEW CONSTRUCTION OR THE NEAREST EXISTING WALL. COORDINATE WITH THE ARCHITECT.
8. REMOVE ALL ABANDONED CONDUIT, DUCTWORK, HANGERS, CEILING TILE, GRID, FRAMING, PIPING, ETC. THROUGHOUT WORK AREA.
9. EXERCISE CARE SO THAT ONLY THE CONSTRUCTION INDICATED OR REASONABLY IMPLIED TO BE REMOVED SHALL BE DEMOLISHED. THE EXISTING CONSTRUCTION TO REMAIN SHALL BE LEFT INTACT AND UNDAMAGED. ANY DAMAGE WILL BE REQUIRED TO BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE PROJECT INCLUDING AREAS OUTSIDE OF THE EXTENTS OF WORK.
10. KEEP THE PROJECT SITE CLEAN AT ALL TIMES. THE CONTRACTOR SHALL REMOVE THE CONTAINERS FROM THE PROJECT SITE WHEN FULL AND IS RESPONSIBLE FOR FINAL CLEANING OF THE PROJECT SITE. THE CONTRACTOR SHALL REMOVE ALL TOOLS, SURPLUS MATERIALS, AND DEBRIS FROM THE PROJECT SITE AT THE COMPLETION OF THIS PROJECT. LOCATE DUMPSTERS AWAY FROM OPERATING HVAC OUTDOOR AIR INTAKES AND EXTERIOR DOORS TO OCCUPIED AREAS. ALL FLUORESCENT, MERCURY VAPOR, AND LIGHT BALLASTS SHALL BE PROPERLY PACKAGED AND DISPOSED OF AT AN APPROPRIATE DISPOSAL SITE. ALL TEMPORARY POWER IS THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR. ALL FREON REFRIGERANT SHALL BE REMOVED/RECLAIMED BY A LICENSED CONTRACTOR.
11. ISOLATE WORK AREAS FROM OCCUPIED AREAS USING PHYSICAL BARRIERS, NEGATIVE PRESSURIZATION, AND HEPA FILTRATION. USE LOCAL EXHAUST VENTILATION WITH HIGH-EFFICIENCY PARTICULATE AIR (HEPA) FILTRATION WHERE DUST AND FUME GENERATION WILL OCCUR. NEGATIVELY PRESSURIZE WORK AREAS TO PREVENT MIGRATION OF AIR CONTAMINANTS FROM WORK AREAS TO OCCUPIED AREAS. USE WORK PRACTICES AND MATERIALS THAT RESULT IN LITTLE OR NO GENERATION OF AIRBORNE CONTAMINANTS DURING CONSTRUCTION OR RENOVATION ACTIVITIES, SUCH AS WET METHODS TO SUPPRESS DUST GENERATION. USE HEPA VACUUMS REGULARLY TO CLEAN FLOORS AND LEDGES DURING CONSTRUCTION ACTIVITIES. BLOCK OR SEAL RETURN AIR GRILLES IN CONSTRUCTION OR RENOVATION AREAS. ENSURE EXHAUST FROM AIR FILTRATION UNITS ARE VENTED TO THE OUTSIDE OF THE BUILDING AND AWAY FROM ANY BUILDING AIR INTAKES, EXTERIOR DOORS, AND PERSONNEL.
12. ALL MECHANICAL FLOOR PREPARATION SHALL BE PERFORMED IN EITHER A NEGATIVE PRESSURE ENCLOSURE, WITH HEPA FILTERED PREP EQUIPMENT, OR UTILIZING WET METHODS TO CONTROL DUST. RESPIRATORY PROTECTION IS REQUIRED FOR ALL WORKERS PERFORMING WORK DURING THE PREPARATION AND DURING CLEAN UP ACTIVITIES. ALL CONCRETE CUTTING SHALL BE PERFORMED UTILIZING WET METHODS OR OTHER APPROVED DUST FREE METHOD.
13. CUTTING AND WELDING SHALL COMPLY WITH OSHA REQUIREMENTS. PROVIDE MECHANICAL VENTILATION AND RESPIRATORY PROTECTION DURING WELDING, GRINDING, AND CUTTING OPERATIONS. USE OF HEPA FILTER "SMOKE EATER" VENTILATION IS REQUIRED IN ENCLOSED AND OCCUPIED AREAS. CONTRACTOR WILL PROVIDE FOR A VISUAL BARRIER BETWEEN THE IMMEDIATE WORK AREA AND THE GENERAL PUBLIC DURING WELDING OPERATIONS FOR UV LIGHT CONSIDERATIONS.
14. REMOVE EXISTING STRUCTURE IN ITS ENTIRETY. THIS INCLUDES COLUMNS, ROOF AND ROOF DETAILING, PLANTERS, CEILING FIXTURES ETC. REFER TO IMAGES ON SHEET AD2.1.1.

DEMOLITION PLAN LEGEND

	EXISTING ITEMS TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO BE REMOVED

CODED NOTES DEMO

Number	Note
1	REMOVE AND SALVAGE EQUIPMENT IN PROJECT SCOPE AND RETURN TO OWNER.
2	REMOVE AND SALVAGE FURNITURE AND RETURN TO OWNER.
4	REMOVE EXISTING COLUMN IN ITS ENTIRETY.
5	REMOVE PORTION OF PARAPET WALL AS SHOWN FOR EXCAVATING OF NEW FOOTINGS. COORDINATE LOCATIONS WITH STRUCTURAL DRAWINGS
6	REMOVE EXISTING PAVERS, CONCRETE SLAB AND LOW PARAPET WALL IN THE GRAY HATCH AREA AND PREP FOR EXCAVATION OF NEW FOOTING. COORDINATE LOCATIONS WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS
7	REMOVE THE PAVERS IN THE LINEAR HATCH AREA AS SHOWN AND SALVAGE FOR REUSE AND SALVAGE FOR REUSE. COORDINATE LOCATIONS WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS
8	REMOVE THE ENCLOSURE AND STRUCTURE IN ITS ENTIRETY.
9	REMOVE EXISTING BAR AND APPURTENANCES IN ITS ENTIRETY
10	REMOVE EXISTING ROOF AND ALL APPURTENANCES IN ITS ENTIRETY.
11	REMOVE EXISTING UMBRELLAS IN ITS ENTIRETY.
12	EXISTING COLUMN TO REMAIN, COORDINATE HEIGHT WITH NEW WORK AS REQUIRED.



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



A
REMOVE AND SALVAGE TO RETURN TO OWNER, TYPICAL THROUGHOUT SPACE
1. UTILITY STORAGE
2. SINK AND ACCESSORIES
3. FOOD STORAGE



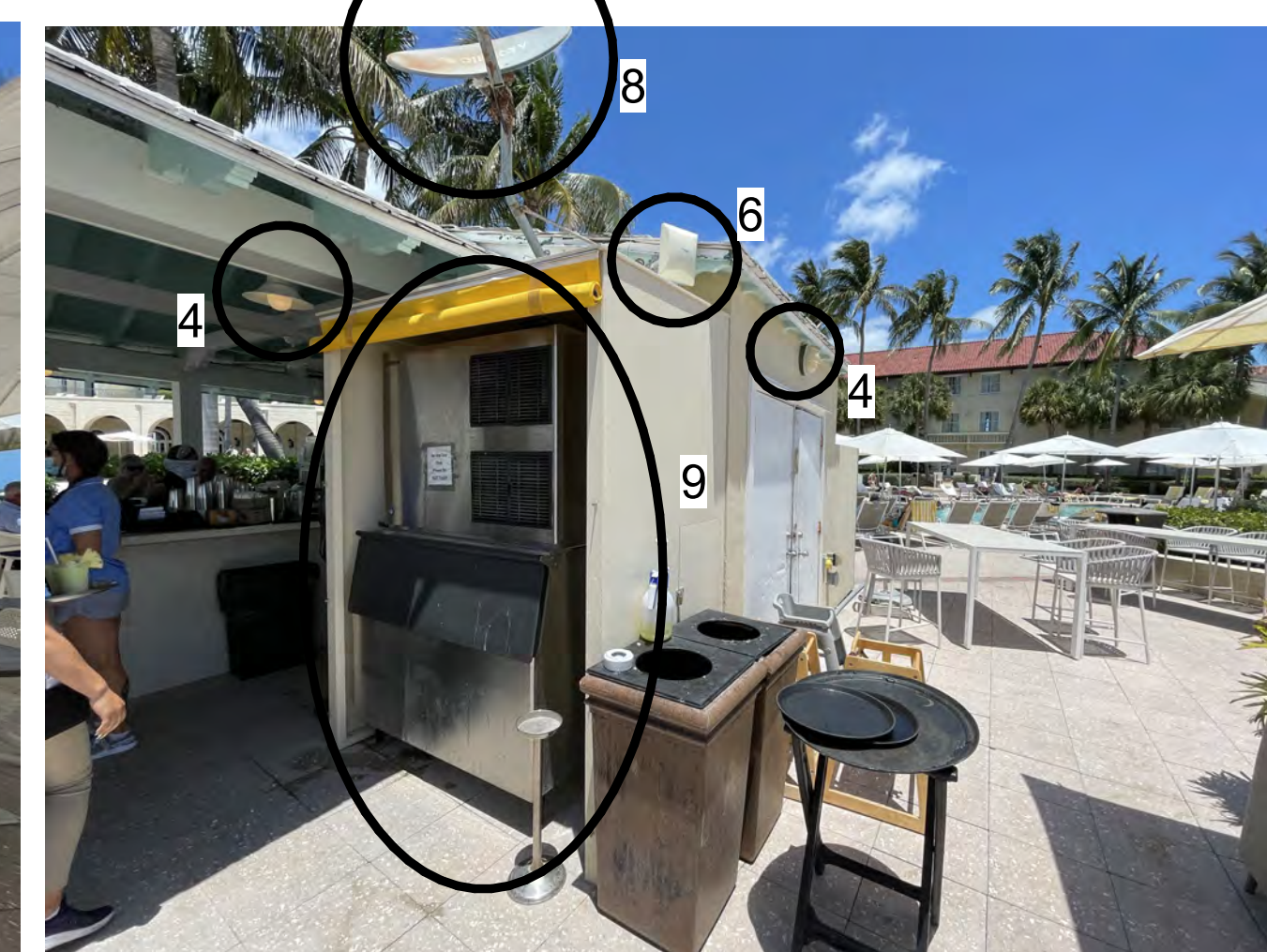
B1
REMOVE AND SALVAGE TO RETURN TO OWNER, TYPICAL THROUGHOUT SPACE
4. EXTERIOR LIGHTING
5. FANS
6. SPEAKERS



B2
REMOVE AND SALVAGE TO RETURN TO OWNER, TYPICAL THROUGHOUT SPACE
2. SINK AND ACCESSORIES
4. EXTERIOR LIGHTING
5. FANS
6. SPEAKERS



C
REMOVE AND SALVAGE TO RETURN TO OWNER, TYPICAL THROUGHOUT SPACE
4. EXTERIOR LIGHTING
5. FANS
6. SPEAKERS
7. TVS



D
REMOVE AND SALVAGE TO RETURN TO OWNER, TYPICAL THROUGHOUT SPACE
4. EXTERIOR LIGHTING
6. SPEAKER
8. SATELITE DISH
9. ICE MAKER

ARCHITECT:

K2M DESIGN

Architecture, Engineering, Interior Design, Facility Asset Management

Key Largo, Florida
Key West, Florida
Marathon, Florida
www.k2mdesign.com
PROF. REG. AA26001059

Building Relationships Based on Trust and Results

Chesler | Highlands | Key Largo | Key West | Marathon | Charlotte | Baltimore | Berkeley

Seal:

NOTE: This item has been digitally signed and sealed. Digital signatures must be verified on electronic files. Reproduced copies of digitally signed, sealed, and sealed documents are not considered signed and sealed.

Consultants:
CIVIL
CW3 ENGINEERING, INC.
MEP
OCI ASSOCIATES, INC.

Submissions:

No.	Description	Date
1	SCHEMATIC DESIGN	12/06/2022
2	PERMIT SET	01/16/2023
3	DESIGN DEVELOPMENT	01/31/2023
4	PERMIT REVISIONS	01/18/2023

CASA MARINA - REBRANDING
1500 Reynolds St, Key West, FL 33040

SUN SUN BAR AND RESTAURANT DEMOLITION

PARK HOTELS & RESORTS
14100 Bonnet Creek Resort Lane, Orlando, FL 32821

Drawing Size 24X36	Project #: 22075
Drawn By: YL	Checked By: MC

Title:
FIRST FLOOR DEMOLITION PLAN

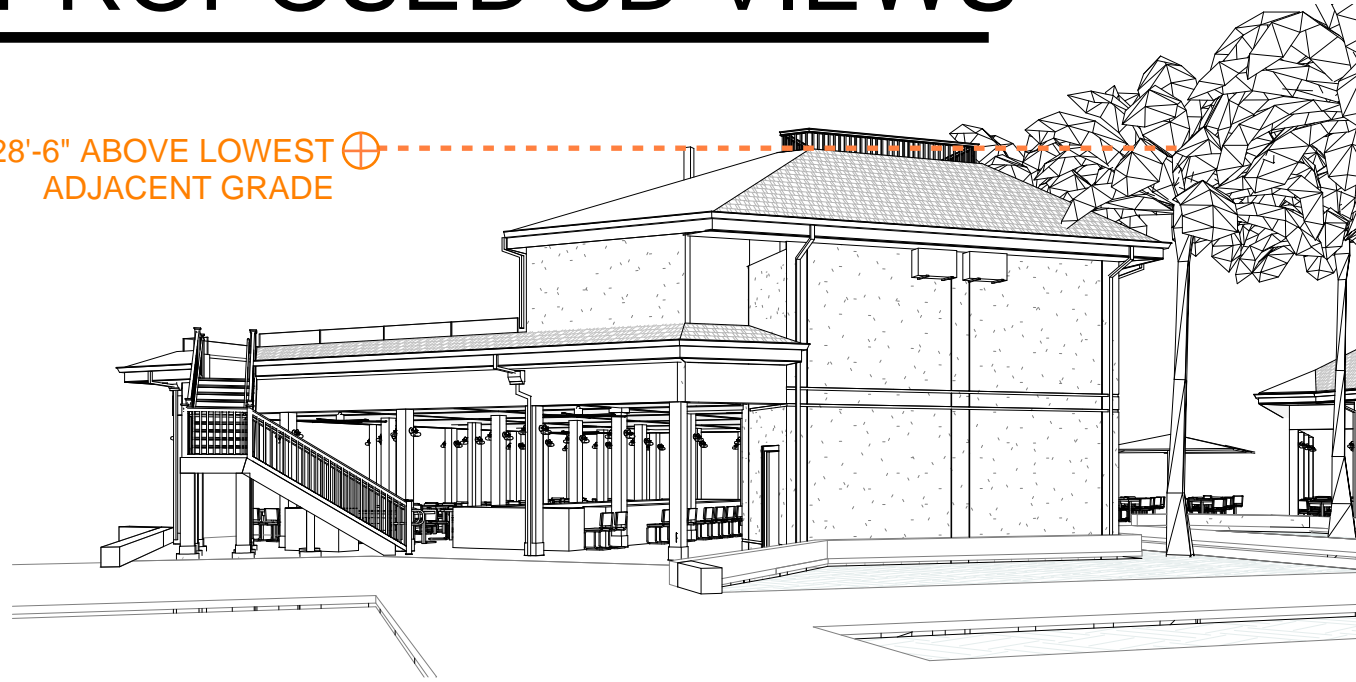
Sheet Number:
AD2.1.1

Date: 03/15/2023

©2023 by K2M Design, Inc.

PROPOSED 3D VIEWS

28'-6" ABOVE LOWEST
ADJACENT GRADE ⊕

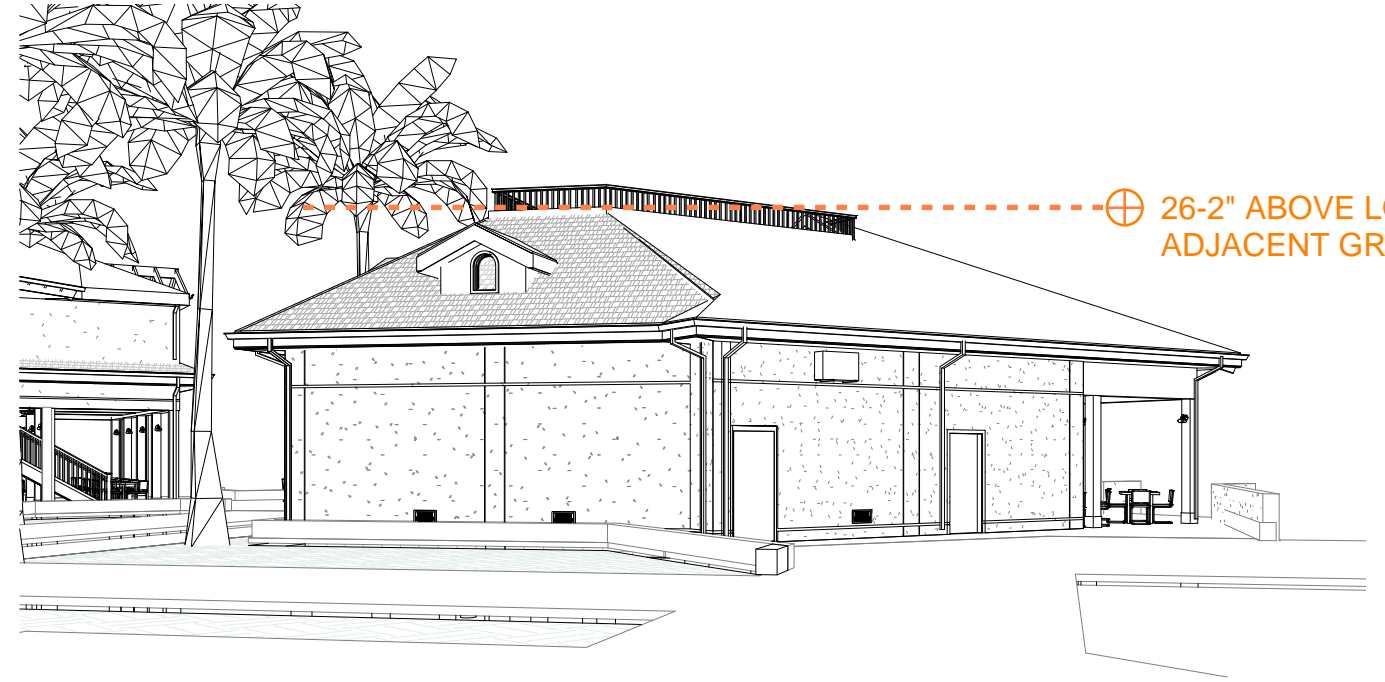


EAST BUILDING - NEW DESIGN

SCALE: N.T.S.

3

26'-2" ABOVE LOWEST
ADJACENT GRADE ⊕

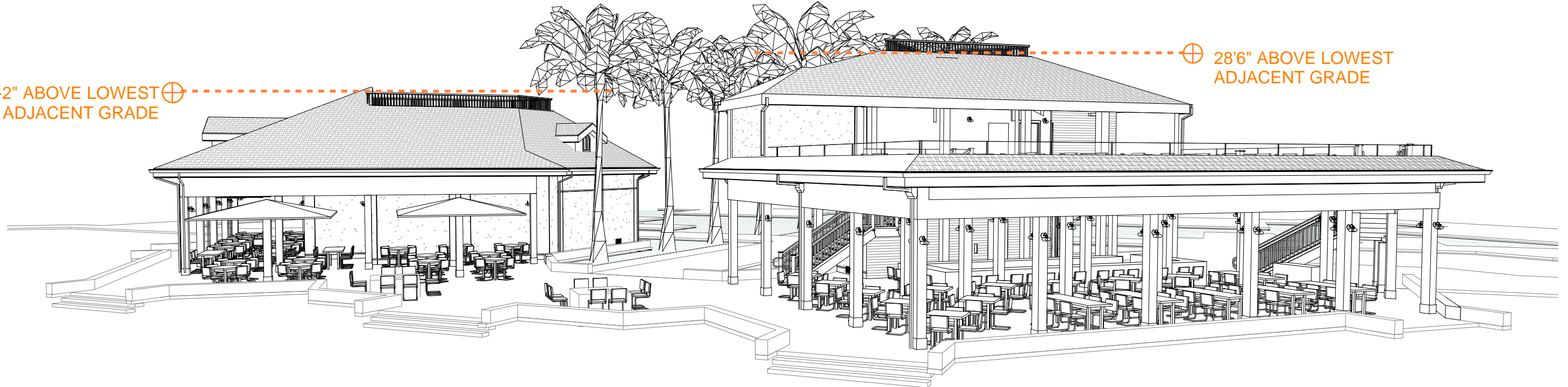


WEST BUILDING - NEW DESIGN

SCALE: N.T.S.

2

26'-2" ABOVE LOWEST
ADJACENT GRADE ⊕



SUN SUN - NEW DESIGN

SCALE: N.T.S.

1

28'-6" ABOVE LOWEST
ADJACENT GRADE ⊕



CASA MARINA - REBRANDING

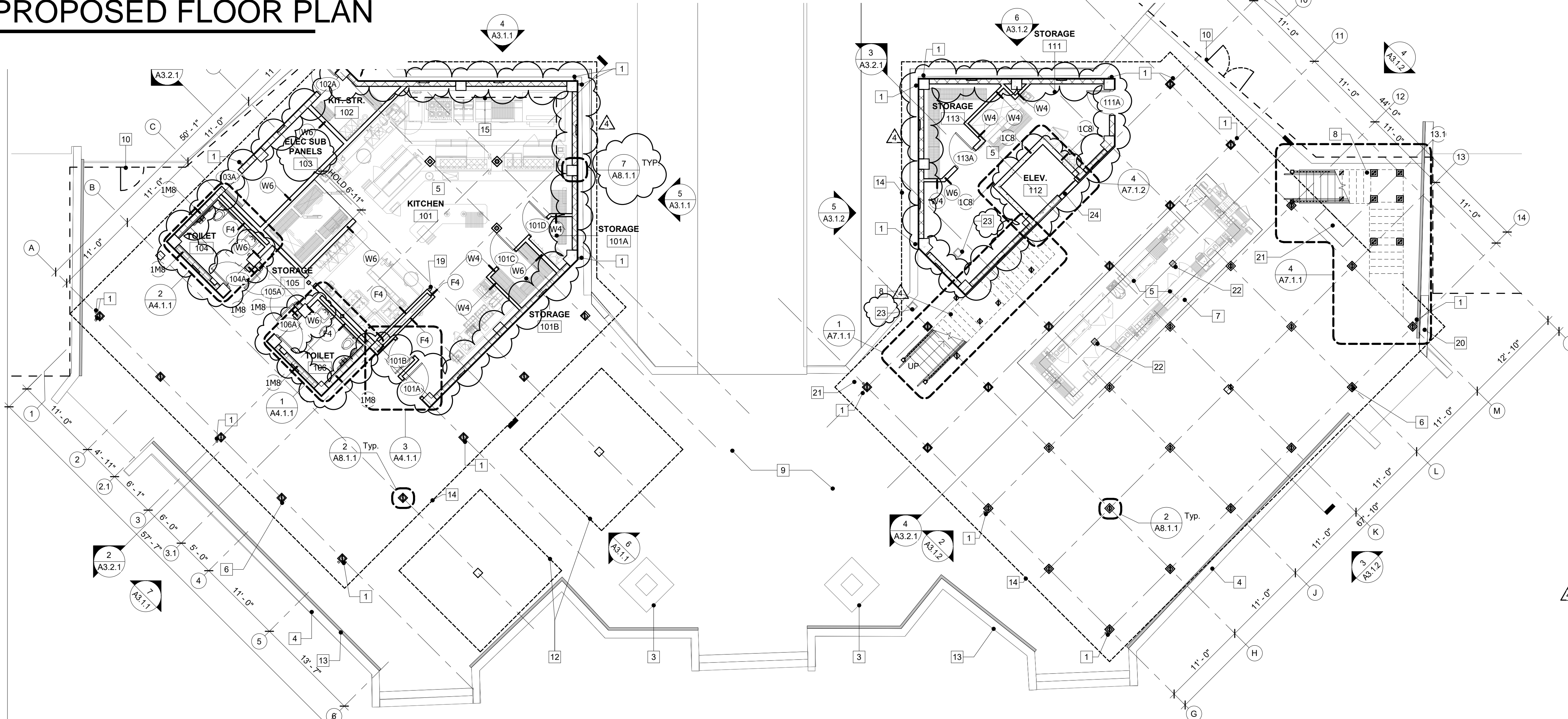
BUILDING RELATIONSHIPS BASED ON TRUST AND RESULTS
800 Westmere, Suite 101, Charlotte, NC 28208
P: 704.333.3360 F: 216.357.2796

1500 Reynolds St, Key West, FL 33040

Submissions:

No.	Description	Date

PROPOSED FLOOR PLAN



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- REFER TO A2.4.1 FOR DETAILED DIMENSION INFORMATION. DIMENSIONS ARE FROM FACE OF FINISHED WALL UNLESS OTHERWISE NOTED
- DOWNSPOUTS TO BE CENTERED AT COLUMNS UNLESS NOTED OTHERWISE IN DIMENSION PLANS.
- REFER TO ROOF PLAN FOR ALL ROOF, GUTTER, AND DOWNSPOUT INFORMATION

PLAN LEGEND

	EXISTING ITEMS TO REMAIN
	NEW PARTIAL HEIGHT WALL
	NEW GYP. BD. WALL REFER TO WALL TYPES
	REFER TO WALL TYPES ON A9.1.1
	NEW DOOR. REFER TO DOOR SCHEDULE

CODED NOTES FLOOR PLAN

NUMBER	NOTE
1	DOWNSPOUT AND BOOT. REFER TO EXTERIOR ELEVATIONS.
3	EXISTING STONE FIREPISTO TO REMAIN, PROTECT FROM ALL CONSTRUCTION ACTIVITY.
4	RETAINING WALL TO REMAIN, TYP. PATCH, REPAIR, AND PREPARE TO RECEIVE NEW FINISH TO MATCH NEW PRIMARY BUILDING EXTERIOR PAINT COLOR.
5	FOOD SERVICE EQUIPMENT. REFER TO FOOD SERVICE DRAWINGS.
6	PRESSURE TREATED WOOD COLUMN, TYP. REFER TO STRUCTURAL DRAWINGS. REFER TO INTERIOR DESIGN DRAWINGS FOR CASING.
7	BAR SERVICE AND SEATING COUNTER. REFER TO INTERIOR DESIGN DRAWINGS.
8	EXTERIOR GRADE WOOD STAIRS AND RAILINGS. REFER TO DETAILS.
9	SAND SET PAVERS TO BE REMOVED AND SALVAGED, IF REQUIRED BY OWNER. INSTALL NEW SAND SET PAVERS. REFER TO CIVIL AND INTERIOR DESIGN DRAWINGS.
10	FENCE AND GATE. REFER TO LANDSCAPING DRAWINGS.
11	1" EIFS OVER WATER RESISTANT BARRIER OVER 5/8" SHEATHING OVER 3/8" STUD ON THE EXTERIOR. REFER TO OPENING TYPE DETAILS.
12	PORTABLE UMBRELLA. REFER TO INTERIOR DESIGN DRAWINGS
13	NEW TRENCH DRAIN TO BE INSTALLED ALONG EXISTING RETAINING WALL, TYP. REFER TO CIVIL DRAWINGS
14	LINE OF ROOF ABOVE. TYP.
15	STAINLESS STEEL PANEL (SSP-1) FULL HEIGHT OF WALL.
16	PREMANUFACTURED SELF CLOSING PERGOLA SYSTEM WITH INTEGRAL LIGHTING. REFER TO SPECIFICATIONS
17	OPEN TO STRUCTURE AND SOFFIT BELOW. REFER TO REFLECTED CEILING PLAN AND STRUCTURAL DRAWINGS
19	RETRACTABLE LADDER UP TO ROOF ACCESS. COORDINATE WITH ROOF HATCH LOCATION. REFER TO SPECIFICATIONS.
20	PORTION OF EXISTING WALL TO BE DEMOLISHED AS REQUIRED FOR INSTALLATION OF NEW CONCRETE FOUNDATION. REFER TO STRUCTURAL WALLS TO BE REBUILT AND REFINISHED TO MATCH EXISTING CONDITION.
21	SERVICE STATION. REFER TO INTERIOR DESIGN DRAWINGS.
22	FLOOR DRAIN. REFER TO PLUMBING DRAWINGS
23	EXISTING COLUMNS TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION.
24	36" W X 84" H ELEVATOR DOOR OPENING. COORDINATE WITH FUTURE ELEVATOR MANUFACTURER. INFILL WITH 5 1/2" STUDS AND EXTERIOR SHEATHING. FINISH TO MATCH EXTERIOR FINISH SYSTEM.

ARCHITECT:



Architecture, Engineering,
Interior Design,
Facility Asset Management

Key Largo, Florida
Key West, Florida
Marathon, Florida
www.k2mdesign.com
PROF. REG. AA26001059

Building Relationships
Based on Trust and Results

Cleveland | Indianapolis | Key Largo | Key West |
Marathon | Charlotte | Baltimore | Berwynville



Steven S. Grasley, License # 73110
Expiration Date: 02/28/2025
COA #: 30945

NOTE: This item has been digitally signed and sealed. Digital signatures must be verified on electronic files. Reproduced copies of digital signed, sealed, and sealed documents are not considered signed and sealed.

Submissions:

No.	Description	Date
1	SCHEMATIC DESIGN	12/06/2022
2	DESIGN DEVELOPMENT	01/11/2023
3	CONSTRUCTION DOCUMENTS	05/15/2023
4	CONSTRUCTION SUBMISSION	04/03/2023
4	REVISION 4	12/01/2023

CASA MARINA - REBRANDING
1500 Reynolds St., Key West, FL 33040

SUN SUN BAR AND RESTAURANT RENOVATION

PARK HOTELS & RESORTS
14100 Bonnet Creek Resort Lane, Orlando, FL 32821

Drawing Size 24X36	Project #: 22075
Drawn By: YL	Checked By: VAM

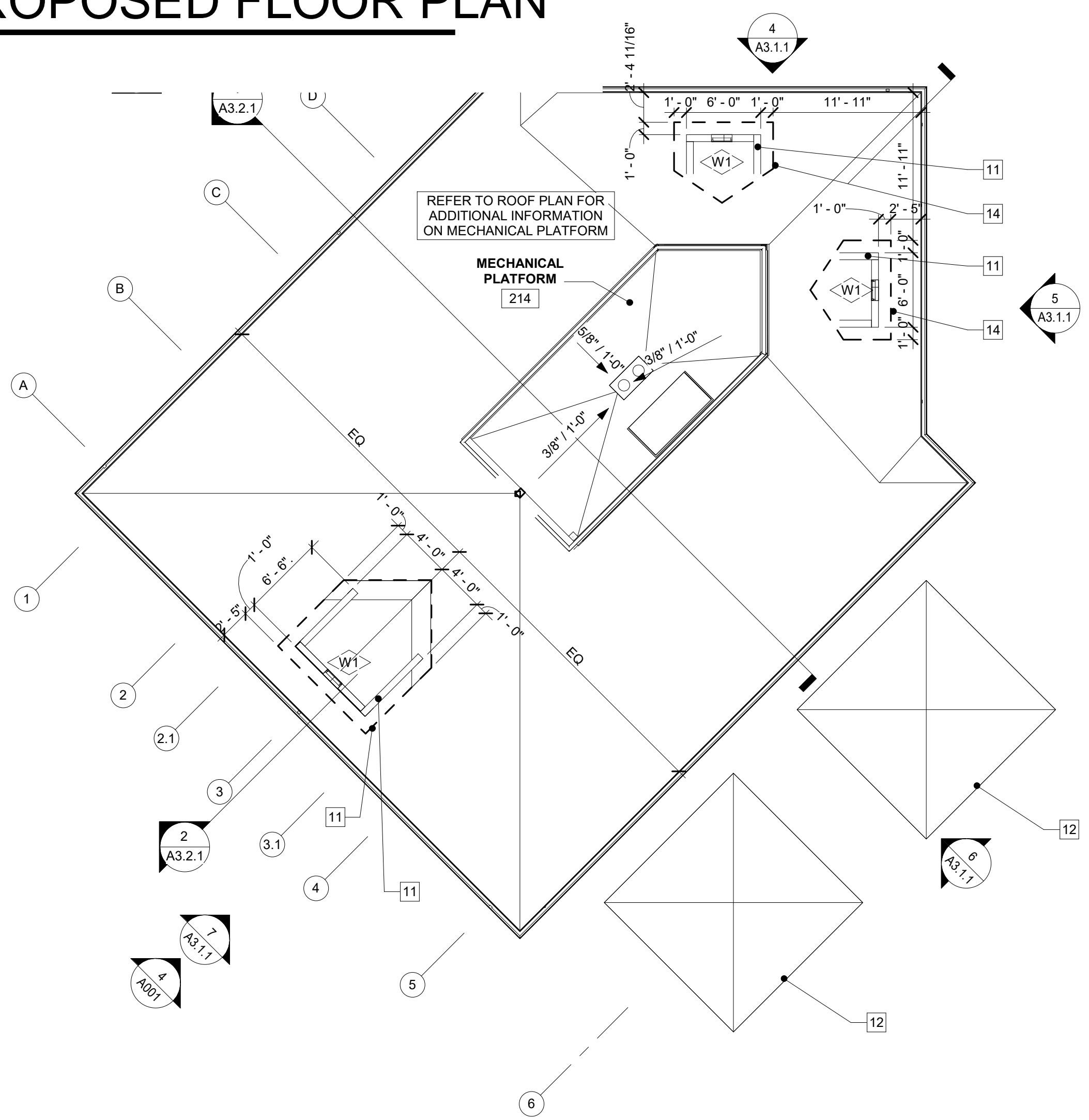
Title:
FIRST FLOOR PLAN

Sheet Number:
A2.1.1

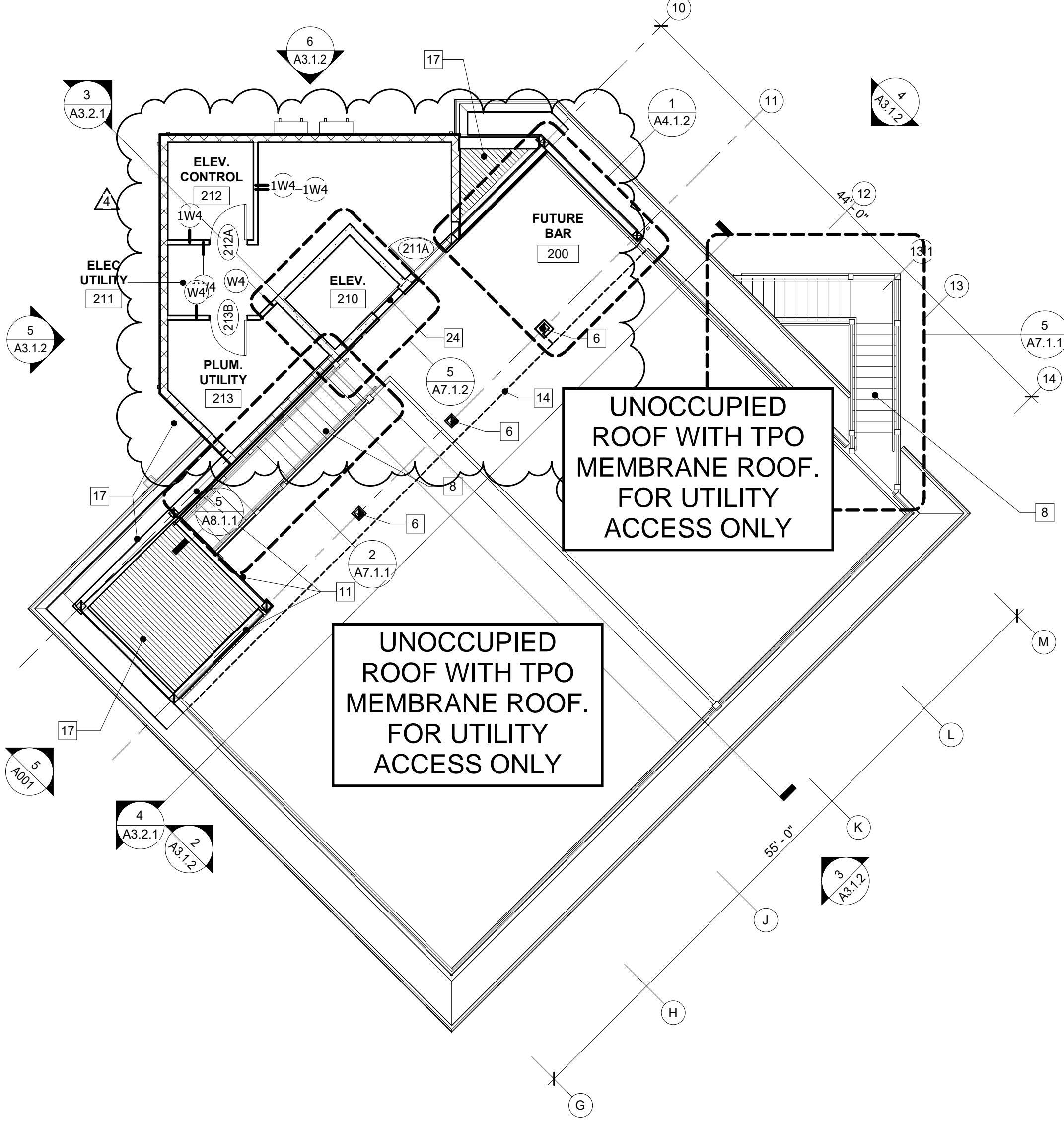
Date: 03/15/2023

©2023 by K2M Design, Inc.

PROPOSED FLOOR PLAN



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES:

- REFER TO A2.4.1 FOR DETAILED DIMENSION INFORMATION. DIMENSIONS ARE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS OTHERWISE NOTED
- DOWNSPOUTS TO BE CENTERED AT COLUMNS UNLESS NOTED OTHERWISE IN DIMENSION PLANS.
- REFER TO ROOF PLAN FOR ALL ROOF, GUTTER, AND DOWNSPOUT INFORMATION

PLAN LEGEND

	EXISTING ITEMS TO REMAIN
	NEW PARTIAL HEIGHT WALL
	NEW GYP. BD. WALL REFER TO WALL TYPES
	REFER TO WALL TYPES ON A9.1.1
	NEW DOOR. REFER TO DOOR SCHEDULE

CODED NOTES FLOOR PLAN

NUMBER	NOTE
1	DOWNSPOUT AND BOOT. REFER TO EXTERIOR ELEVATIONS.
3	EXISTING STONE FIREPIT TO REMAIN, PROTECT FROM ALL CONSTRUCTION ACTIVITY.
4	RETAINING WALL TO REMAIN, TYP. PATCH, REPAIR, AND PREPARE TO RECEIVE NEW FINISH TO MATCH NEW PRIMARY BUILDING EXTERIOR PAINT COLOR
5	FOOD SERVICE EQUIPMENT. REFER TO FOOD SERVICE DRAWINGS.
6	PRESSURE TREATED WOOD COLUMN, TYP. REFER TO STRUCTURAL DRAWINGS. REFER TO INTERIOR DESIGN DRAWINGS FOR CASING.
7	BAR SERVICE AND SEATING COUNTER, REFER TO INTERIOR DESIGN DRAWINGS.
8	EXTERIOR GRADE WOOD STAIRS AND RAILINGS. REFER TO DETAILS.
9	SAND SET PAVERS TO BE REMOVED AND SALVAGED, IF REQUIRED BY OWNER. INSTALL NEW SAND SET PAVERS. REFER TO CIVIL AND INTERIOR DESIGN DRAWINGS.
10	FENCE AND GATE. REFER TO LANDSCAPING DRAWINGS.
11	1" EIFS OVER WATER RESISTANT BARRIER OVER 5/8" SHEATHING OVER 3 5/8" STUD ON THE EXTERIOR. REFER TO OPENING TYPE DETAILS.
12	PORTABLE UMBRELLA. REFER TO INTERIOR DESIGN DRAWINGS
13	NEW TRENCH DRAIN TO BE INSTALLED ALONG EXISTING RETAINING WALL, TYP. REFER TO CIVIL DRAWINGS
14	LINE OF ROOF ABOVE, TYP.
15	STAINLESS STEEL PANEL (SSP-1) FULL HEIGHT OF WALL.
16	PREMANUFACTURED SELF CLOSING PERGOLA SYSTEM WITH INTEGRAL LIGHTING. REFER TO SPECIFICATIONS
17	OPEN TO STRUCTURE AND SOFFIT BELOW. REFER TO REFLECTED CEILING PLAN AND STRUCTURAL DRAWINGS
19	RETRACTABLE LADDER UP TO ROOF ACCESS. COORDINATE WITH ROOF HATCH LOCATION. REFER TO SPECIFICATIONS.
20	PORTION OF EXISTING WALL TO BE DEMOLISHED AS REQUIRED FOR INSTALLATION OF NEW CONCRETE FOUNDATION. REFER TO STRUCTURAL WALLS TO BE REBUILT AND REFINISHED TO MATCH EXISTING CONDITION.
21	SERVICE STATION. REFER TO INTERIOR DESIGN DRAWINGS.
22	FLOOR DRAIN. REFER TO PLUMBING DRAWINGS.
23	EXISTING COLUMNS TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION.
24	36"W X 84"H ELEVATOR DOOR OPENING. COORDINATE WITH FUTURE ELEVATOR MANUFACTURER. INFILL WITH 5 1/2" STUDS AND EXTERIOR SHEATHING. FINISH TO MATCH EXTERIOR FINISH SYSTEM.

ARCHITECT:

K2M DESIGN

Architecture, Engineering,
Interior Design,
Facility Asset Management

Key Largo, Florida
Key West, Florida
Marathon, Florida
www.k2mdesign.com
PROF. REG. AA26001059

Building Relationships
Based on Trust and Results

Cleveland | Indianapolis | Key Largo | Key West |
Marathon | Charlotte | Baltimore | Berwynville

Seal:

Steven S. Grasley, License # 73110
Expiration Date: 02/28/2025
COA #: 30945

NOTE: This item has been digitally signed and sealed. Digital signatures must be verified on electronic files. Reproduced copies of digitally signed, dated, and sealed documents are not considered signed and sealed.

Submissions:

No.	Description	Date
1	SCHEMATIC DESIGN	12/06/2022
2	DESIGN DEVELOPMENT	01/11/2023
3	CONSTRUCTION DOCUMENTS	05/15/2023
4	CD PERMIT SUBMISSION	04/03/2023
4	REVISION 4	12/01/2023

CASA MARINA - REBRANDING
1500 Reynolds St, Key West, FL 33040

SUN SUN BAR AND RESTAURANT RENOVATION

PARK HOTELS & RESORTS
14100 Bonnet Creek Resort Lane, Orlando, FL 32821

Drawing Size: 24X36 | Project #: 22075

Drawn By: YL | Checked By: VAM

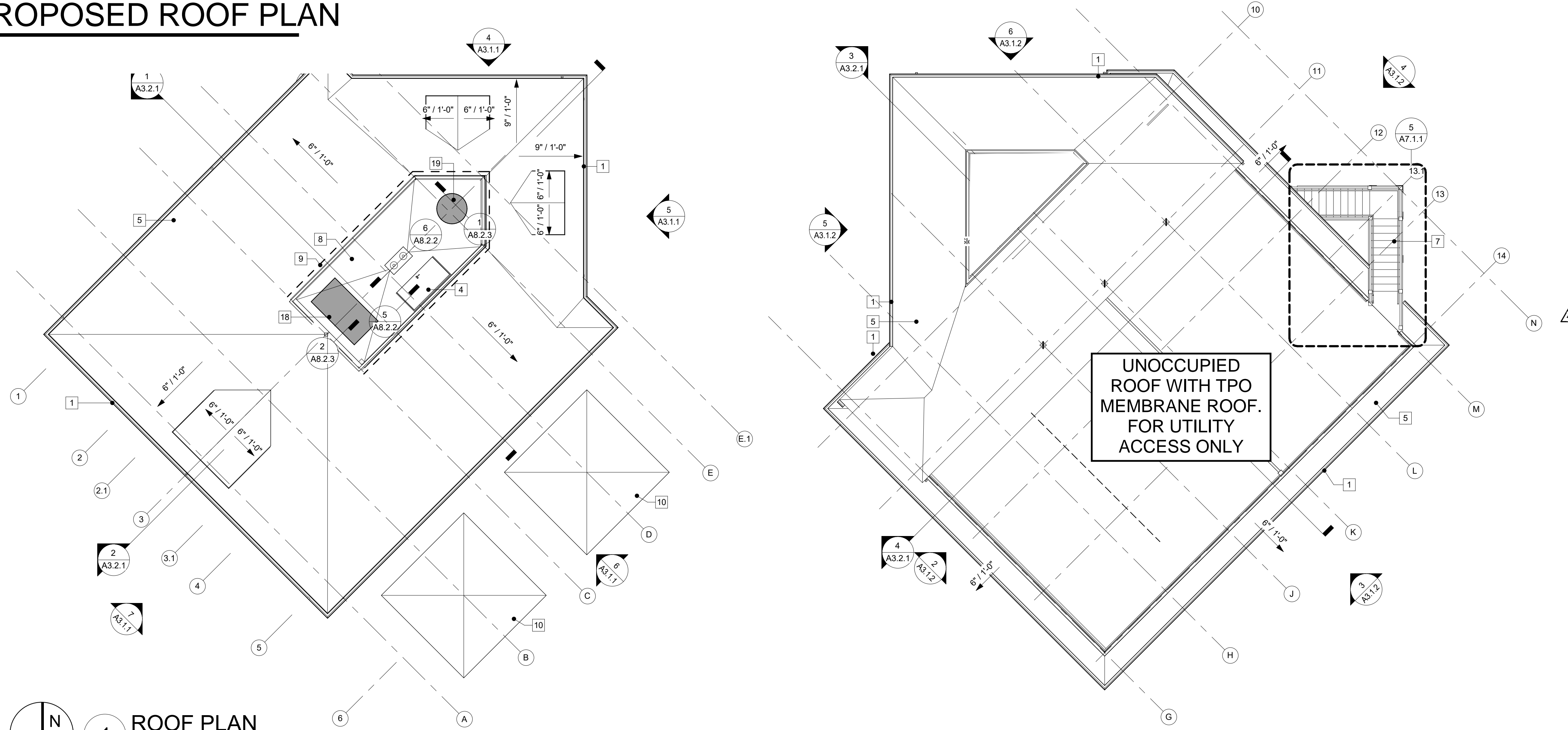
Title: **SECOND FLOOR PLAN**

Sheet Number: **A2.1.2**

Date: 03/15/2023

©2023 by K2M Design, Inc.

PROPOSED ROOF PLAN



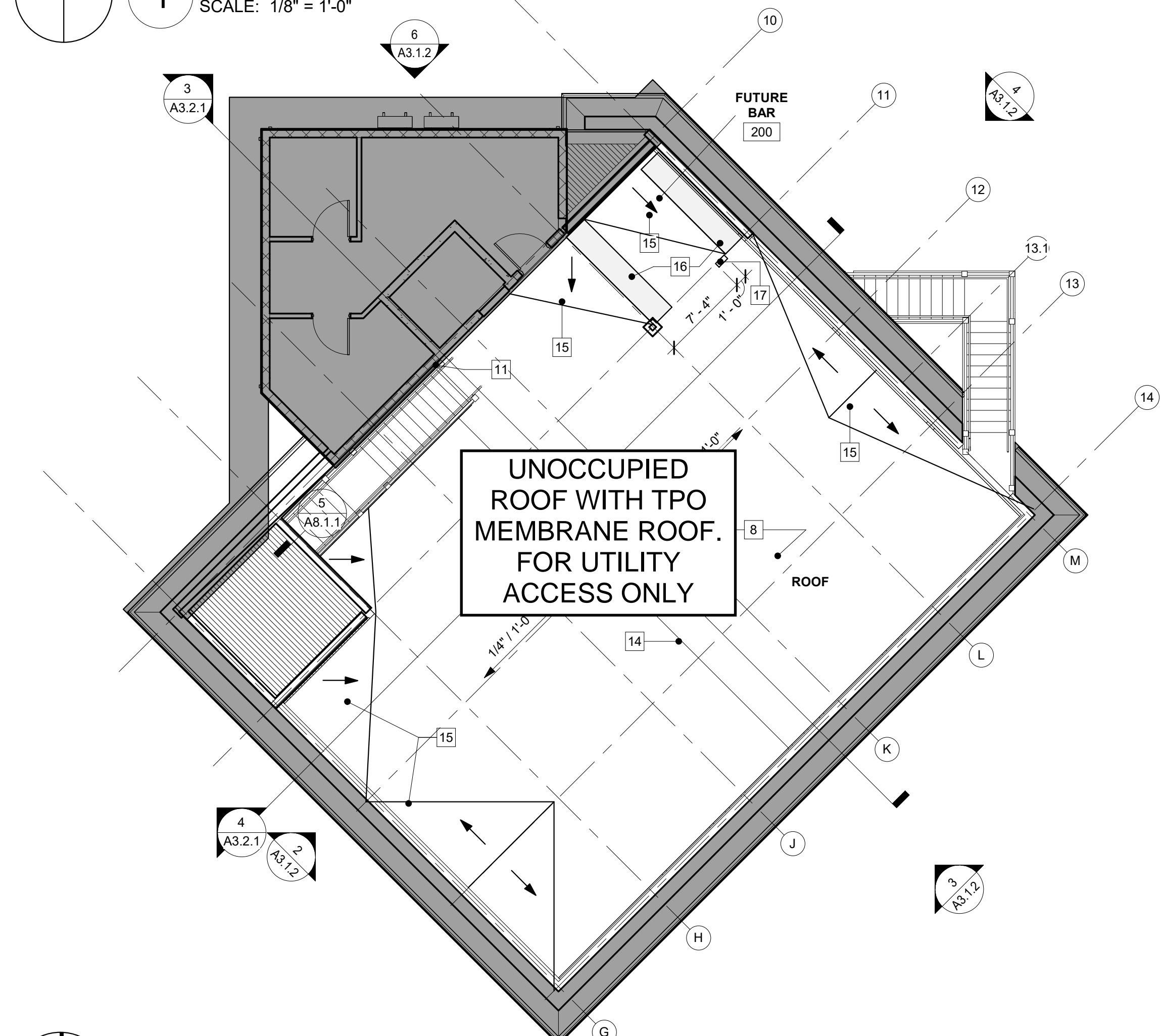
GENERAL ROOFING NOTES:

- ARROWS INDICATE DIRECTION OF SLOPE. CONTRACTOR TO FIELD VERIFY EXACT SLOPE AND NOTIFY ARCHITECT OF ANY DISCREPANCY.
- ALL PENETRATIONS, DRAINS, AND SCUPPERS ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR TO FIELD VERIFY.
- REFER TO EXTERIOR ELEVATIONS AND FINISH SCHEDULE LEGEND FOR ALL EXTERIOR FINISHES

CODED NOTES ROOF PLAN

NUMBER	NOTE
1	6" METAL GUTTER WITH 2"x3" DOWNSPOUTS. SLOPE GUTTERS TO DOWNSPOUTS AND PROVIDE GUTTER EXPANSION AT HIGH POINTS. REFER TO FINISH SCHEDULE LEGEND, TYP.
2	LINE OF ROOF ABOVE, TYP.
3	1" EIFS OVER WATER RESISTANT BARRIER OVER 5/8" SHEATHING OVER 3 5/8" STUD ON THE EXTERIOR. REFER TO OPENING TYPE DETAILS.
4	ROOF HATCH.
5	CEDUR SYNTHETIC ROOFING SYSTEM. REFER TO FINISH SCHEDULE LEGEND.
7	EXTERIOR GRADE WOOD STAIRS AND RAILINGS. REFER TO DETAILS.
8	TPO MEMBRANE ROOF OVER TAPERED INSULATION.
9	DASHED LINE REPRESENTS VAPOR DIFFUSION VENT.
10	PORTABLE UMBRELLA. REFER TO INTERIOR DESIGN DRAWINGS.
11	3/4" SHIPLAP ON 1" INSULATION OVER WATER RESISTANT BARRIER OVER 5/8" SHEATHING OVER 3 1/2" WOOD STUD. REFER TO OPENING TYPE DETAILS.
14	TAPERED INSULATION HIGH POINT.
15	TAPERED INSULATION CRICKET, MINIMUM 1/4" SLOPE TO DOWNSPOUT.
16	OVERBUILT 2X FRAMING ON ROOF DECK AS REQUIRED TO SUPPORT MILLWORK BAR. TPO ROOF MEMBRANE TO TURN UP ALL AROUND AS REQUIRED BY MANUFACTURER. MANUFACTURER REFER TO ROOF DETAILS AND INTERIOR DESIGN DRAWINGS.
17	PASS THROUGH SIMILAR TO SCUPPER. REFER TO SCUPPER DETAIL.
18	MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.
19	EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.

1 ROOF PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR ROOF PLAN - UNDER PEDESTAL SYSTEM
SCALE: 1/8" = 1'-0"

ARCHITECT:

K2M DESIGN

Architecture, Engineering,
Interior Design,
Facility Asset Management

Key Largo, Florida
Key West, Florida
Marathon, Florida
www.k2mdesign.com
PROF. REG. AA26001059

Building Relationships
Based on Trust and Results

Cleveland | Highlands | Key Largo | Key West |
Marathon | Charlotte | Baltimore | Bensenville

Seal:

Scott C. Makney, License # AR83161
Expiration Date: 02/28/2025
COA #: AA26001059

Steven S. Grasley, License # 73110
Expiration Date: 02/28/2025
COA #: 30945

NOTE: This item has been digitally signed and sealed. Digital signatures must be verified on electronic files. Reproduced copies of digitally signed, sealed, and sealed documents are not considered signed and sealed.

Submissions:

No.	Description	Date
1	SCHEMATIC DESIGN	12/06/2022
2	DESIGN DEVELOPMENT	01/11/2023
3	CONSTRUCTION DOCUMENTS	03/15/2023
4	CD PERMIT SUBMISSION	04/03/2023
4	REVISION 4	11/01/2023

CASA MARINA - REBRANDING
1500 Reynolds St, Key West, FL 33040

SUN SUN BAR AND RESTAURANT RENOVATION

PARK HOTELS & RESORTS
14100 Bonnet Creek Resort Lane, Orlando, FL 32821

Drawing Size 24X36	Project #: 22075
Drawn By: YL	Checked By: VAM
Title: ROOF PLAN	
Sheet Number: A2.1.3	
Date: 03/15/2023	
©2023 by K2M Design, Inc.	

7/20/2023 4:15:03 PM \\K2M\SRV-NFS\0\ITEM\Profile\ylopez\Profile\Documents\22075 - CASA - Pool and Dining Area Concepts_R22_ROOF_OPTION\Ylopez\RR8B.rvt

CASA MARINA RESORT SUN SUN INSPIRATION AND MATERIALS



✓ FEATURED IN SCENE

SW 7103
Whitetail
Locator Number: 261-C1

PRIMARY EIFS
STUCCO COLOR

PROPOSED
ARCHITECTURAL ROOF
STYLE WITH DORMERS
TO RESPECT KEY WEST
HISTORIC BUILDING
STYLE WHILE PROVIDING
A MODERN AMENITY



FLAT ROOF TILE
IN WHITE OR
LIGHT GREY

PROPOSED ELEVATIONS

GENERAL ELEVATION NOTES:

- ALL INDICATED MANUFACTURER'S ARE BASIS OF DESIGN. REFER TO FINISH SCHEDULE LEGEND FOR ALL EXTERIOR FINISHES
- REFER TO A6.1.1 FOR ALL DOOR AND WINDOW FINISHES
- CONTRACTOR SHALL SUBMIT ALL FINISH SAMPLES, WHETHER INTERIOR OR EXTERIOR, AT THE SAME TIME SO A UNIFORMED, FINAL COLOR AND TEXTURE SELECTION/COORDINATION MAY OCCUR. IF FINISH SAMPLES ARE NOT SUBMITTED AT ONE TIME THEY SHALL BE HELD UNTIL SUCH TIME THAT ALL FINISH SELECTIONS CAN BE MADE. NOTE: IF CONTRACTOR FAILS TO SUBMIT FINISH SAMPLES IN A TIMELY, COHESIVE FASHION AND CAUSES DELAY IN MATERIAL ORDERING, IT SHALL NOT BE GROUNDS FOR CONTRACT EXTENSION OR REQUEST FOR ADDITIONAL FUNDING BY THE CONTRACTOR NOR SHALL IT REPRESENT ANY NEGLIGENT ACT, ERROR, OR OMISSION BY THE DESIGN PROFESSIONAL. THE CONTRACTOR IS SOLELY LIABLE FOR DELAYS OR MATERIAL COST INCREASES.
- C.J. CONTROL JOINT. COORDINATE WITH MANUFACTURER AND SUBMIT LOCATIONS TO ARCHITECT FOR FINAL APPROVAL

CODED NOTES EXTERIOR ELEVATION

NUMBER	NOTE
1	RAILING SYSTEM TO MATCH STAIR RAILING. REFER TO STAIR PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
2	EIFS FINISH. REFER TO FINISH SCHEDULE LEGEND
3	CEDUR SYNTHETIC ROOFING SYSTEM. REFER TO FINISH SCHEDULE LEGEND
4	5" METAL GUTTER WITH 2"x3" DOWNSPOUTS. SLOPE GUTTERS TO DOWNSPOUTS AND PROVIDE GUTTER EXPANSION AT HIGH POINTS. REFER TO FINISH SCHEDULE LEGEND, TYP.
5	2" EIFS REVEAL PER MANUFACTURER'S STANDARDS, TYP.
6	PRESSURE TREATED WOOD COLUMN. TYP. REFER TO STRUCTURAL DRAWINGS.
7	BAR.
8	EXTERIOR GRADE WOOD STAIRS AND RAILINGS, REFER TO DETAILS.
9	GLASS RAILING.
11	SF-100 SHIPLAP
12	DOWNSPOUT AND BOOT.
13	DOWNSPOUT WITH LEADER HEAD.
15	MECHANICAL EQUIPMENT MOUNTED TO EXTERIOR WALL. REFER TO MECHANICAL DRAWINGS. FINAL LOCATIONS TO BE VERIFIED IN FIELD WITH OWNER PRIOR TO INSTALLATION.
16	FLOOD VENTS PER MANUFACTURER. VENT LOCATION TO BE COORDINATED WITH EXISTING RETAINING WALL WHERE REQUIRED.
17	EIFS JOINT AT BOTTOM OF STRUCTURAL BEAM TO COLUMNS.
18	1/2" VERTICAL REVEALS ON BOTH SIDES OF COLUMN LOCATION. REFER TO DETAIL 7/A8.1.1

ARCHITECT:

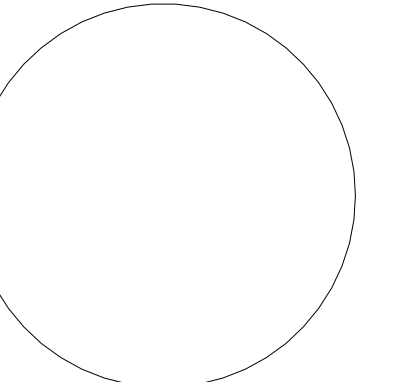
K2M DESIGN

Architecture, Engineering,
Interior Design,
Facility Asset Management

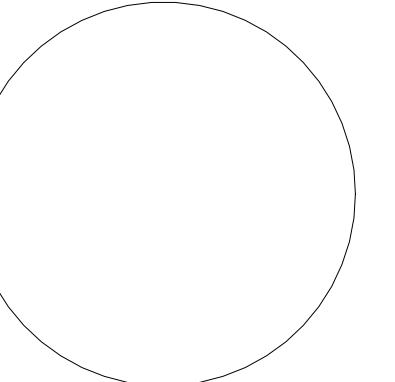
Key Largo, Florida
Key West, Florida
Marathon, Florida
www.k2mdesign.com
PROF. REG. AA26001059
Building Relationships
Based on Trust and Results

Cleveland | Indianapolis | Key Largo | Key West |
Marathon | Charlotte | Baltimore | Bensenville

Seal:



Scott C. Makrely, License # AR83161
Expiration Date: 2/28/2025
COA #: AA26001059

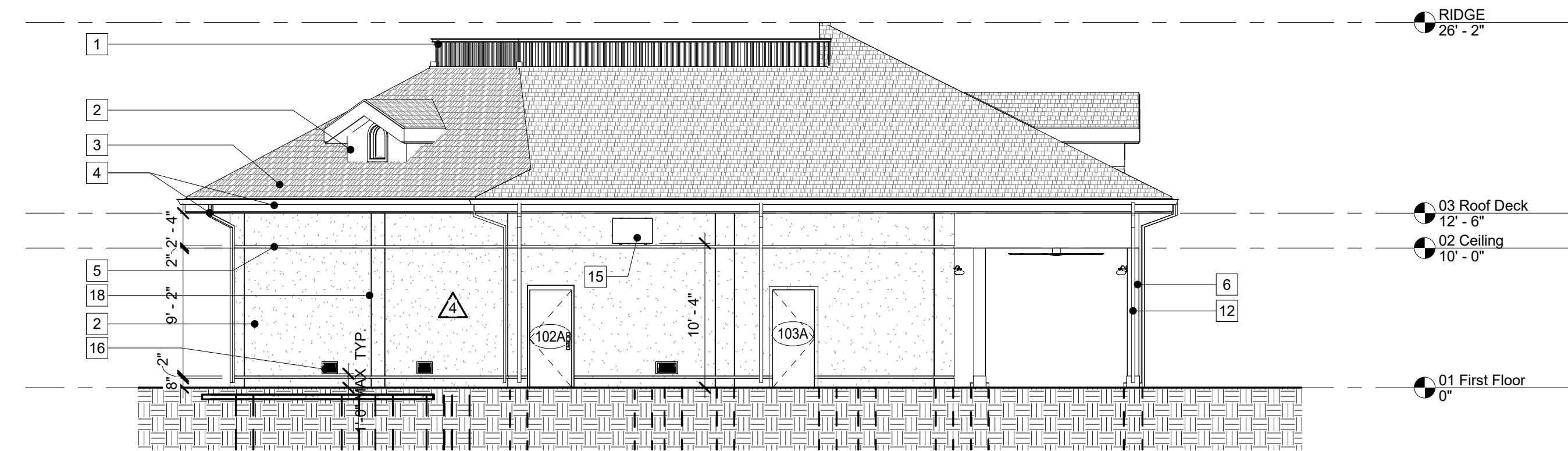


Steven S. Grasley, License # F3110
Expiration Date: 02/28/2025
COA #: 30945

NOTE: This item has been digitally signed and sealed. Digital signatures must be verified on electronic files. Reproduced copies of digitally signed, dated, and sealed documents are not considered signed and sealed.

Submissions:

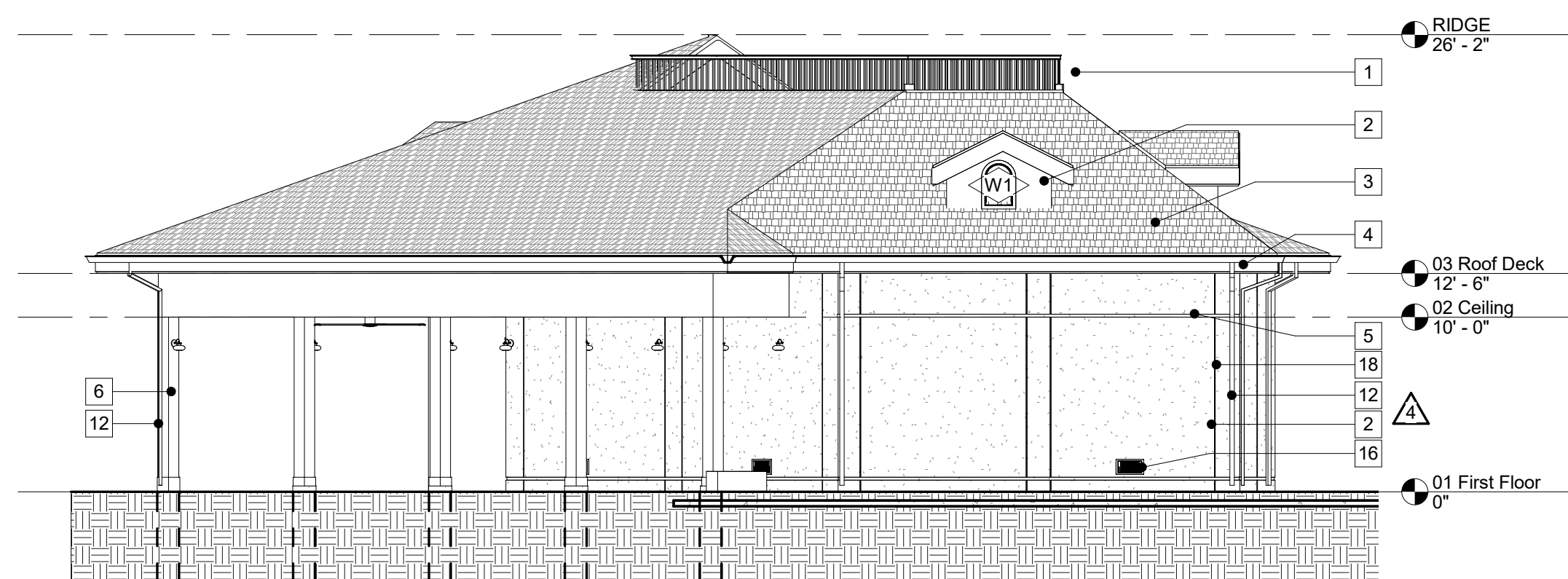
No.	Description	Date
	SCHEMATIC DESIGN	12/06/2022
	DESIGN DEVELOPMENT	01/15/2023
	CONSTRUCTION DOCUMENTS	05/15/2023
	CD PERMIT SUBMISSION	04/03/2023
4	REVISION 4	11/01/2023



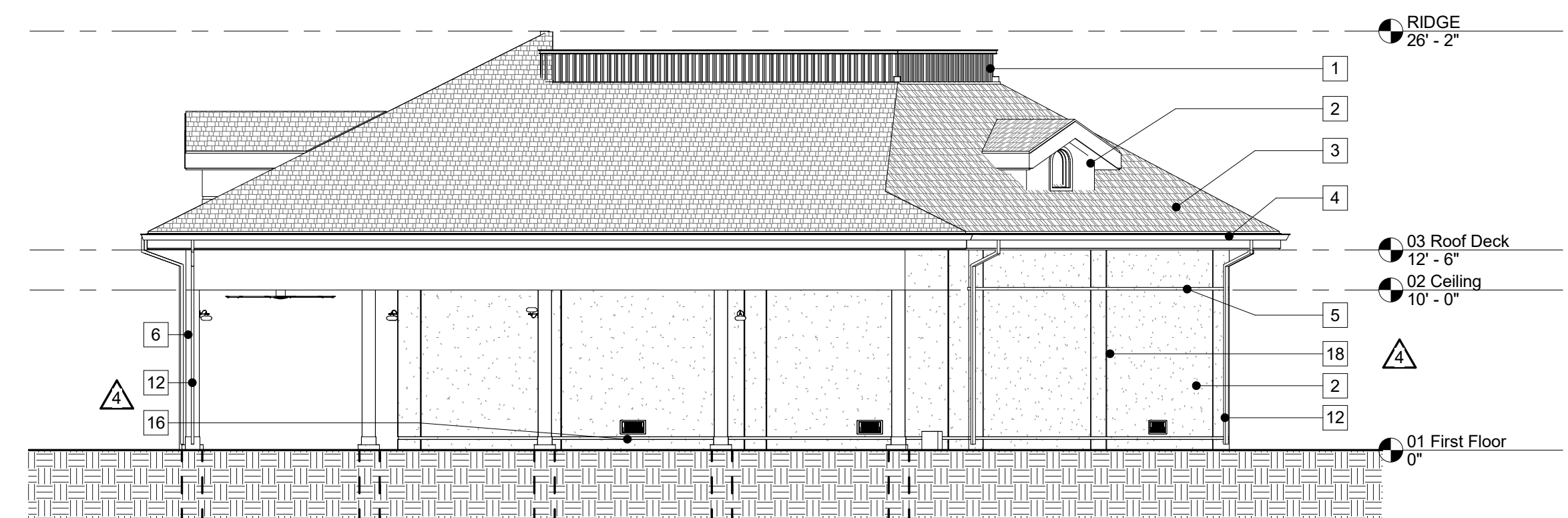
3 NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



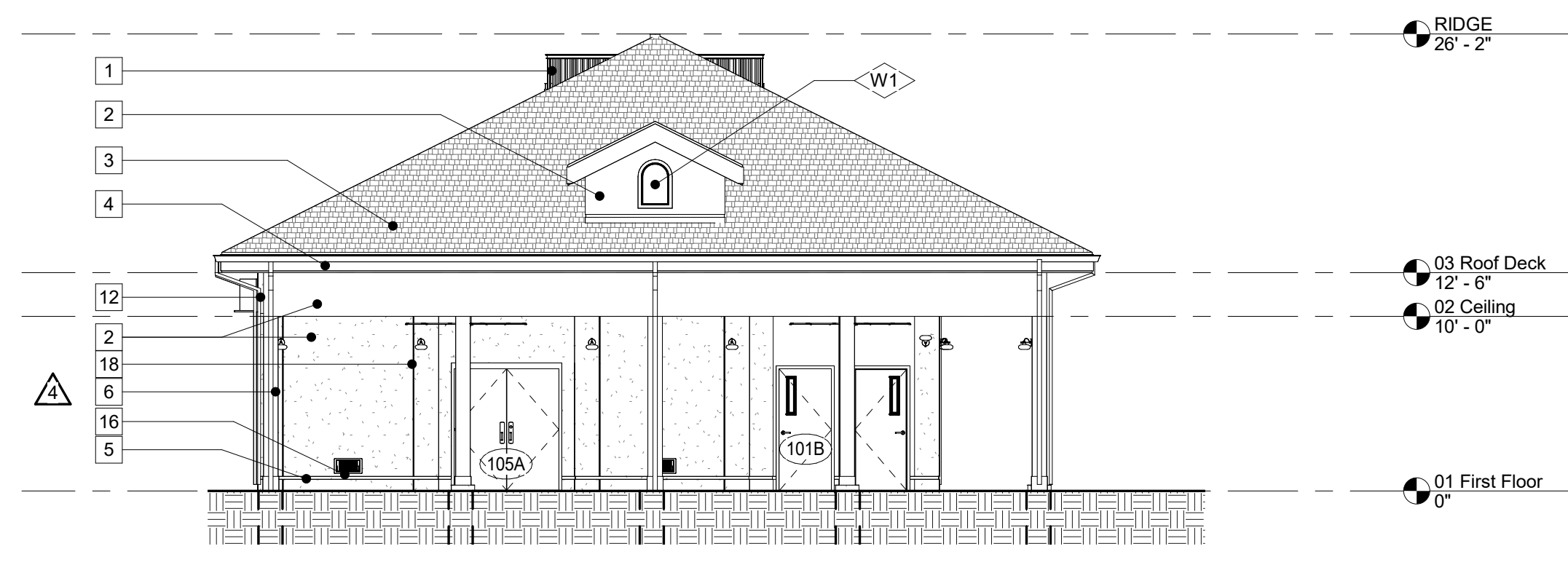
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 EAST ELEVATION
SCALE: 1/8" = 1'-0"



6 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



7 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

CASA MARINA - REBRANDING
1500 Reynolds St, Key West, FL 33040
SUN SUN BAR AND RESTAURANT RENOVATION
PARK HOTELS & RESORTS
14100 Bonnet Creek Resort Lane, Orlando, FL 32821

Drawing Size: 24X36 | Project #: 22075

Drawn By: YL | Checked By: VAM

Title: EXTERIOR ELEVATIONS - WEST BUILDING

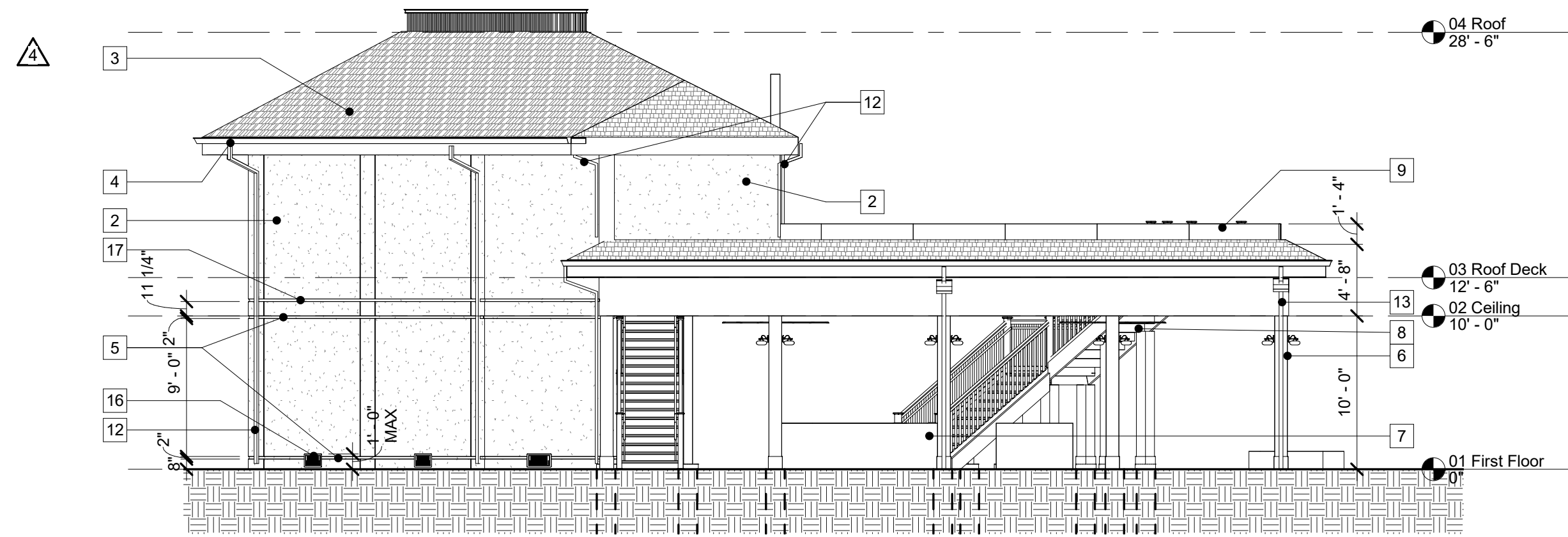
Sheet Number:

A3.1.1

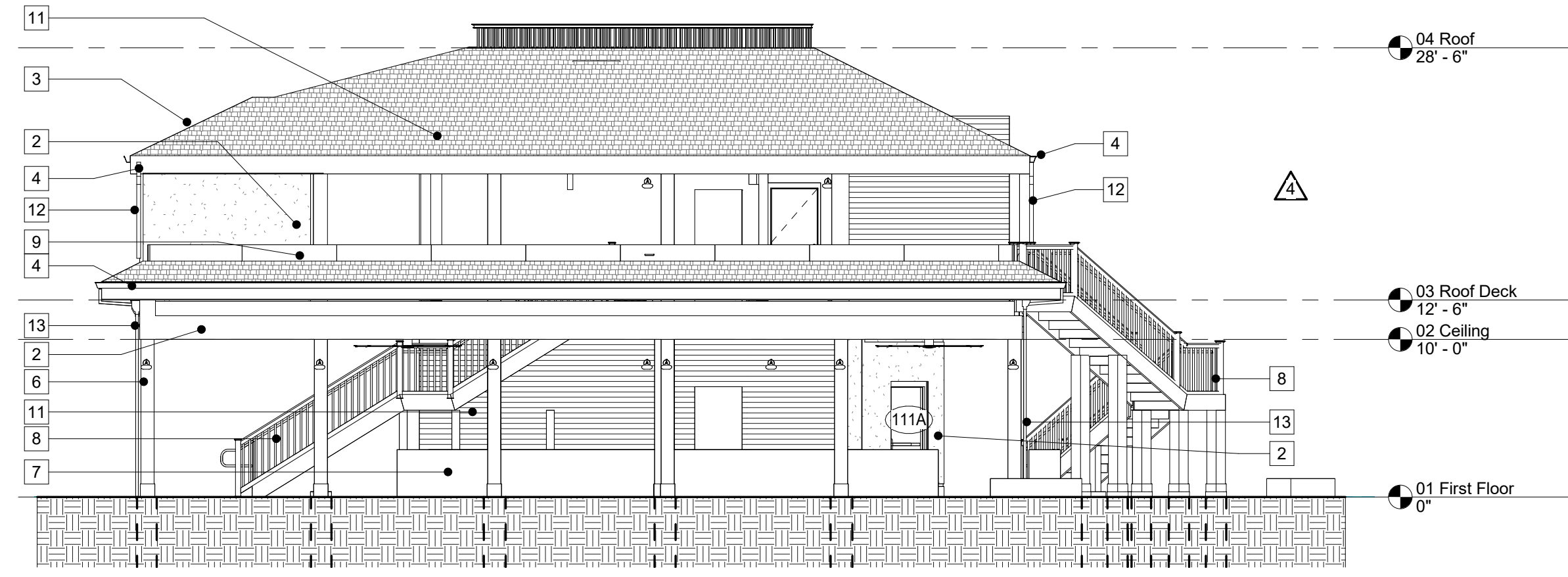
Date: 03/15/2023

©2023 by K2M Design, Inc.

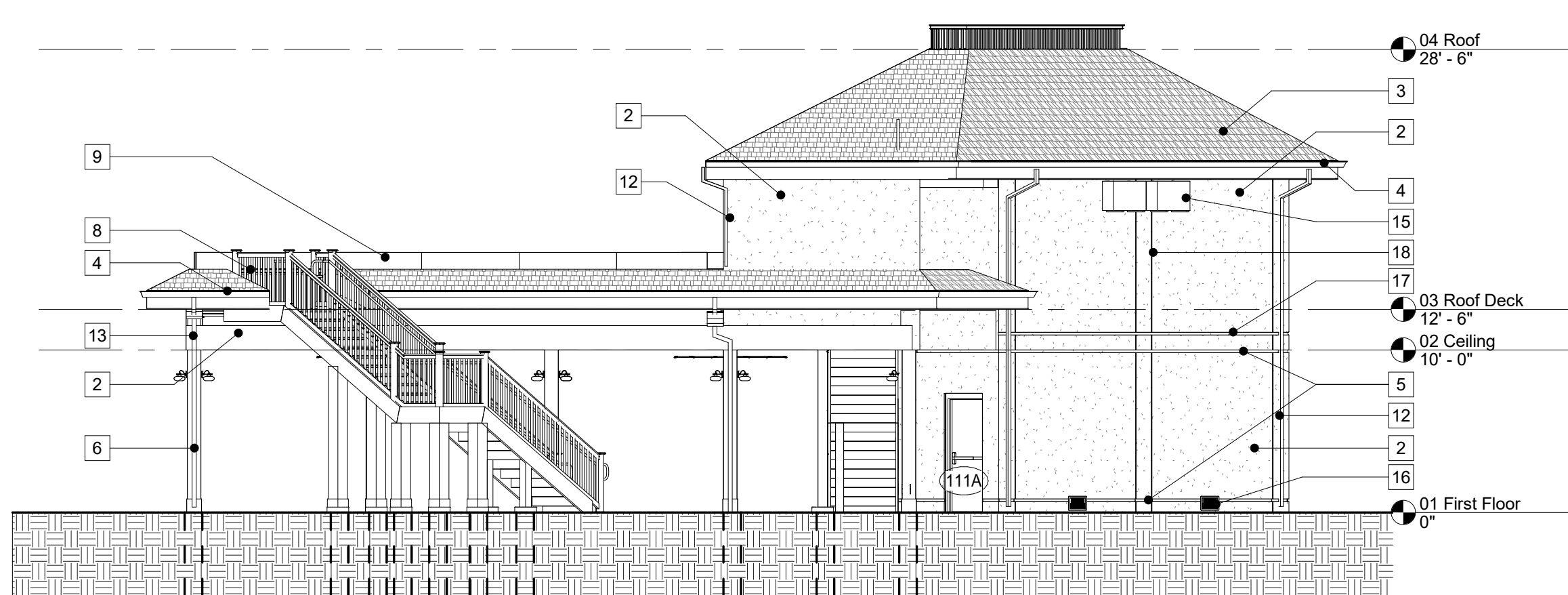
PROPOSED ELEVATIONS



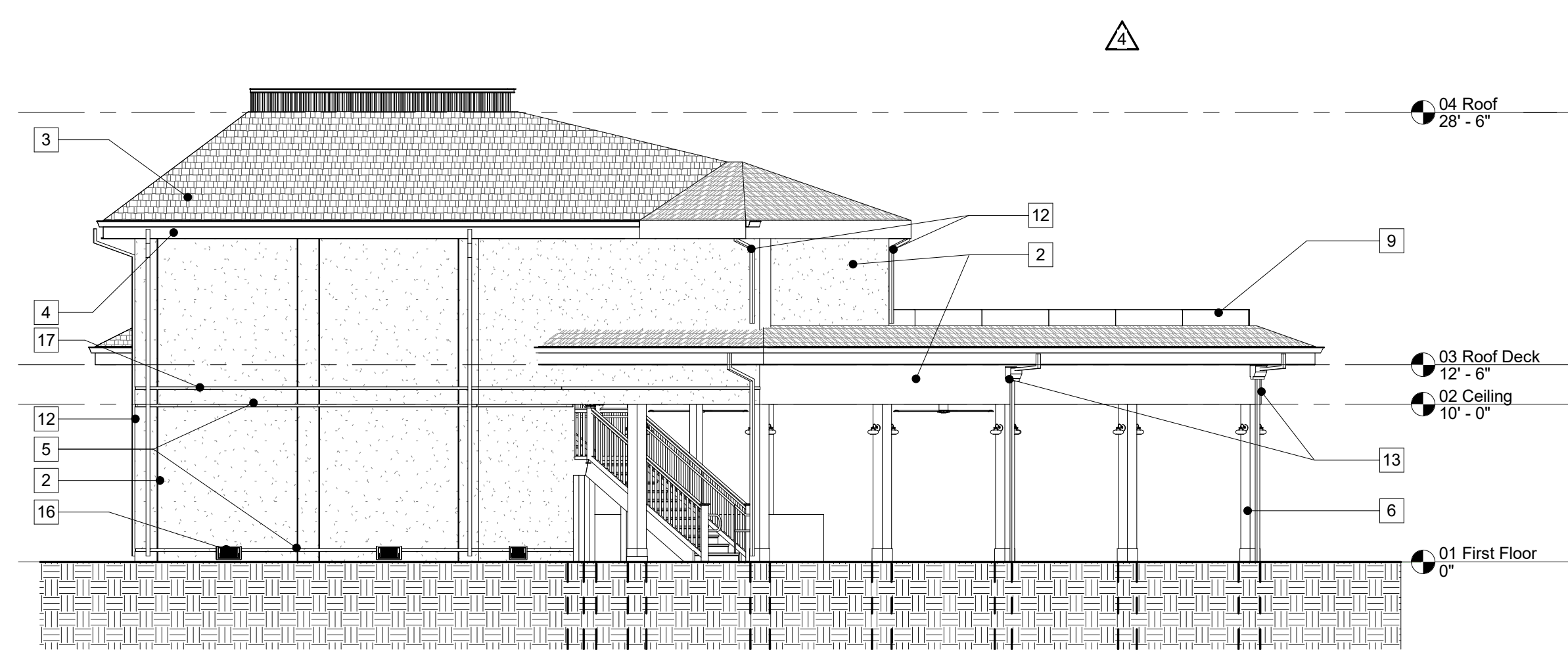
2 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



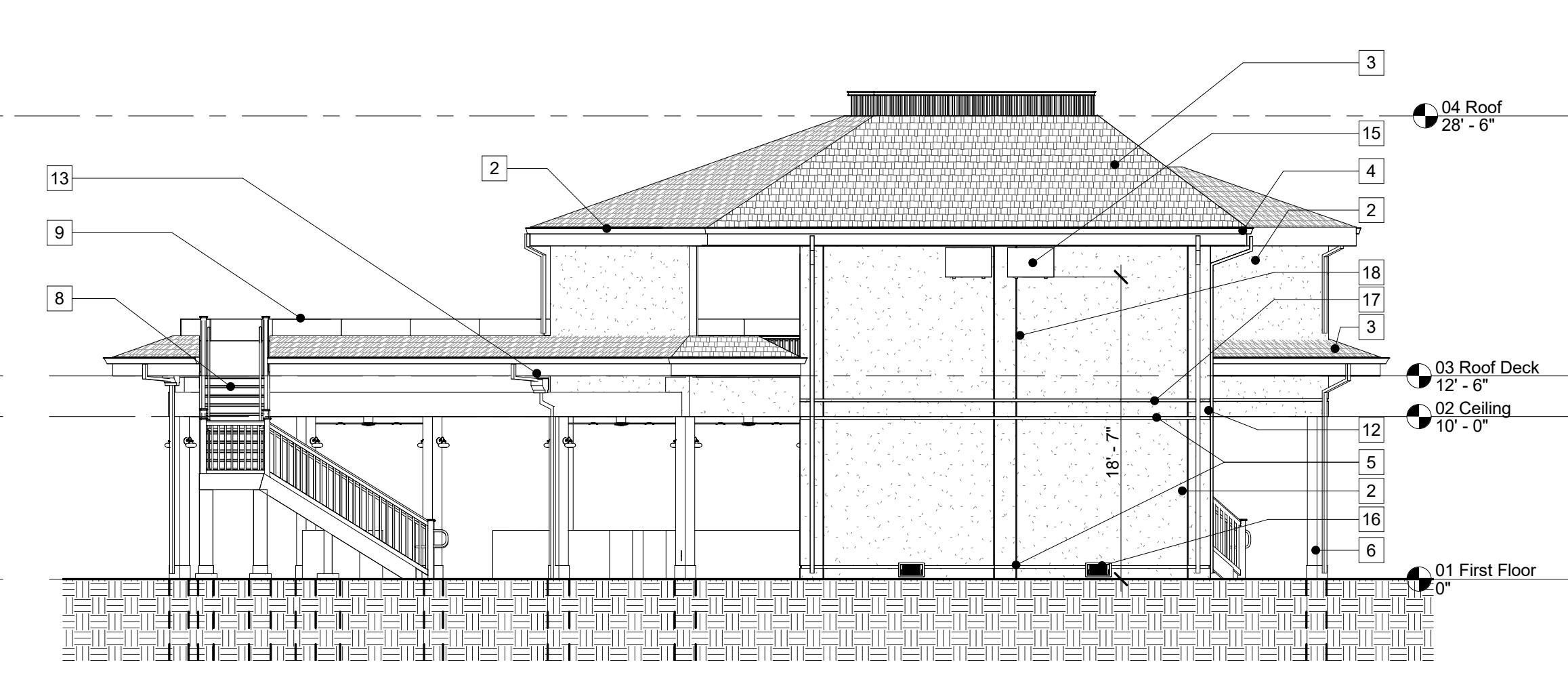
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



6 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES:

1. ALL INDICATED MANUFACTURER'S ARE BASIS OF DESIGN.
2. REFER TO FINISH SCHEDULE LEGEND FOR ALL EXTERIOR FINISHES
3. REFER TO AG. 1.1 FOR ALL DOOR AND WINDOW FINISHES
4. CONTRACTOR SHALL SUBMIT ALL FINISH SAMPLES, WHETHER INTERIOR OR EXTERIOR, AT THE SAME TIME SO A UNIFORMED, FINAL COLOR AND TEXTURE SELECTION/COORDINATION MAY OCCUR. IF FINISH SAMPLES ARE NOT SUBMITTED AT ONE TIME THEY SHALL BE HELD UNTIL SUCH TIME THAT ALL FINISH SELECTIONS CAN BE MADE. NOTE: IF CONTRACTOR FAILS TO SUBMIT FINISH SAMPLES IN A TIMELY, COHESIVE FASHION AND CAUSES DELAY IN MATERIAL ORDERING, IT SHALL NOT BE GROUNDS FOR CONTRACT EXTENSION OR REQUEST FOR ADDITIONAL FUNDING BY THE CONTRACTOR NOR SHALL IT REPRESENT ANY NEGLIGENT ACT, ERROR, OR OMISSION BY THE DESIGN PROFESSIONAL. THE CONTRACTOR IS SOLELY LIABLE FOR DELAYS OR MATERIAL COST INCREASES.
5. C.J. CONTROL JOINT. COORDINATE WITH MANUFACTURER AND SUBMIT LOCATIONS TO ARCHITECT FOR FINAL APPROVAL

CODED NOTES EXTERIOR ELEVATION

NUMBER	NOTE
1	RAILING SYSTEM TO MATCH STAIR RAILING, REFER TO STAIR PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
2	EIFS FINISH, REFER TO FINISH SCHEDULE LEGEND
3	CEDUR SYNTHETIC ROOFING SYSTEM, REFER TO FINISH SCHEDULE LEGEND
4	5" METAL GUTTER WITH 2"x3" DOWNSPOUTS. SLOPE GUTTERS TO DOWNSPOUTS AND PROVIDE GUTTER EXPANSION AT HIGH POINTS. REFER TO FINISH SCHEDULE LEGEND, TYP.
5	2" EIFS REVEAL PER MANUFACTURER'S STANDARDS, TYP.
6	PRESSURE TREATED WOOD COLUMN. TYP, REFER TO STRUCTURAL DRAWINGS.
7	BAR.
8	EXTERIOR GRADE WOOD STAIRS AND RAILINGS, REFER TO DETAILS.
9	GLASS RAILING.
11	SF-100 SHIPLAP
12	DOWNSPOUT AND BOOT.
13	DOWNSPOUT WITH LEADER HEAD.
15	MECHANICAL EQUIPMENT MOUNTED TO EXTERIOR WALL, REFER TO MECHANICAL DRAWINGS. FINAL LOCATIONS TO BE VERIFIED IN FIELD WITH OWNER PRIOR TO INSTALLATION.
16	FLOOD VENTS PER MANUFACTURER. VENT LOCATION TO BE COORDINATED WITH EXISTING RETAINING WALL WHERE REQUIRED.
17	EIFS JOINT AT BOTTOM OF STRUCTURAL BEAM TO COLUMNS.
18	1/2" VERTICAL REVEALS ON BOTH SIDES OF COLUMN LOCATION, REFER TO DETAIL 7/A8.1.1

ARCHITECT:

K2M DESIGN

Architecture, Engineering,
Interior Design,
Facility Asset Management

Key Largo, Florida
Key West, Florida
Marathon, Florida
www.k2mdesign.com
PROF. REG. AA26001059

Building Relationships
Based on Trust and Results

Cleveland | Indianapolis | Key Largo | Key West |
Marathon | Charlotte | Baltimore | Bensenville

Seal:

Scott C. Makrely, License # AR83161
Expiration Date: 2/28/2025
COA #: AA26001059

Steven S. Grasley, License # F3110
Expiration Date: 02/28/2025
COA #: 30945

NOTE: This item has been digitally signed and sealed. Digital signatures must be verified on electronic files. Reproduced copies of digitally signed, sealed, and sealed documents are not considered signed and sealed.

Submissions:

No.	Description	Date
1	SCHEMATIC DESIGN	12/06/2022
2	DESIGN DEVELOPMENT	01/13/2023
3	CONSTRUCTION DOCUMENTS	05/15/2023
4	CD PERMIT SUBMISSION	04/03/2023
4	REVISION 4	1/01/2023

CASA MARINA - REBRANDING
 1500 Reynolds St, Key West, FL 33040
SUN SUN BAR AND RESTAURANT
RENOVATION
PARK HOTELS & RESORTS
 14100 Bonnet Creek Resort Lane, Orlando, FL 32821

Drawing Size 24X36	Project #: 22075
Drawn By: YL	Checked By: VAM

Title:
EXTERIOR ELEVATIONS
- EAST BUILDING

Sheet Number:
A3.1.2

Date: 03/15/2023
©2023 by K2M Design, Inc.