

Staff Report

- 14 After the fact approval to revise existing porch fascia detail to eliminate water retention and pooling at joinder of piers and porch joists in order to preserve integrity of porch joists and columns by extending fascia to a minimum protrusion of existing piers - **#730 Southard Street – Adele V. Stones (H11-01-1006)**

This staff report is for the review of a Certificate of Appropriateness that request an after the fact consideration of new foundations that were not built flush with the front fascia board. This construction detail creates a visual effect that the sides and front of the house are *floating* since the actual foundations are setback from the fascia. Before the restoration project started the house used to have the front face of the foundation flush with the fascia board and wooden pickets were installed between the piers. According to the approved plans by HARC this detail was going to be restored.

Staff understands that the following guidelines can be reviewed for this application:

Foundations and lattice infill (page 34):

- (8) *Foundations should be repaired or replaced to match original foundation size and appearance.*

Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Structures (pages 16-17);

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 4

Most properties change over time: those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes and construction techniques or samples of craftsmanship that characterize a historic property shall be retained and preserved.

Staff had reviewed all available old pictures of this house and founded that only one photo from the Heritage House Collection taken from the 1930's depicts continuous pickets in the William Street elevation. This

photo may be deceiving since it looks like there is a continuous picket infield under the house and that the foundations are covered with the infield. Staff did a zoom of the photo and what really shows is a picket fence in front of the house facing William Street. Notice the post and knee wall under the fence and that it continues far after the porch finishes towards the garage. Pickets also extend over fascia board on the first floor.

It is staff's opinion that the way that the perimeter foundations were built during the restoration process is inconsistent with the guidelines and the Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Structures. This historic house has preserved its original integrity through times and, because of that, it is a unique example of a traditional crafted vernacular architecture that must be protected and preserved.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # H-12-01-1006 ^{1006 ef.}

HISTORIC ARCHITECTURAL REVIEW APPLICATION

OWNER'S NAME: Vincent Barletta DATE: 06/14/12

OWNER'S ADDRESS: 730 Southard Street, Key West PHONE #: _____

APPLICANT'S NAME: Adele V. Stones, Stones & Cardenas PHONE #: (305) 294-0252

APPLICANT'S ADDRESS: 221 Simonton Street, Key West, FL 33040

ADDRESS OF CONSTRUCTION: 730 Southard Street, Key West, FL # OF UNITS: 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: After-the-fact approval to revise existing porch fascia detail to eliminate water retention and pooling at joinder of piers and porch joists in order to preserve integrity of porch joists and columns by extending fascia to minimum protrusion of existing piers.

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Required Submittals

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due:\$ _____

Date: 6/14/12

Applicant's Signature: Adele V. Stones

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved

Denied

Deferred

Reason for Deferral or Denial:

HARC Comments:

Contributing building - built ca. 1910
Guidelines for porches (32-33)
Secretary of the Interior's standards (pages 16-17)

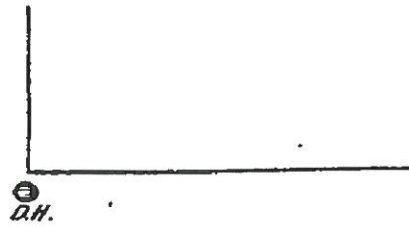
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

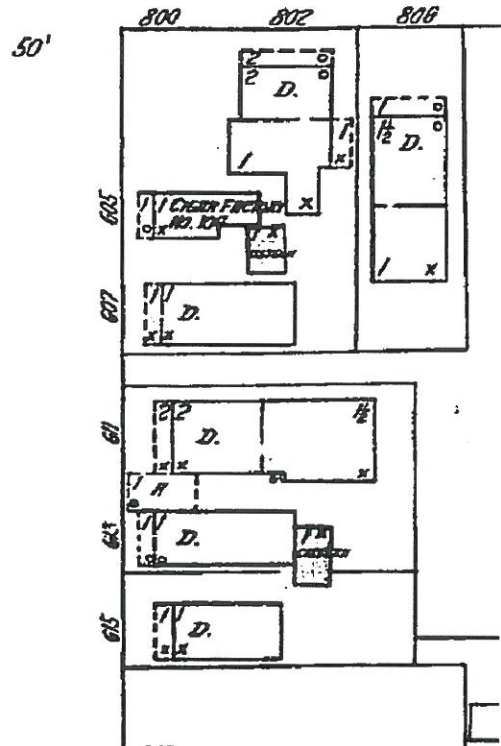
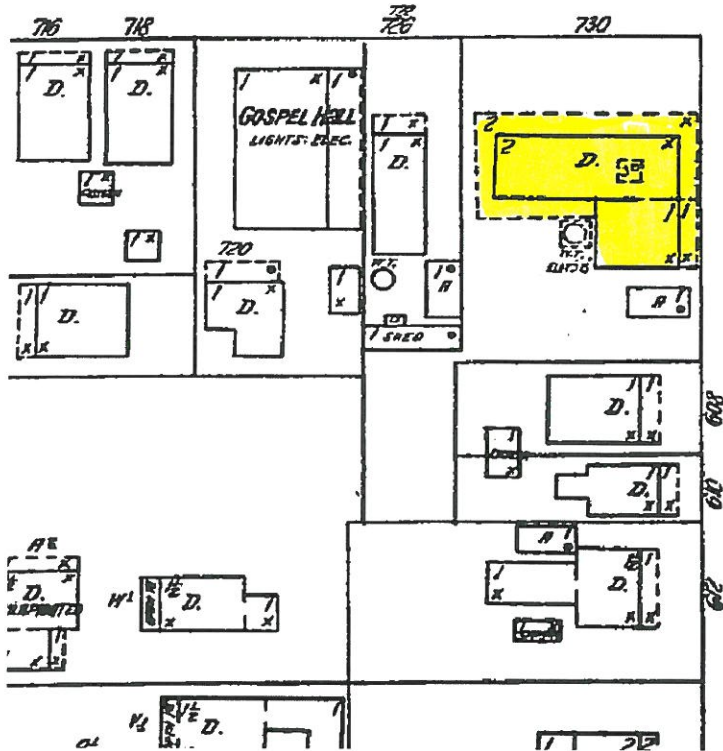
Signature: _____

Historic Architectural
Review Commission

Sanborn Maps



SOUTHARD

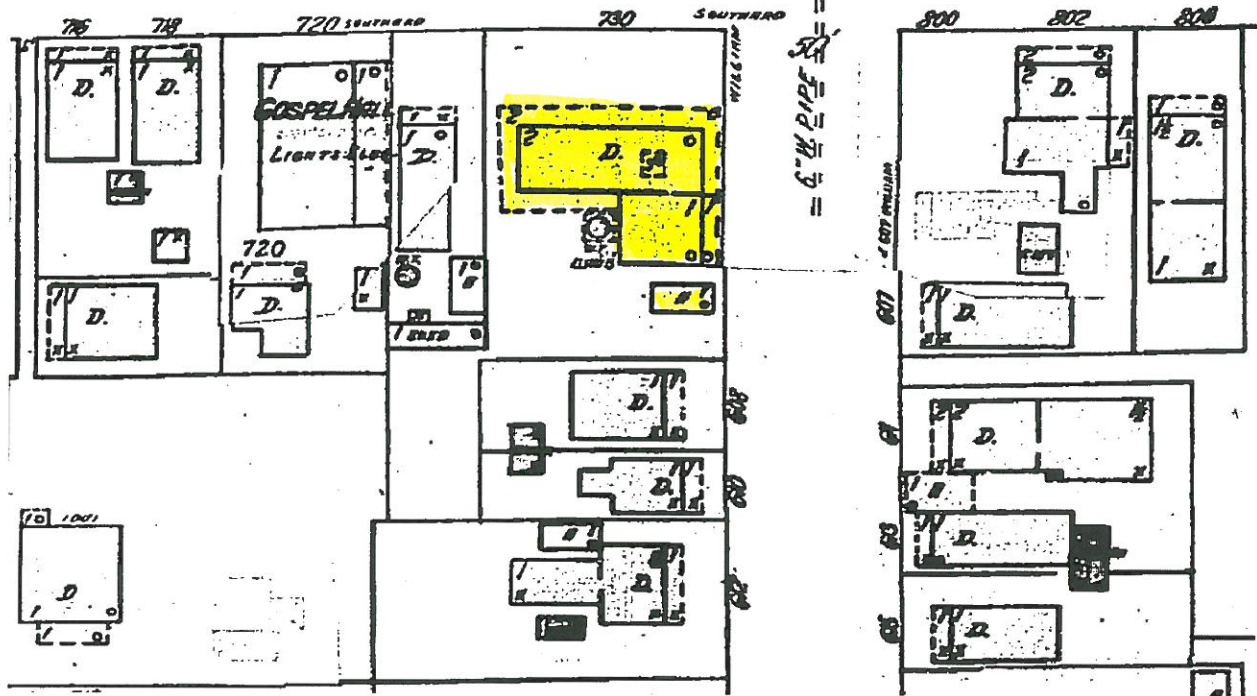


#730 Southard Street Sanborn map 1926

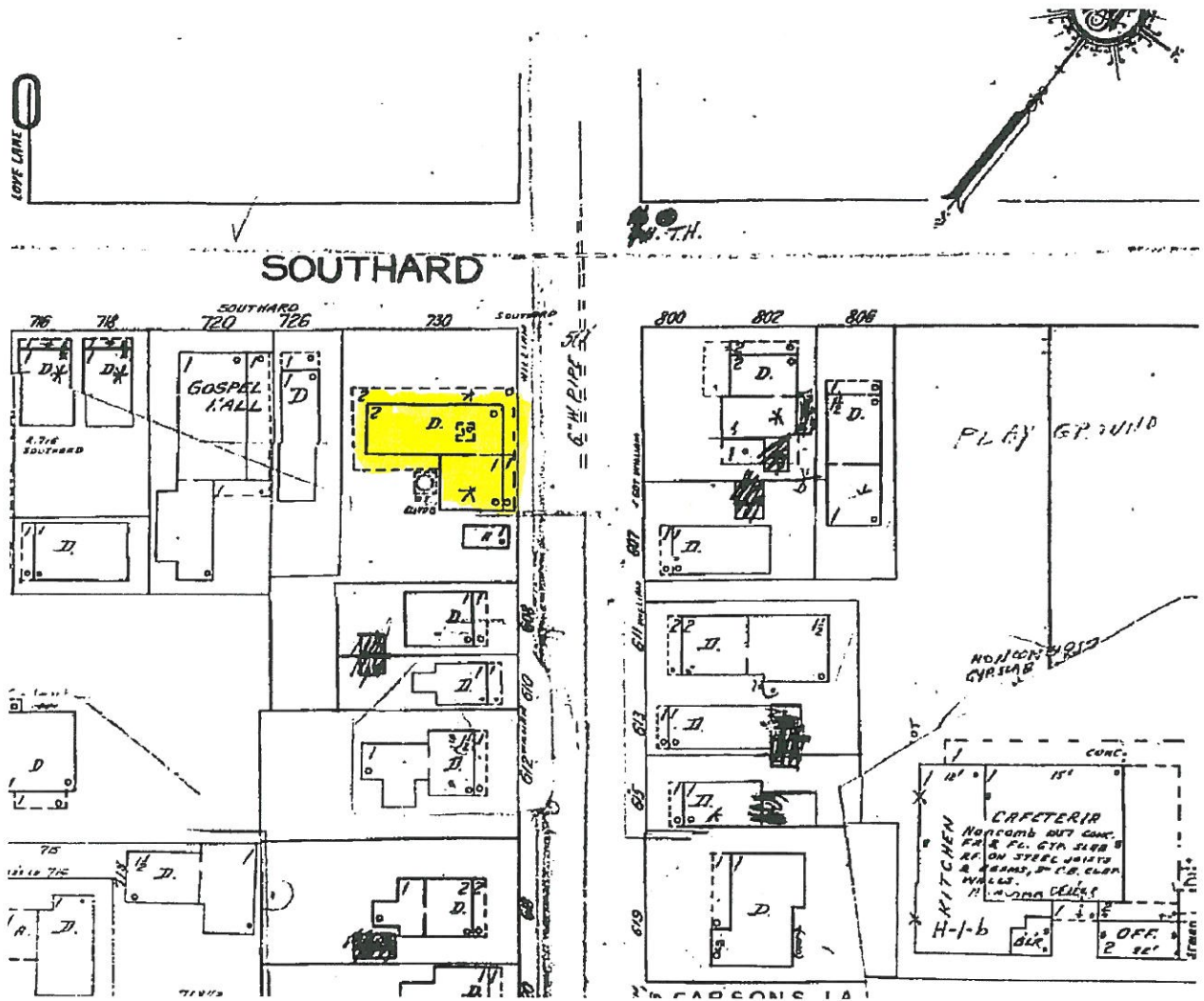
10
LOVE LANE

SOUTHARD

DN.



#730 Southard Street Sanborn map 1948



#730 Southard Street Sanborn map 1962

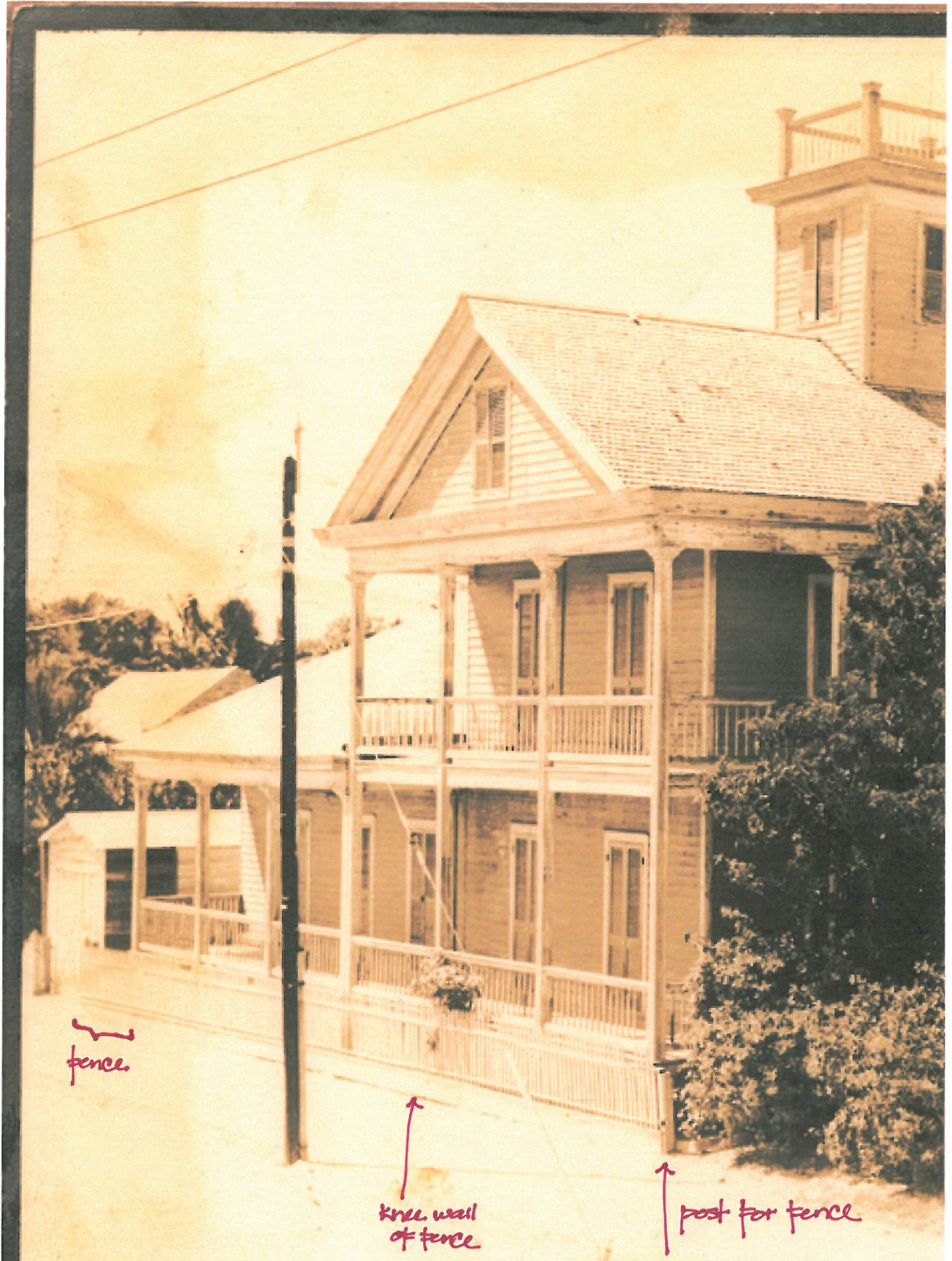
Project Photos



The Heritage House Collection, donated by the Campbell, Poirier and Pound families. The house at 730 Southard Street in the 1930s. From a collection of photographs taken or collected during the 1930s by the WPA workers in Key West. Monroe County Library



zoomed picture 1930s



fence

knee wall
of fence

post for fence



Photo taken by the Property Appraiser's office c1965; 730 Southard St.; Monroe County Library



The house at 730 Southard Street circa 1970. From the Dale McDonald Collection. Monroe County Library



The front of the Albury house at 730 Southard taken 1971. U.S. Navy photo. Monroe County Library

Conchology

7 Sept 1986

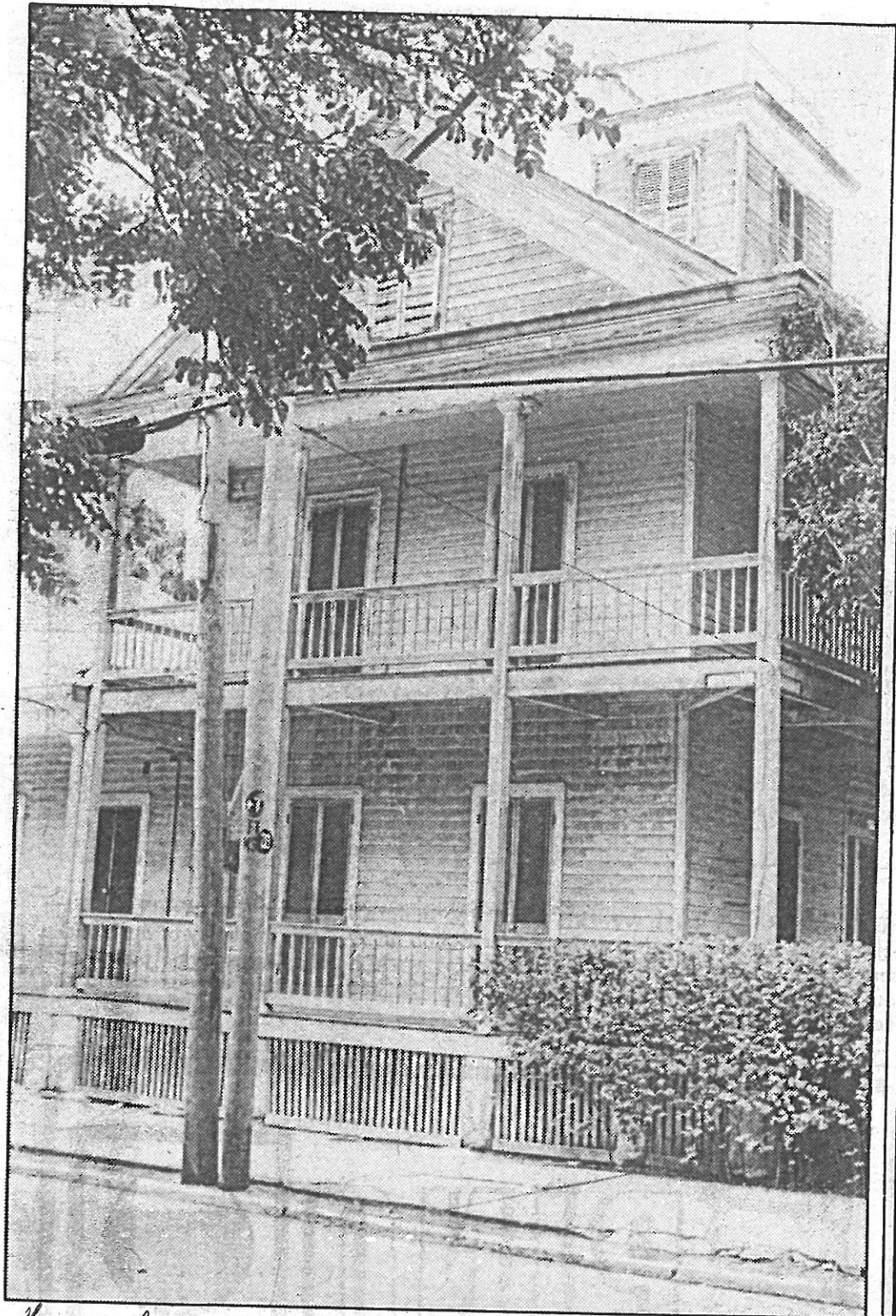
By DON PINDER



730 South Main
SQ 59 - lot 2

'Island Lore'

Vol 4 p 44



Keynote 2 May 1987

Keynote photo by BOB KOSLOW

WILLIAM ALBURY House at the corner of William and Southard streets is one of the oldest homes in Key West. The wood structure features many 'Conch home' items such as stone piers, wrap-around porches, tall and aligned windows, vents in the attic and a widow's walk incorporated from New England architectural styles.











PARKING
BY PERMIT
ONLY
VIOLATORS WILL BE
SUED AT OWNERS
RISK



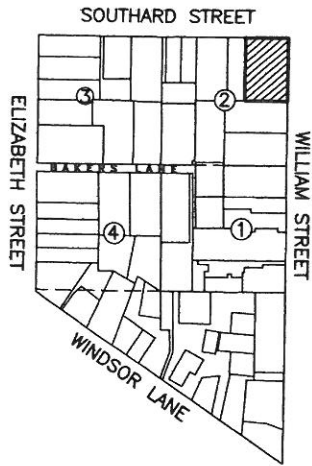




PARKING BY PERMIT ONLY

Tyv

Survey



LOCATION MAP

Port of Tract 5, City of Key West

LEGAL DESCRIPTION:

On the Island of Key West and known on William A. Whitehead's map delineated in February, A.D. 1829, as Part of Lot Two (2) of Square Fifty-nine (59). Commencing at the corner of the intersection of William Street and Southard Street and running thence along the Southwesterly side of William Street in a Southeasterly direction One Hundred (100) feet; thence at right angles in a Southwesterly direction Sixty-eight and fifty-three one-hundredths (68.53) feet; thence at right angles in a Northwesterly direction One hundred (100) feet to the Southeasterly side of Southard Street; thence at right angles along the Southeasterly side of Southard Street, in a Northeasterly direction Sixty-eight and fifty-three one-hundredths (68.53) feet to the Point of Beginning.

SURVEYOR'S NOTES:

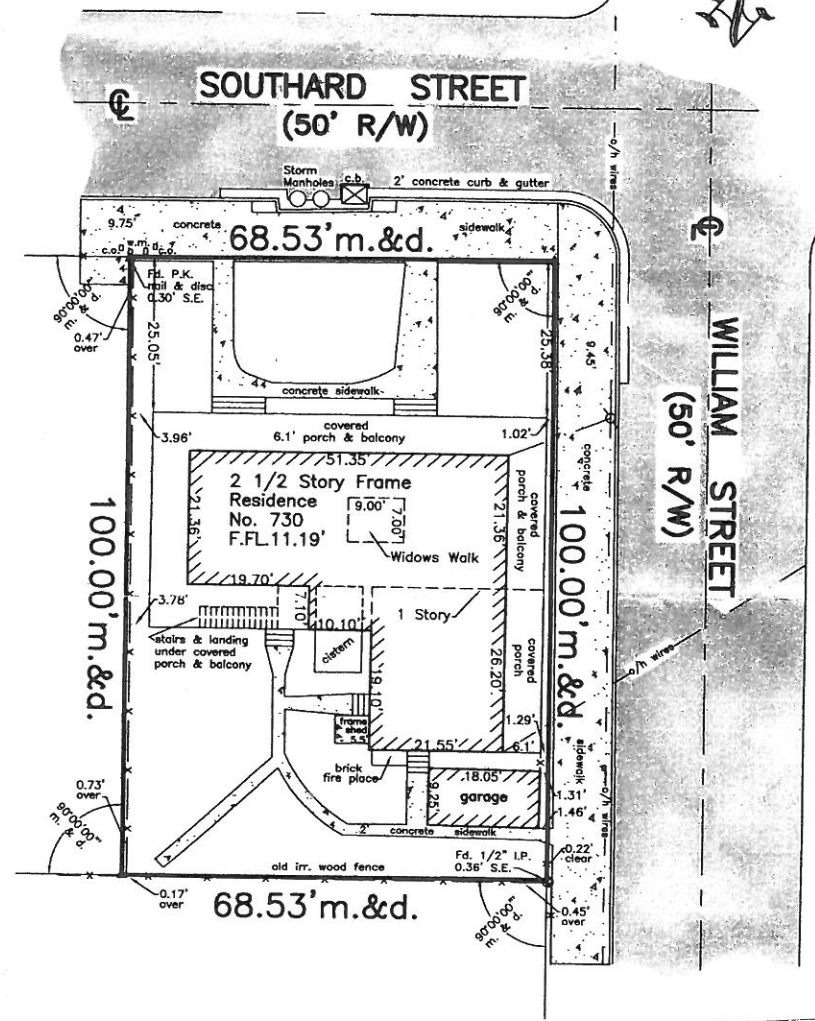
North arrow & bearings based on assumed median
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: Basic Elevation: 14.324

Monumentation:

- ⊙ = found 1/2" Iron Pipe
- ▲ = found P.K. Nail
- △ = set P.K. nail P.L.S. No. 2449

Abbreviations:

- | | |
|-----------------------|-----------------------------|
| Sty. = Story | Irr. = Irregular |
| R/W = Right-of-Way | conc. = concrete |
| fd. = Found | I.P. = Iron Pipe |
| p. = Plat | P.O.C. = Point of Commence |
| m. = Measured | P.O.B. = Point of Beginning |
| N.T.S. = Not to Scale | P.B. = Plat Book |
| ⊙ = Centerline | pg. = page |
| Elev. = Elevation | C.L.F. = Chain Link Fence |
| B.M. = Bench Mark | C.B. = Catch Basin |



RECORDED
 FEB 08 2012

Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., June 26, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

AFTER THE FACT APPROVAL TO REVISE EXISTING PORCH FASCIA DETAIL TO ELIMINATE WATER RETENTION AND POOLING AT JOINDER OF PIERS AND PORTCH JOISTS IN ORDER TO PRESERVE INTEGRITY OF PORCH JOISTS AND COLUMNS BY EXTENDING FASCIA TO A MINIMUM PROTRUSION OF EXISTING PIERS
#730 SOUTHARD STREET

Applicant- ADELE V. STONES- Application Number H12-01-1006

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at www.keywestcity.com .

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION