



**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**

To: Chairman and Planning Board Members

From: Nicole Malo

Through: Amy Kimball-Murley, AICP, Planning Director

Meeting Date: November 18, 2010

Agenda Item: An application for Conditional Use approval for a fire station located at 201 Truman Avenue, in the HMDR zoning district per Section 122-598 (7) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Request: Conditional Use approval for the relocation of Fire Station Number 2 from Angela Street to 201 Truman Avenue

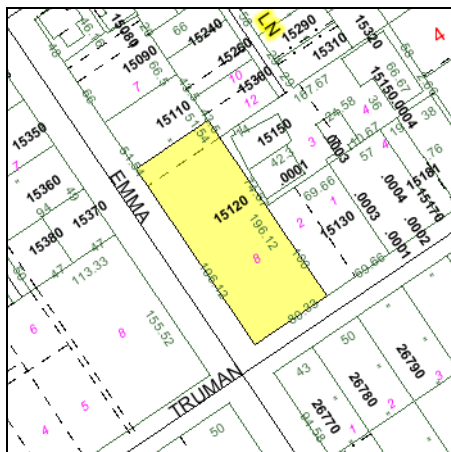
Applicant: City of Key West

Property Owner: Key West Housing Authority

Authorized Representative:
David Fernandez, Assistant City Manager

Location: 201 Truman Avenue
RE # 00015120-000000

Zoning: Historic Medium Density Residential (HMDR)



Background:

The subject property is located on the northeast corner of Truman Avenue and Emma Street. The structure on the site was originally developed as a single family home but in recent years has accommodated a day care center and office uses.

Request:

This request is for a conditional use approval for a fire station on the site. Section 89-9 of the Code of Ordinances defines fire facilities as protective services. These services are allowed in the HMDR district as conditional uses.

Fire Station Number 2 is currently located in the City Hall Administrative Offices at 525 Angela Street. That structure is expected to be demolished once the fire station and city offices are relocated. The new location will enable the Fire Department to maintain required response time and provide continued vital service to the Old Town area.

The single family structure on the site will be used as an office and provide accommodations for four to five fire personnel; these individuals are on duty 24 hours a day. The rear yard of the structure will be used for the storage of one fire engine and provision of four off street parking spaces.

The proposal includes the construction of a concrete slab, a temporary carport, and two swales to treat stormwater on the site. The proposed carport is made of canvas with three sides. The proposed location of the carport meets setback requirements and the design has been approved by HARC. Currently the site is ADA compliant. No parking requirements are specified in the Code for protective service facilities; however, the applicant is proposing four off street parking spaces for use of the personnel on duty. No changes are proposed to the primary structure and the existing storage shed.

Surrounding Zoning and Uses:

North: HMDR: Residential
South: HMDR: Vacant lot
East: HMDR: Multi-family residential
West: HMDR: Multi-family residential

Uses Permitted in the HMDR

Zoning District Per Section 122-597, Code of Ordinances:

- (1) Single-family and two-family residential dwellings.
- (2) Multiple-family residential dwellings.
- (3) Group homes with less than or equal to six residents as provided in section 122-1246

Conditional Uses Per Section 122-598, Code of Ordinances:

- (1) Group homes with seven to 14 residents as provided in section 122-1246.
- (2) Cultural and civic activities.
- (3) Educational institutions and day care.
- (4) Nursing homes/rest homes and convalescent homes.

- (5) Parks and recreation active and passive.
- (6) Places of worship.
- (7) Protective services.
- (8) Public and private utilities.
- (9) Parking lots and facilities.

Process:

Development Review Committee Meeting: September 23, 2010
Tree Commission Meeting: N/A
Planning Board Meeting: October 21, 2010
H.A.R.C: September 28, 2010, Approval #H10-01-432

Conditional Use Review:

Code Sec.122-62 (a) provides, in part, that “a conditional use shall be permitted upon a finding by the Planning Board that the proposed use, application, and, if applicable, development plan comply with the criteria specified in this section, including specific conditions established by the Planning Board and or the City Commission during review of the respective application in order to ensure compliance with the Comprehensive Plan and Land Development Regulations. The same section also specifies that “a conditional use shall be denied if the City determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public’s interest.”

Conditional Use Criteria Per Code Sec. 122-62:

- (a) **Findings:** The Planning Board may find that the application meets the Code purpose of ensuring that “a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity.” The following criteria form the basis for a finding of compliance.

The property is zoned HMDR, which is generally intended to accommodate historic Old Town medium density residential development. Protective services are allowed in the district by conditional use only.

The proposed site is located in a predominantly residential neighborhood which includes the Roosevelt Sands project which is currently being redeveloped by the Housing Authority and which was the subject of a Major Development Plan approval by the city last year. Potential impacts to the neighborhood could include noise generated by the fire engine and the emergency siren. To help reduce potential noise impacts, the Fire Department uses discretion when initiating the fire engine siren on a case by case basis.

- (b) **Characteristics of Use Described:**

- 1) **Scale and Intensity:**
 - a. **Floor Area Ratio:**

Floor Area Ratio is not applicable to the proposed conditional use. The use is not commercial in nature.

b. Traffic Generation:

The Institute of Transportation Engineers Trip Generation Manual, 7th Edition, does not address protective service uses similar to the proposed use. The intended use for the fire house substation is to accommodate 4-5 fire personnel stationed at the site at any given time and the office is not expected to service members of the public on a regular basis. Therefore trip generation is expected to be similar to the residential uses. Trip generation may decrease from the previous use of the structure as a day care center.

c. Square Feet of Enclosed Building for Each Specific Use:

The primary structure is approximately 2,272 square feet. The existing shed on the site is approximately 563 square feet.

d. Proposed Employment

There will be approximately four to five employees working on the site at one time.

e. Proposed Number of Service Vehicles:

Service vehicles are not expected to be associated with the project. Provisions are typically delivered to Fire Station No.1 and transported by personnel to the site.

f. Off-Street Parking:

The Code does not explicitly define parking requirements for Protective Services uses; however, the proposal includes four on-site parking spaces to accommodate on duty personnel.

2) On or Off site Improvements Required and Not Listed in Subsection (b)(1)

a. Utilities:

No utility changes are expected as a result of the proposed conditional use. Additionally, Keys Energy Services and Florida Keys Aqueduct Authority have no objections to the proposed conditional use.

b. Public facilities:

No changes to public facilities are required to ensure compliance with concurrency management, as provided in Chapter 94 of the City Code. There are no expected changes regarding level of service for potable water and sanitary sewer. Site improvements include two proposed swales designed to meet onsite stormwater retention requirements. Trip generation may decrease from the previous use.

c. Roadway or Signal Improvements:

No changes are required to the roadway and no signal improvements are proposed.

d. Accessory Structures or Facilities:

The proposal includes a canvas carport adequate to accommodate and protect the fire engine. The carport is made of canvas with three sides to protect the equipment. When the applicants relocate to a new firestation the carport will be removed from the site.

- e. **Other Unique Facilities/Structures Proposed as Part of On-Site Improvements:**
The proposed project does not include unique facilities or structures.

3) On-Site Amenities Proposed to Enhance the Site and Planned Improvements.

The applicant is not proposing any exterior changes to the site.

a. Open Space:

The site is currently 69.4 % open space. The applicant is proposing to reduce open space on the site 18.6 % to 50.8 % open space. The site is compliant to open space requirements.

b. Setbacks from Adjacent Properties:

No changes are proposed that would alter structural setbacks. The proposed carport will meet setback requirements of 5 feet from side and rear yard property lines.

c. Screening and Buffers:

No screening or buffers are proposed and none exist on the site.

d. Landscaped Berms Proposed to Mitigate Against Adverse Impacts to Adjacent Sites:

No landscaped berms are proposed.

e. Mitigative Techniques for Abating Smoke, Odor, Noise, and Other Noxious Impacts:

To mitigate potential noise concerns the Key West Fire Department will use discretion when using the emergency siren that may impact the neighborhood. Because the siren is necessary in emergency situations it is difficult to propose mitigative noise measures. No noxious impacts are anticipated as a result of this proposal.

- (c) **Criteria for Conditional Use Review and Approval.** Applications for a Conditional Use review shall clearly demonstrate the following:

1) Land Use Compatibility:

The proposed location of Fire Station #2 is surrounded by residences and some vacant lots (one directly across Truman Avenue and one at the rear of the site). Across Emma Street is the Roosevelt Sands Housing Authority residential development. This complex has been approved for phased demolition and reconstruction, and is scheduled to be under construction during portions of the Fire Station occupation of the site. Single family residential homes are located adjacent to the proposed site to the Northeast and East of the site. The proposed fire station may increase short term noise impacts in

cases of emergency dispatch situations. However, parking and traffic impacts may be reduced from the previous use as a child care center. Four onsite parking spaces are proposed to accommodate emergency personnel on duty. Although the site is located in a dense residential neighborhood, the particular location has been deemed to be the most appropriate, available location to provide first responder emergency services to Old Town. Fire stations are often located in residential areas, and in fact the Angela Street station is directly adjacent to single family homes. Additionally, the width of Emma Street provides space for fire engine maneuverability, the size of the rear yard allows for on-site personnel parking and accommodation of the fire engine, and the existing structure is adequate to accommodate fire personnel needs. Therefore, the proposed location of the essential emergency services on the site appears to be generally compatible with adjacent land uses.

2) Sufficient Site Size, Adequate Site Specifications and Infrastructure to Accommodate the Proposed Use:

The size and shape of the site are adequate to accommodate the proposed scale and intensity of the conditional use requested. The rear yard is approximately 6,900 square feet and can accommodate the proposed concrete slab of 840.5 square feet for the fire engine and the proposed concrete slab of 1,300 square feet for four off street parking spaces, while maintaining open space requirements. The existing driveway and curb cut are proposed to be relocated to achieve easier fire engine access and maneuverability on and off the site. Therefore, off street parking may be relocated. Internal circulation modifications are minimal, and the driveway will be extended to access the off street parking area from the relocated curb cut. Urban design amenities are not proposed. The applicant intends to use the existing infrastructure on the site for the dormitory and offices.

3) Proper Use of Mitigative Techniques:

The proposal includes adequate off street parking to help alleviate impacts to the neighborhood. No other mitigative techniques are proposed.

4) Hazardous Waste:

Not applicable; no hazardous waste will be generated or stored on site by the proposed conditional use.

5) Compliance with Applicable Laws and Ordinances:

The applicant will comply with all applicable laws and regulations as a condition of approval. The applicant has been approved by the Historic Architectural Review Committee and is ADA compliant.

6) Additional Criteria Applicable to Specific Land Uses. Applicants Shall Demonstrate the Proposed Conditional Use Satisfies the Following Criteria:

a. Land Uses Within a Conservation Area:

Not applicable; the site is not located in a conservation area.

- b. Residential Development:**
Not applicable; no residential development is proposed.
- c. Commercial or Mixed Use Development:**
Not applicable; no commercial or mixed use development is proposed.
- d. Development Within or Adjacent to Historic Districts:**
The proposed site is within the City's Historic District. The applicant has obtained HARC approval for the temporary carport through Approval #H10 - 01- 432.
- e. Public Facilities or Institutional Development:**
Not applicable; no public facilities or institutional development is being proposed.
- f. Commercial Structures, Uses and Related Activities Within Tidal Waters:**
Not applicable; this site is not located within tidal waters.
- g. Adult Entertainment Establishments:**
Not applicable; no adult entertainment is proposed.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

Concurrency management has been previously addressed in this report. The proposed site is in compliance with Chapter 94 of the City Code of Ordinances.

RECOMMENDATION:

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends the request for conditional use be **approved** with the following conditions:

1. The carport will be removed upon the Fire Department's vacation of the site.

Draft Resolution

RESOLUTION NUMBER 2010-0XX

A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING A CONDITIONAL USE APPROVAL PER SECTION 122-62 AND 122-63 OF THE CODE OF ORDINANCES FOR PROTECTIVE SERVICES FOR A TEMPORARY FIRESTATION LOCATED AT 201 TRUMAN AVENUE (RE# 00015120-000000) IN THE HISTORIC MEDIUM DENSITY RESIDENTIAL (HMDR) ZONING DISTRICT, PURSUANT TO SECTION 122-598(7) OF THE CODE OF ORDINANCES, KEY WEST FLORIDA; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the subject property is located in the Historic Medium Density Residential (HMDR) zoning district; and

WHEREAS, Section 122-598(7) of the Code of Ordinances provides that protective services are allowed as a conditional use within the HMDR zoning district; and

WHEREAS, Section 122-61 of the Code of Ordinances allows applicants to request a conditional use approval; and

WHEREAS, the applicant filed a conditional use application for Fire Station No.2 to be located at 201 Truman Avenue; and

_____ Chairman

_____ Planning Director

WHEREAS, Section 122-62 outlines the criteria for reviewing a conditional use application by the Planning Board; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on October 21, 2010; and

WHEREAS, the Planning Board found that the proposed use complies with the criteria in Section 122-62; and

WHEREAS, the approval of the conditional use application will be in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

NOW THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as fully set forth herein.

Section 2. That the conditional use request for a protective services Fire Station facility in the HMDR zoning district, for property located at 201 Truman Avenue, per Section 122-598 (7) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida (RE #

_____ Chairman
_____ Planning Director

00015120-000000), as shown in the attached site plans dated October 4, 2010 with the following conditions:

1. The carport will be removed upon the Fire Department's vacation of the site.

Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This conditional use approval does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty

_____ Chairman
_____ Planning Director

five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regular meeting held this 18th day of November, 2010.

Authenticated by the Chairman of the Planning Board and the Planning Director.

Richard Klitenick, Chairman
Key West Planning Board

Date

Attest:

Amy Kimball-Murley, AICP
Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____ Chairman
_____ Planning Director

Application

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
604 Simonton Street, Key West, FL 33040
(305) 809-3720



Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major _____

Minor _____

Conditional Use

✓

Historic District

Yes ✓

No _____

Please print or type:

- 1) Site Address 201 TRUMAN AVE
- 2) Name of Applicant DAVID FERNANDEZ, ACM-City of Key West
- 3) Applicant is: Owner _____ Authorized Representative ✓
 (attached Authorization and Verification Forms must be completed)

4) Address of Applicant 525 ANGELA ST
KEY WEST FL 33040

5) Applicant's Phone # 305-809-3879 Email _____

6) Email Address: _____

7) Name of Owner, if different than above Key West Housing Authority

8) Address of Owner CITY OF KEY WEST HOUSING AUTHORITY

9) Owner Phone # 305-292-6143 Email _____

10) Zoning District of Parcel HMDR RE# 00015120-000000

11) Is Subject Property located within the Historic District? Yes ✓ No _____

If Yes: Date of approval _____ HARC approval # _____

OR: Date of ...eeting _____

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Use existing building as a temporary fire station (#2) to serve old town.
TO BUILD A CONCRETE SLAB OF 20' x 40' FOR A
TEMPARARY CARPORT TO HOUSE A FIRETRUCK. SITE
CURRENTLY HAS A SINGLE STORY STRUCTURE THAT IS
CURRENTLY UNLICENSED,

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
604 Simonton Street, Key West, FL 33040
(305) 809-3720



13) Has subject Property received any variance(s)? Yes _____ No X

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes _____ No X

If Yes, describe and attach relevant documents.

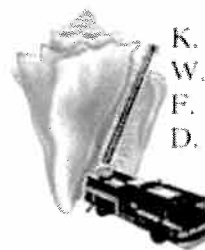
A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.





THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3939

TO: Key West Planning Board
FROM: Key West Fire Department
DATE: 09/19/2010
REFERENCE: Relocation of Station #2

[Handwritten signature]



LC30326E LSSM NBX

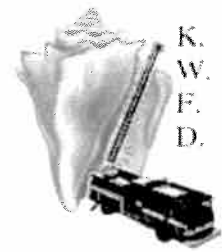
The City of Key West is currently in the process of replacing the building that now houses City Hall at 525 Angela Street. All of the functions which are performed at that location will be temporarily relocated to maintain a continuance of service for the citizens of Key West. This includes the Key West Fire Department portion of the building known as Fire Station #2.

Fire Station #2 provides Fire/Life Safety to the area of Key West known as "Old Town", and therefore is a vital part of the protection provided by the Key West Fire Department. Due to the need for Fire/Life Safety protection there is a need to find an adequate location to house our personnel and equipment during the demolition and rebuilding phase. Response time is the single most important factor when responding to an emergency, so the "Old Town" temporary location is crucial to provide quick and safe response.

We located a few locations within "Old Town", with 201 Truman Ave. having the most advantages. 201 Truman Ave. has a standing building currently under lease to the City of Key West. There is adequate room to house the 4-5 personnel who will be stationed there with a full bathroom with shower, full kitchen and a sleeping area separated from the day room area. Behind the building is a covered area, and space beyond that to house the Apparatus and still have a large area to provide off street parking for all personnel.

The Apparatus is an important and very expensive piece of equipment which will require protection from the elements to preserve the operation. We recommend installing a 20'x40' cement slab to park the Apparatus on, and an 18'x40' tent structure to protect it from sun and rain damage. This slab and tent can be removed after the New Station #2 is rebuilt somewhere on the 525 Angela Street property since 201 Truman will only be the temporary location. The chain link fence surrounding the rear of the property will require the installation of a 25' rolling gate within the same dimensions as the existing fence. The sidewalk in front of the newly installed gate will require a sloped driveway to allow safe entrance and exit of the Apparatus. All construction will be done to or above the standards set by Key West City Code of Ordinance.

It is the intent of the Key West Fire Department to be good neighbors at all of our locations, whether permanent or temporary. The Key West Fire Department requires all Apparatus responding to an emergency to use the proper signaling devices to avoid



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3939

accidents; however we will make every effort to cause as little disturbance to our new neighbors as possible. We will also be responding to the residents around 201 Truman Ave. faster due to our closer proximity. We have always had very good relationships with all of our neighbors in the over one hundred years of our existence, and take pride in our community outreach.

The response routes identified will use Emma Street as our main thoroughfare connecting with Angela Street or Amelia Street, whichever is most appropriate for the incident location. The response to all locations west of Whitehead Street should be quicker. The response to all locations south of Olivia St should be quicker. The response to all locations east of Whitehead Street or north of Olivia Street should only be slightly delayed due to our Southwesterly location.

We analyzed several other sites within the "Old Town" area. Below are the sites analyzed with advantages and disadvantages noted;

• Trumbo Road- Pros...open area, City owned, easy access to thoroughfare
Cons...would require temporary building to house personnel and apparatus faces ocean elements, outside edge of "Old Town" with longer response times expected

• Caroline Street Parking Lot- Pros...open area, City owned, easy access to thoroughfare
Cons...would require temporary building to house personnel and apparatus, outside edge of "Old Town" with longer response times expected

• Truman Annex area- Pros...open area, City owned
Cons...would require temporary building to house personnel and apparatus, longer response times expected due to Southard Street only access (Southard Street is a relatively narrow street with heavy traffic)

David Fraga, Fire Chief

Key West Fire Department
1600 N. Roosevelt Blvd.
Key West, Florida 33040
305-809-3939

Serving the Southernmost City

LC303R6LSSM BX

Verification Form

Verification Form

Please note, variances are quasi-judicial hearings and it is improper to speak to a Planning Board or Board of Adjustment Member about the variance outside of the hearing.

This form should be completed by the applicant. Where appropriate, please indicate whether applicant is the owner or a legal representative. If a legal representative, please have the owner(s) complete the following page, "Authorization Form."

I, Jim Scholl, being duly sworn, depose and say
Name(s) of Applicant(s)

that: I am (check one) the Owner Owner's Legal Representative
for the property identified as the subject matter of this application:

301 TRUMAN AVENUE
Street Address and Commonly Used Name (if any)

All of the answers to the above questions, drawings, plans and any other attached data which make up this application, are true and correct to the best of my knowledge and belief and that if not true or correct, are grounds for revocation of any action reliant on said information.

J. Scholl Signature of Owner/Legal Representative _____ Signature of Joint/Co-owner

Subscribed and sworn to (or affirmed) before me on Oct 14, 2010 (date) by
Jim Scholl (name). He She is personally known to me or has

presented _____ as I identification.

Portia Y. Navarro
Notary's Signature and Seal

PORTIA Y. NAVARRO Name of Acknowledger typed, printed or stamped

NOTARY PUBLIC Title or Rank _____ Commission Number (if any)



Verification Form

Please note, Conditional Use requests are quasi-judicial hearings and it is improper to speak to a Planning Board or Board of Adjustment Member about the request outside of the hearing.

This form should be completed by the applicant. Where appropriate, please indicate whether applicant is the owner or a legal representative. If a legal representative, please have the owner(s) complete the following page, "Authorization Form."

I, DAVID FERNANDEZ, being duly sworn, depose and say
Name(s) of Applicant(s)

that: I am (check one) the _____ Owner Owner's Legal Representative
for the property identified as the subject matter of this application:

201 TRUMAN AVE KEY WEST FL 33040
Street Address and Commonly Used Name (if any)



All of the answers to the above questions, drawings, plans and any other attached data which make up this application, are true and correct to the best of my knowledge and belief and that if not true or correct, are grounds for revocation of any action reliant on said information.

David Fernandez
Signature of Owner/Legal Representative


Signature of Joint/Co-owner

Subscribed and sworn to (or affirmed) before me on September 20th (date) by

DAVID FERNANDEZ (name). He/She is personally known to me or has

presented _____ as identification.

Portia Y. Navarro
Notary's Signature and Seal

 Name of Acknowledger typed, printed or stamped

Title or Rank _____ Commission Number (if any)

Verification Form

Please note, variances are quasi-judicial hearings and it is improper to speak to a Planning Board or Board of Adjustment Member about the variance outside of the hearing.

This form should be completed by the applicant. Where appropriate, please indicate whether applicant is the owner or a legal representative. If a legal representative, please have the owner(s) complete the following page, "Authorization Form."

I, J. Manuel Castillo, Sr. Exec. Dir., being duly sworn, depose and say
Name(s) of Applicant(s)

that: I am (check one) the _____ Owner Owner's Legal Representative
for the property identified as the subject matter of this application:

1400 Kennedy Dr., Key West, FL 33040
Street Address and Commonly Used Name (if any)

All of the answers to the above questions, drawings, plans and any other attached data which make up this application, are true and correct to the best of my knowledge and belief and that if not true or correct, are grounds for revocation of any action reliant on said information.

J. Manuel Castillo, Sr. Exec. Dir. _____
Signature of Owner/Legal Representative Signature of Joint/Co-owner

Subscribed and sworn to (or affirmed) before me on 10/14/10 (date) by
Manuel Castillo (name). He/She is personally known to me or has
presented _____ as identification.

Carlene Cowart
Notary's Signature and Seal



Carlene Cowart Name of Acknowledger typed, printed or stamped

Development Title or Rank 863203 Commission Number (if any)
Renew Admin.



Authorization Form

Authorization Form

Please note, variances are quasi-judicial hearings and it is improper to speak to a Planning Board or Board of Adjustment Member about the variance outside of the hearing.

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, J. Manuel Castillo, Sr., Exec. Dir. authorize
Please Print Name(s) of Owner(s)

City of Key West
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the Planning Board.

[Signature]
Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on 10/14/10 (date) by

Manuel Castillo
Please Print Name of Affiant

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal



Carlene Cowart Name of Acknowledger printed or stamped

Dev. Review Administrator Title or Rank

863203 Commission Number (if any)

Authorization Form

Please note, variances are quasi-judicial hearings and it is improper to speak to a Planning Board or Board of Adjustment Member about the variance outside of the hearing.

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Jim Scholl _____ authorize

Please Print Name(s) of Owner(s)

David Hernandez

Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the Planning Board.

J. K. S. D. D.
Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on 14th Day of Oct 2010 (date) by

Jim Scholl

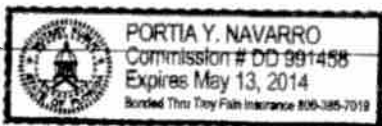
Please Print Name of Affiant



He (is personally known to me or has

presented _____ as identification.

Portia Y. Navarro
Notary's Signature and Seal



Name of Acknowledger printed or stamped

Title or Rank

Commission Number (if any)



Housing Authority of the City of Key West, Florida

1400 Kennedy Drive, Key West, FL 33040
Phone: (305) 296-5621 Fax: (305) 296-0932

Board of Commissioners

Frank Toppino
Bob Dean
John G. Parks, Jr.
Mary Sanchez
Roosevelt Sands, Jr.

Executive Director
J. Manuel Castillo, Sr.

September 14, 2010

City of Key West
3140 Flagler Avenue
Key West, FL 33040

ATTN: Planning Department & HARC

This letter authorizes the City of Key West to act as agent for the Housing Authority in preparing applications for the temporary use of 201 Truman Avenue as a Fire Station.

Please contact me should you have any questions or need anything further. I may be reached at 305-296-5621.

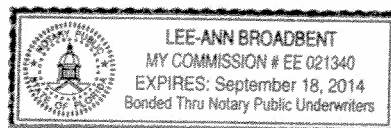
Sincerely,

J. Manuel Castillo, Sr.
Executive Director



pc: File

State of Florida County of Monroe
Signed before me on this 14th day
of Sept, 2010 by J. Manuel Castillo, Sr.
Notary Public Lee Ann Broadbent



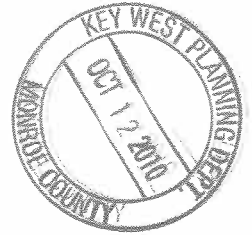
Deed

MONROE COUNTY
OFFICIAL RECORDS

FILE #1367260
BK#1883 PG#1281

RCD May 05 2003 11:29AM
DANNY L KOLHAGE, CLERK

DEED DOC STAMPS 0.70
05/05/2003 DEP CLK



This Document Prepared By
and Recorder Return to:

David G. Budd, Esquire
BUDD AND BENNETT
3033 Riviera Drive, Suite 201
Naples, Florida 34103
(239) 263-7700

PREPARED WITHOUT OPINION OF TITLE
PARCEL ACCOUNT NUMBER: 1015466
ID NUMBER: 00015120-000000

Quit Claim Deed

This Quit Claim Deed, executed the 17th day of April, 2003, by Louise Robinson (a/k/a Louise A. Robinson, Louise Allen Robinson), joined by her husband, Carlton Robinson, first party, to The Housing Authority of the City of Key West, whose post office address is P.O. Box 2476, Key West, Florida 33040, second party.

Witnesseth, that the first party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release, and quit claim unto the second party forever, all the right, title, interest, claim and demand which the first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Monroe, State of Florida, to wit:

Beginning at the intersection of the northerly boundary of Emma Street and the westerly boundary of Division Street; thence northerly, along the westerly boundary of Division Street, for a distance of 80.33 feet to a point; thence in a westerly direction, parallel with the northerly boundary of Emma Street, for a distance of 196.12 feet to a point; thence in a southerly direction parallel with the westerly boundary of Division Street, for a distance of 80.33 feet to a point on the northerly boundary of Emma Street; thence in an easterly direction, along the northerly boundary of Emma Street, for a distance of 196.12 feet to the point of beginning.

Subject to easements, restrictions and reservations of record, if any.

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity to the only proper use, benefit and behalf of said second party forever.

In Witness Whereof, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Terry B. Richardson
WITNESS
PRINTED NAME: Terry B. Richardson 4235 Gordon Road, Wilmington, NC 28405

Louise A. Robinson
LOUISE ROBINSON
4235 Gordon Road, Wilmington, NC 28405

James Butler
WITNESS
PRINTED NAME: James Butler

Carlton Robinson
CARLTON ROBINSON
4235 Gordon Road, Wilmington, NC 28405

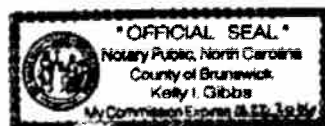
STATE OF NORTH CAROLINA
COUNTY OF NEW HAMOVER

Before me, an officer duly authorized to administer oaths and take acknowledgments, this 17th day of April, 2003, personally appeared Louise Robinson, joined by her husband, Carlton Robinson, who being duly authorized, has executed the foregoing instrument and who acknowledged before that they executed the same. They are personally known to me.

Kelly I. Gibbs
NOTARY PUBLIC

dep/omt/nlac/Quit Claim Deed

MONROE COUNTY
OFFICIAL RECORDS



Boundary Survey

Site Drainage Calculations

201 Truman Ave
Drainage Calculations

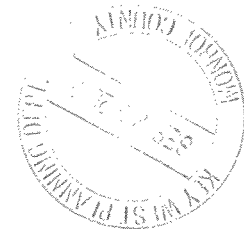
9/22/2010

Water Quantity - Predevelopment

Project Area	0.3620	ac	15,769	sf
Pervious Area	0.2430	ac	10,585	sf
Impervious Area	0.1180	ac	5,140	sf
% Impervious	32.5967%			
Rainfall for 25yr/24hr event (P)	8	in		
Rainfall for 25yr/3hr event (P)	10.87	in		
Depth to Water Table (elevation-site specific)	3.0000	ft	use in table for next line	
Developed Available Storage	4.9500	in	SFWMD pg cIII-1	table
Soil Storage (S)	3.3365	in		
Qpre = (P - 0.2S)^2 (P + 0.8S)	7.6903	in		

Water Quantity - Postdevelopment

Project Area	0.3620	ac	15,769	sf
Pervious Area	0.2060	ac	8,973	sf
Impervious Area	0.1540	ac	6,708	sf
% Impervious	42.5414%			
Rainfall for 25yr/24hr event (P)	8.0000	in		
Rainfall for 25yr/3hr event (P)	10.8720	in		
Depth to Water Table	3.0000	ft		
Developed Available Storage	4.9500	in		
Soil Storage (S)	2.8200	in		
Qpost = (P - 0.2S)^2 (P + 0.8S)	8.0938	in		



Postdevelopment - Predevelopment

Qpost - Qpre	0.4034	in	
Volume = QA	0.1460 ac-in		

Water Quality

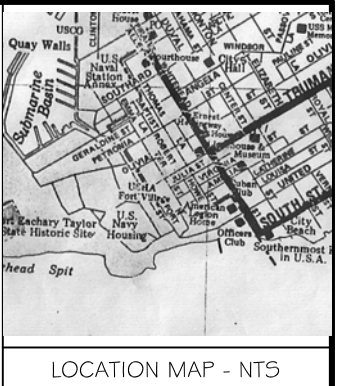
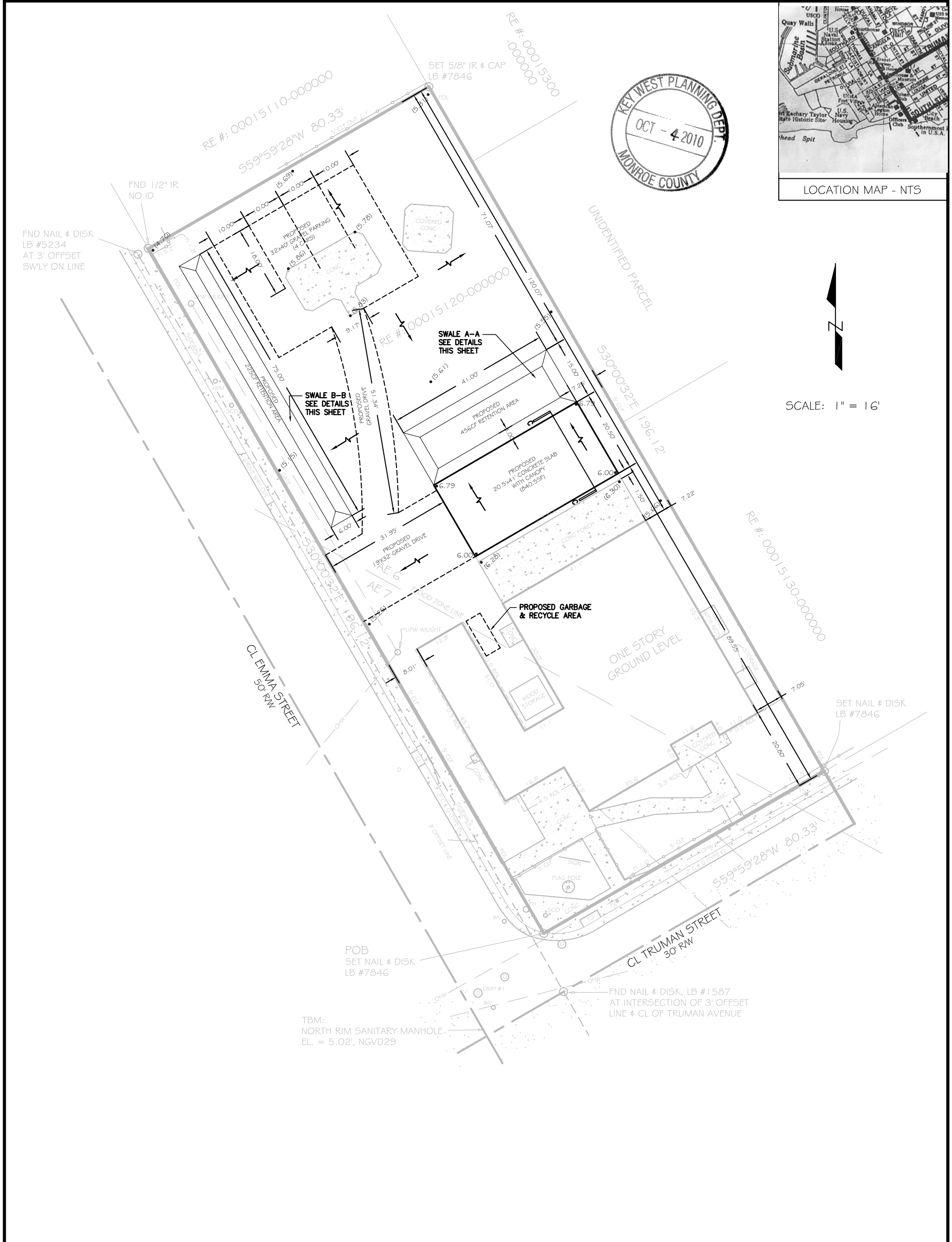
Project Area	0.3620	ac	15768.72	sf
Roof Area	0.0720	ac	3136.32	sf
Impervious Area	0.0820	ac	3571.92	sf
% Impervious (Excluding Roof Area)	28.2759%			
A) One inch of runoff from drainage basin	0.3620	ac-in	(project area)	
B) 2.5 inches times percent impervious	0.2559 ac-in			

Water Quantity Vs. Water Quality

	0.1460	verify ??	0.3620
<u>Retention in Cubic</u>		<	
Convert to Cubic Feet 3630 x	530,132.1		1314,060.0
Assumes 0.5 Dry retention credit	265,066.1		657.03

→ Design Area

Site Plans



SCALE: 1" = 16'

1

PROPOSED SITE PLAN

SCALE: NOTED

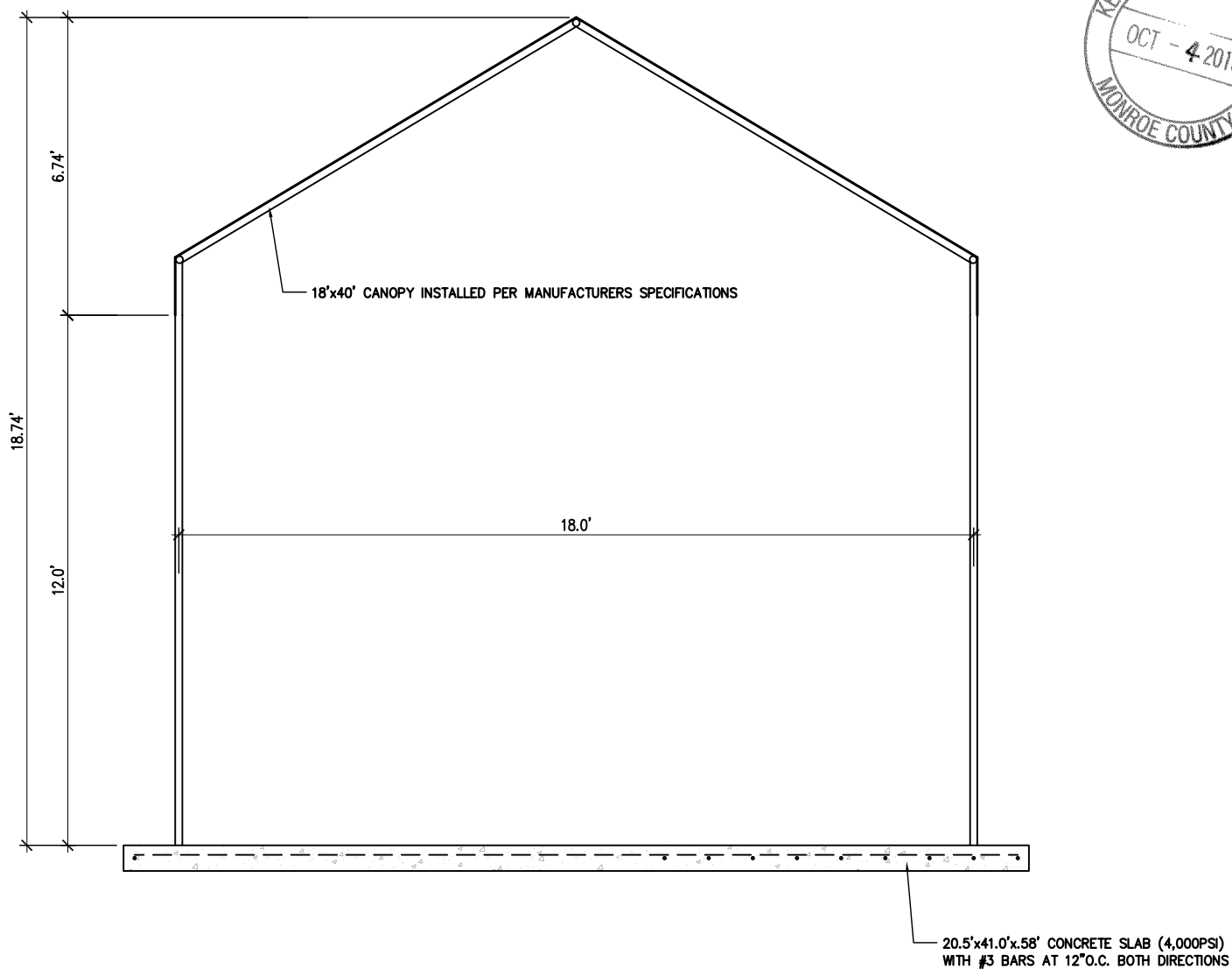
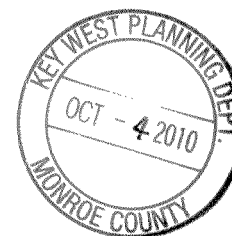


City of Key West

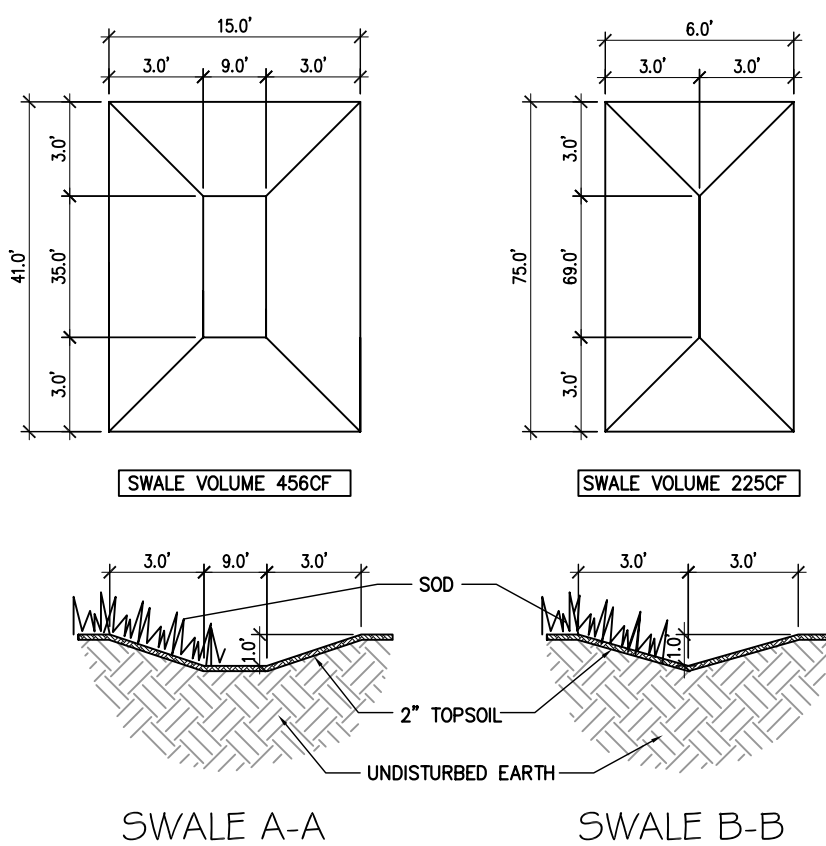
604 Simonton Street
Key West, Florida 33040
(305) 292-8195

TITLE: 201 TRUMAN AVENUE PROPOSED PARKING LAYOUT		DRAWING NO.: D-522
DESIGN: KMO	CITY ENGINEER	DATE:
CHECK: ADF		SHEET: 1 of 2
SCALE: 1:16	SEPTEMBER 22, 2010	

REVISED 9/27/10 / REVISED 10/4/10



CONCRETE SLAB / CANOPY SECTION C-C



SWALE NOTES:

1. STORMWATER SWALES SHALL BE MAINTAINED FREE OF DEBRIS AND WITH SAME VOLUME AS SPECIFIED IN PERPETUITY.
2. OVER-EXCAVATE SWALE 4" FOR SOD AND TOPSOIL INSTALLATION.
3. SIDE SLOPE SHALL BE 3:1 HORIZ:VERT.

SITE DATA

EXISTING BUILDING USE: COMMERCIAL EXEMPT
 PROPOSED BUILDING USE: COMMERCIAL EXEMPT
 ZONING: HMDR
 LOT SIZE: (196.12x80.33) 15,754.325F
 BUILDING COVERAGE: 40% MAXIMUM (6,301.735F)
 EXISTING BUILDING COVERAGE: 24.1% (3,804.335F)
 PROPOSED BUILDING COVERAGE: 29.5% (4,644.835F)
 IMPERVIOUS SURFACE RATIO: 60% MAXIMUM
 EXISTING IMPERVIOUS SURFACE: 30.6% (4,828.05F)
 PROPOSED IMPERVIOUS SURFACE: 49.2% (7,745.55F)
 EXISTING OPEN SPACE (PERVIOUS SURFACE): 69.4% (10,926.325F)
 PROPOSED OPEN SPACE (PERVIOUS SURFACE): 50.8% (8,008.825F)
 FRONT SETBACK: 10.0' (20.8' EXISTING)(89.55' PROPOSED CARPORT)
 SIDE SETBACK: 5.0' (7.05' EXISTING)(7.25' PROPOSED CARPORT)
 STREET SIDE SETBACK: 7.5' (8.01' EXISTING)(31.95' PROPOSED CARPORT)
 REAR SETBACK: 15.0' (120.07' EXISTING)(86.07' PROPOSED CARPORT)
 REQUIRED PARKING: 4
 PROPOSED PARKING: 4

2

SECTIONS AND DETAILS

SCALE: NTS

<p>City of Key West 604 Simonton Street Key West, Florida 33040 (305) 292-8195</p>	TITLE: 201 TRUMAN AVENUE PROPOSED PARKING LAYOUT		
	DESIGN BY: KMO	CITY ENGINEER: _____	DRAWING NO.: D-522
	CHECKED BY: ADF	DATE: _____	SHEET:
	SCALE: NTS	SEPTEMBER 22, 2010	2 of 2

Site Photos

Rear yard and proposed area for carport and fire engine storage



Rear yard (N) and proposed area for car park slab



Proposed area for car park slab



Front of Property



Rear of Structure



Surrounding Properties Photos

Emma Street



Vacant lot & deteriorated building across Emma Street



Vacant lot & commercial property on Emma Street across Truman Ave



Residences on Emma St.



Housing Authority Property
Emma St across Truman Avenue



Truman Ave—Front of property



Vacant lot across from property



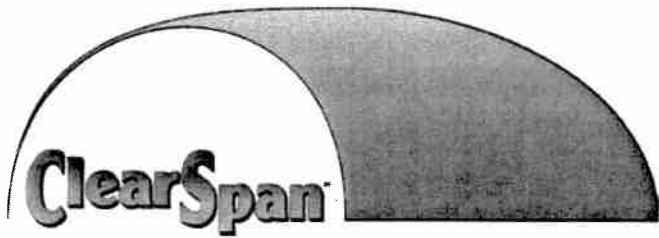
Adjacent site to rear of
property



Roosevelt Sands Housing Authority
residences slated for demolition



Carport Material



ClearSpan™ Heavy-Duty Canopies

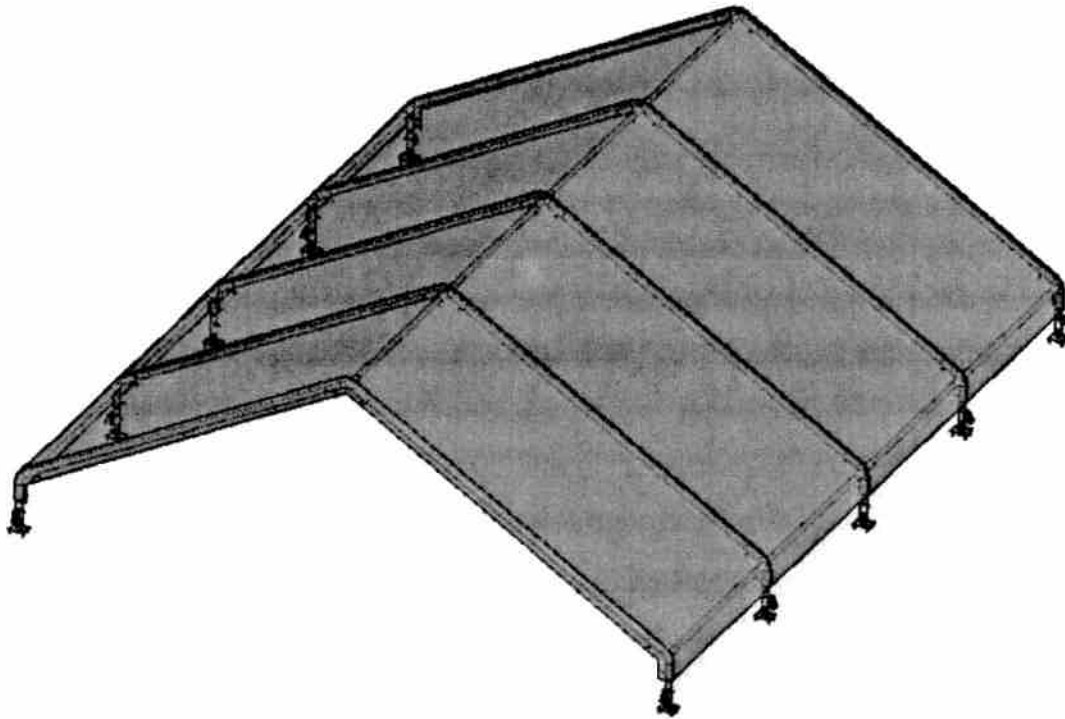
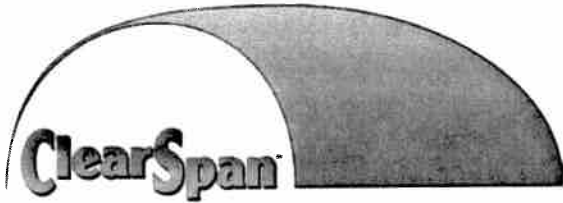


Photo may show a different but similar model.

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STK#	DIMENSIONS
108335	18' W x 20' L
108336	18' W x 30' L
108337	18' W x 40' L
108338	18' W x 50' L

CLEARSPAN™ CANOPIES



YOU MUST READ THIS DOCUMENT BEFORE YOU BEGIN TO ASSEMBLE THE SHELTER.

Thank you for purchasing this ClearSpan™ shelter. When properly assembled and maintained, this product will provide years of reliable service. These instructions include helpful hints and important information needed to safely assemble and properly maintain the shelter. Please read these instructions **before** you begin.

If you have any questions during the assembly, contact Customer Service for assistance.

SAFETY PRECAUTIONS

- Wear eye protection.
- Wear head protection.
- Wear gloves when handling metal tubes.
- Use a portable GFCI (Ground Fault Circuit Interrupter) when working with power tools and cords.
- Do not climb on the shelter or framing during or after construction.
- Do not occupy the shelter during high winds, tornadoes, or hurricanes.
- Provide adequate ventilation if the structure is enclosed.
- Do not store hazardous materials in the shelter.
- Provide proper ingress and egress to prevent entrapment.

ANCHORING INSTRUCTIONS

Prior to assembling this shelter, please read the **MUST READ** document included with the shipment.

⚠ WARNING: The anchor assembly is an integral part of the shelter construction. Improper anchoring may cause shelter instability and failure of the structure. Failing to anchor the shelter properly *will void the manufacturer's warranty* and may cause serious injury and damage.

LOCATION

Choosing the proper location is an important step before you begin to assemble the structure.

The following suggestions and precautions will help you determine whether your selected location is the best location.

- Never erect the structure under power lines.
- Identify whether underground cables and pipes are present *before* preparing the site or anchoring the structure.
- Location should be away from structures that could cause snow to drift on or around the building.
- Do not position the shelter where large loads such as snow and ice, large tree branches, or other overhead obstacles could fall.

SITE

After choosing a location, proper preparation of the site is essential. Follow the information below.

- *A level site is required.* The site must be level to properly and safely erect and anchor the structure.
- For sites that are not concrete or gravel, placing wood blocks or other suitable supports under each rafter leg helps prevent the pipes from sinking or working into the site.
- **Drainage:** Water draining off the structure and from areas surrounding the site should drain away from the site to prevent damage to the site, the structure, and contents of the structure.

⚠ WARNING: The individuals assembling this structure are responsible for designing and furnishing all temporary bracing, shoring and support needed during the assembly process. For safety reasons, those who are not familiar with recognized construction methods and techniques must seek the help of a qualified contractor.

ASSEMBLY PROCEDURE

Following the instructions as presented will help ensure the proper assembly of your shelter. Failing to follow these steps may result in an improperly assembled and anchored shelter and will void all warranty and protection the owner is entitled.

The steps outlining the assembly process are as follows:

1. Verify that all parts are included in the shipment. Notify Customer Service for questions or concerns.
2. Read these instructions, the Must Read document, and all additional documentation included with the shipment **before** you begin assembling the shelter.
3. Gather the tools, bracing, ladders (and lifts), and assistance needed to assemble the shelter.
4. Check the weather **before** you install the roof cover and any panels (if equipped). Do not install covers or panels on a windy or stormy day.
5. Re-evaluate the location and site based on the information and precautions presented in the documentation included with the shipment.
6. Prepare the site (if applicable).
7. Assemble the frame components in the order they are presented in these instructions.
8. Assemble the frame including the struts (if equipped).
9. Consult the MUST READ document and properly anchor the assembled frame.
10. Install, tighten, and secure the main cover and panels (if equipped). This applies to fabric covers that stretch over the frame assembly. Your shelter may include roof panels or side panels or both.
11. Read the Care and Maintenance information at the end of these instructions.
12. Complete and return all warranty information as instructed.

LIST OF WORDS AND PHRASES

Before you begin, it is important to become familiar with the words and phrases used in this instruction manual.

These words and phrases are common to most ClearSpan™ shelters and identify the different parts of the shelter. (Some are used in this document. Others may not apply to this particular shelter.) These terms describe the shipped parts and can also be found on the materials list/spec sheets included with the shipment. To aid in the assembly, read through the following definitions before you begin to assemble your shelter.

- **Conduit:** An assembly of pipes used to secure the main cover and end panels (if equipped). Purlins and some strut assemblies also consist of connected pipes to form a conduit. Each pipe joint of a conduit assembly is secured with a self-tapping Tek screw.
- **Coupler or Fitting:** A part of the frame assembly where legs, purlins and rafter pipes are inserted and secured. In most instances, 3-way and 4-way couplers are used. In some larger applications, couplers are used to secure the joints of the different rafter sections during the assembly of the rafters. Some shelters do not use couplers.
- **Foot or Rafter Foot:** The part attached to and found at the base of the rafter or leg of the shelter. Depending on the shelter, the foot is an optional purchase. Some shelters do not offer an optional foot. Some use 1-way connectors; some use ground posts.
- **Must Read Document:** This document includes building and shelter anchoring instructions, steps for end wall reinforcement, safety precautions, and notices and warnings. The Must Read document is sent with all shelters and buildings. If you did not receive a Must Read document, contact Customer Service to request one.
- **On-Center:** Term used to describe a measurement taken from the vertical center of the rafter or frame member to the vertical center of another.
- **Purlin:** The pipe assembly that runs perpendicular to the rafters or framework that supports the main cover. Purlins are found on the sides and roof areas of the assembled frame, are evenly spaced, and typically run from the front to the back of the shelter.
- **Plain or Straight Pipe:** A term used to describe a pipe that has the same diameter or width throughout its entire length.
- **Strut:** A strut is usually a length of pipe with two flattened ends and is used for diagonal bracing of the shelter frame. A strut is typically secured to the frame work by special brackets and bolts.
- **Swaged End or Swaged Pipe:** The term "swaged" refers to the tapered end of the pipe or tube. Swaged ends of a pipe can be inserted into couplers and the straight ends of other pipes.
- **Tek screw:** A self-tapping fastener used to secure pipe joints and to fasten brackets to rafters.

CLEARSPAN™ CANOPIES

REQUIRED TOOLS

The following list identifies the main tools needed to assemble the shelter. Additional tools and supports may be needed depending on the structure, location, and application.

- Tape measure or measuring device
- Variable speed drill and impact driver (cordless with extra batteries works best)
- Wrenches or ratchet and socket set (recommended)
- 5/16" Hex key wrench
- Two ropes long enough to reach over the shelter (The use of rope depends on the height of the shelter. Other main cover installation methods may not use rope.)
- Hammers, gloves and eye protection
- Duct tape (supplied by customer)
- Box cutter or utility knife
- Ladders, work platforms, and other machinery for lifting designed to work safely at the height of the shelter



Space below is reserved for customer notes.

UNPACK AND IDENTIFY PARTS

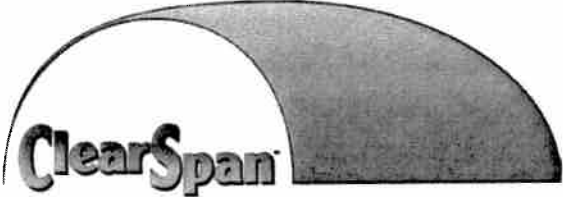
The following steps will ensure that you have all the necessary parts before you begin to assemble the shelter.

1. Unpack the contents of the shipment and place where you can easily inventory the parts. Refer to the Bill of Materials/Spec Sheets.
2. Verify that all parts listed on the Bill of Materials/Spec Sheets are present. If anything is missing or you have questions, consult the Pictorial Parts Guide and all shelter diagrams for clarification, or contact Customer Service.

NOTE: At this time, you do not need to open the plastic bags containing smaller parts such as fasteners or washers.

QUICK START GUIDE

For an overview of this shelter and to see the main connection details, consult the diagrams in the Quick Start Guide located at the back of these instructions.



The following graphics and photos will help you identify the different parts. (Some parts are not shown.)



FA4482B
Tek screw



100441
Nut Setter



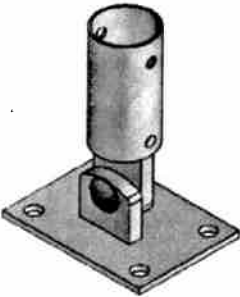
QH1061
Ratchet



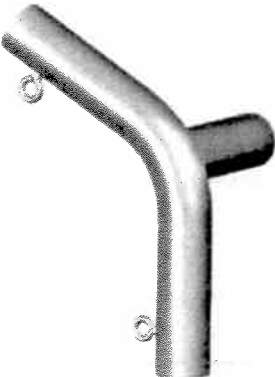
CC6214
Fabric Clip



103620b
Plain End Strap



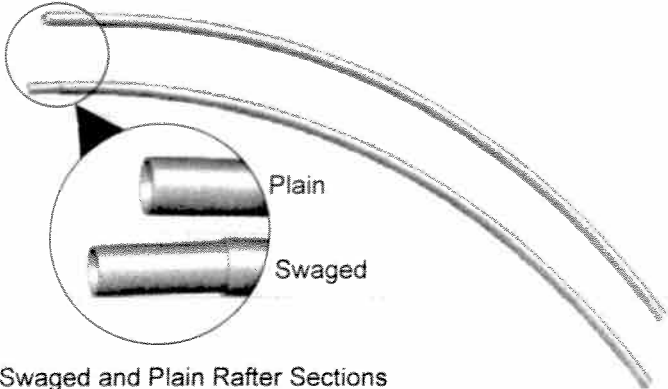
104302
Rafter Feet



107623
3-Way Coupler



107622
4-Way Coupler



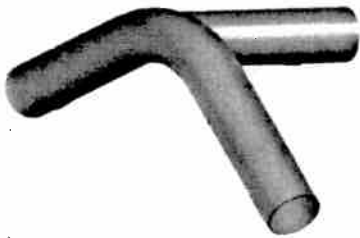
Swaged and Plain Rafter Sections

CLEARSPAN™ CANOPIES

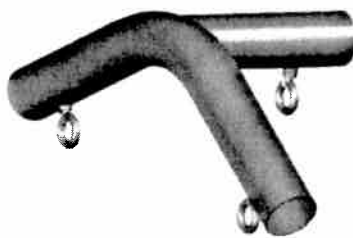
ADDITIONAL PARTS IDENTIFICATION NOTES

In some instances, there can be differences between the parts that are shown and referenced in the instructions and the parts that are shipped with the shelter. These differences *do not* affect the integrity of the shelter, but can change the assembly procedures.

The information that follows identifies possible changes in the assembly procedure found in this instruction document. *Please implement these changes during the assembly of the shelter.*



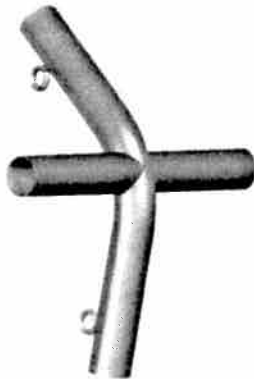
3-Way Coupler (no lock bolt)



3-Way Coupler (includes lock bolt)



4-Way Coupler (no lock bolt)



4-Way Coupler (includes lock bolt)

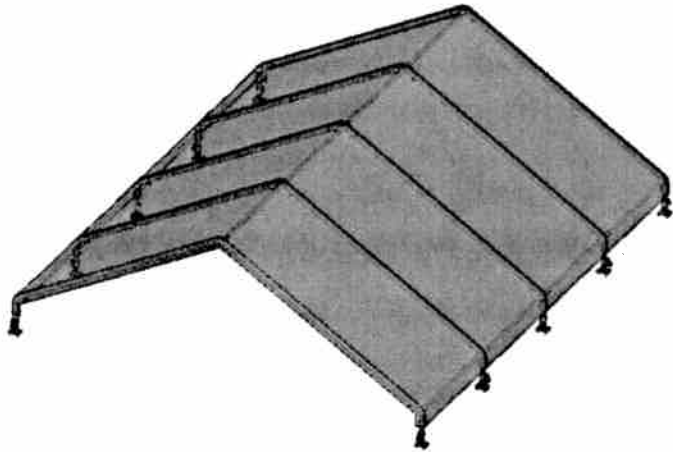
There can be two types of couplers used during the assembly of the shelter: those that include an installed locking eyebolt and those that do not. See above.

If the couplers included with your shelter do not have an installed lock bolt, use a *self-tapping Tek screw* to secure the different pipes to the couplers during the assembly process. The self-tapping Tek screws are included with the shipment.

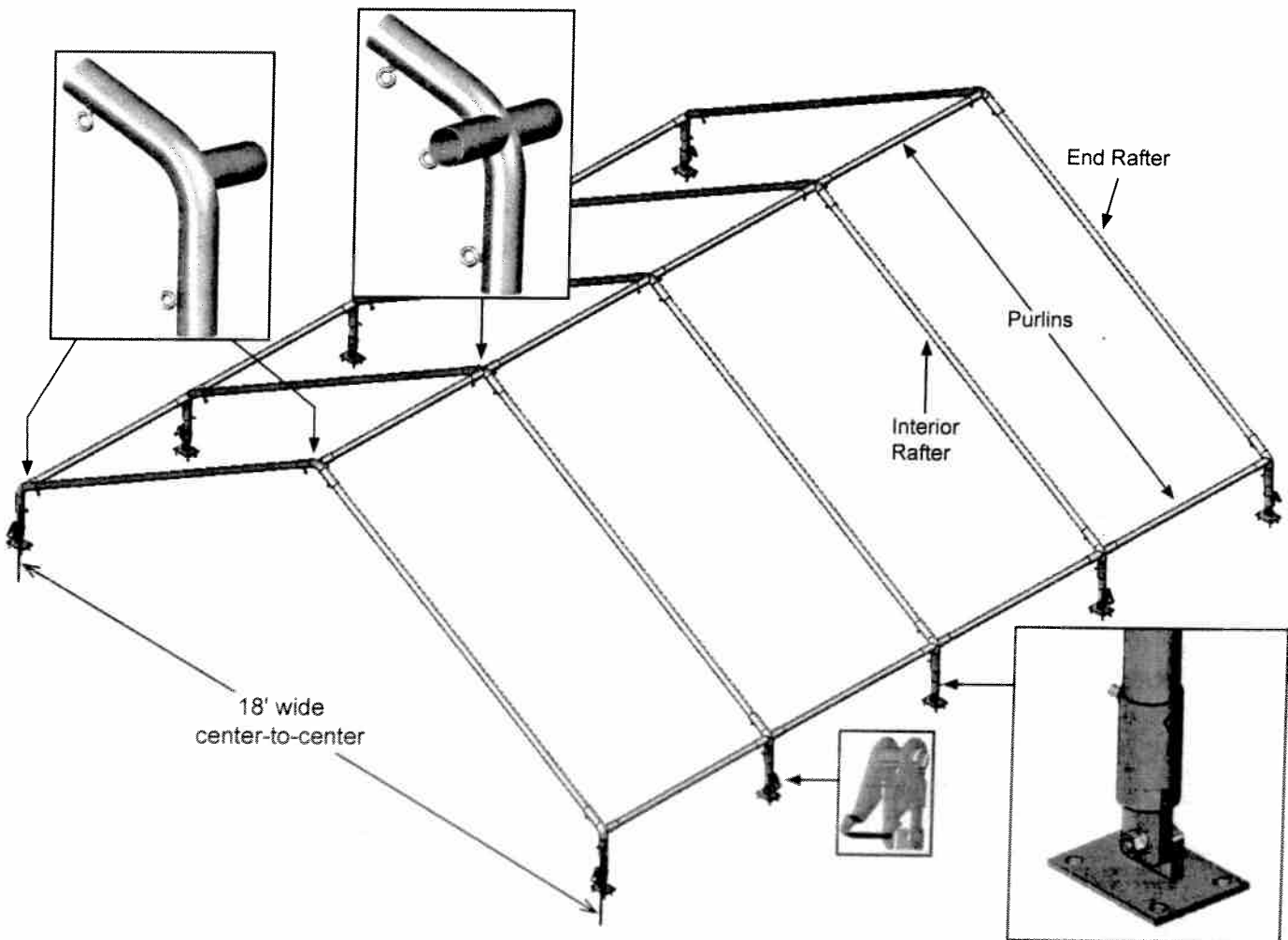
ATTENTION: Tek screws are sent with all shelters of this type. For couplers with locking eyebolts, install the Tek screws at each pipe connection for additional security if desired.

⚠ WARNING: To prevent personal injury and damage to the shelter, *fasten and tighten a Tek screw* at each pipe and coupler joint.

To prevent cover damage, install the Tek screw so that it *does not* touch the main cover or any optional side or end panels once these are installed.



ClearSpan™ Heavy-Duty Canopies



FRAME DIAGRAM

NOTE: Diagram above may show a shelter that differs in length from the actual frame. The use and positions of ratchets may also differ from actual shelter. Frame above is used for illustration purposes.

CLEARSPAN™ CANOPIES

LAY OUT THE BUILDING SITE

After the site is prepared, identify the location of the shelter corners to help square the frame after it is assembled.

Taking these steps **before** assembling the shelter saves time and ensures that the structure is positioned as desired. The following procedure is a suggested method. Its use depends on the size of the shelter, shelter application, the footings, and the method used to anchor the shelter.



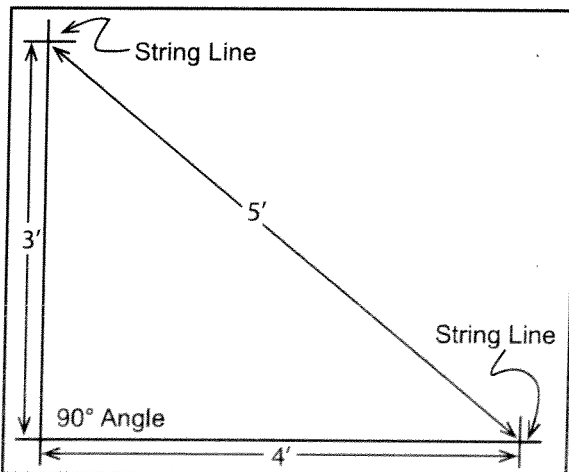
Space below is reserved for customer notes.

SQUARE THE SITE

1. Identify a corner where a building rafter will be positioned, drive in a stake, and string a line the exact width of the building and stake in place.
2. String a line at least as long as the building from the first stake at 90°.

NOTE: A transit can be used to ensure an accurate 90° angle, or the 3-4-5 rule can be used. Refer to diagram. Using multiples of 3-4-5 such as 6-8-10 or 12-16-20 helps to maintain an accurate 90° angle.

3. After squaring the position of the building and placing a stake at all corners, string a line between the stakes to mark the base of the building.



4. Continue with the **End Rafter Assembly** instructions.

END RAFTER ASSEMBLY (2)

Gather the parts:

- Pipes 1.90" x 12" plain (190P012D)
- Pipes 1.90" x 120" plain (190P0120)
- 3-way couplers (#107623)
- 4-way couplers (#107622) (Frame Assembly)
- Rafter foot (#104302)
- Fabric clips (#CC6214)

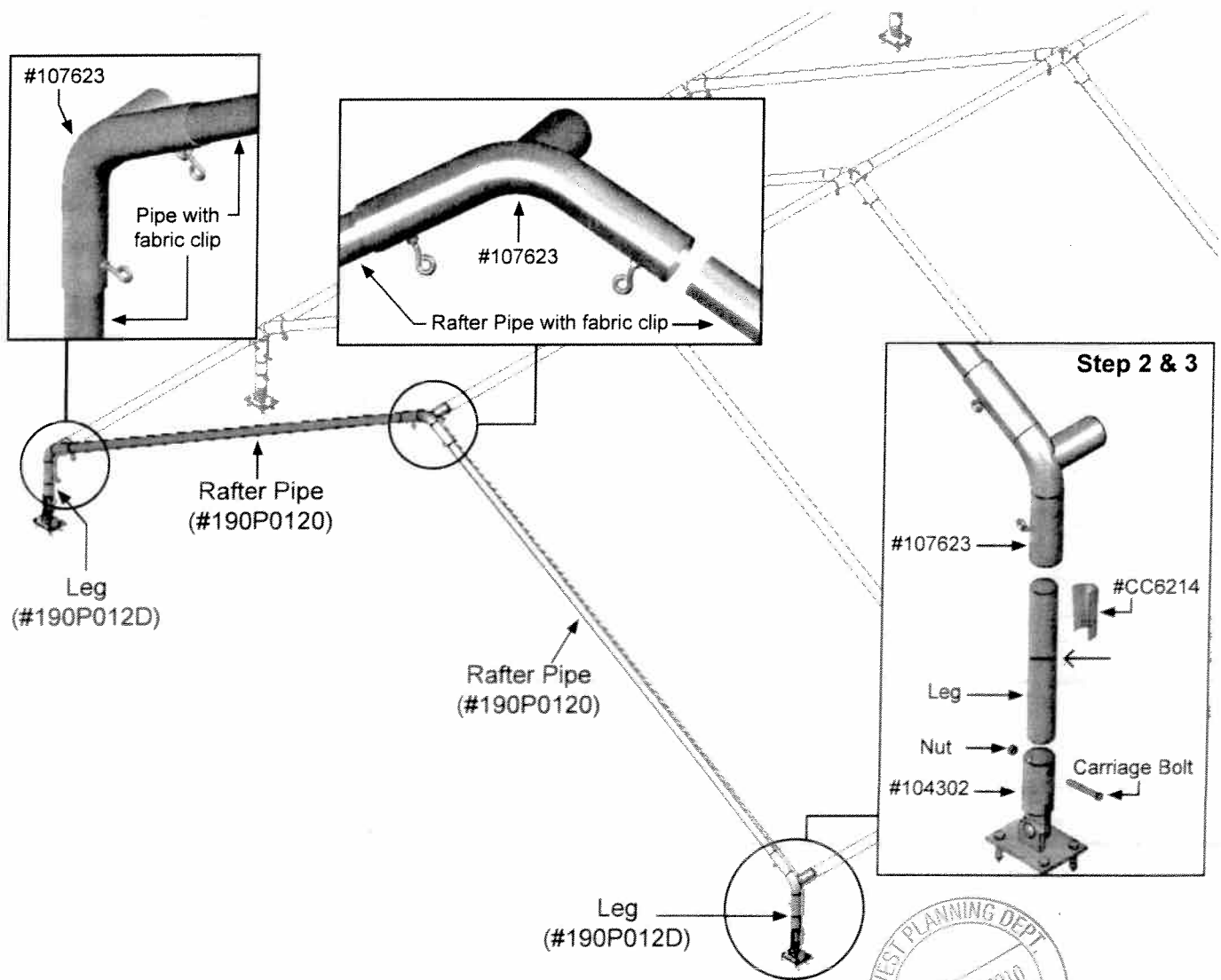
NOTE: Assistance is required to assemble the shelter.

1. Select the four (4) pipes needed to assemble each end rafter and arrange on the ground adjacent to the correct couplers shown below.
2. Connect 3-way couplers (#107623) to the pipes shown below to form the end rafters.

NOTE: Attach one fabric clip (CC6214) to one end of each 1.90" pipe and insert the end with the clip into the 3-way couplers (end rafters) or 4-way couplers (interior rafters).

To prepare each frame pipe, slide a pipe into the required coupler, *draw a line on the pipe* to mark the coupler position, and remove the pipe. Take one CC6214 clip and snap it onto the pipe end just above the mark. Insert the pipe end with the clip into the coupler, align the clip with the locking screw, and tighten the locking screw against the clip.

3. Attach a rafter foot (#104302) to each leg of the rafter using a 3/8" x 3" carriage bolt and 3/8" nut. *Position the bolt head to the outside of the rafter to prevent cover damage when it is installed.*
4. After the end rafters are assembled, continue with the **Frame Assembly** instructions that follow.

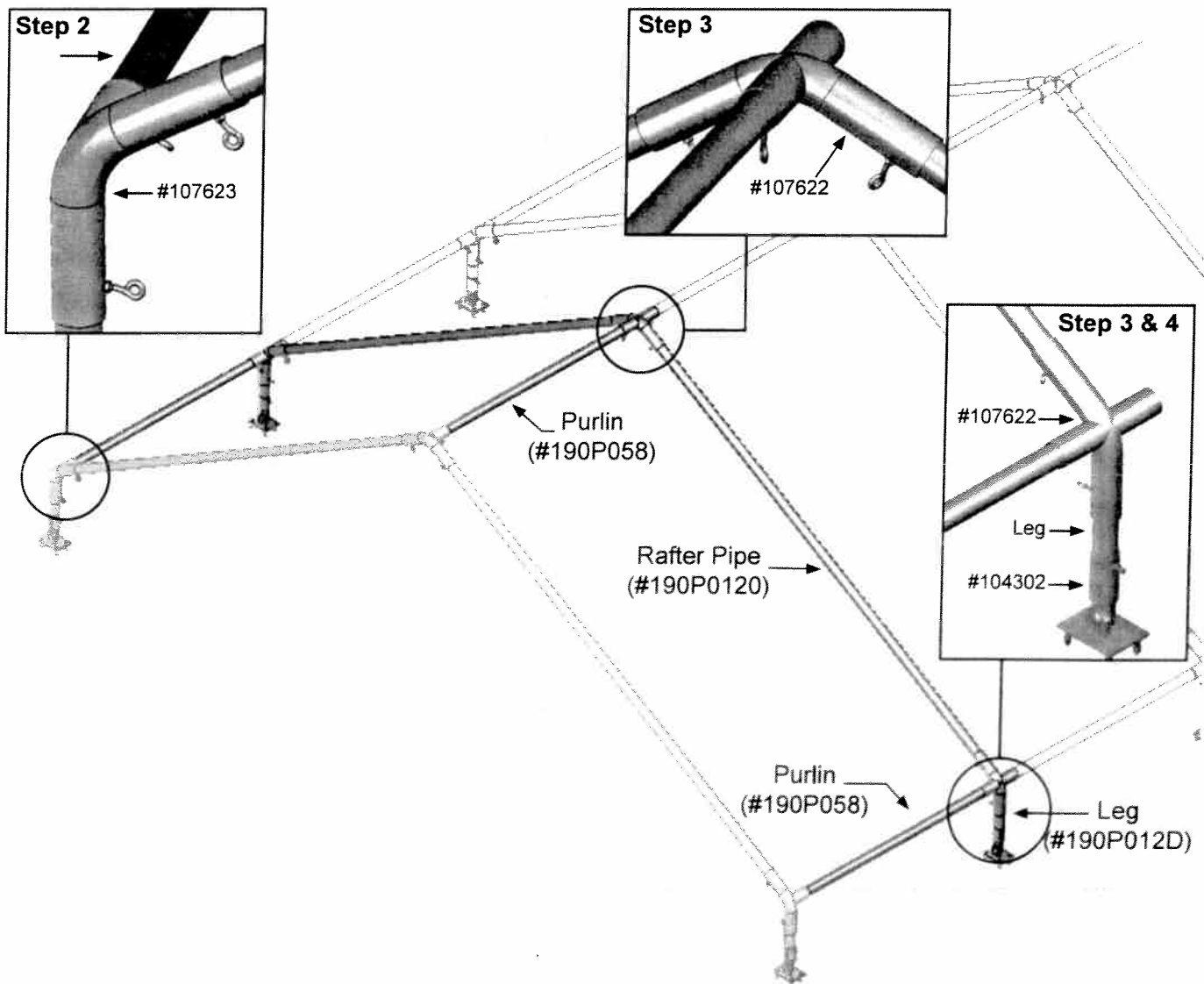


CLEARSPAN™ CANOPIES

FRAME ASSEMBLY

This section describes assembling the shelter frame.

1. Stand one end rafter in place. (Additional assistants are required to hold the rafter in position.) Check that the rafter is standing straight (plumb). *Position the open end of the couplers to the inside of the frame.*
 2. Take one 58" purlin pipe (#190P058), insert it into the end rafter coupler, and mark the clip location on the pipe. Remove the pipe, snap the clip into place, and insert the pipe into the 3-way coupler (#107623). Tighten the screw. Repeat for the remaining pipes.
 3. Connect the rafter pipes (#190P0120) and legs (#190P012D) to the frame using the 4-way couplers (#107622) for the interior sections.
- NOTE:** Snap one fabric clip (CC6214) onto one end of each 1.90" pipe before inserting the pipe into the 3-way (end rafters) or 4-way (interior rafters) coupler.
4. Attach a rafter foot (#104302) to each leg of the rafter using a 3/8" x 3" carriage bolt and 3/8" nut. *Position the bolt head to the outside of the rafter to prevent cover damage when it is installed.*
 5. Continue adding pipe and fittings until the shelter length is reached. Attach the final end rafter to complete the frame assembly.



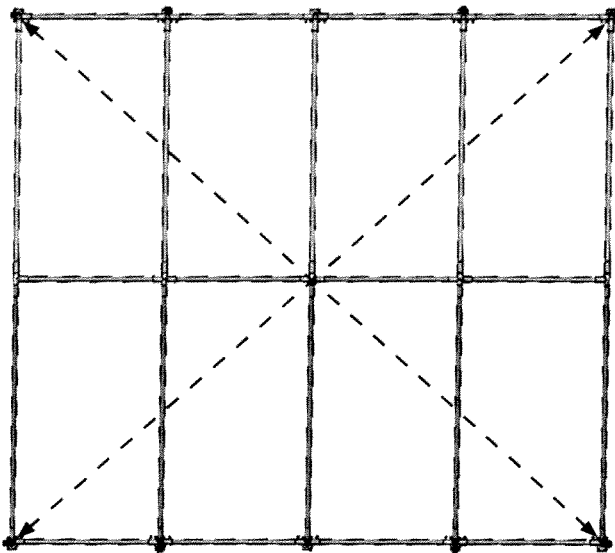
SQUARE THE ASSEMBLED FRAME

Gather the parts

- Measuring tape and assistants

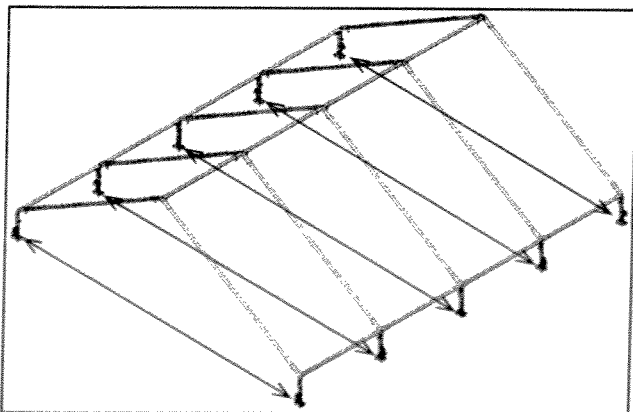
Complete these steps:

1. With the frame in position, perform a final square of the frame by measuring diagonally (corner-to-corner) as shown below at the bottom of the legs. Verify that the two measurements are equal and adjust if needed.



FRAME TOP VIEW

2. Measure width from center of rafter leg to center of other rafter leg of the same rafter assembly and adjust if needed. Repeat for all rafter assemblies.



3. Examine the frame and remove any sharp edges from the frame or reposition screws (if equipped) so they do not come in contact with the roof cover.
4. After the frame is squared, read or reread the MUST READ document and anchor the shelter.

ANCHOR THE SHELTER

At this point, anchor the shelter. Consult the MUST READ document for anchoring information and suggestions. Please call customer service at 1-800-245-9881 for additional anchoring information.

⚠ CAUTION: The anchor assembly is an integral part of the shelter construction. Improper anchoring may cause shelter instability and failure of the structure to perform as designed. Failing to anchor the shelter properly will void the manufacturer's warranty and may cause serious injury and damage.



Space below is reserved for customer notes.

CLEARSPAN™ CANOPIES

INSTALL MAIN COVER

Gather the parts:

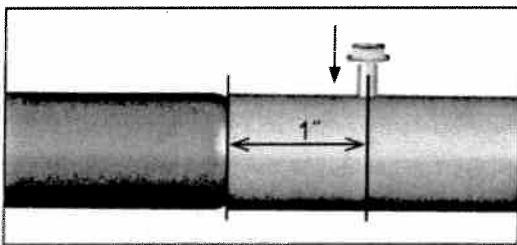
- Ratchets (1" 4000lb)
- Pipe 1.315" (See chart below.)
- Cover
- Plain strap (#103620B)
- Ropes long enough to reach over the frame (supplied by customer)
- Tek screws and Fender washers
- Duct tape (supplied by customer)

⚠ WARNING: To prevent damage to the cover and to prevent serious personal injury, DO NOT attempt to install the cover on windy days.

1. Locate the pipes for two (2) main cover conduits. Each cover conduit consists of the following pipes. See chart below and the Side Profile Diagram for details.

Cover Conduit Lengths	
Length	Pipes
20'	(3) 75" & (1) 25.5"
30'	(4) 75" & (1) 73.5"
40'	(6) 75" & (1) 49.5"
50'	(8) 75" & (1) 25.5"

2. Connect these pipes by inserting the swaged ends of the pipes into the plain ends until each conduit is assembled. Secure each pipe joint with a Tek screw and wrap the joint with duct tape.

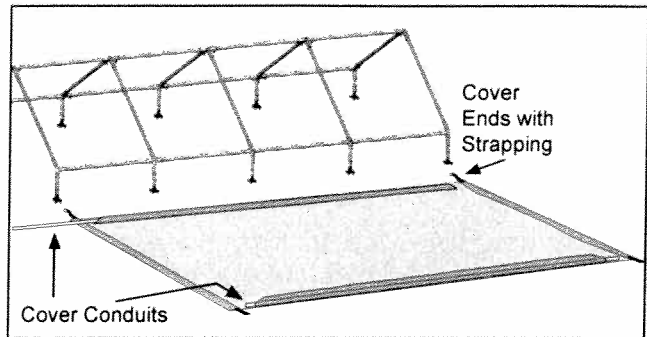


These cover conduits are inserted into the pockets sealed to the cover. The conduits are used to tighten and secure the cover.

3. After assembling the cover conduits, locate the cover and unfold it on a clean, smooth surface near the frame.

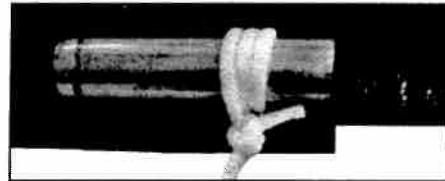
NOTE: When handling the cover and setting it in position, do not pull on the end straps. They will pull out of the cover. Unfold the cover with the inside surface facing up.

4. Locate the cover ends with strapping and align cover with the front and back of the shelter.
5. Insert the cover conduits into the pockets of the cover.



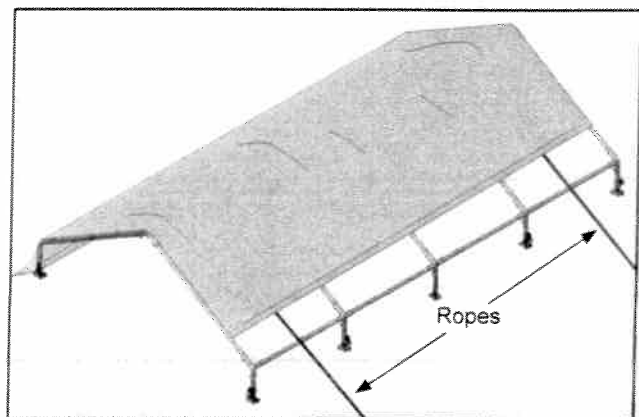
NOTE: Shelter shown above may differ in length and model from the actual shelter.

6. To pull the cover over the frame, attach ropes to both ends of the cover conduit. Wrap the rope around the conduit a few times to prevent it from slipping off.



NOTE: Depending on the length of the cover it may be necessary to attach additional ropes to the cover conduit between the end ropes by cutting a small opening in the cover pocket and tying the rope around the conduit. DO NOT cut through the cover. *Cut through the conduit pocket only.*

7. With all ropes attached to the cover conduit, lift the conduit and carry the cover toward the base of the frame.
8. Toss the ropes over the frame and pull the cover into position. One person is required at each rope.
9. Center the cover end-to-end and side-to-side.



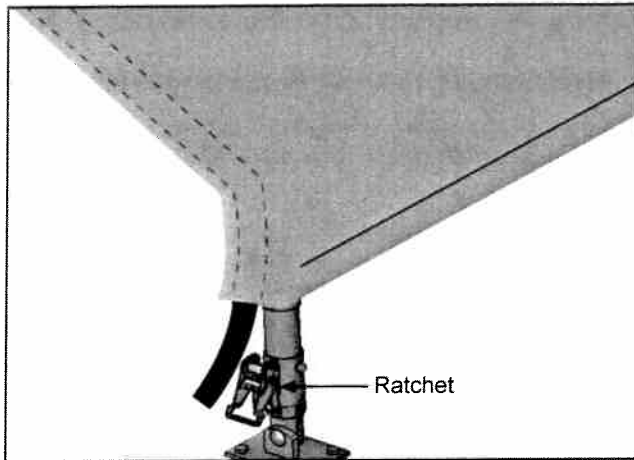
Shelter shown above may differ in length and model from the actual shelter.

CLEARSPAN™ CANOPIES

INSTALL COVER (CONTINUED)

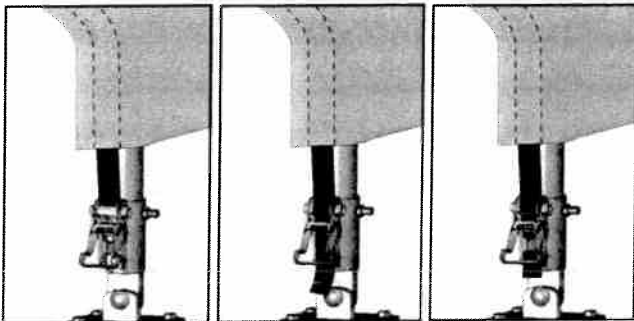
10. At the ends, locate the black straps. Using the straps as guides, fasten ratchets to the outside of the end rafter legs using a Tek screw.

NOTE: Allow a few inches to remain between the end of the cover and the ratchet.



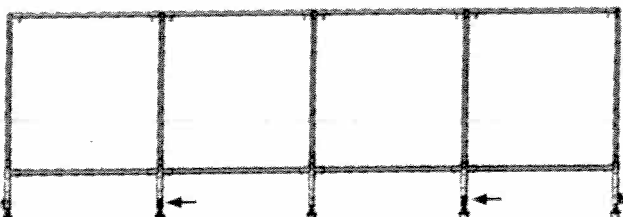
11. At the ends, thread the straps into the ratchets and slightly tighten. *Do not tighten completely at this time.*

NOTE: It may be necessary to remove excess strap if it binds up in the ratchet.



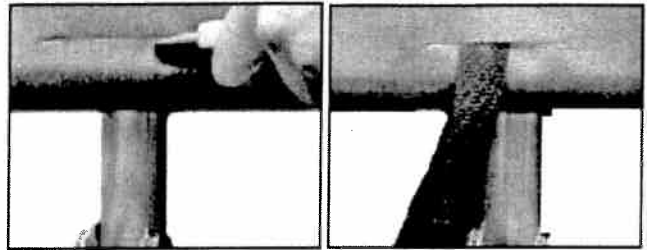
12. Divide the remaining number of ratchets in half. Place the ratchets on the ground next to the rafter where they will be attached. *Consult the Side Profile diagram for ratchet locations and details.*

NOTE: Space ratchets evenly along each side of the shelter and directly across from each other on the same rafter assembly. Arrows identify approximate ratchet locations for the frame shown in this example.



NOTE: Diagram above is an example of the 20' shelter.

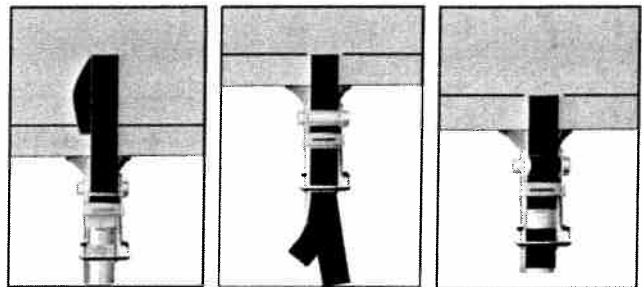
13. Using the main cover conduit and the straps as guides, attach the ratchets to the rafters at the proper height. Fasten ratchets to the outside of these rafters using a Tek screw for each ratchet.



14. Cut a slit in the cover conduit pocket at the rafter position. Insert a 3' section of strap through the slit and around the cover conduit.

NOTE: DO NOT cut through the main cover. *Cut through the conduit pocket only.*

15. Thread the strap ends into a ratchet and slightly tighten.



NOTE: It may be necessary to remove excess strap if it binds up in the ratchet.

16. Repeat the steps for the remaining ratchets.
17. Using additional help (if needed) tighten the main cover beginning with the ratchets along the side of the shelter frame.
18. After the side ratchets are tightened, return to the end ratchets and tighten.

NOTE: Loosen the ratchets if needed to remove excess strap and retighten. Loosen all ratchet if needed to reposition the main cover on the frame and retighten the ratchets.

19. Read the care and maintenance information that follows.

CLEARSPAN™ CANOPIES

SHELTER CARE AND MAINTENANCE

Proper care and maintenance of your shelter is important. Check the following items periodically to properly maintain your shelter:



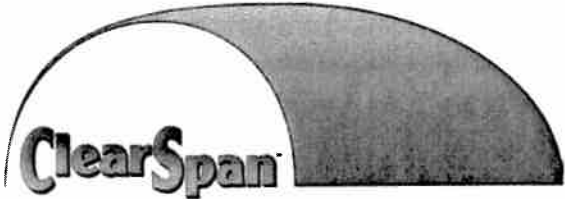
Space below is reserved for customer notes.

- Regularly check the main cover and panels (if equipped) to see that these remain tight and in proper repair.
- Check connections and all fasteners to verify that they remain tight.
- Do not climb or stand on the shelter at anytime.
- Remove debris and objects that may accumulate on the shelter. Use tools that will not damage the cover when removing debris.
- Remove snow to prevent excess accumulation. Use tools that will not damage the cover when removing snow.
- Check the contents of the shelter to verify that nothing is touching the cover or the side panels that could cause damage.
- Check the anchoring system to ensure that all components are tight and in good repair.
- If the shelter is moved, inspect all parts and connections before reassembling.
- For replacement or missing parts, call 1-800-245-9881 for assistance.

NOTE: With the exception of Truss Arch buildings, ClearSpan™ shelters and greenhouses do not have any tested loading criteria.

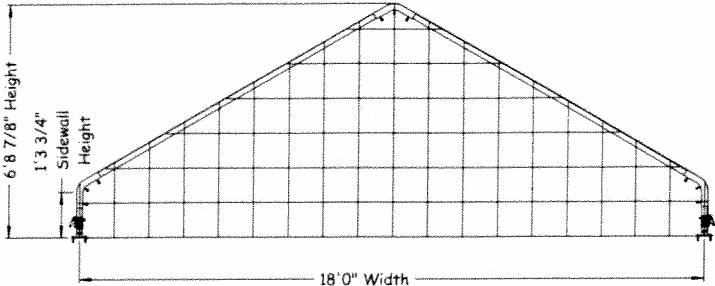


CLEARSPAN™ CANOPIES



QUICK START GUIDE

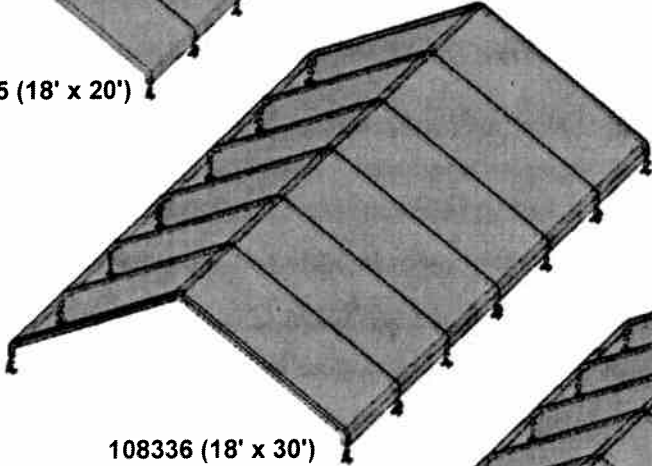
18' Wide Heavy-Duty Canopies



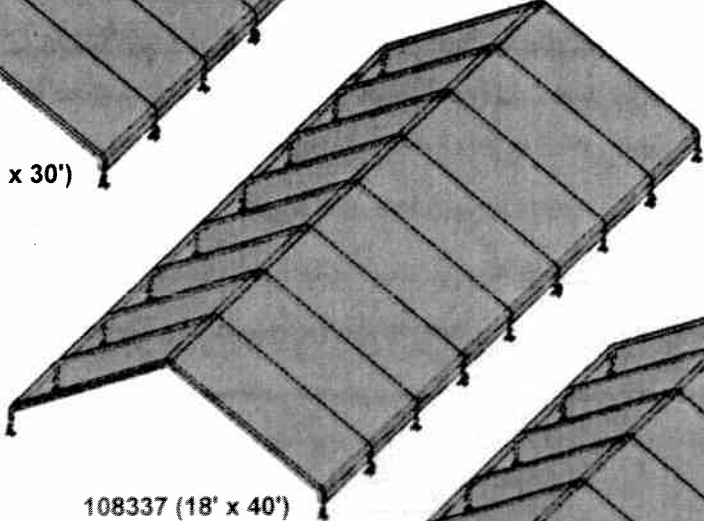
FRONT
Grid Represents 12" Squares



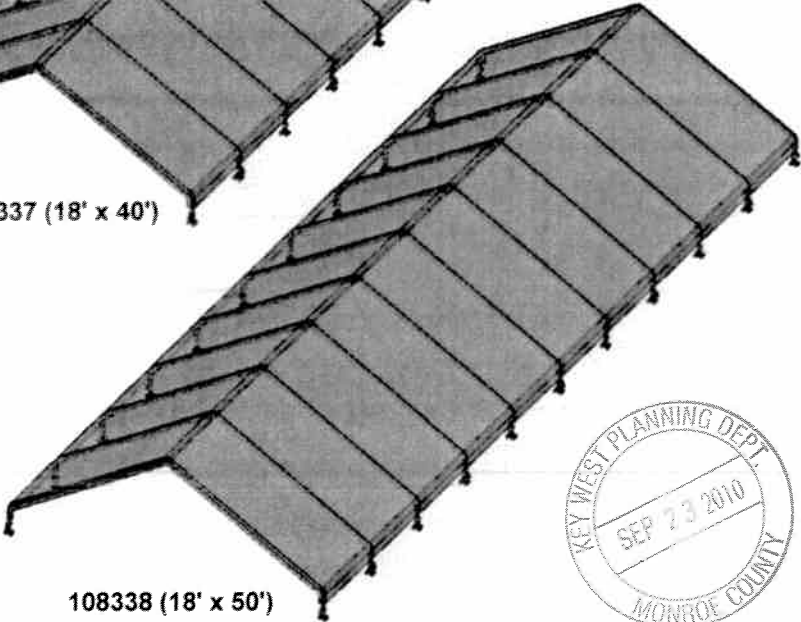
108335 (18' x 20')



108336 (18' x 30')



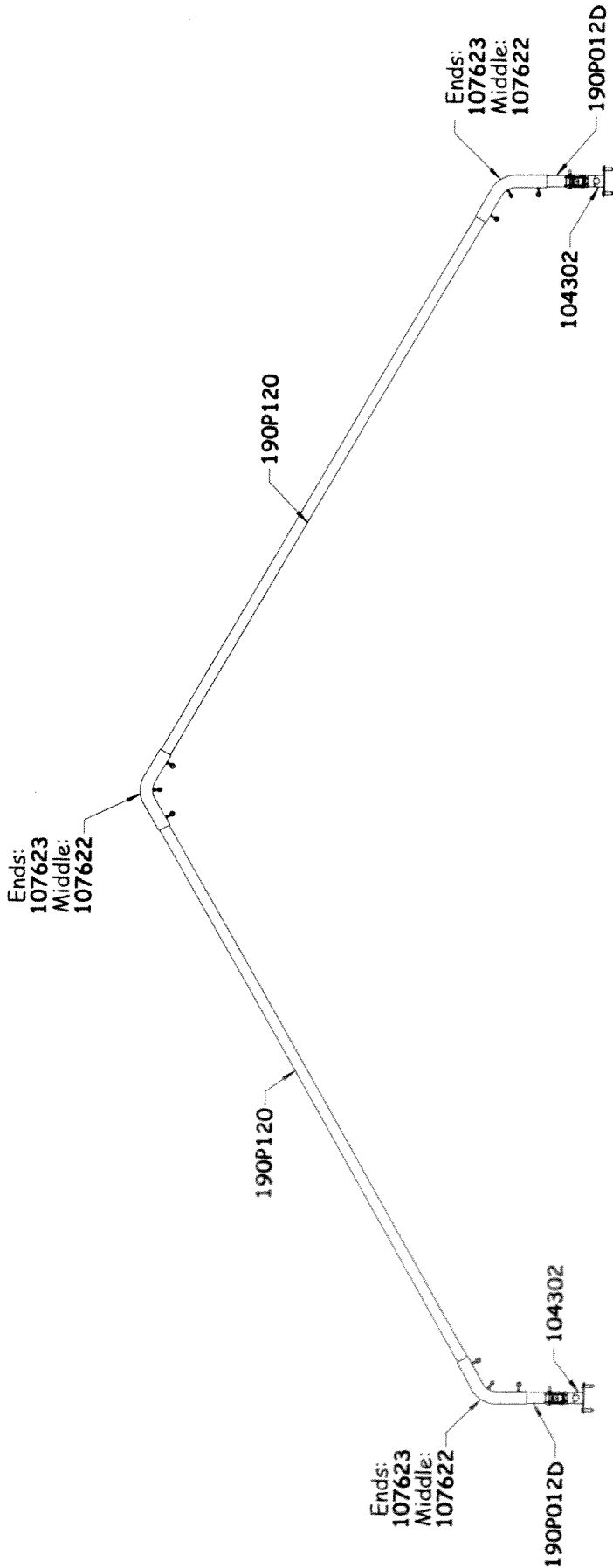
108337 (18' x 40')



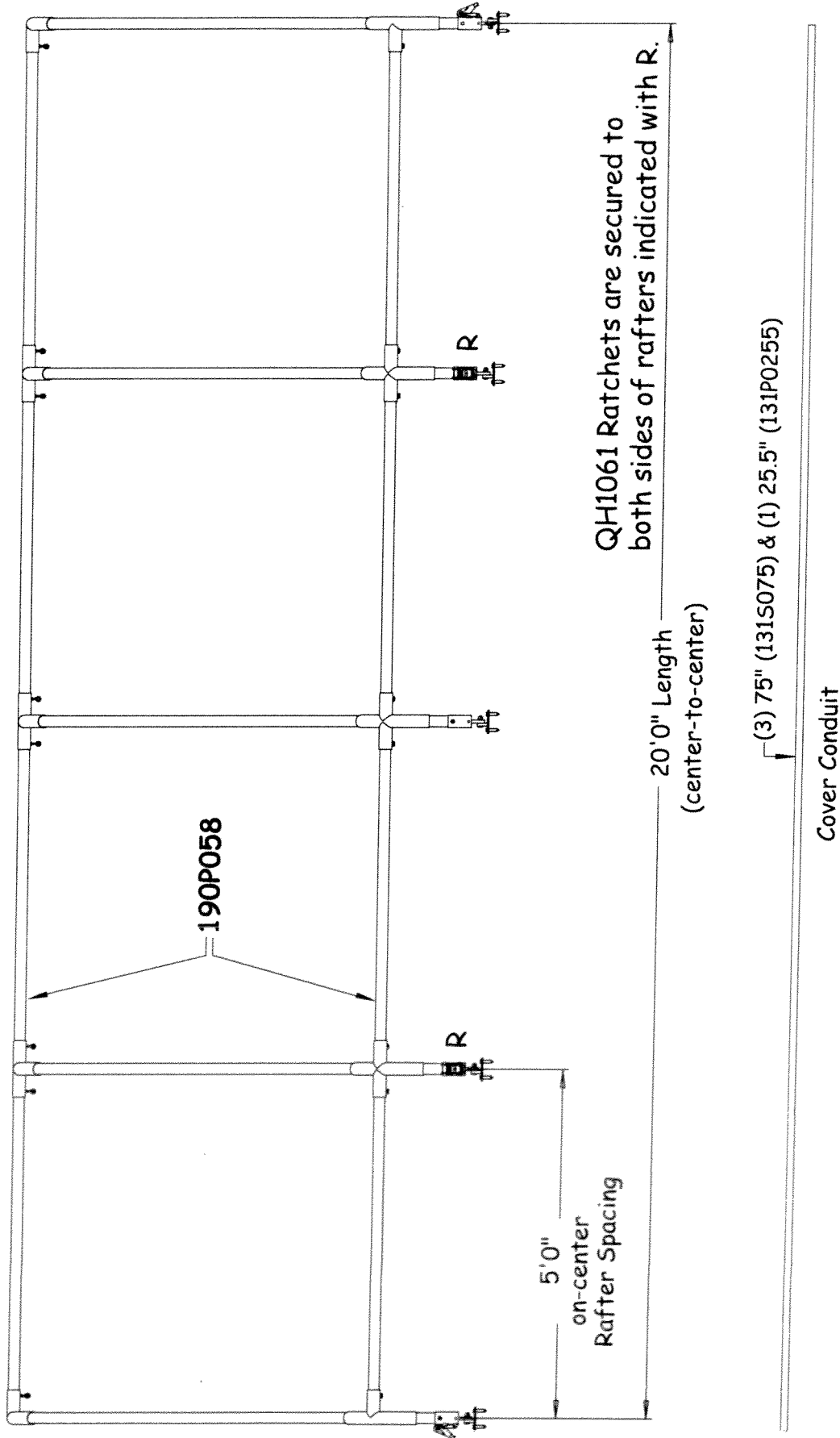
108338 (18' x 50')



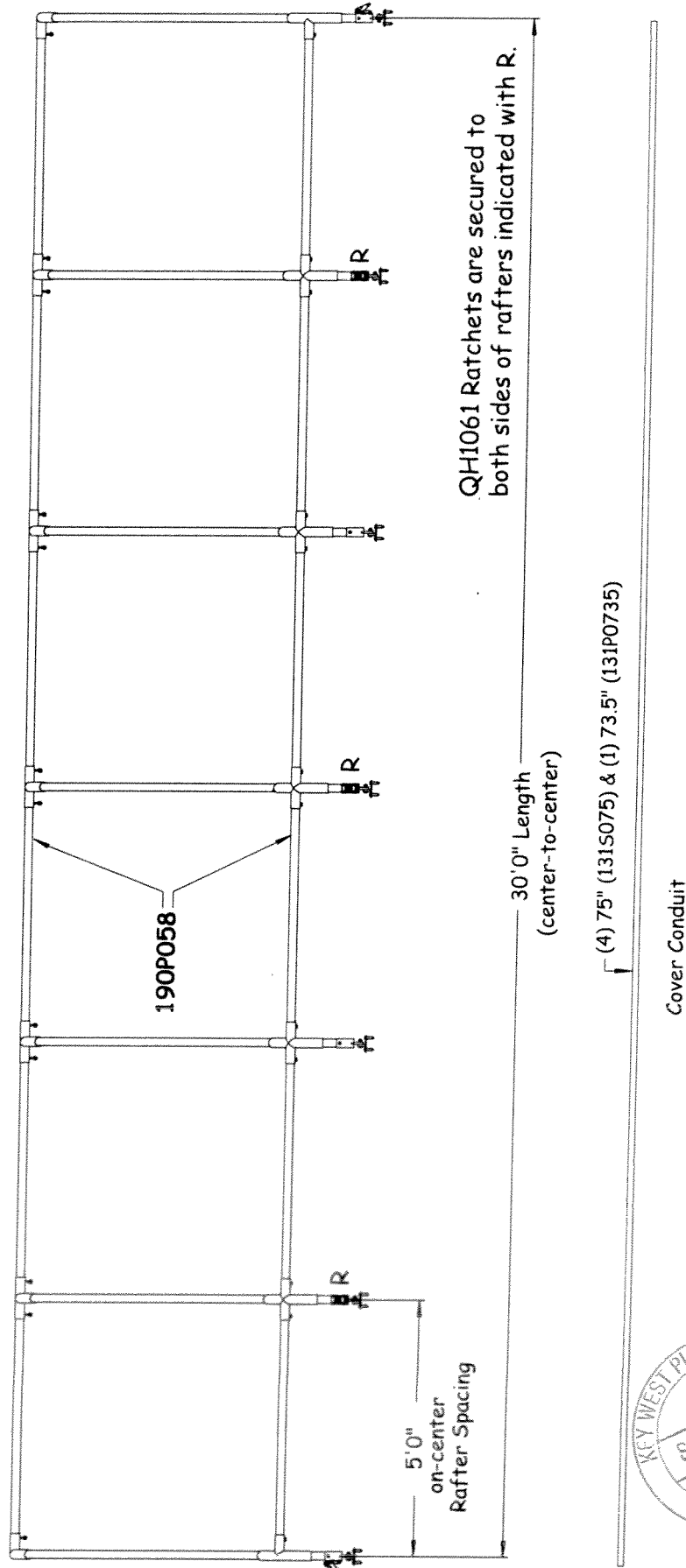
FRONT PROFILE



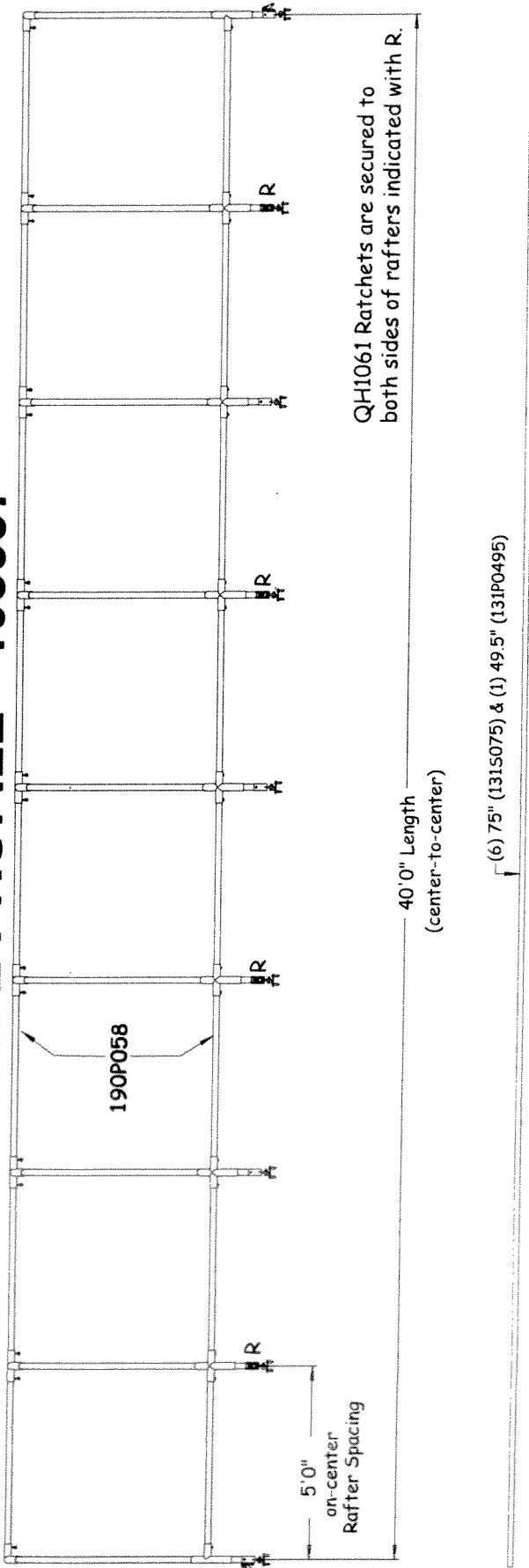
SIDE PROFILE - 108335



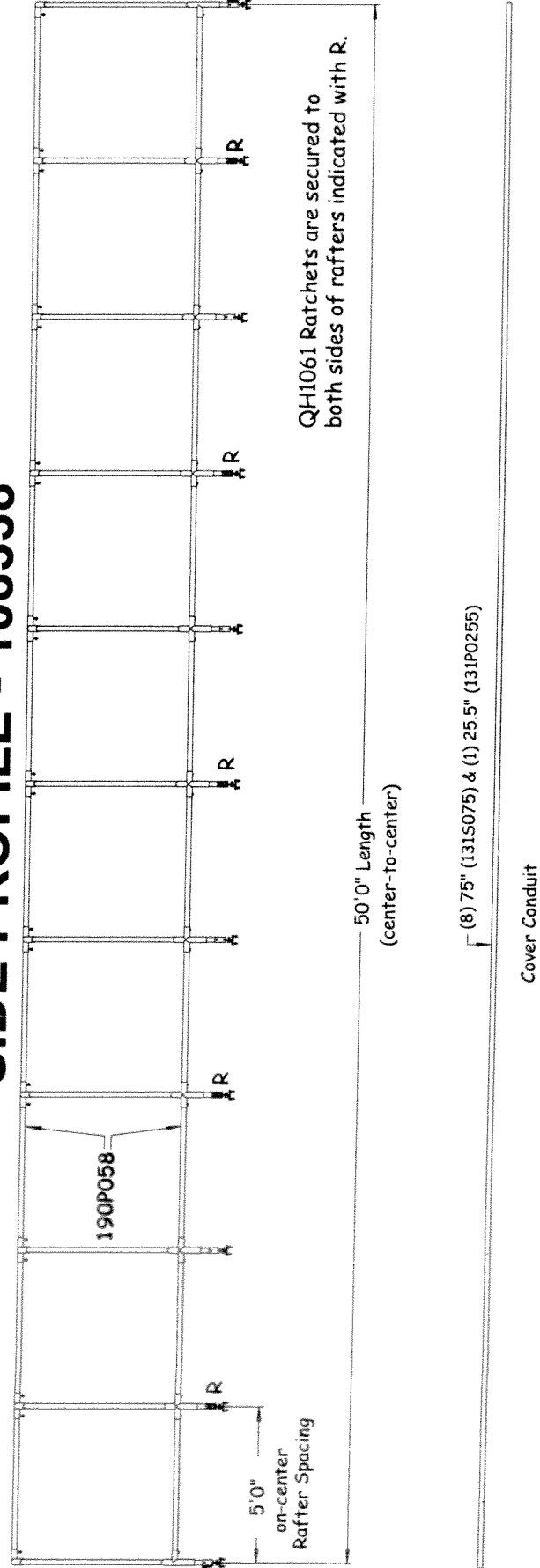
SIDE PROFILE - 108336



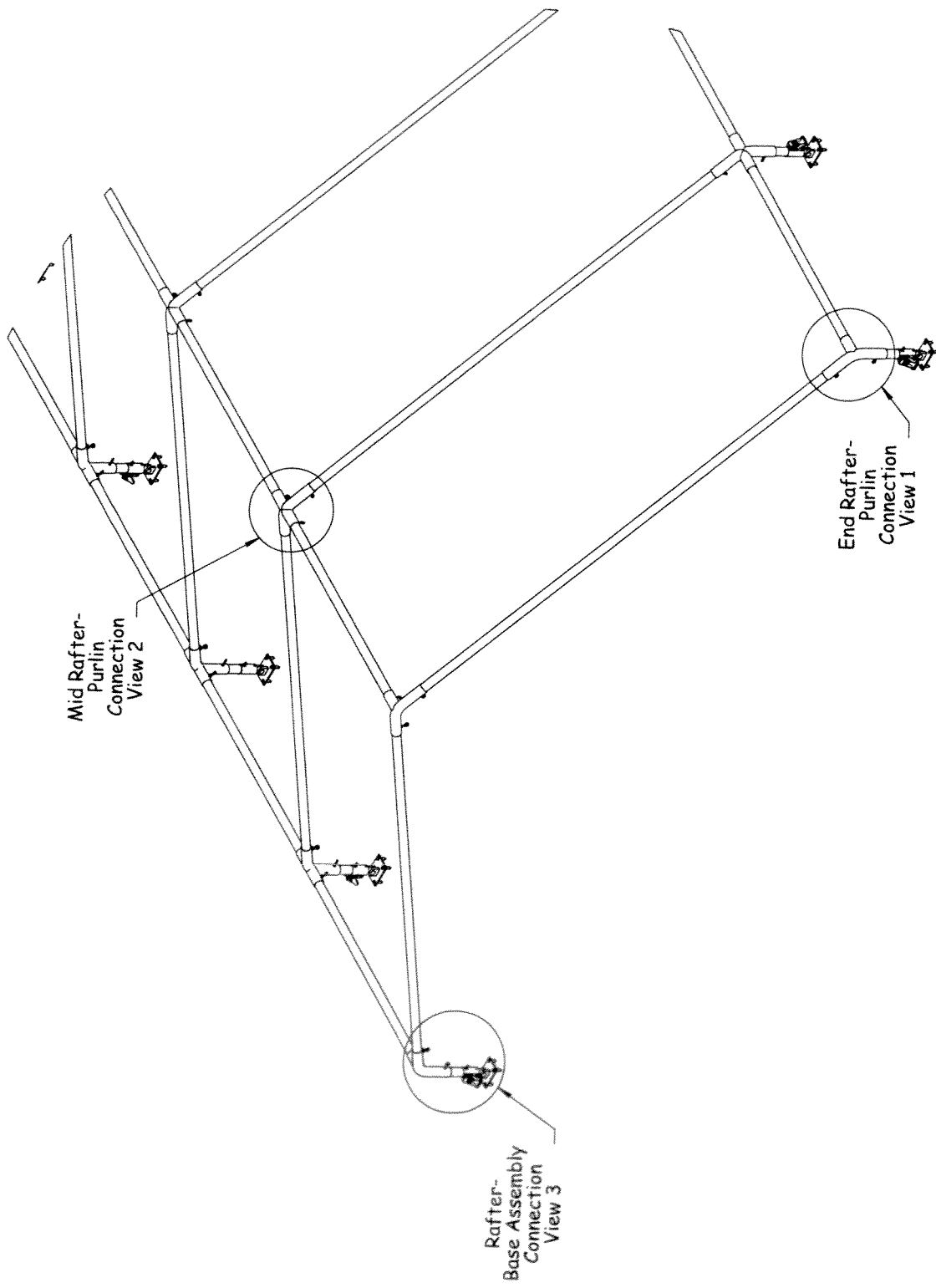
SIDE PROFILE - 108337



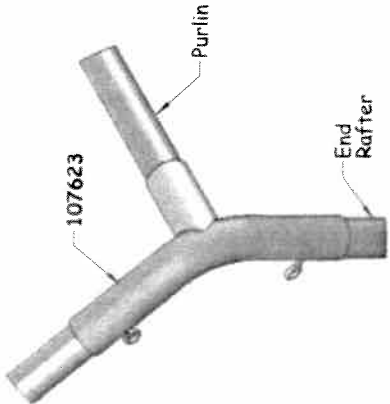
SIDE PROFILE - 108338



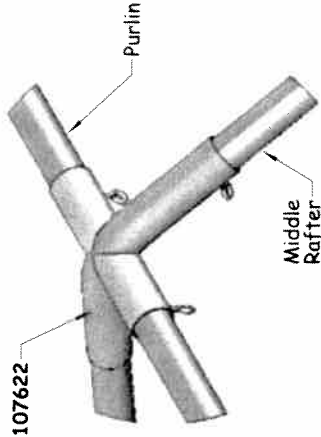
CONNECTIONS



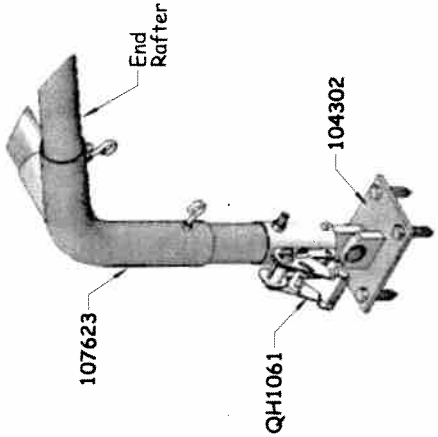
CONNECTION DETAILS



View 1
End Rafter-
Purlin
Connection



View 2
Mid Rafter-
Purlin
Connection



View 3
Rafter-
Base Assembly
Connection

DRC Minutes and Comments

project in the Historic Medium Density Residential (HMDR) zoning district, as required when reconstruction exceeds 66 percent of the assessed or appraised value, for property located at 412 William Street, per Sections 122-600 (5.) and 122-600 (6.) (a.) and (b.) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Mrs. Monnier reviewed the project. She stated that the application was for a variance to the 66% rule. The applicant has applied for several renovations on the property in three different phases including structural integrity of the foundation, the addition of a dormer, and other electrical bathroom and kitchen renovation associated with the site. Because of the cost of the renovations in comparison with the value of the site the 66% rule has been triggered.

Mr. Averette asked if the building footprint would remain the same.

Mrs. Monnier stated that it would remain the same.

Ms. Ignaffo asked Mrs. Monnier for further information regarding dimensions and materials for the proposed deck.

Mrs. Kimball-Murley asked if there would be new impervious surface.

Mrs. Monnier stated that there would not be further impervious surface on the site.

Mrs. Torregrosa stated that the project had been HARC approved.

Mr. Cruz had no comments.

Mrs. Domenech-Coogle stated that there is a tree on the site where the deck is being built, and the applicant is proposing removal of the tree. The applicant will need to make an application for removal of this tree.

Recording Secretary Patrick Wright expressed the concerns of Diane Nicklaus, ADA Coordinator: The city does not have the authority to give a variance to a FEMA guideline.

Mrs. Torregrosa stated that the structure is contributing and would qualify for FEMA exemptions.

No public comment.

Conditional Use - 201 Truman Avenue (RE # 00015120-000000) - An application for Conditional Use approval for the temporary relocation of protective services for a fire station in old town, to be located at 201 Truman Avenue, in the HMDR zoning district per Section 122-598 (7) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Ms. Malo reviewed the project. She stated that the application was to temporarily relocate Fire Station #2 while City Hall is demolished. The site currently has a single family home on it that is owned by the housing authority that has served numerous uses. The Fire Department is anticipating four to five firemen will be on the site at all times. There is also a temporary carport proposed for the fire truck, which will meet setback requirements for carports. Four parking spaces will be provided on site and storm water retention is proposed. No variances will be required.

Mr. Averette stated that the Fire Department was in support of this project.

Ms. Ignaffo stated that a fire hydrant would have to be coordinated with FKAA, chemical storage would have to be considered as well as solid waste pickup. Also site triangles and a traffic control device should be considered.

Mrs. Torregrosa stated that this project will be going before HARC at the September 28, 2010 meeting.

Mr. Cruz asked Ms. Malo if the canopy structure is removable.

Ms. Malo stated that the carport structure could be disassembled.

Assistant city Manager David Fernandez stated that the canvas will be removed prior to every hurricane.

Mrs. Domenech-Coogle stated that a landscape plan will be required.

Mrs. Kimball-Murley stated that Land Development Regulations apply even though the facility is temporary.

Recording Secretary Patrick Wright expressed the concerns of Diane Nicklaus, ADA Coordinator: The ADA coordinator would have to do a walkthrough after the completion of the project to confirm any ADA accessibility issues.

Ms. Malo asked the applicant if the public was going to have access to the building, because ADA issues as well as parking issues would be a concern.

Mike Davila stated that the intended use for the property was just for the housing of the firefighters.

7. **Adjournment**

A motion to adjourn was made by John Cruz and seconded by Enid Torregrosa.

Motion was carried by unanimous voice vote.

Meeting adjourned at 3:00 pm.

Respectively Submitted,
Patrick Wright
Administrative Coordinator

Nicole Malo

From: Diane Nicklaus
Sent: Friday, October 08, 2010 4:26 PM
To: Nicole Malo
Subject: 201 Truman Avenue and 125 Duval Street

In response to your e-mail, 201 meets ADA accessibility for use by the Fire Department. Depending on how long "temporary" is, they may want to install a ramp at the back for the porch access.

125 Duval Street: I'm not sure what the Fire Department had to say about the ATM. My original comments still apply for ADA access.

Diane Nicklaus
Public Facilities/ADA Coordinator
809-3951
dnicklau@keywestcity.com



Florida Keys Aqueduct Authority



Engineering Department
1100 Kennedy Drive, Key West, Florida 33040
Telephone (305)296-2454 Fax (305)295-2223

MEMORANDUM



TO: Carlene Cowart, Administrative Coordinator
FROM: Marnie Walterson-Distribution Design Specialist
DATE: September 29th, 2010
SUBJECT: Development Review Committee Meeting

Two Lay downs at September 23rd, 2010 DRC meeting:

- **Variance– 412 William Street (RE# 00006070-000000)** -The FKAA has no objections for an application for an application a variance requested to approve increasing the value of a non-conforming structure by more than 60%.
- **Development and Conditional Use – 201 Truman Avenue (RE# 00015120-000000)** - The FKAA has no objections for existing building to be used for temporary fire station. Letter states house is adequate as is. If additional fixtures are added FKAA engineering department will need to be notified.

CC: Irma Boveda, Customer Service Manager KW



City Of Key West
Planning Department
Historic Preservation Division
3140 Flagler Avenue
Key West, Florida 33040

October 4, 2010

Mr. David Fernandez
City of Key West
525 Angela Street
Key West, Florida 33040

RE: BUILD A CONCRETE SLAB 20' BY 40' BY 8" WITH TEMPORARY
CARPORT TO HOUSE FIRETRUCK
FOR: 201 TRUMAN AVENUE - HARC APPLICATION # HI0-01-432
KEY WEST HISTORIC DISTRICT

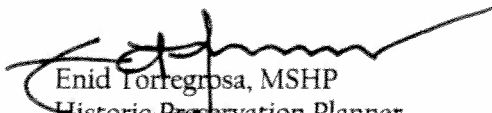
Dear Mr. Fernandez:

This letter is to notify you that the Key West Historic Architecture Review Commission **approved** the application for the above mentioned project on the public hearing held on Tuesday, September 28, 2010. The commission made their determination based on your presentation and all submitted documents.

You may now apply for the necessary permits. Should you have any questions, please do not hesitate to contact me at your convenience.

On behalf of the Historic Architectural Review Commission of our City, thank you for your interest in the preservation of Key West historic heritage.

Sincerely:


Enid Torregrosa, MSHP
Historic Preservation Planner
City Of Key West
3140 Flagler Avenue
Key West, Florida 33040

305.809.3973

etorregr@keywestcity.com



(305) 295-1000
1001 James Street
PO Box 6100
Key West, FL 33040-6100
www.KeysEnergy.com

UTILITY BOARD OF THE CITY OF KEY WEST

September 23, 2010

Mrs. Amy Kimball-Murley, AICP
City of Key West
PO Box 1409
Key West, Florida 33040

RE: DEVELOPMENT REVIEW COMMITTEE
KEYS ENERGY SERVICES COMMENTS MEETING OF SEPTEMBER 23, 2010

Dear Mrs. Kimball-Murley:

Keys Energy Services (KEYS) received the Development Review Committee Agenda for SEPTEMBER 23, 2010. KEYS has reviewed the items that will be discussed at the City's Development Review Committee meeting.

Below are KEYS' comments:

1. LOCATION: 1010 Kennedy Drive
COMMENT: Keys Energy has reviewed the customer request and does not object to the Variance. The customer will need to provide KEYS with a Project Review form; this will ensure adequate service for the customer and sounding customers. The customer will get service from the electric vault that is on the property. The only available voltage for this project will be 120/208 3 phase.
2. LOCATION: Variance – 818 White Street
COMMENT: KEYS has no objection.
3. LOCATION: Easement - 630 Elizabeth Street
COMMENT: KEYS has reviewed the plans submitted and does not object to the easement. The customer will need to maintain at least the minimum of 8' horizontal clearance from overhead power lines to the building.
4. LOCATION: Variance - 1901 Flagler Ave.
COMMENT: KEYS has no objections to the variance. The customer needs to maintain 8' of horizontal and 14' of vertical clearances from overhead power lines to the building.
5. LOCATION: Easement - 1901 Flagler Ave
COMMENT: KEYS has no objections to the easement. The customer will need to maintain a minimum of 8' horizontal and 14' of vertical clearance from overhead power lines to the balconies.
6. LOCATION: Variance – 125 Duval Street
COMMENT: KEYS has no objections.

7. LOCATION: Variance - 201 Truman Ave
COMMENT: KEYS has no objections.
8. LOCATION: Variance - 412 William Street
COMMENT: KEYS has no objections.

Thank you for giving KEYS the opportunity to participate in the City's review process. If you have any questions, please call me at 295-1055.

Sincerely:



Matthew Alfonso

Matthew Alfonso
Supervisor of Engineering
Matthew.Alfonso@KeysEnergy.com

C:

L. Tejada, General Manager & CEO
J. Wetzler, Asst. General Manager & CFO
D. Finigan, Director of Engineering/Control Center
A. Tejada, Director of Customer Service
File: PLI-132



MEMO

TO: Amy Kimball-Murley
Planning Director

FROM: Cynthia Domenech-Coogle
Urban Forestry Program Mgr.

DATE: September 30, 2010

**SUBJECT: 201 Truman Avenue/Temporary Conditional Use/City of
Key West Fire Station No. 2**

After further review of the Landscape Ordinance, Article IV, Sec. 108-415 in conjunction with Sec. 86-9(3)k and further, an 'Opinion' by legal, the ordinance allows for an 'exemption' of parking lots for six or less vehicles. Specifically, Sec. 108-415 Perimeter landscape requirements. (a) Scope; standards.... Perimeter landscaped areas for all off-street parking areas, excepting single-family homes and parking lots for six or less vehicles, ... Therefore, a landscape buffer and perimeter plantings are not required.



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # 10-01-432

OWNER'S NAME: CITY OF KEY WEST HOUSING AUTH. DATE: 9-16-2010

OWNER'S ADDRESS: 1400 KENNEDY DR. PHONE #: 305-292-6143

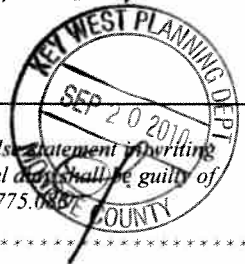
APPLICANT'S NAME: CITY OF KEY WEST. PHONE #: 305-809-3829

APPLICANT'S ADDRESS: 525 ANGELA ST. KEY WEST FL 33040

ADDRESS OF CONSTRUCTION: 201 TRUMAN AVE # OF UNITS 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:
BUILD A CONCRETE SLAB 20'x40'x8" WITH TEMPORARY
 CARPORT TO HOUSE FIRE TRUCK.



Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083.

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Required Submittals

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

Date: 9-20-10

Applicant's Signature: David Fernandez

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved

Denied

Deferred

9/28/2010

Reason for Deferral or Denial:

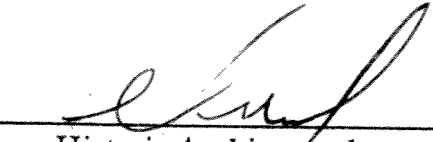
HARC Comments:

Not listed in the surveys.
Guidelines for outbuildings.
Temporary structure for the
fire department

Limits of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

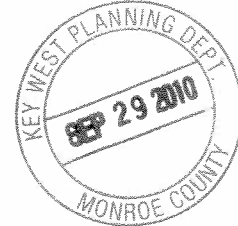

Historic Architectural
Review Commission

Florida Keys Aqueduct Authority



Engineering Department
1100 Kennedy Drive, Key West, Florida 33040
Telephone (305)296-2454 Fax (305)295-2223

MEMORANDUM



TO: Carlene Cowart, Administrative Coordinator
FROM: Marnie Walterson-Distribution Design Specialist
DATE: September 29th, 2010
SUBJECT: Development Review Committee Meeting

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CC: Irma Boveda, Customer Service Manager KW

Property Appraiser Information



Exemptions

Exemption	Amount
15 - MUNICIPAL LANDS	1,917,071.00

Land Details

Land Use Code	Frontage	Depth	Land Area
100E - COMMERCIAL EXEMPT	0	0	★ 15,754.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1
 Total Living Area: 3080
 Year Built: 1943

Building 1 Details

Building Type	Condition A	Quality Grade 350
Effective Age 15	Perimeter 314	Depreciation % 19
Year Built 1943	Special Arch 0	Grnd Floor Area 3,080
Functional Obs 0	Economic Obs 0	

Inclusions:

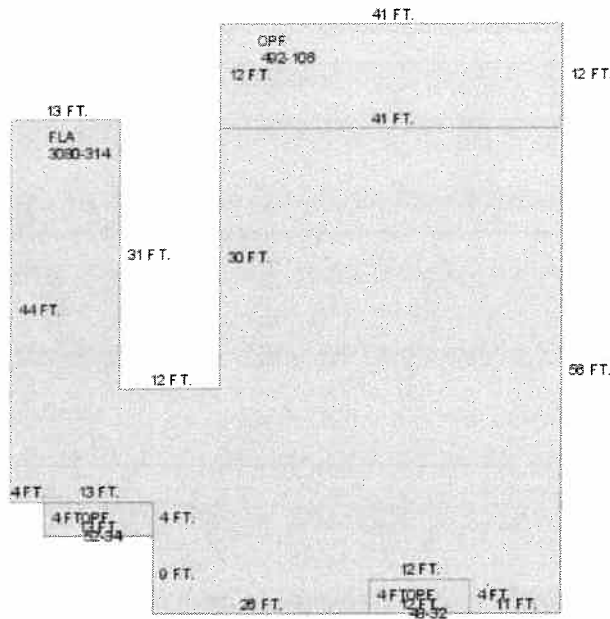
Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0

Extra Fix 6

Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1994					3,080
2	OPF		1	1994					492
3	OPF		1	1994					48
4	OPF		1	1994					52

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2696	CITY BLDGS C	100	N	Y
	2697	OPF	100	N	N
	2698	OPF	100	N	N
	2699	OPF	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
716	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	UB2:UTILITY BLDG	64 SF	8	8	1992	1993	3	50
2	CL2:CH LINK FENCE	790 SF	158	5	1959	1960	1	30
3	CL2:CH LINK FENCE	1,455 SF	291	5	1992	1993	3	30
4	FN2:FENCES	1,170 SF	195	6	1985	1986	2	30
5	FN2:FENCES	535 SF	0	0	1989	1990	2	30
6	PT3:PATIO	684 SF	0	0	1989	1990	1	50

7 TK2;TIKI 121 SF 11 11 1989 1990 4 40

Appraiser Notes

201 TRUMAN AVENUE - KEY WEST HOUSING AUTHORITY TPP 8524463 - WESLEY HOUSE COMMUNITY CENTER - 201 TRUMAN AVE (EXEMPT)

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	412,078	8,363	1,496,630	1,917,071	1,917,071	1,917,071	0
2009	432,427	8,642	1,772,325	2,213,394	2,213,394	2,213,394	0
2008	432,427	8,876	1,811,710	2,253,013	2,253,013	2,253,013	0
2007	287,484	8,657	1,811,710	2,107,851	2,107,851	2,107,851	0
2006	294,248	8,971	1,024,010	1,327,229	1,327,229	1,327,229	0
2005	294,248	9,253	1,024,010	1,327,511	1,327,511	1,327,511	0
2004	297,629	9,522	1,008,256	1,315,407	1,315,407	1,315,407	0
2003	297,629	9,972	1,008,256	1,315,857	1,315,857	1,315,857	0
2002	297,629	10,404	275,695	583,728	583,728	583,728	0
2001	297,629	10,809	236,310	544,748	544,748	544,748	0
2000	297,629	5,239	196,925	499,793	499,793	499,793	0
1999	297,629	5,437	196,925	499,991	499,991	499,991	0
1998	198,882	5,612	196,925	401,419	401,419	401,419	0
1997	198,882	5,817	165,417	370,116	370,116	370,116	0
1996	180,803	6,007	165,417	352,227	352,227	352,227	0
1995	180,803	6,191	165,417	352,411	352,411	352,411	0
1994	95,385	753	165,417	261,555	261,555	261,555	0
1993	95,385	0	165,417	260,802	260,802	260,802	0
1992	95,385	0	165,417	260,802	260,802	260,802	0
1991	95,385	0	165,417	260,802	260,802	260,802	0
1990	70,622	0	126,032	196,654	196,654	196,654	0
1989	70,622	0	122,094	192,716	192,716	192,716	0
1988	56,532	0	102,401	158,933	158,933	158,933	0
1987	55,424	0	55,454	110,878	110,878	110,878	0
1986	55,601	0	51,988	107,589	107,589	107,589	0
1985	54,278	0	48,681	102,959	102,959	102,959	0
1984	23,546	0	48,681	72,227	72,227	72,227	0
1983	23,546	0	48,681	72,227	72,227	72,227	0
1982	24,067	0	37,968	62,035	62,035	62,035	0

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 69,038 times.

Monroe County Property Appraiser
Ervin A. Higgs, CFA
P.O. Box 1176
Key West, FL 33041-1176

Public Notices
(radius map & mailing list)



Public Notice

The Key West Planning Board will hold a public hearing **at 6:00 p.m., September 21, 2010, at Old City Hall, 510 Greene Street**, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Conditional Use - 201 Truman Avenue (RE # 00015120-000000) - An application for Conditional Use approval for a fire station located at 201 Truman Avenue, in the HMDR zoning district per Section 122-598 (7) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at **www.keywestcity.com** .

201 Truman

- Legend**
-  theBuffer
 -  theBufferTarget
 - Real Estate Number
 - Parcel Lot Text
 - Block Text
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines

PALMIS

Monroe County Property Appraiser
500 Whitehead Street
Key West, FL

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for *ad valorem tax purposes* only and should not be relied on for any other purpose.

Date Created: October 8, 2010 10:54 AM



1630

DARTLEY KENNETH A
969 A DANBURY RD
WILTON, CT 06897

COX JOE AND JOAN
33 FRONT ST
FRENCHTOWN, NJ 08825

KNOWLES CATHERINE ESTATE
26 ST REGIS PL
HEMPSTEAD, NY 11550

HULL ROY B
150 LOG AND TWIG RD
DINGMANS FERRY, PA 18328

SANTANIELLO STEPHAN A
122 HUDSON DR
PHOENIXVILLE, PA 19460

LEVY MARK H AND NANCY L
35787 SPINNAKER CIR
LEWES, DE 19958

PEARSON JAMES ETUX
1405 CHARLAND CT
RALEIGH, NC 27603

WILKERSON MARTHA J ESTATE
10583 ALMOSA LN
JONESBORO, GA 30238

MINGO GWENUEL W
P O BOX 13119
GAINESVILLE, FL 32604

SE CONF ASSN OF 7TH DAY
ADVENTISTS INC
1701 ROBIE AVE PO BOX 1016
MT DORA, FL 32756

BRUNS LISA
2500 PARKVIEW DR
HALLANDALE BEACH, FL 33009

MCINTOSH COREY
4213 SW 20TH ST
HOLLYWOOD, FL 33023

HOUSING AUTHORITY OF THE CITY OF
KEY WEST THE
1400 KENNEDY DR
KEY WEST, FL 33040

JOHNSON LEONARD A AND BRENDA L
29 6TH AVE
KEY WEST, FL 33040

LEHMKUHL JAMES A
910 EMMA ST
KEY WEST, FL 33040

CURRY ERNESTINE P L/E
1004 THOMAS ST
KEY WEST, FL 33040

BIRRELL ANDREW G
3608 SUNRISE DR
KEY WEST, FL 33040

NEWHAGEN JANE L TRUST DTD 10/2/03
228 TRUMAN AVE
KEY WEST, FL 33040

ROBERTS PRINCE AND EDITH
1018 THOMAS ST
KEY WEST, FL 33040

SAUNDERS SHELLEY
208 OLIVIA ST
KEY WEST, FL 33040

CICERI PAUL BRIAN
222 OLIVIA ST
KEY WEST, FL 33040

TRUMAN AVE CONDOS LLC
1419 PETRONIA ST
KEY WEST, FL 33040

WALLACE GERALDINE D
110 HUTCHISON LN
KEY WEST, FL 33040

BAHAMA CONCH COMMUNITY LAND
TRUST OF KEY WEST INC
305 JULIA ST
KEY WEST, FL 33040

MONROE MICHAEL
206 OLIVIA ST
KEY WEST, FL 33040

MAJOR CHARLES L
210 OLIVIA ST
KEY WEST, FL 33040

KLINGENER NANCY J
411 GRINNELL ST
KEY WEST, FL 33040

HELLSTROM STEPHANIE L
901 EMMA ST
KEY WEST, FL 33040

JOHNSON LEONARD
26 6TH AVE
KEY WEST, FL 33040

MANN MARION THOMAS
114 HUTCHINSON LN
KEY WEST, FL 33040

WEECH EDWARD AND MARY
211 TRUMAN AVE
KEY WEST, FL 33040

HOUSING AUTHORITY THE OF THE
P O BOX 2476
KEY WEST, FL 33040

JOHNSON W C EST
NO 3 HUTCHINSON LN
KEY WEST, FL 33040

MINGO CLIFFORD AND YOLANDA
708 EMMA ST
KEY WEST, FL 33040

MERMELSTEIN ANN N
110 OLIVIA ST
KEY WEST, FL 33040

DOBINS BERTHA
112 HUTCHINSON LN
KEY WEST, FL 33040

KEE CARNETTA
226 OLIVIA ST
KEY WEST, FL 33040

WOLKOFF STANLEY AND MARLYNN
11 HUTCHINSON LN
KEY WEST, FL 33040

THOMAS STANLEY LEROY
224 OLIVA ST
KEY WEST, FL 33040

VAGNONI JOHN R AND DEBRA H
225 OLIVIA ST
KEY WEST, FL 33040

MARQUARDT JAMES L
204 OLIVIA ST
KEY WEST, FL 33040

RAHMING ALFRED L AND SHERYL
TRUSTEES
910 THOMAS ST
KEY WEST, FL 33040

MAJOR CHARLES L
210 OLIVIA ST
KEY WEST, FL 33040

RAHMING KENNETH A AND ROSEMARY
908 THOMAS ST
KEY WEST, FL 33040

LATHAM JEFFREY
5 HUTCHINSON LN
KEY WEST, FL 33040

WOODS YVETTE M
1006 HOWE ST
KEY WEST, FL 33040

JOHNSON JOSEPH JR
206 TRUMAN AVE
KEY WEST, FL 33040

VALDEZ CHARNETTE
1000 HOWE ST
KEY WEST, FL 33040

DOSTAL RICHARD A
210 TRUMAN AVE
KEY WEST, FL 33040

GUNN RUTH
205 JULIA ST
KEY WEST, FL 33040

KELLY SAMUEL JR
208 TRUMAN AVE
KEY WEST, FL 33040

BUTLER ALFRIDINA E
209 JULIA ST
KEY WEST, FL 33040

TRUMAN AVE CONDOS LLC
1419 PETRONIA ST
KEY WEST, FL 33040

MINGO-THOMAS TRACI B
220 OLIVIA ST
KEY WEST, FL 33040

MINGO CLIFFORD K AND YOLANDA M
708 EMMA ST
KEY WEST, FL 33040

LAURENDEAU JENNIFER L
906 EMMA ST
KEY WEST, FL 33040

ENRIGHT ROSEMARY E
916 THOMAS ST
KEY WEST, FL 33040

HAMILTON JAMES D
218 OLIVIA ST
KEY WEST, FL 33040

CHURCH BETHEL A M E
223 TRUMAN AVE
KEY WEST, FL 33040

DOUCETTE PAUL H
829 BAPTIST LN REAR
KEY WEST, FL 33040

JORIS THOMAS J
217 OLIVIA ST
KEY WEST, FL 33040

SWEETING FLOYD H AND MARVA A
1012 HOWE ST
KEY WEST, FL 33040

CAMPBELL JULIA A L/E
209 OLIVIA ST
KEY WEST, FL 33040

TRUMAN AVE CONDOS LLC
1419 PETRONIA ST
KEY WEST, FL 33040

WHITEHEAD LOUISE SUAREZ
824 BAPTIST LN
KEY WEST, FL 33040

CHAVIS DONNA
827 EMMA ST
KEY WEST, FL 33040

RAHMING ALFRED AND ROXANNE A
201 JULIA ST
KEY WEST, FL 33040

KEY WEST HOUSING AUTHORITY
1400 KENNEDY DR
KEY WEST, FL 33041

HARRINGTON SCOTT A
P O BOX 4598
KEY WEST, FL 33041

GARRISON JAMES L AND STEPHANIE A
PO BOX 500007
MARATHON, FL 33050

MORATO CARLO AND MARLENE C
369 70TH ST GULF
MARATHON, FL 33050

COIRA STANLEY MD TRUST AGR
4/23/201
4140 BONITA AVE
COCONUT GROVE, FL 33133

COIRA STANLEY MD TRUST AGR
4/23/201
4140 BONITA AVE
COCONUT GROVE, FL 33133

WYLAND OF KEY WEST INC
960 NW 53RD ST
FT LAUDERDALE, FL 33309

FLEMMING FANCHON MARLENE
4510 NW 13TH ST
LAUDERHILL, FL 33313

MCINTOSH KAREN SUZETTE
2500 SW 106TH TER
DAVIE, FL 33324

SAWYER BEVERLY
351 W 20TH ST
RIVIERA BEACH, FL 33404

KW PROPERTIES LLC
PO BOX 189
NAPLES, FL 34106

ALEXANDER BRENDA J
2580 SE AVIATION WAY
STUART, FL 34996

WILLIS WILLIAM T AND JANICE KAYE
148 RIDGEWOOD DR
BOWLING GREEN, KY 42103

ROZARIO LOUISE BETHA DEC TR
01/10/07
117 S PUTTER DR
ANDOVER, KS 67002

SEARS VIOLET L L/E
3530 WESTMONT AVE
LOS ANGELES, CA 90043

PRUETT CLAYTON D
13 LAKE COMO CT
RANCHO MIRAGE, CA 92270

RUSSELL JOHN H AND BARBARA L S
1641 TICE VALLEY BLVD
WALNUT CREEK, CA 94595

JOSEPH JUNE HARRISON
310 HILLCREST AVE
SOMERSET, NJ 08873

CALABRO DANIEL J
P O BOX 1857
BRIDGEHAMPTON, NY 11932

BENTON JAMES
103 NW 16TH ST
FLORIDA CITY, FL 33034

FIRST STATE BANK ATTN ACCT DEPT
1201 SIMONTON ST
KEY WEST, FL 33040

BAHAMA CONCH COMMUNITY LAND
TRUST OF KEY WEST
201 TRUMAN AVE
KEY WEST, FL 33040

BAIER MICHAEL
219 OLIVIA ST
KEY WEST, FL 33040

WILSON MARK
P O BOX 6516
KEY WEST, FL 33041

OVERTOWN PUBLIC ASSISTANCE
TRUST NO 9 THE 09/10/09
PO BOX 6406
KEY WEST, FL 33041

TOMLINSON JAMES STUART AND RUTH
FERGUSON
22 MANOR WAY
LETCHWORTH, HERTS SG63NL